

SITE PLAN SET
FOR
WAYLAND CONDOMINIUM
DEVELOPMENT

159 WAYLAND AVENUE
PLAT 15, LOT 495
ZONING DISTRICT: C-2
GENERAL COMMERCIAL DISTRICT
PROVIDENCE, RHODE ISLAND

OWNER / APPLICANT
MYLES STANDISH ASSOCIATES LP
5 BURLINGTON WOODS, SUITE 103
BURLINGTON, MA 01803

ENGINEERS and LAND SURVEYORS



- Civil
- Transportation
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CROSSMAN ENGINEERING

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Warwick, RI 02886 North Attleboro, MA 02763
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ARCHITECT

ZDS inc.

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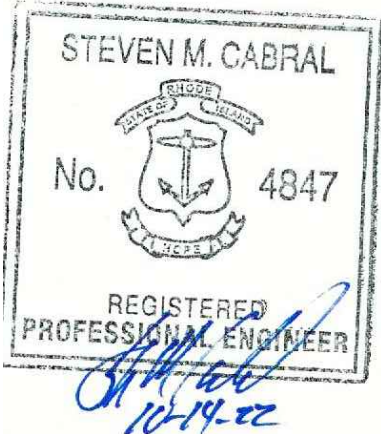
LOCATION MAP
NOT TO SCALE

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PREPARED BY OCEAN STATE PLANNERS	

REVISIONS:

No.:	DATE:	DESCRIPTION:



GENERAL NOTES

1. THE EXISTING CONDITIONS AND UTILITY INFORMATION REFERENCED IN THIS PLAN SET ARE BASED UPON A SURVEY PLAN PREPARED BY OTHERS (SEE MAP REFERENCE). THE PLANS MAY NOT DEPICT ALL UNDERGROUND UTILITY SYSTEMS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING DRAINAGE AND UTILITIES, BOTH UNDERGROUND AND OVERHEAD, BEFORE EXCAVATION BEGINS IN ACCORDANCE WITH "DIG SAFE PROGRAM LAW" ENACTED BY THE R.I. LEGISLATURE AND BY CONTACTING THE INDIVIDUAL UTILITY COMPANIES. EXCAVATION SHALL BE IN ACCORDANCE WITH ALL STATUTES, ORDINANCES, RULES AND REGULATIONS OF ANY CITY, STATE OR FEDERAL AGENCY THAT MAY APPLY. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
2. SPECIFICATIONS TO GOVERN THIS PROJECT ARE IDENTIFIED WITHIN THE PROJECT MANUAL AND/OR WITHIN THE RIDOT STANDARD SPECIFICATIONS. THIS INCLUDES, BUT IS NOT LIMITED TO, ALL EXCAVATION, PLACEMENT OF FILL, PIPE INSTALLATION, BITUMINOUS PAVEMENT, CUTTING INTO CATCHBASIN/MANHOLES, CONCRETE AND SAWCUTTING, THE CONTRACTOR SHALL PERFORM THE WORK IN FULL COMPLIANCE WITH THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION (RIDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AMENDED MARCH 2018, WITH LATEST REVISIONS UNLESS OTHERWISE SHOWN ON PLANS. THE "METHOD OF MEASUREMENT" AND "BASIS OF PAYMENT" WITHIN THE R.I.D.O.T. SPECIFICATIONS ARE NOT APPLICABLE. THESE SPECIFICATIONS CAN BE OBTAINED ON--LINE AT:
- "https://www.dot.ri.gov/business/bluebook.php".
3. FOR ALL EXCAVATION AND PLACEMENT OF FILL, THE CONTRACTOR SHALL PERFORM THE WORK IN FULL COMPLIANCE WITH THE R.I. STANDARD SPECIFICATION SECTION 202.
4. RHODE ISLAND STANDARDS REFERENCED ARE ACCORDING TO THE STATE OF RHODE ISLAND AND PROVIDENCE PLANTATIONS "RHODE ISLAND STANDARD DETAILS" DATED JUNE 21, 2019 WITH ALL REVISIONS AS PREPARED BY THE DEPARTMENT OF TRANSPORTATION.
5. THE CONTRACTOR MUST VERIFY PRIOR TO CONSTRUCTION THAT ALL REQUIRED AUTHORIZATION TO PERFORM WORK HAS BEEN OBTAINED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION OPERATIONS INCLUDING ALL ACTIONS OR OMISSIONS OF ANY SUBCONTRACTORS, AGENTS OR EMPLOYEES. THE CONTRACTOR MUST ENSURE THAT THE CONDITIONS OF ALL PERMITS, SPECIFICATIONS AND FEDERAL, STATE AND LOCAL REGULATIONS ARE STRICTLY ENFORCED. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ASPECTS OF ON--SITE SAFETY INCLUDING ANY DAMAGE TO EXISTING STRUCTURES.
6. WORK SHOWN ON THE PLANS FOR WHICH THERE ARE NO PARTICULAR DETAILS OR SPECIFICATIONS DOES NOT RELIEVE THE CONTRACTOR FROM FURNISHING AND INSTALLING THE WORK. THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE CONTRACT DOCUMENTS AND PLANS AND INSPECT THE SITE. THE BID PRICE SHALL INCLUDE ALL LABOR, INCIDENTALS, TOOLS EQUIPMENT, TESTING, SERVICES AND MATERIALS NECESSARY TO COMPLETE THE PROJECT. ANY CHANGES TO THE PROJECT OR THE INSTALLATION OF AN ITEM FOR WHICH NO PARTICULAR DETAIL OR SPECIFICATION WAS PROVIDED MUST BE REVIEWED BY AND MUST BE ACCEPTABLE TO THE ENGINEER AND OWNER.
7. CONTRACTOR IS RESPONSIBLE TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY WORK.
8. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT PRIOR TO THE INITIATION OF WORK. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS, RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
9. ALL DISTURBED AREAS SHALL BE REPLACED IN KIND UNLESS OTHERWISE SHOWN.
10. THROUGHOUT THE SITE URBAN FILL AND/OR DEBRIS MAY BE ENCOUNTERED DURING EXCAVATION. THE CONTRACTOR SHALL INCLUDE REMOVAL AND DISPOSAL OF THIS MATERIAL WITHIN THE REQUIRED EXCAVATION AREA, IN THE BID PRICE.
11. ALL PROPOSED SIDEWALK RAMPS SHALL HAVE A DETECTABLE WARNING DEVICE (RI STD 48.1.0).
12. THE SITE IS NOT WITHIN 200' OF ANY WETLAND AREAS, WATER COURSES OR COASTAL FEATURES.

LAYOUT NOTE

THE LAYOUT SHOWN REPRESENTS A GRAPHICAL DESIGN, AND PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL LAND SURVEYOR (PLS) REGISTERED IN THE STATE TO SET AND VERIFY ALL LINES AND GRADES AND PROVIDE A BENCH MARK FOR CONSTRUCTION. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY ITEM FOUND WHICH DOES NOT MATCH THE PLANS MUST BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO CONSTRUCTION FOR REVIEW. NO WORK SHALL PROCEED UNTIL AUTHORIZED BY THE ENGINEER.

EXISTING UTILITY NOTES

1. THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY COMPANIES AND LAND OWNER TO OBTAIN THE LOCATION OF ALL UTILITIES PRIOR TO BEGINNING WORK. THE MARKED LOCATIONS SHALL BE PRESERVED BY THE CONTRACTOR DURING THE COURSE OF THE WORK, UNTIL SUCH TIME AS THE ARE NO LONGER NEEDED.
2. ALL UTILITIES INTERFERED WITH OR DAMAGED BY THE CONTRACTOR SHALL BE IMMEDIATELY AND PROPERLY RESTORED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL FULLY COMPACT ALL BACKFILL MATERIAL AROUND AND UNDER ALL EXISTING UTILITIES ENCOUNTERED OR CROSSED.
3. UNDERGROUND UTILITIES REFERENCED ON THESE PLANS ARE APPROXIMATE AND/OR HAVE BEEN PROVIDED BY OTHERS, (REFER TO THE REFERENCE PLAN BY OCEAN STATE PLANNERS) AND ALSO HAVE BEEN TAKEN FROM SEWER PLAN/PROFILE SHEETS FROM THE CITY OF PROVIDENCE.

FLOOD ZONE NOTE

THE SITE IS LOCATED IN ZONE X, AREA OF MINIMAL FLOOD HAZARD, AS NOTED ON THE FEMA FLOOD MAP SERVICE CENTER FOR PROVIDENCE COUNTY, RHODE ISLAND, MAP NUMBER 44007C0309K, MAP REVISED OCTOBER 2, 2015.

CONSTRUCTION WITHIN PUBLIC R.O.W

1. ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL CONFORM TO THE CITY STANDARDS. SEE; "https://www.providenceri.gov/wp-content/uploads/2017/04/Providence--DPW--Standard--Details.pdf".

MAP REFERENCE

REFERENCE IS MADE TO A PLAN TITLED; ADMINISTRATIVE SUBDIVISION, A.P. 15/LOTS 158 & 158, 230 & 234 WATERMAN STREET, 161 WAYLAND STREET, PROVIDENCE, RI, SCALE 1"=10', DATE DECEMBER 23, 2020, PREPARED FOR CAPSTONE PROPERTIES C/O PAUL GRIESINGER, PREPARED BY: OCEAN STATE PLANNERS, INC., 1255 OAKLAWN AVENUE, CRANSTON, RI 02920.

