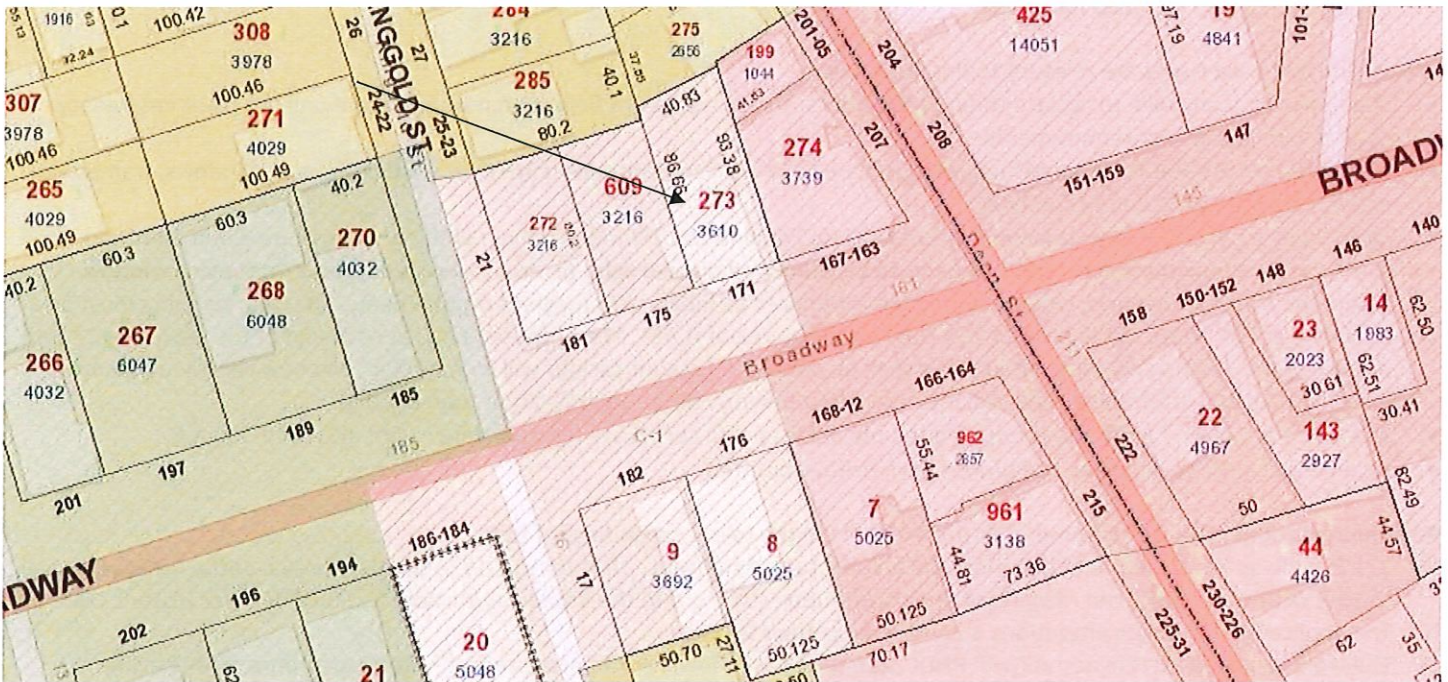


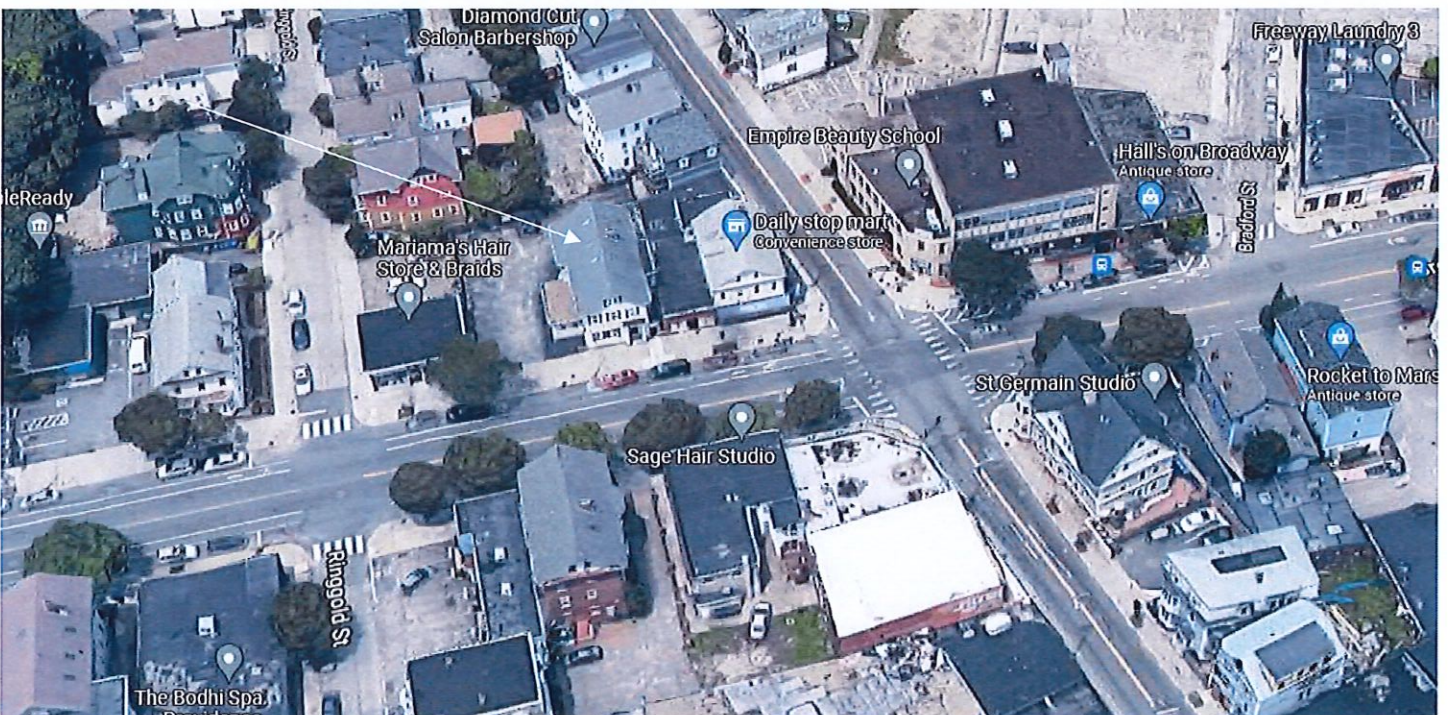
6. CASE 22.131, 171 BROADWAY, Charles E. Eddy House, 1858 (BROADWAY)

2½-story; end-gable; simple house with bracketed cornice; modified entry portico and 1st floor picture window. Now clad in aluminum siding. Eddy was a partner in Eddy & Armington, hardware dealers at Broadway and Dorrance Street. He lived at 53 Broadway and constructed this house as an investment.

CONTRIBUTING



Arrow indicates 171 Broadway.



Arrow indicates project location, looking north.

Applicant/Owner: Jen-Cal Realty Corp., 171 Broadway, Providence, RI 02903
Architect: Mark Rapp, ACME Architects LLC, 9 Simmons Road, Little Compton, RI 02837

Proposal: The scope of work proposed consists of Major Alterations and includes:

- replacement of three (3) window sashes on the third floor with new, insulated units to meet emergency escape and rescue area requirements (see attached narrative).

Issues: The following issues are relevant to this application:

- The applicant would like to replace three (3) window sashes on the third floor with new, insulated units to meet emergency escape and rescue area requirements.
- Evaluation: At present the double hung windows are vinyl replacement units within the existing frames. Windows, frames and exterior trim are all in good condition.
- Sash Replacement: The new casement sashes shall be Trimline Clad-Wood casement windows. These are wood units, insulated glazing with aluminum clad exterior. Muntins to be simulated divided light. Exterior color to be white. To replace window, within the existing openings, casement function is required to meet current egress requirements. The clear opening must be a minimum of 20" wide, 24" tall and have a clear opening area of 5.7 SF. The proposed units at each end of the gable meet these requirements. Existing windows and frames shall be removed. Exterior casings will be modified, and new casement windows installed with correct flashings and sealants. The new openings will be slightly larger than existing.
