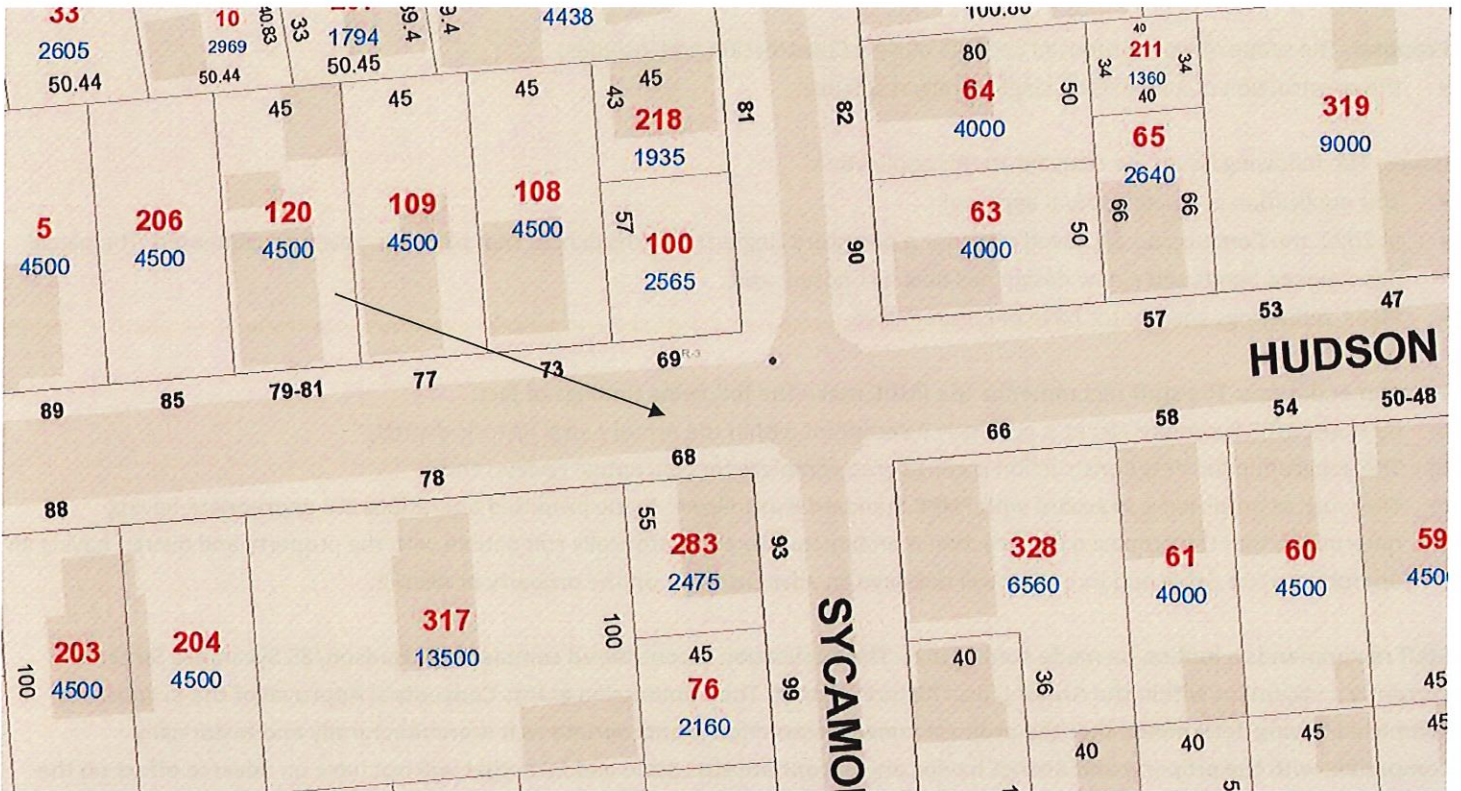
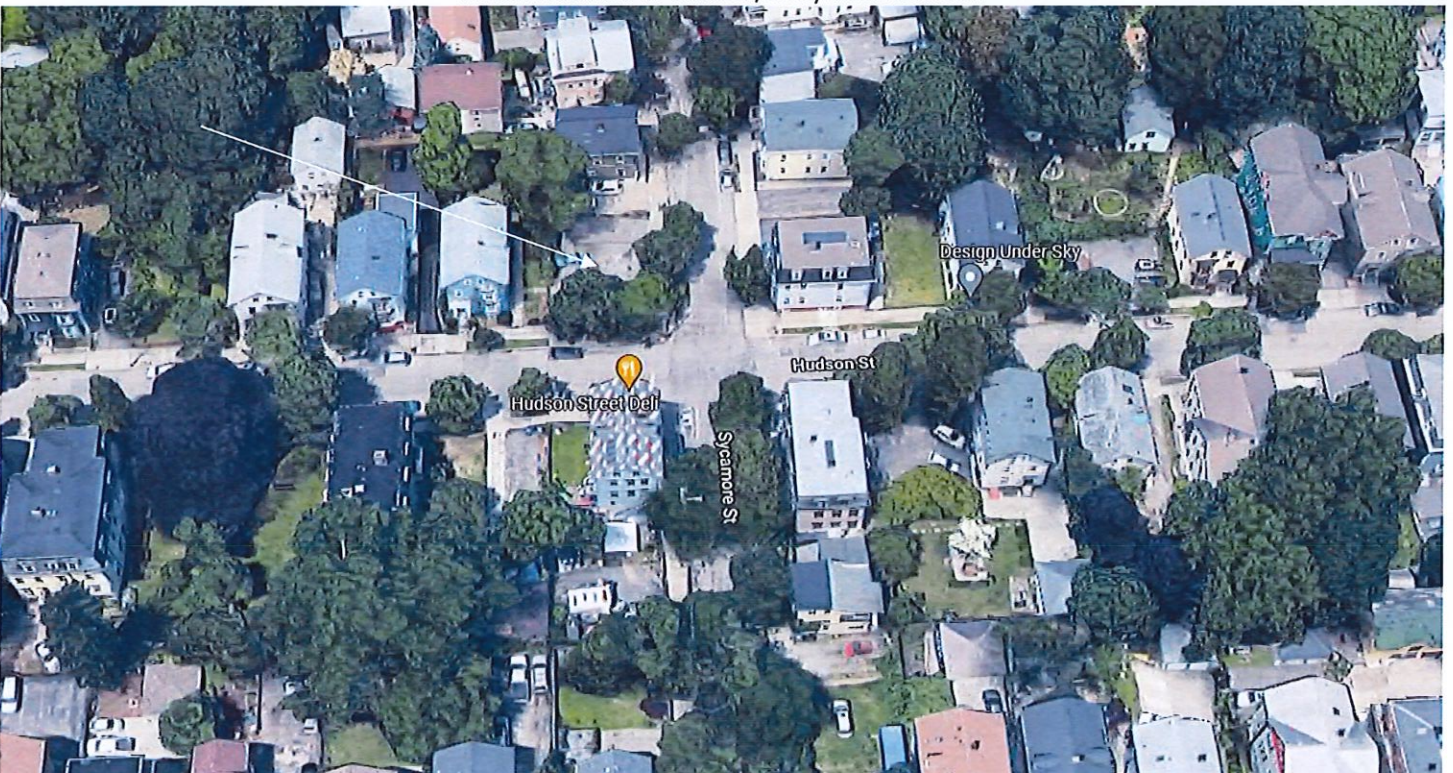


