

GENERAL NOTES:

1. THE SITE IS LOCATED ON THE CITY OF PROVIDENCE ASSESSOR'S PLAT 23 LOTS 227, 596, 991 & 992.
2. THE SITE IS APPROXIMATELY 0.76 ACRES AND IS ZONED R-3.
3. THE OWNER OF AP 23 LOTS 227, 596, 991 & 992 IS:
COMMUNITY PREPARATORY SCHOOL, INC
126 SOMERSET STREET
PROVIDENCE, RI 02907
4. THIS SITE IS LOCATED IN FEMA FLOOD ZONE X (UNSHADED). REFERENCE FEMA FLOOD INSURANCE RATE MAP 440703036G, MAP REVISED MARCH 2, 2009. (FLOOD PLAIN DESCRIPTIONS SHOWN BELOW).
 - ZONE X (UNSHADED) - THIS SITE IS LOCATED IN FEMA FLOOD ZONE X, WHICH ARE AREAS WHERE THERE IS MINIMAL FLOODING.
5. THE BOUNDARY LINES AS SHOWN ON THE ENGINEERING PLAN SET DEPICTS THE RESULTS OF A CLASS I BOUNDARY RETRACEMENT SURVEY AS PERFORMED BY DIPRETE ENGINEERING ASSOCIATES, INC. THIS PLAN IS NOT TO BE CONSTRUED AS A CLASS I BOUNDARY RETRACEMENT SURVEY PLAN AND IS NOT SUITABLE FOR RECORDING AS A CLASS I STANDARD SURVEY PLAN.
6. CONTOUR DATA SHOWN ON THIS PLAN CONFORMS TO A 1:2 TOPOGRAPHICAL SURVEY STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS BY DIPRETE ENGINEERING.
7. ALL WORK PERFORMED HEREIN IS TO BE GOVERNED BY CURRENT EDITIONS OF THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, CITY OF PROVIDENCE STANDARD SPECIFICATIONS AND DETAILS AND SPECIFICATIONS INCLUDED AS PART OF THE DRAWINGS. IN AREAS OF CONFLICT BETWEEN THE DIFFERENT SPECIFICATIONS, THE DESIGN PLANS AND PROJECT SPECIFICATIONS WILL TAKE PRECEDENCE OVER THE GENERAL SPECIFICATIONS AND THE DESIGN ENGINEER WILL INTERPRET THE CONSTRUCTION REQUIREMENT. THE CONTRACTOR IS ADVISED TO SUBMIT A REQUEST FOR INFORMATION (RFI) FOR ANY AREAS OF CONFLICT BEFORE COMMITTING TO CONSTRUCTION.
8. THE SITE IS NOT WITHIN A:
 - GROUNDWATER PROTECTION AREA (RDHM)
 - NATURAL HERITAGE AREA (RDHM)
 - GROUNDWATER PROTECTION OVERLAY DISTRICT (TOWN)
9. THE FOLLOWING DOCUMENTS ARE CONSIDERED PART OF THE PROJECT PLANS AND THE CONTRACTOR/OWNER MUST MAINTAIN THESE DOCUMENTS AS PART OF A FULL PLAN SET:
 - STORMWATER OPERATION AND MAINTENANCE PLAN (O&M), THE O&M CONTAINS:
 - LONG TERM MAINTENANCE
 - LONG TERM POLLUTION PREVENTION
10. THIS PLAN SET REFERENCES RIOT STANDARD DETAILS (DESIGNATED AS RIOT STD X.X.X). RIOT STANDARD DETAILS ARE AVAILABLE FROM RIOT AND ONLINE AT:
HTTP://WWW.DOT.RI.GOV/BUSINESS/CONTRACTORSANDCONSULTANTS.PHP.
11. THE SITE IS TO BE SERVICED BY PUBLIC WATER AND PUBLIC SEWER.
12. THE DRAINAGE SYSTEM IS DESIGNED TO MEET THE PROVIDENCE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WITH THE USE OF CATCH BASINS AND UNDERGROUND DRAINAGE BASINS. THE STORMWATER MANAGEMENT SYSTEM MEETS THE RDHM BEST MANAGEMENT PRACTICES.
13. THE SITE IS PROPOSED TO BE BUILT IN ONE PHASE.
14. SOIL EVALUATIONS WERE COMPLETED BY ECOSYSTEM SOLUTIONS, INC. ON MARCH 25, 2022.
15. ANY PROPRIETARY PRODUCTS REFERENCED IN THIS PLAN SET ARE REPRESENTATIVE OF THE MINIMUM DESIGN REQUIREMENTS FOR THE PURPOSE THEY PROPOSE TO SERVE. ALTERNATIVES TO ANY PROPRIETARY PRODUCT MAY BE SUBMITTED TO THE ENGINEER OF RECORD FOR CONSIDERATION, WHICH MUST BE ACCOMPANIED BY APPROPRIATE SPECIFICATION SHEETS/DESIGN CALCULATIONS THAT DEMONSTRATE THE ALTERNATIVE(S) MEET THE MINIMUM DESIGN PARAMETERS OF THE PRODUCT SHOWN ON THE PLANS. NO ALTERNATIVES MAY BE USED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
16. THIS PLAN SET MAY REFERENCE AND/OR INCLUDE REPRODUCTIONS OF PROPRIETARY PRODUCTS/DETAILS BY OTHERS, AND/OR THEIR ASSOCIATED SPECIFICATIONS, ANY REFERENCED OR REPRODUCED PROPRIETARY PRODUCT OR DETAIL BY OTHERS THAT IS SHOWN ON DIPRETE PLANS IS STRICTLY FOR INFORMATION/SPECIFICATION PURPOSES ONLY. DIPRETE ENGINEERING DOES NOT WARRANT ANY PROPRIETARY PRODUCTS, DETAILS BY OTHERS OR THEIR RESPECTIVE DESIGNS. IF A DIPRETE ENGINEERING PLAN INCLUDES A PROPRIETARY PRODUCT/DETAIL BY OTHERS (EITHER EXPLICITLY OR IMPLIED) AND IS STAMPED BY A REGISTERED PROFESSIONAL ENGINEER AND/OR REGISTERED LANDSCAPE ARCHITECT OF DIPRETE ENGINEERING, SAID STAMP DOES NOT EXTEND TO ANY PORTION OF THE PROPRIETARY PRODUCT/DETAIL BY OTHERS OR ITS DESIGN.

SOIL INFORMATION:

(REFERENCE: SOIL MAPPING OBTAINED FROM RIGIS, SOIL GEOGRAPHIC DATA DEVELOPED BY THE RHODE ISLAND SOIL SURVEY PROGRAM IN PARTNERSHIP WITH THE NATIONAL COOPERATIVE SOIL SURVEY)
MU MERRIMAC-URBAN LAND COMPLEX

SOIL EROSION AND SEDIMENT CONTROL NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ON SITE WHICH MUST BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE REGULATIONS AND AUTHORITY HAVING JURISDICTION. THE CONTRACTOR MUST NOTIFY THE DESIGN ENGINEER, THE DIRECTOR OF PUBLIC WORKS, THE CITY ENGINEER, AND RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. ALL EROSION CONTROL MUST BE INSTALLED PER THE LATEST EDITION OF THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL (RISSC) HANDBOOK AND THE SOIL EROSION AND SEDIMENT CONTROL PLANS. NOTE THE SOIL EROSION AND SEDIMENT CONTROL SHOWN ON THESE PLANS ARE THE MINIMUM QUANTITY/TYPE OF EROSION CONTROL DEVICES AND MATERIALS DEEMED REQUIRED BY DIPRETE ENGINEERING TO MEET THE OBJECTIVE OF THE RISSC HANDBOOK, BUT IS CONSIDERED A GUIDE ONLY. ADDITIONAL MEASURES/ALTERNATE CONFIGURATIONS MAY BE REQUIRED IN ORDER TO MEET THE RISSC HANDBOOK BASED ON FACTORS INCLUDING (BUT NOT LIMITED TO) SITE PARAMETERS, WEATHER, INSPECTIONS AND UNIQUE FEATURES. THE SESC WILL CONTINUE TO EVOLVE THROUGHOUT CONSTRUCTION PHASES. PURSUANT TO NOTE 1 ABOVE, SESC AND THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE SITE IS FULLY STABILIZED AND/OR SESC RESPONSIBILITIES ARE ASSUMED BY THE OWNER IN WRITING.
3. TEMPORARY SWALES MUST BE USED TO CONTROL RUNOFF DURING CONSTRUCTION OF THE PROPOSED SITE WORK, AND MUST BE VEGETATED AFTER CONSTRUCTION. EROSION CONTROL MATS MUST BE INSTALLED, IF NECESSARY, TO PREVENT EROSION AND SUPPORT VEGETATION. AFTER CONSTRUCTION IS COMPLETE AND TRIBUTARY AREAS TO THE SWALES HAVE BEEN STABILIZED, THE TEMPORARY SWALES MUST BE CLEARED AND FINAL DESIGN, INCLUDING INSTALLATION OF THE GRASS SWALE MUST BE PER THE DESIGN PLANS.
4. INLET PROTECTION MUST BE INSTALLED ON ALL CATCH BASINS ONCE CONSTRUCTED.
5. IF CONCRETE TRUCKS ARE WASHED OUT ON SITE, ALL WASHOUT MUST BE PERFORMED IN THE DESIGNATED CONCRETE WASHOUT AREA.

DEMOLITION NOTES:

1. CONTRACTOR MUST OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR MUST PERFORM DAILY SWEEPING AT CONSTRUCTION ENTRANCES DURING DEMOLITION AND CONSTRUCTION TO MINIMIZE SEDIMENTS ON EXTERNAL STREETS.
3. ANY EXISTING BUILDINGS AND PROPERTY PROPOSED TO REMAIN THAT ARE DAMAGED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
4. CONTRACTOR IS RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) ALL MATERIALS INDICATED ON THE PLANS UNLESS SPECIFIED OTHERWISE HEREIN. R&D MATERIALS INCLUDE BUT ARE NOT LIMITED TO PAVEMENT, GRAVEL, CATCH BASINS, MANHOLES, GRATES/FRAMES/COVERS, AND ANY EXCESS SOIL THAT IS NOT INCORPORATED INTO THE WORK.
5. IN ADDITION TO THOSE AREAS SPECIFICALLY DESIGNATED ON THE PLANS, ALL DISTURBED AREAS INCLUDING THE CONTRACTOR'S STOCKPILE AND STAGING AREAS WITHIN THE LIMIT OF WORK MUST BE RESTORED TO MATCH THE DESIGN PLANS.
6. CONTRACTOR MUST DOCUMENT LOCATION OF ALL SUBSURFACE UTILITIES REMAINING IN PLACE AFTER DEMOLITION (ACTIVE AND INACTIVE/ABANDONED). LOCATION MUST BE DOCUMENTED BY FIELD SURVEY OR SWING TESTS. COPIES OF LOCATION DOCUMENTATION MUST BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF DEMOLITION AND PRIOR TO START OF NEW CONSTRUCTION. A MARKER MUST BE INSTALLED TO FINISH GRADE AT ALL INSTALLED CAPS/POLES. THE MARKER CAN BE A POST IN CONSTRUCTION AREAS OR PAINTED ON A PERMANENT SURFACE.
7. ACTIVE UTILITY LINES AND STRUCTURES NOT SPECIFICALLY NOTED ON PLANS, BUT WHICH ARE ENCOUNTERED TO BE IN CONFLICT WITH THE PROPOSED WORK, MUST BE EXTENDED, PROTECTED, OR REMOVED BY THE CONTRACTOR AS DIRECTED OR REQUIRED BY THE UTILITY ENTITY OR OWNER UNLESS OTHERWISE NOTED.
8. CONTRACTOR MUST COORDINATE THE CUTTING AND CAPPING OF ALL UTILITIES WITH THE OWNER, THE MUNICIPALITY, AND ALL APPLICABLE UTILITY ENTITIES HAVING JURISDICTION.
9. INACTIVE SUBSURFACE UTILITIES NOT IN CONFLICT WITH THE PROPOSED WORK AREA MAY BE ABANDONED IN PLACE WITH WRITTEN PERMISSION FROM THE OWNER.