- The house is a multi-family and is required to obtain a lead-safe certificate for compliance with RIGL § 42-128.1-8.
- An architect's narrative, plans and photos have been submitted.

Recommendations: The staff recommends the PHDC make the following findings of fact:

- a) 171 Broadway is a structure of historical and architectural significance that contribute to the significance of the Broadway local historic district, having been recognized as a contributing structure to the Broadway/Armory National Register Historic District;
- b) The application for Major Alterations is considered complete; and,
- c) The work as proposed is in accord with PHDC Standard 8 as follows: as the proposed alterations are appropriate having determined that the proposed construction is architecturally and historically compatible with the property and district having an appropriate size, scale and form that while diminishing the historic quality of the property will not have an adverse effect on the property or district and allows the property to come into compliance with emergency escape and rescue area requirements and RIGL § 42-128.1-8.

Staff recommends a motion be made stating that: The application is considered complete. 171 Broadway is a structure of historical and architectural significance that contribute to the significance of the Broadway local historic district, having been recognized as a contributing structure to the Broadway/Armory National Register Historic District. The Commission grants Final Approval of the proposal as submitted having determined that the proposed alterations are appropriate as the proposed alterations are architecturally and historically compatible with the property and district having an appropriate size, scale and form that while diminishing the historic quality of the property will not have an adverse effect on the property or district and allows the property to come into compliance with emergency escape and rescue area requirements and RIGL § 42-128.1-8, citing and agreeing to the recommendations in the staff report, with staff to review any additional required details.

