



386 ATWELLS AVENUE MIXED-USE MULTI-UNIT DEVELOPMENT

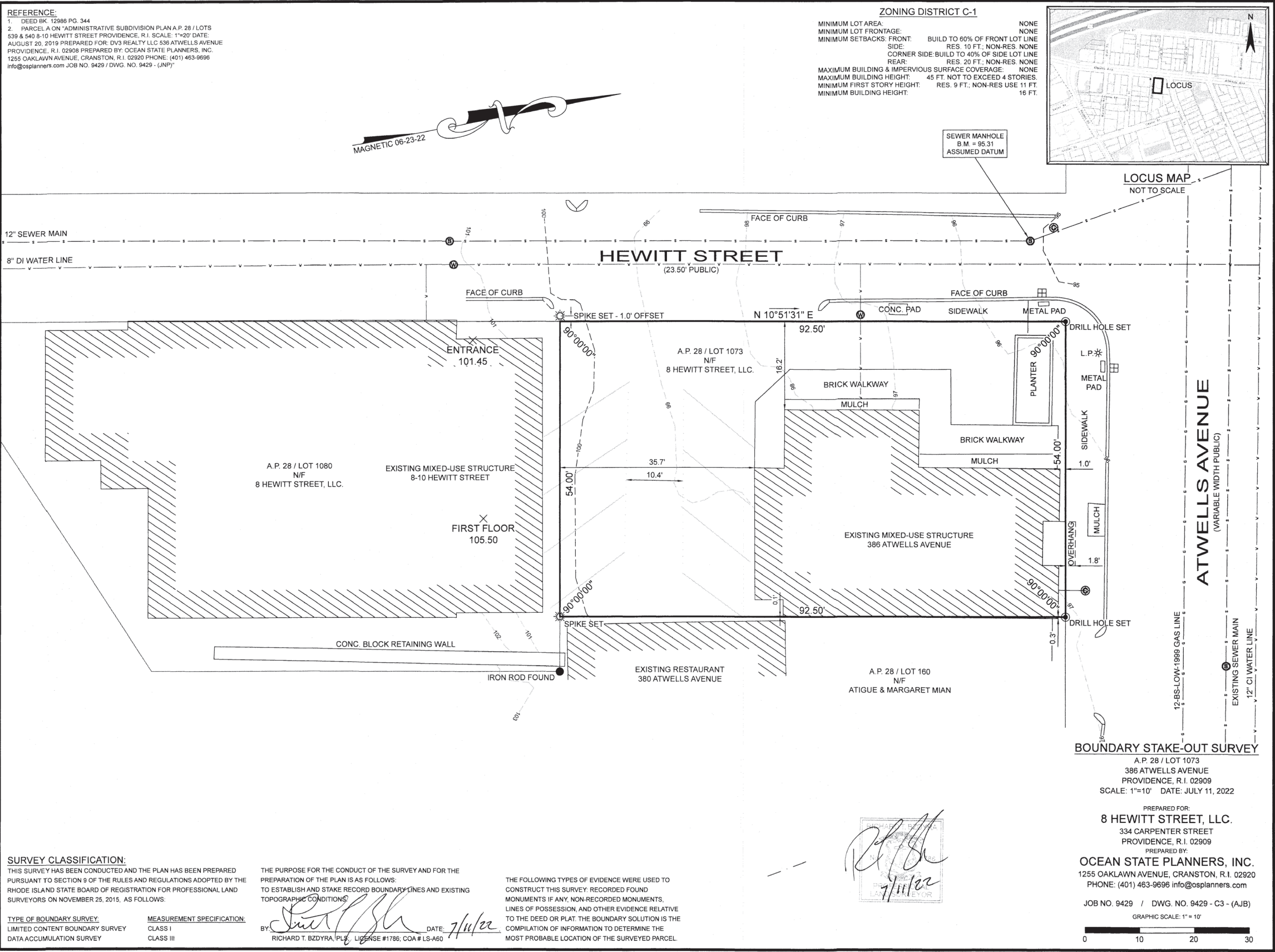
MASTER AND PRELIMINARY PLAN SUBMISSION

OCTOBER, 2022



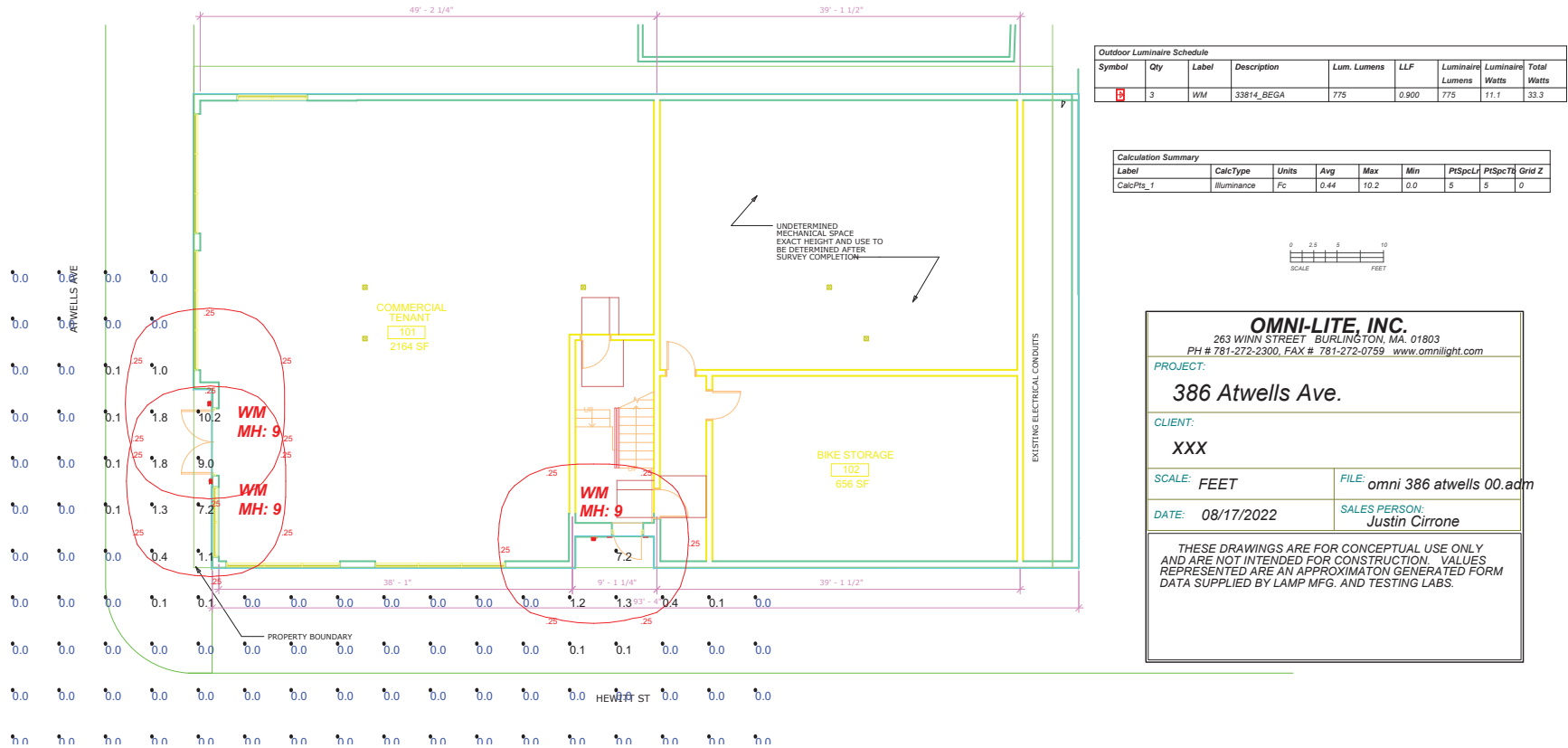
LOCATION & SITE

386 ATWELLS AVENUE MULTI-UNIT DEVELOPMENT



BOUNDARY SURVEY

386 ATWELLS AVENUE MULTI-UNIT DEVELOPMENT



LED wall luminaire - shielded

BEGA

Application

This wall mounted LED luminaire is designed for wall washing effects and for the general illumination of pathways and walkways from various mounting heights. Downlight applications only.

Materials

Luminaire housing constructed of die-cast marine grade, copper free ($\leq 0.3\%$ copper content) A360.0 aluminum alloy
Clear safety glass with optical texture
High temperature silicone gasket
Mechanically captive stainless steel fasteners

NRTL listed to North American Standards, suitable for wet locations
Protection class IP64
Weight: 2.7 lbs

Electrical

Operating voltage 120-277V AC
Minimum start temperature -20°C
LED module wattage 7.9W
System wattage 11.0W
Controllability 0-10V, TRIAC, and ELV dimmable
Color rendering index $Ra > 80$
Luminaire lumens 775 lumens (3000K)
Lifetime at $Ta = 15^{\circ}\text{C}$ $> 500,000\text{ h (L70)}$
Lifetime at $Ta = 25^{\circ}\text{C}$ 353,000 h (L70)

LED color temperature

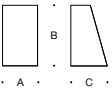
- ☐ 4000K - Product number + **K4**
- ☐ 3500K - Product number + **K35**
- ☐ 3000K - Product number + **K3**
- ☐ 2700K - Product number + **K27**

BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

Finish

All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.

Available colors ☐ Black (BLK) ☐ White (WHT) ☐ RAL:
☐ Bronze (BRZ) ☐ Silver (SLV) ☐ CUS:



LED wall luminaire · shielded				
	LED	A	B	C
33814	7.9 W	4 3/8	7 1/2	4 3/8

BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 info@bega-us.com

Due to the dynamic nature of lighting products and the associated technologies, luminaire data on this sheet is subject to change at the discretion of BEGA North America. For the most current technical data, please refer to bega-us.com
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PHOTOMETRIC PLAN
386 ATWELLS AVENUE MULTI-UNIT DEVELOPMENT

Zoning Summary

Plat: 28 Lots: 1073
C-1 COMMERCIAL DISTRICT

DIMENSIONAL REQUIREMENTS

	C-1 ZONE	PROPOSED RELIEF
MINIMUM BUILDING HEIGHT:	16 FEET	
MINIMUM FIRST FLOOR HEIGHT:	11 FEET NON-RES.	
MAXIMUM BUILDING HEIGHT:	45 FEET – 4-STORY MAX.	50' - 0" from average grade 4 - STORIES* (C-1)
FRONT SETBACK:	0-5 FEET BUILD TO ZONE (60% MIN.)	
INTERIOR SIDE SETBACK:	5 FEET FROM RES.	
CORNER SIDE SETBACK:	0-5 FEET FROM RES.	
REAR SETBACK:	10 FEET FROM RES.	
MINIMUM LOT AREA:	NONE	
MAXIMUM BUILDING COVERAGE:	NONE	
MAXIMUM IMPERVIOUS SURFACE COVERAGE:	NONE	

*PER ZONING 1904 E.1: CPC CAN ALLOW ADJUSTMENTS OF DIMENSIONAL REGULATIONS UP TO 24' AND/OR 2-STORIES WHERE STRUCTURED PARKING IS PROVIDED AND A VERTICAL MIXED-USE DEVELOPMENT IS PROVIDED, OF WHICH AT LEAST 50% IS DE VOTED TO RESIDENTIAL USE.

APPLICABLE ZONING SECTIONS

PER ZONING SECTION 202(B)

THE FOLLOWING BUILDING ELEMENTS SHALL BE EXEMPT FROM MAXIMUM BUILDING HEIGHT LIMITATIONS.
BUILDING APPURTENANCES SUCH AS PARAPET WALLS, SKYLIGHTS, FLAG POLES, SMOKESTACKS, COOLING TOWERS, ELEVATOR BULKHEADS, FIRE TOWERS, MONUMENTS, WATER TOWERS, STACKS, STAGE TOWERS, OR SCENERY LOFTS, TANKS, ORNAMENTAL TOWERS AND SPIRES, ROOFTOP ACCESSORY STRUCTURES, NECESSARY MECHANICAL APPURTENANCES, OR PENTHOUSES TO FHOUSE MECHANICAL APPURTENANCES.

PERMITTED ENCROACHMENTS: TABLE 13-2

EAVES – INTERIOR SIDE SETBACK
FENCE OR WALL INTERIOR SIDE AND REAR SETBACK
MECHANICAL EQUIPMENT – INTERIOR SIDE AND REAR SETBACK
SILLS, BELT COARSE, CORNICE AND ORNAMENTAL FEATURES – ALL SETBACKS

PERMITTED ENCROACHMENTS INTO PUBLIC RIGHT OF WAY: 13(B)

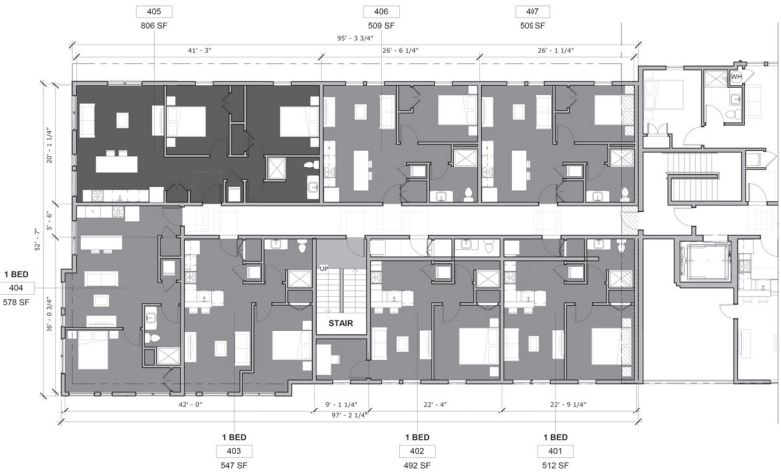
AN ENCROACHMENT NOT FOR HABITATION IS ANY CONSTRUCTION THAT PROJECTS FROM A BUILDING OVER, ONTO, OR UNDER A PUBLIC RIGHT-OF-WAY THAT IS NOT DESIGNED FOR AND CANNOT ACCOMMODATE HUMAN OR OTHER HABITATION INCLUDING, BUT NOT LIMITED TO, AWNINGS, CANOPIES, BAY WINDOWS, MARQUEES, SIGNS, ARCHITECTURAL EMBELLISHMENTS, FOUNDATIONS, WHEELCHAIR RAMPS, STAIRS, AND THE LIKE, WHETHER SUPPORTED BY THE GROUND OR NOT. AWNINGS, CANOPIES, MARQUEES, AND SIGNS WITH 15 FEET OR MORE VERTICAL CLEARANCE ABOVE THE SIDEWALK MAY EXTEND INTO OR OCCUPY UP TO 100% OF THE WIDTH OF THE SIDEWALK.

PARKING REQUIREMENTS

COMMERCIAL PARKING REQUIREMENTS:

ZONING PARKING EXEMPTION 1410 (B)5 – THE FIRST 2,500 SQUARE FEET OF GROSS AREA FOR NON-RESIDENTIAL USES IN THE R-P, C-1, C-2, AND C-3 DISTRICTS ARE EXEMPT FROM ALL OFF-STREET VEHICLE AND BIKE PARKING REQUIREMENTS.

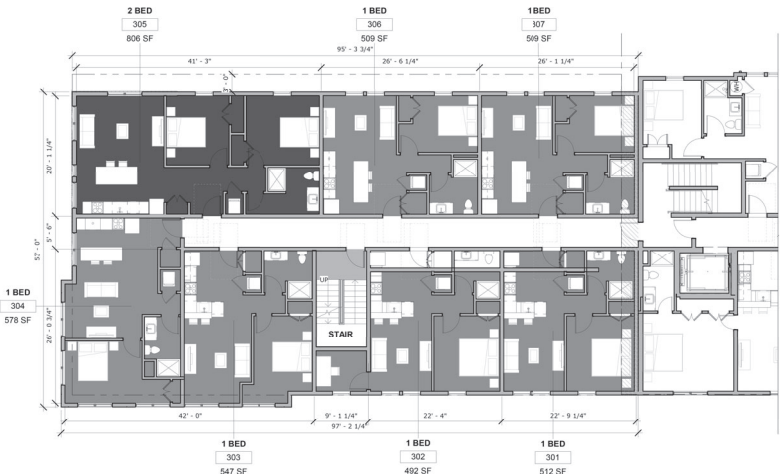
ZONING PARKING EXEMPTION 1410 (B)7 – IN THE C1 AND C2 DISTRICTS, LOTS OF 10,000 SF OR LESS ARE EXEMPT FROM PARKING REQUIREMENTS.