PROJECT REVIEW

- 1. CASE 22. 089, 69 HUDSON/85 SYCAMORE STREET, Vacant lot (Armory)**
Currently a Vacant lot within the Broadway/Armory NRHD



Arrow indicates 69 Hudson/85 Sycamore Street.



Arrow indicates project location, looking north.

Applicant: Peter J Casale Code Consultant, 44 Landmark Road, Warwick, RI 02886

Owner: 133 Courtland Street, LLC, 133 Courtland Street, Providence, RI 02909

Designer: National Design & Drafting, OFFICE@NDD.EMAIL

Proposal: The scope of work proposed consists of New Construction and includes:

- the construction of a two-story, single-family residence.

Issues: The following issues are relevant to this application:

- This application is for conceptual approval;
- In 2020, the Commission approved plans for a two-story single-family residence. That plan was never implemented. The parcel has changed hands and a new design has been proposed; and,
- Plans, renderings and photos have been submitted.

Recommendations: The staff recommends the PHDC make the following findings of fact:

- a) 69 Hudson/85 Sycamore Street is currently a vacant lot within the Armory local historic district;
- b) The application for New Construction is considered complete for conceptual review; and,
- c) The work as proposed is in accord with PHDC Standard 8 as follows: as the proposed alterations are appropriate having determined that the proposed construction is architecturally and historically compatible with the property and district having an appropriate size, scale and form that will not have an adverse effect on the property or district.

Staff recommends a motion be made stating that: The application is considered complete. 69 Hudson/85 Sycamore Street is currently a vacant lot within the Armory local historic district. The Commission grants Conceptual Approval of the proposal as submitted having determined that the proposed new construction is appropriate as it is architecturally and historically compatible with the property and district having an appropriate size, scale and form that will not have an adverse effect on the property or district, citing and agreeing to the recommendations in the staff report, with the applicant to return to a subsequent meeting for final approval.



