

# Providence City Plan Commission

October 11, 2022



## AGENDA ITEM 4 ■ 386 ATWELLS AVE



Building rendering

Aerial view of the site

### OVERVIEW

**OWNER/  
APPLICANT:** 8 Hewitt Street LLC

**PROJECT DESCRIPTION:** The applicant is proposing to demolish the existing building to construct a four story mixed use building with commercial on the ground floor and a total of 21 units on the three upper stories. The applicant is requesting a height adjustment, to combine master and preliminary plan approval and a waiver

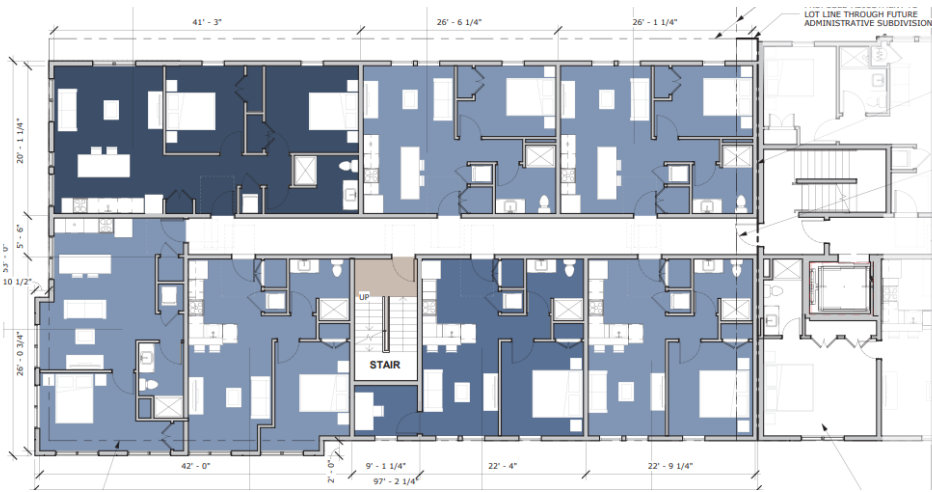
**CASE NO./  
PROJECT TYPE:** 22-049 MA  
Master/Preliminary Plan

**PROJECT  
LOCATION:** 386 Atwells Ave  
C-1 zoning district  
AP 28 Lot 1073

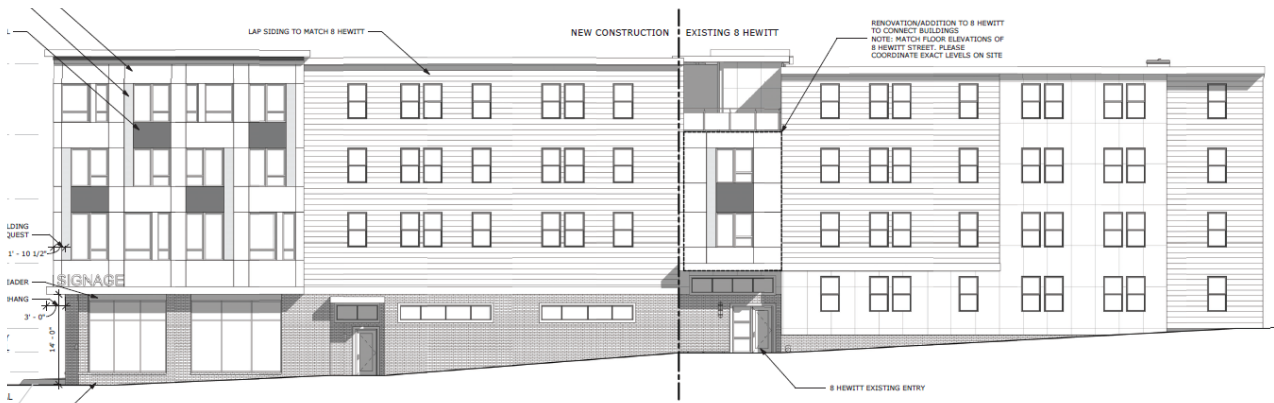
**RECOMMENDATION:** Approval of the Master and Preliminary Plan subject to the noted findings

**NEIGHBORHOOD:** Federal Hill

**PROJECT PLANNER:** Choyon Manjrekar



First floor plan



West Elevation from Hewitt Street

**PROJECT OVERVIEW**

The subject lot at the corner of Atwells Ave and Hewitt Street measures approximately 4,995 SF and is occupied by a building that the applicant demolished to construct a four story mixed use building with a footprint of 4,850 SF in the C-1 zone. One commercial unit will be located on the ground floor and a total of 21 residential units will be located on the upper three stories. The building will be physically connected to the building at 8 Hewitt Street to the rear, which is also owned by the applicant. These will be separate buildings with each on its own lot. A height adjustment for 5' has been requested where a height of 50' is proposed, which exceeds the 45' height limit of the zone. The applicant has requested a waiver from submission of all state approvals at the preliminary plan stage and is requesting to combine master and preliminary plan approval.

**ANALYSIS AND IDENTIFICATION OF POTENTIAL ISSUES**

Use

The property is zoned C-1. Mixed residential and commercial development is permitted by right with no restriction on the number of dwelling units per lot.

Dimensions and site design

The existing building will be demolished and the footprint of the proposed building will be set to the Hewitt Street and Atwells Ave frontages to the west and north respectively. The building will be physically connected to the development at 8 Hewitt Street to the rear with access to the upper residential stories and bike parking provided from an entrance on Hewitt Street. Pedestrian access to the commercial space will be provided from Atwells Ave. A dimensional adjustment for height has been requested where a height of 50' is proposed, over the 45' limit of the C-1

zone.

