

LOCATION MAP (NOT TO SCALE)

NOTES:

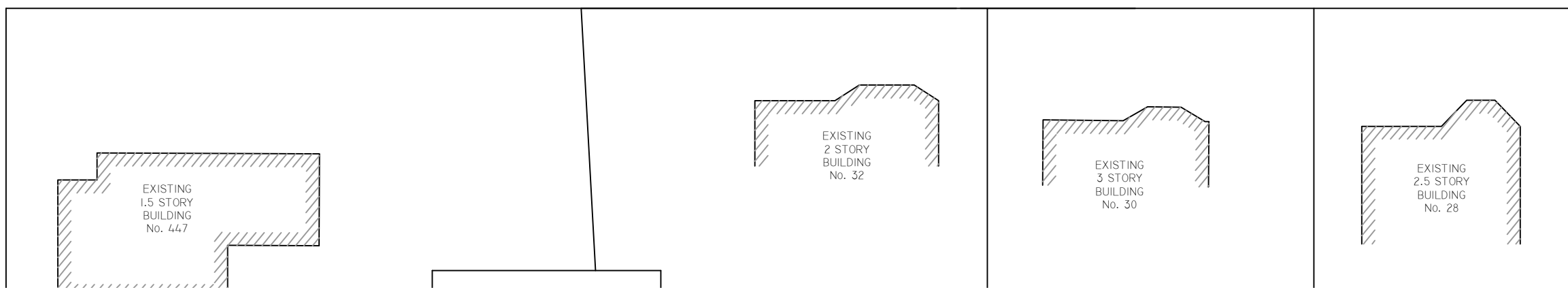
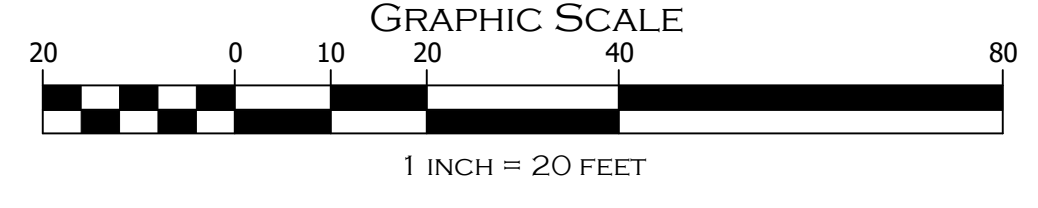
- OWNER(S):
 AP 23 LOT 26
 Lot Area: 5,015 S.F.
 SWAP, Inc.
 439 Pine Street, Providence, RI 02907
 Deed Book 11856, Page 278

 AP 23 Lot(s) 972, 973 & 974
 Lot Area: 5,015 S.F. Each (15,045 S.F. Total)
 Providence Redevelopment Agency
 400 Westminister Street, Providence, RI 02903
 Deed Book 10138, Page 177
- Zoning District: R-3
- The intent of this plan is to combine lots 26, 972, 973 & 974 as shown on assessors's plat 23 with a total area of 20,060 Square Feet into five (5) parcels, Parcels 1 thru 5 as shown hereon.
- There are no wetland areas on the property shown.
- There is no observance of Earthmoving, Construction or Landfill.
- Sites to be Developed individually, No Site Work is proposed herein.
- The property shown is located within Zone X as shown on FEMA Flood Insurance Rate Map for the city of Providence, Rhode Island, Map No. 44007C0308J, Dated: October 2, 2015.
- Utilities shown are based on field observations and data obtained by city of Providence Department of Public Works and utility companies. Locations should not be construed as being completely accurate or complete. *DigSafe must be notified before the start of any excavations or construction.
- This survey was prepared without the benefit of a title report and is subjects to the findings such a report might disclose.

