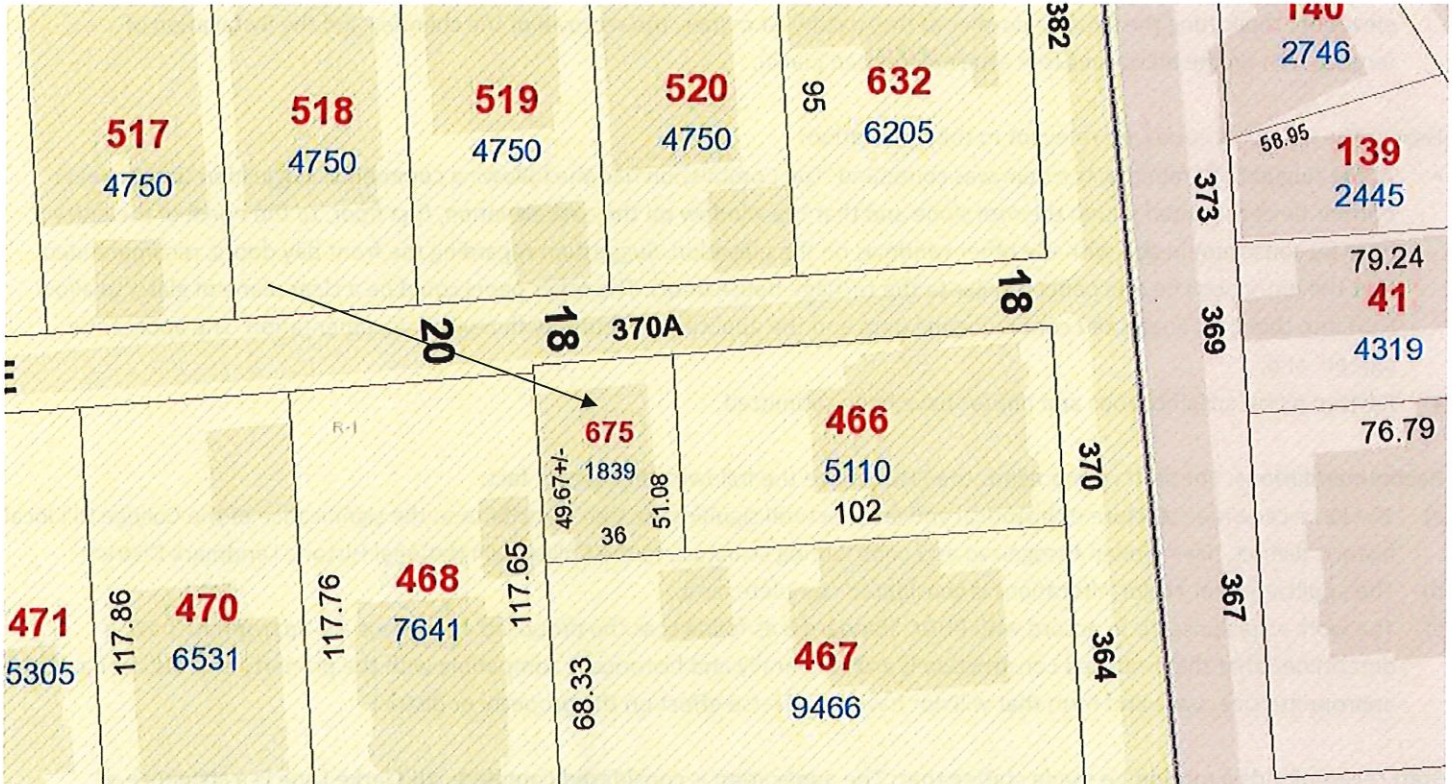


PROJECT REVIEW

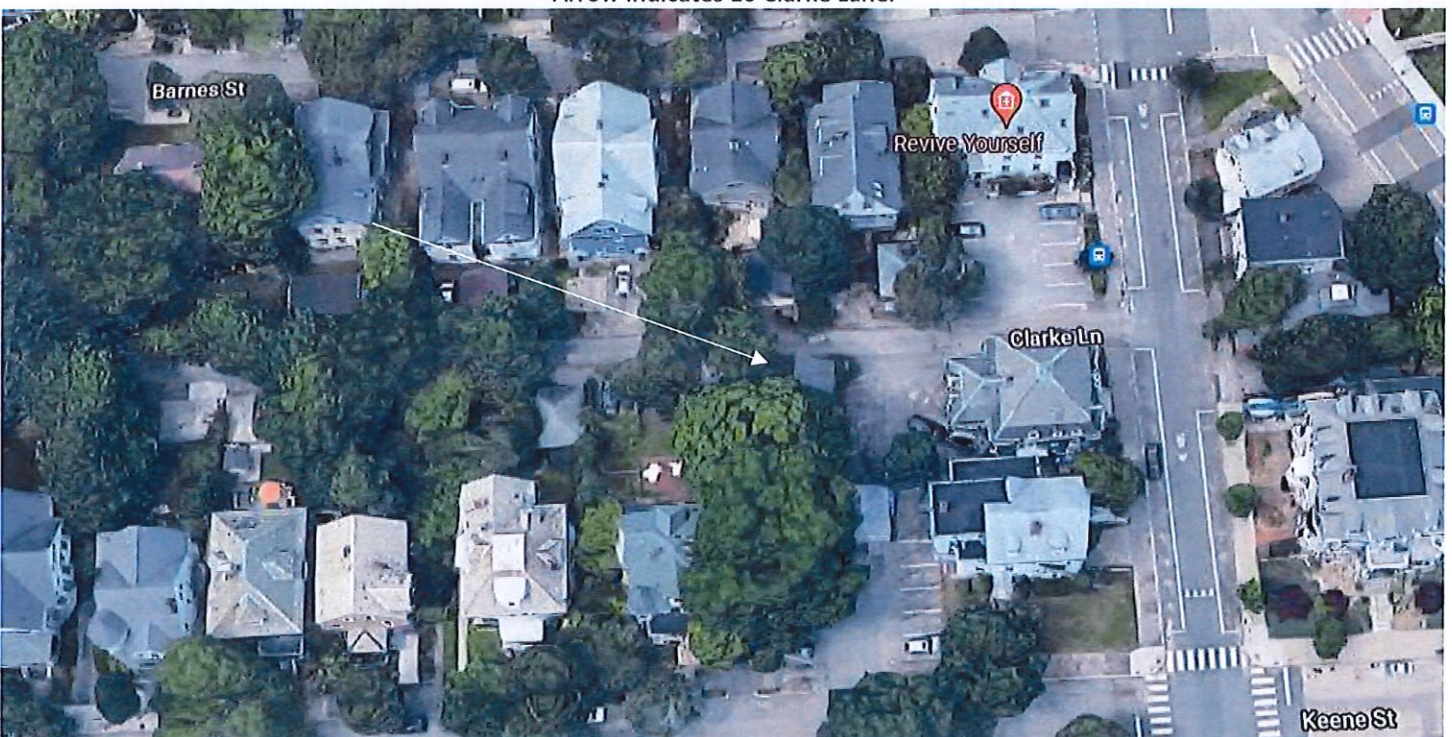
1. CASE 22.108, 16 CLARKE LANE, George L. Clarke, Carriage House, 1872 (COLLEGE HILL)

Italianate; 2 stories; brick; low hipped roof with square cupola and corbel; cornice; paired round-headed windows flank 2 story carriage entrance now glazed; flanking one story wings.

CONTRIBUTING



Arrow indicates 16 Clarke Lane.



Arrow indicates project location, looking north.

Applicants/Owners: Weston Stewart-Tennes & Jacob Lightman, 16 Clarke Lane, Providence, RI 02906
Architect: Alexander Arango, AIA, In Situ Design & Build LLC, 171 Floral Park Blvd., Pawtucket, RI 02861

Proposal: The scope of work proposed consists of Major Alterations and includes:

- the construction of two shed dormers: a four-bay on the east elevation, and a paired-window dormer on the southwest elevation, replicating the existing dormer at the northwest corner, the removal of the chimney and the installation of fenestration on the elevations (see attached revised plans).

Issues: The following issues are relevant to this application:

- At the August 22nd meeting the item was continued. The Commission had the following comments: suggestion that the east dormer be constructed within the roof slope and that the window on the east elevation, first floor, to the north of the entry door be consistent in size with the other windows on the elevation. Suggestion regarding the front bay doors: recommended that the entry door be one panel (similar to the carriage house door). The other panel could be a clear plane of glass, to allow light into the area. Suggested continuing the item and the applicant to return with revised documentation. The applicant's agreed; and,
- Revised plans, specifications and photos have been submitted.

Recommendations: The staff recommends the PHDC make the following findings of fact:

- a) 16 Clarke Lane is a structure of historical and architectural significance that contribute to the significance of the College Hill local historic district, having been recognized as a contributing structure to the College Hill National Historic Landmark District;
- b) The application for Major Alterations is considered complete; and,
- c) The work as proposed is in accord with PHDC Standard 8 as follows: as the proposed alterations are appropriate having determined that the proposed construction is architecturally and historically compatible with the property and district having an appropriate size, scale and form that will not have an adverse effect on the property or district.

Staff recommends a motion be made stating that: The application is considered complete. 16 Clarke Lane is a structure of historical and architectural significance that contribute to the significance of the College Hill local historic district, having been recognized as a contributing structure to the College Hill National Historic Landmark District. The Commission grants approval of the proposal as submitted having determined that the proposed alterations are appropriate as the alterations are architecturally and historically compatible with the property and district having an appropriate size, scale and form that will not have an adverse effect on the property or district, citing and agreeing to the recommendations in the staff report, with staff to review any additional required details.

PROJECT:
16 CLARKE LANE,
PROVIDENCE RI 02906

PROPOSED INTERIOR RENOVATION
TO EXISTING ONE FAMILY DWELLING

OWNERS:
JACOB LIGHTMAN & WESTON STEWART-TENNES

DRAWING LIST:

COVER SHEET

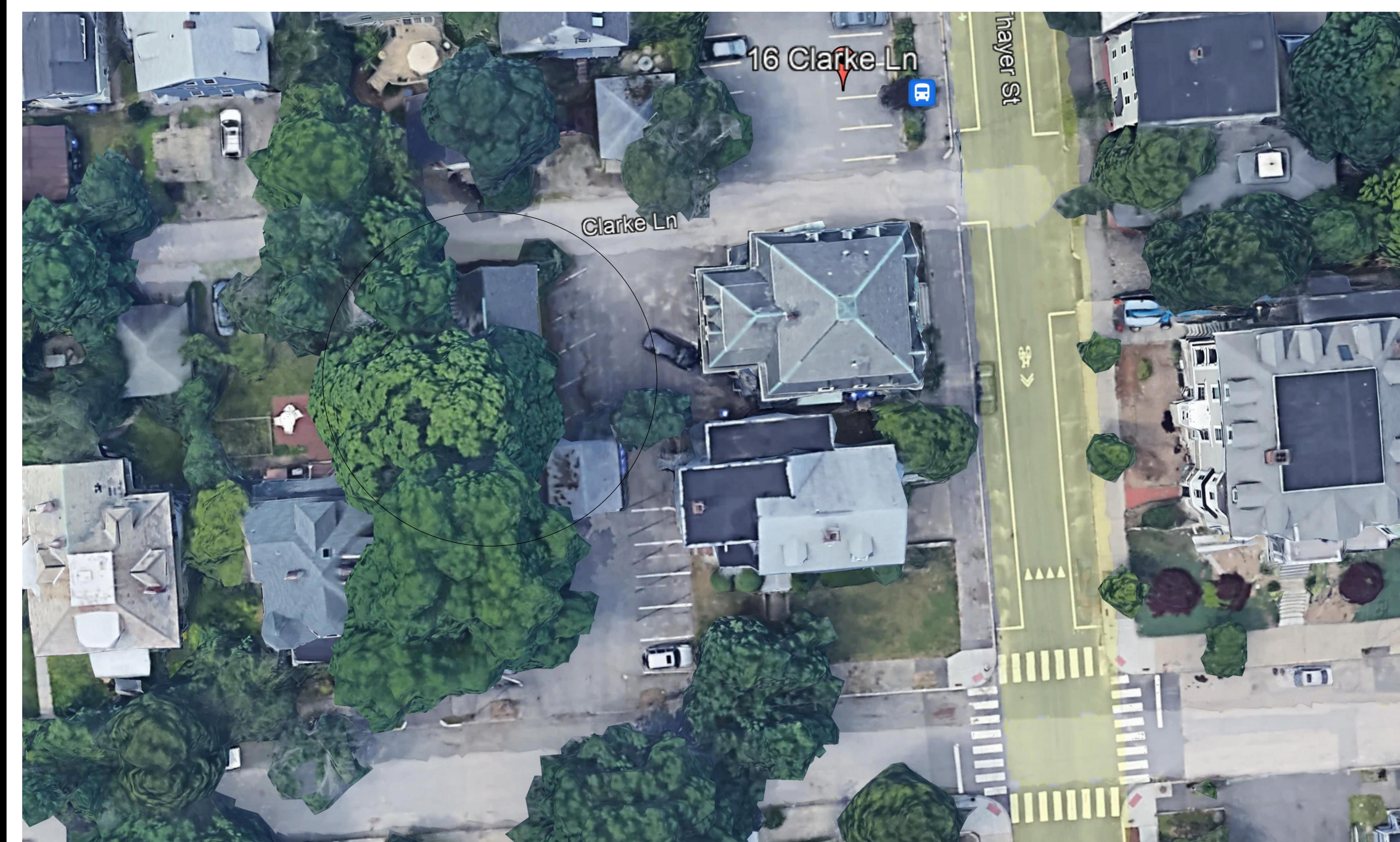
ARCHITECTURAL:

- GN GENERAL NOTES
- 0.0 EXISTING CONDITIONS FLOOR PLANS
- 0.1 EXISTING CONDITIONS ELEVATIONS
- 1.0 FLOOR PLANS
- 2.0 BUILDING ELEVATIONS
- 3.0 SECTIONS & DETAILS