TRAFFIC NOTES:

1. ALL TRAFFIC CONTROL MUST CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) HANDBOOK ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) CURRENT EDITION.
2. DURING CONSTRUCTION, TRAFFIC CONTROL MUST BE USED FOR SEPARATION OF ACTIVE TRAFFIC FROM WORK ZONE PER MUTCD REQUIREMENTS.
3. DURING CONSTRUCTION FLAGGERS MUST BE EMPLOYED TO ENSURE SAFETY FOR INTERACTION OF CONSTRUCTION VEHICLES AND ACTIVE TRAFFIC.
4. ALL SIGNS, FLAGGERS, TRAFFIC CONTROL DEVICES, AND TEMPORARY TRAFFIC ZONE ACTIVITIES MUST MEET THE REQUIREMENTS OF THE MUTCD LATEST EDITION AND SUBSEQUENT ADDENDA.
5. TEMPORARY CONSTRUCTION SIGNS MUST BE MOUNTED ON CITY OF PROVIDENCE APPROVED SUPPORTS AND MUST BE REMOVED OR COVERED WHEN NOT APPLICABLE.
6. A PERMIT MUST BE OBTAINED FROM THE PROVIDENCE TRAFFIC ENGINEER FOR ANY ACTIVITY THAT OBSTRUCTS TRAFFIC OR REGISTRATION.

AS-BUILT NOTES:

ALL COMPONENTS OF THE DRAINAGE, SEWER, AND WATER SYSTEMS MUST BE FIELD LOCATED PRIOR TO COVERING. NOTIFY SURVEYOR A MINIMUM OF SEVENTY-TWO (72) HOURS IN ADVANCE OF NEED FOR FIELD LOCATION OF IMPROVEMENTS. SURVEYOR MUST PROVIDE OWNER AND CONTRACTOR WITH WRITTEN NOTICE OF COMPLETION OF FIELD WORK PRIOR TO CONTRACTOR COVERING IMPROVEMENTS. OWNER/DIPRETE WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE SITE CONTRACTOR.

LAYOUT AND MATERIALS:

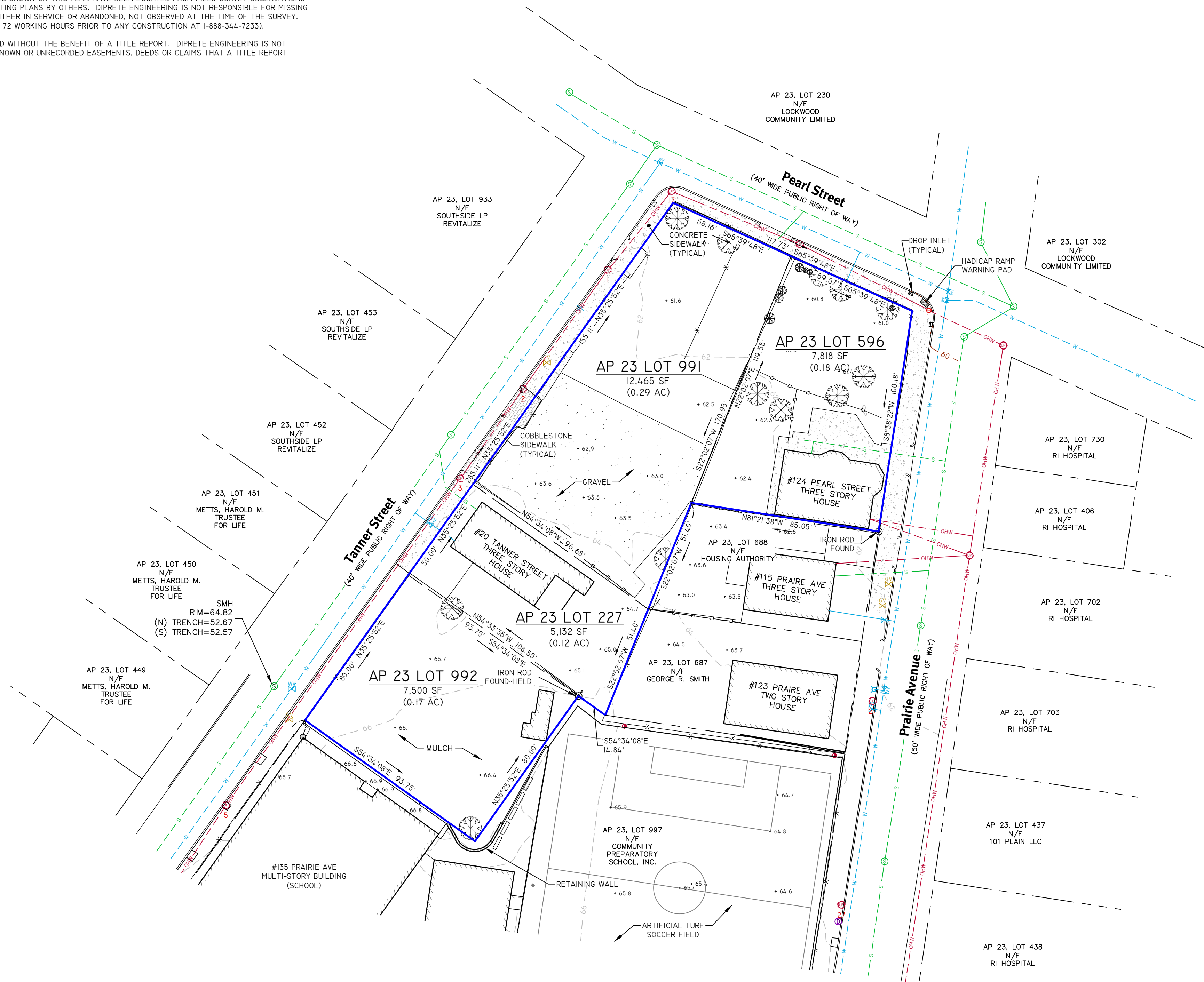
1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
2. CURBING MUST BE PRECAST CONCRETE, MONOLITHIC CONCRETE OR AS LABELED ON THE PLANS.
3. SIDEWALK MUST BE CONCRETE OR AS LABELED ON THE PLANS.
4. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR MUST REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
5. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS PERTAINING TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
6. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION MUST BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
7. CONTRACTOR MUST NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS. CONTRACTOR MUST VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE STAMPED PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
8. INFRARED TREATMENT OF PAVEMENT IS REQUIRED AT ALL CURB CUTS, AT ANY DISTURBED PAVEMENT ON ROADWAYS, AND WHERE ANY NEW PAVEMENT MEETS EXISTING PAVEMENT.
9. ALL EXISTING PAVEMENT MARKING REMOVED AS INCIDENTAL DURING CONSTRUCTION MUST BE REPLACED IN-KIND FOLLOWING COMPLETION OF CONSTRUCTION UNLESS OTHERWISE NOTED.
10. NEW PAVEMENT MARKING MUST BE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248 TYPE F. PAINT MUST BE APPLIED AS SPECIFIED BY THE MANUFACTURER.

GRADING AND UTILITY NOTES:

1. CONSTRUCTION TO COMMENCE FALL 2022 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
2. THE CONTRACTOR MUST COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDING. THIS MUST BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DIPRETE ENGINEERING THAT UTILITY SERVICE IS AVAILABLE.
3. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDING TO ENSURE SURFACE WATER AND/OR GROUNDWATER IS DIRECTED AWAY FROM THE STRUCTURE.
4. PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERSECTIONS WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES. CONTRACTOR MUST NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
5. ALL PROPOSED UNDERGROUND UTILITIES SERVING THE SITE AND BUILDINGS MUST BE COORDINATED WITH OWNER, ARCHITECT AND ENGINEER PRIOR TO INSTALLATION.
6. ALL RETAINING WALLS AND STEEP SLOPES ARE SUBJECT TO FINAL STRUCTURAL DESIGN. DIPRETE ENGINEERING IS NOT PROVIDING THE STRUCTURAL DESIGN OF THESE ITEMS. ALL WALLS AND STEEP SLOPES MUST BE DESIGNED AND BUILT UNDER THE DIRECTION OF A RHODE ISLAND LICENSED PROFESSIONAL ENGINEER QUALIFIED IN GEOTECHNICAL ENGINEERING AND CERTIFIED TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT. SHOP DRAWINGS MUST BE SUBMITTED PRIOR TO CONSTRUCTION. FINAL STRUCTURAL DESIGN MUST INCORPORATE THE INTENT OF THE GRADING SHOWN ON THESE PLANS AND ALL WORK MUST BE WITHIN THE LIMIT OF DISTURBANCE SHOWN ON THE PLANS.
7. ALL CUT AND FILL WORK MUST BE DONE UNDER THE DIRECTION OF A PROFESSIONAL GEOTECHNICAL ENGINEER, WITH TESTING AND CERTIFICATION PROVIDED TO THE OWNER AT THE COMPLETION OF THE PROJECT. DIPRETE ENGINEERING IS NOT PROVIDING THE FILL SPECIFICATION, GEOTECHNICAL ENGINEERING, STRUCTURAL ENGINEERING SERVICES, OR SUPERVISION AS PART OF THESE DRAWINGS.
8. MATERIAL STOCKPILES MUST NOT BE LOCATED IN THE RIGHT-OF-WAY, AND TRENCHES MUST NOT BE LEFT OPEN OVERNIGHT.
9. ALL LOAM IN DISTURBED AREAS MUST BE STOCKPILED FOR FUTURE USE.
10. ALL EXCESS SOIL, TREES, ROCKS, BOLLARDS, AND OTHER REFUSE, MUST BE DISCARDED OFF SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS. STUMPS MUST BE GROUND ON SITE OR REMOVED.
11. THE SITE WILL HAVE 6" CONCRETE CURBING. SITE GRADING/CONTOURS SHOWN ON THE PLANS DO NOT NECESSARILY REFLECT THE APPROPRIATE CURBING REVEAL. CONTRACTOR MUST INSTALL CURBING WITH APPROPRIATE REVEAL UNLESS OTHERWISE NOTED.
12. NO STUMP DUMPS ARE PROPOSED ON SITE.
13. CONTRACTOR MUST PROVIDE SAW CUTTING AND FULL DEPTH PAVEMENT RESTORATION IN AREAS WHERE PAVEMENT AND/OR SIDEWALK IS REMOVED FOR UTILITY INSTALLATION.
14. CONTRACTOR MUST HOLD SUPPORT/ RESTORE ALL EXISTING UTILITY COMPONENTS INCLUDING (BUT NOT LIMITED TO) POLES, MAST ARMS AND ABOVEGROUND OBJECTS AS NECESSARY DURING THE PROPOSED WORKS AND ELECTRICAL INSTALLATION. CONTRACTOR MUST COORDINATE SAID WORKS WITH ALL ASSOCIATED UTILITY OWNERS ACCORDINGLY. ANY EXISTING ITEMS DAMAGED OR REMOVED AS INCIDENTAL DURING UTILITY CONNECTION/ ELECTRICAL INSTALLATION INCLUDING (BUT NOT LIMITED TO) CURB IN THE ROW MUST BE REPLACED IN KIND FOLLOWING COMPLETION OF WORKS.
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GENERAL NOTES

- THE PARCELS ARE FOUND ON ASSESSOR'S PLAT 23, LOTS 227, 596, 991 & 992 IN THE CITY OF PROVIDENCE, PROVIDENCE COUNTY, RHODE ISLAND.
- THE OWNER OF ASSESSOR'S PLAT 23, LOT 227 PER DEED BOOK 12810, PAGE 62 IS COMMUNITY PREPARATORY SCHOOL, INC. THE OWNER OF ASSESSOR'S PLAT 23, LOT 596 PER DEED BOOK 4872, PAGE 340 IS COMMUNITY PREPARATORY SCHOOL, INC. THE OWNER OF ASSESSOR'S PLAT 23, LOT 991 PER DEED BOOK 10949, PAGE 99 IS COMMUNITY PREPARATORY SCHOOL, INC. THE OWNER OF ASSESSOR'S PLAT 23, LOT 992 PER DEED BOOK 12576, PAGE 132 IS COMMUNITY PREPARATORY SCHOOL, INC.
- THE PARCEL IS LOCATED IN ZONE X PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 44007C0365, DATED JUNE 9, 2015.
- THE PARCEL IS ZONED R-3 PER THE ASSESSOR'S ONLINE DATABASE. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
- THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
- FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON NOVEMBER 18, 2021 & JUNE 20, 2022. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THOSE DATE.
- ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY OBSERVATIONS ONLY TOGETHER WITH EXISTING PLANS BY OTHERS. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR MISSING UNDERGROUND UTILITIES, EITHER IN SERVICE OR ABANDONED, NOT OBSERVED AT THE TIME OF THE SURVEY. (PLEASE CONTACT DIGSAFE 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 1-888-344-7233).
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.



