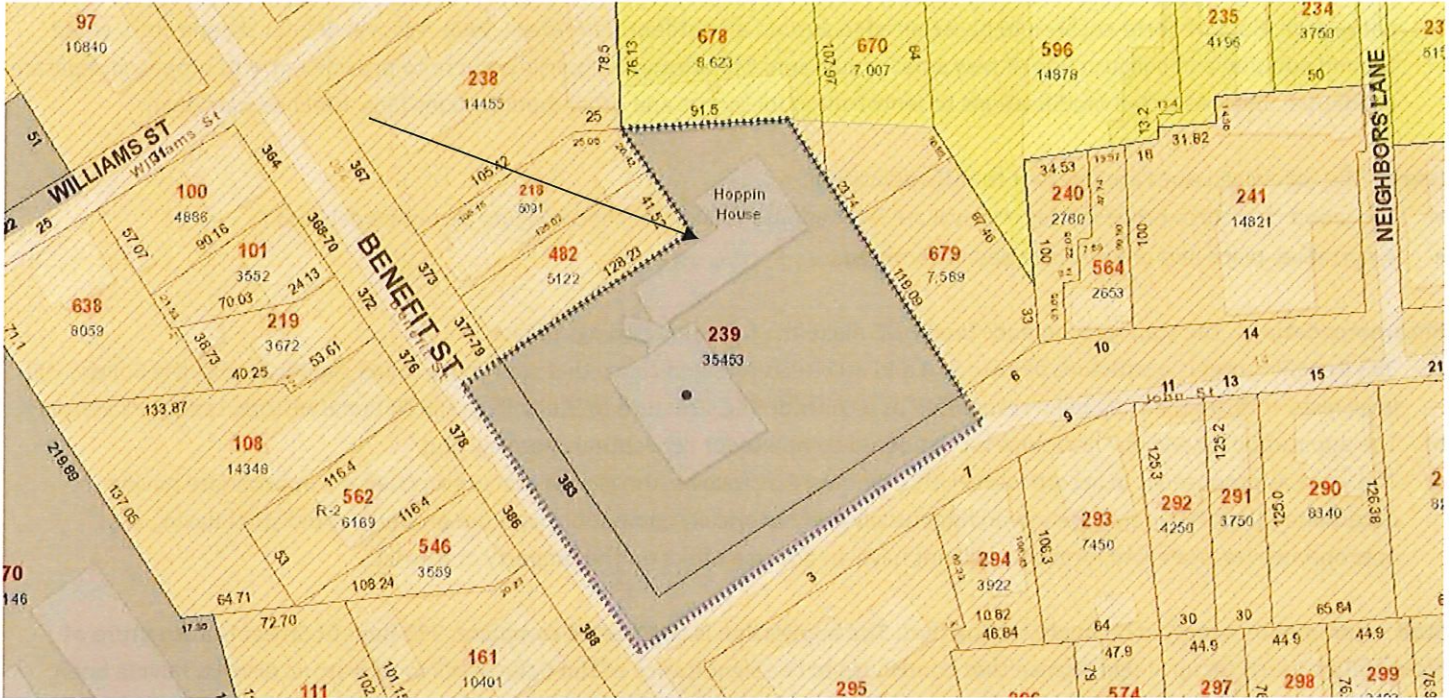


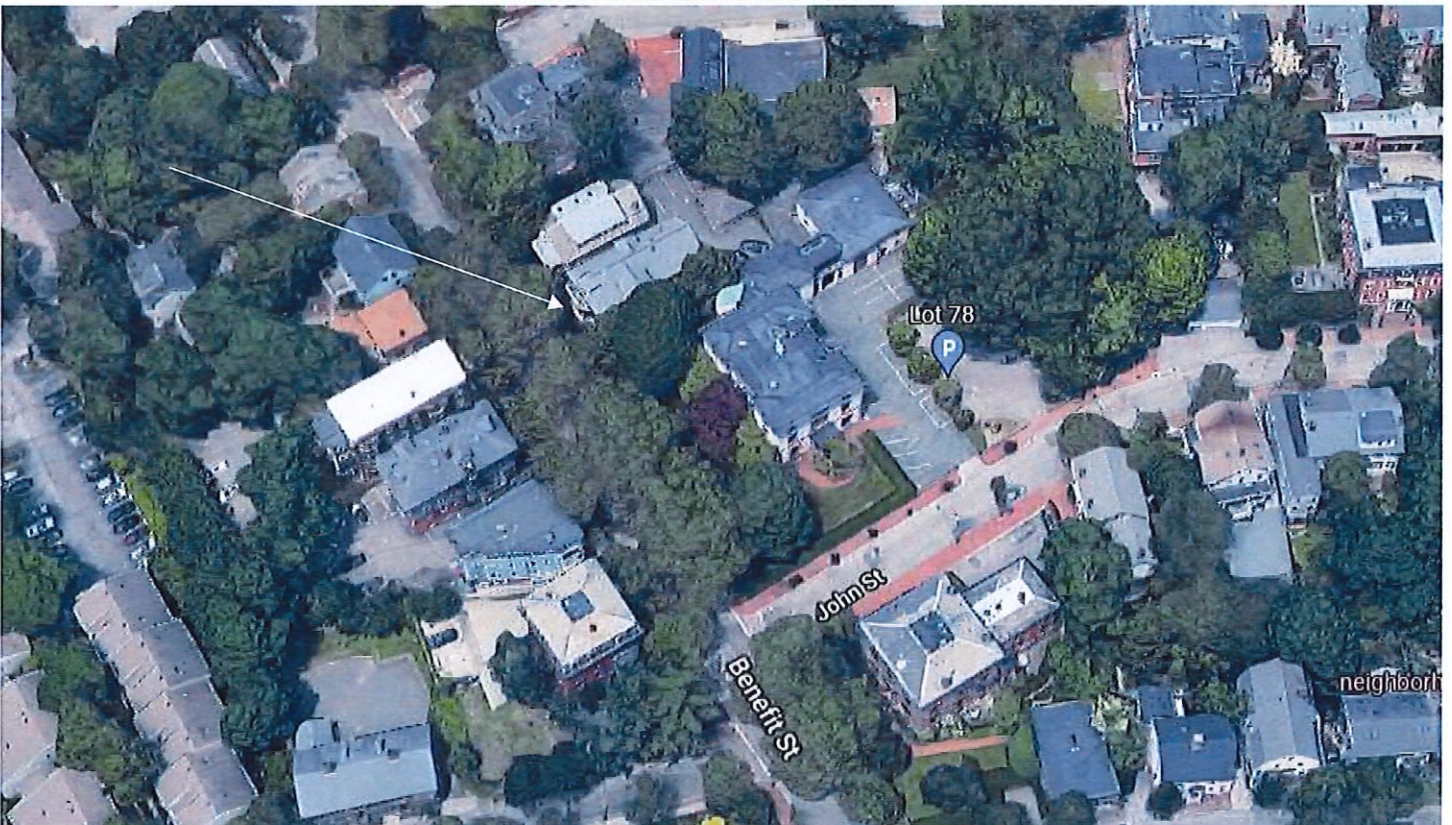
2. CASE 22.115, 383 BENEFIT STREET, Thomas F. Hoppin House, 1853-55, 1982-83 (COLLEGE HILL)

Italianate palazzo type; 3 stories; brick originally stuccoed with brownstone trim; low hip roof, bracketed cornice; three-part side elevation, center recessed and originally with balustraded balcony; similar treatment on courtyard side but with arcaded ground-floor entrance loggia; fine service wing and stable composition with arch between. Originally had cast iron fence on retaining wall around grounds. Remodeled for office use; modern semi-cylindrical stair tower on north side. 1853-5 Alpheus Morse; 1982-3 Robinson Green Beretta.