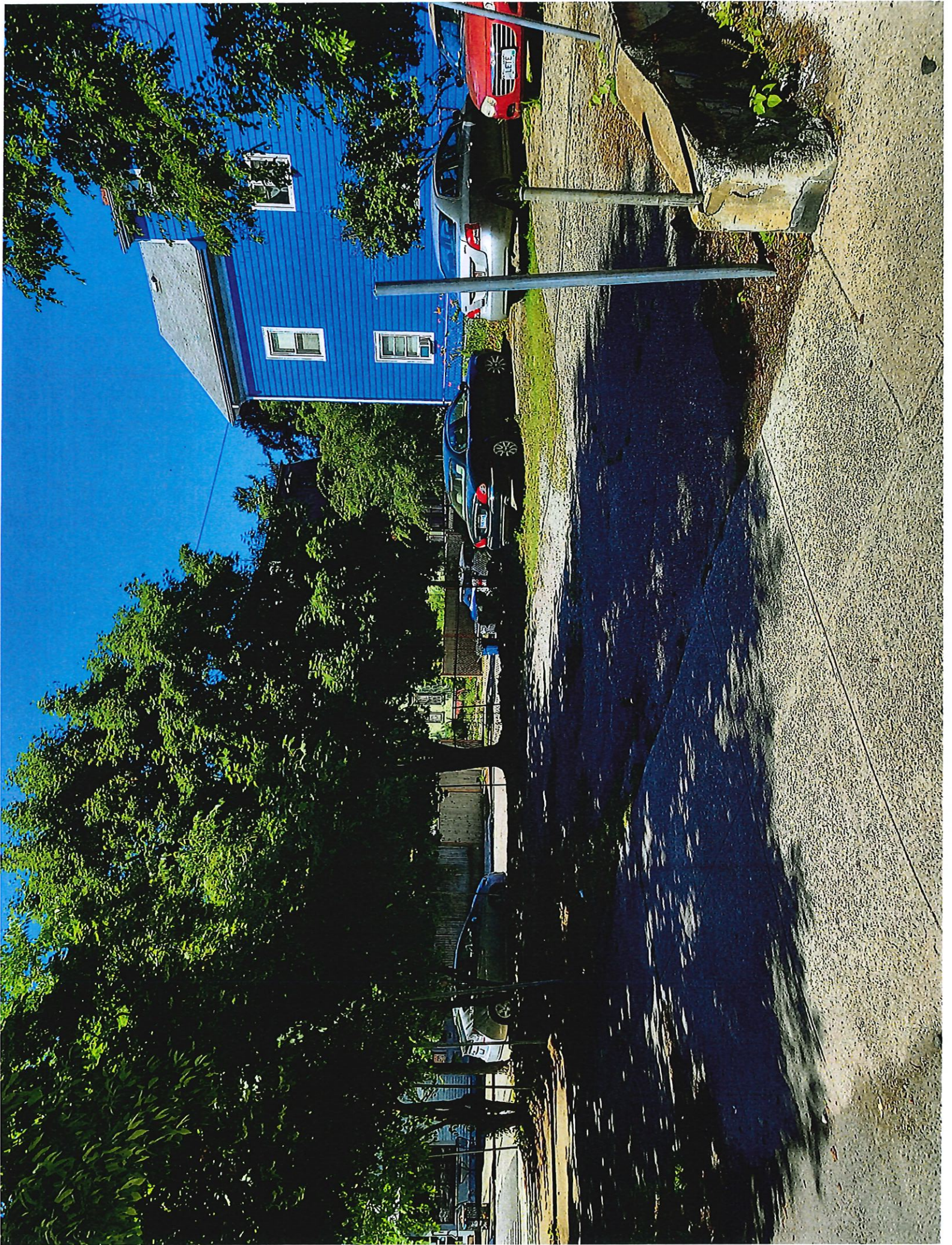
85 SYCAMORE



85 SYCA MOCK



85 SYCAMORE







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SYCAMORE

RESIDENCE
85 SYCAMORE STREET
PROVIDENCE, RI 02909

AREA SUMMARY

AREA	GSF
LIVABLE SPACE	
FIRST FLOOR	784
SECOND FLOOR	612
TOTAL	1,396
OTHER SPACES	
COVERED PORCH	224
	168

GENERAL NOTES

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G000	COVER
C000	SITE PLAN
F000	FOUNDATION PLAN
A100	BASEMENT PLAN
A101	FIRST FLOOR PLAN
A102	ROOF PLAN
A200	ELEVATIONS
A201	ELEVATIONS

LEGEND

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- (CD) CO DETECTOR
- (SD) SMOKE DETECTOR
- (HD) HEAT DETECTOR
- (EF) EXHAUST FAN
- INSULATED 2x6 WALL
- 2x4 WALL
- SHELF / COUNTER
- EXISTING TO REMAIN

- ID#### INTERIOR DOOR
- XD#### EXTERIOR DOOR
- SD#### SLIDING DOOR
- PD#### POCKET DOOR
- GD#### GARAGE DOOR
- CO#### CASED OPENING
- DH#### DBL HUNG WIN
- #### DIM IN FEET/INCHES
(268 = 2'-6" x 6'-8")