*Zoning Note

General notes are based on information from the City of Providence's assessor's database and their zoning ordinance only. Any special permits or variances specific to this site are not taken into consideration. Please contact the City of Providence's Zoning Department for any additional information or for a certificate of zoning.

PLAN REFERENCES:

- "PLAT OF LAND CONDEMNED FOR THE PROVIDENCE REDEVELOPMENT AGENCY UPPER SOUTH PROVIDENCE REDEVELOPMENT AREA" RECORDED IN THE CITY OF PROVIDENCE LAND EVIDENCE RECORDS DEED BOOK 3880 PAGE 24.
- THE CITY OF PROVIDENCE RHODE ISLAND PLAT NO. 023.
- "ADMINISTRATIVE SUBDIVISION FOR COMMUNITY PREPARATORY SCHOOL AND SHELTER SERVICES, INC., PROVIDENCE, RHODE ISLAND, DATED APRIL 28, 2006, SCALE 1"=20" REVISED APRIL 11, 2008.
- "PROVIDENCE, R.I., P.W. DEPT. ENGINEERING OFFICE, CITY PROPERTY SECTION, PLAN NO. 061658, DATE JANUARY 28, 1958", RECORDED ON MAY 10, 1991.

DATUM NOTE:

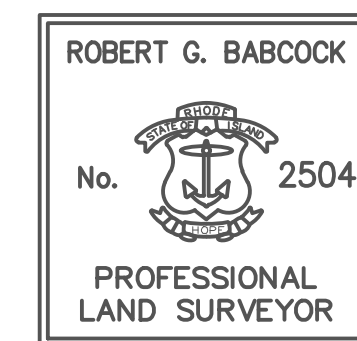
- ELEVATIONS SHOWN HEREON, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DETERMINED BY DIPRETE ENGINEERING USING REAL TIME KINEMATIC G.P.S. OBSERVATIONS.

SURVEYOR'S CERTIFICATE

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

- LIMITED CONTENT BOUNDARY SURVEY (PERIMETER) CLASS 1
- TOPOGRAPHIC SURVEY T-2

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: PERIMETER RETRACEMENT.



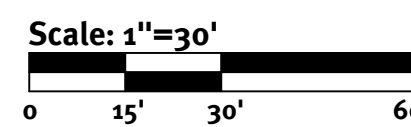
ROBERT G. BABCOCK, RIPLS #2504, COA #LS.000A160
8/8/22

LEGEND

—	WATER LINE	123/1234	DEED BOOK/PAGE	●	BOLLARD
—	SEWER LINE	AP	ASSESSOR'S PLAT	●	SOIL EVALUATION
—	SEWER FORCE MAIN	HC	HANDICAPPED	●	CATCH BASIN
—	GAS LINE	N/F	NOW OR FORMERLY	●	DOUBLE CATCH BASIN
—	ELECTRIC LINE	LC	LANDSCAPING	●	WATER VALVE
—	OVERHEAD WIRES	(R)	RECORD	●	GAS VALVE
—	DRAINAGE LINE	(CA)	CHORD ANGLE	▲	WETLAND FLAG
—	MINOR CONTOUR LINE	▲	NAIL/SPIKE	●	DRAINAGE MANHOLE
—	MAJOR CONTOUR LINE	●	DRILL HOLE	↑	FLARED END SECTION
—	PROPERTY LINE	●	IRON ROD/PIPE	●	GUY POLE
—	ASSESSORS LINE	●	BOUND	●	ELECTRIC MANHOLE
—	TREELINE	●	SIGN POST	●	UTILITY/POWER POLE
—	GUARDRAIL	●	SEWER MANHOLE	●	LIGHTPOST
—	FENCE	●	SEWER CLEANOUT	●	WELL
—	RETAINING WALL	●	HYDRANT	●	MONITORING WELL
—	STONE WALL	●	IRRIGATION VALVE	●	BENCH MARK
—		●	UNKNOWN MANHOLE	●	TREE

This Plan Should Be Indexed By The Following Streets:

- Tanner Street
- Pearl Street
- Prairie Avenue



Existing Conditions Plan
Tanner St, Pearl St. & Prairie Ave
Providence, Rhode Island

Client
Community Preparatory School
135 Prairie Avenue, Providence, Rhode Island 02907
Tel: 401-943-1000 Fax: 401-464-6006 www.diprete-eng.com

SHEET 1 OF 1



- SOIL EROSION CONTROL LEGEND**
- EROSION CONTROL (COMPOST SOCK, SILT FENCE (RI STD 9-2.0, OR APPROVED EQUAL))
 - LIMIT OF DISTURBANCE (NO SEDIMENT CONTROL)
 - CONSTRUCTION ENTRANCE (RIDOT STD 9-9.0)
 - INFILTRATING AREA (TO BE PROTECTED BY COMPOST SOCK OR SILT FENCE)
 - FINAL CONTOUR GRADE
 - INLET SEDIMENT CONTROL

LLB
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www.LLBarch.com

DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-464-6006
www.DiPrete-Eng.com

Engineers • Planners • Surveyors

RENOVATION AND ADDITION TO:
COMMUNITY PREPARATORY SCHOOL
126 SOMERSET STREET
PROVIDENCE, RI 02907

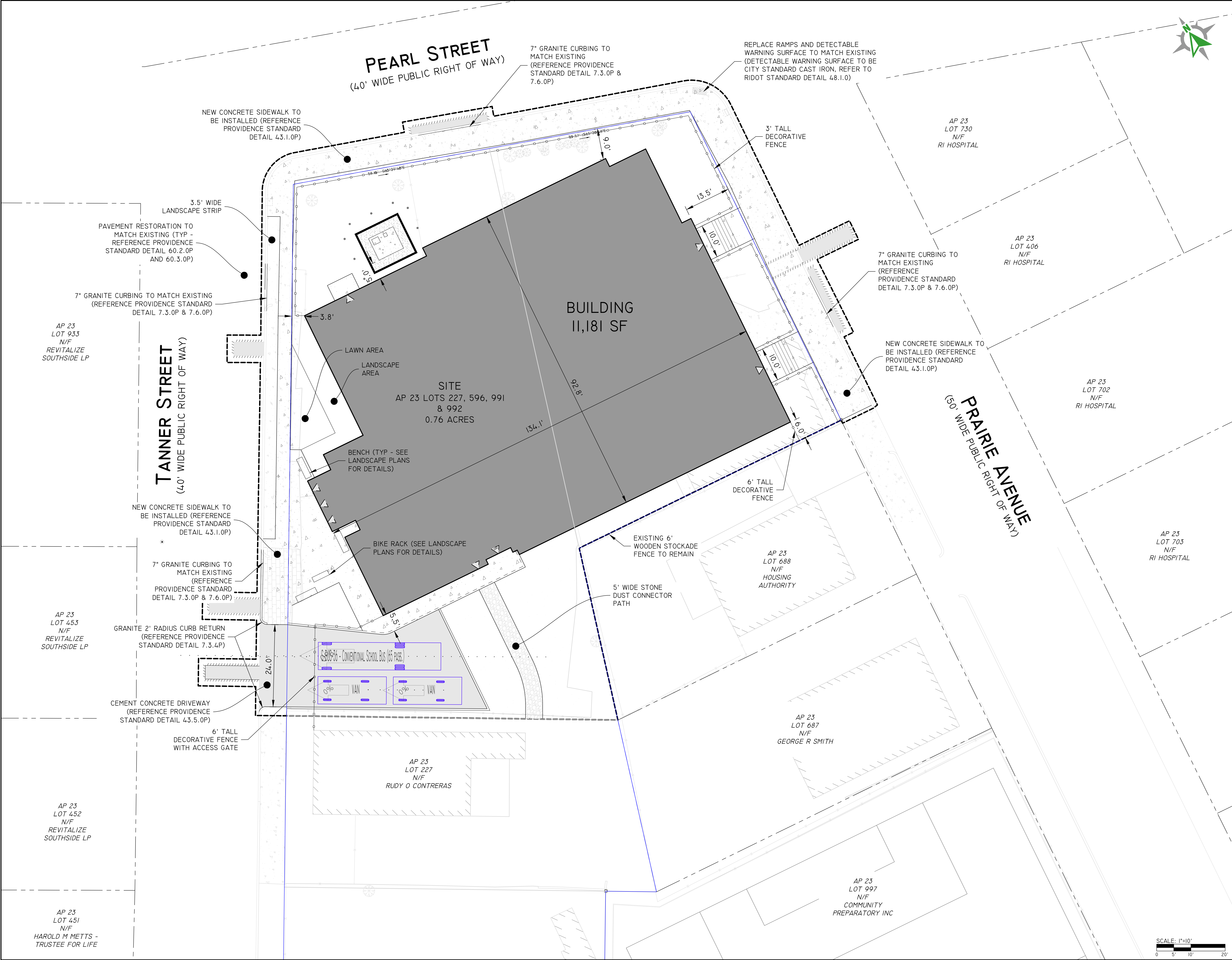
LEONARD R. GRADENIA
No. 6610
REGISTERED PROFESSIONAL ENGINEER
CIVIL

PERMITTING PLANS
AUGUST 8, 2022
REVISIONS

SOIL EROSION AND
SEDIMENT CONTROL PLAN

C3.00

SCALE: 1"=10'
0 5' 10' 20'