CONTRIBUTING



Arrow indicates 383 Benefit Street.



Arrow indicates project location, looking north.

Applicant/Architect: Jon-Paul Couture Architect, 26 Arnold Street, Providence, RI 02906
Owner: M. Holt Massey, 85 Merrimac Street, Ste. 501, Boston, MA 02114

Proposal: The scope of work proposed consists of Major Alterations and includes:

- the removal of two, later wood structures: **one:** second-story of the porte-cochere roof and installation of an outdoor patio/deck. Roof of porte-cochere to be repaired to sustain an outdoor patio/deck; **two:** removal of later second story wood framed addition and construction of new smaller addition; Modification of porte-cochere to provide entry to proposed separate residential units; Assorted modifications to fenestration for egress and other modifications (See attached narrative).

Issues: The following issues are relevant to this application:

- The wood structures proposed for removal are later additions (see attached building permit cards); and,
- A narrative, plans and photos have been submitted.

Recommendations: The staff recommends the PHDC make the following findings of fact:

- a) 383 Benefit Street is a structure of historical and architectural significance that contribute to the significance of the College Hill local historic district, having been recognized as a contributing structure to the College Hill National Historic Landmark District;
- b) The application for Major Alterations is considered complete for conceptual approval; and,
- c) The work as proposed is in accord with PHDC Standard 8 as follows: the alterations as proposed are appropriate having determined that the alterations are architecturally and historically compatible with the property and district having an appropriate size, scale and form that will not have an adverse effect on the property or district.

Staff recommends a motion be made stating that: The application is considered complete. 383 Benefit Street is a structure of historical and architectural significance that contribute to the significance of the College Hill local historic district, having been recognized as a contributing structure to the College Hill National Historic Landmark District. The Commission grants final approval of the proposal as submitted having determined that the alterations as proposed are appropriate as the alterations are architecturally and historically compatible with the property and district having an appropriate size, scale and form that will not have an adverse effect on the property or district, citing and accepting the recommendations in the staff report, with staff to review any additional required details.

JP COUTURE, ARCHITECT, INC.

SCOPE OF WORK FOR 383 BENEFIT STREET

DRAWING A2.1 SOUTH ELEVATION (VIEW FROM JOHN STREET)

Main Building – BLDG #1

No major alterations planned. Windows to be evaluated for repair. Repair to be in-kind.
Existing entrance vestibule windows to be replaced with custom fixed units for use in existing opening, simulated divided light and arched transom.

Kitchen Building – BLDG #2A

No major alterations planned. Windows to be evaluated for repair. Repair to be in-kind.

Porte Cochere – BLDG #2B

Removal of later second story wood framed addition. Roof of porte cochere to be repaired to sustain an outdoor patio/deck.

Modification of porte cochere to provide entry to proposed separate residential units. Center span to remain open to allow for vehicle passage. Left and right spans to be enclosed with new stair and entry door on left span for access to unit in Bldg. #2A. New entry door on right span for access to unit in Bldg. #3. Both new door units proposed to single French door units with simulated divided lights.

Stable Building – BLDG #3

Modifications include changes to window/doors 107 and 109. Wood panels on 107 to be modified to include additional glass panes. Arched window opening 109 to be modified for new custom arched door allowing unit access. The brick façade and base repair to match existing in type and finish.

Replace existing door 101.3 with new unit. Proposed door to be three panel.

Second floor later wood framed addition at rear on north side of property to be modified in scale with a new window unit on the south elevation. Proposed window to be a fixed casement unit with simulated divided lights.

Proposed new railing/guardrail to match style of existing on porte cochere #2B.

DRAWING A2.2 WEST ELEVATION (VIEW FROM BENEFIT STREET)

Main Building – BLDG #1

Windows to be evaluated for repair. Repair to be in-kind.

Single window unit on third floor to be replaced for egress compliance. Unit to be 3/3 to match existing.

Entrance vestibule windows and entry doors to be replaced. Custom units for use with existing opening. Doors proposed as 2 panel with glass and arched transom.

Kitchen Building – BLDG #2A

Remove existing window 218A and replace with new double unit in order to be egress compliant.

New window unit, 3/3 configuration (121A) to be installed on same West elevation of Bldg. 2.

DRAWING A2.3 NORTH ELEVATION

Main Building – BLDG #1

No major alterations planned. Windows to be evaluated for repair. Repair to be in-kind.

Kitchen Building – BLDG #2A

No major alterations planned. Windows to be evaluated for repair. Repair to be in-kind.

Porte Cochere – BLDG #2B

Porte cochere enclosures to allow for separate residential units in Buildings 2A & 3. Center span to remain open for vehicle access. Right span enclosed with new entry door for access to unit in Bldg. #2A. Existing door in left span to be replaced with new 3 panel to match new on right span.

JP COUTURE, ARCHITECT, INC.

Stable Building – BLDG #3

New window openings and new 3/3 windows to replace existing to allow for egress compliance. Arched windows 111 and 112 to remain. New window 112A added below 112 for egress compliance. Existing window 113 to be replaced with a door opening (106.1).

Second floor later wood framed addition to be modified in scale with a new window unit on the north elevation. Proposed window to be a fixed casement unit with simulated divided lights. Proposed new railing/guardrail to match style of existing on porte cochere #2B.

DRAWING A2.4 EAST ELEVATION

Main Building – BLDG #1

Windows to be evaluated for repair. Repair to be in-kind. Two 3/3 window units on the third floor to be replaced with new units to match existing for egress compliance.

Existing entrance vestibule windows to be replaced with custom fixed units for use in existing opening, simulated divided light and arched transom.

Kitchen Building – BLDG #2A

East elevation changes from modifications to porte cochere enclosures include replacement of doors in existing locations.

Porte Cochere – BLDG #2B

East elevation changes from the enclosure of porte cochere right and left spans includes a new 2/2 window unit on east elevation of span connected to building #2A.