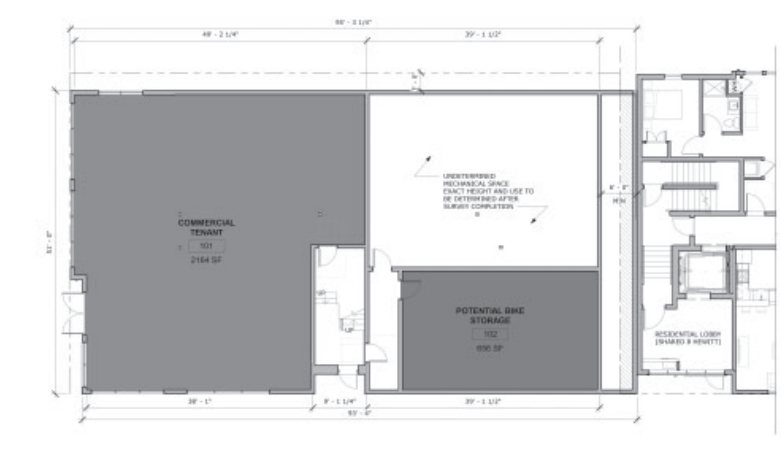
FOURTH LEVEL



THIRD LEVEL(TYPICAL)



SECOND LEVEL(TYPICAL)



GROUND LEVEL

GROSS SQUARE FOOTAGE

FOURTH LEVEL AREA:	4,974 GSF
THIRD LEVEL AREA:	4,974 GSF
SECOND LEVEL AREA:	4,974 GSF
GROUND LEVEL AREA:	4,788 GSF
GROSS AREA:	19,710 GSF

UNIT MATRIX

1 BED:	16 UNITS	(500-600 SF)
1 BED+:	2 UNITS	(570 SF)
2 BED:	3 UNITS	(800 SF)
TOTAL:	21 UNITS	

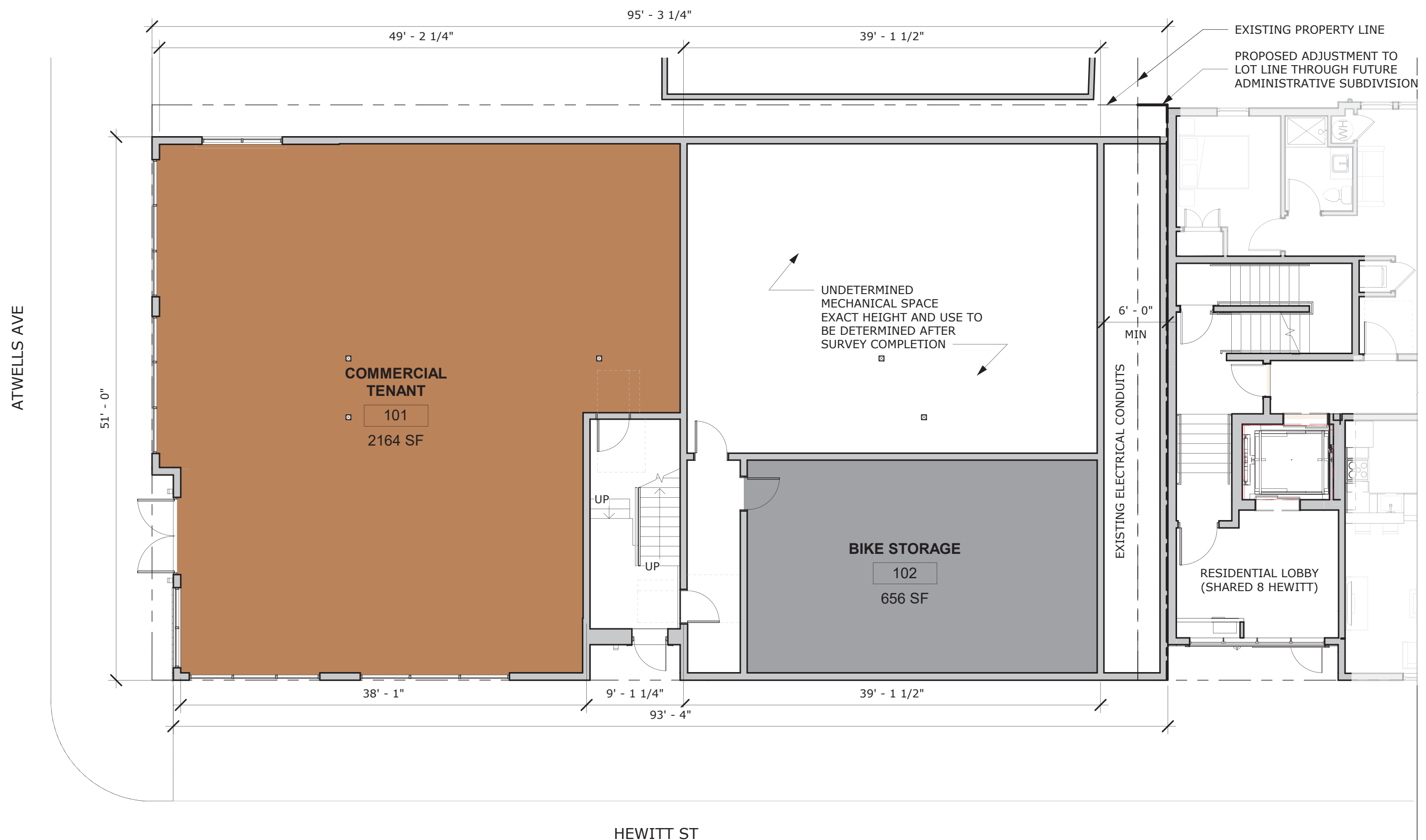
ZONING SUMMARY

386 ATWELLS AVENUE MULTI-UNIT DEVELOPMENT



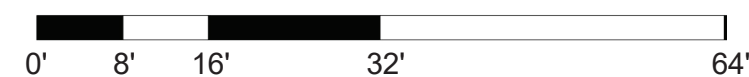
ARCHITECTURAL SITE PLAN

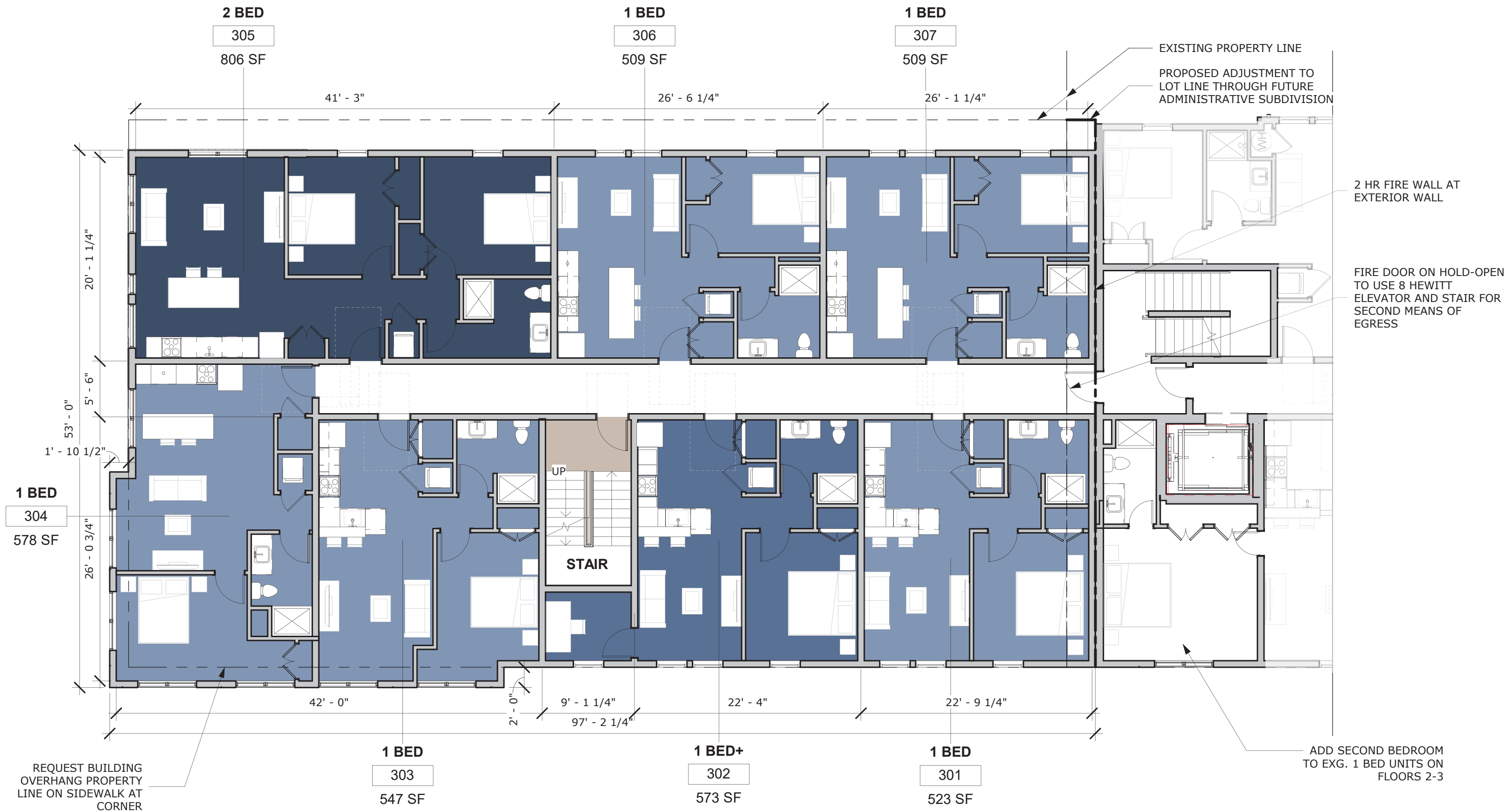
386 ATWELLS AVENUE MULTI-UNIT DEVELOPMENT



GROUND LEVEL PLAN

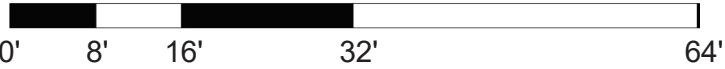
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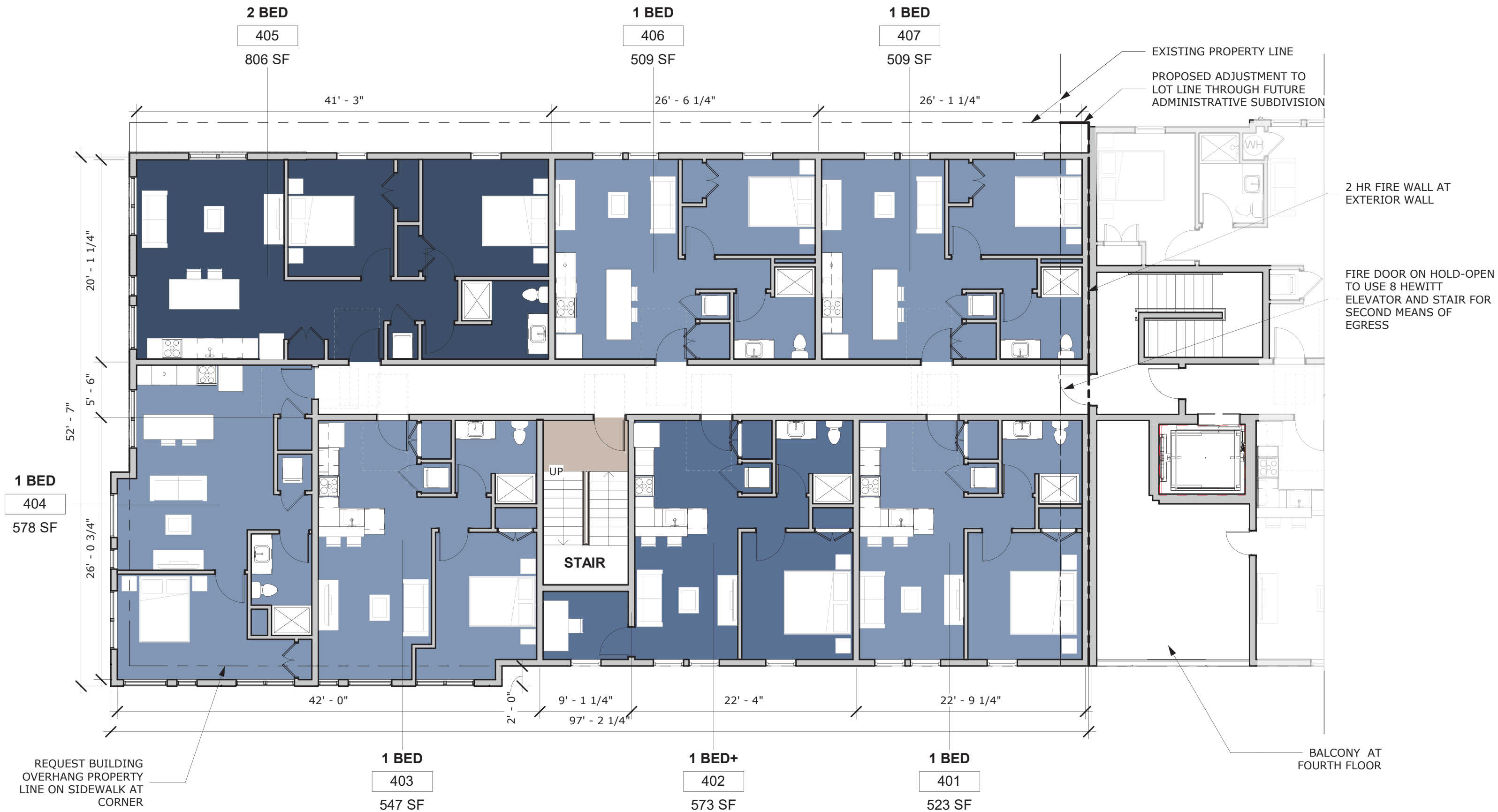




TYPICAL LEVEL PLAN (2-3)

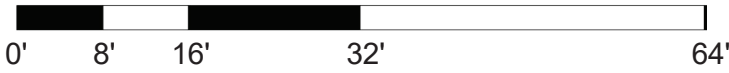
386 ATWELLS AVENUE MULTI-UNIT DEVELOPMENT

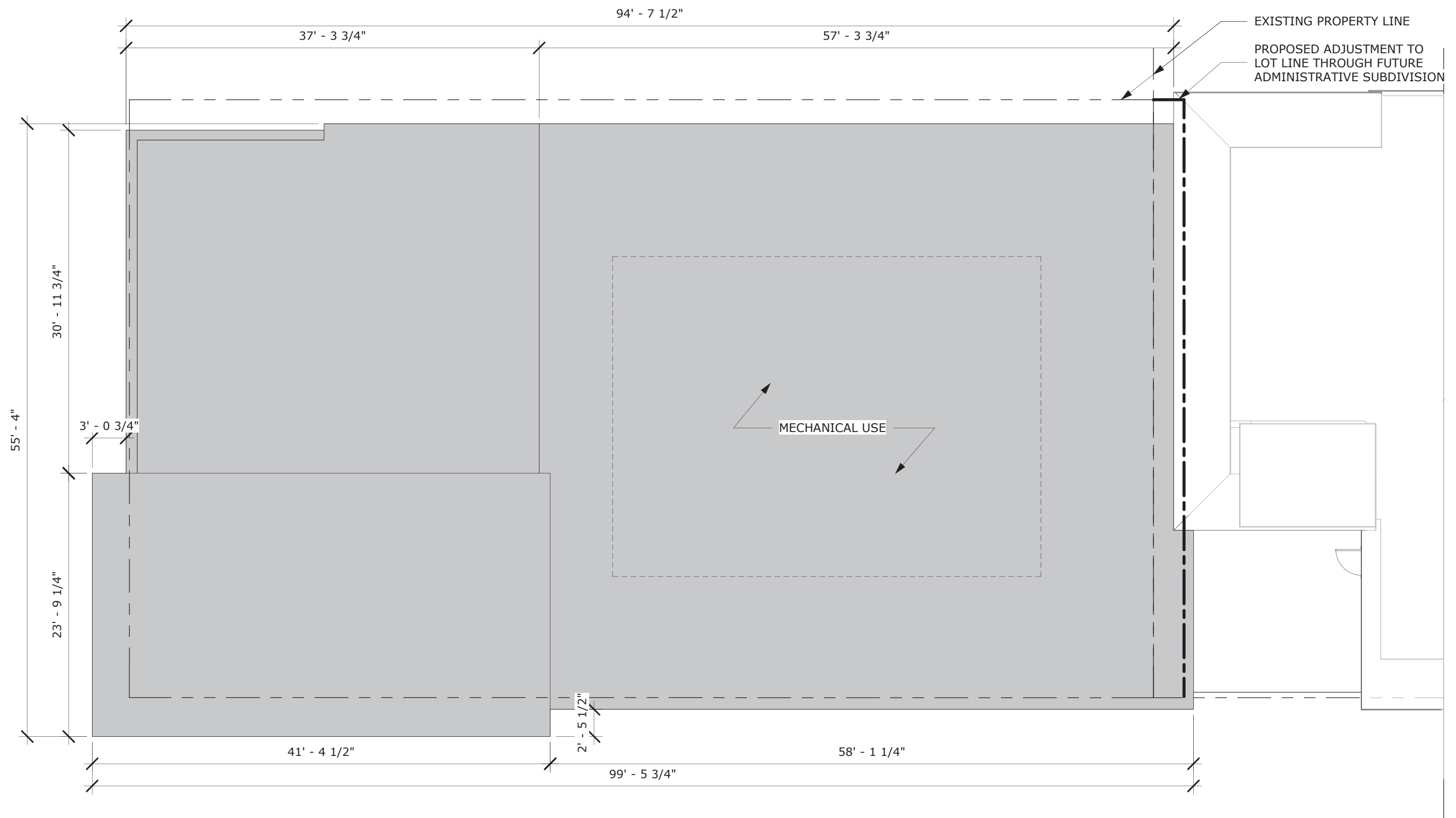




FOURTH LEVEL PLAN

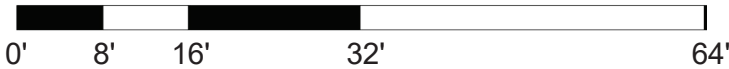
386 ATWELLS AVENUE MULTI-UNIT DEVELOPMENT