Project: Multi-Family Residence
Address: 171 Broadway, Providence, RI 02909
Date: 10 October 2022
Re: Application Information

NARRATIVE – Scope of Work

Window Replacement

The client would like to replace three (3) window sashes on the third floor with new, insulated units to meet emergency escape and rescue area requirements

Evaluation

At present the double hung windows are vinyl replacement units within the existing frames. Windows, frames and exterior trim are all in good condition.

Sash Replacement

The new casement sashes shall be Trimline Clad-Wood casement windows. These are wood units, insulated glazing with aluminum clad exterior. Muntins to be simulated divided light. Exterior color to be white.

To replace window, within the existing openings, casement function is required to meet current egress requirements. The clear opening must be a minimum of 20" wide, 24" tall and have a clear opening area of 5.7 SF. The proposed units at each end of the gable meet these requirements.

Existing windows and frames shall be removed. Exterior casings will be modified, and new casement windows installed with correct flashings and sealants. The new openings will be slightly larger than existing.

End of Narrative



Figure 1 - View from Broadway (south) window "A"



Figure 2 - Window "A"



Figure 3 - Interior at window "A"



Figure 4 - Detail window "A"



Figure 5 - View from rear (north) window "B"

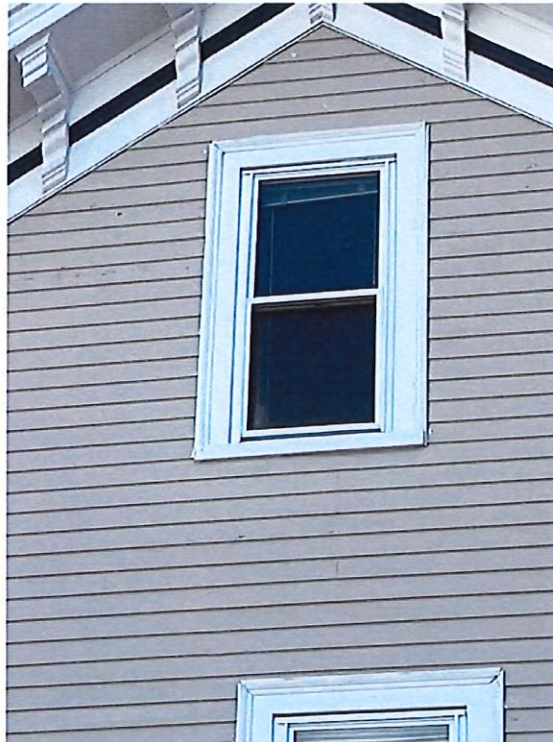
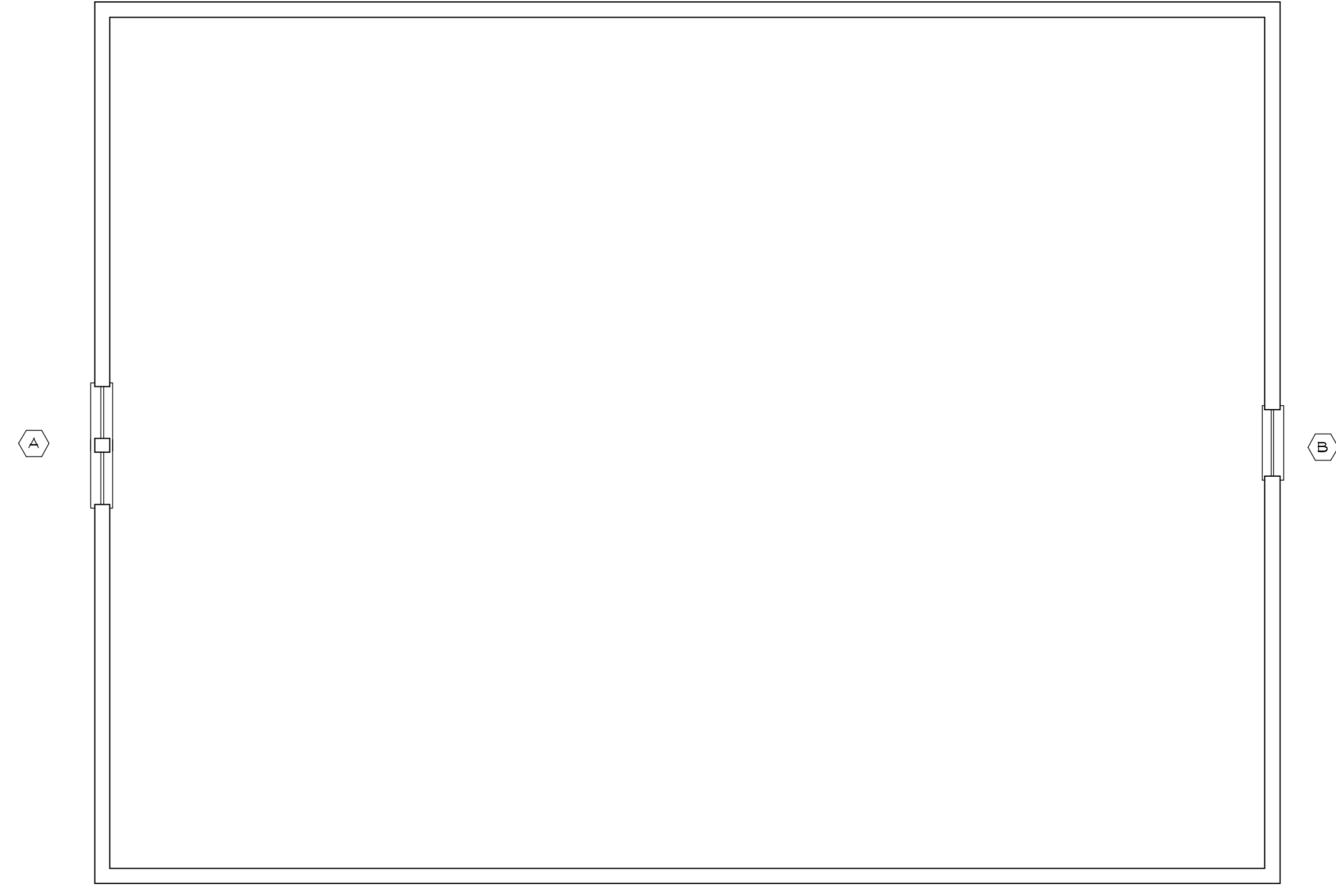