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G000

CONSTRUCTION PLANS

05/05/2022
797285 KR 36x24 01

SYCAMORE RESIDENCE



**Building
Code
Summary**

State Building Code SBC-2 Rhode Island One and Two Family Dwelling Code	International Residential Code International Residential Code for One- and Two-Family Dwellings, 2015 Edition	R301.2(2) Seismic Design None R301.2(3) Weathering Severe	R301.2(4) Wind Design Speed 110 MPH R301.2(5) Ground Snow Load 30 PSF R301.2(6) Termite Infestation Moderate/Heavy	R301.5 Uninhab. Attic Live Load 20 PSF R301.5 Habitable Attic Live Load 30 PSF R301.5 Balcony/Deck Live Load 40 PSF	R301.5 Guard/Handrail Live Load 200 PSF R301.5 Habitable Room Live Load 40 PSF R301.5 Sleeping Room Live Load 30 PSF	R301.5 Stair Live Load 40 PSF
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R302.5.1 Min. Garage Door Rating 20 Minute R302.5.1 Garage Separation 1/2" All locations except Garage located more than 3' from a dwelling unit on the same lot.	R302.5.1 Garage Separation 5/8" Type X From all habitable rooms above the Garage.	R305.1 Minimum Height 7'-6" (50% of rm.) R305.1 Exception 1 For rooms with sloped ceilings 50% of floor area must have a ceiling height of at least 7'-0" and none of the floor area may have a ceiling height of less than 5'-0". R305.1 Exception 2 Bathrooms shall have a minimum ceiling height of 6'-8" inches. A shower or tub equipped with a showerhead shall have a minimum ceiling height of 6'-8".	R305.1.1 Basements 6'-8" R305.1.1 Exception 1 Beams, girders, ducts or other obstructions may project to within 6'-4" of the finished floor.	R307.1 Space Required at Toilet 15" from side R307.1 Space Required at Toilet 21" from front R307.1 Space Required at Vanity 21" from front	R307.1 Minimum Shower Size 30" x 30" R307.1 Space Req. at Shower 24" at opening	R308.4.1 Glazing in Windows (see below) Hazardous Location If... 1. >9 SF 2. bottom <18" from floor 3. top >36" above floor 4. walking surface within 36" (all must be met)
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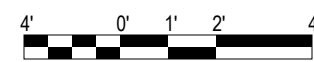
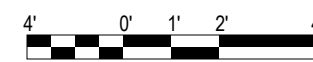
R310.1.1 Minimum opening area 4.4 SF (Net) Exception 1 5.0 SF (Net) at grade floor. Exception 2 3.3 SF at double-hung window	R310.1.2 Min. opening dims 24"x20"	R311.2 Egress Doors Required 2 R311.2 Egress Door Width 32" (clear) R311.2 Egress Door Height 78"	R311.2.1 Min. Interior Door Dims. 30" x 6'-6" R311.2.1 Min. Bath Door Dims. 28" x 6'-6" R311.3 Min. Egress Landing Width 36" (both sides)	R311.6 Minimum Hallway Width 36" R311.7.1 Minimum Stair Width 36" R311.7.2 Min. Stair Headroom 6'-8"	R311.7.5.1 Max. Riser Height 8 1/4" R311.7.5.2 Min. Tread Depth 9" R311.7.8.1 Handrail Height 34" - 38"	R312.1.1 Where Required 30" (height diff.) R312.1.2 Minimum Height 36" R312.1.2 Exception 1 34" at open sides of stairs.	R312.1.2 Exception 2 34" - 38" when used as handrail. R312.1.3 Maximum Opening 4" sphere
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R314.3 Smoke Alarm Location (see below) Shall be installed... 1. In each bedroom. 2. Outside each sleeping area. 3. On each story, including basements and habitable attics. 4. At base of stairs. 5. For ea. 1,200 SF area.	R314.5 Heat Detector Location (see below) Shall be installed... 1. In any attached Garage. 2. Garage attached to existing. R314.5.1 Heat Det. Placement center in space	R315.1 Location (see below) Shall be installed... 1. On each story, including basements and cellars. 2. Within 10' of a bedroom door when on floor with bedrooms.	R401.3 Minimum Drainage Slope 6" in first 10' R402.2 Min. Concrete Strength 2,500 PSI BSM walls, RDNs and other not exposed to weather. R402.2 Min. Concrete Strength 2,500 PSI Basement slabs and interior slabs on grade, except garage.	R402.2 Min. Concrete Strength 3,000 PSI Basement walls, foundations and other exposed to weather. R402.2 Min. Concrete Strength 3,000 PSI Porches, steps, garage fir and other exposed to weather.	R403.1.1 Min. Footing Width 12" R403.1.3.2 Slab w/ Footing Reinf. 1#4 top + bot. R403.1.6 Foundation Anchorage 1/2" @ 48" O.C.	R403.1.6 Foundation Anchorage 7" embedment R403.1.6 Foundation Anchorage min. 2 per plate R403.1.6 Foundation Anchorage max. 12" from end
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R403.3(1) Min. Footing Depth 12" R403.3(2) Air-Freezing Index 1,500	R404.1.2(1) Min. Horizontal Reinf. 1#4 w/in top 12" R404.1.2(1) Min. Horizontal Reinf. 1#4 mid-height R404.1.2(2,3,4) Min. Vertical Reinf. (see table)	R806.2 Minimum Vent Area 1/150 R806.3 Min. Ventil/Insl. Clearance 1" R807.1 Min. Attic Access 22" x 30"
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Reference Energy Code SBC-8 Rhode Island State Energy Conservation Code International Energy Code International Energy Conservation Code, 2015 Edition	R301.1 Climate Zone 5A R401.2 New Con. HERS Ratings 65 or less more than 3,000 SF	R401.2 New Con. HERS Ratings 70 or less less than 3,000 SF R402.1.1 Max. Window U-Factor 0.32	R402.1.1 Max. Skylight U-Factor 0.55 R402.1.1 Max. Glazing SHGC NR R402.1.1 Min. Ceiling R-Value 49	R402.1.1 Min. Wood Wall R-Value 20 or 13+5 R402.1.1 Min. Floor R-Value 30 R402.1.1 Min. Bsmt. Wall R-Value 15/19	R402.1.1 Min. Slab R-Value/Depth 10, 2'-0" R402.1.1 Min. Crawl Space R-Value 15/19
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**Energy
Code
Summary**



NATIONAL
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(401) 714-2586
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SYCAMORE
RESIDENCE
85 SYCAMORE STREET
PROVIDENCE, RI 02909

AREA SUMMARY	
AREA	GSF
LIVABLE SPACE	
FIRST FLOOR	784
SECOND FLOOR	612
TOTAL	1,396
OTHER SPACES	
COVERED PORCH	224
	168

GENERAL NOTES

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DRAWING LIST	
NO.	TITLE
0200	COVER
0300	SITE PLAN
0400	FOUNDATION PLAN
A100	BASEMENT PLAN
A101	FIRST FLOOR PLAN
A102	ROOF PLAN
A200	ELEVATIONS
A201	ELEVATIONS