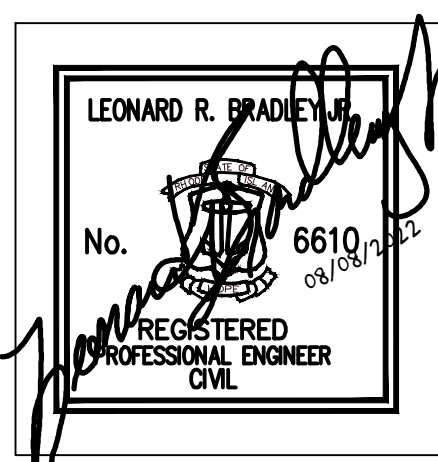
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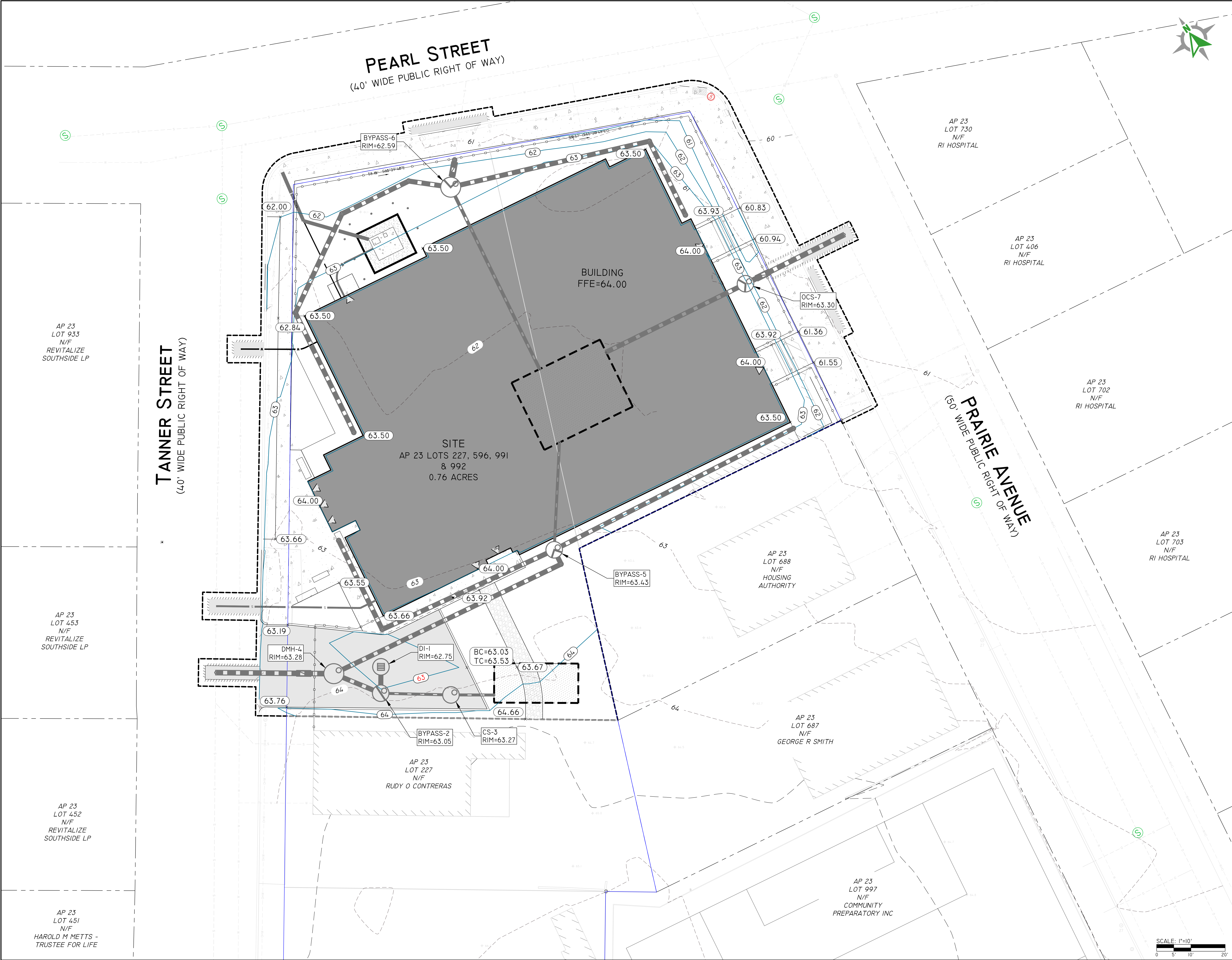


PERMITTING PLANS

AUGUST 8, 2022
REVISIONS

SITE LAYOUT PLAN

C4.00



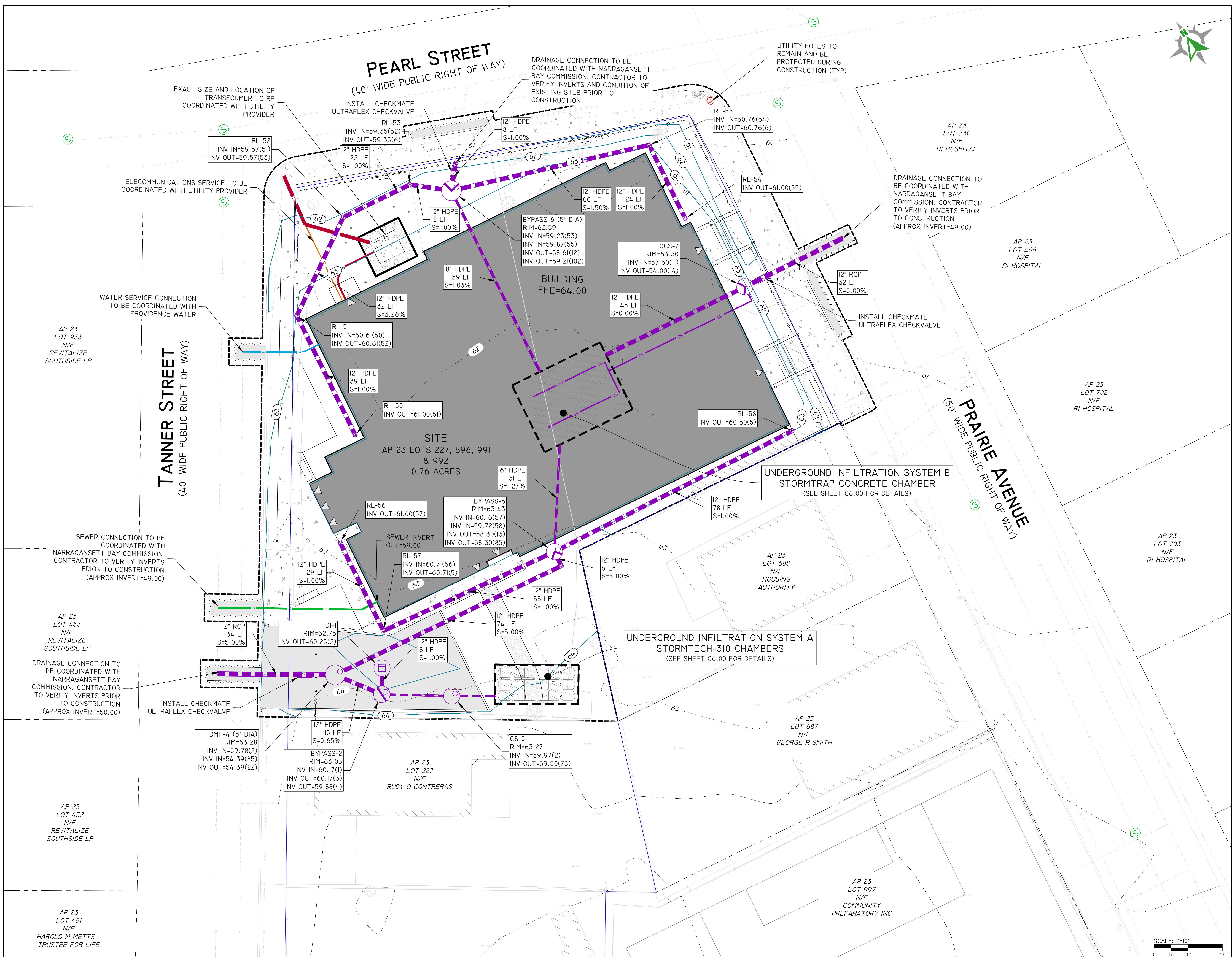
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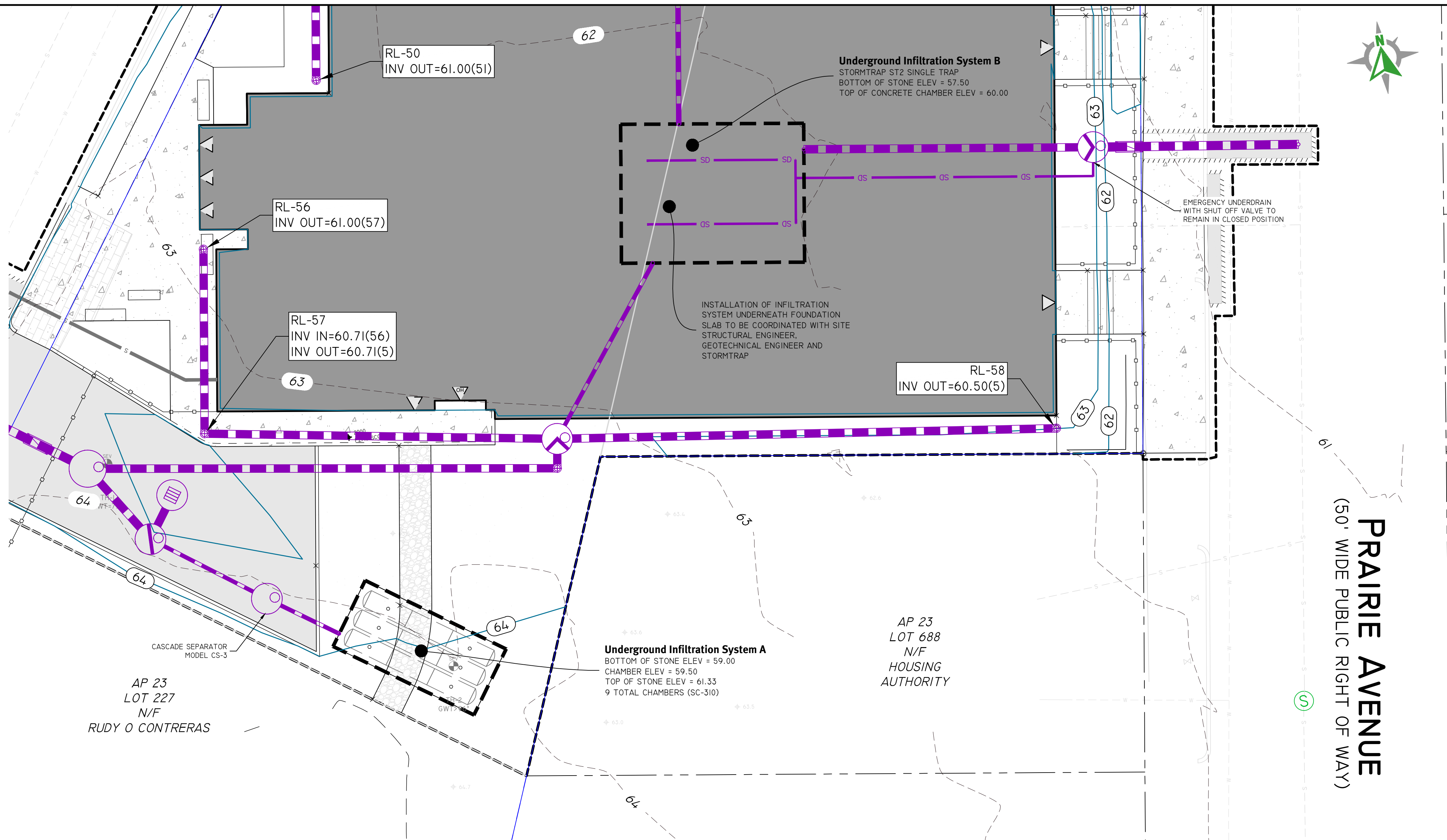
LEONARD R. GRADEN
No. 6610
REGISTERED
PROFESSIONAL ENGINEER
CIVIL