The northern façade of the building on Atwells Ave will be mainly composed of brick veneer and glass. The three stories on the upper right portion of this façade will employ fiber cement and metal paneling with the same treatment continuing around a portion of the corner above the commercial area on Hewitt Street. The rest of the Hewitt Street façade to the 8 Hewitt Street development will have lap siding on the upper stories and brick and glass on the ground floor, including along the bike parking area. Over 50% of transparency will be provided for the commercial area on the ground floor and over ten percent will be provided on the upper stories on Atwells Ave and Hewitt Street.

The building's design and materials will conform to the design requirements of the C-2 zone with no design waivers required.

Encroachment permits for habitation are required for projections over the Hewitt Street and Atwells Ave sidewalks, and encroachment permits not for habitation are required for the canopy over the commercial area on Atwells Ave and Hewitt Street.

#### Landscaping

Approximately 750 SF of canopy coverage is required based on the lot's size. The applicant is proposing to meet this requirement by retaining the existing large tree in front of the building to provide the required amount of coverage.

#### Environmental management

An erosion control plan that will employ siltsack sediment traps and vegetation has been included with the submission. The development will not trigger conformance with the City's stormwater requirement. Rooftop runoff will be conveyed to a crushed stone area at the east of the building via roof drains. Excess stormwater will flow into the inlet within Atwells Ave.

#### Parking

No parking is required as the lot measures less than 10,000 SF. Four bicycle spaces are required to meet the bicycle parking requirement of one bicycle space for every five units. Approximately 650 SF will be provided for bike storage, which would be more than sufficient to meet the bike parking requirement.

#### Lighting

Illumination will be provided on the building facades through shielded LED luminaires within building projections and above entryways. Cut sheets of light fixtures are provided and there will be no trespass onto neighboring properties.

#### Dimensional Adjustment

The applicant has requested a dimensional adjustment for height where 50' is proposed but 45' is permitted. The development site slopes downward from Hewitt Street and the additional height would allow the building to be of a similar height as the building at 8 Hewitt Street. Based on plans provided, it is the DPD's opinion that the height adjustment should be granted as the applicant is eligible for the adjustment due to the provision of mixed use development.

#### Waiver from submission of state approvals

The applicant has requested a waiver from submission of state approvals at the preliminary plan stage, particularly a sewer connection permit from the Narragansett Bay Commission (NBC). It is the DPD's opinion that the waiver isn't necessary as a sewer permit is not required at this stage.

## Combination of stages

Based on the foregoing analysis, it is the DPD's opinion that the CPC should vote to combine review of the master and preliminary plan stages, finding that the submission meets the requirements for both stages.

## **FINDINGS**

Section 806 of the Commission's *Development Review Regulations* requires that the City Plan Commission make the following findings as part of their approval of all land development project applications. Based on the analysis contained herein and subject to the conditions contained in this report, staff has prepared the following findings regarding the request for approval of the master and preliminary plan stages:

1. *Consistency—The proposed development is consistent with the Comprehensive Plan and/or has satisfactorily addressed the issues where there may be inconsistencies.*

The subject property is located in an area that the future land use map of Providence Tomorrow: The Comprehensive Plan intends for Neighborhood Commercial/Mixed Use development. The plan describes these areas as ones intended to foster pedestrian oriented needs like retail and housing in buildings oriented toward the street. The development conforms to this land use designation. As the building will be located on a commercial corridor, it conforms to objective BE-2 of the plan which encourages new development to complement traditional character. Creation of housing will conform to objective H-2 of the plan which encourages creation of new housing.

2. *Compliance with Zoning Ordinance—The proposed development is in compliance with the standards and provisions of the Zoning Ordinance.*

Use: Mixed residential and commercial development is permitted by right in the C-2 zone.

Dimension: The development conforms to the dimensional and design requirements of the C-2 zone.

Parking: No vehicular parking is required, but the applicant will meet the bicycle parking requirement.

Landscaping: The applicant will meet the landscaping requirement by retaining the existing street tree in front of the building.

Lighting: A lighting plan has been submitted.

3. *Environmental Impact—There will be no significant environmental impacts from the proposed development as shown on the final plan, with all required conditions for approval.*

No negative environmental impacts are expected as the applicant is expected to come into conformance with applicable environmental regulations.

4. *Buildable Lot—The subdivision or development project, as proposed, will not result in the creation of individual lots with such physical constraints to development that building on those lots according to pertinent regulations and building standards would be impracticable.*

A lot line will separate the building from the adjacent building on Hewitt Street but is not expected to trigger any building code issues as the entrance between the two will be a fire rated wall. There are no physical constraints that impact development of this property, as the lot complies with the dimensional requirements of the C-2 zone with no impediments to development.

5. *Street Access—All proposed development projects and all subdivision lots shall have adequate and permanent physical access to a public street. Lot frontage on a public street without physical access shall not be considered compliance with this requirement.*

Adequate pedestrian access will be provided from Atwells Ave and Hewitt Street

**RECOMMENDATION**

Based on the foregoing discussion the CPC recommends the following:

1. The CPC should vote to combine review of the master and preliminary plan stages.
2. The CPC should grant the 5' height adjustment
  
3. The CPC should vote to approve the master/preliminary plans subject to the following condition:
  - The applicant shall obtain encroachment permits prior to submitting for building permits
  - Final plan approval should be delegated to DPD staff.