LEGEND

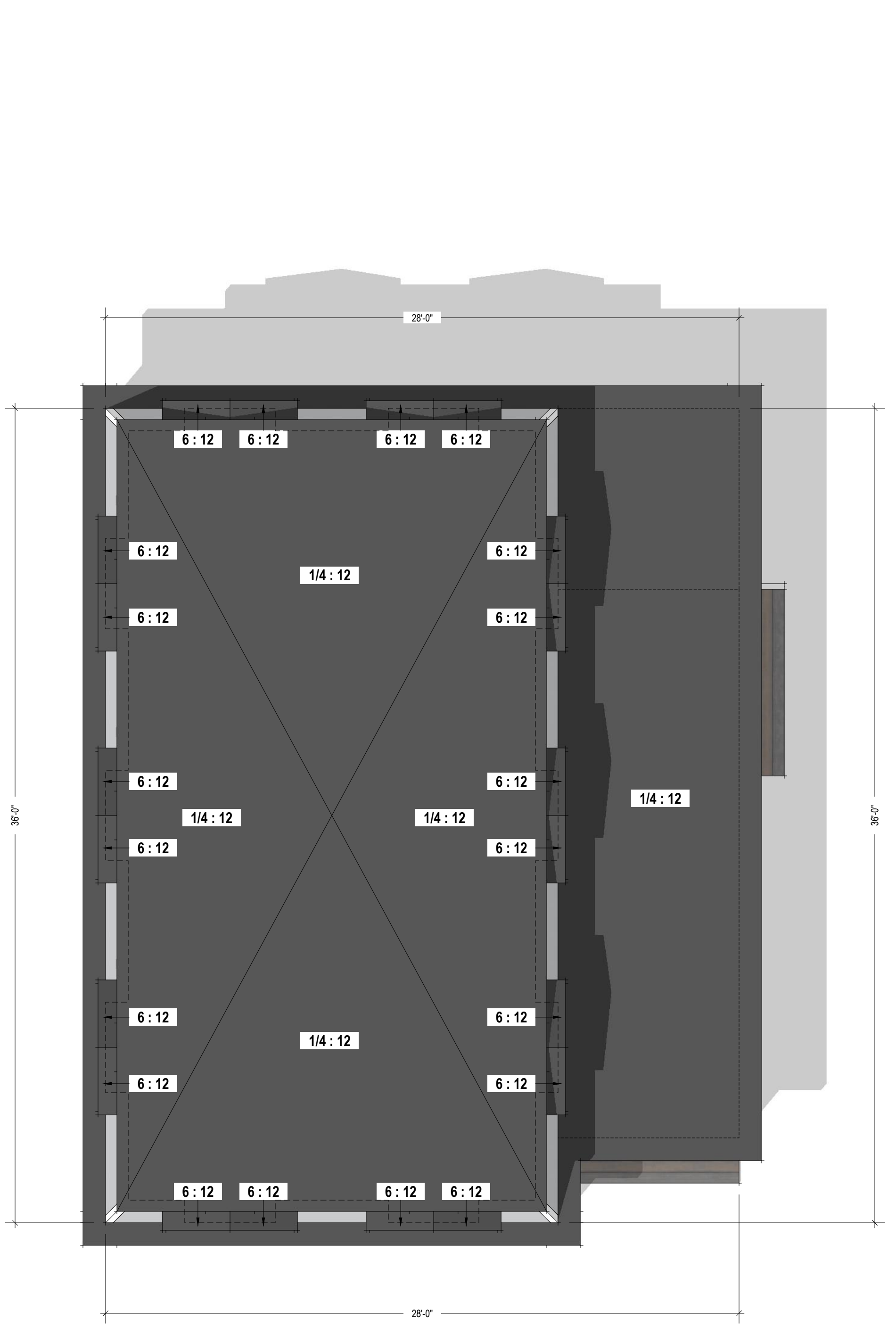
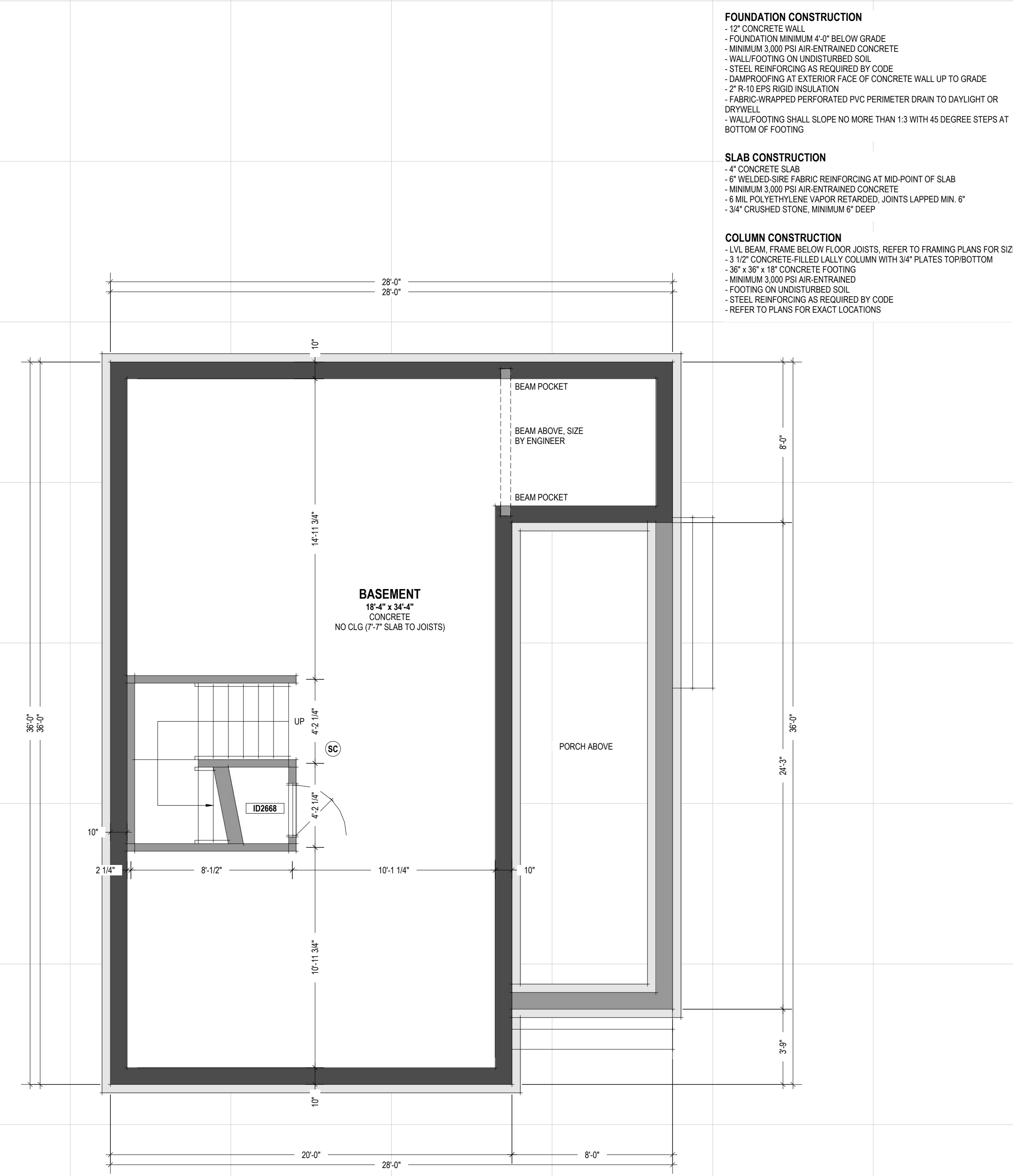
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(2668 = 2'-6" x 6'-8")