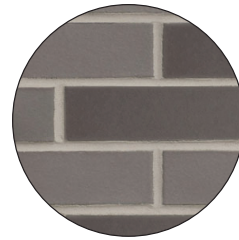




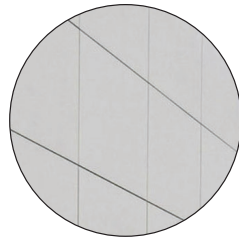
ROOF PLAN

386 ATWELLS AVENUE MULTI-UNIT DEVELOPMENT

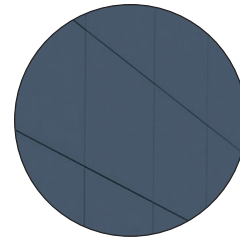




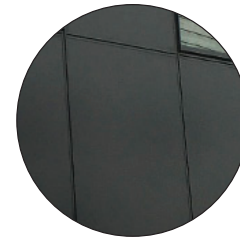
BRICK VENEER
BROWN/GREY



FIBER CEMENT PANEL A
CREAM



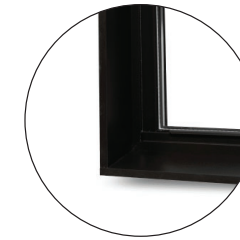
FIBER CEMENT PANEL B
SLATE BLUE



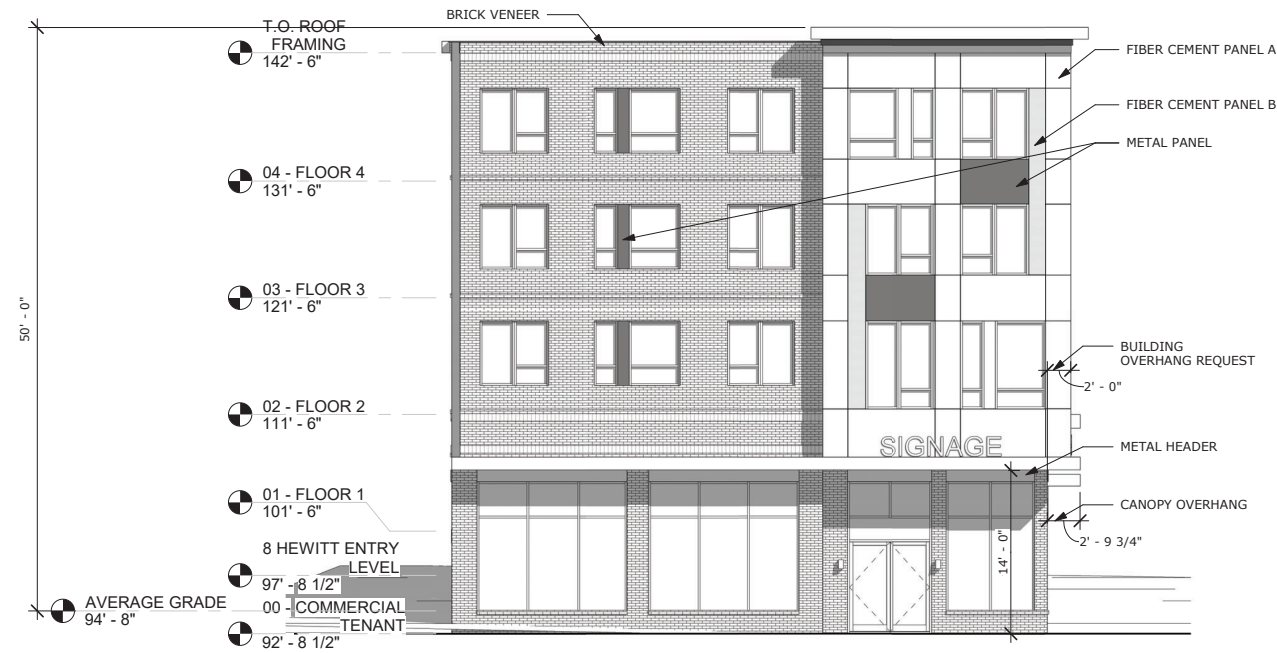
METAL PANEL
DARK GREY



LAP SIDING
GREY TO MATCH EXT 8 HEWITT



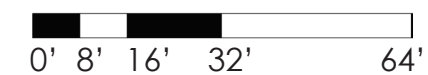
WINDOWS
BLACK FINISH

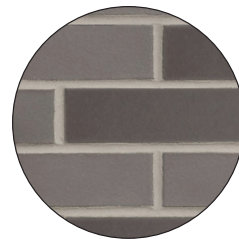


NORTH ELEVATION (ATWELLS AVENUE)

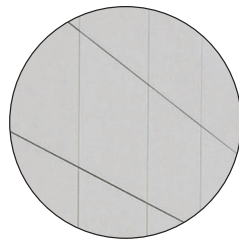
ELEVATIONS & MATERIALS

386 ATWELLS AVENUE MULTI-UNIT DEVELOPMENT

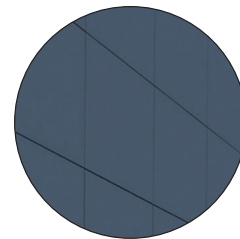




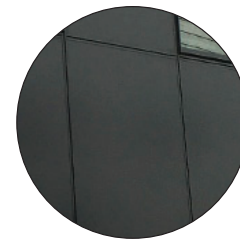
BRICK VENEER
BROWN/GREY



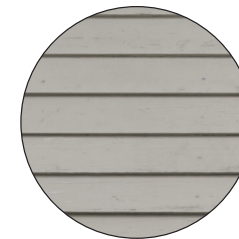
FIBER CEMENT PANEL A
CREAM



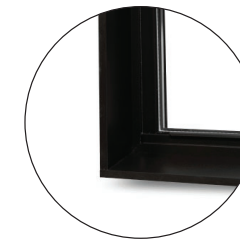
FIBER CEMENT PANEL B
SLATE BLUE



METAL PANEL
DARK GREY



LAP SIDING
GREY TO MATCH EXT 8 HEWITT



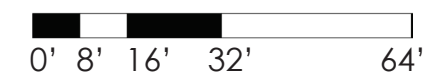
WINDOWS
BLACK FINISH

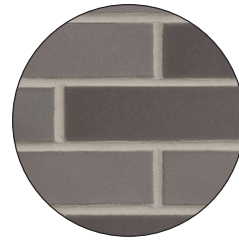


WEST ELEVATION (HEWITT STREET)

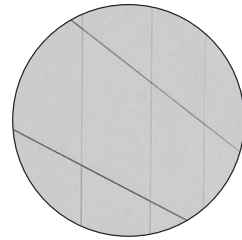
ELEVATIONS & MATERIALS

386 ATWELLS AVENUE MULTI-UNIT DEVELOPMENT

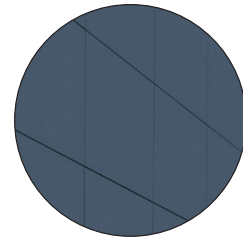




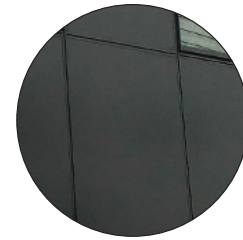
BRICK VENEER
BROWN/GREY



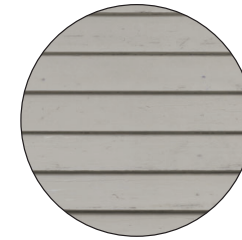
FIBER CEMENT PANEL A
CREAM



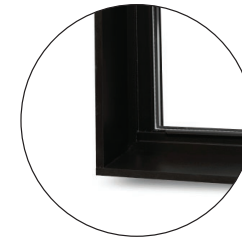
FIBER CEMENT PANEL B
SLATE BLUE



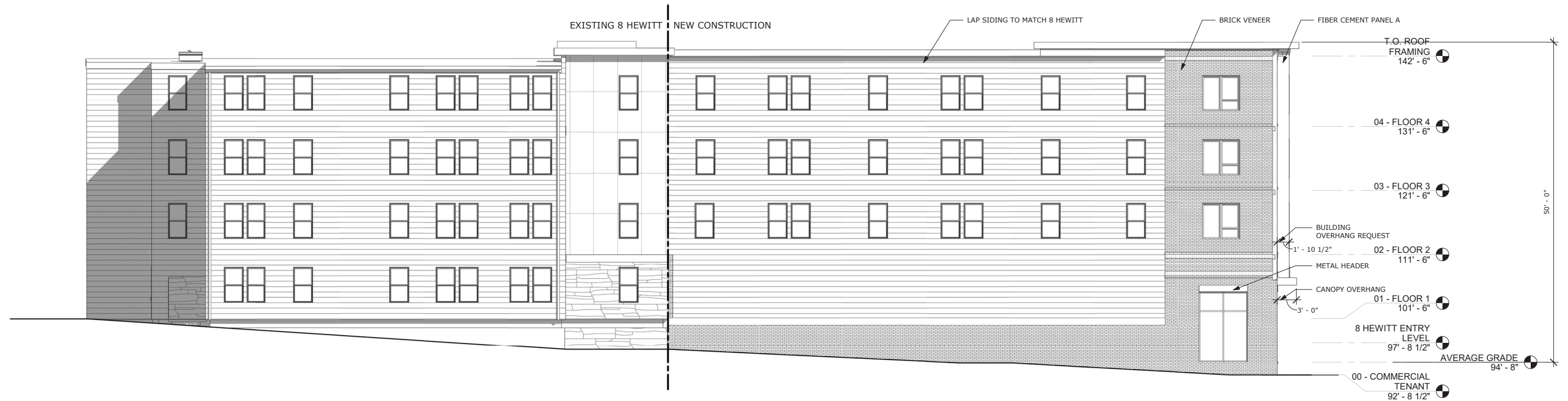
METAL PANEL
DARK GREY



LAP SIDING
GREY TO MATCH EXT 8 HEWITT



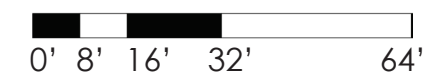
WINDOWS
BLACK FINISH



EAST ELEVATION

ELEVATIONS & MATERIALS

386 ATWELLS AVENUE MULTI-UNIT DEVELOPMENT





ATWELLS AVENUE MIXED-USE DEVELOPMENT

CONSISTING OF 1 COMMERCIAL UNIT & 21 RESIDENTIAL UNITS

386 ATWELLS AVENUE and 8 HEWITT STREET
PROVIDENCE, RHODE ISLAND
AP 28, LOTS 1073 & 1080

ZONING DISTRICT: C-1 NEIGHBORHOOD COMMERCIAL DISTRICT



IMAGE COURTESY OF ZDS ARCHITECTURE, INC., DATED JULY 2022

FILINGS:

COMBINED MASTER PLAN AND PRELIMINARY PLAN: PROVIDENCE CITY PLAN COMMISSION (CPC)

- BUILDING HEIGHT ADJUSTMENT REQUEST (PER SECTION 1904 OF PROV. ZONING ORDINANCE); 45-FT ALLOWED, 50-FT PROPOSED, 5-FT ADJUSTMENT REQUESTED

PROVIDENCE WATER SUPPLY BOARD - DOMESTIC AND FIRE PROTECTION CONNECTION APPLICATION

NARRAGANSETT BAY COMMISSION - SEWER CONNECTION PERMIT

CITY OF PROVIDENCE DEPT. OF PUBLIC WORKS - ENGINEERING AND TRAFFIC DIVISIONS

CITY OF PROVIDENCE PARKS DEPARTMENT - CITY FORESTER

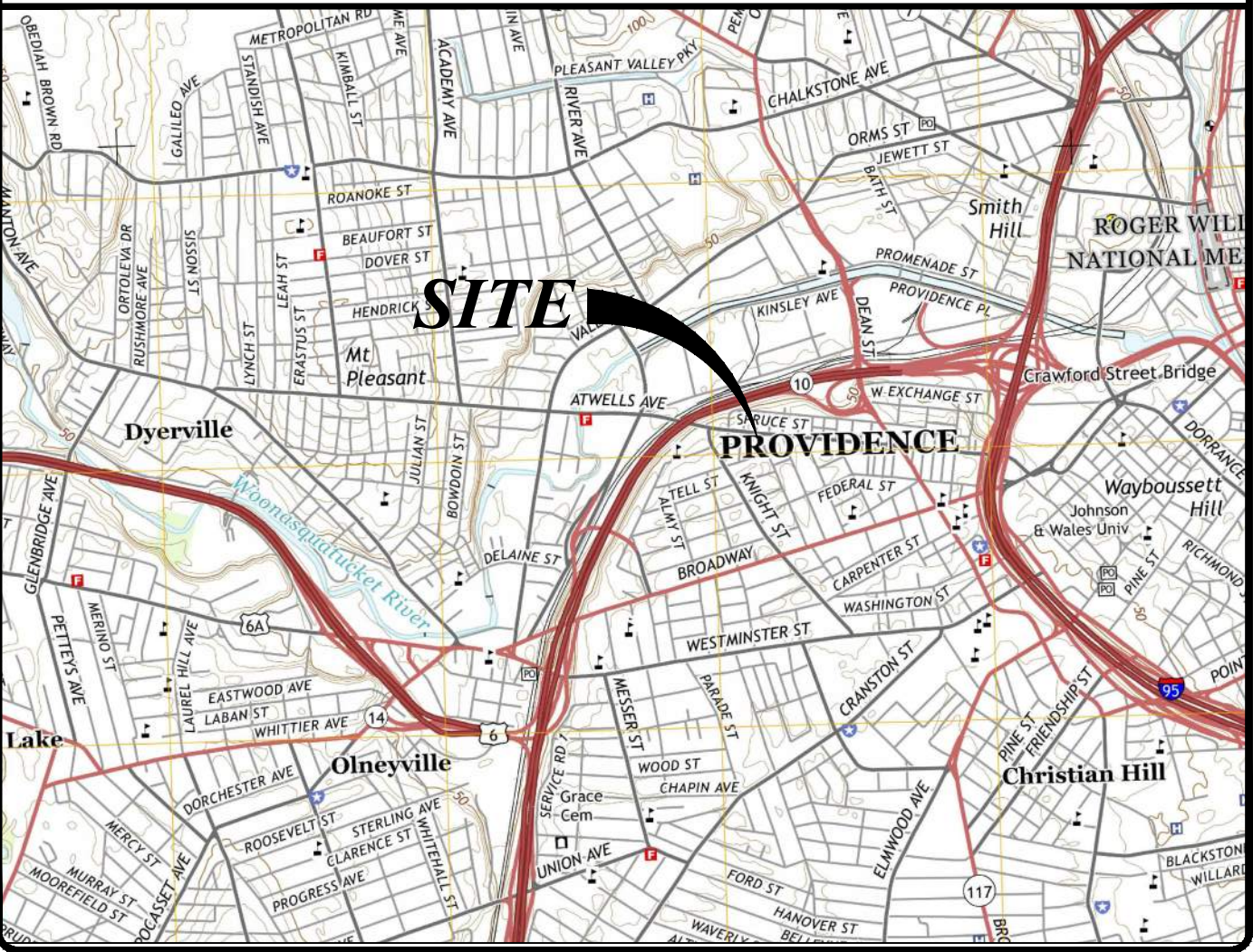
NOTES TO CONTRACTOR - WORK IN CITY RIGHT-OF-WAY:

- A PERMIT MUST BE OBTAINED FROM TRAFFIC ENGINEERING AT CITY OF PROVIDENCE DEPARTMENT OF PUBLIC WORKS (DPW) PRIOR TO THE REMOVAL OF SIDEWALK WITHIN HEWITT STREET. THE PERMIT APPLICATION MUST ADDRESS ALTERNATIVE PEDESTRIAN PATH OF TRAVEL.

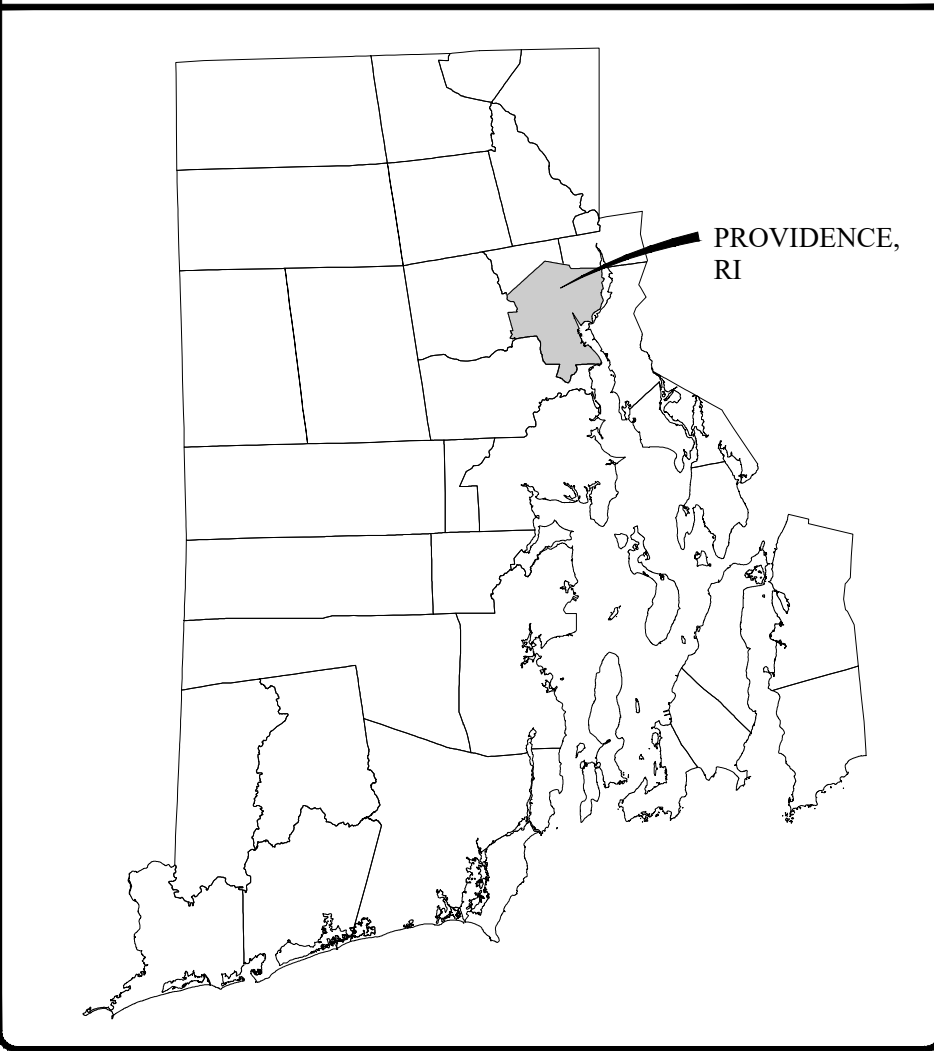
PROJECT TEAM

OWNER/ APPLICANT:	8 HEWITT STREET LLC C/O MR. MICHAEL LEMOI 4 CARPENTER STREET PROVIDENCE, RI 02909	CIVIL ENGINEER:	JOE CASALI ENGINEERING, INC. 300 POST ROAD WARWICK, RI 02888 PHONE: 401-944-1300 FAX: 401-944-1313
ARCHITECT:	ZDS ARCHITECTURE, INC. 2 CHARLES STREET PROVIDENCE, RI 02904 PHONE: 401-680-6699	SURVEYOR:	OCEAN STATE PLANNERS, INC. 1255 OAKLAWN AVENUE CRANSTON, RI 02920 PHONE: 401-463-9696

LOCUS MAP (NOT TO SCALE)



STATE WIDE MAP



INDEX OF DRAWINGS

SHEET NO.	PLAN
1	COVER SHEET
2	GENERAL NOTES AND LEGEND
3	EXISTING CONDITIONS & SITE PREPARATION PLAN
4	SITE AND UTILITY PLAN
5	SITE DETAILS I
6	SITE DETAILS II
R1	BOUNDARY STAKE-OUT SURVEY PLAN, PREPARED BY OCEAN STATE PLANNERS INC., DATED JULY 11, 2022

PROPOSED MIXED-USE BUILDING
386 ATWELLS AVENUE
PROVIDENCE, RHODE ISLAND
AP 28, LOTS 1073 & 1080

REVISIONS:	
NO.	DATE DESCRIPTION

DESIGNED BY:	DRD
DRAWN BY:	SEP
CHECKED BY:	JAC
DATE:	AUGUST 2022
PROJECT NO:	20-52

PRELIMINARY, NOT FOR CONSTRUCTION

COVER SHEET

SHEET 1 OF 6

GENERAL NOTES:

- THIS PLAN IS BASED ON CLASS I LIMITED CONTENT BOUNDARY SURVEY DATED APRIL 2021, AND A CLASS III TOPOGRAPHIC SURVEY DATED JULY 2022, PERFORMED BY OCEAN STATE PLANNERS, INC. LOCATED AT 1255 OAKLAWN AVENUE, CRANSTON, RI.
- THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING ANY CONSTRUCTION OPERATIONS. RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR CITY WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.
- THE SITE IS LOCATED ON THE FLOOD INSURANCE RATE MAP FOR PROVIDENCE COUNTY, MAP NUMBER 440007C0308J, BASED ON THE FEMA FLOOD INSURANCE RATE MAP, DATED OCTOBER 2, 2015. THE SITE AND ALL ADJACENT SITES LIE IN ZONE X - AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL-CHANCE FLOOD HAZARD AREA.
- SOILS ON THE SITE CONSIST OF MERRIMAC-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES (MU). THESE SOILS ARE SOMEWHAT EXCESSIVELY WELL DRAINED, WITH A DEPTH TO THE SEASONAL HIGH GROUNDWATER OF .ORE THAN 80-INCHES, BELONGING TO HYDROLOGIC GROUP A.
- THERE ARE NO KNOWN WETLANDS ON SITE. THE SITE IS LOCATED WITHIN THE WOONASQUITUCKET RIVER WATERSHED (RIDEM INVENTORY NO. 010900040502).
- THERE ARE NO KNOWN EASEMENTS ON THE SUBJECT PROPERTY; THERE ARE NO KNOWN EXISTING PUBLIC RECREATIONAL OR CULTURAL RESOURCES LOCATED WITHIN THE SUBJECT SITE.