PROPOSED PAVEMENT STRUCTURE / ROADWAY TRENCH REPAIR

2" BITUMINOUS CONCRETE TOP COURSE (CL. 9.5 HMA)
3" BITUMINOUS CONCRETE BINDER COURSE (CL. 12.5 HMA)
12" GRAVEL BORROW SUBBASE

MAINTENANCE AND PROTECTION OF TRAFFIC NOTES


1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION. ALL TEMPORARY CONSTRUCTION SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST REVISIONS OF MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.)
2. TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE TRAFFIC CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC.
3. THE PRIVATE VEHICLES OF CONSTRUCTION WORKERS WILL NOT BE PARKED IN ANY ROADWAY RIGHT--OF--WAY UNLESS APPROVED BY THE PROVIDENCE DWP.
4. ALL MAINTENANCE AND PROTECTION OF TRAFFIC CONTROL SETUPS, SIGNS, CHANNELING DEVICES, ETC., SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, 2009 EDITION, INCLUDING REVISION 2, MAY 2012, AND SUBSEQUENT ADDENDA.
5. SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH THE STATE D.O.T. SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.
6. THE CONTRACTOR SHALL INCLUDE POLICE DETAILS REQUIRED FOR WORK WITHIN THE CITY RIGHT--OF--WAY, WITHIN THE CONTRACT FRICE.
7. ROAD OPENING PERMITS SHALL BE OBTAINED BY THE CONTRACTOR.
8. COORDINATION WITH THE PROVIDENCE DEPARTMENT OF PUBLIC WORKS IS REQUIRED TO REVIEW ALL WORK IMPACTING SIDEWALKS AND/OR PEDESTRIAN TRAFFIC WITHIN THE CITY R.O.W. THE CONTRACTOR IS RESPONSIBLE FOR ALL SIGNAGE, DETOURS AND TEMPORARY FENCING AROUND SITE REQUIRED DURING CONSTRUCTION. DPW APPROVALS WILL BE REQUIRED FOR SIDEWALK WORK.

UTILITY NOTES

1. THE CONTRACTOR SHALL REVIEW ALL PLANS PREPARED BY THE ARCHITECT, MECHANICAL ELECTRIC AND PLUMBING ENGINEER TO CONFIRM IF ALL EXISTING UTILITY SERVICES SERVICING THE PROPERTY ARE TO REMAIN OR ARE PROPOSED NEW UTILITIES. EXISTING SERVICE UTILITIES NO LONGER REQUIRED SHALL BE CUT AND CAPPED AT THE PROPERTY LINE. COORDINATION WITH THE UTILITY COMPANIES WILL BE REQUIRED.
2. THE EXISTING SEWER SERVICE TO THIS SITE WILL BE RE--USED FOR THE PROPOSED BUILDING IMPROVEMENTS. INSTALL A NEW PIPE AND MONITORING MANHOLE IN THE SIDEWALK AT THE CONNECTION POINT ON THE EXISTING SEWER. CONTRACTOR SHALL VIDEO RECORD (CCTV) EXISTING PIPE TO THE MAIN TO CONFIRM SIZE AND CONDITION. COORDINATE WITH ENGINEER.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT REGARDING REQUIRED FIRE FLOWS TO THE PROPOSED FIRE SPRINKLER SYSTEM. THE CONTRACTOR SHALL CONDUCT A FIRE FLOW TEST ON THE EXISTING WATER SYSTEM TO CONFIRM EXISTING FLOWS AND PRESSURES.
4. THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT ON THE REQUIRED DOMESTIC WATER SERVICE SIZE AND PRESSURE REQUIREMENTS.
5. THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT ON THE REQUIRED GAS SERVICE SIZE AND PRESSURE REQUIREMENTS. THE CONTRACTOR WILL CONTACT AND APPLY FOR GAS SERVICE FOR THIS SITE, AND IS RESPONSIBLE FOR ROAD CUTS, EXCAVATION, TRENCHING, COMPACTION, AND ROADWAY/SIDEWALK REPAIR.
6. PRIOR TO CONSTRUCTION AND AS REQUIRED FOR NEW SERVICES, THE CONTRACTOR MUST PERFORM TEST PITS TO:
- A. CONFIRM THE EXISTING DEPTHS OF UTILITIES AT ALL PROPOSED CONNECTION POINTS AND POTENTIAL CROSSOVER (CONFLICT) POINTS.
- B. CONFIRM THE EXTENT OF LEDGE WHICH MAY EXIST IN ALL ANTICIPATED UTILITY TRENCH AREAS. PRIOR TO CONSTRUCTION, THE FINDINGS ARE TO BE REVIEWED BY THE OWNER AND THE ENGINEER. IF NECESSARY, ALTERNATIVES TO MINIMIZE LEDGE REMOVAL AND UTILITY CONFLICTS WILL BE DEVELOPED. NO CONSTRUCTION WILL BE ALLOWED WITHOUT THE OWNER'S AUTHORIZATION.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL DIG TEST HOLES TO VERIFY THE ELEVATION AND PIPE MATERIAL OF THE EXISTING WATER, GAS AND SANITARY SERVICES AT THE PROPOSED TIE--IN LOCATION. A TEST PIT IS ALSO REQUIRED ON THE EXISTING SEWER LINE OUTSIDE OF THE PLAT 15 LOT 156 (MCBRIDE'S BUILDING).
8. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO TIE--IN OR SERVICE REMOVAL.
9. THIS UTILITY PLAN DOES NOT REPRESENT THE SITE ELECTRICAL/TELEPHONE/COMMUNICATION SYSTEM DESIGNS. REFER TO ARCHITECTURAL PLANS FOR THE ELECTRIC, TELEPHONE AND CABLE SERVICE LOCATIONS. THE CONTRACTOR SHALL COORDINATE WITH EACH UTILITY COMPANY FOR SERVICE INSTALLATION.
10. AS APPLICABLE FOR NEW SERVICE; THE CONTRACTOR MUST LOCATE THE EXISTING WATER MAIN ON WATERMAN STREET TO OBTAIN THE PROPER OUTSIDE DIAMETER TO SIZE THE SLEEVE. THE CONTRACTOR SHALL COORDINATE WITH THE PROVIDENCE SUPPLY BOARD FOR SERVICE APPLICATION AND APPROVALS.
11. AS APPLICABLE FOR NEW SERVICE; THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL NEW UTILITY PIPE SIZES INCLUDING WATER, SEWER AND GAS ARE VERIFIED BY THE ARCHITECT PRIOR TO ORDERING PIPE OR RELATED MATERIAL.
12. ALL PROPOSED PIPES, CONDUITS, STRUCTURES, FRAMES, COVERS AND GRATES SHALL BE INSTALLED TO MEET H--20 LOADING AND CAPACITY. ALL MATERIAL AND TRENCHING METHODS SHALL CONFORM TO H--20 LOADING CAPACITIES, AS RECOMMENDED BY THE MANUFACTURER. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS/CATALOG CUTS FOR PROPOSED PIPE AND CONDUIT TO ENGINEER FOR APPROVAL.

DEMOLITION NOTES

1. AS APPLICABLE FOR TERMINATING EXISTING SERVICES; THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITY STUBS TO THIS SITE AND PROPERLY PLUG AND CAP STUBS AT THE MAIN. NOTE: IF UTILITY COMPANY ALLOWS CUTTING AND CAPPING EXISTING UTILITY SERVICES THAT ARE NO LONGER NEEDED AT THE CURB LINE, THEN CONTRACTOR SHALL PROVIDE OWNER A CREDIT FOR NOT ENTERING INTO THE ROADWAY FOR TERMINATION AT THE MAIN.
2. PRIOR TO REMOVAL OF ANY OVERHEAD POLES AND/OR WIRES THE CONTRACTOR SHALL CONTACT THE ELECTRIC, TELEPHONE, CABLE AND FIRE ALARM COMPANIES.
3. THE CONTRACTOR IS RESPONSIBLE TO REMOVE AND DISPOSE ALL ITEMS OUTSIDE THE BUILDING FOOTPRINT, INCLUDING BUT NOT LIMITED TO EXISTING PAVEMENT, SIDEWALKS, LIGHT POLES, DEBRIS, BOLLARDS, TREES, UNDERGROUND PIPES AND FENCING ON SITE.
4. BUILDING DEMOLITION IS NOT INCLUDED OR REFERENCED IN THIS PLAN SET. REFER TO ARCHITECTUAL PLANS FOR REQUIRED PERMITS, TESTING, REMOVAL AND DISPOSAL REQUIREMENTS FOR THE BUILDING DEMOLITION.

EXISTING	LEGEND	PROPOSED
	PROPERTY LINE	
	EASEMENT LINE	
	CURB	
	UTILITY POLE	
	LIGHT POLE	
	DRAIN LINE	
	SANITARY SEWER	
	SANITARY FORCE MAIN	
	GAS LINE	
	DOMESTIC WATER LINE	
	FIRE SERVICE LINE	
	ELECTRIC/CABLE/TELEPHONE	
	DRAINAGE MANHOLE	
	CATCH BASIN	
	SEWER MANHOLE	
	ELECTRIC MANHOLE	
	TELEPHONE MANHOLE	
	HYDRANT	
	WATER GATE	
	GAS GATE	
	CLEAN--OUT TO GRADE	
	SAWCUT PAVEMENT	
	CONTOURS	
	SPOT GRADES	
	CHAIN LINK FENCE	
	STOCKADE FENCE	
	RETAINING WALL	
	STONE WALL	
	GUARDRAIL	
	GRADE TO DRAIN	
	BUILDING	
	TREE	
	BOLLARDS	
	LIMIT OF DISTURBANCE	
	FILTER SOXX	

SITE NOTES:

1. THE SITE IS LOCATED AT 230 WATERMAN STREET, PROVIDENCE, RI.
2. THE SITE IS LOCATED WITHIN THE C--2 (GENERAL COMMERCIAL DISTRICT) ZONE.
3. THE SITE IS NOT LOCATED WITHIN OR ADJACENT TO ANY HISTORICAL OVERLAY ZONES.
4. NO WETLANDS ARE LOCATED WITHIN 200' OF THE SITE.

SOILS NOTE (DRAINAGE)

1. REFERENCE IS MADE TO THE ENGINEERING REPORT PREPARED BY PAUL B. ALDINGER & ASSOCIATES, INC. IN JANUARY 2021.
2. TWO SOIL BORINGS WERE COMPLETED AT 230 WATERMAN STREET, PROVIDENCE ON DECEMBER 7, 2020. PERTINENT INFORMATION FROM THE REPORT IS PROVIDED BELOW:

GEOLOGIC SETTING: SURFICIAL GEOLOGY CONSISTS OF KAME TERRACE (SAND AND GRAVEL).