Stable Building – BLDG #3

Later wood framed addition on east elevation of building #3 is being modified in size and scale and window and door modifications to this fenestration include removing existing windows and doors. 3/3 existing window unit to be replaced with double French door unit. Addition to receive new windows with simulated divided lights. Existing entry door replaced with casement window units. Brick opening to remain and filled with wood painted flush board.

GENERAL

No landscape improvements planned at this time. Footprint of the existing structure to remain intact.

JP COUTURE, ARCHITECT, INC.

SCOPE OF WORK FOR 383 BENEFIT STREET

DRAWING A2.1 SOUTH ELEVATION (VIEW FROM JOHN STREET)

Main Building – BLDG #1

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Proposed new railing/guardrail to match style of existing on porte cochere #2B.

DRAWING A2.2 WEST ELEVATION (VIEW FROM BENEFIT STREET)

Main Building – BLDG #1

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New window unit, 3/3 configuration (121A) to be installed on same West elevation of Bldg. 2.

DRAWING A2.3 NORTH ELEVATION

Main Building – BLDG #1

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JP COUTURE, ARCHITECT, INC.

Stable Building – BLDG #3

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GENERAL

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NOT FOR
CONSTRUCTION

GENERAL NOTES:

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2. VERIFY ALL DIMENSIONS IN FIELD.
3. REPORT ANY DISCREPANCIES TO JP COUTURE.

CUSTOM HOMES ■ RENOVATION
RESTORATION

JP COUTURE,
ARCHITECT

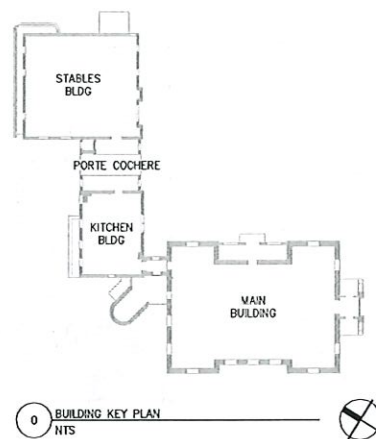
12 Arnold Street
Providence, RI 02906
Tel. 401.621.1881

JP@couturedesignassociates.com

No.	Date	Revisions

PROPOSED REMODEL - HOPPIN HOUSE
PROVIDENCE, RHODE ISLAND
PROVIDENCE HISTORIC DISTRICT COMMISSION

HOPPIN HOUSE
383 BENEFIT STREET
PROVIDENCE, RI 02906



DRAWING LIST

- CS COVER SHEET
- SU1 SURVEY
- A2.1 BUILDING ELEVATIONS - EXISTING & PROPOSED
- A2.2 BUILDING ELEVATIONS - EXISTING & PROPOSED
- A2.3 BUILDING ELEVATIONS - EXISTING & PROPOSED
- A2.4 BUILDING ELEVATIONS - EXISTING & PROPOSED
- A2.5 BUILDING ELEVATIONS - EXISTING & PROPOSED

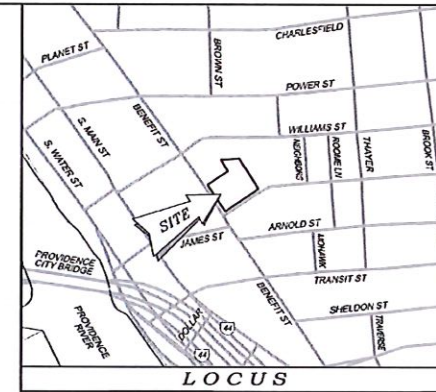
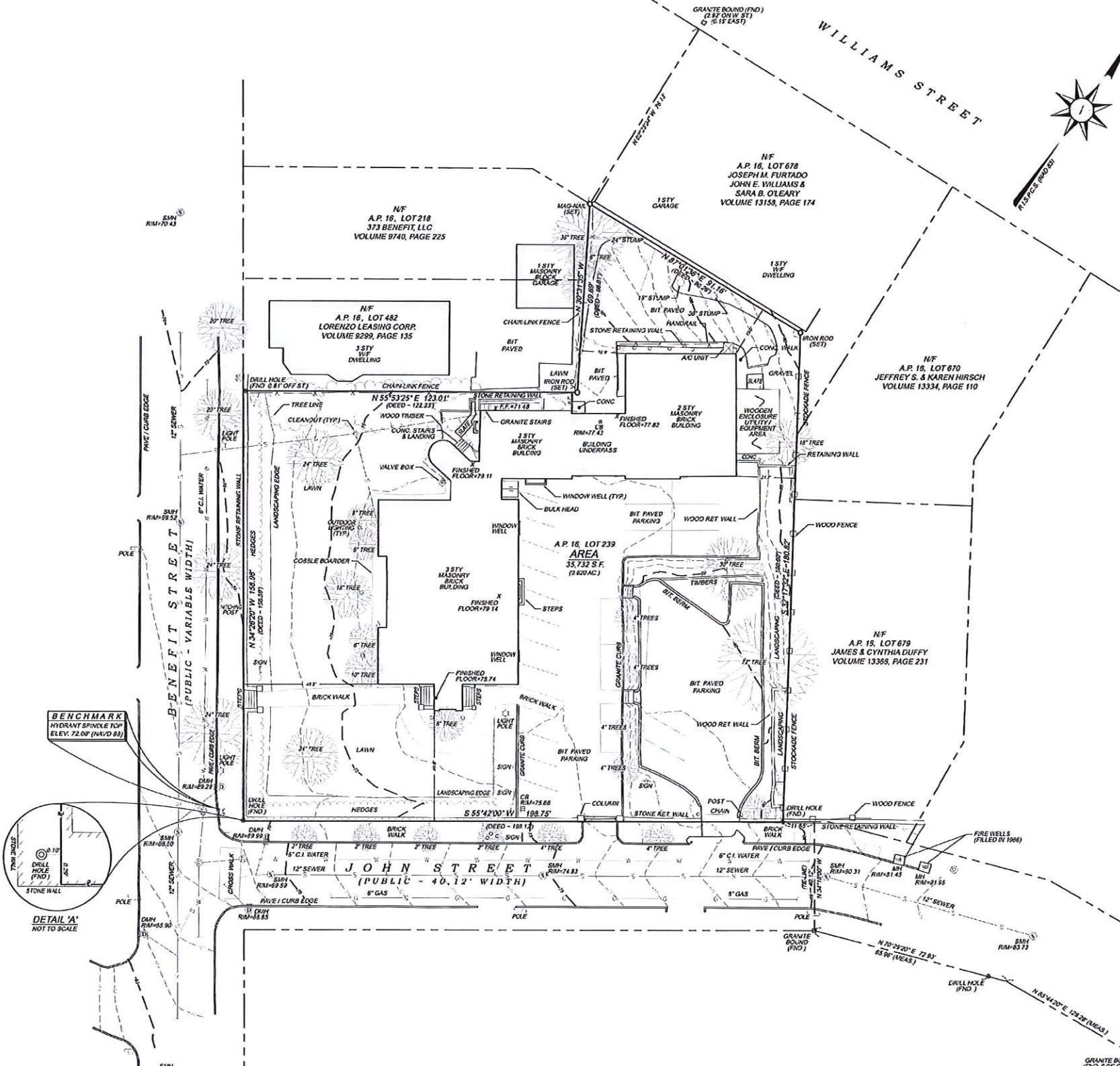
Date: AUG. 11, 2022