SITE NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) OF ALL MATERIALS INDICATED ON THE PLANS.
- ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS, AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICAN WITH DISABILITIES ACT AND WITH ALL APPLICABLE STATE AND LOCAL LAWS AND REGULATIONS, WHICHEVER IS MORE STRINGENT.
- STOCKPILES OF EARTH MATERIALS SHALL NOT BE LOCATED ADJACENT TO DRAINAGE STRUCTURES.
- ALL DISTURBED AREAS OUTSIDE OF THE PAVED AREAS WILL RECEIVE A MINIMUM OF 6" OF LOAM AND SEED.
- THE LAYOUT SHOWN REPRESENTS A GRAPHICAL DESIGN, AND PRIOR TO THE CONSTRUCTION, THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL LAND SURVEYOR (PLS) REGISTERED IN THE STATE OF RHODE ISLAND TO SET AND VERIFY ALL LINES AND GRADES. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY ITEMS FOUND WHICH DO NOT MATCH THE PLANS MUST BE BROUGHT TO THE ENGINEERS ATTENTION PRIOR TO CONSTRUCTION FOR REVIEW. NO WORK SHALL PROCEED UNTIL AUTHORIZED BY THE ENGINEER.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SURVEY LAYOUT SERVICES FOR THE WORK AND SHALL SUBMIT "AS-BUILT" DRAWINGS OF ALL WORK, WHICH SHALL BE STAMPED AND CERTIFIED BY A RHODE ISLAND REGISTERED PROFESSIONAL LAND SURVEYOR.
- ANY ITEM OF WORK NOT SPECIFICALLY INDICATED ON THE PLANS BUT IS REQUIRED FOR THE COMPLETE CONSTRUCTION OF THE PROJECT WILL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND INCLUDED IN THE CONTRACT BID PRICE. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING SITE CONDITIONS.
- REFER TO ARCHITECTURAL PLANS, STRUCTURAL PLANS, PLUMBING PLANS, FIRE PROTECTION PLANS, AND ELECTRICAL PLANS, FOR ACTUAL SIZE OF THE PROPOSED BUILDING AND WORK WITHIN 5 FEET OF THE PROPOSED BUILDING.
- WHERE NECESSARY TO REMOVE CURBS, CATCH BASINS OR DRAINS TO COMPLETE WORK, THE CONTRACTOR SHALL REPLACE SUCH ITEMS TO THE SATISFACTION OF THE OWNER / CITY OF PROVIDENCE AT NO ADDITIONAL COST TO THE OWNER / CITY OF PROVIDENCE.
- ANY EXISTING PIPE OR UTILITY DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL RESTORE TO ITS ORIGINAL CONDITION OR REPLACE TREES, SHRUBS, FENCES, SIGNS, GUARDRAILS, DRIVEWAYS, SIDEWALKS AND ANY OTHER OBJECT AFFECTED BY THIS OPERATION, UNLESS OTHERWISE NOTED ON THE SITE PLANS.
- THE TOPS OF ALL VALVE BOXES AND CURB BOXES SHALL BE FLUSH WITH GROUND OR PAVEMENT SURFACE LEVEL AND PLUMB, UNLESS OTHERWISE DIRECTED.
- ROADWAYS SHALL BE LEFT PASSABLE AT ALL TIMES. CLOSURE OF ROADWAY IS NOT PERMITTED.
- WATER SERVICE SHALL BE MAINTAINED AT ALL TIMES.
- ALL LEDGE TO BE REMOVED BY MECHANICAL MEANS.
- ALL CONSTRUCTION WORK SHALL BE PERFORMED IN THE DRY. THE CONTRACTOR SHALL PROVIDE, OPERATE AND MAINTAIN ALL PUMPS, DRAINS, WET POINTS, SCREENS, OR OTHER FACILITIES NECESSARY TO CONTROL, COLLECT AND DISPOSE OF ALL SURFACE AND SUBSURFACE WATER ENCOUNTERED IN THE PERFORMANCE OF THE WORK.
- ALL SITE WORK, INCLUDING BUT NOT LIMITED TO, BITUMINOUS PAVEMENT, ROADWAY CONSTRUCTION, AGGREGATE MATERIALS, DRAINAGE STRUCTURES, CURBING, SIDEWALK, LANDSCAPING, SAW CUTTING, ETC. SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, AMENDED DECEMBER 2010 (WITH LATEST ADDENDA) AND THE RIDOT STANDARD DETAILS, 2019 EDITION (WITH LATEST ADDENDA).

MAINTENANCE AND PROTECTION OF TRAFFIC NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION. ALL TEMPORARY AND VEHICULAR SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST REVISIONS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), 2009 EDITION.
- TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE TRAFFIC CONTROL DIVIDES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC.
- THE PRIVATE VEHICLES OF CONSTRUCTION WORKERS SHALL NOT BE PARKED IN THE STATE OR CITY RIGHT-OF-WAY.
- ALL MAINTENANCE AND PROTECTION OF TRAFFIC CONTROL SETUPS, SIGNS CHANNELING DEVICES, ETC., SHALL BE IN ACCORDANCE WITH THE LATEST REVISIONS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, 2009 EDITION.
- SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH THE RIDOT SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.

SOIL EROSION AND SEDIMENTATION CONTROL NOTES:

- THE LIMITS OF CLEARING, GRADING, AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE OF THESE LIMITS, AS DEPICTED ON THE PLAN SHALL BE TOTALLY UNDISTURBED, TO REMAIN IN NATURAL CONDITION.
- ALL CATCH BASINS SHALL BE PROTECTED WITH SILTSACK SEDIMENT TRAPS DURING CONSTRUCTION ACTIVITIES. ALL PROPOSED STORM WATER DISCHARGE AREAS SHALL BE LINED WITH A RIPRAP SPLASH PAD AND PROTECTED WITH STAKED HAYBALE OUTLET PROTECTION (R.I. STD. 9.1.0), OR STAKED HAYBALE WITH SILT FENCE (R.I. STD. 9.3.0) OUTLET PROTECTION (STAKED HAYBALE OR STAKED HAYBALE WITH SILT FENCE) SHALL ALSO BE INSTALLED AT ALL EXISTING STORMWATER DISCHARGE LOCATIONS WHERE DISTRIBUTING PIPES, CATCH BASINS, AND MANHOLES ARE TO BE CLEANED AND FLUSHED.
- ALL DISTURBED SLOPES EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEEDED, PROTECTED AND MAINTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL REGULARLY CHECK ALL SEEDED AREAS TO ENSURE THAT A GOOD STANDING OF VEGETATION IS MAINTAINED.
- ALL SILT FENCE, TEMPORARY TREATMENT (HAY, STRAW, ETC.) AND TEMPORARY EROSION PROTECTION SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
- STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SIDE SLOPES OF NO GREATER THAN 2:1 AND SHALL BE TEMPORARILY SEEDED AND/OR STABILIZED PER CONTRACT SPECIFICATIONS.
- THE SILT FENCE/HAYBALES SHALL BE CHECKED BY THE CONTRACTOR ON A WEEKLY BASIS AND AFTER EACH STORM FOR UNDERMINING OR DETERIORATION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY SILT FENCE/HAYBALES AS NEEDED. THE CONTRACTOR SHALL CLEAN THE ACCUMULATED SEDIMENT IF HALF OF THE ORIGINAL HEIGHT OF THE HAY-BALES BECOMES FILLED WITH SEDIMENTS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL SOIL EROSION AND SEDIMENT CONTROLS ON THE PROJECT SITE FOR THE ENTIRE DURATION OF THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL FOLLOW THE DIRECTION OF THE RESIDENT ENGINEER, TOWN ENGINEER, OR OWNER WITH REGARD TO INSTALLATION, MAINTENANCE, AND REPAIR OF ALL SOIL EROSION AND SEDIMENTATION CONTROLS ON THE PROJECT SITE. TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROLS (HAYBALES, SILT FENCE, ETC.) SHALL BE MAINTAINED UNTIL ALL EXPOSED SOILS ARE SATISFACTORILY STABILIZED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND/OR RESEEDING ALL AREAS THAT DO NOT DEVELOP WITHIN ONE YEAR FROM THE COMPLETION OF CONSTRUCTION.
- ALL REFERENCED SOIL EROSION AND SEDIMENTATION CONTROLS INCLUDING MATERIALS USED, APPLICATION RATES AND THE INSTALLATION PROCEDURES SHALL BE PERFORMED PER THE "RHODE ISLAND EROSION AND SEDIMENTATION HANDBOOK", DATED 1993 AMENDED 2014.

MISCELLANEOUS UTILITY NOTES:

- PRIOR TO CONSTRUCTION ALL POTENTIAL UTILITY/DRAINAGE CONFLICTS MUST BE IDENTIFIED BY THE CONTRACTOR. ANY MODIFICATIONS TO THE PROPOSED UTILITIES TO AVOID CONFLICTS MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
- OVERHEAD ELECTRIC AND TELEPHONE SERVICES ARE TO BE REMOVED BY THE APPROPRIATE UTILITY COMPANY AND COORDINATED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL AT ALL TIMES PROVIDE A SUFFICIENT NUMBER OF WORKMEN AND GUARDS AS MAY BE NECESSARY TO PROPERLY SAFEGUARD THE PUBLIC FROM THEIR OPERATIONS.
- THE CONTRACTOR SHALL TAKE PRECAUTIONS AGAINST DAMAGING OF PAVING, SIDEWALKS, UTILITIES, OR PRIVATE PROPERTIES AND SHALL PROMPTLY REPAIR AT THEIR OWN EXPENSE ANY DAMAGE TO SUCH PAVING, SIDEWALKS, UTILITIES, OR PRIVATE PROPERTIES TO THE SATISFACTION OF THE OWNER OR CITY.
- EXISTING UTILITY FRAMES AND COVERS FOR SANITARY SEWER, WATER, GAS, STORM DRAINAGE AND OTHER UTILITIES SHALL BE ADJUSTED TO GRADE AS REQUIRED IN NEW PAVING AND PAVEMENT OVERLAY AREAS.
- ALL SEWER CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE NARRAGANSETT BAY COMMISSION AND CITY OF PROVIDENCE SEWER REQUIREMENTS.
- ALL NEW SEWER PIPES AND MANHOLES SHALL BE CLEANED AND TESTED PRIOR TO ACCEPTANCE. GRAVITY SEWER PIPES SHALL BE REQUIRED TO PASS BOTH LOW PRESSURE AIR AND DEFLECTION (IE., MANDREL) TESTING. LOW PRESSURE SEWER PIPING SHALL BE REQUIRED TO PASS A LOW PRESSURE (IE., HYDROSTATIC) TEST.
- A BACKFLOW PREVENTION DEVICE MUST BE INSTALLED AT EACH SEWER SERVICE BUILDING CONNECTION THAT IS BELOW THE RIM ELEVATION OF THE NEAREST SEWER MANHOLE, AS REQUIRED BY THE INTERNATIONAL PLUMBING CODE AND THE NARRAGANSETT BAY COMMISSION.
- APPLICANT IS REQUIRED TO PROVIDE TWO SETS OF FINAL AS-BUILT PLANS TO NARRAGANSETT BAY COMMISSION AND THE CITY OF PROVIDENCE DEPARTMENT OF PUBLIC WORKS (DPW) ENGINEERING DEPARTMENT. UPON COMPLETION OF CONSTRUCTION, PRIOR TO FINAL ACCEPTANCE, AS-BUILT PLANS SHALL INCLUDE FIELD MEASUREMENTS OF ALL INSTALLED PIPE AND APPURTENANCES, INCLUDING LENGTH, SLOPE, MANHOLE RIMS AND INVERTS, AS WELL AS SWING TIES/MEASUREMENTS TO ALL MANHOLES, SEWER STUBS, AND/OR LATERAL SERVICE CONNECTIONS. AN INSPECTION SHOULD BE REQUESTED WITH THE DPW ENGINEERING DEPARTMENT ONCE FINAL PLUMBING CONNECTIONS ARE MADE AND PRIOR TO BACKFILL.
- INSPECTION OF ALL SEWER CONSTRUCTION SHALL BE PERFORMED BY NARRAGANSETT BAY COMMISSION. APPLICANT SHALL PROVIDE SCHEDULE FOR CONSTRUCTION AS SOON AS POSSIBLE TO ALLOW FOR DEVELOPMENT OF INSPECTION FEE, TO BE PAID BY APPLICANT DIRECTLY TO THE NARRAGANSETT BAY COMMISSION. UPON PAYMENT OF FEE, COMMENCEMENT OF CONSTRUCTION INSPECTION REQUIRES MINIMUM NOTIFICATION OF 48-HOURS.
- APPLICANT IS RESPONSIBLE FOR SECURING ALL REQUIRED PERMITS FROM LOCAL, STATE, AND/OR FEDERAL AGENCIES WITH REGULATORY JURISDICTION OVER THE PROPOSED WORK. COPIES OF ALL PERMITS SHALL BE PROVIDED TO NARRAGANSETT BAY COMMISSION AND CITY ENGINEER PRIOR TO CONSTRUCTION. ALL SEWER CONSTRUCTION SHALL BE PERFORMED BY A DRAIN LAYER LICENSED IN THE STATE OF RHODE ISLAND AND THE CITY OF PROVIDENCE.

- NO FLOW WILL BE ACCEPTED UNTIL A COMPLETION CERTIFICATE IS ISSUED.
- THE CONTRACTOR SHALL CONFINE HIS CONSTRUCTION OPERATIONS AND ACTIVITIES TO WITHIN THE STREET LINES, EASEMENT AND/OR RIGHT-OF-WAY, AS SHOWN ON THE DRAWINGS.
- PRIOR TO CONSTRUCTION OF THE RELOCATION OF ALL WATER MAINS, THE CONTRACTOR SHALL COORDINATE WITH PROVIDENCE WATER SUPPLY BOARD FOR INSPECTION AND CHLORINATION OF NEW PIPING, FITTINGS AND VALVES.

BMP MAINTENANCE SCHEDULE:

- ALL MAINTENANCE (INCLUDING CLEANING) REQUIRED DURING THE CONSTRUCTION PHASE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL INCLUDE:

A. MEASURES NEEDED TO ENSURE THE PROPER OPERATION OF THE STORMWATER RUNOFF (DRAINAGE) AND WATER QUALITY CONTROL SYSTEMS TO INCLUDE INSPECTION, CLEANING AND REPAIRS ALL PIPES, INTAKE AND DISCHARGE STRUCTURES, CATCH BASIN SUMPS, AND MANHOLES.

B. INSPECTION OF ALL SLOPES, BERMS, AND OTHER CONTROL STRUCTURES FOR STRUCTURAL INTEGRITY/STABILITY AND EVIDENCE OF SOIL EROSION PROCESSES, AND MAINTENANCE OF THESE STRUCTURES IF NECESSARY. INSPECTIONS SHALL BE PERFORMED FOLLOWING ALL RAIN EVENTS OF 1/2 INCH RAINFALL OR MORE IN A 24-HOUR PERIOD, OR BI-MONTHLY IF NO RAINFALL EVENT OCCURS.

2. UPON COMPLETION OF THE PROJECT CONSTRUCTION, AND PRIOR TO VACATING THE SITE, THE CONTRACTOR SHALL CONDUCT A FINAL INSPECTION AND CLEANING OF THE DRAINAGE SYSTEM AND ALL ASSOCIATED STRUCTURES.