PERMITTING PLANS

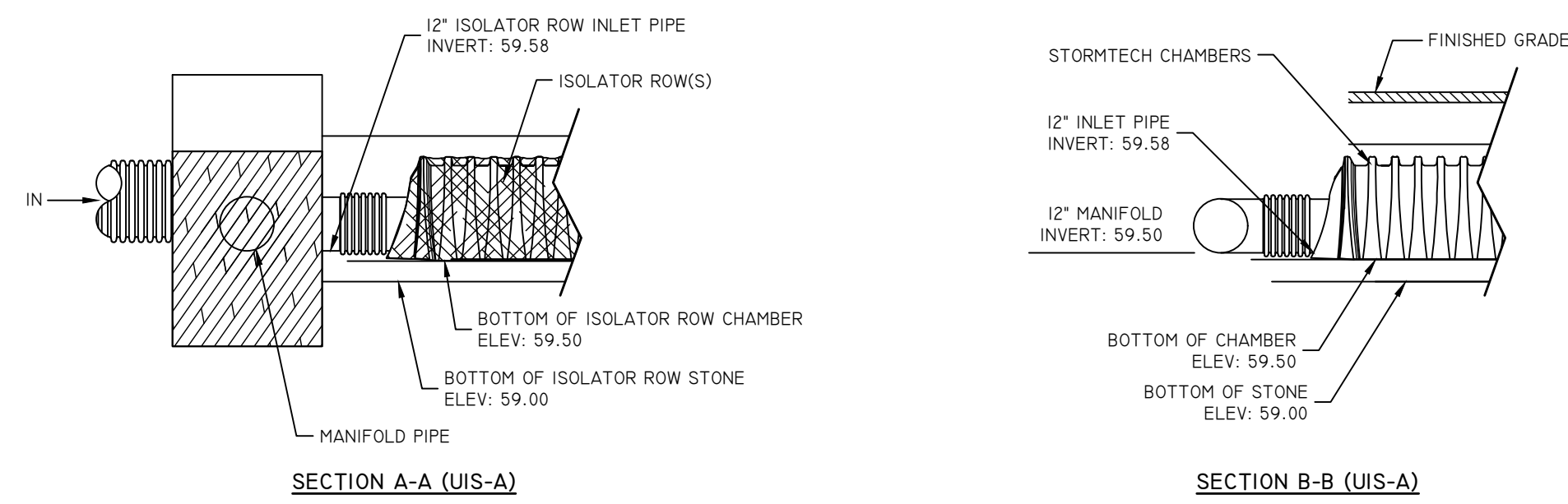
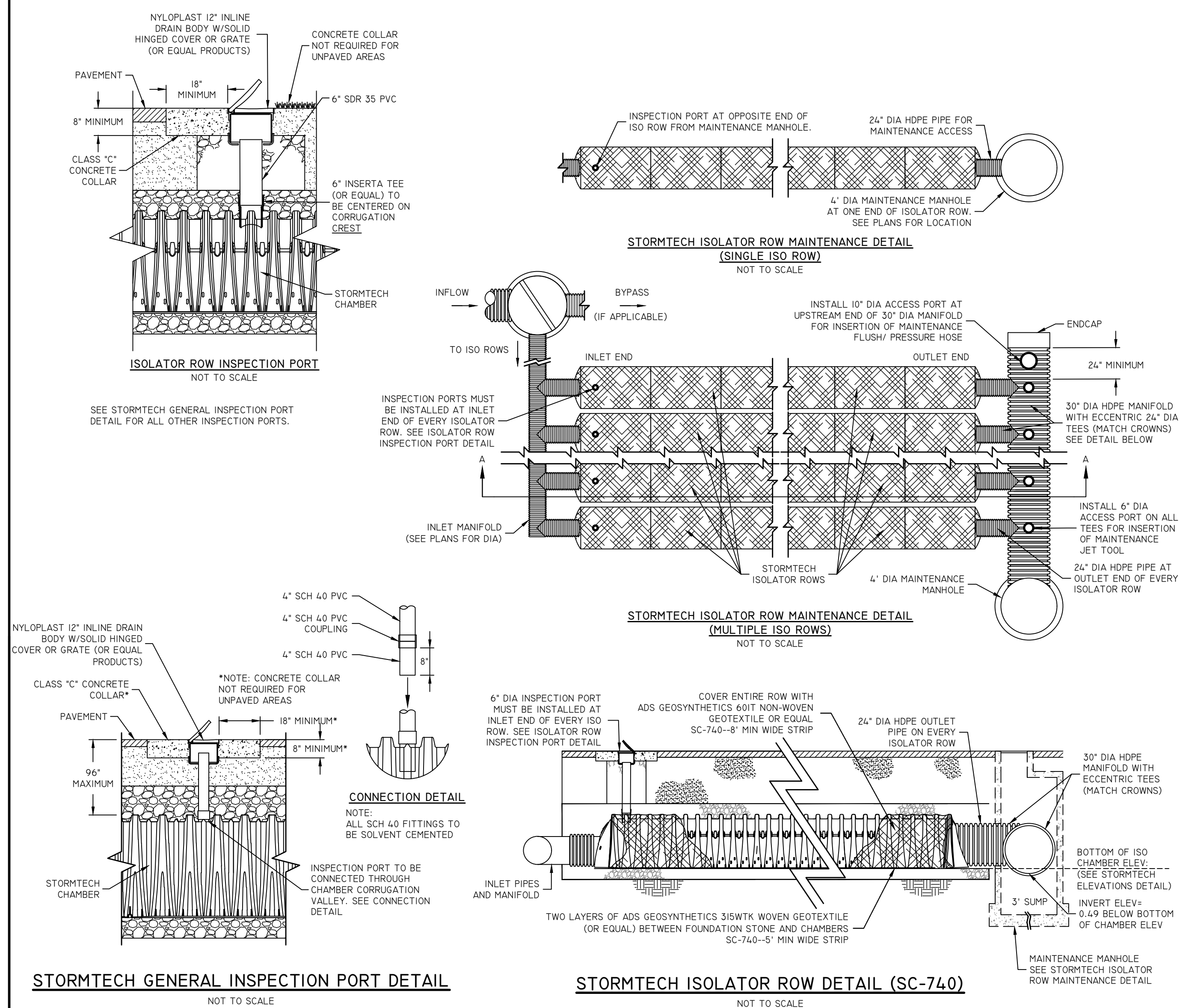
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GRADING & SURFACE DRAINAGE