PHDC
CS

Project Number:

LEGEND & ABBREVIATIONS

NF	- NON OR FORMERLY	- PROPERTY LINE
A.P.	- ASSESSOR'S PLAT	- ZONING SETBACK LINE
S.F.	- SQUARE FEET	- EXISTING CONTOUR
AC.	- ACRES	- NEW CONTOUR
A	- ALIEN OR MANS	- STONE WALL
STY	- STORY	- FENCE
WF	- WOOD FENCED	- SEWER LINE
SH	- STATE HIGHWAY PLAT	- DRAIN LINE
RET	- RETAINING WALL	- WATER LINE
FED	- PEDESTRIAN	- GAS LINE
(FND)	- FOUND	- ELECTRIC LINE
RFB	- RIGHT-OF-WAY BOUNDARY	- SANITARY SEWER MANHOLE
PK WALL	- MASONRY WALL	- CATCH BASIN
FE	- FLARED END	- STORM DRAIN MANHOLE
RCP	- REINFORCED CONCRETE PIPE	- WATER GATE
CLF	- CHAIN LINK FENCE	- GAS VALVE
PK	- PRIVATE	- ELECTRIC MANHOLE
x 10.80	- EXISTING SPOT GRADE	- GRANITE BOUND
-	- NEW SPOT GRADE	- DRILL HOLE
		- IRON PIPE



NOTES / REFERENCES

- REFERENCE IS MADE TO THE FOLLOWING MAPS AND PLANS OF RECORD.
 - PROVIDENCE CITY STREET SECTION MAPS
 - PLAN ENTITLED "MAP OF JOHN STREET, FROM BENEFIT ST. TO GOVERNOR ST. IN FIVE SHEETS, SCALE 43 FT. PER INCH, CITY ENGINEER'S OFFICE, DATED OCT. 18 1915"
 - PLAN ENTITLED "BENEFIT STREET, FROM INDIA ST. TO POWER ST., IN SEVEN SHEETS, SCALE: 50 FEET PER INCH, DATED MAY 16, 1899"
 - PLAN ENTITLED "SURVEY OF LAND, PROJECT PIERRE IRVING, A.P. 18, LOT 658, PROJECT NO. P24 202, PREPARED BY WATERMAN ENGINEERING CO., SCALE 1" = 20', DATED FEB. 1988"
 - PLAN ENTITLED "PROPOSED SUBDIVISION PLAN, PLAT 18, LOTS 648 AND 649 (FORMERLY LOT 588), ZONING DISTRICT R-1 A.P. 18, RESIDENTIAL DISTRICT, 34 WILLIAMS STREET, PROVIDENCE, RI 02904, APPLICANT ALLEN AND ANN PARKIN, 33 WILLIAMS STREET, PROVIDENCE, RI 02904 DRAWING TITLE: FINAL SUBDIVISION PLAN, PREPARED BY CROSSMAN ENGINEERING, SCALE: 1" = 20', DATED APRIL 2010"
 - PLAN ENTITLED "ALTERATIONS TO THE THOMAS F. HOPPIN HOUSE FOR HOPPIN HOUSE ASSOCIATES, JOHN STREET, PROVIDENCE, RHODE ISLAND, PREPARED BY THE ROBINSON GREEN BERTTA CORPORATION, SCALE 1" = 10', SHEET C-1"
- REFERENCE IS MADE TO THE FOLLOWING CITY OF PROVIDENCE LAND EVIDENCE RECORDS REGARDING RECORDED TITLE TO THE PREMISES SURVEYED.
 - ASSESSORS PLAT 18, LOT 239 - BLOOD BANK REALTY, LLC - VOLUME 13305, PAGE 240
- THESE PREMISES MAY BE SUBJECT TO THE FOLLOWING EASEMENTS, RIGHTS OF WAY OR AGREEMENTS OF RECORD.
 - USE ON SAID LOT SHALL BE LIMITED TO MULTIFAMILY WITH NO MORE THAN EIGHT (8) DWELLING UNITS. COLLEGE STUDENT RENTAL HOUSING SHALL BE PROHIBITED, EXCEPT THAT COLLEGE STUDENTS MAY LIVE IN OWNER OCCUPIED DWELLING UNITS AS DESCRIBED IN VOLUME 13305, PAGE 189
- TITLE COMMITMENT (ABSTRACT) HAS NOT PROVIDED AS PART OF THIS PROJECT. THIS PROPERTY IS SUBJECT TO ANY/all EASEMENTS AND AGREEMENTS. A TITLE COMMITMENT (ABSTRACT) WOULD DISCLOSE.
 - USE ON SAID LOT SHALL BE LIMITED TO MULTIFAMILY WITH NO MORE THAN EIGHT (8) DWELLING UNITS. COLLEGE STUDENT RENTAL HOUSING SHALL BE PROHIBITED, EXCEPT THAT COLLEGE STUDENTS MAY LIVE IN OWNER OCCUPIED DWELLING UNITS AS DESCRIBED IN VOLUME 13305, PAGE 189
- THESE PREMISES ARE SITUATED IN AN R-4 ZONE (RESIDENTIAL DISTRICT)

DIMENSIONAL REQUIREMENTS

MIN. S/B FRONT YARD	= AVERAGE FRONT SETBACKS OF DEVELOPED LOTS WITHIN 100 FT. ON EITHER SIDE OF THE SUBJECT LOT ON THE SAME SIDE OF THE SUBJECT LOT.
MIN. S/B REAR YARD	= 25% OF LOT DEPTH OR 25', WHICHEVER IS LESS
MIN. S/B SIDE YARD	= 4 FT. (FOR LOTS 49 OR LESS), 6 FT. (FOR LOTS MORE THAN 49)
MAX. STRUCTURE HEIGHT	= 43 FT.
MAX. BUILDING LOT COVERAGE	= 45 % (55% FOR NON-RESIDENTIAL USE)
MAX. FRONT YARD SURFACE COVERAGE	= 33 %
MAX. REAR YARD SURFACE COVERAGE	= 50 %
TOTAL MAX. SURFACE COVERAGE	= 65 % (70% FOR NON-RESIDENTIAL USE)