USDA SOIL CLASSIFICATION: URBAN LAND (U_u) URBAN LAND COMPLEX GENERALLY CONSISTS OF HUMAN TRANSPORTED MATERIAL (HTM), ALSO KNOWN AS FILL, REQUIRING ON SITE ANALYSIS TO ASSESS FOR SUITABILITY.

THE GEOTECHNICAL SITE INVESTIGATIONS FOUND THE GROUNDWATER DEPTH 39.5 FEET BELOW GRADE.

TEST PIT NOTES

1. PRIOR TO CONSTRUCTION, ADDITIONAL TEST PITS FOR SOIL EVALUATION WITHIN THE PROPOSED UNDERGROUND STORMWATER SYSTEM IS REQUIRED. CONTRACTOR SHALL COORDINATE WITH ENGINEER.
2. THE CONTRACTOR SHALL REMOVE ALL PAVEMENT AND FILL WITHIN THE LANDSCAPE AREAS. EXCAVATION AND FILL REMOVAL SHALL BE TO A MINIMUM DEPTH OF 3' BELOW THE PROPOSED UNDERGROUND STORMWATER SYSTEM. BACKFILL AREA WITH BANK RUN GRAVEL.



Crossman Engineering

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PROPERTY OWNER:

MYLES STANDISH ASSOCIATES LP
5 BURLINGTON WOODS, SUITE 103
BURLINGTON, MA 01803

PROJECT TITLE:

WAYLAND CONDOMINIUM
DEVELOPMENT

159 WAYLAND AVENUE
PROVIDENCE, RHODE ISLAND

PREPARED FOR:

MYLES STANDISH ASSOCIATES LP
5 BURLINGTON WOODS, SUITE 103
BURLINGTON, MA 01803

DRAWING TITLE:

GENERAL NOTES
& LEGEND

DATE:	SCALE:
OCTOBER 2022	NO SCALE

DWG. NAME:
2568--02--NOTES.dwg

REVISIONS		
NUMBER	REMARKS	DATE

DRAWING NUMBER

C1

SHEET: 2 OF 11



GRAPHIC SCALE
(IN FEET)
1 inch = 40 ft.

SOILS NOTE:
THE PROPERTY IS LOCATED IN SOILS GROUP MU (MERRIMAC-URBAN LAND COMPLEX).



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PROVIDENCE, RHODE ISLAND

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5 BURLINGTON WOODS, SUITE 103
BURLINGTON, MA 01803

DRAWING TITLE:

AERIAL MAP

DATE:	SCALE:
OCTOBER 2022	1" = 40'

DWG. NAME:
2568-03-AERIAL.dwg

REVISIONS		
△		
NUMBER	REMARKS	DATE

DRAWING NUMBER

C2

SHEET: 3 OF 11



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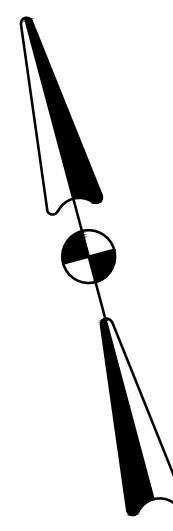
MYLES STANDISH ASSOCIATES LP
5 BURLINGTON WOODS, SUITE 103
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159 WAYLAND AVENUE
PROVIDENCE, RHODE ISLAND

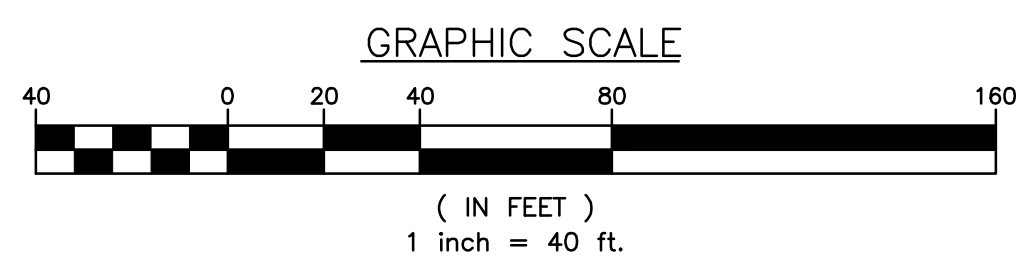
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SHEET: 4 OF: 11



PLAT 15 LOT 496
MONAHAN PROPERTIES LLC
161 WAYLAND AVENUE
PROVIDENCE, RI 02906



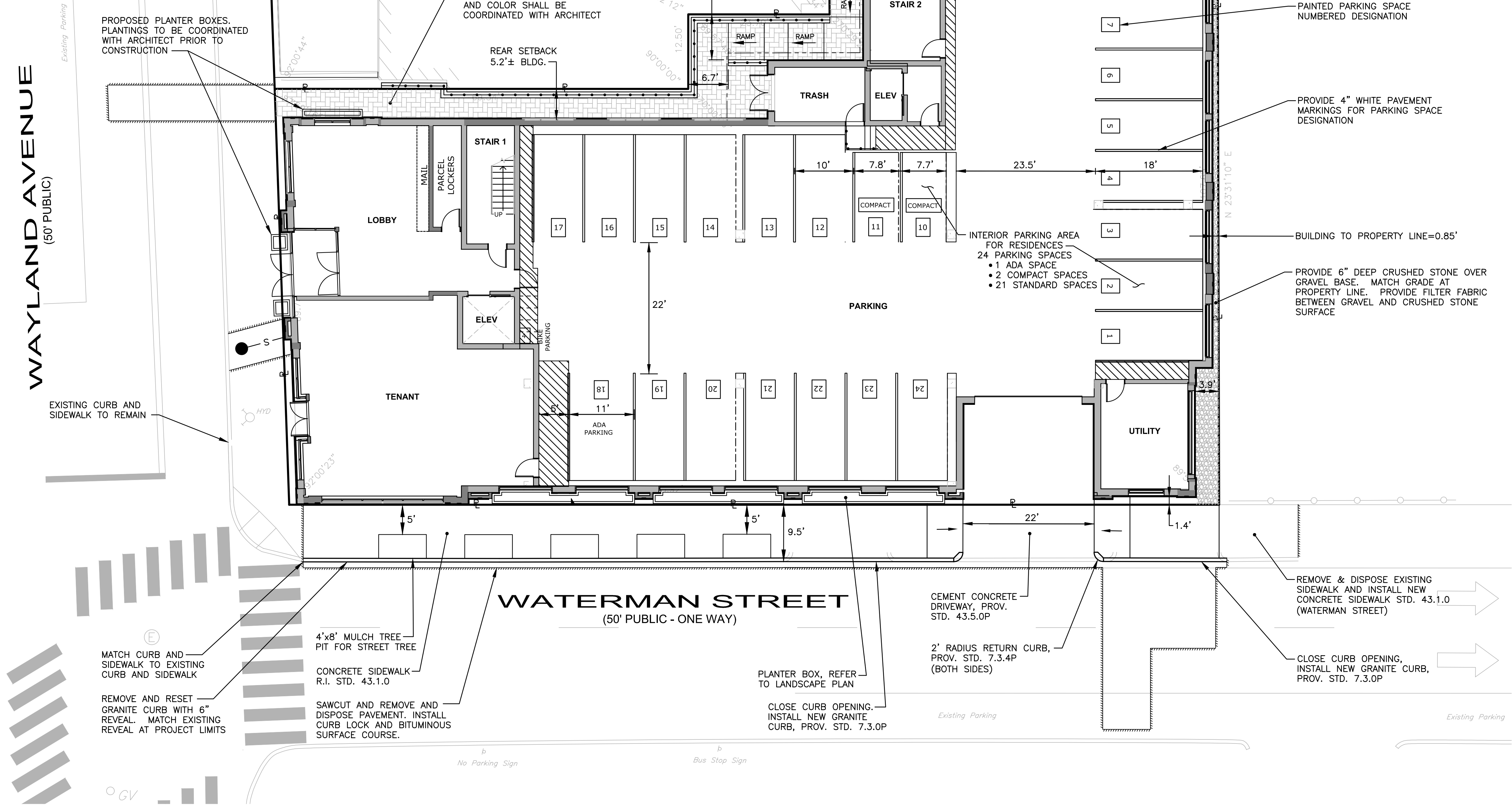
PROVIDENCE ZONING REQUIREMENTS		
ZONING DISTRICT: C-2 GENERAL COMMERCIAL DISTRICT		
PERMITTED USE: MULTI-TENANT RETAIL AND MULTI-FAMILY DWELLING		
MINIMUM LOT REQUIREMENTS	REQUIRED	PROVIDED
MINIMUM LOT AREA	NONE	13,712 S.F.
MINIMUM BUILDING HEIGHT	16' *(E)	REFER TO ARCHITECT PLANS
MINIMUM FIRST STORY HEIGHT	9' RESIDENTIAL 11' NON-RESIDENTIAL	REFER TO ARCHITECT PLANS
MAXIMUM BUILDING HEIGHT	50' - 4 STORIES	REFER TO ARCHITECT PLANS
SETBACK REQUIREMENTS		
MINIMUM FRONT SETBACK	0'-5' *(A)	0'
MINIMUM INTERIOR SIDE SETBACK	NONE *(B)	0'
MINIMUM CORNER SIDE SETBACK	0'-5' *(C)	0.85'
MINIMUM REAR SETBACK	NONE *(D)	1.3'

* SEE ZONING NOTES

ZONING NOTES:

1. PROVIDENCE ZONING ORDINANCE FOOTNOTES:
A: THE REQUIRED BUILD TO PERCENTAGE IS 60% OF THE FRONT LINE.
B: UNLESS ABUTTING A RESIDENTIAL DISTRICT, THEN SETBACK IS 10'.
C: THE REQUIRED BUILD TO PERCENTAGE IS 40% OF THE CORNER SIDE LINE.
D: UNLESS ABUTTING A RESIDENTIAL DISTRICT, THEN SETBACK IS 20'.
E: PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT TO OBTAIN ALL COPIES OF PLANNING AND ZONING APPROVALS RECEIVED FOR THIS PROJECT. BUILDING HEIGHT WAIVERS WILL BE REQUIRED.