3. ALL INSTALLATION, CLEANING, AND MAINTENANCE OF THE STORMWATER DRAINAGE SYSTEM SHALL FOLLOW AT LEAST THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION MINIMUM STANDARDS, SECTION 212 AND SECTION 708. WHERE APPROPRIATE, PROCEDURES REGARDING THE DRAINAGE INSTALLATION, CLEANING, INSPECTION, AND MAINTENANCE OF THE STORMWATER DRAINAGE SYSTEM SHALL BE FOLLOWED AS OUTLINED IN THE "RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL" (RIDEM/RICRMC, 2010).

4. AFTER CONSTRUCTION, STORMWATER BMPs SHALL BE INSPECTED AND MAINTAINED BY THE OWNER AS FOLLOWS:

ROOF DRAIN LEADERS

- PERFORM ROUTINE ROOF INSPECTIONS QUARTERLY.
- KEEP ROOFS CLEAN AND FREE OF DEBRIS.
- KEEP ROOF DRAINAGE SYSTEMS CLEAR.

LOAMING & SEEDING NOTES:

SEEDING ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH SECTION L.02 SEEDING OF THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, 2010 EDITION (WITH LATEST ADDENDA), AND SHALL ALSO CONFORM TO THE FOLLOWING:

- AFTER ROUGH GRADING IS COMPLETED, ALL DISTURBED AREAS AND AREAS LABELED AS 'LOAM AND SEED' ARE TO BE BROUGHT TO AN ELEVATION OF 6" BELOW THE PROPOSED FINISHED GRADE. SCARIFY THE SUBGRADE TO A DEPTH OF 12" WITH THE TEETH OF A BACKHOE OR A POWER RAKE TO RESULT IN AN UNCOMPACTED SUBSOIL. 6" OF GOOD QUALITY TOPSOIL IS TO BE APPLIED AND RAKED TO FINISHED GRADE.
- THE TOPSOIL IS TO BE GOOD QUALITY LOAM, FERTILE AND FREE OF WEEDS, STICKS AND STONES OVER 3/4" IN SIZE AND OTHERWISE COMPLYING WITH SECTION M.18.01 OF THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, 2010 EDITION (WITH LATEST ADDENDA),
- PRIOR TO SEEDING OR SODDING, FERTILIZE WITH 10-10-10 OR EQUIVALENT ANALYSIS. AT LEAST 40% OF THE FERTILIZER NITROGEN SHALL BE IN SLOW RELEASE FORM. INCORPORATE THE FERTILIZER INTO THE TOP 1-2" OF THE PLANTING SOIL. APPLY AT A RATE OF 8 LBS. PER 1000 SQUARE FEET.
- APPLY LIME AT A RATE OF ONE TON PER ACRE AND UNIFORMLY INCORPORATE INTO THE TOP 1-2" OF TOPSOIL.
- SEEDING
AFTER THE SEED BED IS PREPARED, SEED IS TO BE BROADCAST EVENLY OVER THE SURFACE AND WORKED INTO THE TOP 1" OF SOIL. SEED SHALL BE APPROVED URI #2 OR APPROVED EQUAL. APPLY AT A RATE OF 4-5 LBS. PER 1000 SQUARE FEET OR AS OTHERWISE DIRECTED BY THE MANUFACTURER.

URI #2 IMPROVED SEED MIX, % BY WEIGHT:

- 40% CREEPING RED FESCUE
- 20% IMPROVED PERENNIAL RYEGRASS
- 20% IMPROVED KENTUCKY BLUEGRASS
- 20% KENTUCKY BLUEGRASS

RECOMMENDED SEEDING DATES ARE MARCH 15 TO JUNE 15 AND SEPTEMBER 15 TO NOVEMBER 15. AT THE CONTRACTORS DISCRETION, SEED MAY BE APPLIED BY HYDROSEEDING RATHER THAN THE METHOD DESCRIBED ABOVE.

LEGEND

- EXISTING PROPERTY LINE
- ABUTTING PROPERTY LINE
- BUILDING SETBACK LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING STONE WALL
- EXISTING CURB
- PROPOSED CURB
- EXISTING GUARD RAIL
- EXISTING DRAIN LINE
- PROPOSED DRAIN LINE
- EXISTING DRAINAGE MANHOLE
- PROPOSED DRAINAGE MANHOLE
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- EXISTING UTILITY POLE
- PROPOSED UTILITY POLE
- EXISTING TELECOM DUCTBANK
- EXISTING ELECTRIC DUCTBANK
- RELOCATED ELECTRIC DUCTBANK
- EXISTING GAS LINE
- PROPOSED GAS LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING WATER SHUT OFF VALVE
- PROPOSED WATER SHUT OFF VALVE
- EXISTING SEWER LINE
- PROPOSED SEWER LINE
- EXISTING SEWER MANHOLE
- PROPOSED SEWER MANHOLE
- N/F ---- NOW OR FORMERLY
- TREELINE
- SILT FENCE
- LOD ---- LIMIT OF DISTURBANCE
- (T)LOD ---- TEMPORARY LIMIT OF DISTURBANCE
- TEST HOLE

PROPOSED MIXED-USE BUILDING
386 ATWELLS AVENUE
PROVIDENCE, RHODE ISLAND
AP 28, LOTS 1073 & 1080

REVISIONS:

NO.	DATE	DESCRIPTION

DESIGNED BY:

DRAWN BY: SEP

CHECKED BY: JAC

DATE: AUGUST 2022

PROJECT NO: 20-521

PRELIMINARY, NOT FOR CONSTRUCTION

GENERAL NOTES & LEGEND

SHEET 2 OF 6



LOCATION OF EXISTING UTILITIES SHOWN, ARE FROM GATE LOCATION AND EXISTING DOCUMENTATION AND MAY NOT BE ACCURATE. EXACT LOCATION TO BE DONE BY THE APPROPRIATE UTILITY COMPANY OR MUNICIPALITY PRIOR TO ANY EXCAVATION CALL DIGSAFE AT: 1-888-DIG-SAFE 1-888-344-7233

ZONING CRITERIA	REQUIRED	EXISTING
ZONING DISTRICT	C1	C1
MINIMUM LOT AREA	NONE	4,995 SF
MINIMUM BUILDING HEIGHT	16 FT.	>16 FT.
MINIMUM FIRST STORY HEIGHT	11 FT ¹	>11 FT
MAXIMUM BUILDING HEIGHT	45 FT ²	<45 FT (2 STORIES)
MAXIMUM BUILDING COVERAGE	NONE	34.6%
TOTAL MAX. IMPERVIOUS SURFACE COVERAGE	NONE	98%
MINIMUM FRONT SETBACK	SEE NOTE 3	1 FT±
MINIMUM INTERIOR SIDE SETBACK	NONE ⁴	-0.3 FT±
MINIMUM CORNER SIDE SETBACK	SEE NOTE 3	16.2 FT±
MINIMUM REAR SETBACK	NONE ⁵	35.7 FT±

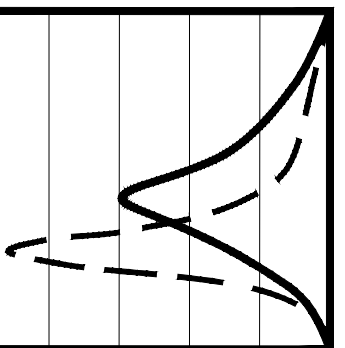
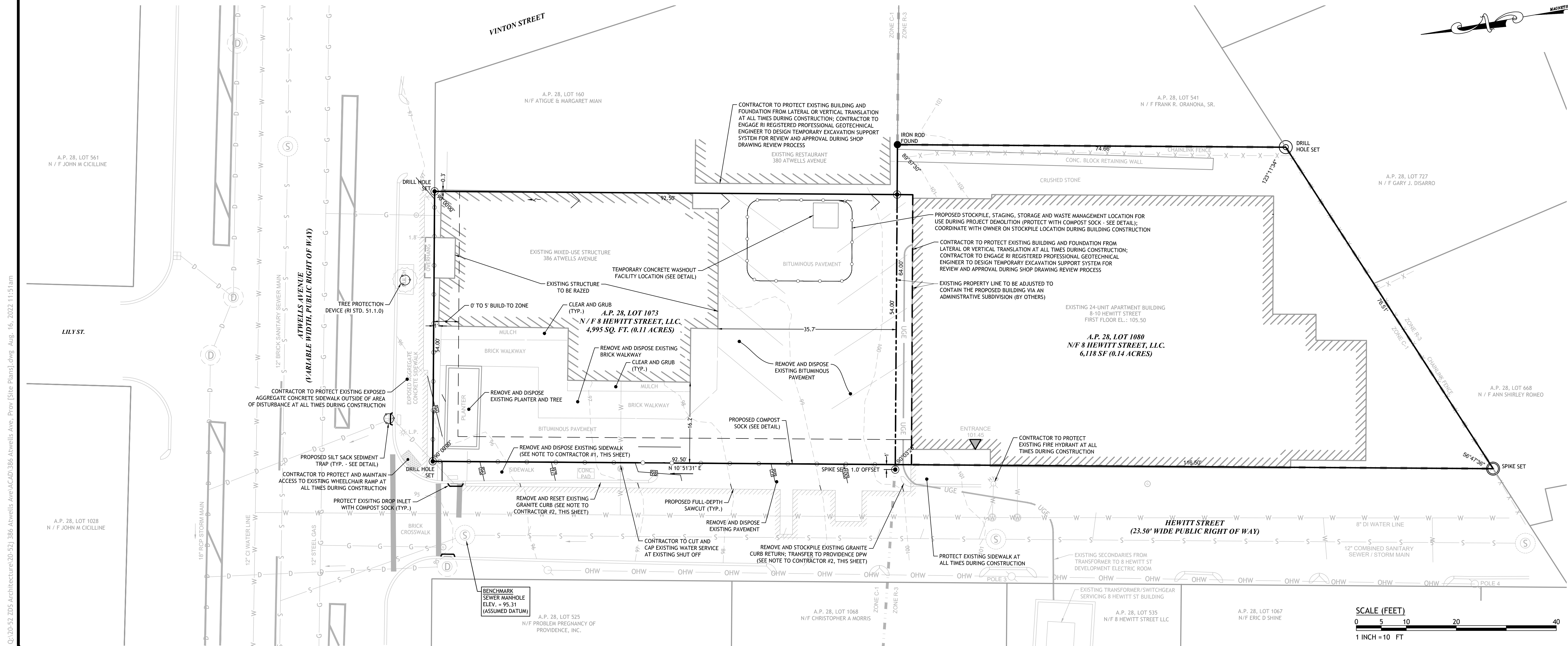
- NOTES:
- 9 FT RESIDENTIAL USE; 11' NON-RESIDENTIAL USE.
 - 45 FT, NOT TO EXCEED 4 STORIES.
 - BUILD TO ZONE OF 0-5 FT; THE REQUIRED BUILD-TO PERCENTAGE IS 60% ON THE FRONT LOT LINE.
 - NONE, UNLESS ABUTTING A RESIDENTIAL DISTRICT, THEN 5 FT.
 - NONE, UNLESS ABUTTING A RESIDENTIAL DISTRICT, THEN 10 FT.

NOTES TO CONTRACTOR - WORK IN CITY RIGHT-OF-WAY:

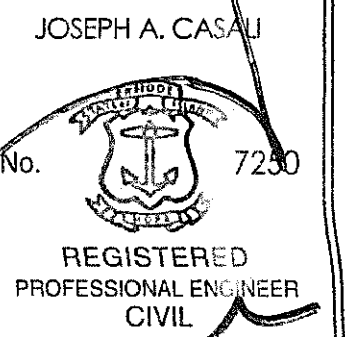
- A PERMIT MUST BE OBTAINED FROM TRAFFIC ENGINEERING AT CITY OF PROVIDENCE DEPARTMENT OF PUBLIC WORKS (DPW) PRIOR TO THE REMOVAL OF SIDEWALK WITHIN HEWITT STREET. THE PERMIT APPLICATION MUST ADDRESS ALTERNATIVE PEDESTRIAN PATH OF TRAVEL.
- ANY AND ALL SURPLUS CURB IS THE PROPERTY OF THE CITY OF PROVIDENCE AND SHALL BE TRANSPORTED AND STOCKPILED, AS DIRECTED, AT THE DEPARTMENT OF PUBLIC WORKS (DPW) FACILITY AT 20 ERNEST STREET, PROVIDENCE, RI.

SOIL EROSION AND STORMWATER NOTES:

- CONTRACTOR SHALL ESTABLISH SUFFICIENT SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ALONG THE SOUTHERN AND WESTERN, DOWN GRADIENT SIDE OF PROJECT AREA INCLUDING BUT NOT LIMITED TO COMPOST SOCK AND SILTSACK SEDIMENT TRAPS ILLUSTRATED ON THE PLANS.
- PER SECTION 5-83 OF THE CITY OF PROVIDENCE CODE OF ORDINANCES, THE PROJECT IS EXEMPT FROM THE POST-CONSTRUCTION STORMWATER CONTROL ORDINANCE, AS THE LOT IS LOCATED WITHIN THE C1 ZONE AND IS LESS THAN 20,000 SQ. FT. IN AREA.



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2-12-2022

PROPOSED MIXED-USE BUILDING 386 ATWELLS AVENUE PROVIDENCE, RHODE ISLAND AP 28, LOTS 1073 & 1080

REVISIONS:	NO.	DATE	DESCRIPTION

DESIGNED BY: DRD
DRAWN BY: SEP
CHECKED BY: JAC
DATE: AUGUST 2022
PROJECT NO: 20-521

PRELIMINARY, NOT FOR CONSTRUCTION

EXISTING CONDITIONS & SITE PREP. PLAN

SHEET 3 OF 6

ZONING CRITERIA	REQUIRED	PROPOSED
ZONING DISTRICT	C-1	C-1
MINIMUM LOT AREA	NONE	4,995 SF
MINIMUM BUILDING HEIGHT	16 FT.	50 FT
MINIMUM FIRST STORY HEIGHT	11 FT ¹	14 FT
MAXIMUM BUILDING HEIGHT	45 FT ²	50 FT (4 STORIES) ³
MAXIMUM BUILDING COVERAGE	NONE	94%
TOTAL MAX. IMPERVIOUS SURFACE COVERAGE	NONE	94%
MINIMUM FRONT SETBACK	SEE NOTE 3	0 FT±
MINIMUM INTERIOR SIDE SETBACK	NONE*	3.0 FT±
MINIMUM CORNER SIDE SETBACK	SEE NOTE 3	0 FT±
MINIMUM REAR SETBACK	NONE*	0 FT±

- NOTES:
- 9 FT RESIDENTIAL USE; 11' NON-RESIDENTIAL USE.
 - 45 FT, NOT TO EXCEED 4 STORIES.
 - BUILD TO ZONE OF 0-5 FT; THE REQUIRED BUILD-TO PERCENTAGE IS 60% ON THE FRONT LOT LINE.
 - NONE, UNLESS ABUTTING A RESIDENTIAL DISTRICT, THEN 5 FT.
 - NONE, UNLESS ABUTTING A RESIDENTIAL DISTRICT, THEN 10 FT.
 - ADJUSTMENT REQUESTED.

ENCROACHMENT NOTES:

- PROPOSED STRUCTURES ENCRANCHING ON THE PUBLIC RIGHT-OF-WAY WILL REQUIRE A PUBLIC RIGHT-OF-WAY ENCROACHMENT PERMIT, APPLIED THROUGH THE DEPARTMENT OF PUBLIC WORKS, IN ACCORDANCE WITH SECTION 1914 OF THE PROVIDENCE ZONING ORDINANCE.

CITY OF PROVIDENCE DEPT. OF PUBLIC WORKS (DPW) NOTES:

- CONTACT DPW ENGINEERING BEFORE ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY OR SEWER CONNECTION AT 401-680-7525.
- ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY MUST BE IN ACCORDANCE WITH THE CITY'S STANDARD DETAILS.
- ANY AND ALL SURPLUS GRANITE CURBING SHALL BE RETURNED TO THE CITY OF PROVIDENCE DEPARTMENT OF PUBLIC WORKS.
- ANY CONSTRUCTION ACTIVITY THAT HINDERS VEHICLE TRAFFIC OR PEDESTRIAN TRAFFIC MUST BE PERMITTED THROUGH THE CITY TRAFFIC ENGINEER.
- CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING A LETTER OF APPROVAL AND SUBMITTING TO THE DEPARTMENT OF STANDARDS. A PHYSICAL ALTERATION PERMIT, ROAD EXCAVATION PERMIT FOR EACH UTILITY AND SEWER PERMITS ARE REQUIRED BEFORE THAT PARTICULAR WORK COMMENCES.