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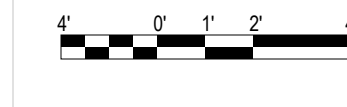
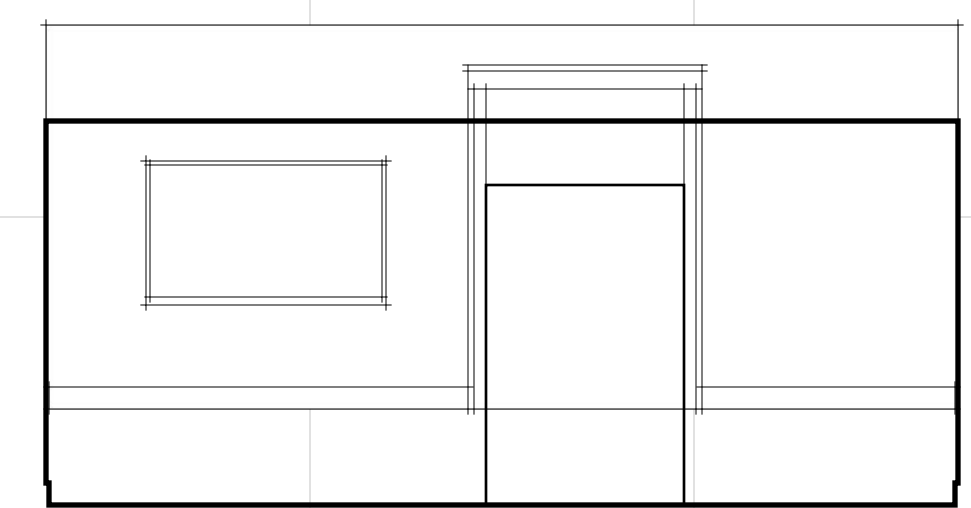
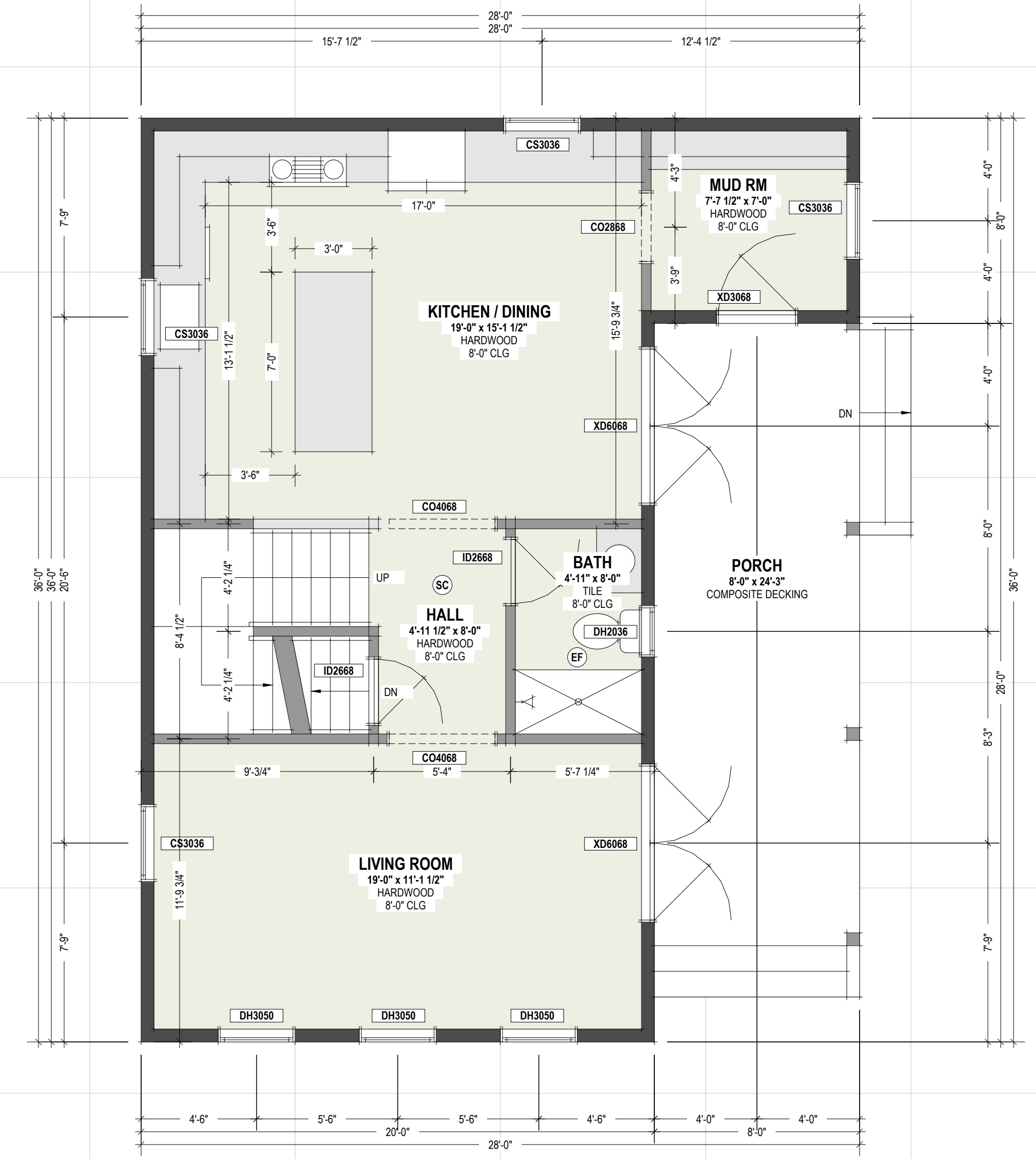
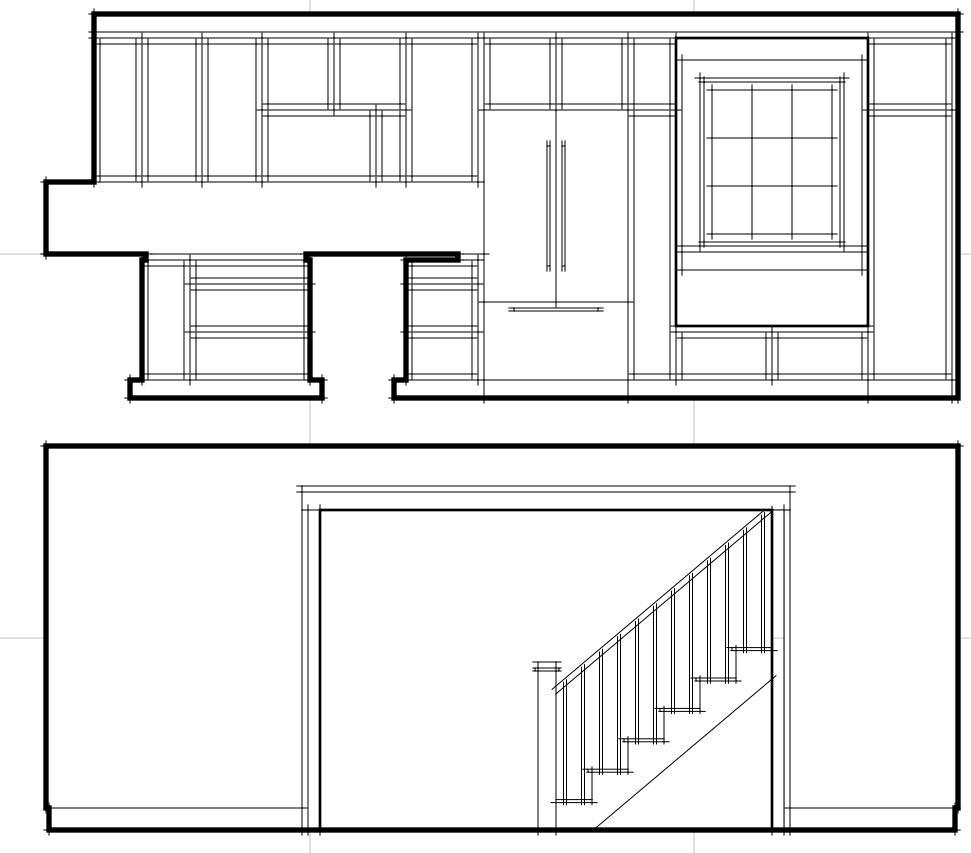
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CONSTRUCTION PLANS