Figure 6 - Detail window "B"

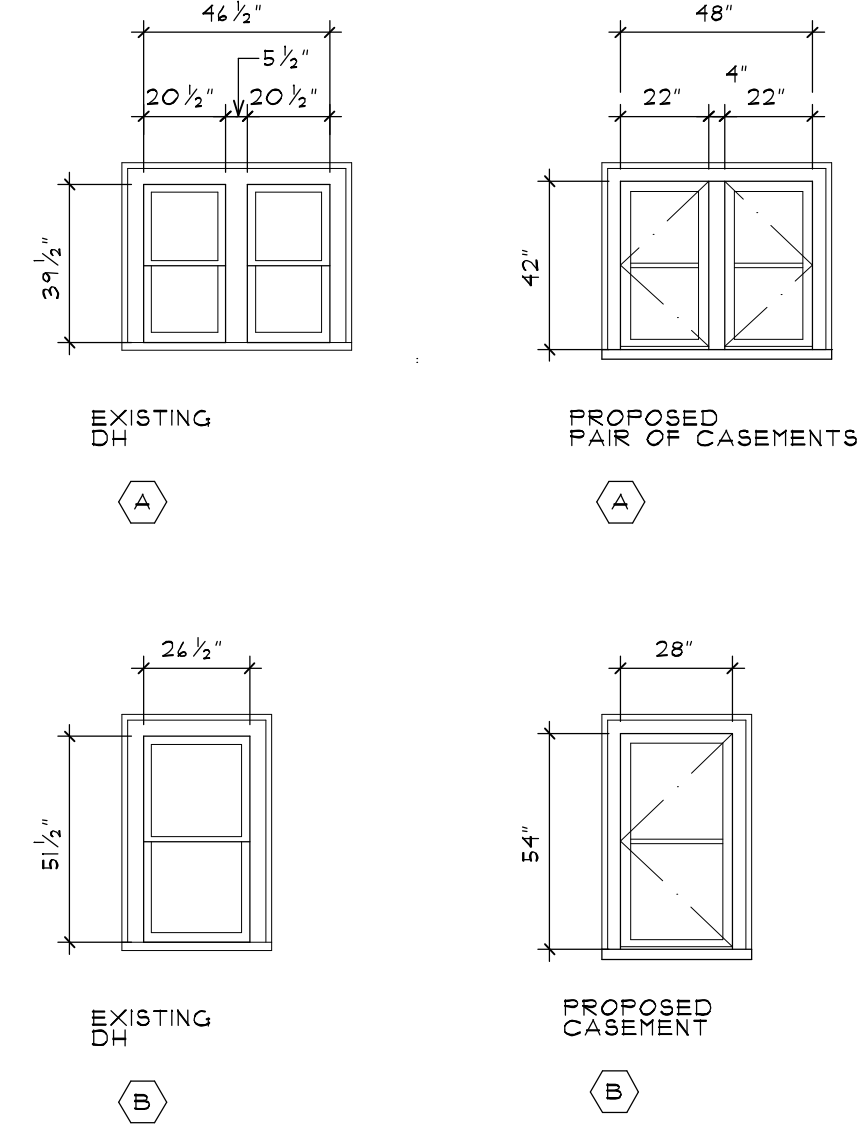
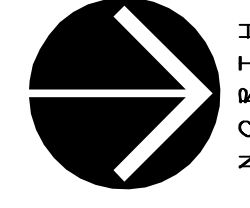