WAYLAND AVENUE
(50' PUBLIC)



PARKING REQUIREMENTS	REQUIRED	PROVIDED
RETAIL PARKING: <2,500 SF= 0 Exempt: Article 14; 1410.B.5 RESIDENTIAL: 1 SPACE /UNIT 12 Units x 1 Space/Unit	12	24
PARKING STALL SIZE	8.5'x18'	INTERIOR PARKING: 22 SINGLE = 8.5'x18' 2 COMPACT = 7.5'x15'
aisle width	22' FOR 90°	22'
DRIVEWAY WIDTH	22' MAX.	22'
LANDSCAPE BUFFER	5' PERIMETER	NA (INDOOR PARKING)
INTERIOR LANDSCAPE COVERAGE (NA FOR PARKING < 20,000 SF)	NA	NA (13,712 S.F.)
BICYCLE SPACES (1 SPACE/5 UNITS) X 12 UNIT	3	4

SITE NOTES:

1. PROPOSED BUILDING SHALL BE CONSTRUCTED ON OR IN CLOSE PROXIMITY TO THE OUTSIDE PERIMETER PROPERTY LINE. CONTRACTOR SHALL OBTAIN SURVEY LOCATIONS PRIOR TO CONSTRUCTION.
2. ALL SIDEWALK RAMPS SHALL HAVE A R.I. STD. 48.1.0 DETECTABLE WARNING PANEL.

PROPOSED BUILDING USE

1ST. FLOOR = COMMERCIAL & PARKING
2ND. FLOOR = (4) 2-BEDROOM UNITS
3RD. FLOOR = (4) 2-BEDROOM UNITS
4TH. FLOOR = (4) 2-BEDROOM UNITS
TOTAL (12) 2-BEDROOM UNITS



GRAPHIC SCALE

(IN FEET)
1 inch = 10 ft.



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PREPARED FOR:

MYLES STANDISH ASSOCIATES LP
5 BURLINGTON WOODS, SUITE 103
BURLINGTON, MA 01803

DRAWING TITLE:

SITE LAYOUT
PLAN

DATE:

OCTOBER 2022

SCALE:

1" = 10'

DWG. NAME:

2568-05-SITE.dwg

REVISIONS



NUMBER

REMARKS

DATE

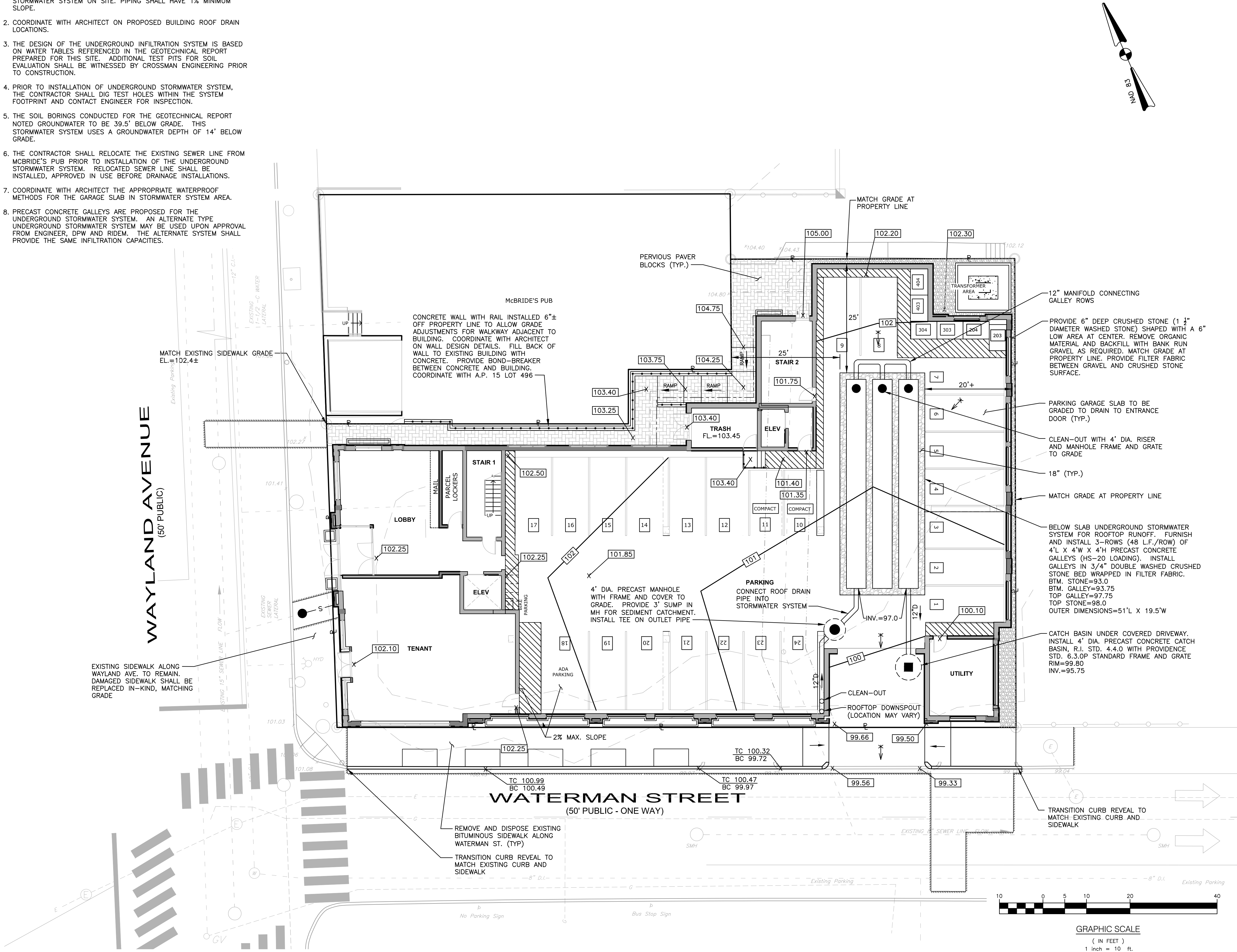
DRAWING NUMBER

C4

SHEET: 5 OF 11

NOTES:

1. ROOF DRAINS SHALL CONNECT TO THE PROPOSED UNDERGROUND STORMWATER SYSTEM ON SITE. PIPING SHALL HAVE 1% MINIMUM SLOPE.
2. COORDINATE WITH ARCHITECT ON PROPOSED BUILDING ROOF DRAIN LOCATIONS.
3. THE DESIGN OF THE UNDERGROUND INFILTRATION SYSTEM IS BASED ON WATER TABLES REFERENCED IN THE GEOTECHNICAL REPORT PREPARED FOR THIS SITE. ADDITIONAL TEST PITS FOR SOIL EVALUATION SHALL BE WITNESSED BY CROSSMAN ENGINEERING PRIOR TO CONSTRUCTION.
4. PRIOR TO INSTALLATION OF UNDERGROUND STORMWATER SYSTEM, THE CONTRACTOR SHALL DIG TEST HOLES WITHIN THE SYSTEM FOOTPRINT AND CONTACT ENGINEER FOR INSPECTION.
5. THE SOIL BORINGS CONDUCTED FOR THE GEOTECHNICAL REPORT NOTED GROUNDWATER TO BE 39.5' BELOW GRADE. THIS STORMWATER SYSTEM USES A GROUNDWATER DEPTH OF 14' BELOW GRADE.
6. THE CONTRACTOR SHALL RELOCATE THE EXISTING SEWER LINE FROM MCBRIDE'S PUB PRIOR TO INSTALLATION OF THE UNDERGROUND STORMWATER SYSTEM. RELOCATED SEWER LINE SHALL BE INSTALLED, APPROVED IN USE BEFORE DRAINAGE INSTALLATIONS.
7. COORDINATE WITH ARCHITECT THE APPROPRIATE WATERPROOF METHODS FOR THE GARAGE SLAB IN STORMWATER SYSTEM AREA.
8. PRECAST CONCRETE GALLEYS ARE PROPOSED FOR THE UNDERGROUND STORMWATER SYSTEM. AN ALTERNATE TYPE UNDERGROUND STORMWATER SYSTEM MAY BE USED UPON APPROVAL FROM ENGINEER, DPW AND RIDEM. THE ALTERNATE SYSTEM SHALL PROVIDE THE SAME INFILTRATION CAPACITIES.