* THE SUBJECT SITE ALSO FALLS WITHIN THE HISTORIC OVERLAY DISTRICT
 ** REFERENCE IS MADE TO CITY OF PROVIDENCE, CITY COUNCIL RESOLUTION NO. 351 WHICH IS RECORDED IN VOLUME 13328, PAGE 189
 NOTE - ZONING INFORMATION IS FROM CURRENT ZONING AND MAY NOT REFLECT THE CONDITIONS AT THE TIME OF CONSTRUCTION OR ANY VARIANCES GRANTED
- THESE PREMISES ARE SITUATED IN A ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS DETERMINED ON THE NATIONAL FLOOD INSURANCE PROGRAM, FIRM FLOOD INSURANCE RATE MAP PROVIDENCE COUNTY, RHODE ISLAND (ALL JURISDICTIONS) PAVEL 300 OF 451 CITY OF PROVIDENCE, MAP NUMBER 442070300K, REVISED DATE: OCTOBER 2, 2015, FEDERAL EMERGENCY MANAGEMENT AGENCY).
- ANY UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING PLANS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH OR UNKNOWN. THE SURVEYOR DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM ALL AVAILABLE INFORMATION. (PLEASE CONTACT US 24 HOURS PRIOR TO CONSTRUCTION AT PHONE NO. 1-866-010-SAFE AND/OR ALL LOCAL UTILITY COMPANIES)
- THE HORIZONTAL DATUM FOR THIS PROJECT IS R I S P C S (NAD 83) AND THE VERTICAL DATUM FOR THIS PROJECT IS NAVD 83. THE PROJECT DATUMS WERE ESTABLISHED FROM REFERENCE S BOUNDING AND GNSS CORRECTIONS RECEIVED FROM THE LEICA SMARTNET NORTH AMERICA RTX NETWORK V5A CARLSON BRAS GNSS ANTENNAS / RECEIVERS

BRADFORD J. TRAVERS
 No. 15921
 PROFESSIONAL LAND SURVEYOR

CERTIFICATION
 THIS SURVEY HAS BEEN CONDUCTED AND THEREAS HAS BEEN PREPARED PURSUANT TO 415-RICR-00-01-9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON APRIL 28, 2018, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY: MEASURED SURVEY / ALIEN SURVEY / SPECIFICATION / COMPREHENSIVE BOUNDARY SURVEY

OTHER TYPE OF SURVEY: DATA ACQUISITION / TOPOGRAPHIC SURVEY

THE PURPOSE OF CONDUCTING THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
 BOUNDARY & TOPOGRAPHIC SURVEY FOR THE FUTURE DEVELOPMENT OF THE SUBJECT PROPERTY.

BY: BRADFORD J. TRAVERS, P.L.S. REG. NO. 15921 DATE 01/19/2022
 WATERMAN ENGINEERING COMPANY (CON. NO. 13535443)

COPYRIGHT
 THESE DRAWINGS ARE THE PROPERTY OF THE ENGINEER SURVEYOR AND HAVE BEEN PREPARED FOR THE OWNER, FOR THIS PROJECT AT THIS SITE AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, LOCAL OR OTHER, WITHOUT WRITTEN CONSENT OF THE ENGINEER SURVEYOR.

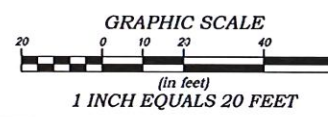
NO.	DATE	REVISION	CHECKED BY

BOUNDARY & TOPOGRAPHIC SURVEY PLAN
 THOMAS F. HOPPIN HOUSE - A.P. 16, LOT 239
 BENEFIT & JOHN STREET
 PROVIDENCE, RHODE ISLAND

Ox-Eye Properties, LLC
 85 MERRIMAC STREET
 BOSTON, MASSACHUSETTS 02114

Waterman Engineering Company
 Engineers & Surveyors - Est. 1894

46 Stratton Avenue
 East Providence, RI
 Phone (401) 438-5775
 Fax (401) 438-5773
 www.watermanengineering.net



NOT FOR CONSTRUCTION

- GENERAL NOTES:
1. DO NOT SCALE DRAWINGS.
 2. VERIFY ALL DIMENSIONS IN FIELD.
 3. REPORT ANY DISCREPANCIES TO JP COUTURE.

CUSTOM HOMES • RENOVATION RESTORATION

JP COUTURE, ARCHITECT

12 Arnold Street
Providence, RI 02905
Tel. 401.621.1861

JP@couturedesignassociates.com

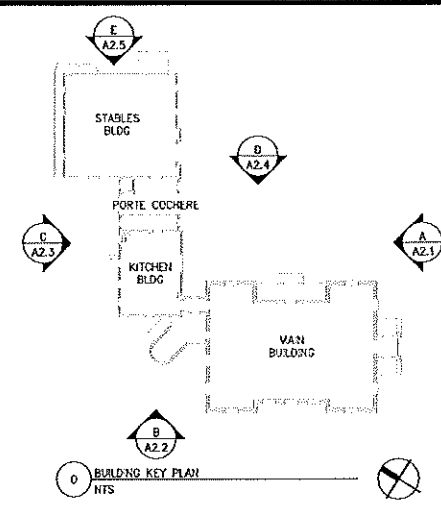
No.	Date	Revisions

HOPPIN HOUSE
383 BENEFIT STREET
PROVIDENCE, RI 02906

Date: AUG. 11, 2022

PHDC
A2.1

Project Number:



- NOTES:
1. NEW EXTERIOR WINDOWS TO MATCH EXISTING, IN KIND.
 2. EXISTING EXTERIOR FINISHES TO BE PATCHED AND REPAIRED, AS NECESSARY.
 3. ALL EXISTING MILLWORK AND PANELING TO REMAIN INTACT; COPE AROUND PROFILES, TYP.
 4. ALL BUILDING COMPONENTS TO COMPLY WITH STATE OF RHODE ISLAND BUILDING CODE AND/OR AS REQUIRED BY LOCAL A.H.J.
 5. REQUIRED STRUCTURAL MODIFICATIONS TO BE DETERMINED. GC SHALL CONTACT ARCHITECT AFTER COMPLETION OF DEMOLITION IN ORDER TO DETERMINE EXTENT OF STRUCTURAL SCOPE.
- * SHADED WINDOWS REPRESENT EXISTING UNITS.