CONSTRUCTION
DOCUMENTS

SHEET 1 OF 10

LOCUS:



DRAWINGS PREPARED BY:

IN SITU

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arqinsitu99@gmail.com
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W. ALEXANDER ARANGO
BACHELOR IN ARCHITECTURE
MASTER IN URBAN DESIGN
AMERICAN INSTITUTE OF ARCHITECTS ASSOCIATE

CONSULTANTS:

ABBREVIATION LIST FOR ALL A- DRAWINGS					
ADD.	ADDITION	F.E.	FIRE EXTINGUISHER	P.M.	PRESSED METAL
ADJ.	ADJACENT	F.E.C.	FIRE EXTINGUISHER CABINET	P.M.J.F.	FIRE-MOLDED JOINT FILLER
A.F.	ABOVE FLOOR	F.R.	FIRE RATED	PR.	PAIR
AL. OR ALUM.	ALUMINUM	FLR.	FLOOR	P.T.	PRESSURE TREATED
A.W.I.	AMERICAN WOOD INSTITUTE	FT.	FOOT	PTD. / PT	PAINTED
BD.	BOARD	FTG.	FOOTING	P.V.C.	POLYVINYL CHLORIDE
B.L.	BORROWED LIGHT	FRP.	FIBERGLASS REINFORCED POLYESTER	R.	RADIUS
B.LDG.	BUILDING	GA	GAGE	R.OAK	RED OAK
BLKNG.	BLOCKING	GALV.	GALVANIZED	R.D.	ROOF DRAIN
BM.	BOTTOM	GB. OR GYP.BD.	GYPSUM BOARD	R4D	REMOVE AND DISPOSE
BOT.	BOTTOM	G.W.B.	GYPSUM WALL BOARD	R4S	REMOVE AND STORE
B.R.F.	BULLET RESISTANT FILM	G.P.	GLAZED PAINT	R.E.F.	ROOF EXHAUST FAN
CAB.	CABINET	H.C.	HANDICAPPED	REINF.	REINFORCED
C.J.	CONTROL JOINT	H.M.	HOLLOW METAL	REN.	RENOVATION
CL.	CENTER LINE	HORIZ.	HORIZONTAL	REQ.	REQUIRED
CLG.	CEILING	HR.	HOUR	RM.	ROOM
CLR.	CLEAR	H.S.S.	HOLLOW STRUCTURAL SHAPE	R.O.	ROUGH OPENING
C.M.U.	CONCRETE MASONRY UNIT	HT	HEIGHT	R.S.F.	RESILIENT SHEET FLOORING
COMP.	COMPACTED OR COMPUTER	I.D.	INSIDE DIAMETER	S.A.T.	SUSPENDED ACOUSTIC TILE
CONC.	CONCRETE	I.E.	FOR EXAMPLE	SCHED. / SCH.	SCHEDULE
CONF.	CONFERENCE	INFO.	INFORMATION	SHT.	SHEET
CONT.	CONTINUOUS	INSUL.	INSULATION	SIM.	SIMILAR
CONST.	CONSTRUCTION	INT.	INTERIOR	SPECS.	SPECIFICATIONS
COOR.	COORDINATE	JAN.	JANITOR	SO.FT. OR SF.	SQUARE FOOT
CORR.	CORRIDOR	LAT.	LATERAL	S.S.	STAINLESS STEEL
CPT.	CARPET	LAV.	LAVATORY	STL.	STEEL
C.T.	CERAMIC TILE	L.B.L.	LEAD LABEL	STRUCT.	STRUCTURAL
C.U.H.	CABINET UNIT HEATER	L.C. OR L.C.C.	LEAD COATED COPPER	T.B.	TACK BOARD
COL.	COLUMN	LBS.	POUNDS	T&B	TOP AND BOTTOM
DBL.	DOUBLE	LOUV.	LOUVER	T&G	TONGUE AND GROOVE
DEMO.	DEMOLITION	LU.	LECTURE UNIT	THK.	THICK
DET.	DETAIL	MANUF.	MANUFACTURER	TLT.	TOILET
Ø	DIAMETER	MAT.	MATERIAL	T.O.	TOP OF
DN.	DOWN	MAX.	MAXIMUM	T.O.C.	TOP OF CONCRETE
D.S.	DOWNSPOUT	MECH.	MECHANICAL	T.O.M.	TOP OF MASONRY
DR.	DOOR	MIN.	MINIMUM	T.O.P.	TOP OF PLATE
DWGSS.	DRAWINGS	M.O.	MASONRY OPENING	T.O.STL.	TOP OF STEEL
EA.	EACH	MTD.	MOUNTED	T.O.W.	TOP OF WALL
ELEC.	ELECTRICAL	MTL.	METAL	TOT.	TOTAL
ELEV.	ELEVATION	N.I.C.	NOT IN CONTRACT	TYP.	TYPICAL
E.M.	ENTRY MAT	N.T.S.	NOT TO SCALE	UL.	UPPER LEVEL
E.P.D.M.	ETHYLENE PROPYLENE DIENE MONOMER	O.A.	ON CENTER	U.N.O.	UNLESS NOTED OTHERWISE
EQ.	EQUAL	O.C.	ON CENTER	VB.	VINYL BASE
EQUIP.	EQUIPMENT	O.D.	OUTSIDE DIAMETER	V.C.T.	VINYL COMPOSITION TILE
EXIST. / EX	EXISTING	OZ.	OUNCE	VERT.	VERTICAL
EXT.	EXTERIOR	P.A.	PUBLIC ADDRESS	V.I.F.	VERIFY IN FIELD
FDN.	FOUNDATION	P#1	PROVIDE AND INSTALL	W/	WITH
		PLAM.	PLASTIC LAMINATE	W.B.	WHITE BOARD
		PLYWD.	PLYWOOD	W.D.	WOOD
				W.D.PL.	WOOD PLATE
				W.W.F.	WOVEN WIRE FABRIC

- GENERAL NOTES:**
- VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD & NOTIFY THE OWNER IF DISCREPANCIES ARE FOUND.
 - EACH TRADE CONTRACTOR IS RESPONSIBLE FOR REVIEWING AND COORDINATING HIS WORK WITH THE OTHER TRADES INCLUDING CIVIL, STRUCTURAL, ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION. IF DISCREPANCIES ARE FOUND BETWEEN THE TRADES, NOTIFY THE OWNER PRIOR TO PROCEEDING WITH THE WORK.
 - ALL WORK SHOWN IS NEW, UNLESS NOTED OTHERWISE.
 - AT MASONRY WALLS DIMENSIONS ARE TO FACE OF MASONRY; AT STUD WALLS DIMENSIONS ARE TO CENTERLINE OF STUDS OR OPENINGS AS OCCURS (U.N.O.)
 - ALL WORK IS TO CONFORM TO THE RI STATE BUILDING CODE, THE ACCESSIBILITY REQUIREMENTS FOR THE DISABLED, AND N.F.P.A. I, 1997 EDITION. EACH SUPPLIER & TRADE CONTRACTOR WILL BE RESPONSIBLE FOR ENSURING THAT HIS PORTION OF THE WORK CONFORMS TO THESE CODES & ANY OTHER APPLICABLE CODES; NOTIFY THE OWNER IF DISCREPANCIES ARE FOUND PRIOR TO PROCEEDING WITH THE WORK.
 - ALL WOOD BLOCKING & PLYWOOD IN CONTACT WITH CONCRETE OR MASONRY IS TO BE PRESSURE TREATED.

LEGEND

- PROPOSED EXTERIOR WALL
- PROPOSED 2"x4" WOOD STUDS @ 16" O.C. w/ 1 LAYER MIN. 5/8" GWB ON EACH SIDE (NON-FIRE RATED)
- PROP. 1-HR INTERIOR PARTITION: 2"x4" WOOD STUDS @ 16" O.C. w/ 1 LAYER 5/8" TYPE 'X' FIRE CODE INTERIOR GYPSUM BOARD ON EACH SIDE (GA FILE NO. WP 1072)
- EXISTING INTERIOR PARTITION: EXISTING WOOD STUDS w/ PROPOSED 1 LAYER 5/8" GWB ON EACH SIDE
- EXISTING INTERIOR PARTITION TO REMAIN
- EXHAUST TO OUTSIDE w/ GRAVITY SHUTOFF DAMPER
 - 1: 70 cfm (MIN 1.4 cfm/W);
 - 2: 250 cfm (MIN 2.8 cfm/W) (SUGGESTED LOCATION)
- FLOOR / AREA DRAIN (SUGGESTED LOCATION)
- BATTERY-OPERATED SMOKE / CARBON MONOXIDE DETECTOR (SUGGESTED LOCATION)
- PROPOSED THERMOSTAT CONTROL (SUGGESTED LOCATION)
- INDICATES EXISTING DOOR
- INDICATES NEW DOOR
- INDICATES NEW WINDOW
- INDICATES EXISTING WINDOW
- = CABINETS ABOVE
- SL.D = SLIDING DOOR
L.CL = LINEN CLOSET
W = WINDOW
CL = CLOSET
P = PANTRY

ELECTRICAL LEGEND

⊕	CONTROL SWITCH
⊙	LIGHTING FIXTURE
⊕	ELECTRICAL OUTLET
⊕	EXTERIOR WALL MOUNTED LIGHTING FIXTURE

SYMBOL LEGEND

XXXX	ROOM	X	WORKING NOTE
○	DOOR	—	EXISTING WALL TO REMAIN
◇	WALL TYPE	- - -	EXIST TO BE REMOVED
XXX	WINDOW	█	NEW FULL HEIGHT WALL
◇	INTERIOR ELEVATION	▨	NEW KNEE WALL
△	REVISION	⌋	EXISTING DOOR & FRAME
⊕	DETAIL	⌋	NEW DOOR & FRAME
⊕	SECTION / ELEV.		
⊕	BUILDING SECTION		

WINDOW SCHEDULE

MARK	LOCATION	QTY	MANUFACTURER	MODEL	SIZE	AREA (SF)	TYPE	MATERIAL	ENERGY PERFORMANCE	REMARKS
A	FOYER	1	ANDERSEN	E SERIES	48"x80"	26.0	FIXED	WOOD	U-0.32, 0.40 (SHGC), MAX. 0.30 CFM/SF (Air Infiltration Rate)	Coordinate Manufacturer and Finish with Owner
B	LIVING/DINING, STAIR, BATHROOM, KITCHEN	4	ANDERSEN	E SERIES	36"x70"	18.0	DOUBLE HUNG	WOOD	U-0.32, 0.40 (SHGC), MAX. 0.30 CFM/SF (Air Infiltration Rate)	Coordinate Manufacturer and Finish with Owner
C	BEDROOM	1	ANDERSEN	E SERIES	72"x70"	35.0	DOUBLE HUNG	WOOD	U-0.32, 0.40 (SHGC), MAX. 0.30 CFM/SF (Air Infiltration Rate)	Coordinate Manufacturer and Finish with Owner

DOOR SCHEDULE

No.	SIZE	THK.	TYPE	REMARKS
100A	3'-0" x 6'-8"	1 3/4"	WOOD	
100B	3'-0" x 6'-8"	1 3/4"	WOOD	PAIR
100C	2'-4" x 6'-8"	3 1/2"	WOOD	
102	2'-4" x 6'-8"	3 1/2"	WOOD	
103	2'-4" x 6'-8"	1 3/4"	WOOD	
105	2'-8" x 6'-8"	1 3/4"	WOOD	
201	2'-4" x 6'-8"	1 3/4"	WOOD	
203	3'-0" x 6'-8"	1 3/4"	WOOD	PAIR

OWNER:

JACOB LIGHTMAN
&
WESTON STEWART-TENNES
16 CLARKE LANE,
PROVIDENCE R.I.
02906

PROJECT:

PROPOSED INTERIOR
RENOVATION
TO EXISTING 1 FAMILY
DWELLING

CONTENT:

EXISTING CONDITIONS
FLOOR PLANS
WINDOW SCHEDULE
DOOR SCHEDULE
FINISH SCHEDULE
GENERAL NOTES
SYMBOL LEGENDS

CONSULTANT:

DRAWINGS PREPARED BY:

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arjinsitu99@gmail.com
401-6037345