Figure 7 - detail window "B"

B R O A D W A Y



1 THIRD FLOOR PLAN
A1.1 1/4" = 1'-0"



2 WINDOW SCHEDULE
A1.1 1/4" = 1'-0"

HDC SUBMISSION

KEY PLANS, WINDOW SCHEDULE

DATE: 10/10/22 REVISIONS:
SCALE: AS NOTED

SHEET

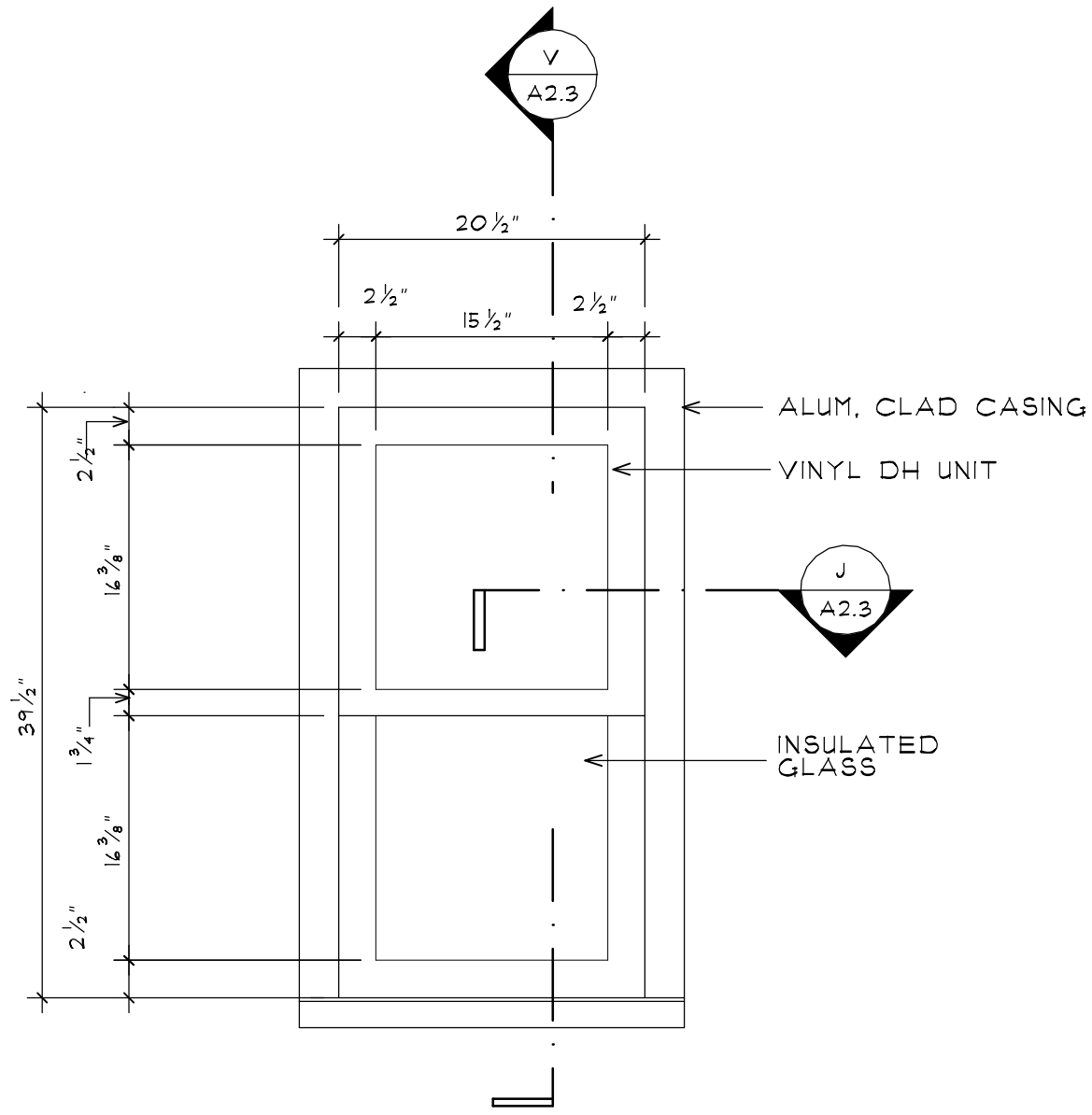
A1.1

22-00

ACME ARCHITECT L.L.C.