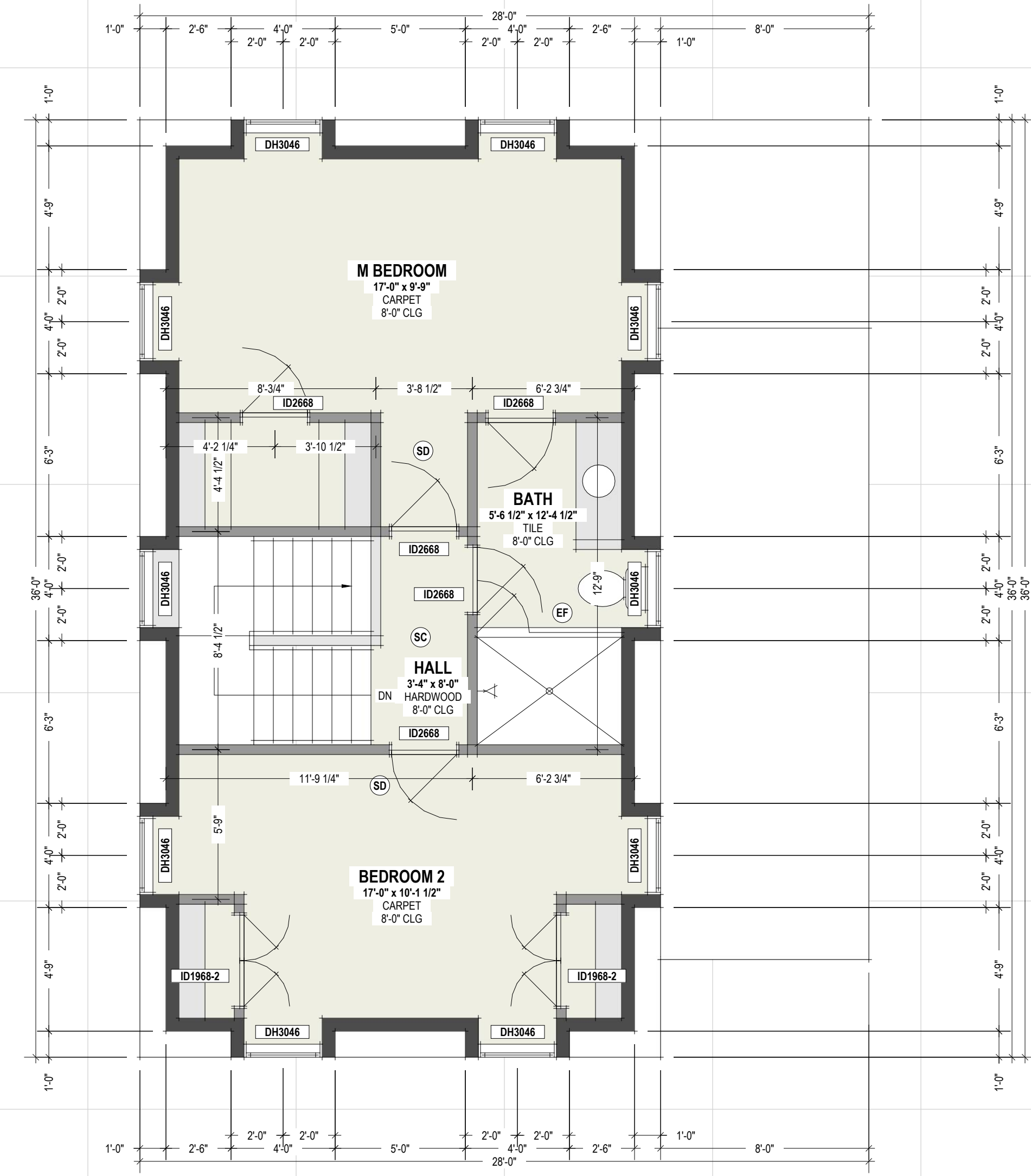
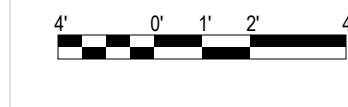
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1 FIRST FLOOR PLAN
1/4" = 1'-0"