- 47" PRIVACY DIVIDER/SPIDER (BETWEEN LW13)
- NEW GLASS
- EXISTING DOOR TO REMAIN
- NEW DOOR TO MATCH EXISTING
- BRICK FACADE & BASE: REPAIR AND FINISH TO MATCH EXISTING
- BRICK FACADE: REPAIR AND FINISH FOR NEW LOOK. FINISH TO MATCH EXISTING
- EXISTING FACADE TO REMAIN (REPAIR AND REFINISH AS NECESSARY)
- MATCH PROFILE OF EXISTING
- NEW GUARNAL MATCH EXISTING
- STAIRS TO STAIRS TIS
- PROPOSED RECONSTRUCT WALL (SEE LAYOUTS)

NOT FOR CONSTRUCTION

GENERAL NOTES:
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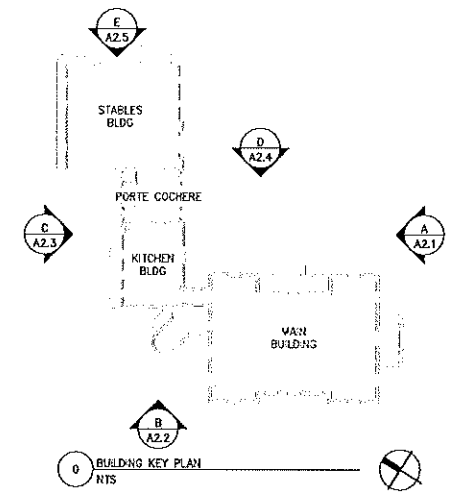
CUSTOM HOMES • RENOVATION RESTORATION

JP COUTURE,
 ARCHITECT

12 Arnold Street
 Providence, RI 02908
 Tel. 401.821.1861

JP@couturedesignassociates.com

No.	Date	Revisions



B1 EXISTING EXTERIOR ELEVATION
 SCALE: 1/4"=1'-0"

- NOTES:
1. NEW EXTERIOR WINDOWS TO MATCH EXISTING, IN KIND.
 2. EXISTING EXTERIOR FINISHES TO BE PATCHED AND REPAIRED, AS NECESSARY.
 3. ALL EXISTING MILLWORK AND PANELING TO REMAIN INTACT, COPE AROUND PROFILES, TYP.
 4. ALL BUILDING COMPONENTS TO COMPLY WITH STATE OF RHODE ISLAND BUILDING CODE AND/OR AS REQUIRED BY LOCAL AFI.
 5. REQUIRED STRUCTURAL INVESTIGATIONS TO BE DETERMINED, GC SHALL CONTACT ARCHITECT AFTER COMPLETION OF DEMOLITION IN ORDER TO DETERMINE EXTENT OF STRUCTURAL SCOPE.
- * SHADED WINDOWS REPRESENT EXISTING UNITS.



B2 PROPOSED EXTERIOR ELEVATION
 SCALE: 1/4"=1'-0"

HOPPIN HOUSE
 383 BENEFIT STREET
 PROVIDENCE, RI 02906

Date: AUG. 11, 2022

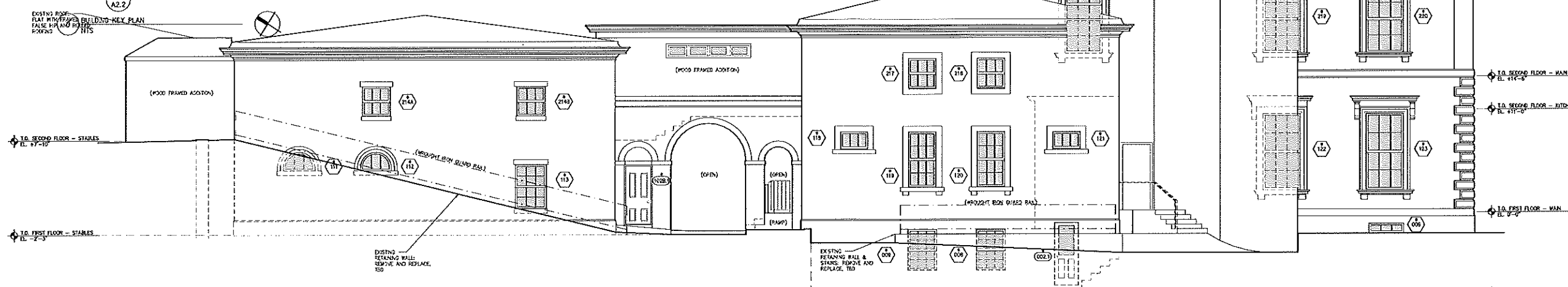
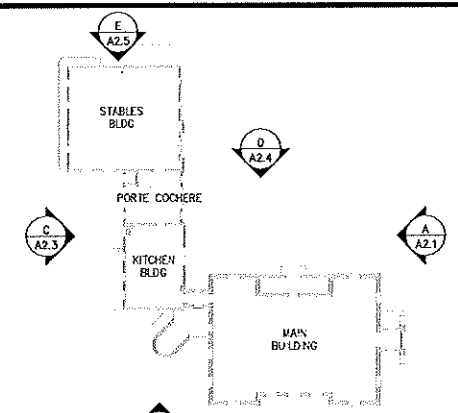
PHDC
 A2.2

Project Number:

NOT FOR CONSTRUCTION

- NOTES:
1. NEW EXTERIOR WINDOWS TO MATCH EXISTING, IN KIND.
 2. EXISTING EXTERIOR FINISHES TO BE PATCHED AND REPAIRED, AS NECESSARY.
 3. ALL EXISTING MILLWORK AND PANELING TO REMAIN INTACT: COPE AROUND PROFILES, TYP.
 4. ALL BUILDING COMPONENTS TO COMPLY WITH STATE OF RHODE ISLAND BUILDING CODE AND/OR AS REQUIRED BY LOCAL ASH.
 5. REQUIRED STRUCTURAL MODIFICATIONS TO BE DETERMINED. GC SHALL CONTACT ARCHITECT AFTER COMPLETION OF DEMOLITION IN ORDER TO DETERMINE EXTENT OF STRUCTURAL SCOPE.

* SHADED WINDOWS REPRESENT EXISTING UNITS.



C1 EXISTING EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"



C2 PROPOSED EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"

- GENERAL NOTES:
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 2. VERIFY ALL DIMENSIONS IN FIELD.
 3. REPORT ANY DISCREPANCIES TO JP COUTURE.

CUSTOM HOMES • RENOVATION RESTORATION

JP COUTURE, ARCHITECT

12 Arnold Street
Providence, RI 02906
Tel. 401.621.1861

JP@couturedesignassociates.com

No.	Date	Revisions

HOPPIN HOUSE
383 BENEFIT STREET
PROVIDENCE, RI 02906

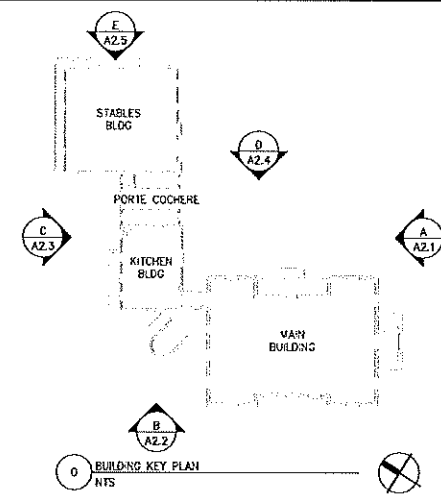
Date: AUG. 11, 2022

PHDC
A2.3

Project Number:



D1 PROPOSED EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



- NOTES:**
1. NEW EXTERIOR WINDOWS TO MATCH EXISTING, IN KIND.
 2. EXISTING EXTERIOR FINISHES TO BE PATCHED AND REPAIRED, AS NECESSARY.
 3. ALL EXISTING MILLWORK AND PANELING TO REMAIN INTACT; COPE AROUND PROFILES, TYP.
 4. ALL BUILDING COMPONENTS TO COMPLY WITH STATE OF RHODE ISLAND BUILDING CODE AND/OR AS REQUIRED BY LOCAL A.H.J.
 5. REQUIRED STRUCTURAL MODIFICATIONS TO BE DETERMINED. CC SHALL CONTACT ARCHITECT AFTER COMPLETION OF DEMOLITION IN ORDER TO DETERMINE EXTENT OF STRUCTURAL SCOPE.
- * SHADED WINDOWS REPRESENT EXISTING UNITS.