9 SIMMONS ROAD
LITTLE COMPTON
RHODE ISLAND 02837
T. 401 465 5247
F. 401 635 8662
MarkRappArchitect.com

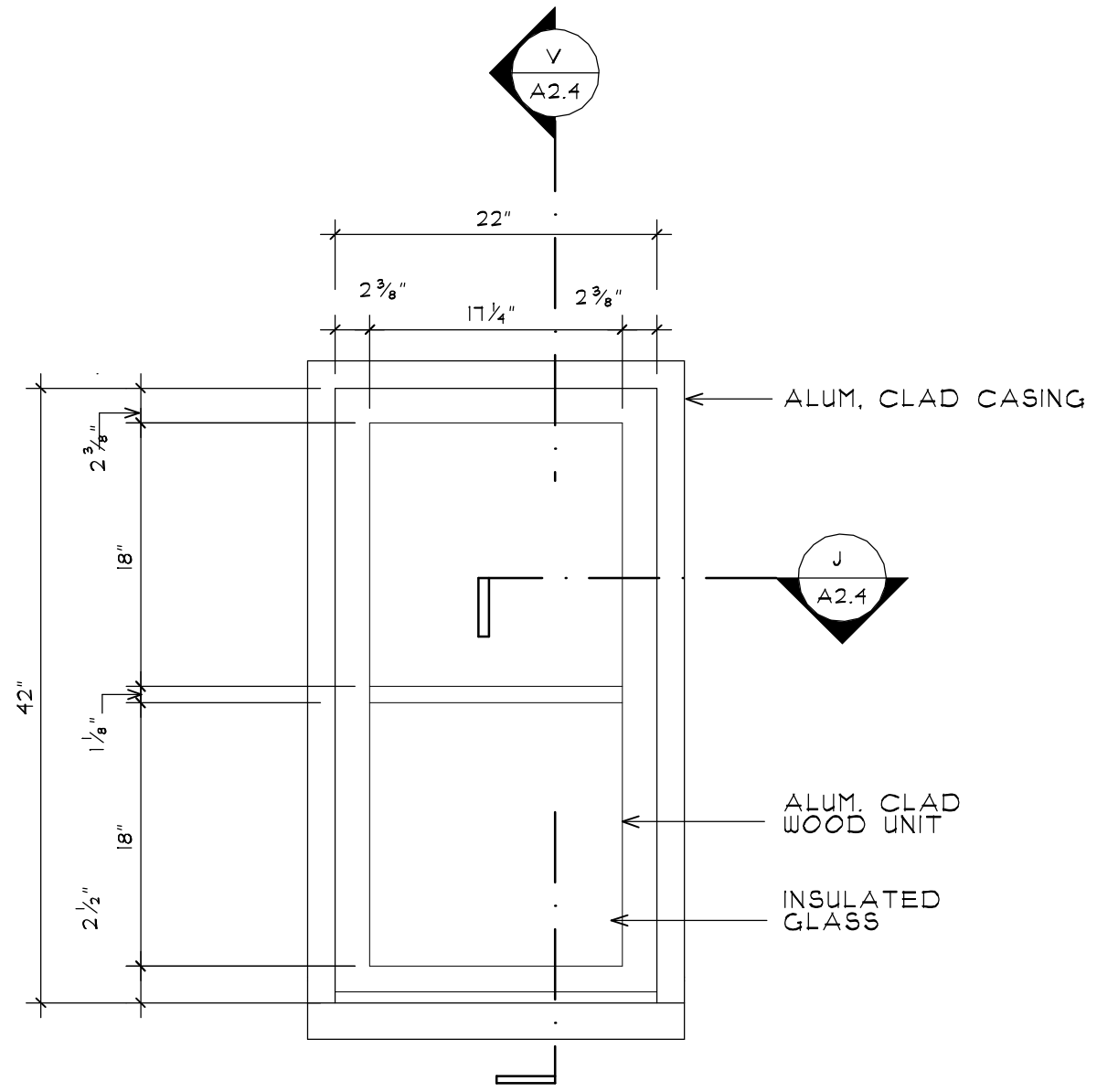
PROPOSED WINDOW SASH REPLACEMENT
MIXED USE BUILDING
171 BROADWAY
PROVIDENCE, RHODE ISLAND 02909



GLASS AREA
505 in²

1
A2.2
EXISTING WINDOW
1" = 1'-0"

UNIT "A"



GLASS AREA
618 in²

2
A2.2
PROPOSED CASEMENT
1" = 1'-0"

UNIT "A"

A2.2



MULTI-USE BUILDING
171 BROADWAY, PROVIDENCE, RI

WINDOW ELEVATIONS

1" = 1'-0"