2 SECOND FLOOR PLAN
1/4" = 1'-0"



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AREA SUMMARY

AREA	GSF
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OTHER SPACES	
COVERED PORCH	224
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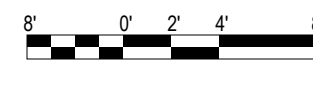
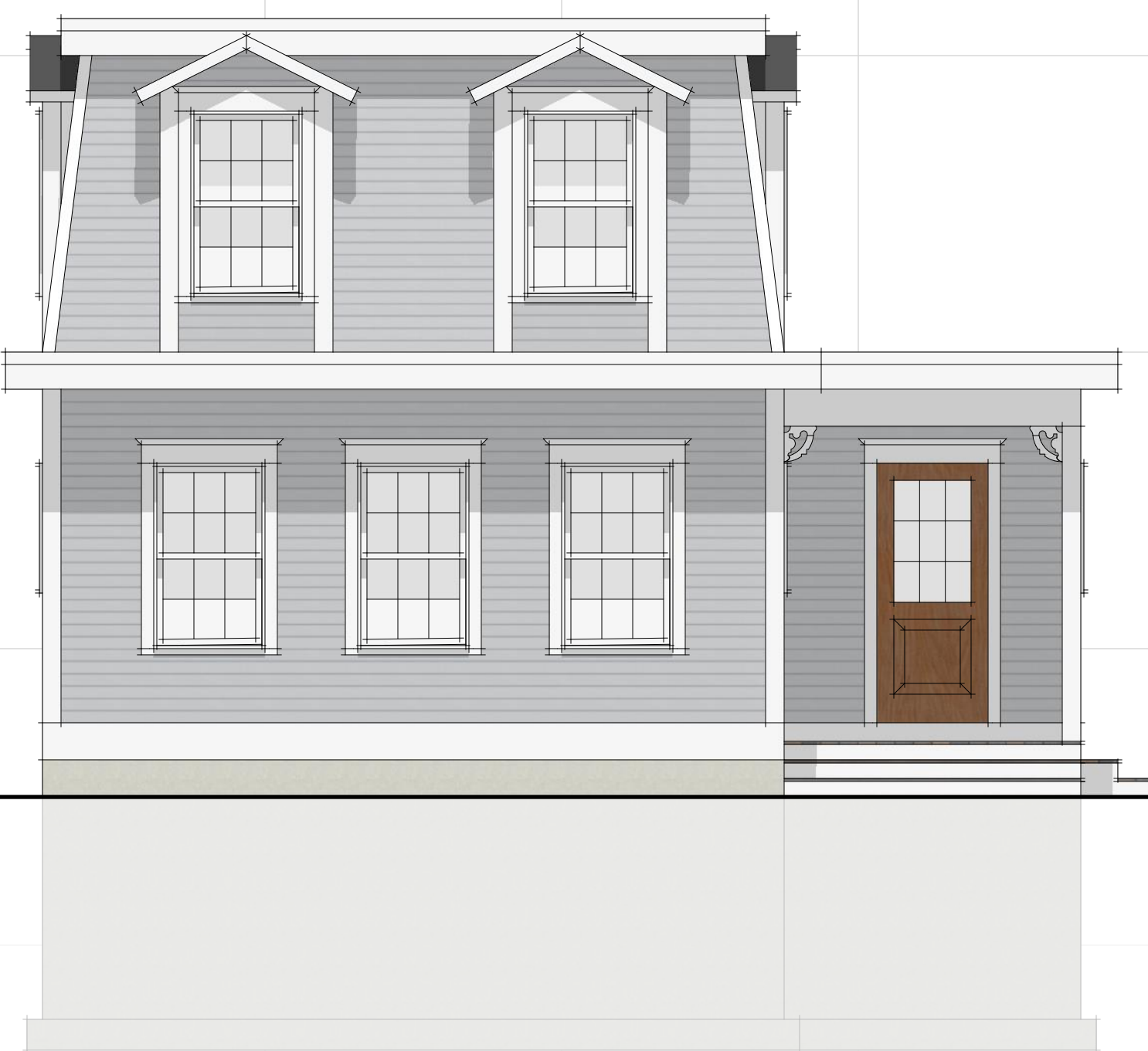
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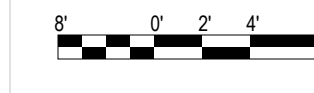
CONSTRUCTION PLANS

05/05/2022
797285 KR 36x24 03

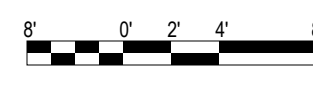
1 FRONT ELEVATION
A200
1/8" = 1'-0"



2 REAR ELEVATION
A200
1/8" = 1'-0"



3 LEFT ELEVATION
A200
1/8" = 1'-0"



4 RIGHT ELEVATION
A200
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A200

CONSTRUCTION PLANS

05/05/2022
797285 KR 36x24 04