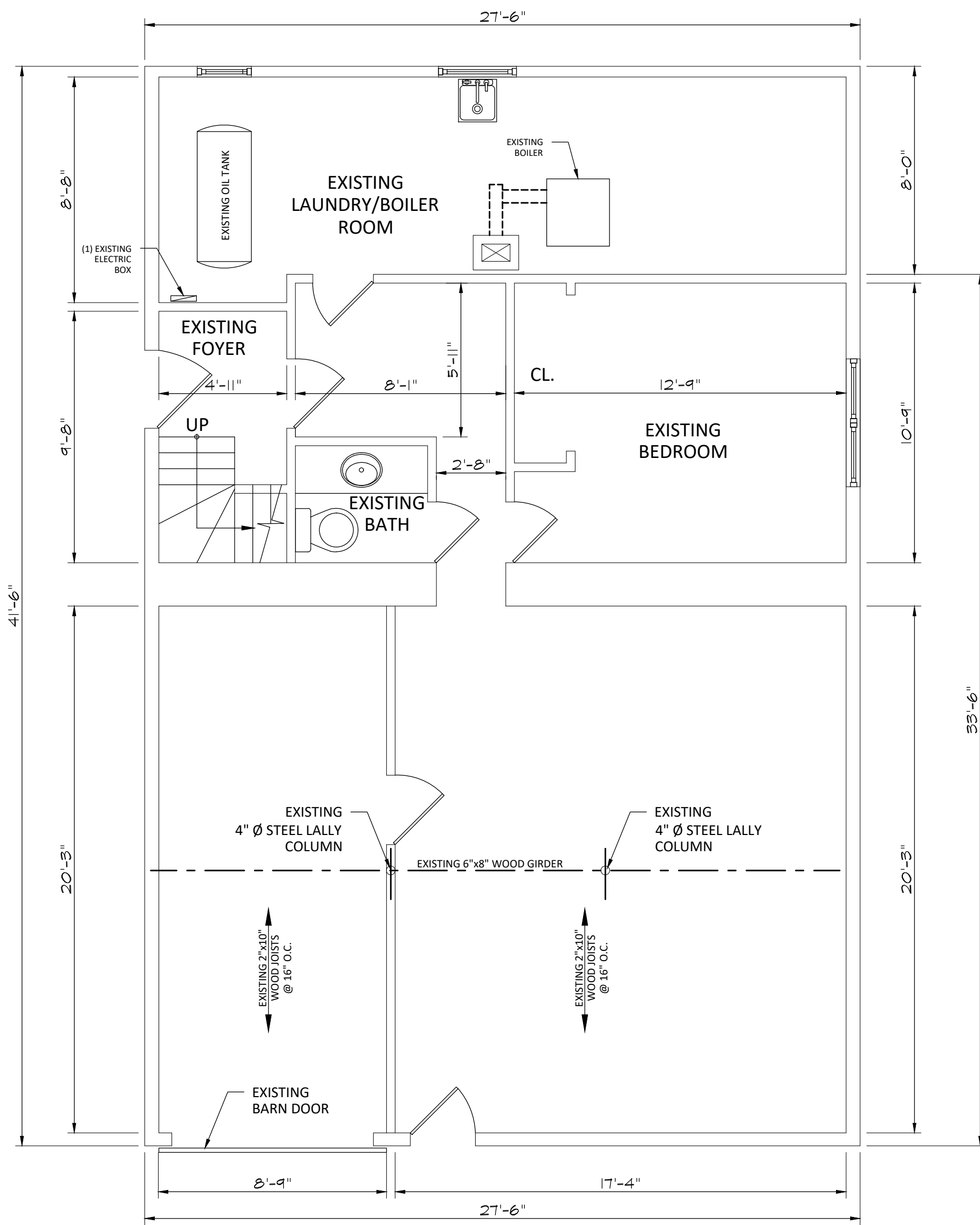
W. ALEXANDER ARANGO
BACHELOR IN ARCHITECTURE
MASTER IN URBAN DESIGN
AMERICAN INSTITUTE OF ARCHITECTS ASSOCIATE

STATUS:
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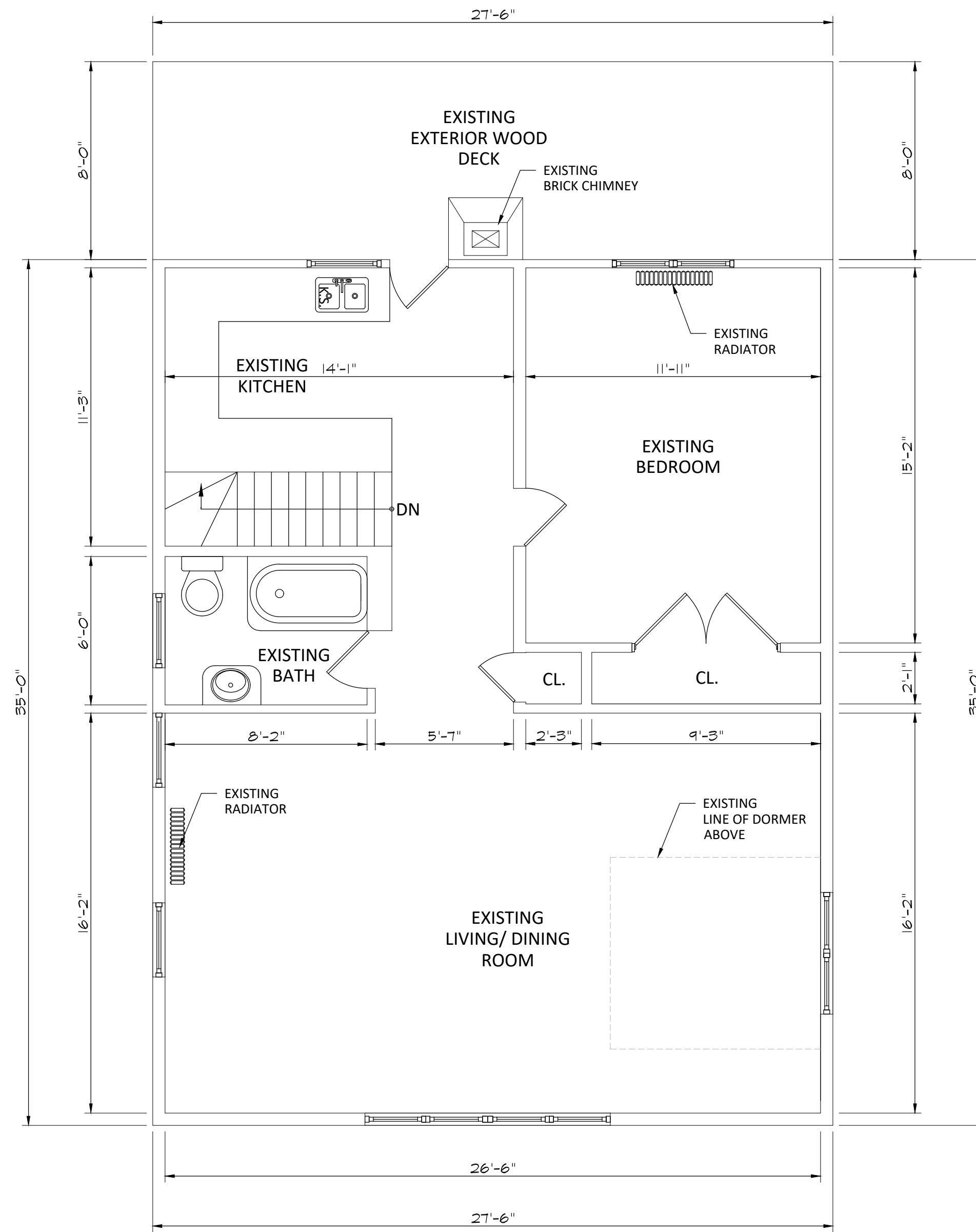
DATE: MARCH 29, 2022
JOB#: 003-2020
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ASSOCIATE A.I.A.
SCALE: AS NOTED
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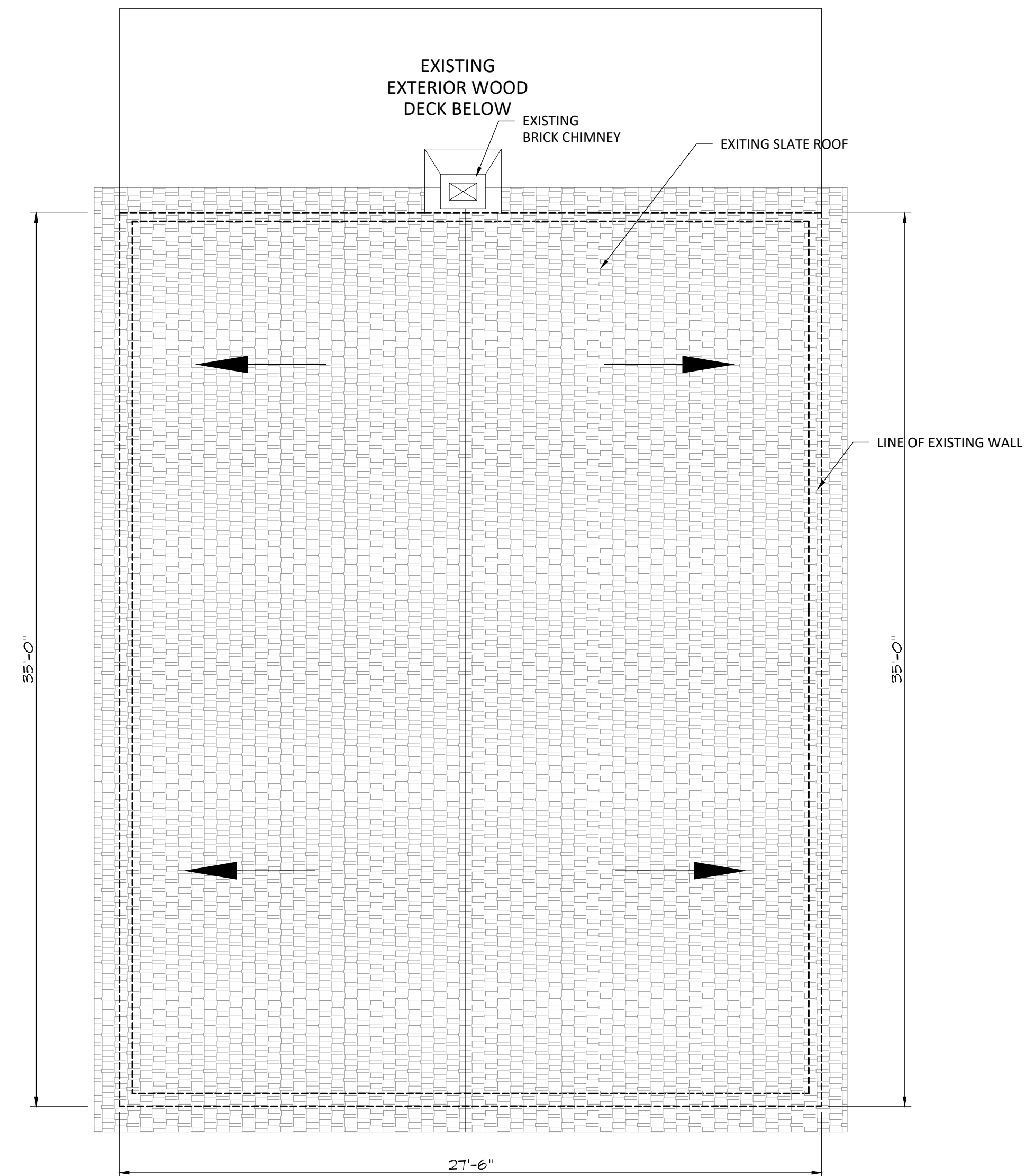


1
0.0 EXISTING FIRST FLOOR PAN
Scale: 1/4"=1'-0"

EXISTING CONDITIONS



2
0.0 EXISTING SECOND FLOOR PLAN
Scale: 1/4"=1'-0"



3
0.0 EXISTING ROOF PLAN
Scale: 1/4"=1'-0"

OWNER:

JACOB LIGHTMAN
&
WESTON STEWART-TENNES
16 CLARKE LANE,
PROVIDENCE R.I.
02906

PROJECT:

PROPOSED INTERIOR
RENOVATION
TO EXISTING 1 FAMILY
DWELLING

CONTENT:

EXISTING CONDITIONS
FLOOR PLANS

CONSULTANT:

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ASSOCIATE A.I.A.
SCALE: AS NOTED
CHECKED BY:

0.0

EXISTING CONDITIONS

OWNER:

JACOB LIGHTMAN
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WESTON STEWART-TENNES
16 CLARKE LANE,
PROVIDENCE R.I.
02906

PROJECT:

PROPOSED INTERIOR
RENOVATION
TO EXISTING 1 FAMILY
DWELLING

CONTENT:

EXISTING CONDITIONS
BUILDING ELEVATIONS

CONSULTANT:

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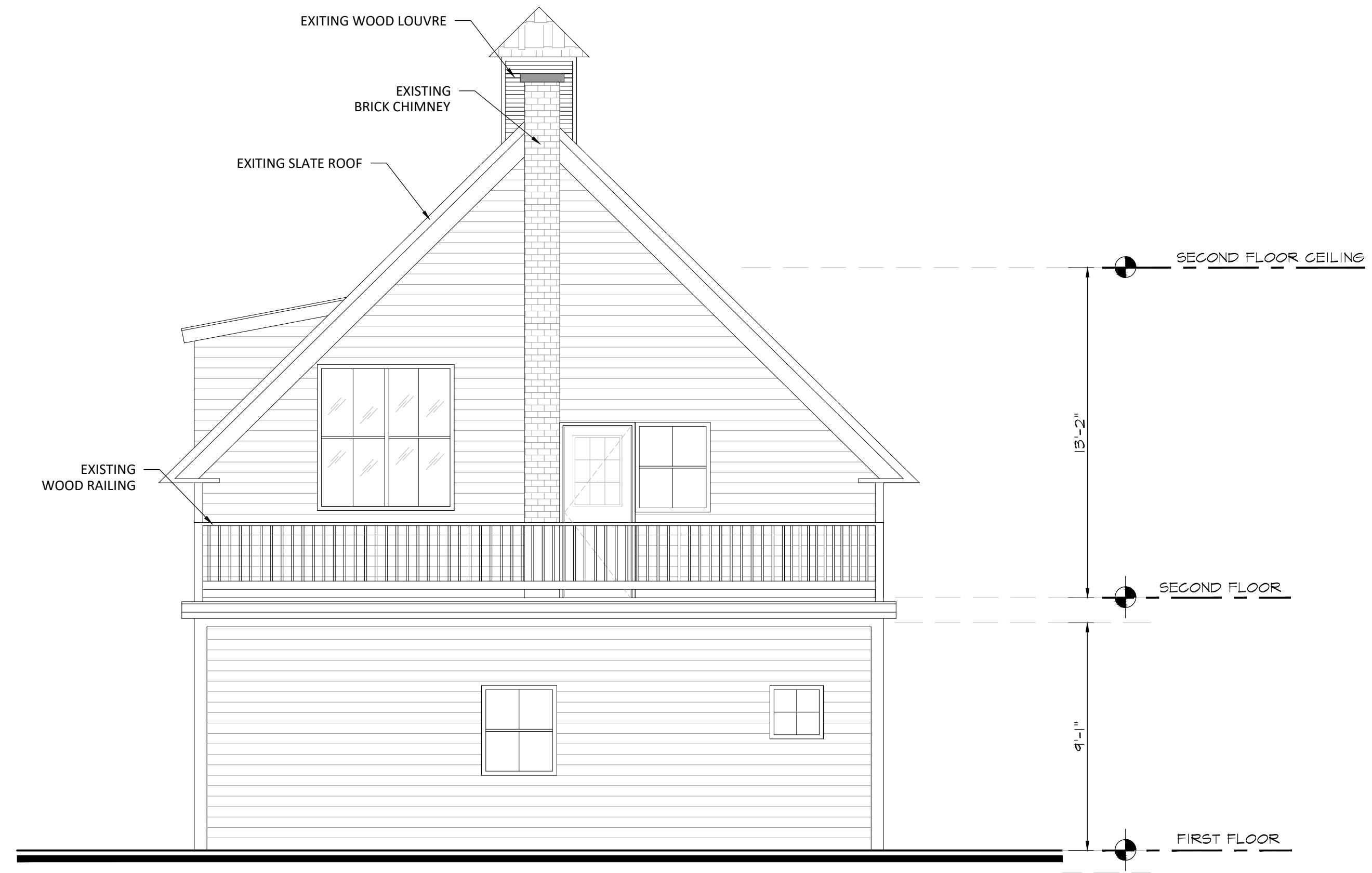
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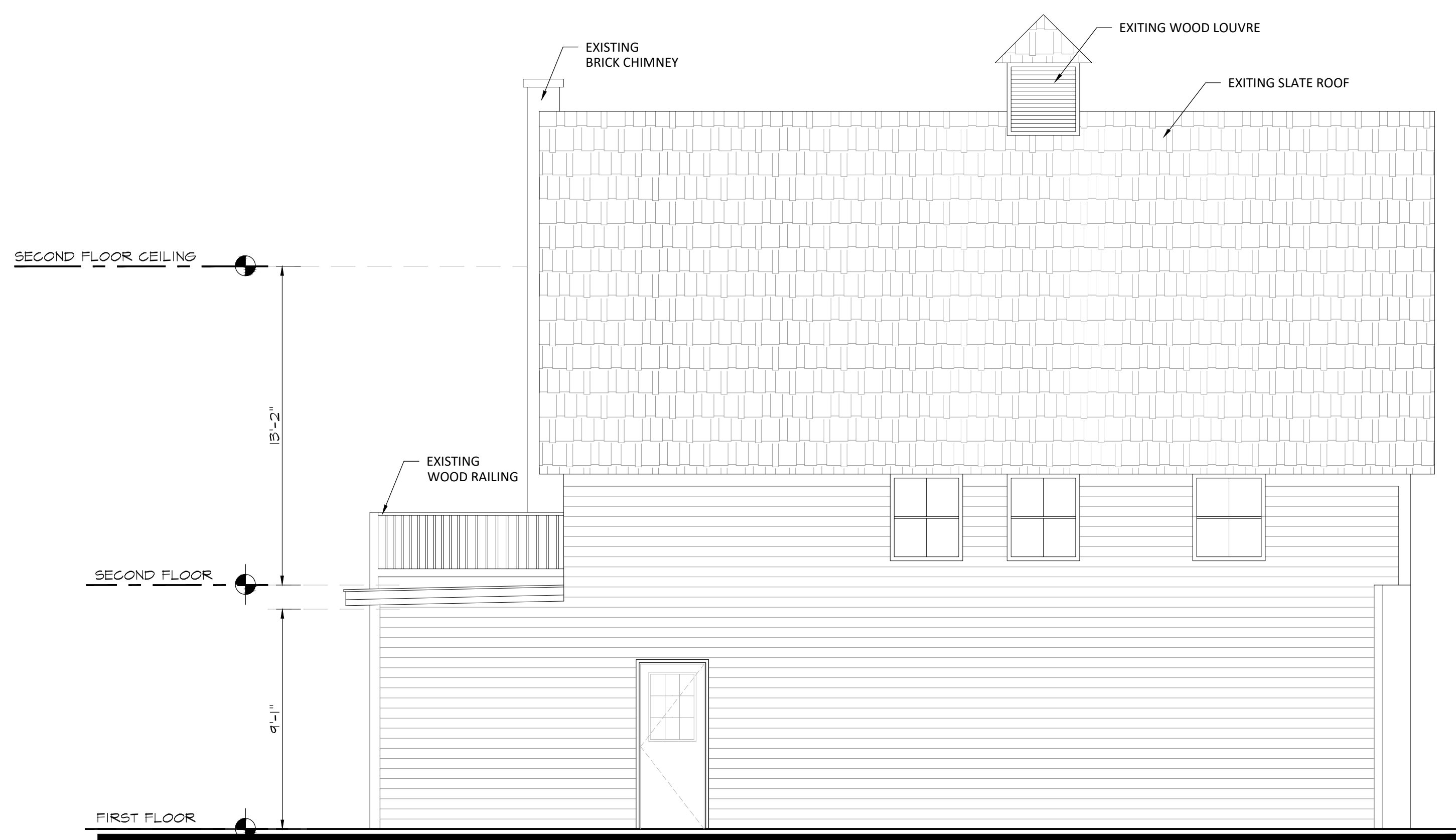
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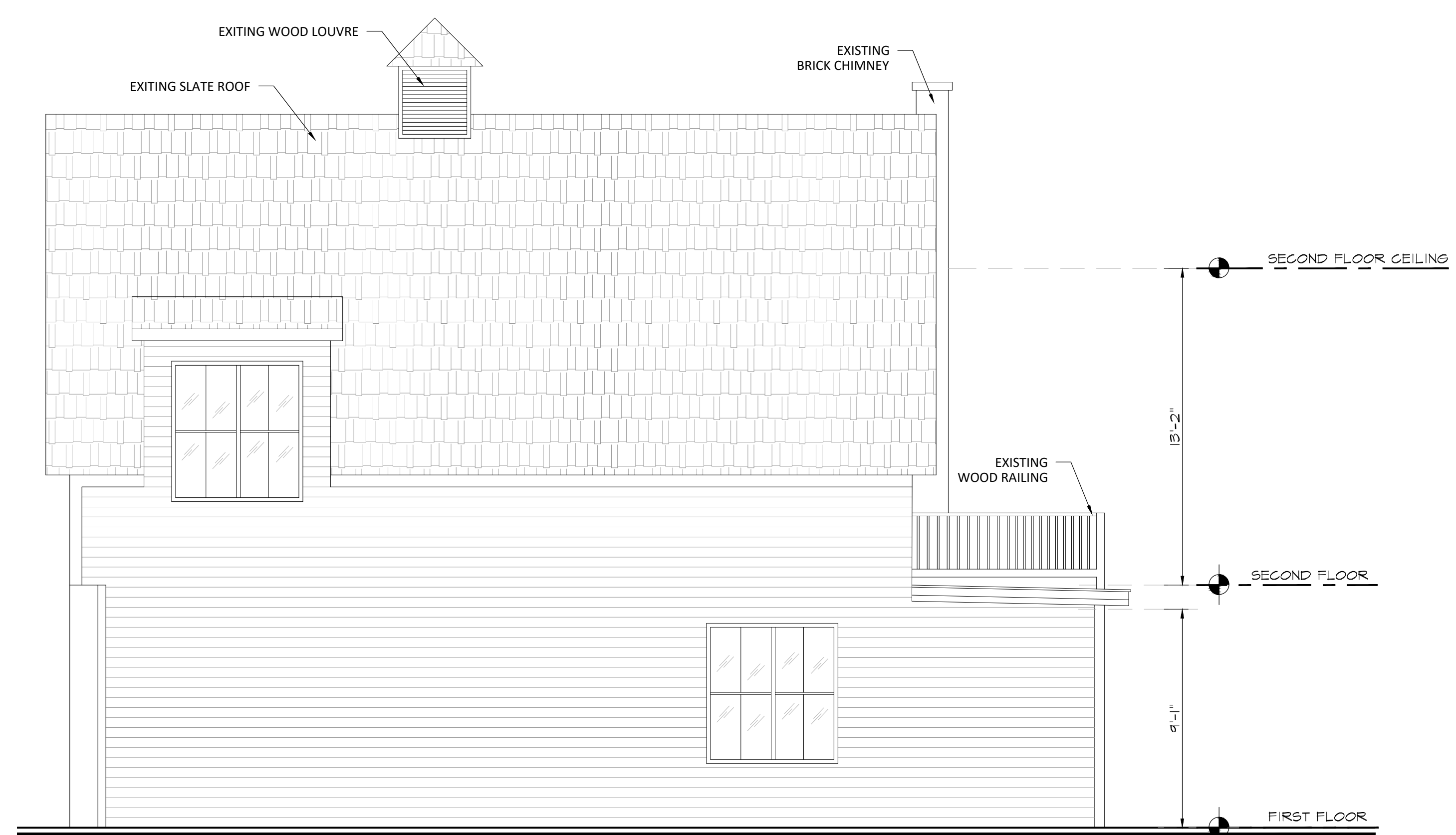
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0.1
EXISTING FRONT ELEVATION
Scale: 1/4"=1'-0"



2
0.1
EXISTING REAR ELEVATION
Scale: 1/4"=1'-0"



3
0.1
EXISTING LEFT ELEVATION
Scale: 1/4"=1'-0"



4
0.1
EXISTING RIGHT ELEVATION
Scale: 1/4"=1'-0"

OWNER:

JACOB LIGHTMAN
&
WESTON STEWART-TENNES
16 CLARKE LANE,
PROVIDENCE R.I.
02906

PROJECT:

PROPOSED INTERIOR
RENOVATION
TO EXISTING 1 FAMILY
DWELLING

CONTENT:

FIRST FLOOR PLAN
SECOND FLOOR PLAN
ROOF PLAN
WINDOW SCHEDULE
DOOR SCHEDULE
FINISH SCHEDULE

CONSULTANT:

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STATUS:

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REVISIONS:

DATE: AUGUST 5, 2022

JOB#: 22-11

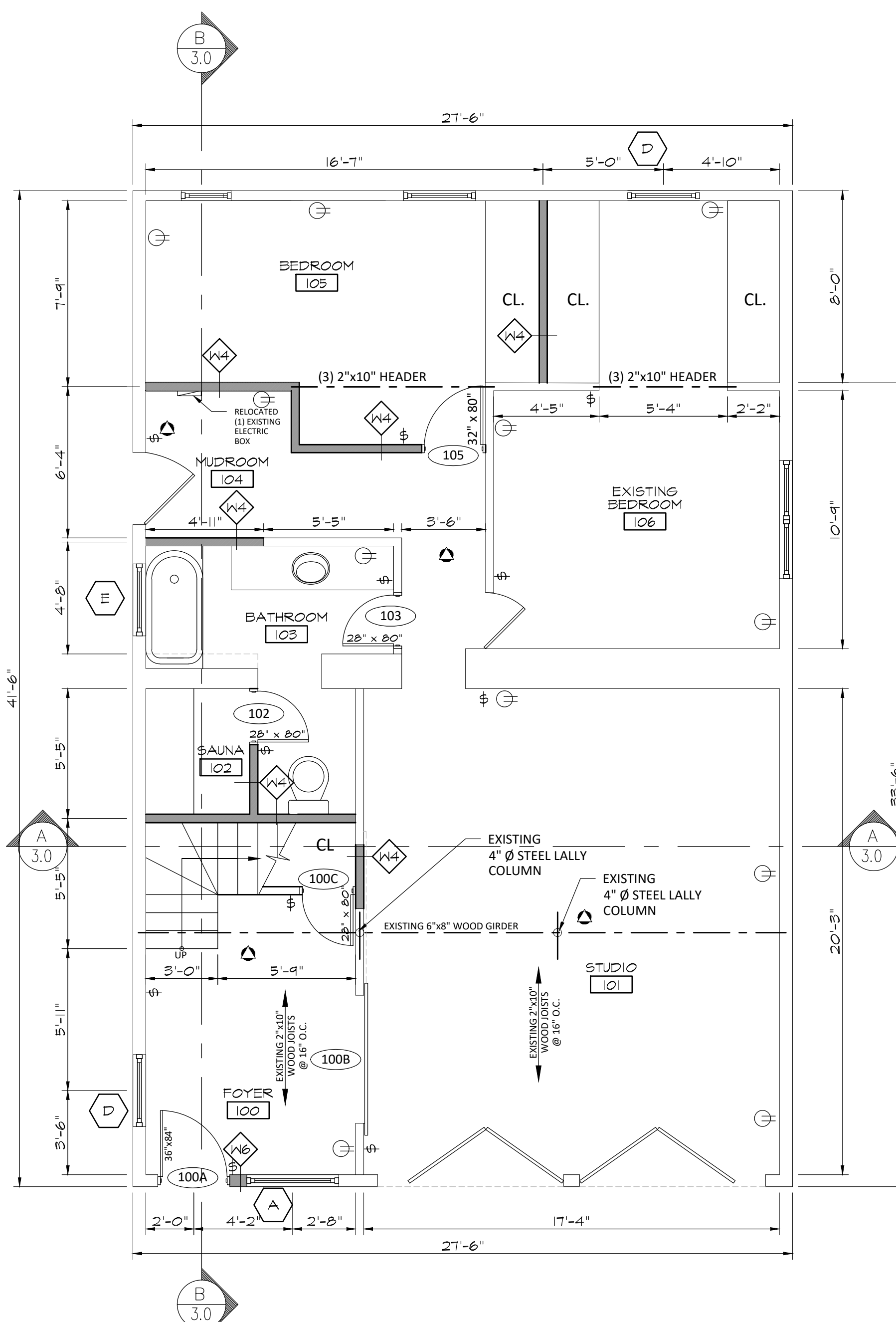
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ASSOCIATE A.I.A.