LANDSCAPING REQUIREMENTS:
PER SECTION 1503, - ONSITE LANDSCAPING AND REQUIRED TREES
SECTION C - REQUIRED TREE CANOPY
(ALL OTHER DISTRICTS: 15% OF THE SF OF THE LOT)

4,995 SF TOTAL LOT AREA x 15% OF LOT AREA
= 749 SF OF TREE CANOPY REQUIRED

REQUIRED: 749 SF OF TREE CANOPY
EXISTING: 1 EXISTING LARGE STREET TREE (1,000 SF CANOPY)

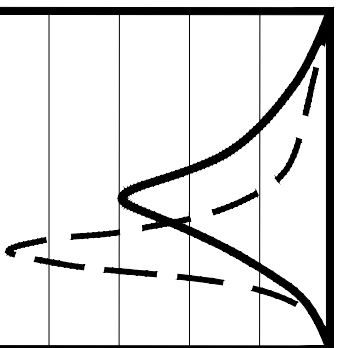
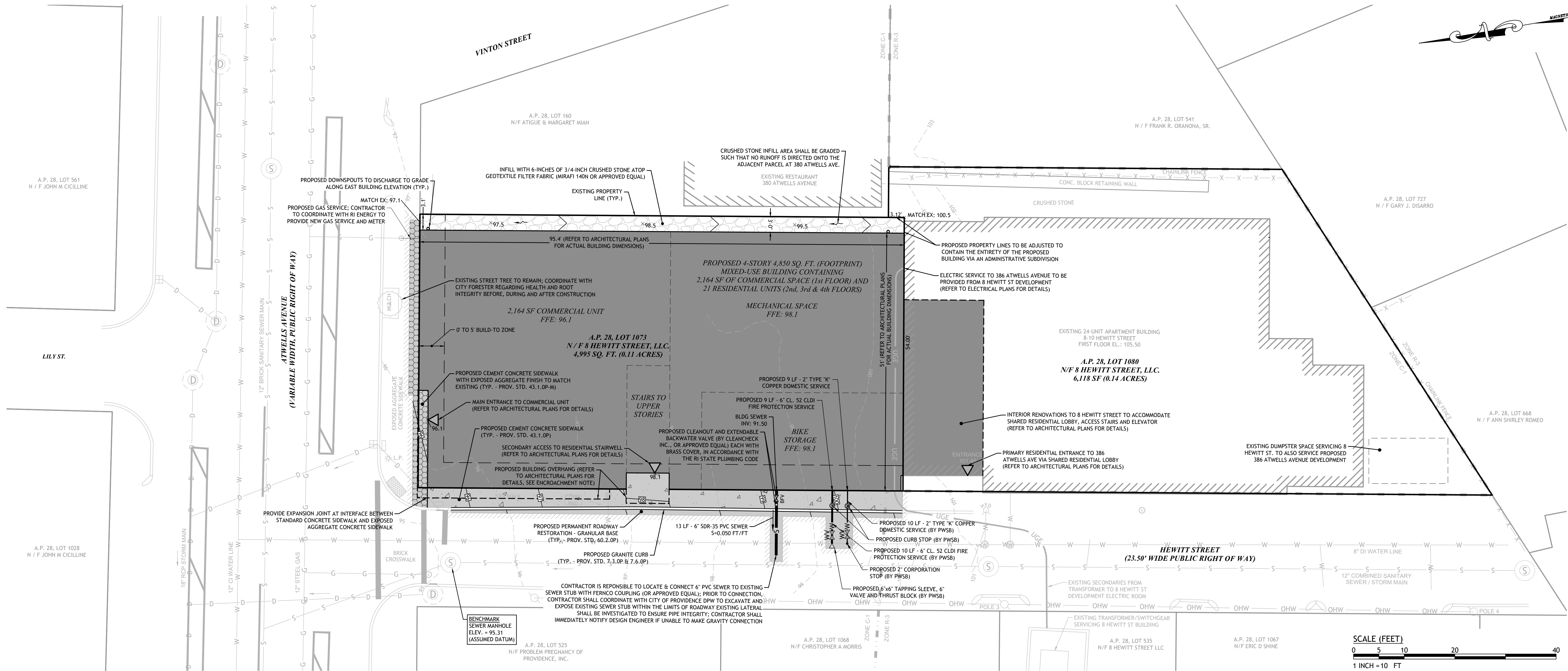
VEHICLE/BICYCLE PARKING AND LOADING SPACE REQUIREMENTS:

VEHICLE PARKING:
RESIDENTIAL: PER SECTION 1410.B.7 OF THE PROVIDENCE ZONING ORDINANCE, IN THE C-1 AND C-2 DISTRICTS, ALL LOTS OF 10,000 SQ. FT. OF LESS ARE EXEMPT FROM PARKING REQUIREMENTS. THEREFORE, NO VEHICLE PARKING IS PROPOSED.

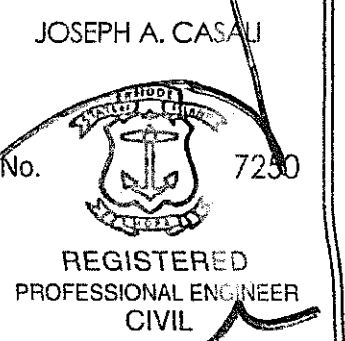
COMMERCIAL: PER SECTION 1410.B.5 OF THE PROVIDENCE ZONING ORDINANCE, THE FIRST 2,500 SQ. FT. OF GROSS AREA FOR NON-RESIDENTIAL USES IN THE R-P, C-1, C-2 AND C-3 DISTRICTS ARE EXEMPT FROM ALL OFF-STREET VEHICLE AND BIKE PARKING REQUIREMENTS.

COMMERCIAL LOADING: PER SECTION 1403 OF THE PROVIDENCE ZONING ORDINANCE, COMMERCIAL USES LESS THAN 20,000 SQ. FT. IN AREA, DO NOT REQUIRE DEDICATED LOADING SPACES.

BICYCLE PARKING:
PER SECTION SECTION 1402, TABLE 14-1, OF THE PROVIDENCE ZONING ORDINANCE, ONE (1) BICYCLE SPACE IS REQUIRED PER FIVE (5) DWELLINGS. TWENTY-ONE (21) DWELLING UNITS ARE PROPOSED, THEREFORE FIVE (5) BICYCLE SPACES ARE REQUIRED. ALL BICYCLE SPACES ARE PROPOSED WITHIN THE GROUND FLOOR OF THE STRUCTURE; REFER TO ARCHITECTURAL PLANS FOR DETAILED LOCATIONS.



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PROPOSED MIXED-USE BUILDING
386 ATWELLS AVENUE
PROVIDENCE, RHODE ISLAND
AP 28, LOTS 1073 & 1080

REVISIONS:

NO.	DATE	DESCRIPTION

DESIGNED BY: DRD
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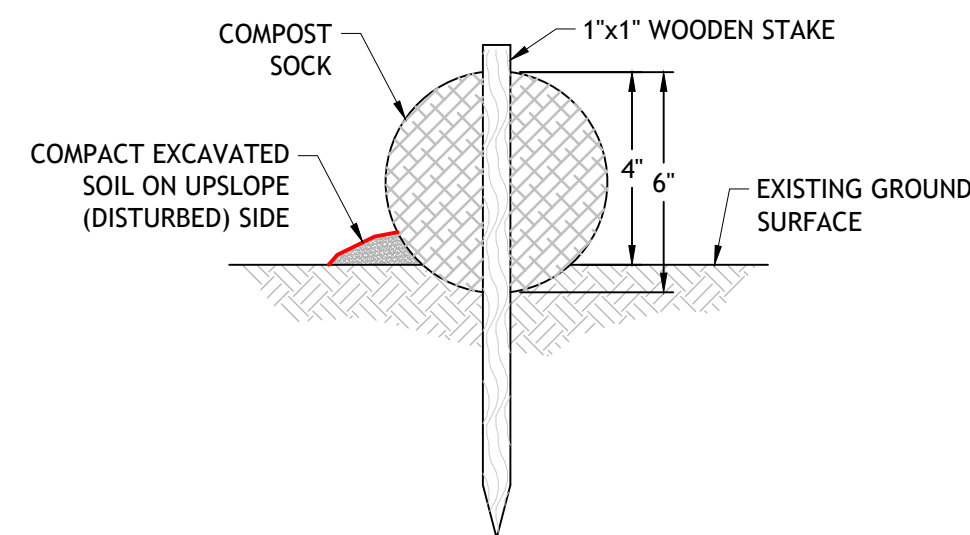
PRELIMINARY, NOT FOR CONSTRUCTION

SITE AND UTILITY PLAN

SHEET
4 OF 6

Diagram illustrating the layout of a stockpile material area. The central area is labeled "STOCKPILE MATERIAL". The boundary is defined by a line of small circles, labeled "COMPOST SOCK (SEE DETAIL)". A dimension line indicates a distance of "5' MAX. FROM TOE OF SLOPE" from the toe of the slope to the compost sock boundary.

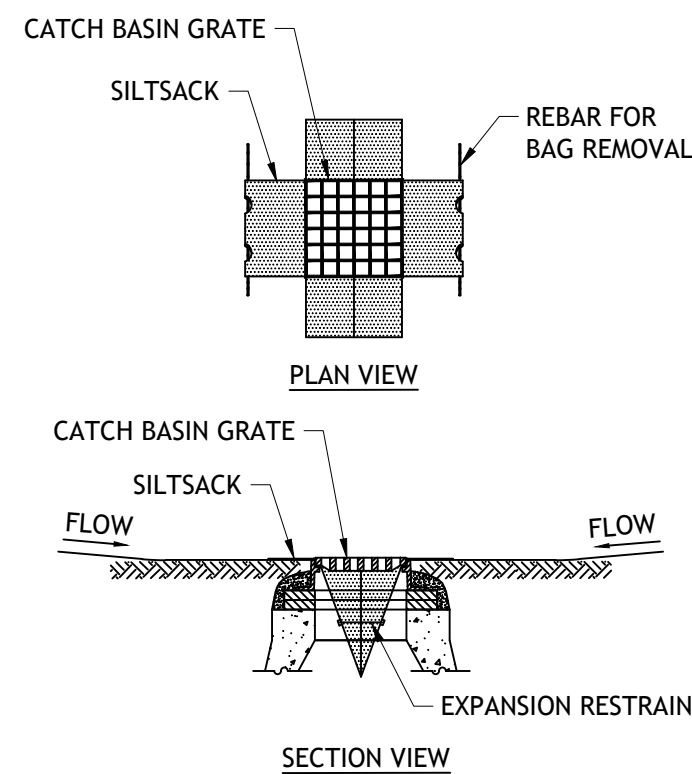
1 STOCKPILE DETAIL
NOT TO SCALE



NOTES:

1. BEGIN WATTLE INSTALLATION BY EXCAVATING A 2-INCH-DEEP BY 4-INCH-WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE OR ALONG THE EXISTING GROUND SURFACE. EXCAVATED SOIL SHOULD BE PLACED UP-SLOPE OR ON THE DISTURBED SIDE OF THE ANCHOR TRENCH.
2. PLACE WATTLE IN THE TRENCH SUCH THAT IT CONTOURS TO THE EXISTING SOIL SURFACE. COMPACT SOIL FROM THE EXCAVATED TRENCH AGAINST THE WATTLE ON THE UP-SLOPE OR DISTURBED SIDE. ADJACENT WATTLES SHOULD TIGHTLY ABUT.
3. SECURE WATTLE WITH 18 TO 24-INCH-LONG STAKES. INSTALL AN ADDITIONAL STAKE AT EACH END OF THE WATTLE. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE WATTLE LEAVING AT LEAST 2 TO 3 INCHES OF STAKE EXTENDING ABOVE. THE STAKES SHOULD BE DRIVEN PERPENDICULAR TO THE SLOPE FACE OR GROUND SURFACE.

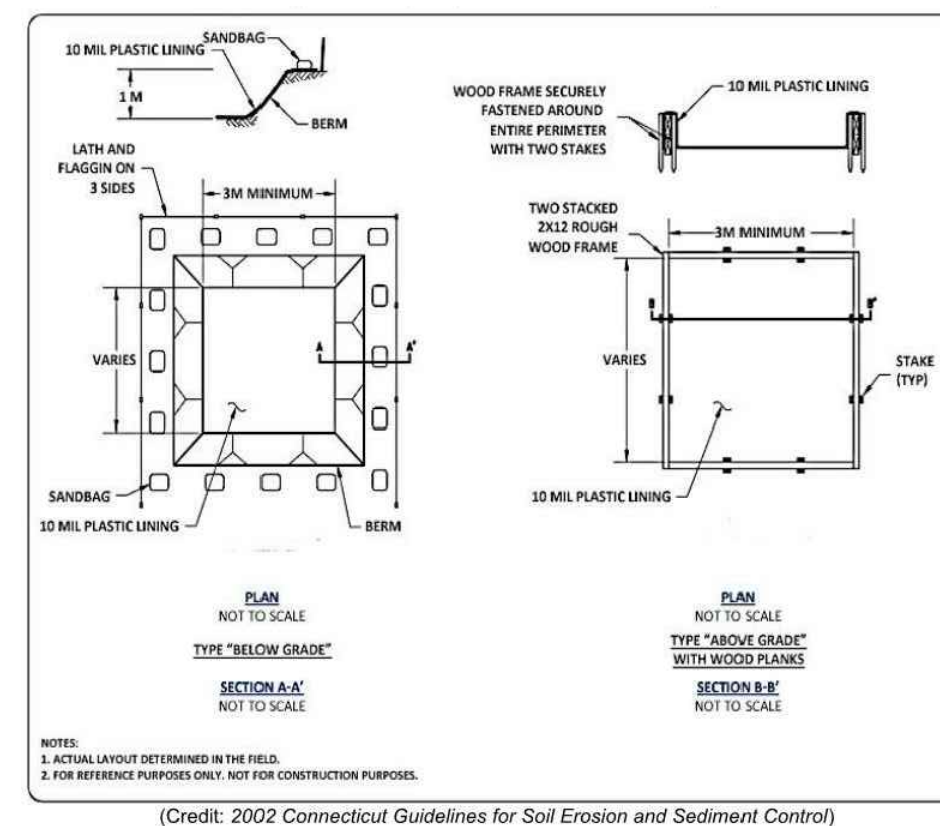
2 COMPOST SOCK
NOT TO SCALE



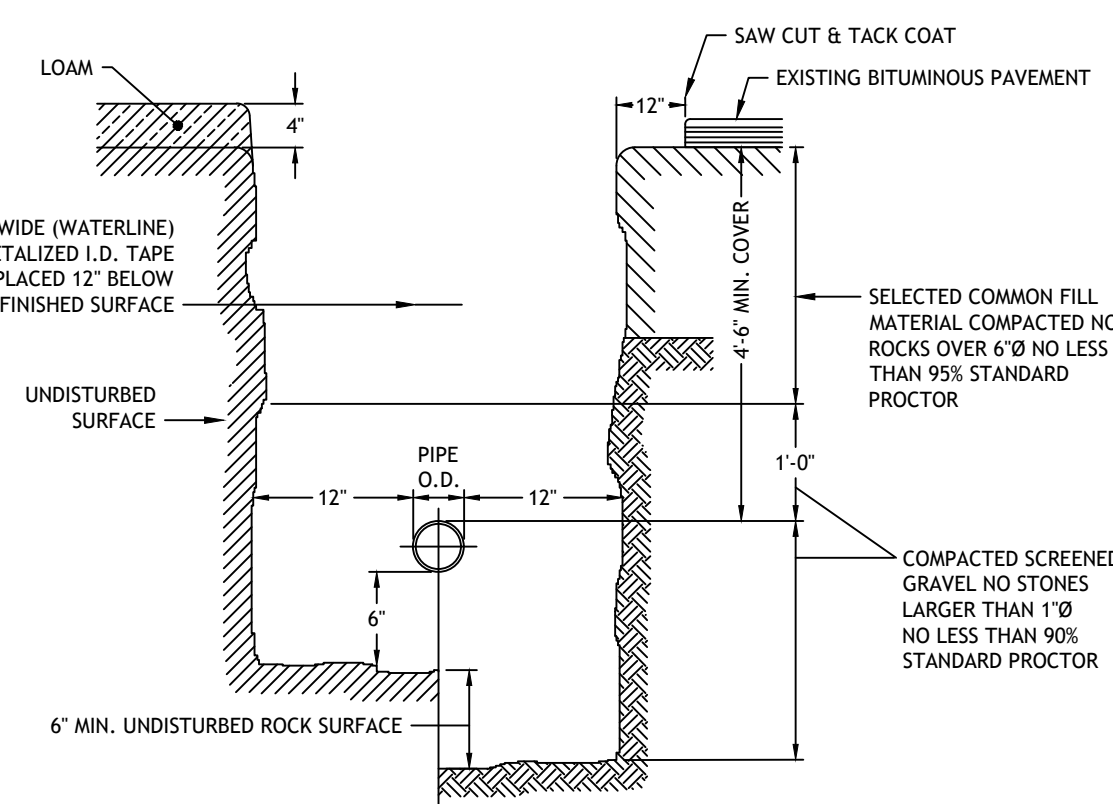
NOTES:

1. INSTALL SILTSACK IN SELECTED CATCH BASINS IDENTIFIED ON THE EXISTING CONDITIONS AND SITE PREPARATION PLAN BEFORE COMMENCING WORK.
2. GRATE TO BE PLACED OVER SILTSACK. SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED.