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PROPERTY OWNER:

MYLES STANDISH ASSOCIATES LP
5 BURLINGTON WOODS, SUITE 103
BURLINGTON, MA 01803

PROJECT TITLE:

WAYLAND CONDOMINIUM
DEVELOPMENT

159 WAYLAND AVENUE
PROVIDENCE, RHODE ISLAND

PREPARED FOR:

MYLES STANDISH ASSOCIATES LP
5 BURLINGTON WOODS, SUITE 103
BURLINGTON, MA 01803

DRAWING TITLE:

GRADING and DRAINAGE
PLAN

DATE: OCTOBER 2022 SCALE: 1" = 10'

DWG. NAME: 2568-06-GRADE.dwg

REVISIONS		
NUMBER	REMARKS	DATE

DRAWING NUMBER

C5

SHEET: 6 OF 11



- Civil
- Transportation
- Environmental
- Site Planning
- Surveying
- Permitting
- Landscape Architecture

Crossman Engineering

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PROPERTY OWNER:

MYLES STANDISH ASSOCIATES LP
5 BURLINGTON WOODS, SUITE 103
BURLINGTON, MA 01803

PROJECT TITLE:

WAYLAND CONDOMINIUM DEVELOPMENT

159 WAYLAND AVENUE
PROVIDENCE, RHODE ISLAND

PREPARED FOR:

MYLES STANDISH ASSOCIATES LP
5 BURLINGTON WOODS, SUITE 103
BURLINGTON, MA 01803

DRAWING TITLE:

UTILITY PLAN

DATE: OCTOBER 2022 SCALE: 1" = 10'

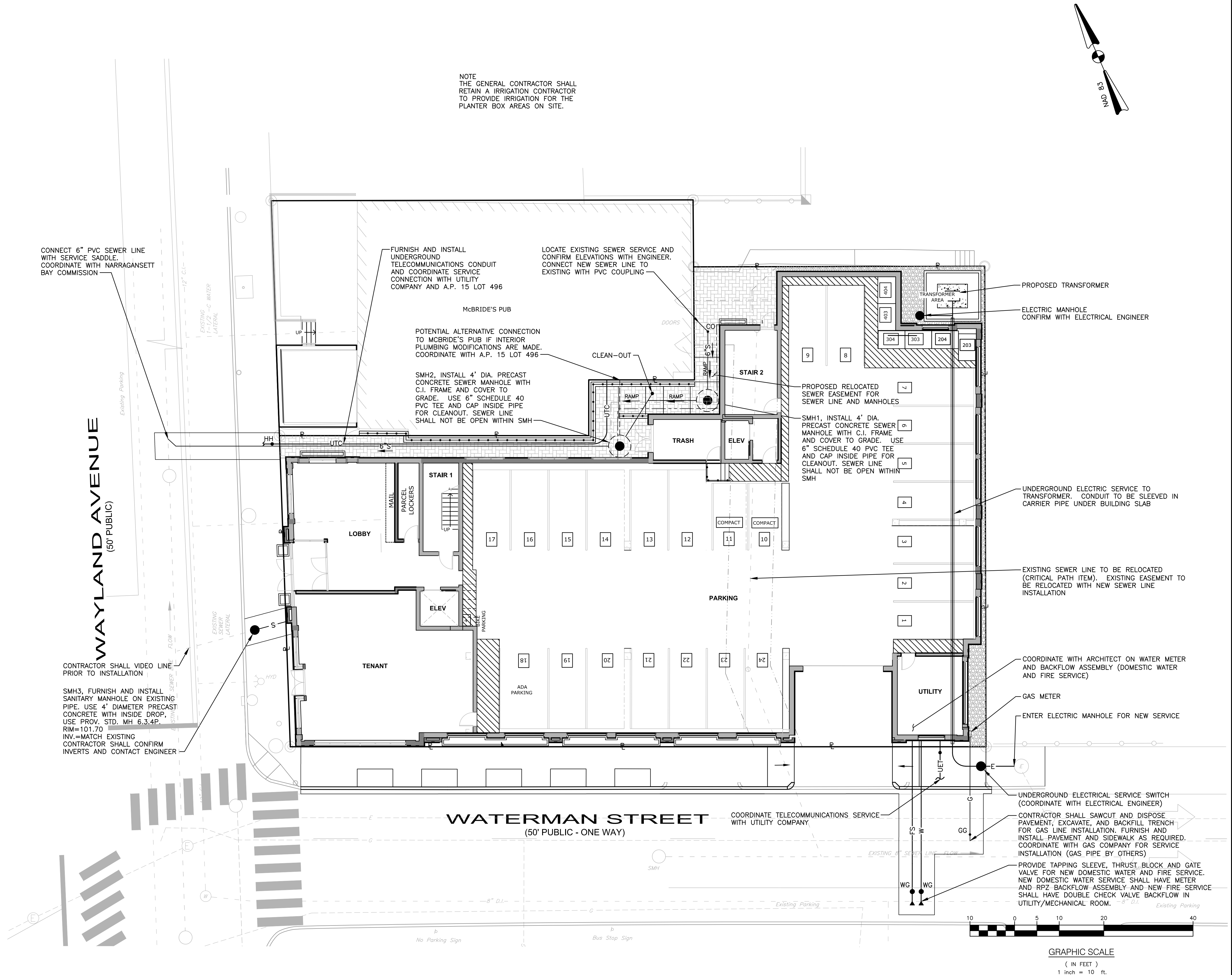
DWG. NAME: 2568-07-UTIL.dwg

REVISIONS		
△		
NUMBER	REMARKS	DATE

DRAWING NUMBER

C6

SHEET: 7 OF 11

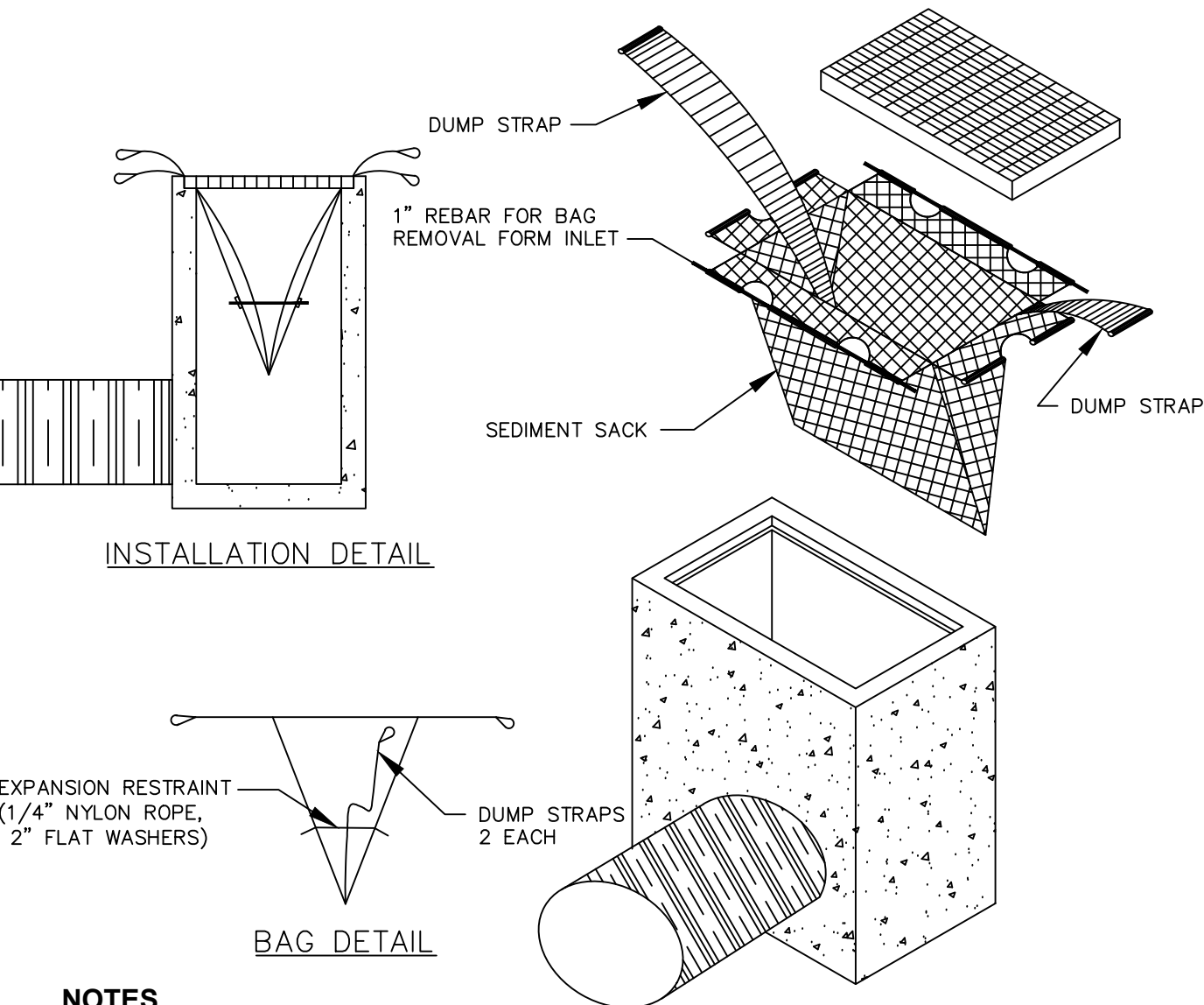


CONSTRUCTION NOTES

- FURNISH AND INSTALL TEMPORARY CHAINLINK CONSTRUCTION FENCING WITH ENTRY GATES AROUND ENTIRE SITE. SITE/GATES TO BE LOCKED DURING NON-CONSTRUCTION HOURS.
- CONSTRUCTION FENCING SHALL HAVE APPROPRIATE SIGNAGE TO PROTECT THE PUBLIC.
- VERIFY CONSTRUCTION SITE ENTRANCE WITH PROVIDENCE DEPARTMENT OF PUBLIC WORKS.
- CONTRACTOR SHALL COORDINATE AND PROVIDE TEMPORARY SIDEWALK CLOSURE WARNING SIGNAGE AND ALTERNATIVE PEDESTRIAN ROUTE SIGNAGE WITH THE PROVIDENCE DPW.