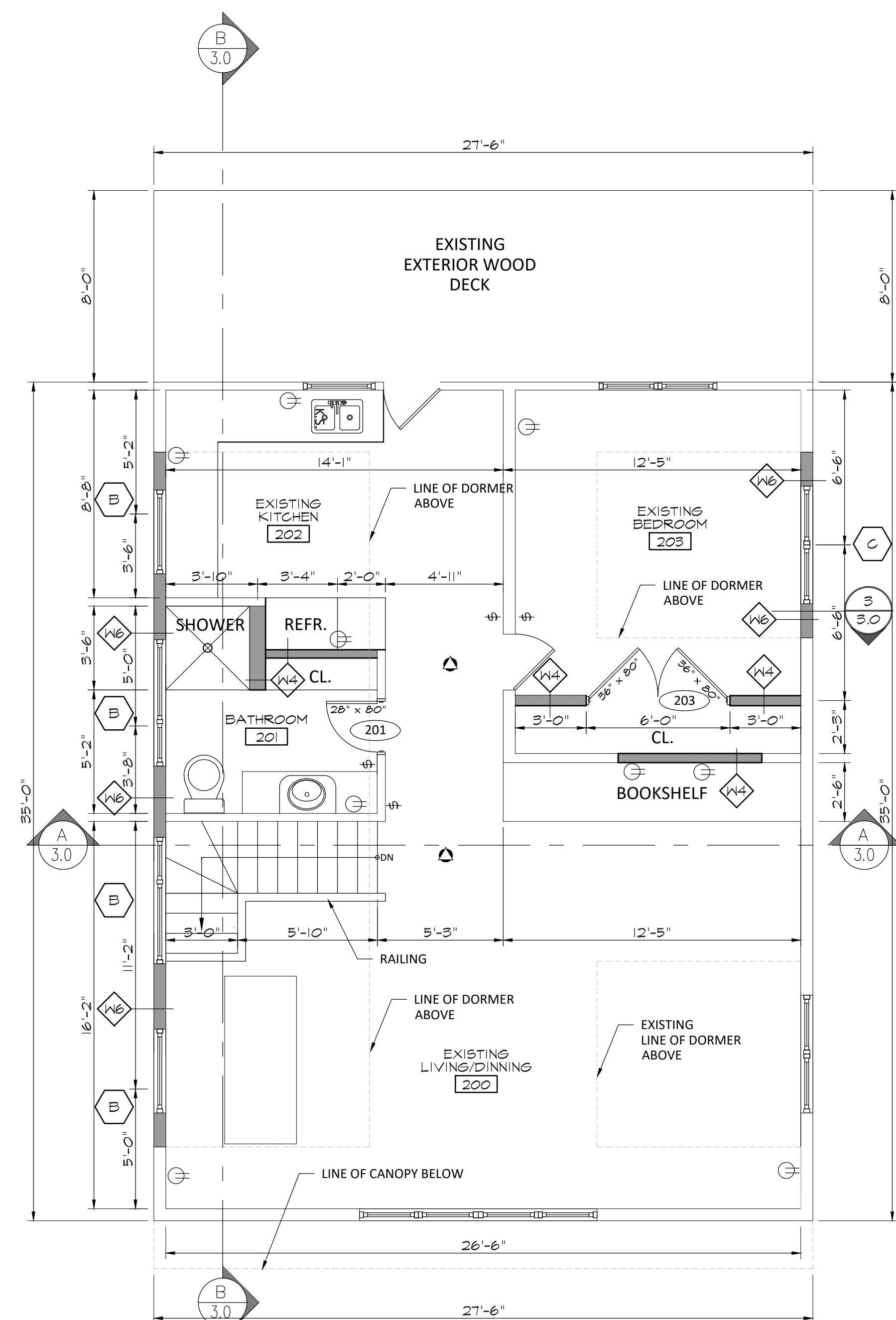
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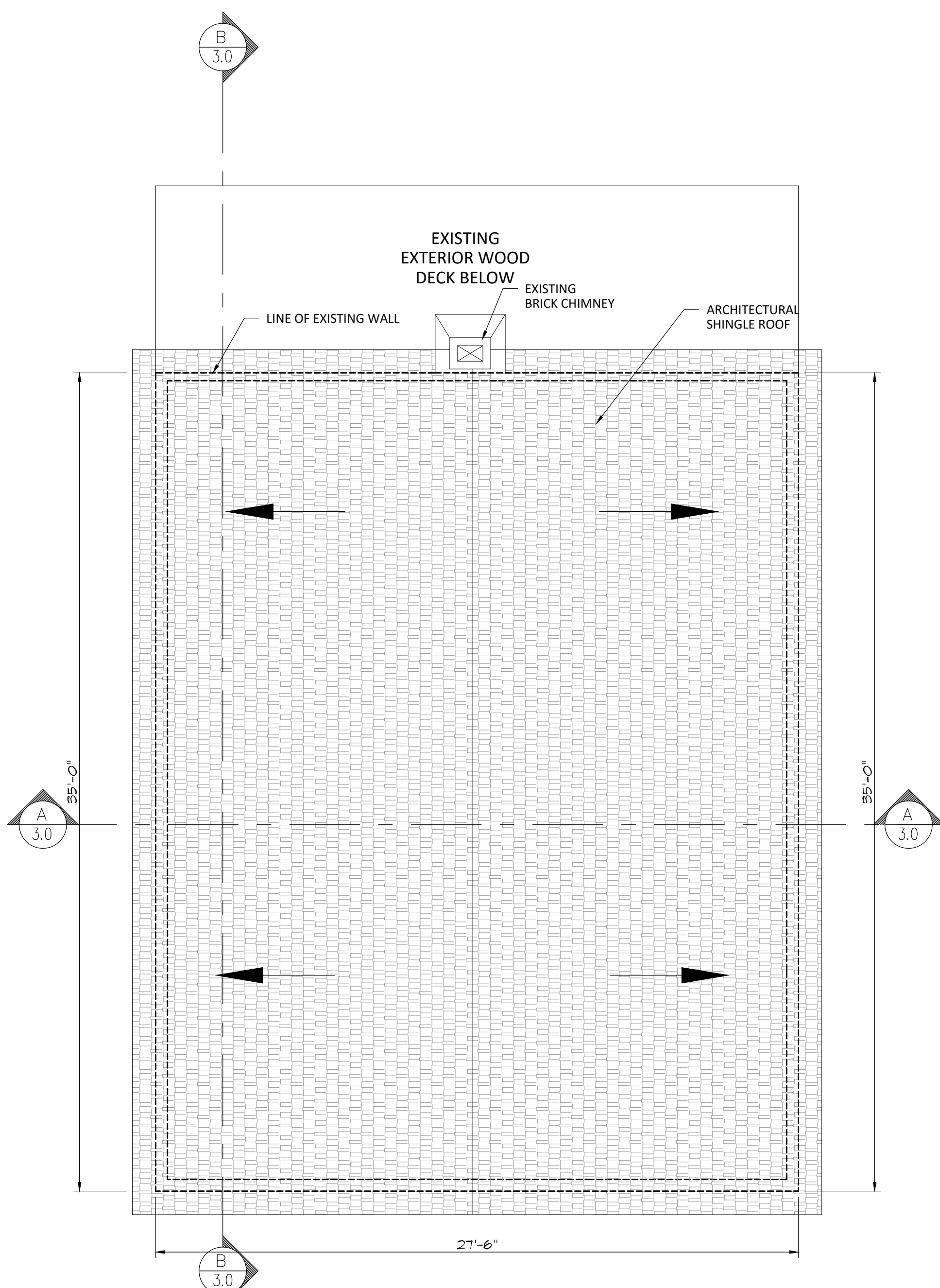
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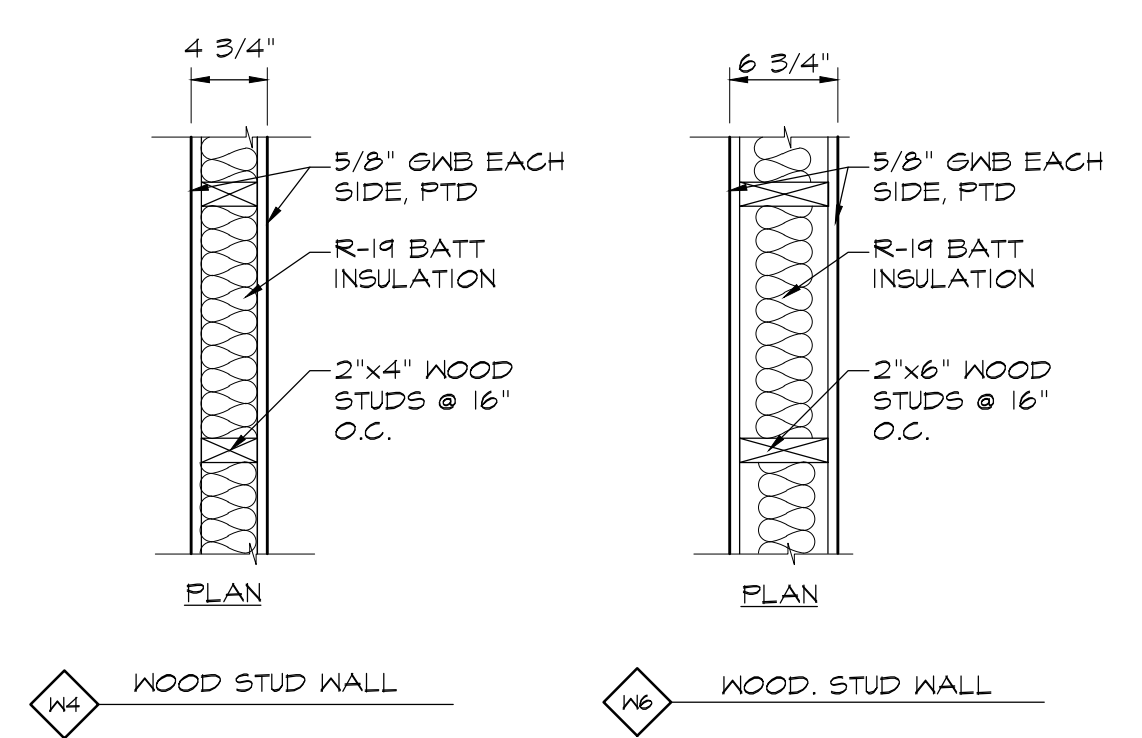
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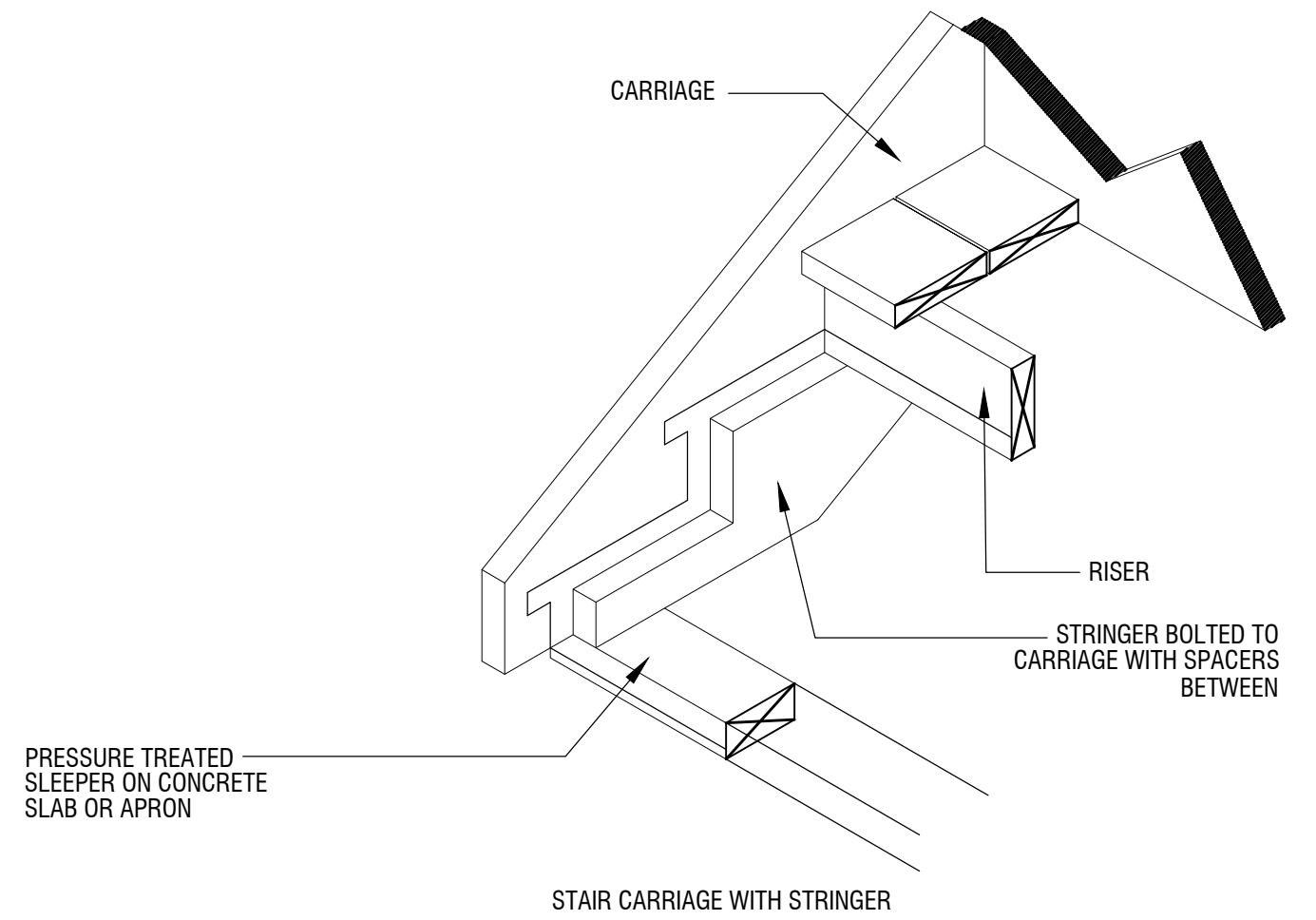
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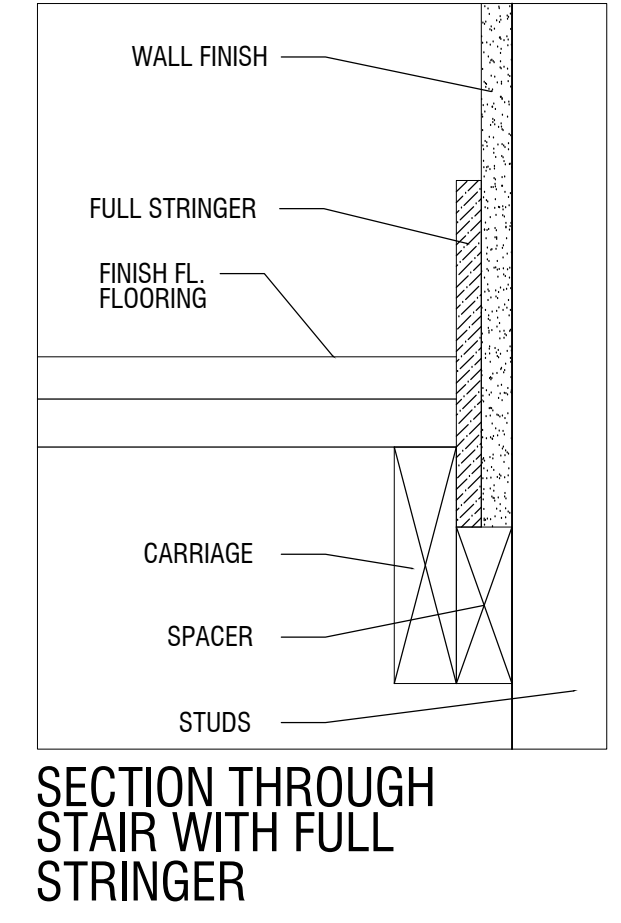
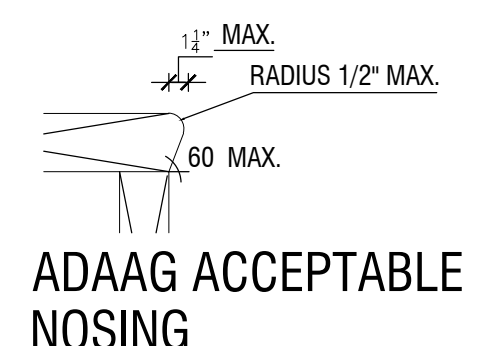
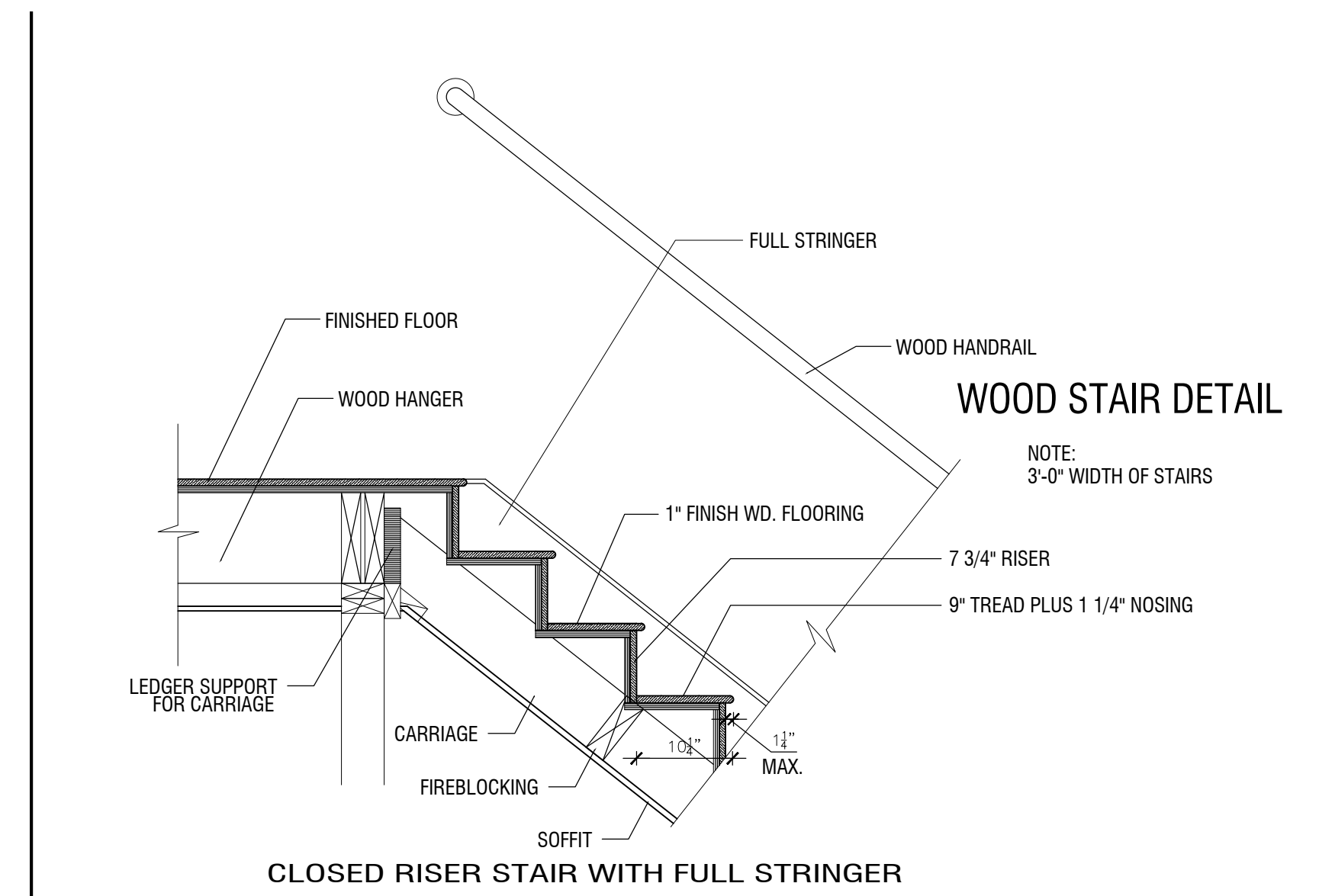
3 ROOF PLAN
Scale: 1/4" = 1'-0"