D2 PROPOSED EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

- GENERAL NOTES:**
1. DO NOT SCALE DRAWINGS.
 2. VERIFY ALL DIMENSIONS IN FIELD.
 3. REPORT ANY DISCREPANCIES TO JP COUTURE.

CUSTOM HOMES ■ RENOVATION RESTORATION

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ARCHITECT

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No.	Date	Revisions

HOPPIN HOUSE
383 BENEFIT STREET
PROVIDENCE, RI 02906

Date: AUG. 11, 2022

PHDC
A2.4

Project Number:

NOT FOR CONSTRUCTION

GENERAL NOTES:

1. DO NOT SCALE DRAWINGS.
2. VERIFY ALL DIMENSIONS IN FIELD.
3. REPORT ANY DISCREPANCIES TO JP COUTURE.

CUSTOM HOMES ■ RENOVATION RESTORATION

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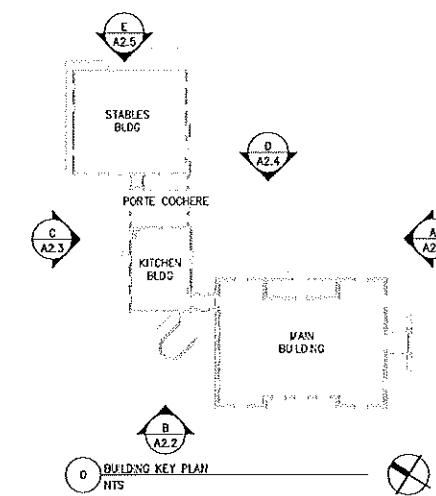
No.	Date	Revisions

HOPPIN HOUSE
383 BENEFIT STREET
PROVIDENCE, RI 02906

Date: AUG. 11, 2022

PHDC
A2.5

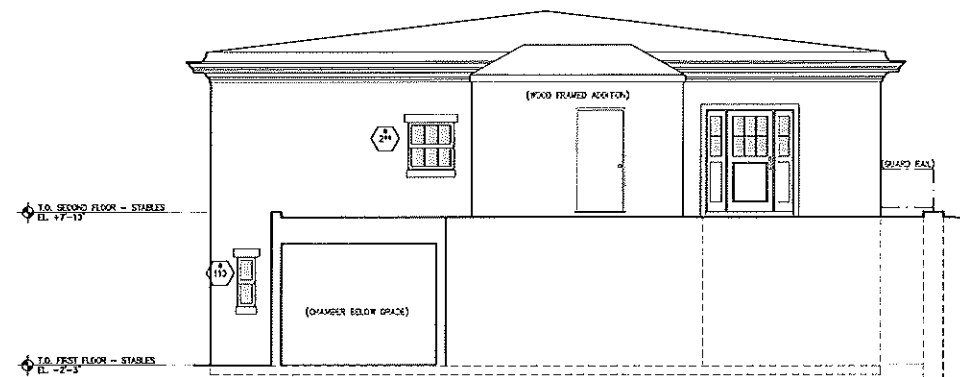
Project Number.



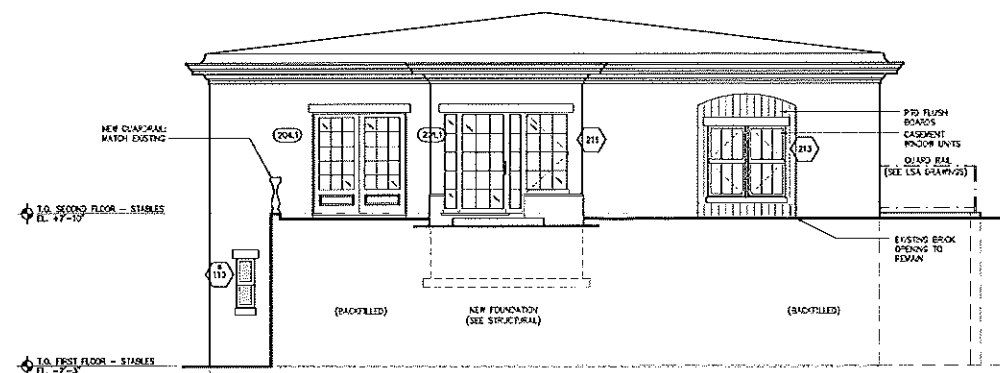
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E1 EXISTING EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"



E2 PROPOSED EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"