3 SILT SACK SEDIMENT TRAP
NOT TO SCALE



4 TEMPORARY CONCRETE WASHOUT DETAIL



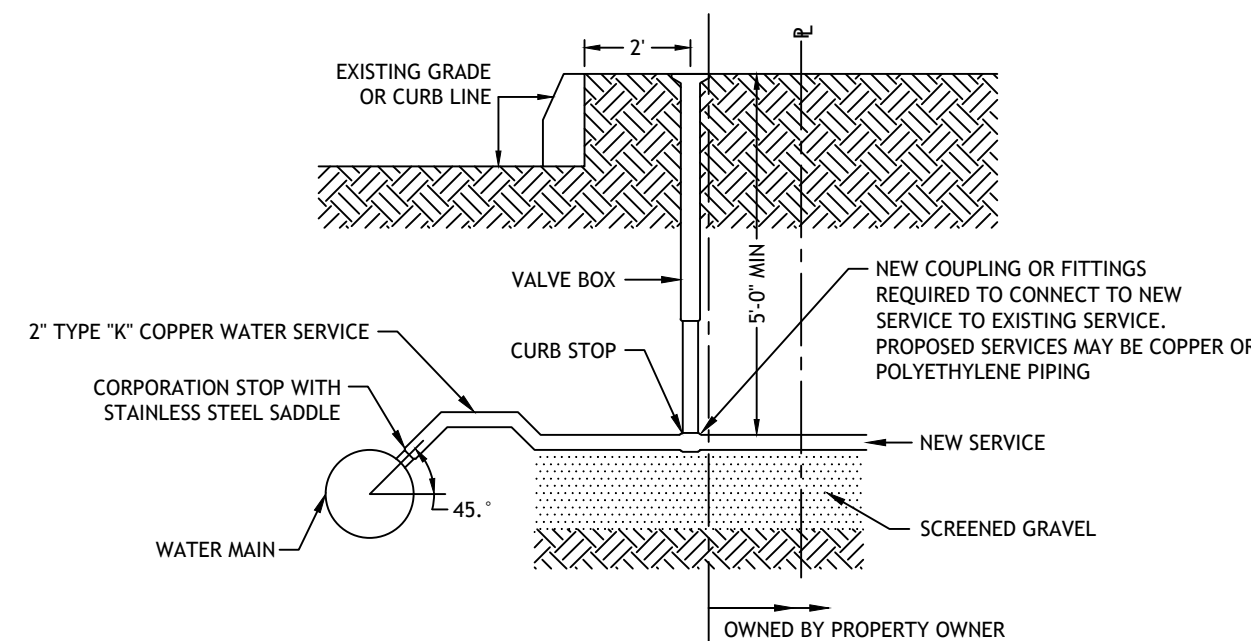
5 WATER TRENCH DETAIL
NOT TO SCALE

PROPOSED WATER SERVICE LINES AND/OR APPURTENANCES SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING COMPONENT OF A PUBLIC SANITARY SEWER SYSTEM (PIPELINE, MANHOLE, VAULT, METER PIT, PUMP STATION WET WELL, ETC.). DISTANCE SHALL BE MEASURED PERPENDICULARLY FROM THE EDGE OF PIPE TO THE EDGE OF PIPE. NO VERTICAL SEPARATION IS REQUIRED PROVIDED THE 10 FOOT HORIZONTAL SEPARATION IS MAINTAINED. WHEN THIS CRITERIA CANNOT BE MET, THE FOLLOWING STIPULATIONS APPLY. (SEE BOTTOM OF PAGE FOR INDIVIDUAL SEWAGE DISPOSAL SYSTEMS)

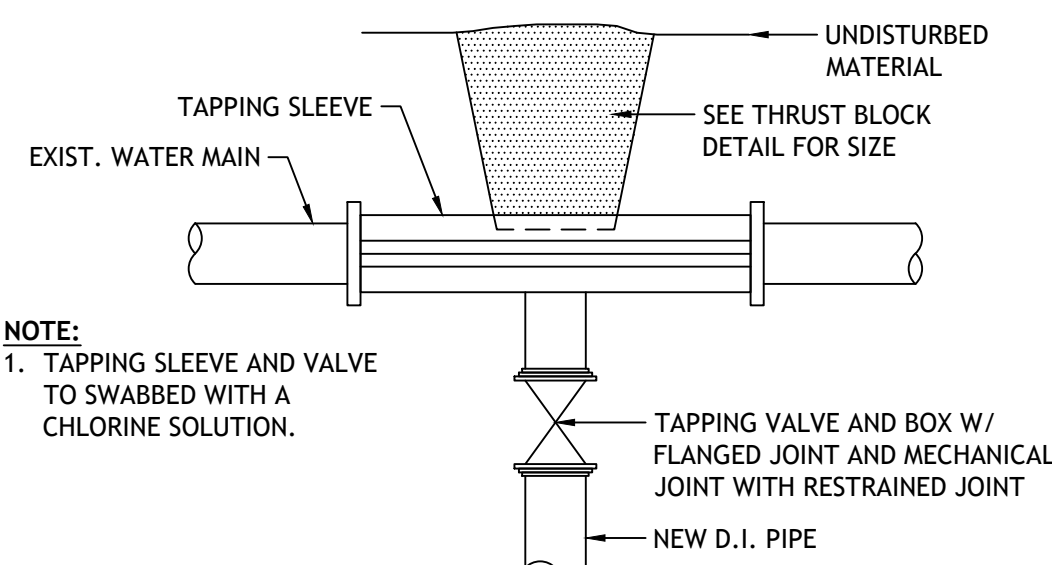
1. WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION, A DEVIATION MAY BE GRANTED ON A CASE-BY-CASE BASIS. SUCH DEVIATION MAY ALLOW INSTALLATION OF THE SEWER CLOSER TO WATER SERVICE, PROVIDED THAT:
- A. THE SEWER LINE AND WATER SERVICE ARE LAID IN SEPARATE TRENCHES AND THE CROWN OF THE SEWER LINE SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER SERVICE.
 - B. THE SEWER LINE AND WATER SERVICE MAY BE INSTALLED IN THE SAME TRENCH WITH THE WATER SERVICE PLACED ON A BENCH OF UNDISTURBED EARTH AND THE CROWN OF THE SEWER LINE SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER SERVICE.
2. IN CASES WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS STIPULATED ABOVE(INCLUDES CROSSING OVER) THE FOLLOWING PROTECTION SHALL BE PROVIDED:
- A. ENCASEMENT OF THE SEWER PIPE IN CONCRETE WITH A MINIMUM THICKNESS OF 6" IN ALL DIRECTIONS AROUND THE OUTSIDE OF THE PIPE EXTENDING TO A DISTANCE THAT WILL PROVIDE THE REQUIRED 10 FEET HORIZONTAL OR 18 INCH VERTICAL SEPARATION BETWEEN THE UNENCLOSED PORTIONS OF THE PIPES.
 - B. PLACING EITHER THE SEWER LINE OR WATER SERVICE IN A WATERTIGHT CARRIER PIPE EXTENDING TO A DISTANCE THAT WILL PROVIDE THE REQUIRED 10 FEET HORIZONTAL OR 18 INCH VERTICAL SEPARATION BETWEEN THE UNENCLOSED PORTION OF THE PIPES.

INDIVIDUAL SEWAGE DISPOSAL SYSTEMS (SEPTIC SYSTEMS) ARE REGULATED BY R.I. DEPARTMENT OF ENVIRONMENTAL MANAGEMENT (RDEM). MINIMUM DISTANCES BETWEEN DRINKING WATER LINES AND SEPTIC SYSTEM COMPONENTS ARE: 25 FEET (MIN.) TO LEACHING TRENCHES, BEDS AND PITS AND 10 FEET MIN. TO SEPTIC TANKS, DISTRIBUTION BOXES, GRAPE TRAPS, DOSING CHAMBERS, PUMP CHAMBERS, AND BUILDING SEWERS. WHEN THESE DISTANCES CANNOT BE MET, RDEM REQUIRES ENCASEMENT OF WATER LINES AT LEAST TO THE POINT WHERE THE REQUIRED MINIMUM DISTANCES CAN BE MET. ENCASEMENT MUST BE APPROVED BY RDEM AND THE APPROVED PLAN MUST BE PRESENTED AS PART OF THE APPLICATION PROCESS TO OBTAIN WATER SERVICE. PRESSURIZED SEWER LINES CANNOT CROSS WATER LINES.

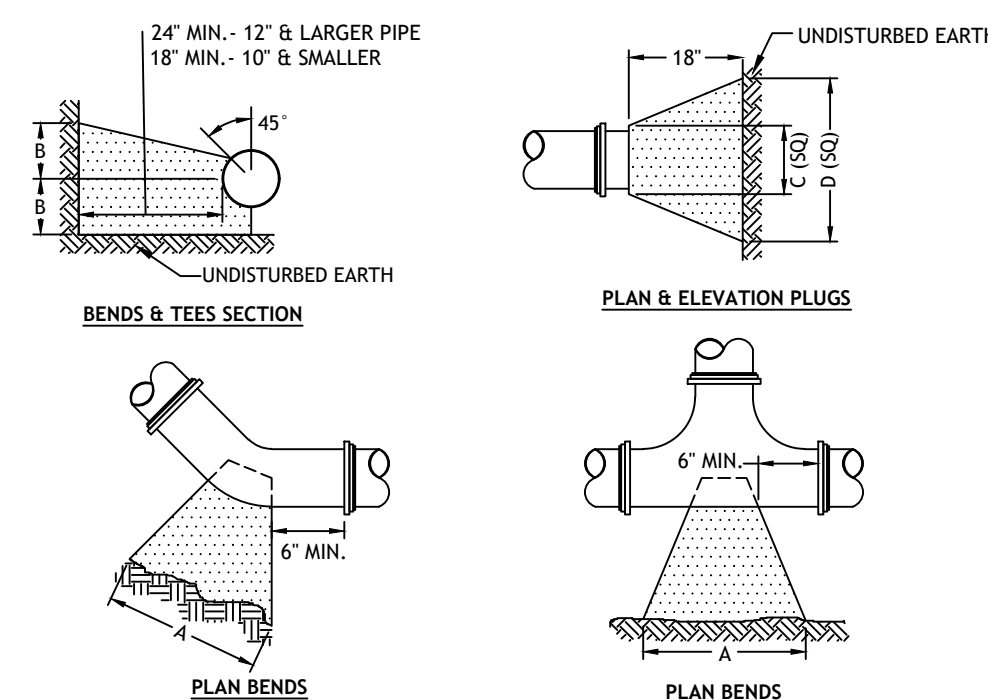
3. DOMESTIC WATER SERVICE TO BE INSPECTED BY PWSB PRIOR TO BACKFILLING AND THE CONTRACTOR MUST GIVE PWSB 48 HOURS NOTIFICATION.
4. CONTRACTOR SHALL ADHERE TO ALL REQUIREMENTS OF THE PWSB AS INDICATED IN SECTION 400 - CONSTRUCTION PROCEDURES.



6 TYPICAL WATER SERVICE CONNECTION

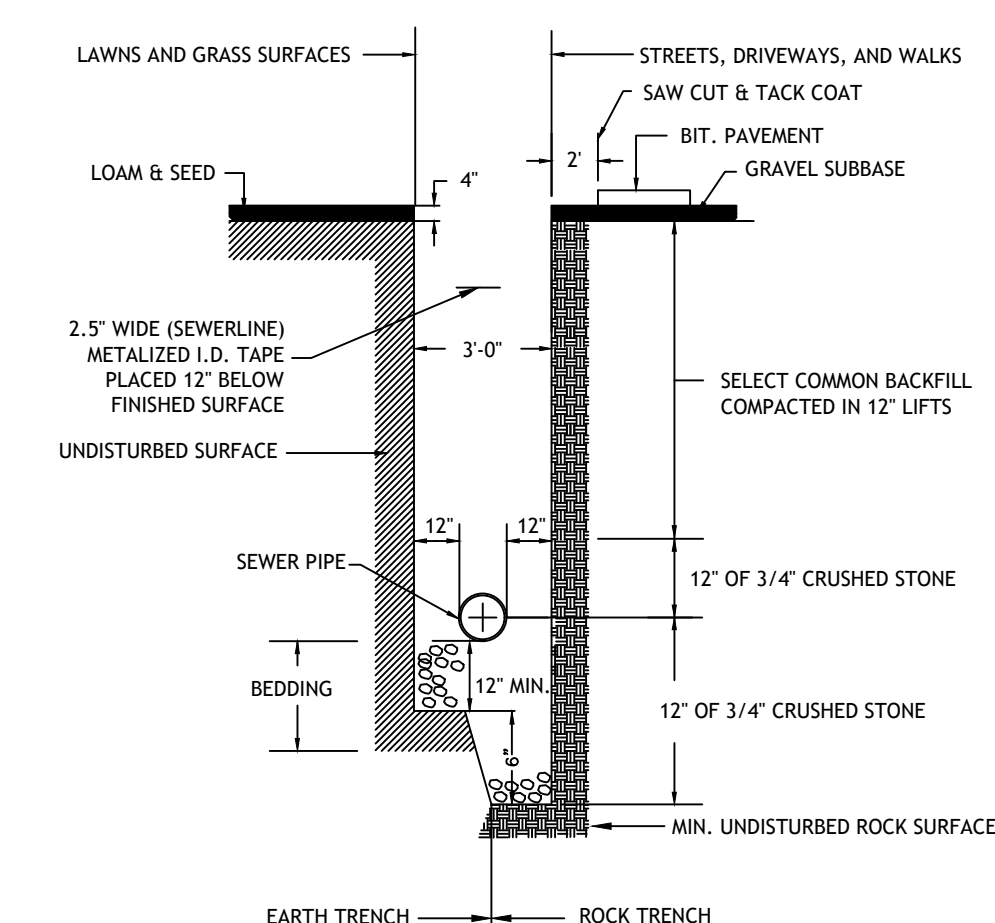


7 TAPPING SLEEVE AND VALVE



8 THRUST BLOCK DETAIL
NOT TO SCALE

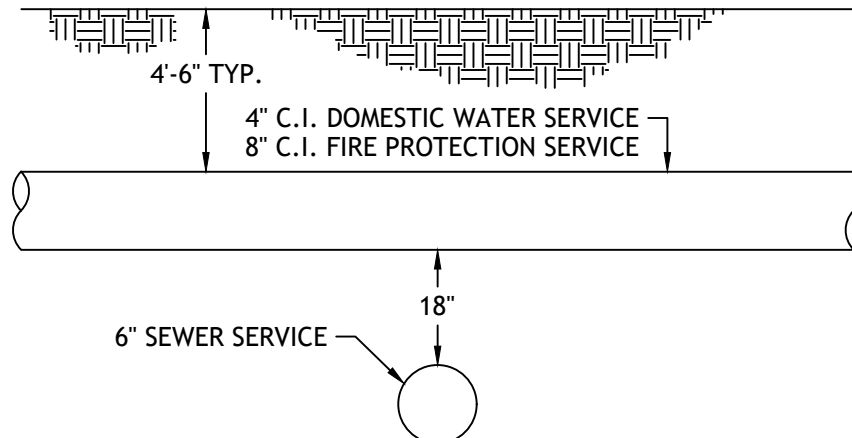
SIZE	TEES		PLUGS		90° BEND		45° BEND		22 1/2° BEND		11 1/4° BEND	
	A	B	C	D	A	B	A	B	A	B	A	B
4"	22"	12"	22"	12"	24"	16"	20"	10"	14"	7"	11"	5"
6"	30"	18"	30"	18"	35"	22"	27"	15"	19"	12"	13"	8"
8"	38"	24"	38"	24"	46"	29"	33"	22"	25"	14"	19"	10"
10"	41"	28"	41"	28"	48"	34"	36"	24"	27"	17"	21"	11"



NOTES:

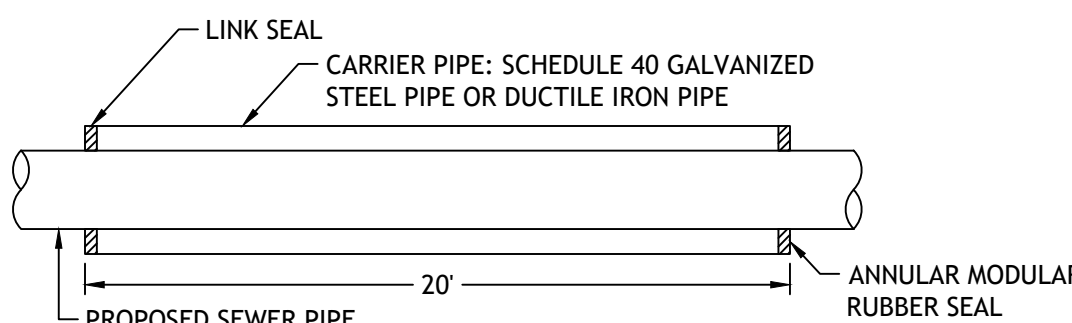
1. 3/4-INCH CRUSHED STONE FOUNDATION SHALL BE PLACED 12" UNDER THE PIPE UP TO THE PIPE GRADE, THE PIPE LAID THEREON, AND 3/4-INCH CRUSHED STONE PULLED AGAINST THE PIPE SIDE TO FIRMLY HOLD THE PIPE IN PLACE. NO BLOCKS OR STONES SHALL BE USED TO SUPPORT THE PIPE.
2. 3/4-INCH CRUSHED STONE HAUNCHING SHALL BE BROUGHT LEVEL TO THE TOP OF THE PIPE AND OUT TO THE TRENCH WALL AT THIS ELEVATION FOR ALL PIPE. 3/4-INCH CRUSHED STONE BLANKET SHALL BE PLACED 12" ABOVE THE PIPE.

9 TYPICAL SEWER LINE TRENCH DETAIL
NOT TO SCALE

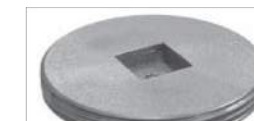


NOTES:

1. THE VERTICAL SEPARATION BETWEEN THE WATER MAIN AND THE PROPOSED SEWER SHALL BE A MINIMUM OF 18 INCHES.
2. THE HORIZONTAL SEPARATION BETWEEN THE WATER MAIN AND THE PROPOSED SEWER SHALL BE MINIMUM OF 10 FEET.
3. IF 1' OR 2' CANNOT BE MAINTAINED THE PROPOSED SEWER SHALL BE INSTALLED WITHIN A CARRIER PIPE. SEWER MAIN AND SERVICES ARE NOT ALLOWED TO CROSS OVER THE TOP OF WATER MAIN.
4. SEWER PIPE SHALL BE SUPPORTED WITHIN THE CARRIER PIPE TO MAINTAIN A CONSTANT SLOPE WITHIN THE CARRIER PIPE.