4 WALL TYPES
Scale: 1/4" = 1'-0"



5 STAIR SECTION -DETAIL
Scale: 1/4" = 1'-0"



OWNER:

JACOB LIGHTMAN
&
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16 CLARKE LANE,
PROVIDENCE R.I.
02906

PROJECT:

PROPOSED INTERIOR
RENOVATION
TO EXISTING 1 FAMILY
DWELLING

CONTENT:

BUILDING ELEVATIONS

CONSULTANT:

DRAWINGS PREPARED BY:

IN SITU

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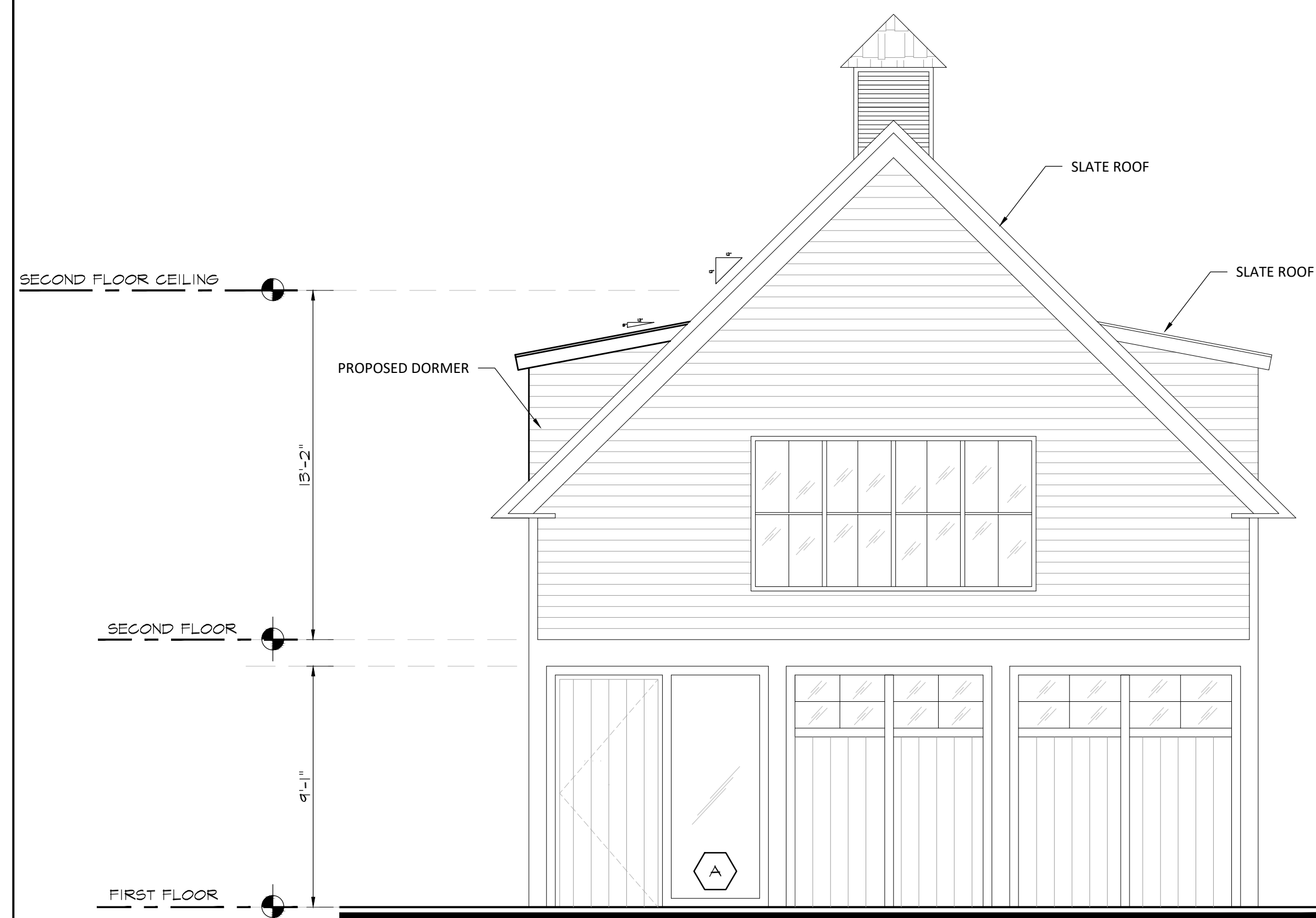
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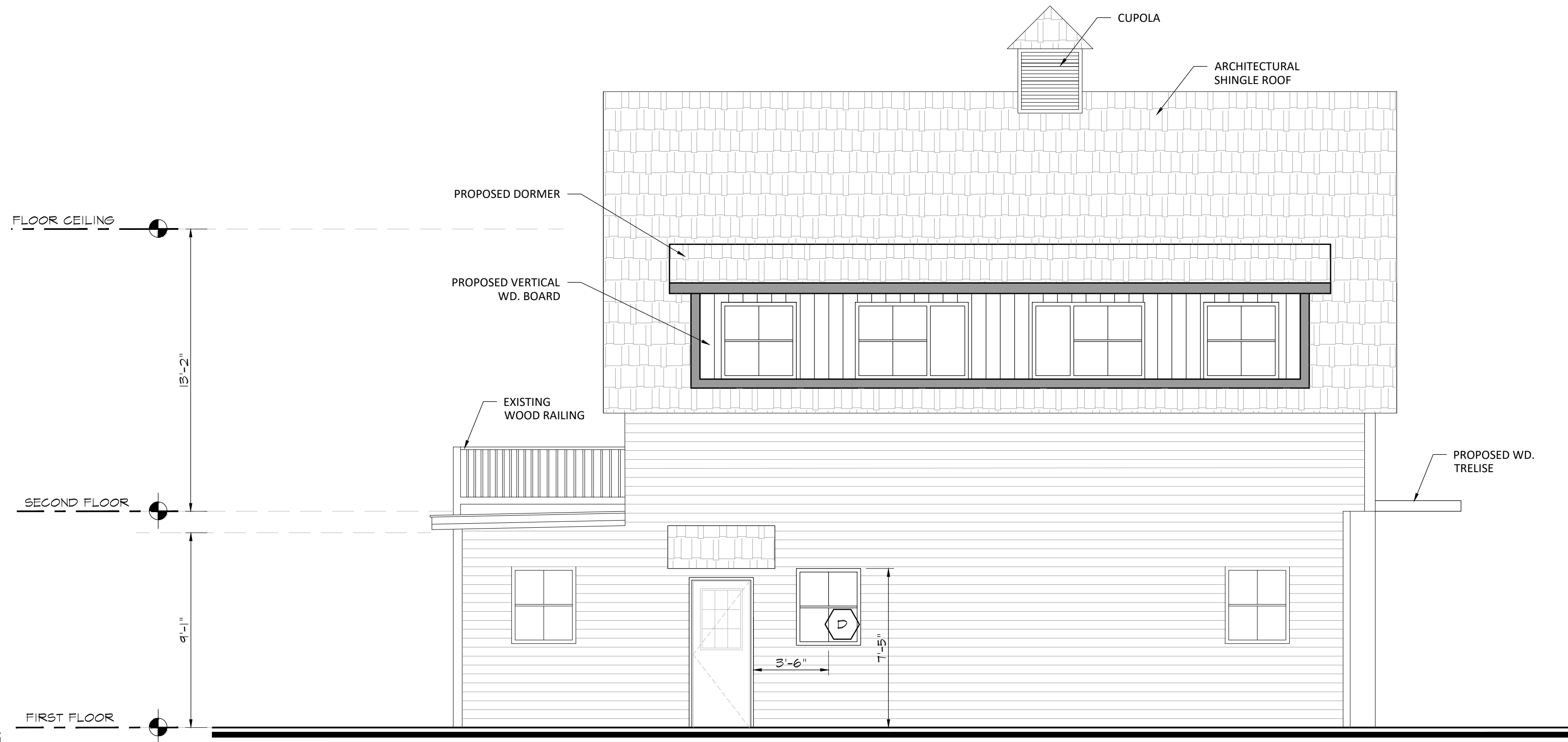
REVISIONS:

DATE: AUGUST 5, 2022
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DRAWN: W. ALEXANDER ARANGO
ASSOCIATE A.I.A.
SCALE: AS NOTED
CHECKED BY:

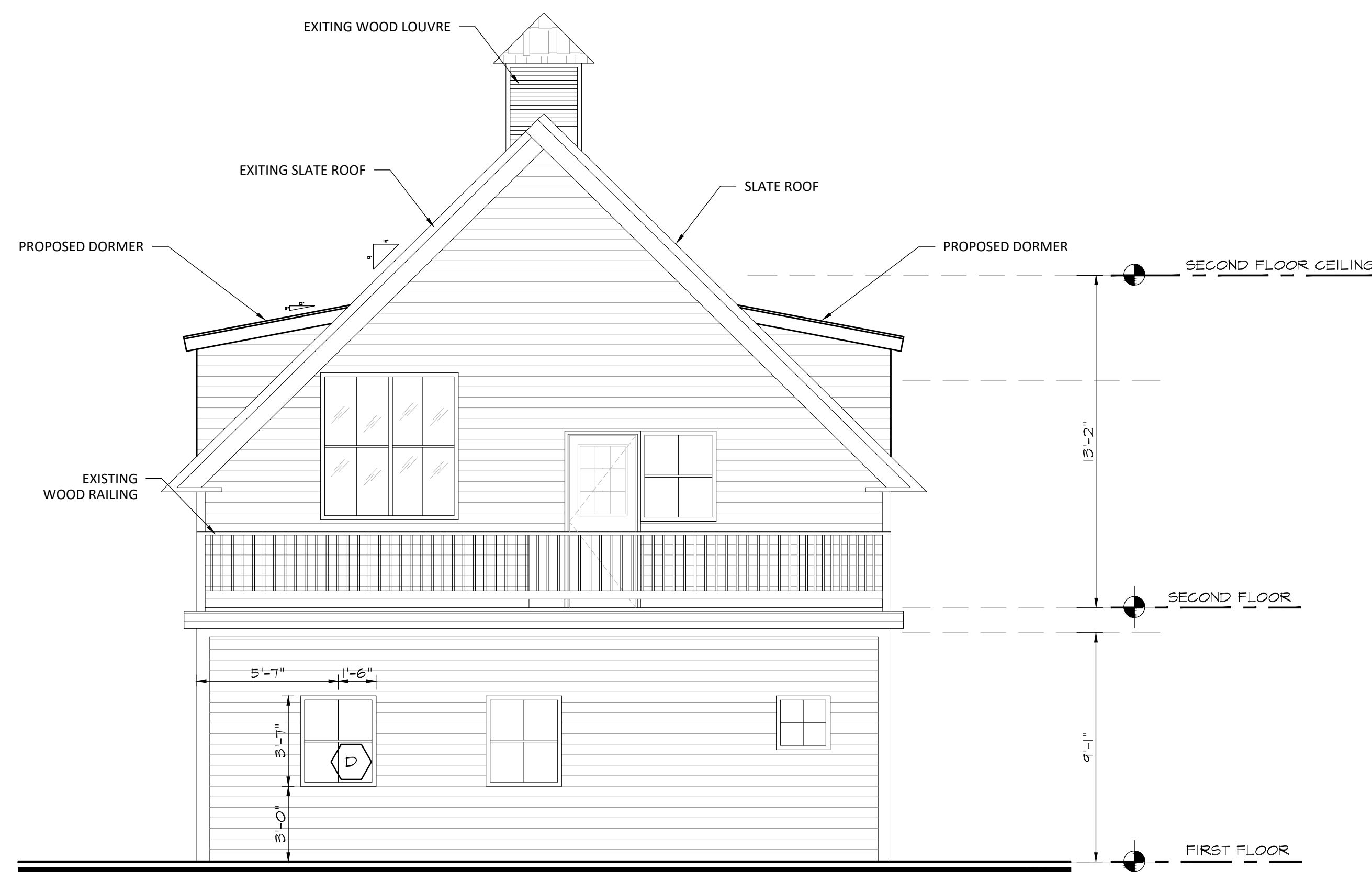
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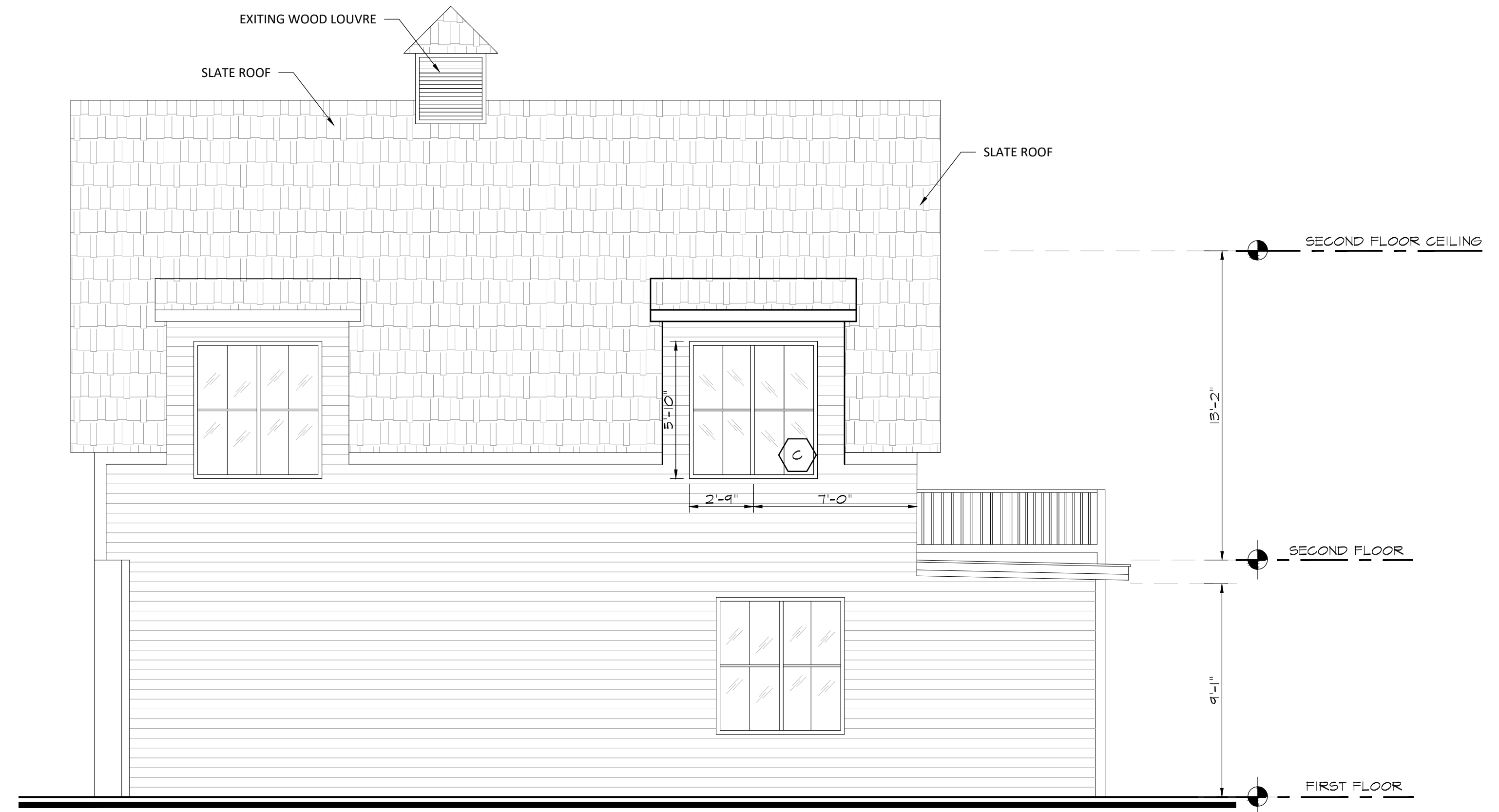
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2 LEFT SIDE ELEVATION
2.0 Scale: 1/4"=1'-0"



3 REAR ELEVATION
2.0 Scale: 1/4"=1'-0"



4 RIGHT SIDE ELEVATION
2.0 Scale: 1/4"=1'-0"

OWNER:

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PROJECT:

PROPOSED INTERIOR
RENOVATION
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CONTENT:

BUILDING SECTIONS
ELECTRICAL FLOOR PLAN

CONSULTANT:

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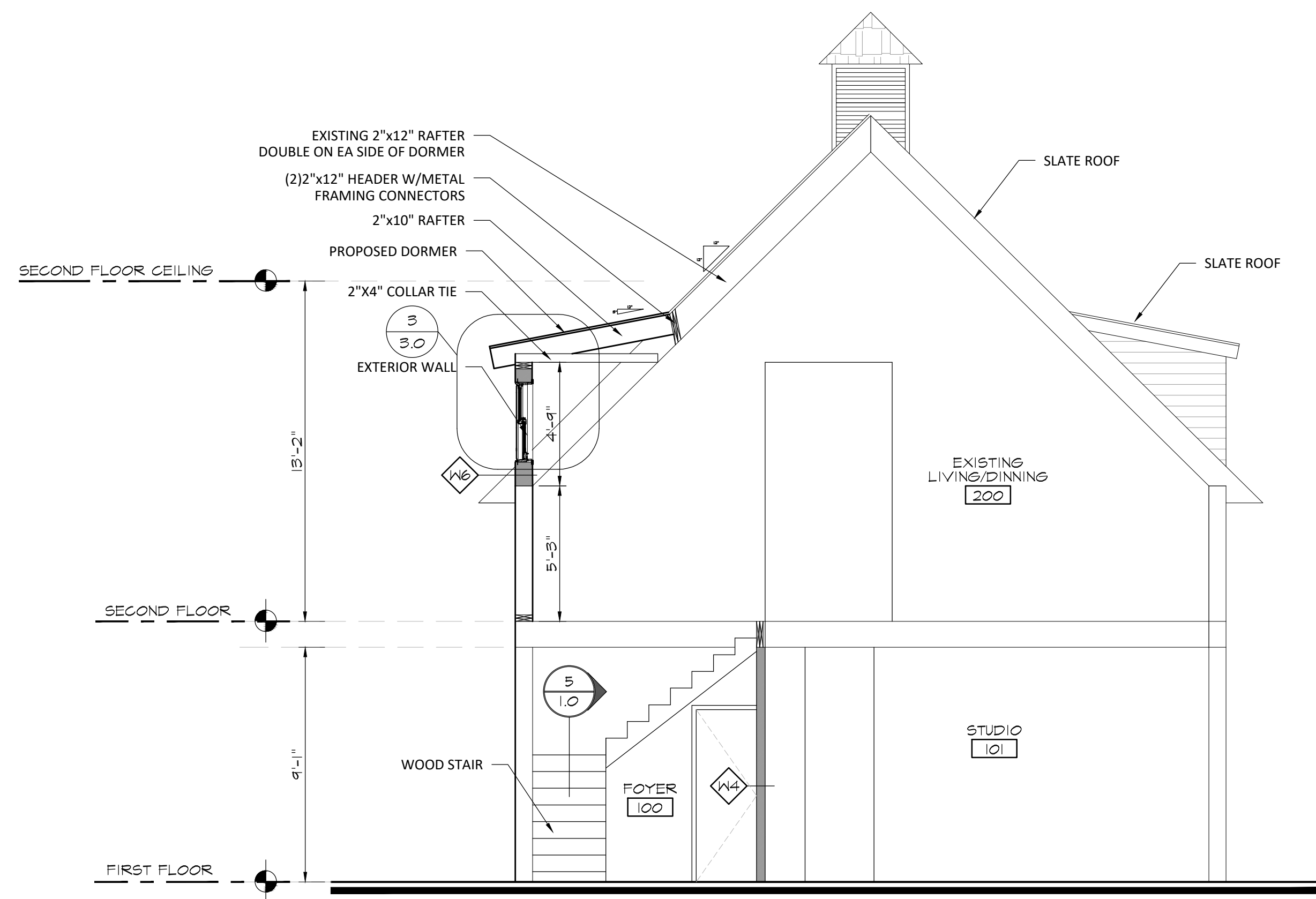
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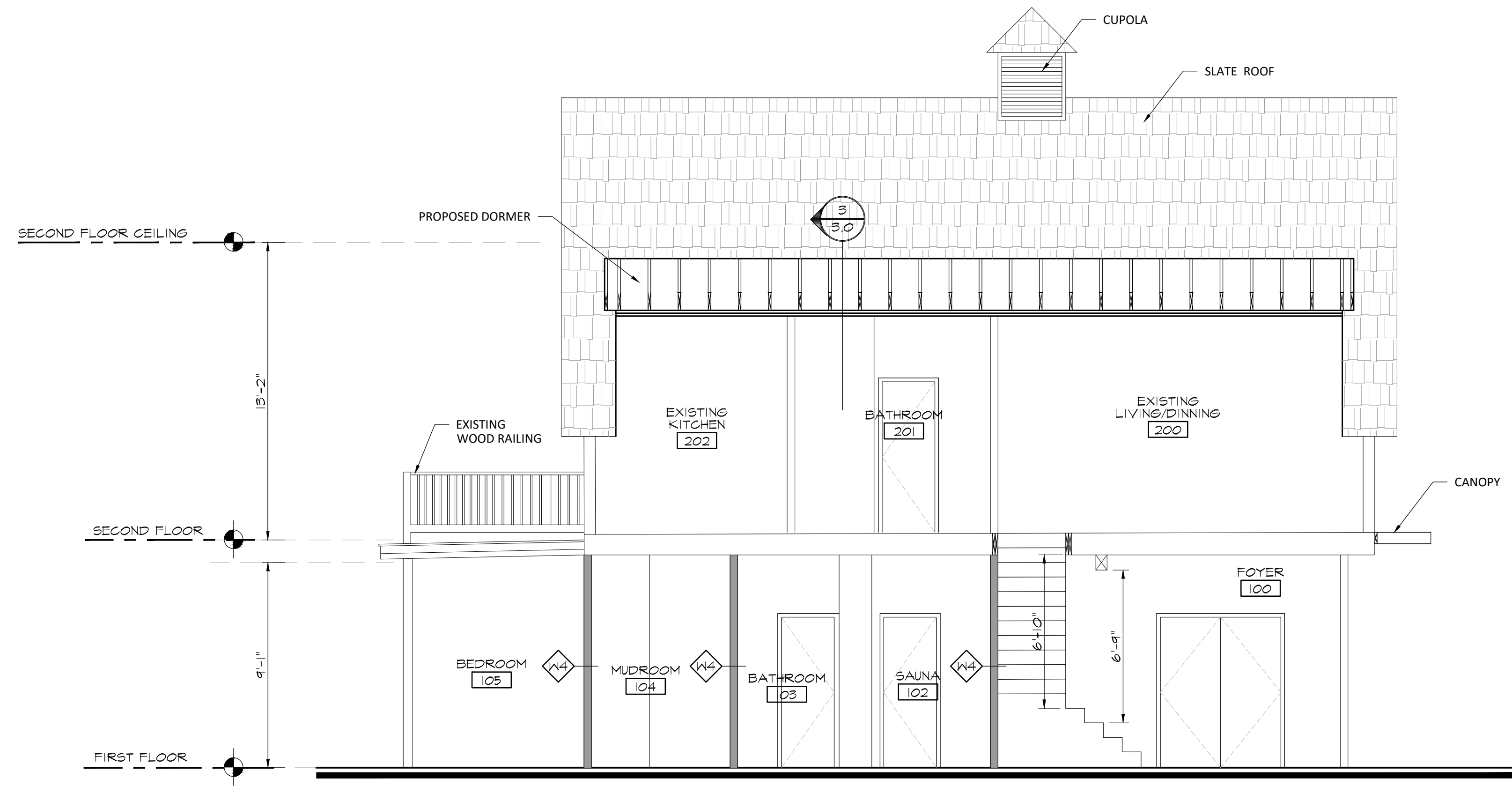
REVISIONS:

DATE: AUGUST 5, 2022
JOB#: 22-11
DRAWN: W. ALEXANDER ARANGO
ASSOCIATE A.I.A.
SCALE: AS NOTED
CHECKED BY:

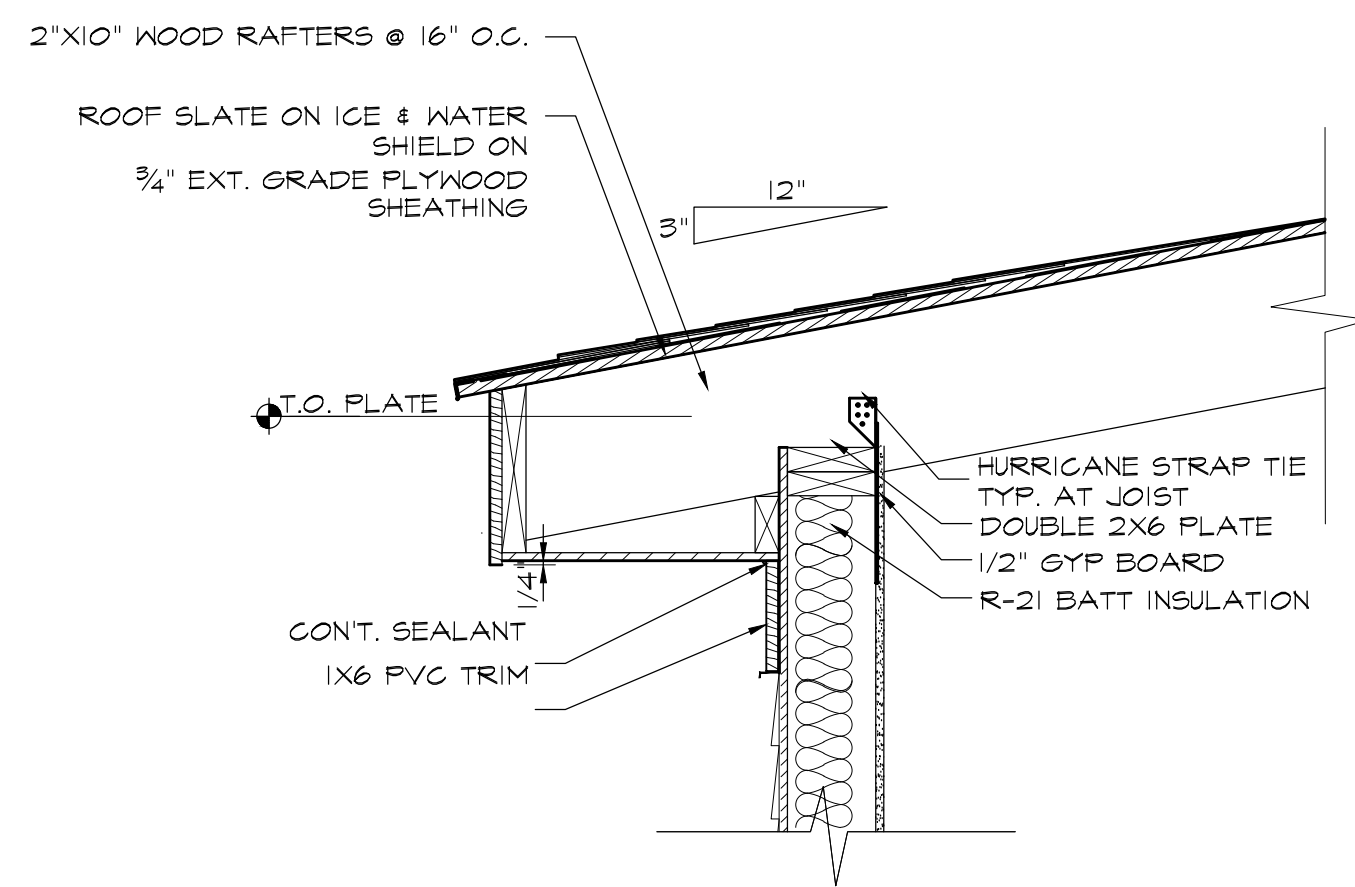
3.0



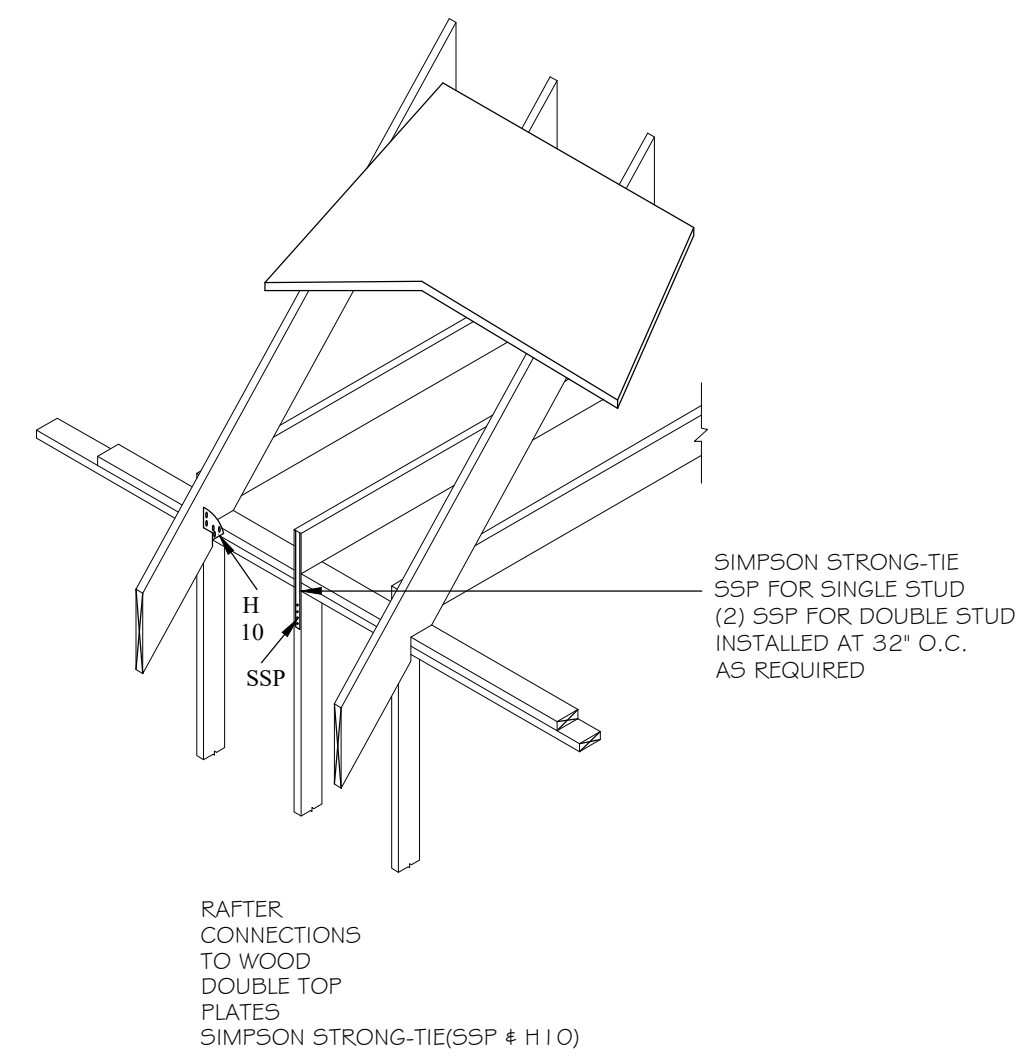
1 A-A CROSS SECTION
Scale: 1/4"=1'-0"



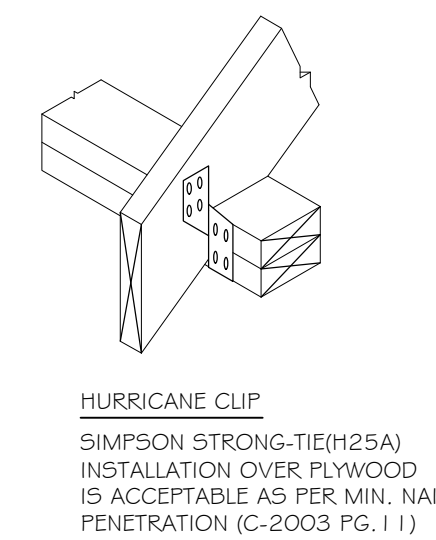
2 B-B LONGITUDINAL SECTION
Scale: 1/4"=1'-0"



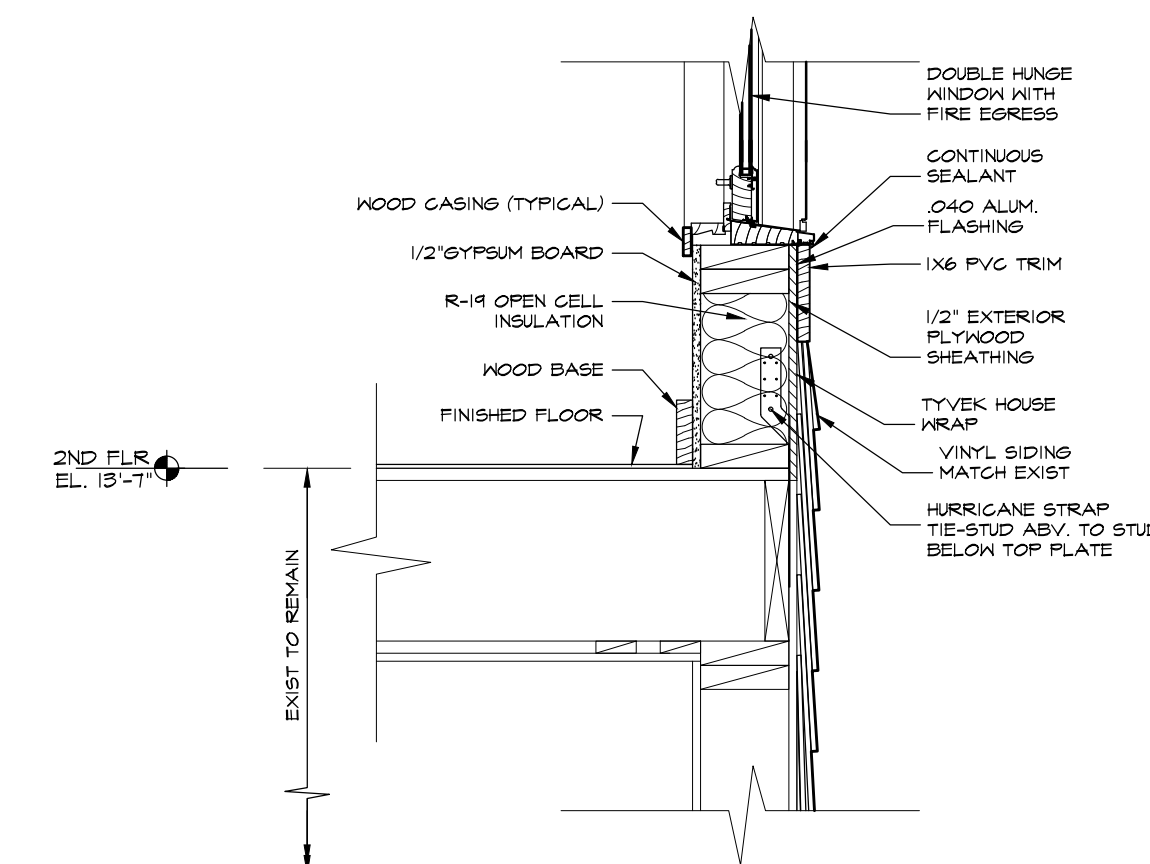
3 EDGE @ DORMER DETAIL
Scale: 1"=1'-0"



4 RAFTER CONNECTION @ DORMER DETAIL
Scale: 1/4"=1'-0"



HURRICANE CLIP
SIMPSON STRONG-TIE(H25A)
INSTALLATION OVER PLYWOOD
IS ACCEPTABLE AS PER MIN. NAIL
PENETRATION (C-2003 PG. 11)



5 WALL CONNECTION @ SECOND FLOOR
Scale: 1"=1'-0"