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:
 - LIMITED CONTENT BOUNDARY SURVEY: CLASS 1
 - TOPOGRAPHIC ACCURACY: N/A

Marc N. Nyberg
 MARC N. NYBERG LICENSE No. 1797 COA No. A52

STATEMENT OF PURPOSE
 THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND THE PREPARATION OF THE PLAN IS AS FOLLOWS:
 - MINOR SUBDIVISION PLAN



ZONING DISTRICT: R-3
 MINIMUM LOT AREA: SF/SD EXISTING LOTS - NONE
 SF/SD NEW SUBDIVISIONS - 5,000 SF
 2F EXISTING LOTS - 3,500 SF
 2F NEW SUBDIVISIONS - 5,000 SF
 3F - 5,000 SF
 RH - 5,000 SF MINIMUM WITH AT LEAST 1,650 SF/DU
 NON-RESIDENTIAL - 5,000 SF
 MINIMUM LOT WIDTH: SF/SD EXISTING LOTS - NONE
 SF/SD NEW SUBDIVISIONS - 50'
 2F & 3F EXISTING LOTS - 35'
 RH - 50'0 SF MINIMUM WITH AT LEAST 12'/DU
 NON-RESIDENTIAL - 50'

MAXIMUM BUILDING HEIGHT: 45 FEET, NOT TO EXCEED 3 STORIES
 MAXIMUM BUILDING COVERAGE: 45%
 TOTAL MAXIMUM IMPERVIOUS SURFACE COVERAGE FRONT YARD: 33%
 TOTAL MAXIMUM IMPERVIOUS SURFACE COVERAGE REAR YARD: 50%
 TOTAL MAXIMUM IMPERVIOUS SURFACE COVERAGE FRONT: 65%
 MINIMUM SETBACKS: FRONT - SEE NOTE*
 INTERIOR SIDE - LOT WIDTH 40' OR LESS: 4', LOT WIDTH MORE THAN 40': 6'
 CORNER SIDE - SAME AS FRONT
 REAR - 25% OF LOT DEPTH OR 25', WHICHEVER IS LESS
 *NOTE:
 THE FRONT SETBACK REQUIREMENT IN RESIDENTIAL DISTRICTS IS A REQUIRED BUILD-TO ZONE CALCULATED ACCORDING TO AN AVERAGING PROVISION, AS FOLLOWS:
 1. THE BUILD-TO ZONE IS CALCULATED AS THE AVERAGE OF THE FRONT SETBACKS OF DEVELOPED LOTS WITHIN 100 FEET ON EITHER SIDE OF THE SUBJECT LOT ON THE SAME SIDE OF THE STREET AS THE SUBJECT LOT. ANY LOTS WITHIN THIS DISTANCE THAT ARE ONLY PARTIALLY WITHIN THIS 100 FEET ARE ALSO INCLUDED IN THE CALCULATION. THE RESULTING CALCULATION CAN BE INCREASED OR DECREASED BY FIVE FEET TO ESTABLISH THE BUILD-TO ZONE.
 2. IF THERE ARE NO BUILDINGS ON THE SAME SIDE OF THE STREET, DEVELOPED LOTS WITHIN 100 FEET IN BOTH DIRECTIONS ON THE OPPOSITE SIDE OF THE STREET ARE USED FOR AVERAGING TO CALCULATE THE REQUIRED MINIMUM FRONT SETBACK. ANY LOTS WITHIN THIS DISTANCE THAT ARE ONLY PARTIALLY WITHIN THIS 100 FEET ARE ALSO INCLUDED IN THE CALCULATION. THE RESULTING CALCULATION CAN BE INCREASED OR DECREASED BY FIVE FEET TO ESTABLISH THE BUILD-TO ZONE.
 3. IF THERE ARE NO BUILDINGS ON THE SAME SIDE OR THE OPPOSITE SIDE OF THE STREET, THE REQUIRED FRONT BUILD-TO ZONE IS SET AS THE AREA BETWEEN 5% AND 15% OF THE LOT DEPTH.

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VINE STREET

PRELIMINARY MINOR SUBDIVISION PLAN

	"ASSESSOR'S MAP 23 LOTS 26, 972, 974, 974" 29-41 PORTLAND STREET, PROVIDENCE, RI	
	APPLICANT: S.W.A.P. 439 PINE STREET, PROVIDENCE, RI	
JOB # 22-020	SCALE: 1" = 20'	DRAWN BY: GTE
REVISED: N/A		DATE: 6/17/2022
		InSite Professional Complex, Suite 1 1539 Fall River Avenue, Seekonk, MA 02771 Phone: (508) 336-4500 Fax: (508) 336-4558 501 Great Road, Unit 104 North Smithfield, RI 02896 Phone: (401) 762-2870 Fax: (401) 762-2871 Web Address: InSiteEngineers.com
PROFESSIONAL ENGINEERS LAND SURVEYORS		SHEET 1 OF 1