10/10/22

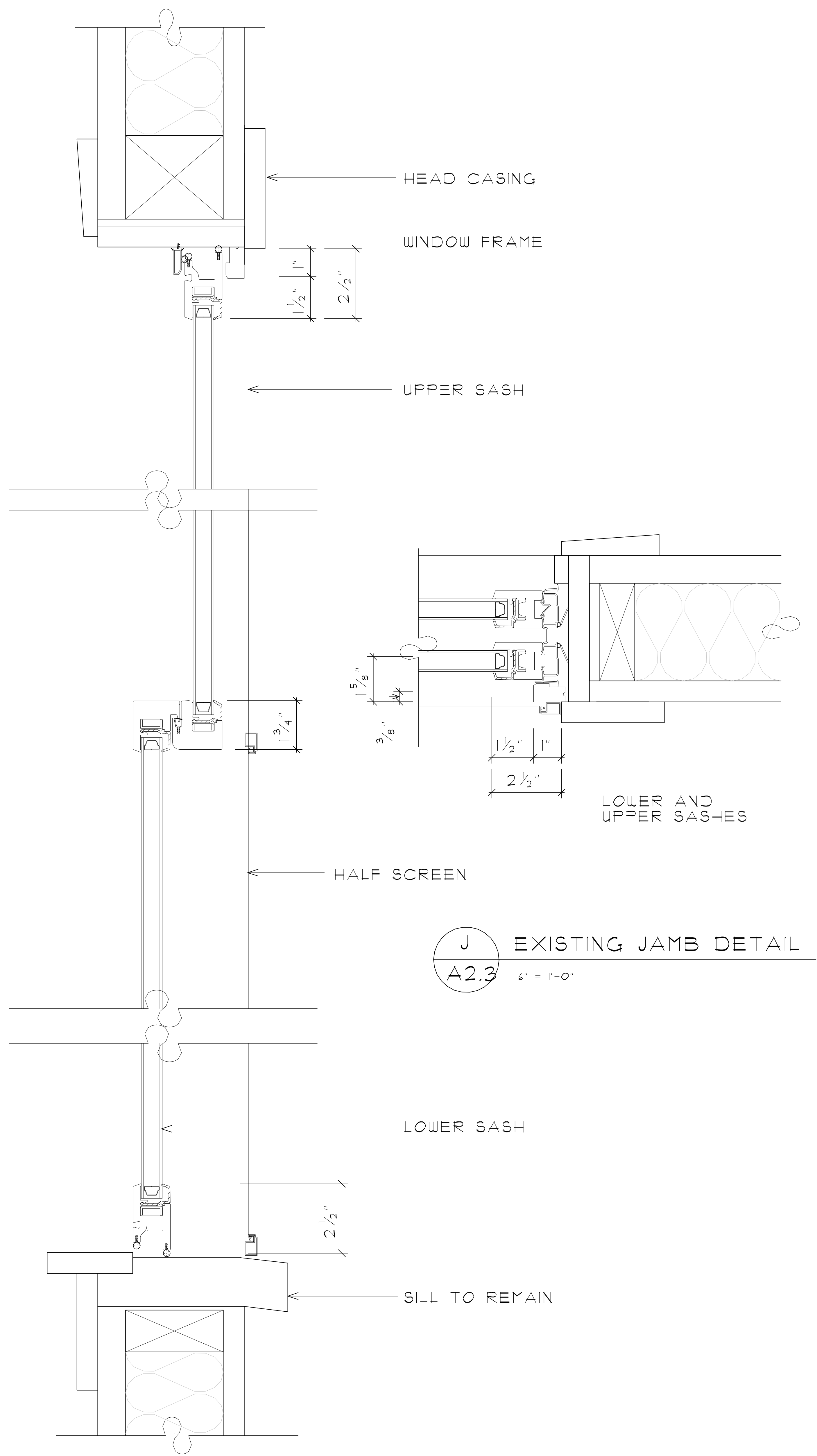
9 SIMMONS ROAD
LITTLE COMPTON, RI

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MarkRappArchitect.com

ACME
ARCHITECT
L.L.C.

INTERIOR CASING

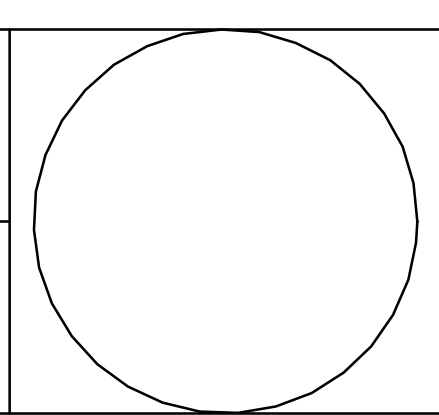


J EXISTING JAMB DETAIL
A2.3 6" = 1'-0"

V EXISTING WINDOW SECTION - VERTICAL
A2.1 6" = 1'-0"