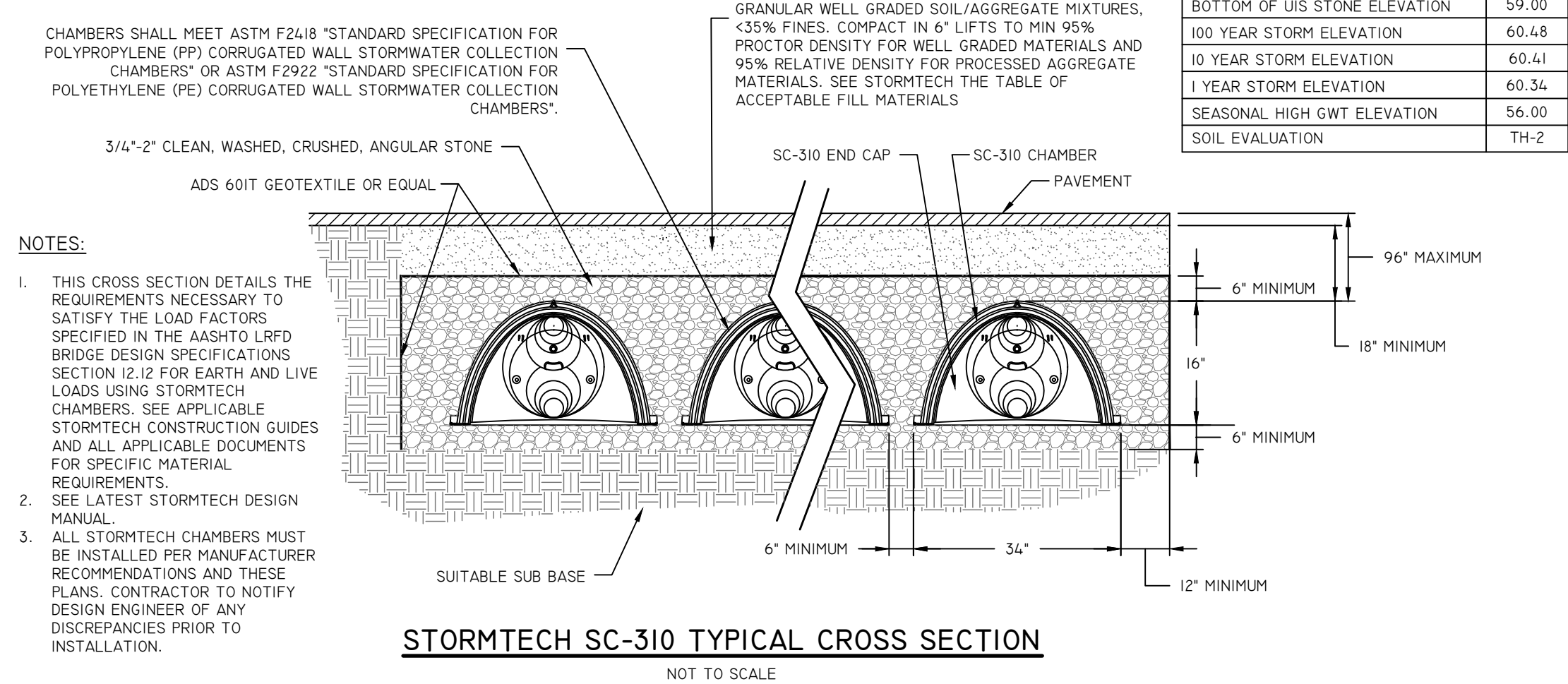




UNDERGROUND INFILTRATION SYSTEMS



STORMTECH ELEVATIONS

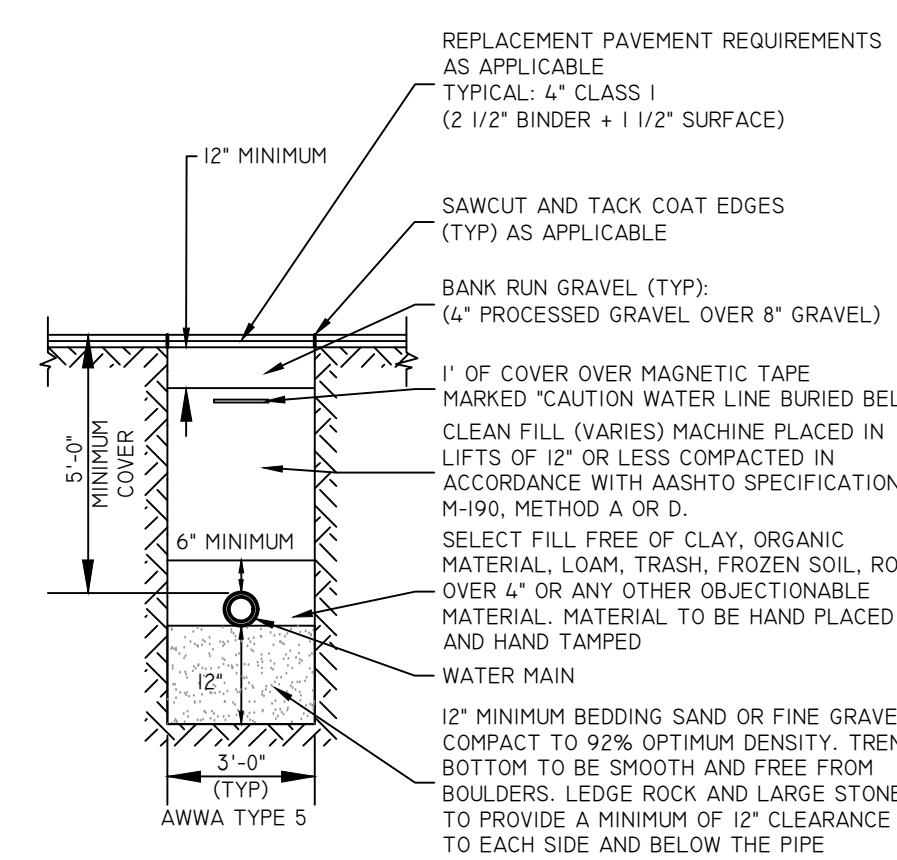
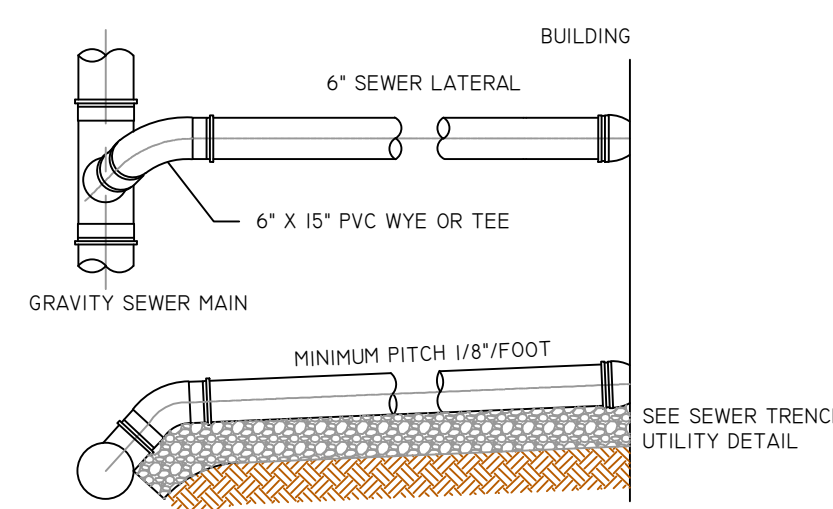
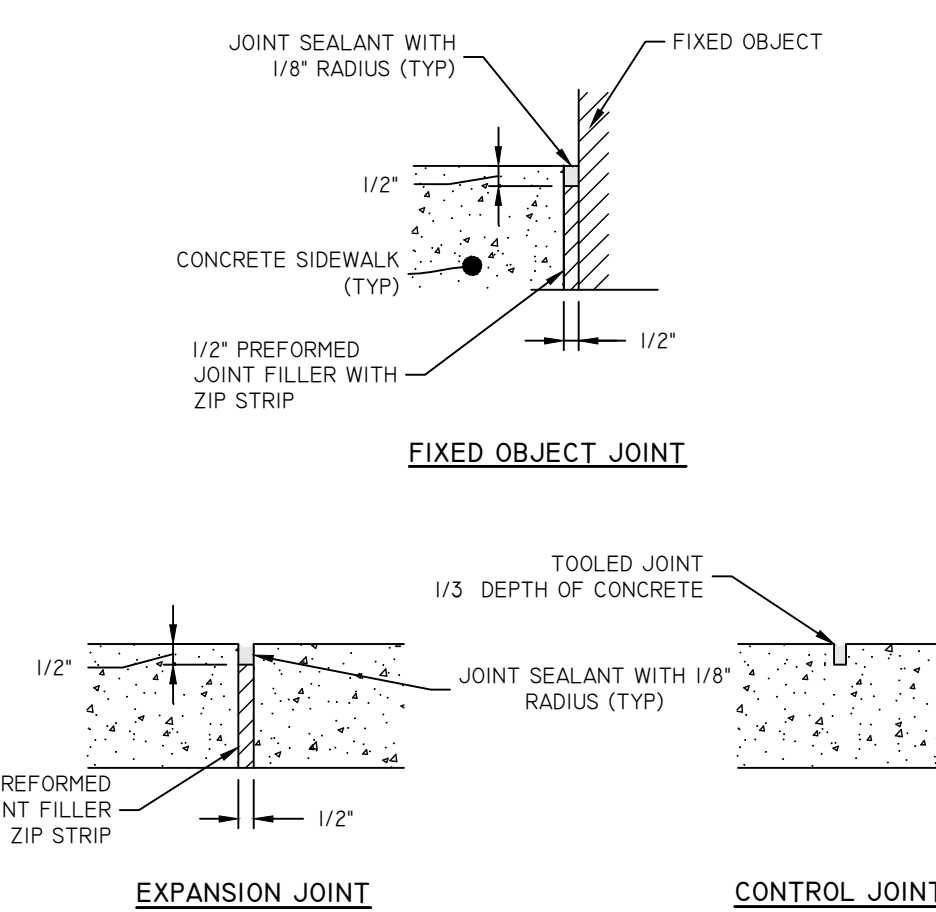
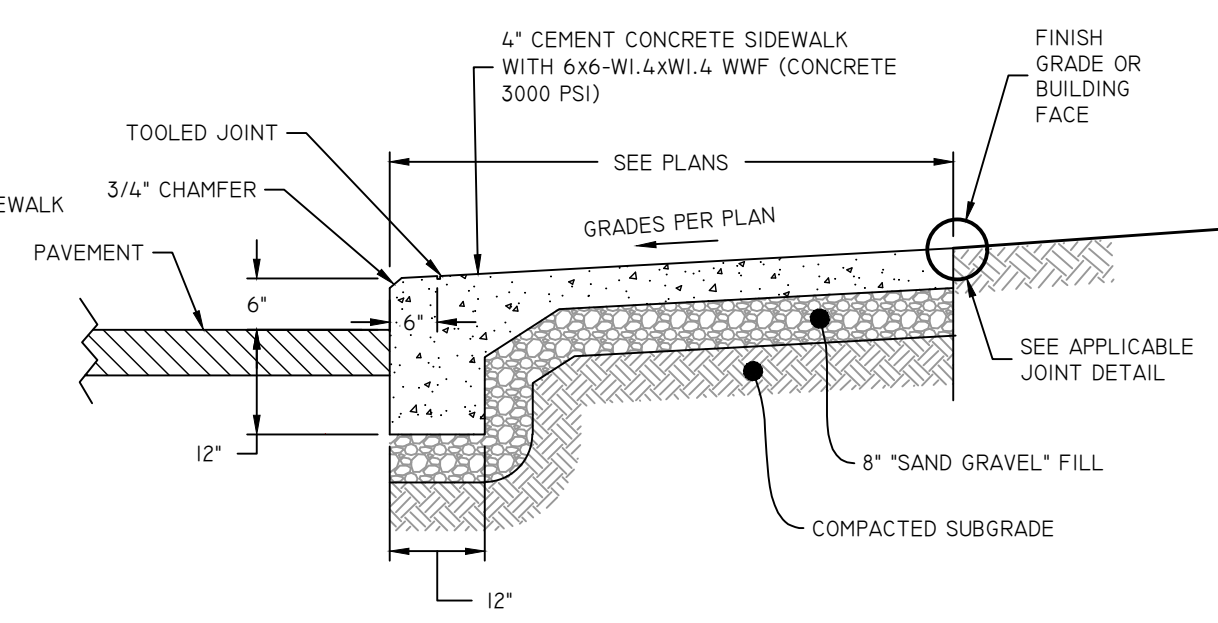
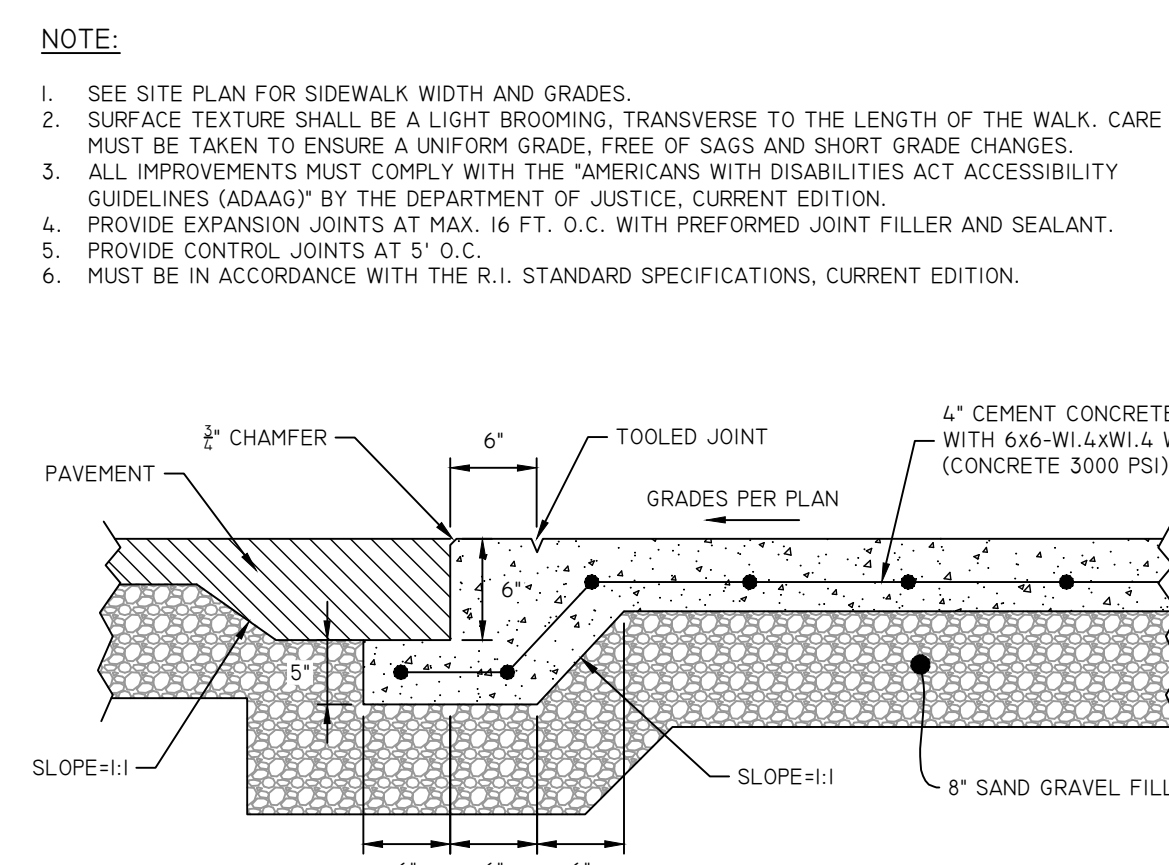
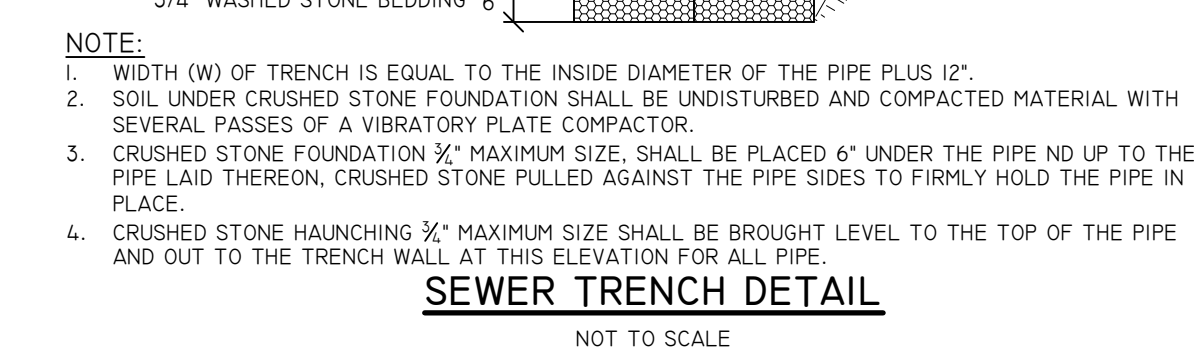
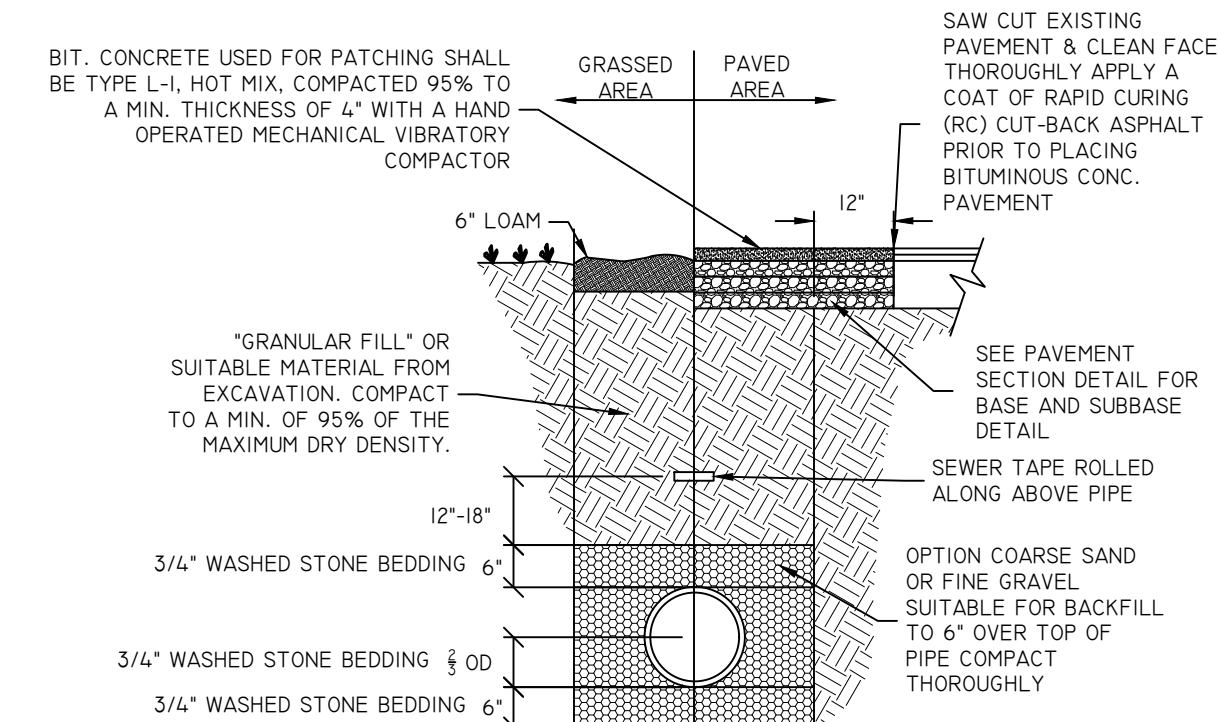
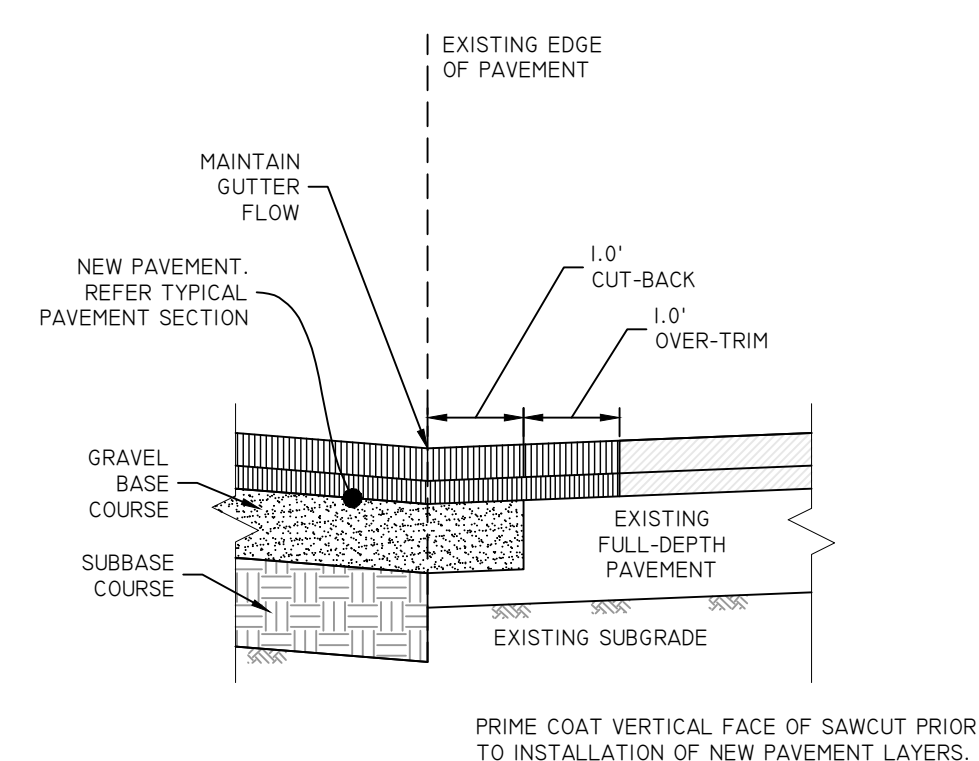
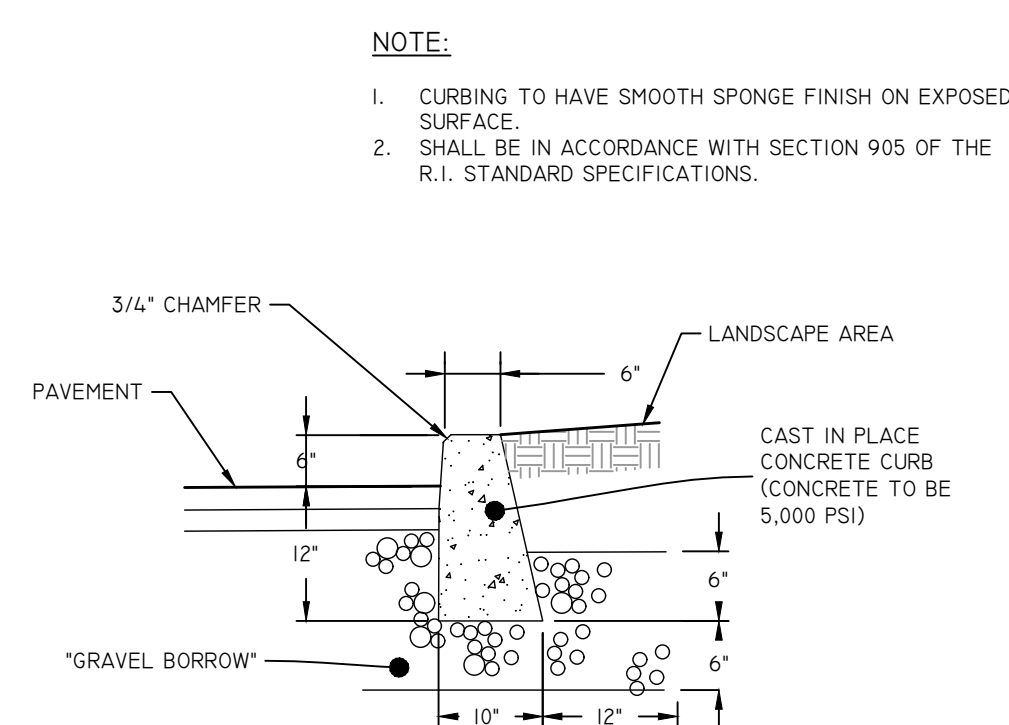
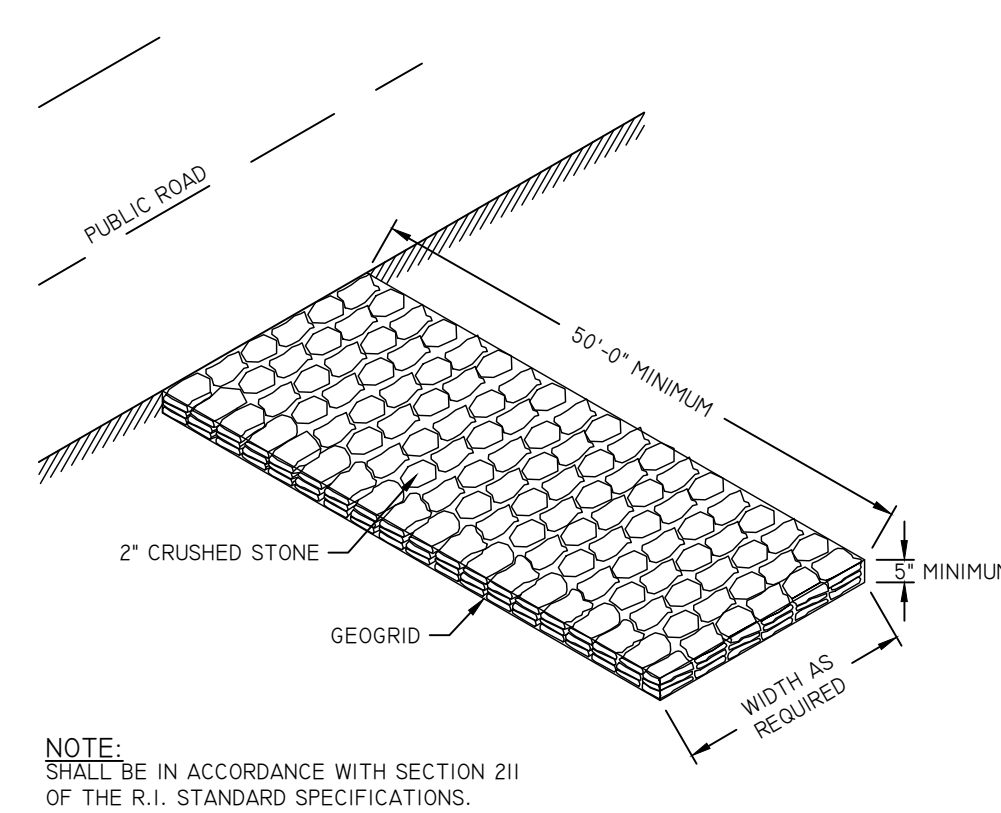
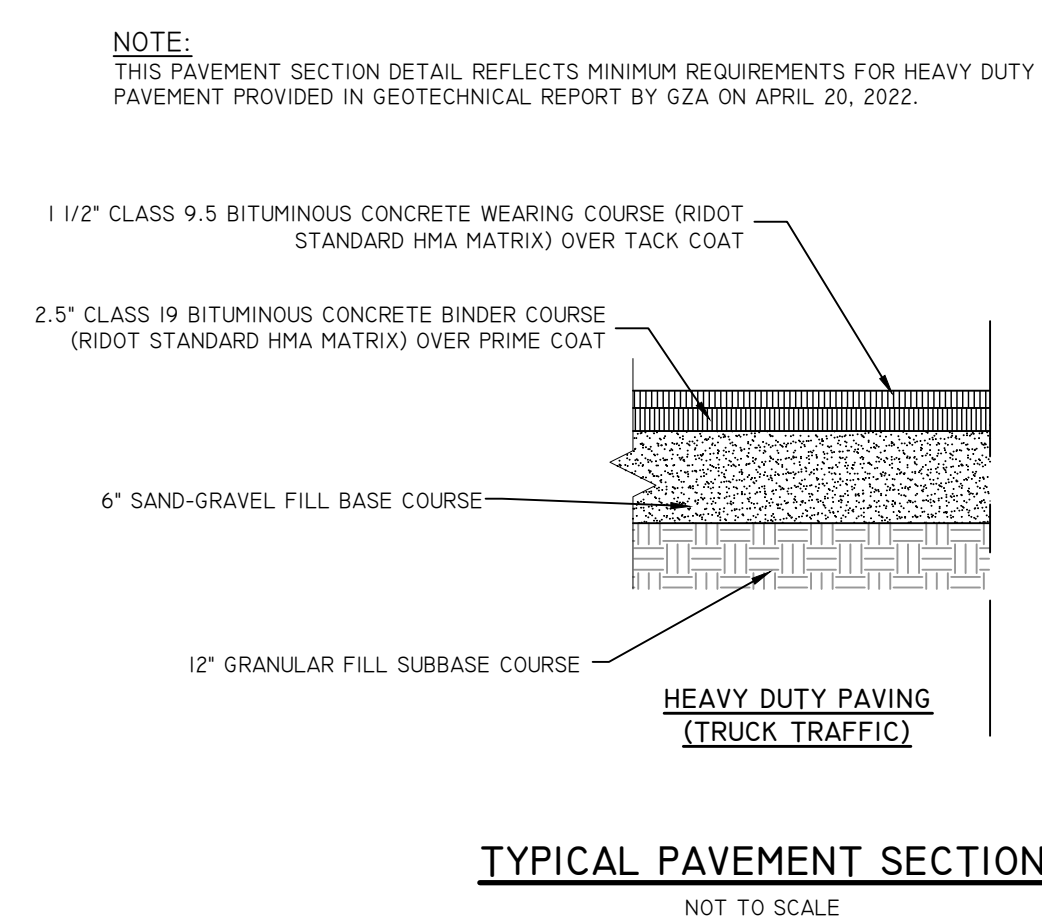