SOIL EROSION CONTROL PLAN

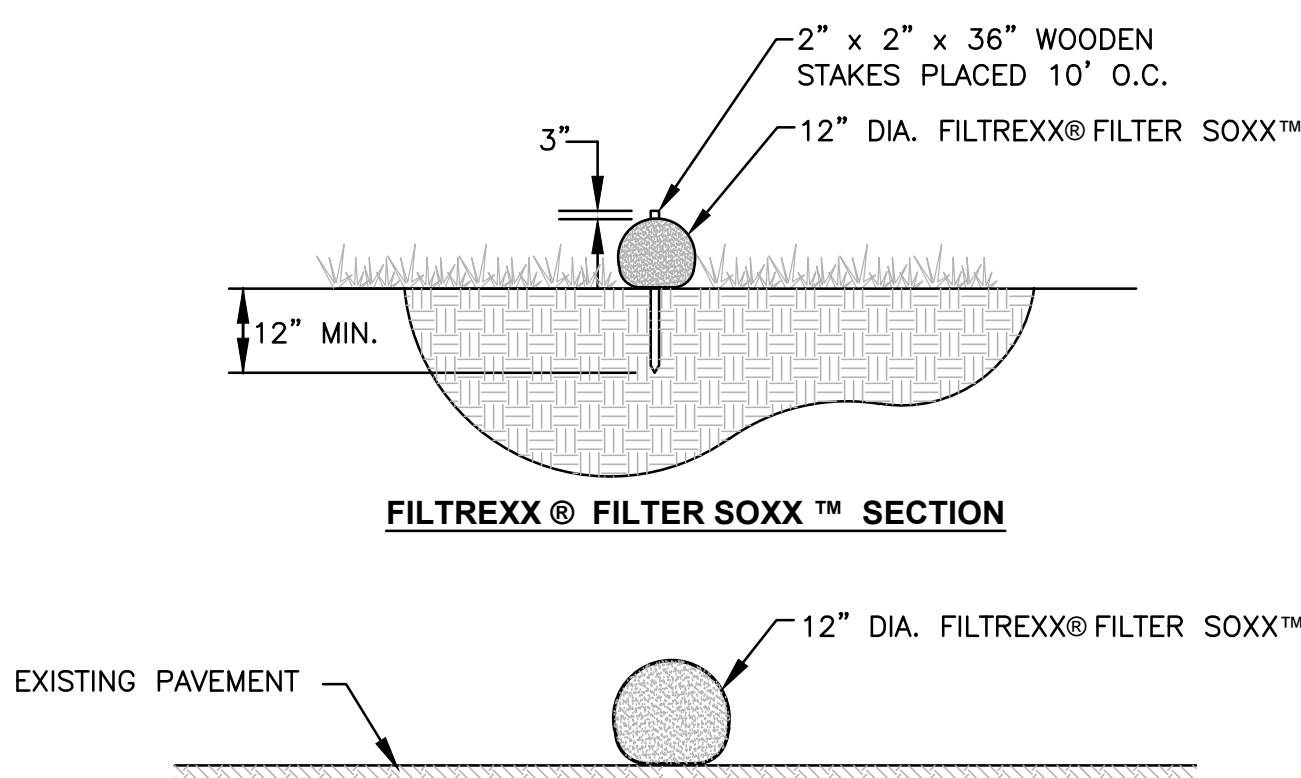
SCALE: 1"=20'



TYPICAL SILT SACK DETAIL
NOT TO SCALE

NOTES

- INSTALL SILT SACK AT CATCH BASINS IN VICINITY OF CONSTRUCTION.
- CONTRACTOR SHALL SUBMIT SILT SACK PRODUCT TO ENGINEER FOR APPROVAL.

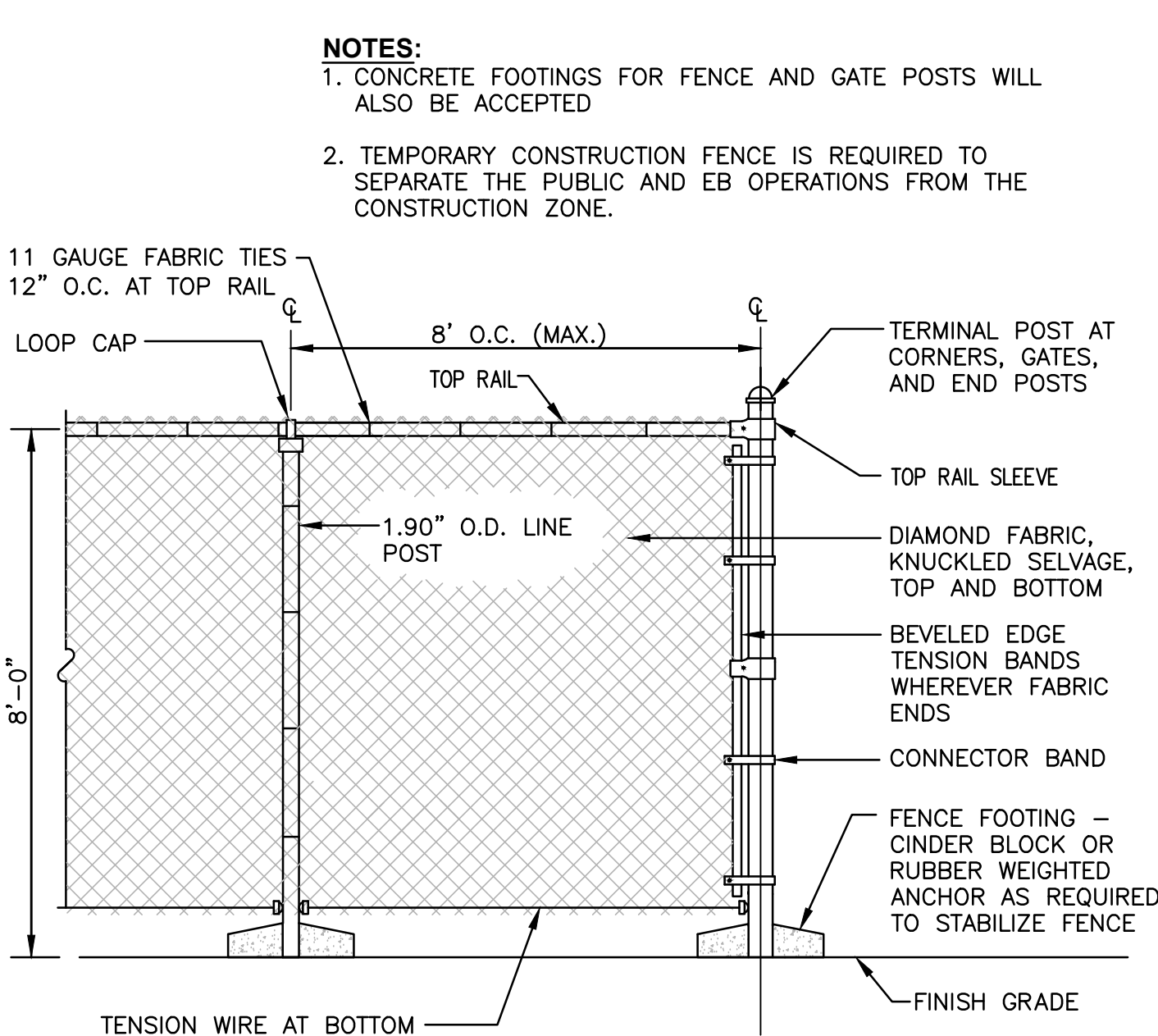


FILTREX® FILTER SOXX™ PAVEMENT OPTION

NOTES

- FILTREX FILTER SOXX MAY BE USED IN LIEU OF SILT FENCE.
- CONTRACTOR IS RESPONSIBLE TO BECOME FAMILIAR WITH THE FILTREX PRODUCTS AND COORDINATE INSTALLATION SCHEDULES AND METHODS WITH THE ENGINEER PRIOR TO PLACEMENT.
- ALL MATERIAL SHALL MEET FILTREX SPECIFICATIONS.
- COMPOST MATERIAL SHALL NOT BE DISPERSED ON SITE AFTER CONSTRUCTION.

FILTREX® FILTER SOXX™ DETAIL
NOT TO SCALE



TEMPORARY CONSTRUCTION FENCE DETAIL
NOT TO SCALE

DUST CONTROL NOTES

ON AN AS-NEEDED BASIS OR AS DIRECTED BY THE CITY, RIDEM OR OWNER, THE CONTRACTOR SHALL UTILIZE ONE OF THE FOLLOWING METHODS TO CONTROL DUST:

A. THE EXPOSED SOIL SURFACE SHOULD BE MOISTENED PERIODICALLY WITH ADEQUATE WATER TO CONTROL DUST.

B. CALCIUM CHLORIDE SHOULD BE EITHER LOOSE DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH A SPREADER AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE.

THE METHODS SHOULD BE REPEATED AS NEEDED, AND SPECIAL ATTENTION MUST BE GIVEN TO THE ACCESS DRIVES.

INSPECTION/MAINTENANCE NOTES

- PRIOR TO COMMENCING PAVEMENT REMOVAL AND/OR EXCAVATION OPERATIONS AND EARTHWORK, EROSION CONTROLS SHALL BE PLACED INSIDE SAWCUT EDGE TO PREVENT SEDIMENT FROM ENTERING EXISTING ROADWAY DRAINAGE SYSTEM AND ABUTTING PROPERTIES.
- EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING THE DRAINAGE SYSTEM.
- ALL DISTURBED AREAS WHICH BECOME SUBJECT TO EROSION TENDENCIES WHETHER THEY BE NEWLY FILLED OR EXCAVATED SHALL RECEIVE SLOPE PROTECTION - SUCH AS CRUSHED STONE.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING PERIODS OF RAINFALL.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MAINTENANCE AND SHALL INSPECT / REPLACE DAILY DURING CONSTRUCTION, FOLLOWING RAINFALL AND WEEKLY DURING NON CONSTRUCTION PERIODS.
- ADDITIONAL FILTERSOXX OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
- THE LATEST VERSION OF THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE R.I. STATE CONSERVATION COMMITTEE, MUST BE UTILIZED BY THE CONTRACTOR AS A GUIDE.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL DUST CONTROL AND FOR THE ENTIRE PROJECT DURATION, INCLUDING TEMPORARY SHUT-DOWN PERIODS, MUST MONITOR AND REPAIR, AS NEEDED, ALL SLOPES TO ENSURE A STABLE PRODUCT.