JP COUTURE, ARCHITECT, INC.
12 Arnold Street, Providence, Rhode Island 02906



MAIN BUILDING # 1 - SOUTH ELEVATION

AUGUST 8, 2022

383 BENEFIT STREET

JP COUTURE, ARCHITECT, INC.
12 Arnold Street, Providence, Rhode Island 02906

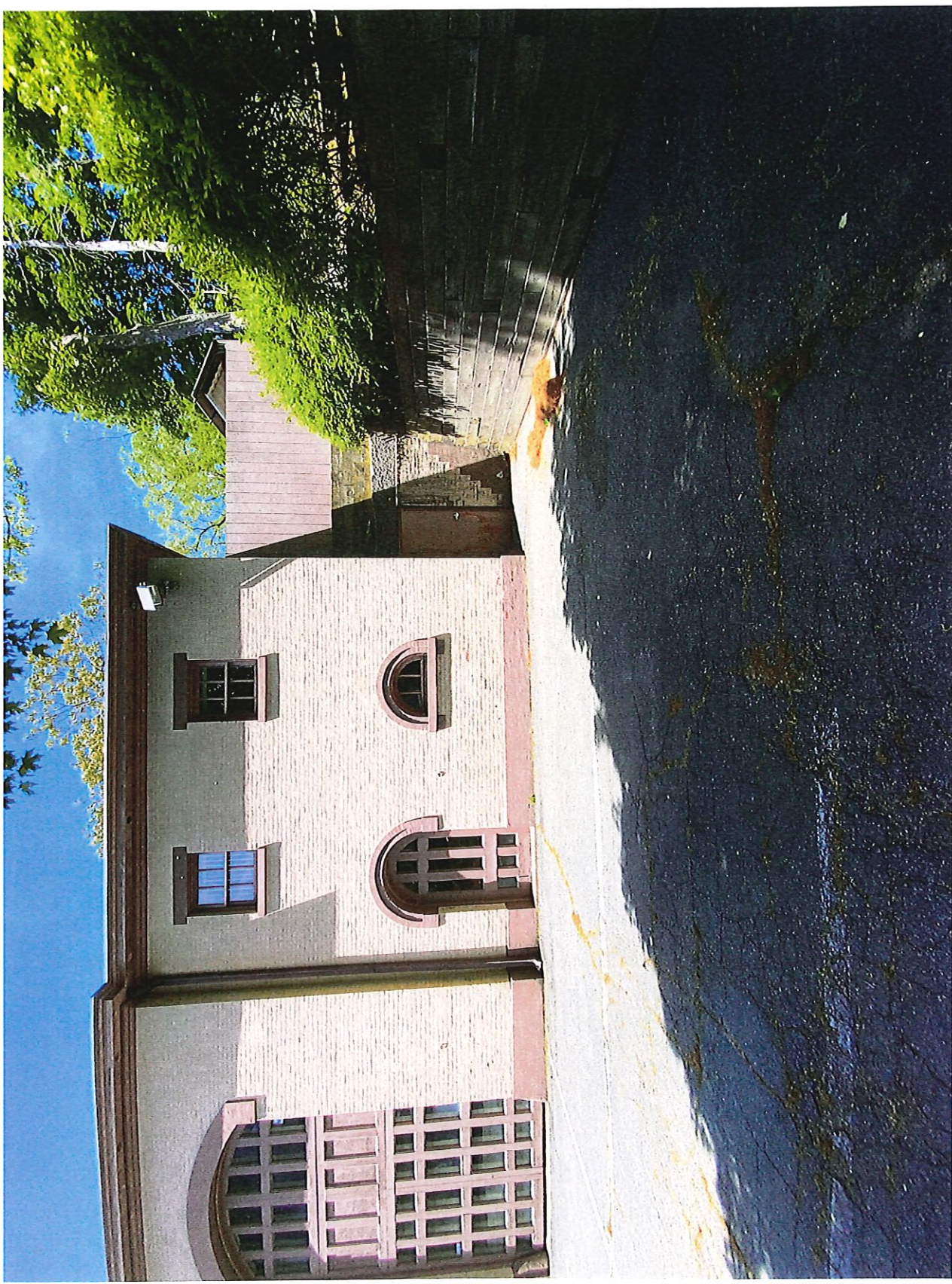


KITCHEN # 2A, PORTE COCHERE # 2B & STABLE BUILDING # 3 - SOUTH ELEVATION

AUGUST 8, 2022

383 BENEFIT STREET

JP COUTURE, ARCHITECT, INC.
12 Arnold Street, Providence, Rhode Island 02906



STABLE BUILDING # 3 - SOUTH ELEVATION

AUGUST 8, 2022

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JP COUTURE, ARCHITECT, INC.
12 Arnold Street, Providence, Rhode Island 02906



MAIN BUILDING # 1 - EAST ELEVATION

AUGUST 8, 2022

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JP COUTURE, ARCHITECT, INC.

12 Arnold Street, Providence, Rhode Island 02906



STABLE BUILDING # 3 - NORTH ELEVATION

AUGUST 8, 2022

383 BENEFIT STREET

JP COUTURE, ARCHITECT, INC.

12 Arnold Street, Providence, Rhode Island 02906



STABLE # 3, PORTE COCHERE # 2B & KITCHEN BUILDING # 2A - NORTH ELEVATION

AUGUST 8, 2022

383 BENEFIT STREET

JP COUTURE, ARCHITECT, INC.
12 Arnold Street, Providence, Rhode Island 02906



MAIN BUILDING # 1 & KITCHEN BUILDING # 2A - WEST ELEVATION

AUGUST 8, 2022

383 BENEFIT STREET

JP COUTURE, ARCHITECT, INC.
12 Arnold Street, Providence, Rhode Island 02906



MAIN BUILDING # 1 - WEST ELEVATION

AUGUST 8, 2022

383 BENEFIT STREET

DEPARTMENT OF INSPECTION & STANDARDS

DATE 7/24/90 PERMIT NO. 125
 LOCATION 383-385 Benefit St
 WARD 1 PLAT 16 LOT 239
 OWNER Richard Abedon
 ARCHITECT
 BUILDER Owner
 MATERIAL 3B
 NATURE OF WORK Install fire doors in existing opening
 NO. OF BLDGS.
 NO. OF STORIES
 TO BE USED FOR Office Bldg.
 NO. OF FAMILIES
 FIRE DISTRICT

Refer to ZB Res. #6880 12/88

8,000

DEPARTMENT OF INSPECTION & STANDARDS

DATE 11/19/2001 PERMIT NO. 913
 LOCATION 383-385 Benefit Street
 WARD 1 PLAT 16 LOT 239
 OWNER Brown University
 ARCHITECT
 BUILDER Gerard Building & Design
 MATERIAL 3B
 NATURE OF WORK Interior renovations to carriage House as per plans
 NO. OF BLDGS.
 NO. OF STORIES 2
 TO BE USED FOR offices
 NO. OF FAMILIES
 FIRE DISTRICT 2nd

\$150,000.00

DEPARTMENT OF BUILDING INSPECTION

DATE Feb. 8, 1982 PERMIT NO. 540
 LOCATION 383 Benefit St.
 WARD 1 PLAT 16 LOT 239
 OWNER Hoppin House Assoc.
 ARCHITECT Robinson Green Beretta Corp.
 BUILDER owner
 MATERIAL 3C
 NATURE OF WORK Erect new exterior stairway & passage
 way between bldg. & repairs to
 NO. OF BLDGS. 3 & 2 / exterior & interior of bldg.
 NO. OF STORIES Arch. Offices.
 TO BE USED FOR
 NO. OF FAMILIES 2
 FIRE DISTRICT \$326,000

DEPARTMENT OF INSPECTION & STANDARDS

DATE April 25, 2000 PERMIT NO. 1629
 LOCATION 383-385 Benefit St. AKA 2 John St.
 WARD 1 PLAT 16 LOT 239
 OWNER Brown University
 ARCHITECT C.B.I. Consulting, Inc. (Michel Teller)
 BUILDER E.W. Burman, Inc.
 MATERIAL 3b
 NATURE OF WORK Masonry repairs to exterior of building and replace
 connector walls and roof above arch. in easterly
 NO. OF BLDGS. courtyard. HDC 00-36
 NO. OF STORIES 3
 TO BE USED FOR offices
 NO. OF FAMILIES
 FIRE DISTRICT 2nd.

\$211,500.00