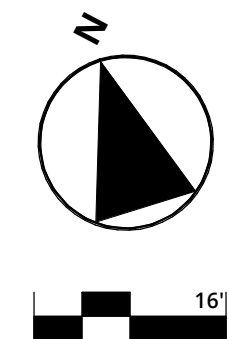
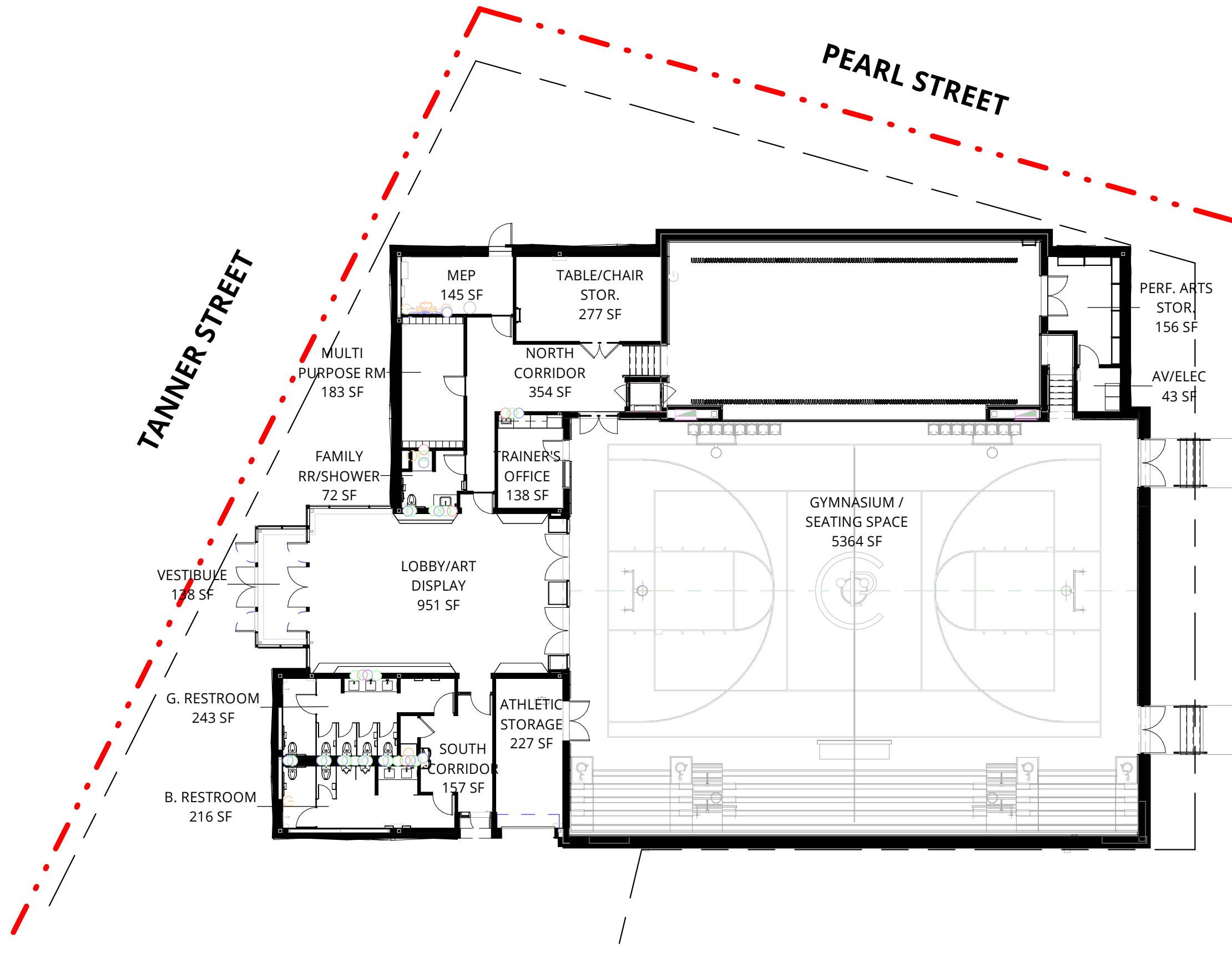
FILL NOTES:

- IF FILL IS REQUIRED WITHIN THE FOOTPRINT OF AN INFILTRATION POND, CONTRACTOR MUST REMOVE TOP AND SUBSOILS/ EXCAVATE DOWN TO THE C HORIZON AND BACKFILL WITH SUITABLE MATERIAL THAT HAS EQUAL OR GREATER INFILTRATION PARAMETERS THAN THE EXISTING SOIL HORIZONS BENEATH. ON-SITE MATERIALS MAY BE USED AT THE DIRECTION OF THE SITE ENGINEER OR GEOTECHNICAL ENGINEER. B HORIZON OR PART THEREOF MAY BE LEFT IN PLACE FOLLOWING ASSESSMENT AND DIRECTION BY THE SITE ENGINEER OR GEOTECHNICAL ENGINEER.
- FILL OPERATIONS MUST BE MONITORED BY THE SITE ENGINEER OR GEOTECHNICAL ENGINEER. CONTRACTOR MUST PROVIDE ADEQUATE NOTICE PRIOR TO FILLING.

DESCRIPTION	UIS-B
TOP OF CONCRETE CHAMBER	60.00
BOTTOM OF UIS STONE ELEVATION	57.50
100 YEAR STORM ELEVATION	59.24
10 YEAR STORM ELEVATION	59.22
1 YEAR STORM ELEVATION	58.56
SEASONAL HIGH GWT ELEVATION	56.00
SOIL EVALUATION	TH-4

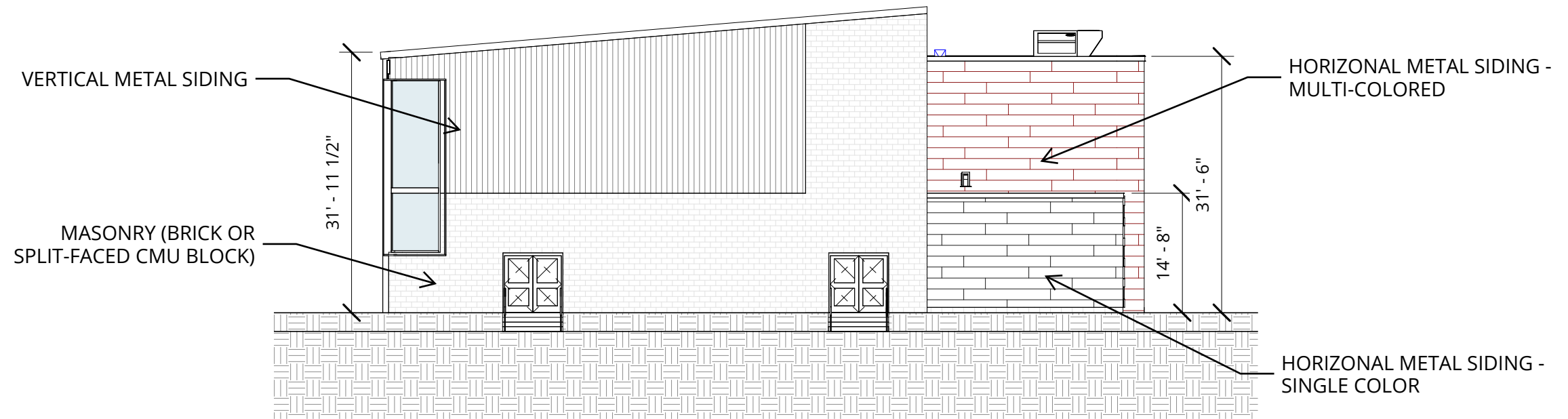
STORMTRAP ST-2 SINGLE TRAP FLOODING DETAILS



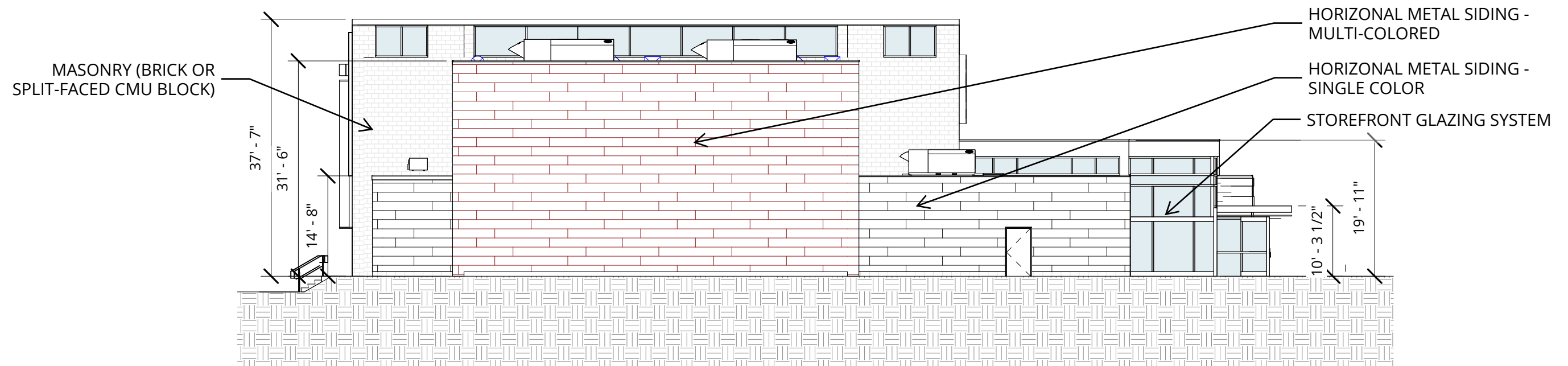


FIRST FLOOR PLAN



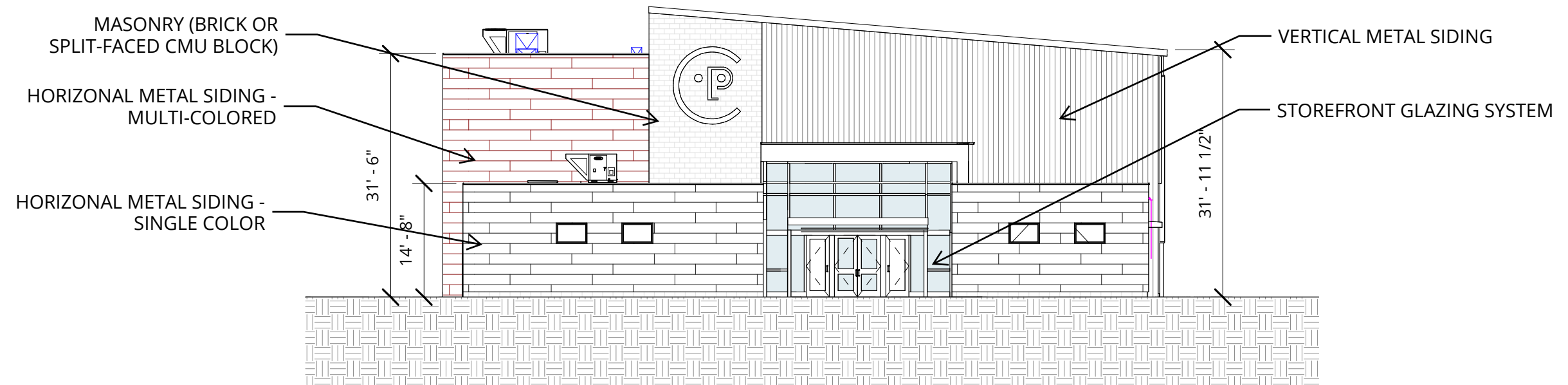


EAST ELEVATION

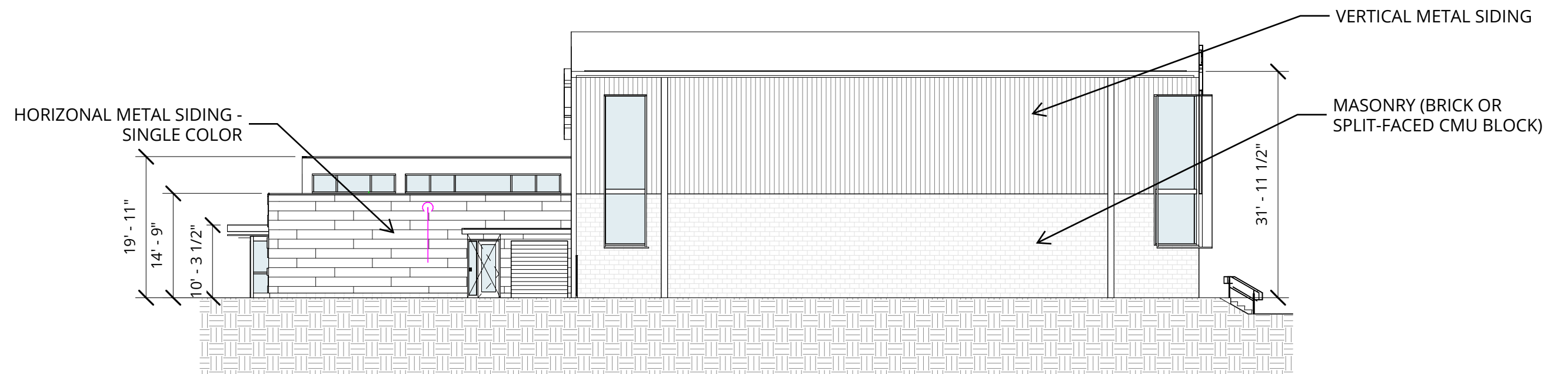


NORTH ELEVATION





WEST ELEVATION



SOUTH ELEVATION





PRELIMINARY RENDERINGS