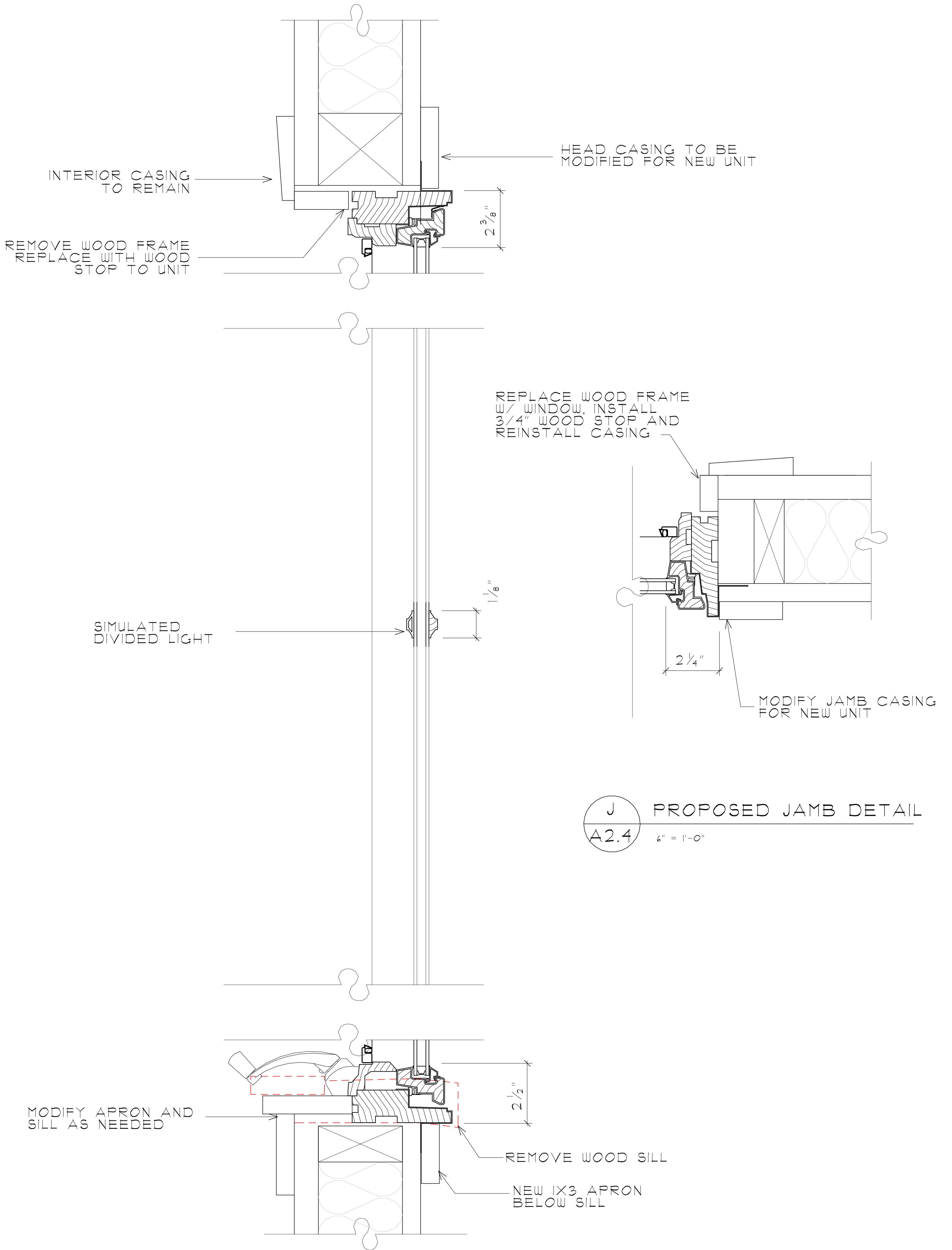
A2.3
 SHEET
 22-00

EXISTING WINDOW DETAILS
 DATE: 10/10/22
 SCALE: 6" = 1'-0"
 REVISIONS:



ACME ARCHITECT L.L.C.
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 LITTLE COMPTON
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PROPOSED WINDOW SASH REPLACEMENT
 MULTI-USE BUILDING
 171 BROADWAY
 PROVIDENCE, RHODE ISLAND 02909



A2.4 <small>22-00</small>	PROPOSED WINDOW DETAILS			ACME ARCHITECT L.L.C. <small>9 SIMMONS ROAD LITTLE COMPTON RHODE ISLAND 02887 T. 401 465 5247 F. 401 635 8662 MarkRappArchitect.com</small>	PROPOSED WINDOW SASH REPLACEMENT MULTI-USE BUILDING	
	DATE: 10/10/22 SCALE: 6" = 1'-0"	REVISIONS:			<small>171 BROADWAY PROVIDENCE, RHODE ISLAND 02909</small>	