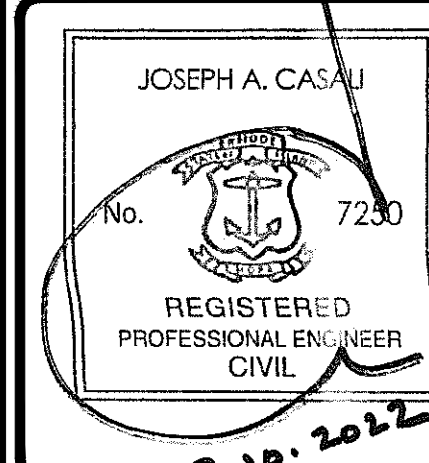
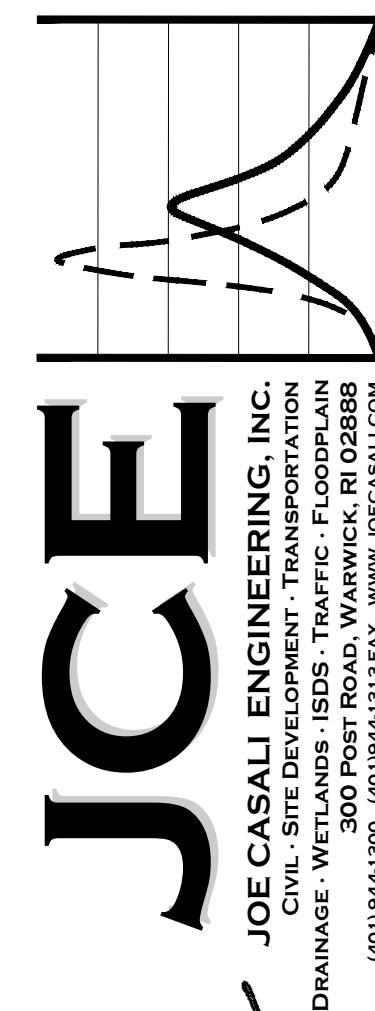


10 SEWER/WATER SEPARATION DETAIL
NOT TO SCALE



PART NO.	DESCRIPTION	O.D.	CTNMSTR
P54150	1-1/2" countersunk	1-7/8"	1/200
P54200	2" countersunk	2-3/8"	1/200
P54250	2-1/2" countersunk	2-7/8"	1/150
P54300	3" countersunk	3-3/8"	1/100
P54350	3-1/2" countersunk	3-7/8"	1/100
P54400	4" countersunk	4-1/2"	1/80
P54500	5" countersunk	5-1/2"	1/40
P54600	6" countersunk	6-1/2"	1/30
P54800	8" countersunk	8-1/2"	1/12

12 BRASS CLEANOUT CAP DETAIL
NOT TO SCALE



PROPOSED MIXED-USE BUILDING
386 ATWELLS AVENUE
PROVIDENCE, RHODE ISLAND
AP 28, LOTS 1073 & 1080

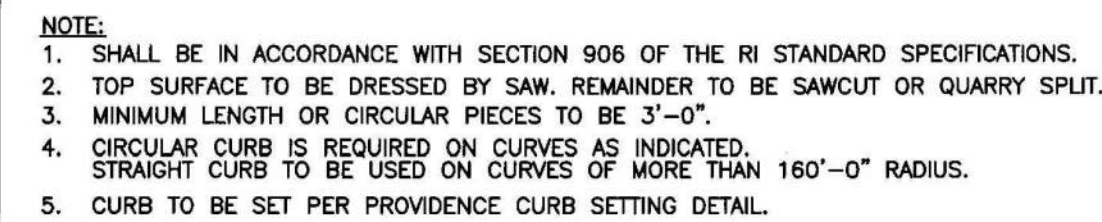
REVISIONS:		
NO.	DATE	DESCRIPTION

DESIGNED BY:	DRD
DRAWN BY:	SEP
CHECKED BY:	JAC
DATE:	AUGUST 202
PROJECT NO:	20-52j

PRELIMINARY, NOT FOR CONSTRUCTION

SITE DETAILS I

**SHEET
5 OF 6**



7.3.0 P
PROVIDENCE
STANDARD

CURB REVEAL
SEE NOTE NO. 2

PAVEMENT

1'-0"

6" (MIN.)

1'-0"

GRVEL BORROW SUBBASE

CLASS A CEMENT CONCRETE

CURB

NEW SIDEWALK OR GRASSED AREA

GRVEL BORROW

NOTES:

1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
2. NEW CURBING CONSTRUCTION SHALL BE SET AT A 6 INCH REVEAL OR AS INDICATED ON PLANS OR DIRECTED BY PROVIDENCE DPW. NEW CURBING INSTALLED ADJACENT TO EXISTING CURBING SHALL MATCH THE EXISTING REVEAL OR A MINIMUM OF 4 INCHES, WHICHEVER IS GREATER. IF ADJACENT EXISTING REVEAL IS LESS THAN 4 INCHES, THE FIRST SECTION OF NEW CURB SHALL TRANSITION TO 4" REVEAL.

7.6.0 P
PROVIDENCE
STANDARD

NOTES

1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
2. SEE CURB SETTING DETAIL WHERE APPLICABLE.
3. RUNNING SLOPE OF SIDEWALK SHALL NOT EXCEED 8.3% (1:12). TYPICALLY, RUNNING SLOPE SHALL MATCH ROAD SLOPE.
4. CROSS SLOPE OF SIDEWALK SHALL NOT EXCEED 2% (1:50).
5. SIDEWALK MAY BE SUBJECT TO GRASS STRIP INSTALLATION.
CONSULT WITH DPW ENGINEERING
6. GRAVEL BORROW BASE SHALL COMPACT TO ACHIEVE SOIL DENSITY VALUES OF 95% MODIFIED PROCTOR DENSITY (AASHTO T180).
7. SIDEWALK REPAIRS TWENTY FEET OR LONGER ARE SUBJECT TO REQUIREMENTS HEREIN
SIDEWALK REPAIRS SHORTER THAN TWENTY FEET SHALL MAKE EVERY EFFORT TO MEET REQUIREMENTS.
8. CONTROL JOINTS SHALL BE INSTALLED EVERY 5 FEET IN EACH DIRECTION.
9. EXPANSION JOINTS SHALL BE INSTALLED EVERY 20 FEET IN EACH DIRECTION AT FOUNDATIONS AND WALLS AND IN A SQUARE PATTERN AROUND MANHOLE COVERS, HYDRANTS, SIGN POSTS AND UTILITY POLES. THE EXPANSION JOINT SHALL BE THE FULL DEPTH OF THE SIDEWALK AND FILLED WITH AN APPROVED TYPE OF PREMOLDED EXPANSION JOINT FILLER.
10. WHERE SPECIFIED, CONCRETE SIDEWALK SHALL HAVE AN EXPOSED AGGREGATE FINISH.
CONTRACTOR TO PROVIDE MINIMUM 5'X5' FILL MUCK-UP FOR CITY ENGINEER REVIEW AND APPROVAL.

43.1.0 P
PROVIDENCE
STANDARD
M

The diagram illustrates a full depth repair method. The cross-section view at the top shows a rectangular repair area within an existing pavement. The repair consists of a 2" bituminous surface course on top of a 2" bituminous base course. The edges of the repair are sealed with a tack coat. The repair is 1'-0" wide on each side of the central area. The plan view at the bottom shows a square repair area with a diameter of D+2' and a width of 1'-0". The limits of excavation are indicated by a dashed line.

Labels in the diagram include:

- TACK COAT APPLIED TO EDGE OF CUT AND CRACK SEALED
- 2" BITUMINOUS SURFACE COURSE
- 2" BITUMINOUS BASE COURSE
- EXISTING PAVEMENT
- 1'-0"
- 1'-0"
- COMPACTED GRANULAR BACKFILL OR EXCAVATABLE FLOWABLE FILL
- D+2'
- 1'-0"
- LIMITS OF EXCAVATION
- PERMANENT RESTORATION SHALL EXTEND 1' BEYOND LIMITS OF EXCAVATION.

NOTES:

1. BITUMINOUS CONCRETE SHALL ADHERE TO RIDOT SPECIFICATIONS, SECTION 401.
2. GRANULAR BASE MATERIAL SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR DENSITY (ASHSTO T180).
3. SAWED JOINTS SHALL BE SPACED 12 FEET MAXIMUM. JOINTS SHALL BE CLEAN, SQUARE, AND FREE OF OIL.
4. EXCAVATABLE FLOWABLE FILL (CONTROLLED DENSITY FILL, CDF) SHALL ADHERE TO 95% OF MODIFIED PROCTOR DENSITY (ASHSTO T180), ADHERING TO RIDOT SPECIFICATIONS, SECTION 603.
5. EXCAVATION RESTORATION SHALL BE TO ORIGINAL SURFACE OF THE EXCAVATED AREA AND ONE FOOT BEYOND THE EXCAVATION TO A CLEAN, SQUARE EDGE.
6. IF EXCAVATION IS ON A PROTECTED STREET, THE REMAINING ROADWAY ADJACENT TO THE TRENCH TO THE EXISTING CURB SHALL BE MINIMUM 15 INCHES WITH 1.5 INCH BITUMINOUS CONCRETE SURFACE COURSE. JOINTS SHALL BE SEALED USING INPAVED TECHNOLOGY.
7. IF EXCAVATION IS ON A NON-PROTECTED STREET, THE REMAINING ROADWAY ADJACENT TO THE TRENCH SHALL BE MINIMUM 15 FEET TO ALLOW FOR PROPER ROLLING.
8. IF EXCAVATION IS ON A NON-PROTECTED STREET, AND THE DISTANCE FROM EDGE OF EXCAVATION TO EDGE OF ROADWAY IS TWO FEET OR LESS, THE REMAINING AREA OF EDGE OF ROADWAY SHALL BE REMOVED AND RECONSTRUCTED TO ORIGINAL CONDITION.

60.2.0 P
PROVIDENCE
STANDARD

ISSUE DATE: 1/6/13



RHODE ISLAND DEPARTMENT OF TRANSPORTATION

TREE PROTECTION DEVICE

JUNE 15, 1998



PROPOSED MIXED-USE BUILDING
386 ATWELLS AVENUE
PROVIDENCE, RHODE ISLAND
AP 28, LOTS 1073 & 1080

REVISIONS:		
NO.	DATE	DESCRIPTION

DESIGNED BY:	DRD
DRAWN BY:	SEP
CHECKED BY:	JAC
DATE:	AUGUST 2022
PROJECT NO:	20-52

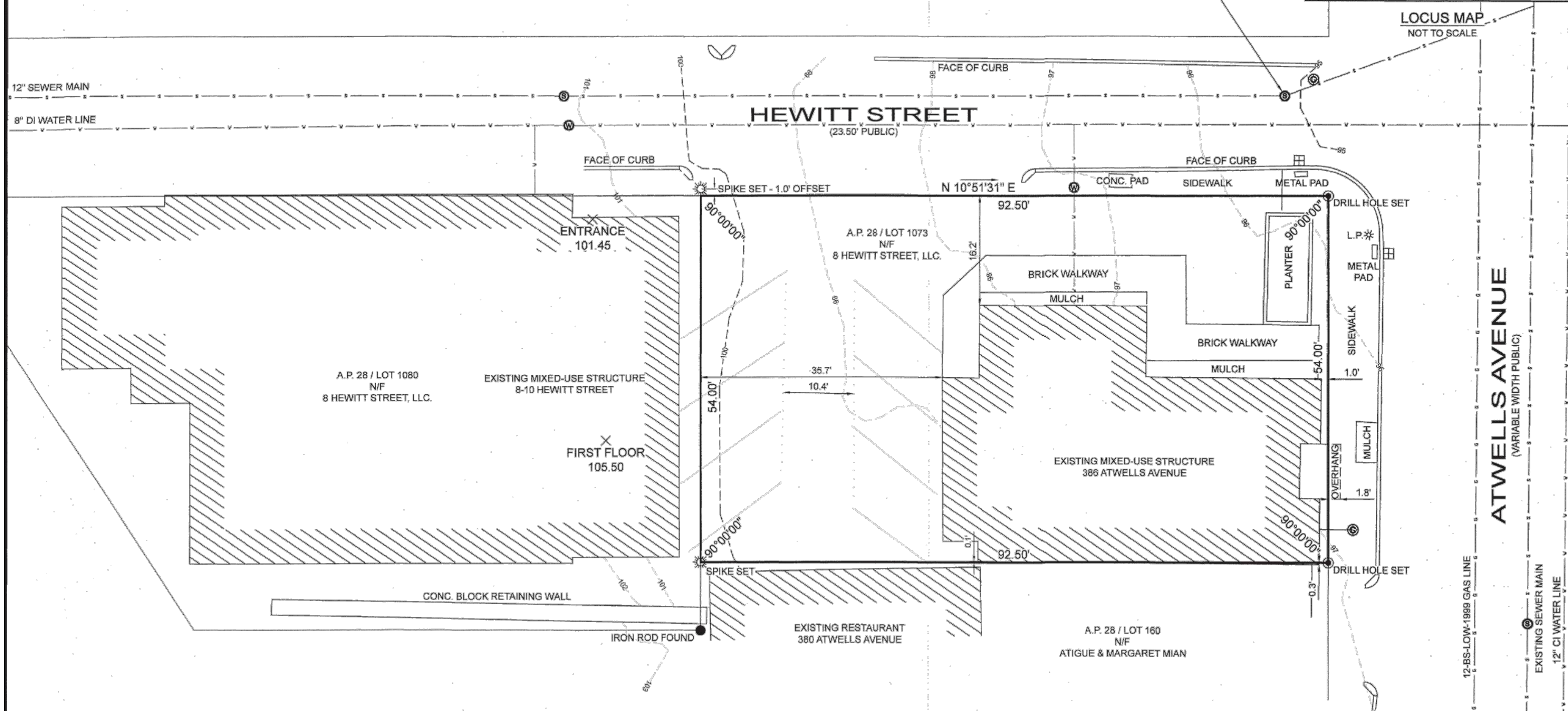
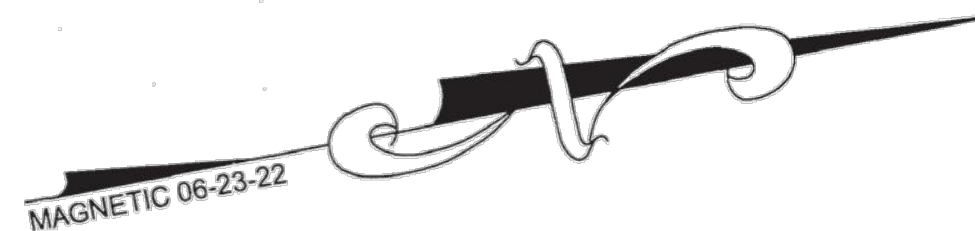
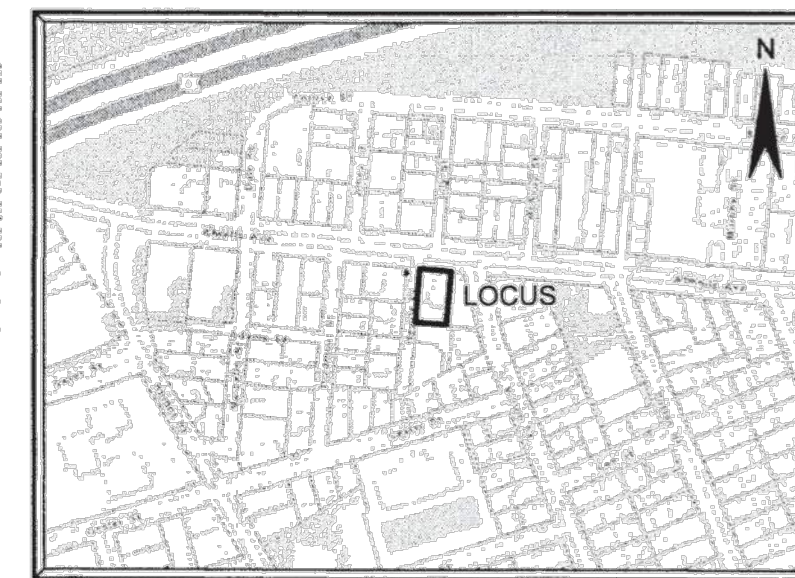
PRELIMINARY, NOT FOR
CONSTRUCTION

SITE DETAILS II

**SHEET
6 OF 6**

REFERENCE:
1. DEED BK. 12688 PG. 344
2. PARCEL A ON "ADMINISTRATIVE SUBDIVISION PLAN A.P. 28 / LOTS 539 & 540 8-10 HEWITT STREET PROVIDENCE, R.I. SCALE: 1"=20' DATE: AUGUST 20, 2019 PREPARED FOR: DV3 REALTY LLC 536 ATWELLS AVENUE PROVIDENCE, R.I. 02909 PREPARED BY: OCEAN STATE PLANNERS, INC. 1255 OAKLAWN AVENUE, CRANSTON, R.I. 02920 PHONE: (401) 463-9696 info@osplanners.com JOB NO. 9429 / DWG. NO. 9429 - (JNP)

ZONING DISTRICT C-1
MINIMUM LOT AREA: NONE
MINIMUM LOT FRONTAGE: NONE
MINIMUM SETBACKS: FRONT: BUILD TO 60% OF FRONT LOT LINE
SIDE: RES. 10 FT.; NON-RES. NONE
CORNER SIDE: BUILD TO 40% OF SIDE LOT LINE
REAR: RES. 20 FT.; NON-RES. NONE
MAXIMUM BUILDING & IMPERVIOUS SURFACE COVERAGE: NONE
MAXIMUM BUILDING HEIGHT: 45 FT. NOT TO EXCEED 4 STORIES.
MINIMUM FIRST STORY HEIGHT: RES. 9 FT.; NON-RES. USE 11 FT.
MINIMUM BUILDING HEIGHT: 16 FT.



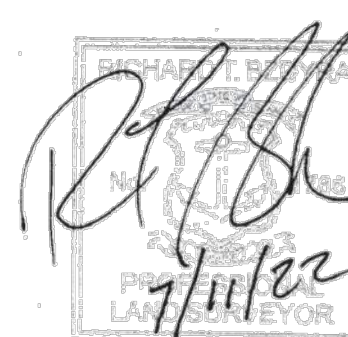
SURVEY CLASSIFICATION:
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY:	MEASUREMENT SPECIFICATION:
LIMITED CONTENT BOUNDARY SURVEY	CLASS I
DATA ACCUMULATION SURVEY	CLASS III

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
TO ESTABLISH AND STAKE RECORD BOUNDARY LINES AND EXISTING TOPOGRAPHIC CONDITIONS

BY: *[Signature]* DATE: 7/11/22
RICHARD T. BZDYRA, PLS., LICENSE #1786, COA # LS-A60

THE FOLLOWING TYPES OF EVIDENCE WERE USED TO CONSTRUCT THIS SURVEY: RECORDED FOUND MONUMENTS IF ANY, NON-RECORDED MONUMENTS, LINES OF POSSESSION, AND OTHER EVIDENCE RELATIVE TO THE DEED OR PLAT. THE BOUNDARY SOLUTION IS THE COMPILATION OF INFORMATION TO DETERMINE THE MOST PROBABLE LOCATION OF THE SURVEYED PARCEL.



BOUNDARY STAKE-OUT SURVEY

A.P. 28 / LOT 1073
386 ATWELLS AVENUE
PROVIDENCE, R.I. 02909
SCALE: 1"=10' DATE: JULY 11, 2022

PREPARED FOR:
8 HEWITT STREET, LLC.
334 CARPENTER STREET
PROVIDENCE, R.I. 02909

PREPARED BY:
OCEAN STATE PLANNERS, INC.
1255 OAKLAWN AVENUE, CRANSTON, R.I. 02920
PHONE: (401) 463-9696 info@osplanners.com

JOB NO. 9429 / DWG. NO. 9429 - C3 - (AJB)

GRAPHIC SCALE: 1" = 10'