GENERAL PROJECT WIDE NOTES

- CONTRACTOR SHALL INSTALL TEMPORARY MEASURES SUCH AS; FIBER MATTING, CRUSHED STONE, HAY OR STRAW IN AREAS WHERE SLOPES OR STABILIZATION HAS FAILED.
- IF SEDIMENT IS TRACKED OR ERODED INTO THE ROADWAY, THE CONTRACTOR WILL BE REQUIRED TO INSTALL SILT SACK OR APPROVED EQUAL UNDER THE EXISTING CATCH BASIN GRATES. REMOVE AFTER CONSTRUCTION.
- FILTER SOXX SHALL BE INSTALLED AROUND THE PERIMETER OF THE AREA TO BE DISTURBED BY CONSTRUCTION. ADDITIONAL APPLICATIONS OF THESE CONTROLS MEASURES MAY BE REQUIRED DURING THE CONSTRUCTION PROCESS. THE CONTRACTOR SHALL INSPECT THE SITE AT A MINIMUM OF ONCE PER WEEK OR WITHIN 24 HOURS AFTER A STORM EVENT.
- IF EROSION OR EROSION TENDENCIES ARE APPARENT ON THE SITE, THE CONTRACTOR IS RESPONSIBLE TO INSTALL ADDITIONAL EROSION CONTROLS.
- IF SEDIMENT OR DEBRIS IS TRACKED ONTO EXISTING PAVED AREAS ADJACENT TO THE CONSTRUCTION AREA, THE CONTRACTOR IS REQUIRED TO SWEEP THE PAVEMENT ON A DAILY BASIS. THE AREA SHALL BE INSPECTED DAILY.
- THE CONTRACTOR IS RESPONSIBLE TO KEEP THE SITE CLEAN OF TRASH. RECOMMENDED DAILY PATROL OF THE CONSTRUCTION SHOULD BE CONDUCTED TO PICK-UP TRASH. THE OPERATOR SHALL REQUIRE THE CONTRACTOR TO HAVE PORTABLE SANITARY FACILITIES ON SITE. ROUTINE CLEANING AND WASTE DISPOSAL OF THESE PORTABLE SANITARY FACILITIES IS REQUIRED.

FILTREX SOXX NOTE

CONTRACTOR IS RESPONSIBLE TO BECOME FAMILIAR WITH THE FILTREX PRODUCTS AND COORDINATE INSTALLATION SCHEDULES AND METHODS WITH THE ENGINEER PRIOR TO PLACEMENT.

EROSION CONTROL AND SOIL STABILIZATION PROGRAM

- EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING THE DRAINAGE SYSTEM, ADJACENT PROPERTY AND ROADWAYS.
- TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, OR FIBER MULCH PROTECTIVE COVERS, SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE OWNER.
- HAY OR STRAW APPLICATIONS SHALL BE IN THE AMOUNT OF 3,000-4,000 LBS/ACRE.
- STOCKPILES SHALL HAVE NO SLOPE STEEPER THAN 2:1 AND SHALL BE SURROUNDED BY STAKED HAY BALES OR SILT FENCING.
- STOCKPILES EXPOSED FOR EXCESSIVE PERIODS SHALL RECEIVE TEMPORARY TREATMENT CONSISTING OF HAY, STRAW OR FIBER MATTING.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MAINTENANCE AND SHALL INSPECT/REPLACE AS NEEDED.
- ADDITIONAL HAY BALES OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER, OWNER, MUNICIPAL REPRESENTATIVES OR LOCAL DPW.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DUST CONTROL AT NO ADDITIONAL COST TO THE OWNER.
- ALL CATCH BASINS ADJACENT TO THE CONSTRUCTION AREA SHALL BE PROTECTED BY SILT SACKS. ROUTINE CLEANING OF SEDIMENT WILL BE REQUIRED.
- ALL PROPOSED CATCH BASINS SHALL BE PROTECTED BY STAKED HAY BALES, SILT FENCING OR SILT SACKS.
- THE FILTREX FILTER SOXX MAY BE INSTALLED ON THE EXISTING PAVEMENT /IMPERVIOUS AREAS WITH OUT STAKES. CONTRACTOR SHALL INSPECT DAILY, IF SOIL EROSION OR SEDIMENT IS OBSERVED IN THESE AREAS, THE CONTRACTOR SHALL RELOCATE OR INSTALL ADDITIONAL FILTREX FILTER SOXX IN LOCATIONS THAT CAN BE STAKED. THIS WORK IS INCLUDED IN THE PROJECT SCOPE.
- AN ALTERNATE COMPOST SOCK OR STRAW WATTLE PRODUCT MAY BE USED IN LIEU OF FILTREX FILTER SOCK UPON APPROVAL OF THE ENGINEER.



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PROPERTY OWNER:

MYLES STANDISH ASSOCIATES LP
5 BURLINGTON WOODS, SUITE 103
BURLINGTON, MA 01803

PROJECT TITLE:

WAYLAND CONDOMINIUM
DEVELOPMENT

159 WAYLAND AVENUE
PROVIDENCE, RHODE ISLAND

PREPARED FOR:

MYLES STANDISH ASSOCIATES LP
5 BURLINGTON WOODS, SUITE 103
BURLINGTON, MA 01803

DRAWING TITLE:

SOIL EROSION and
SEDIMENT CONTROL PLAN

DATE:

OCTOBER 2022

SCALE:

AS NOTED

DWG. NAME:

2568-08-SOIL.dwg

REVISIONS

△

NUMBER

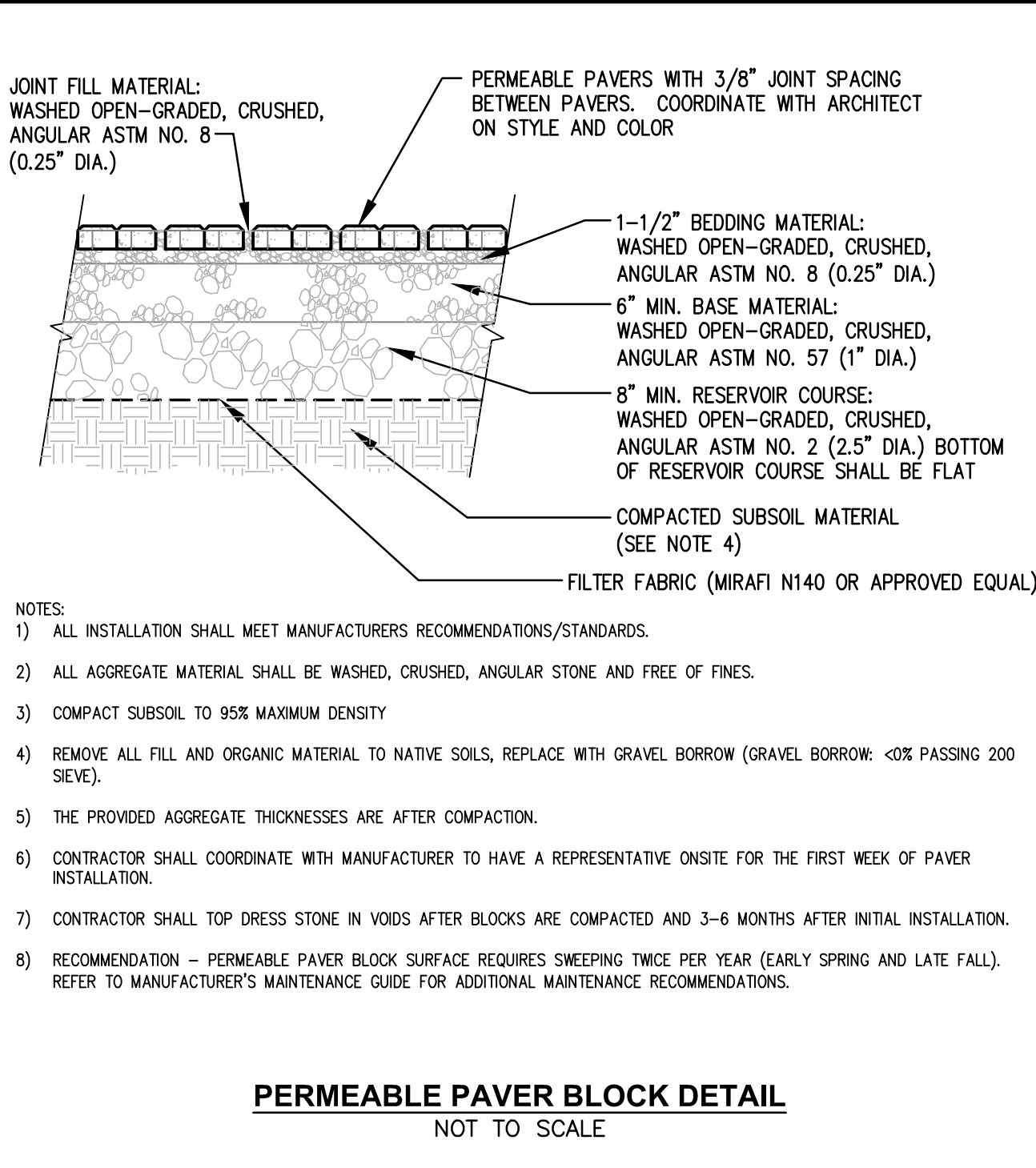
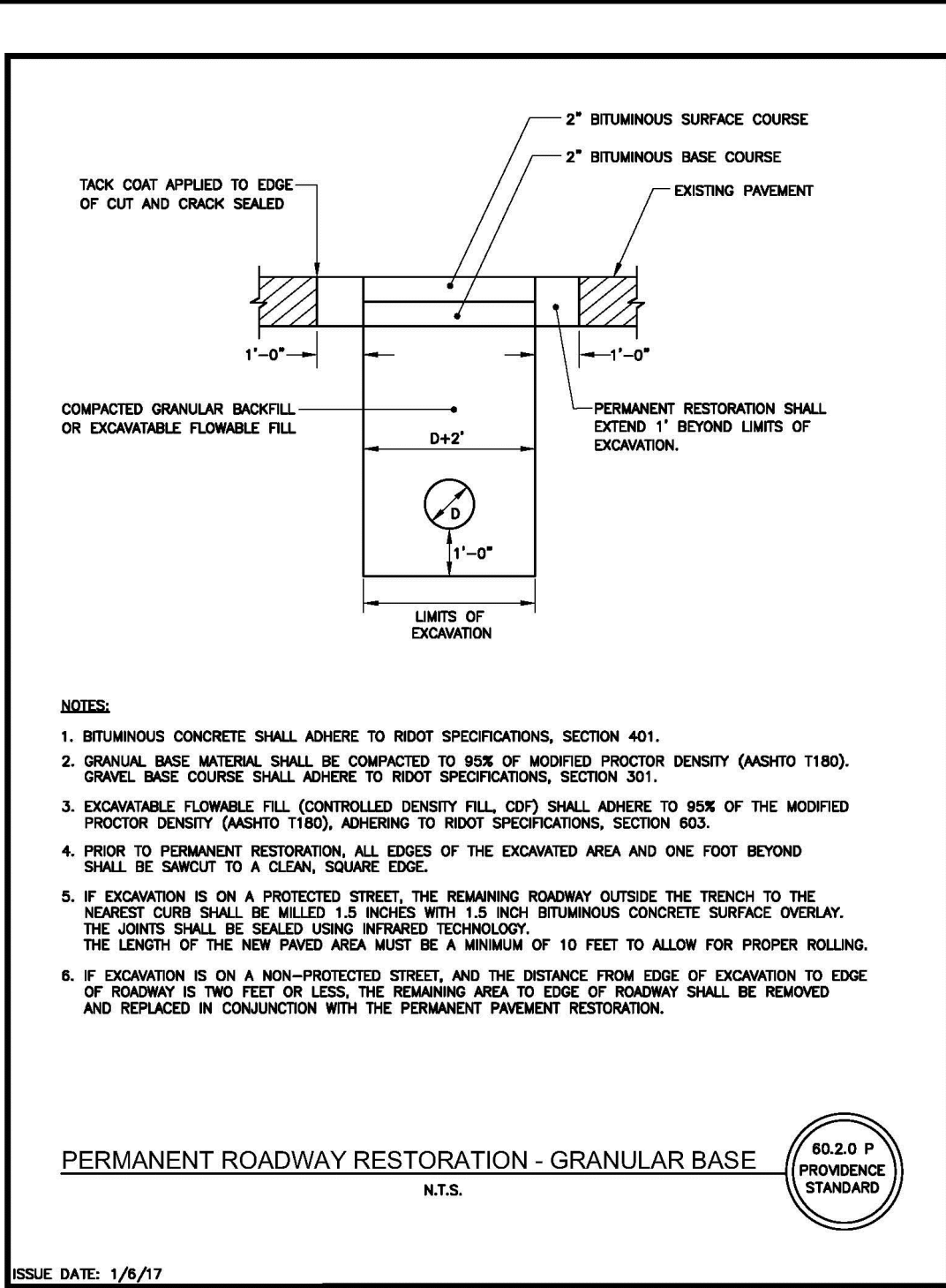
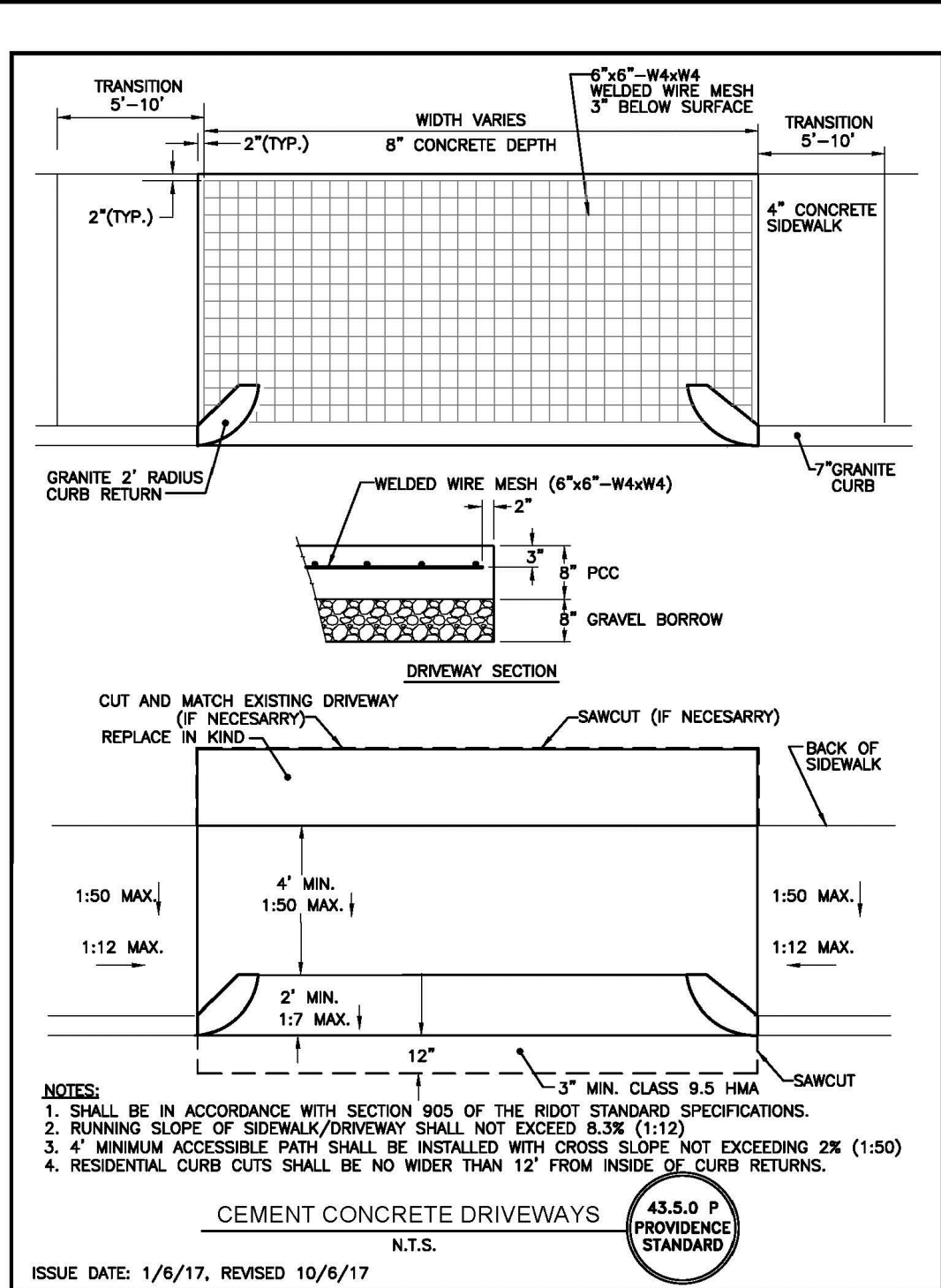
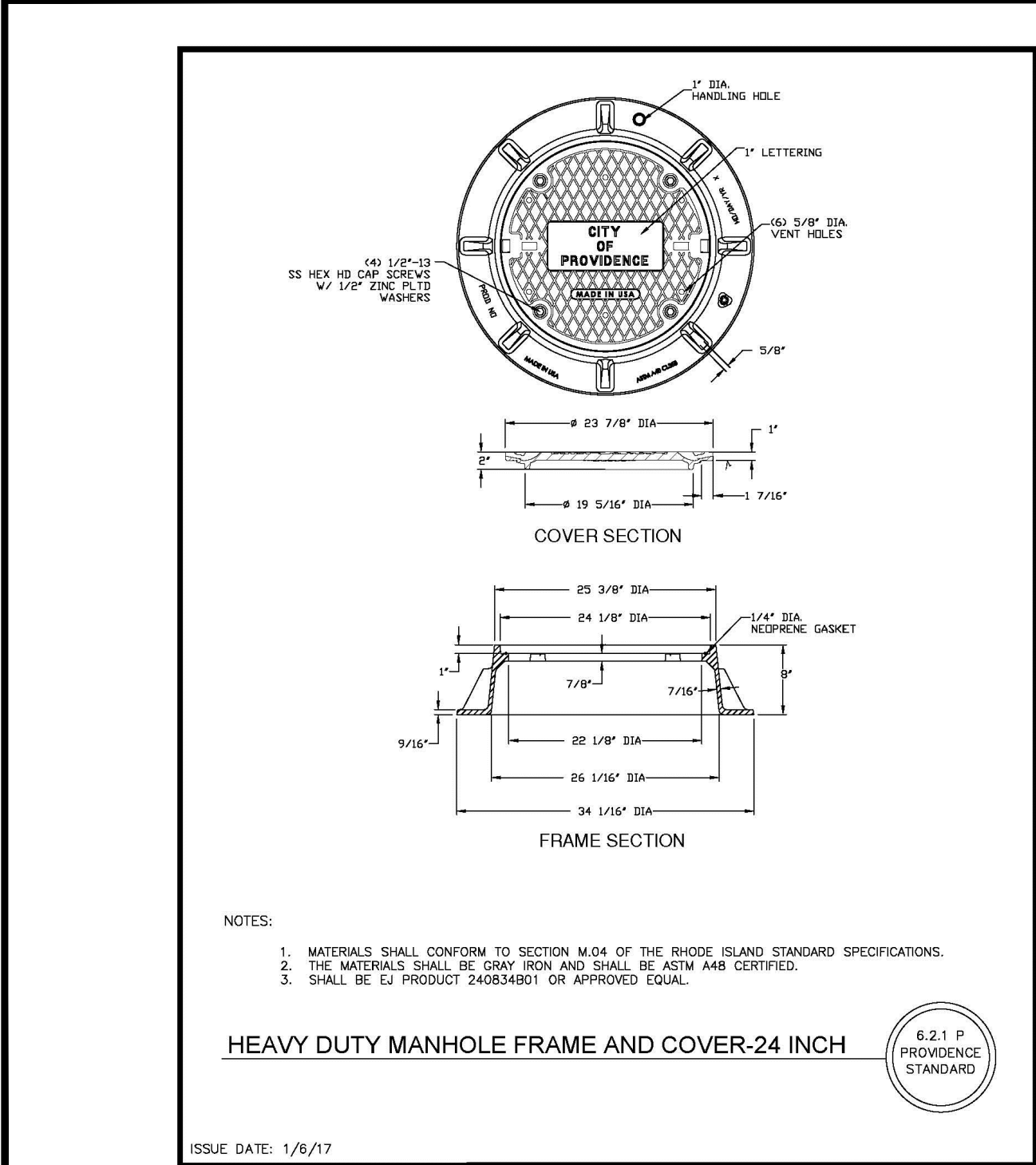
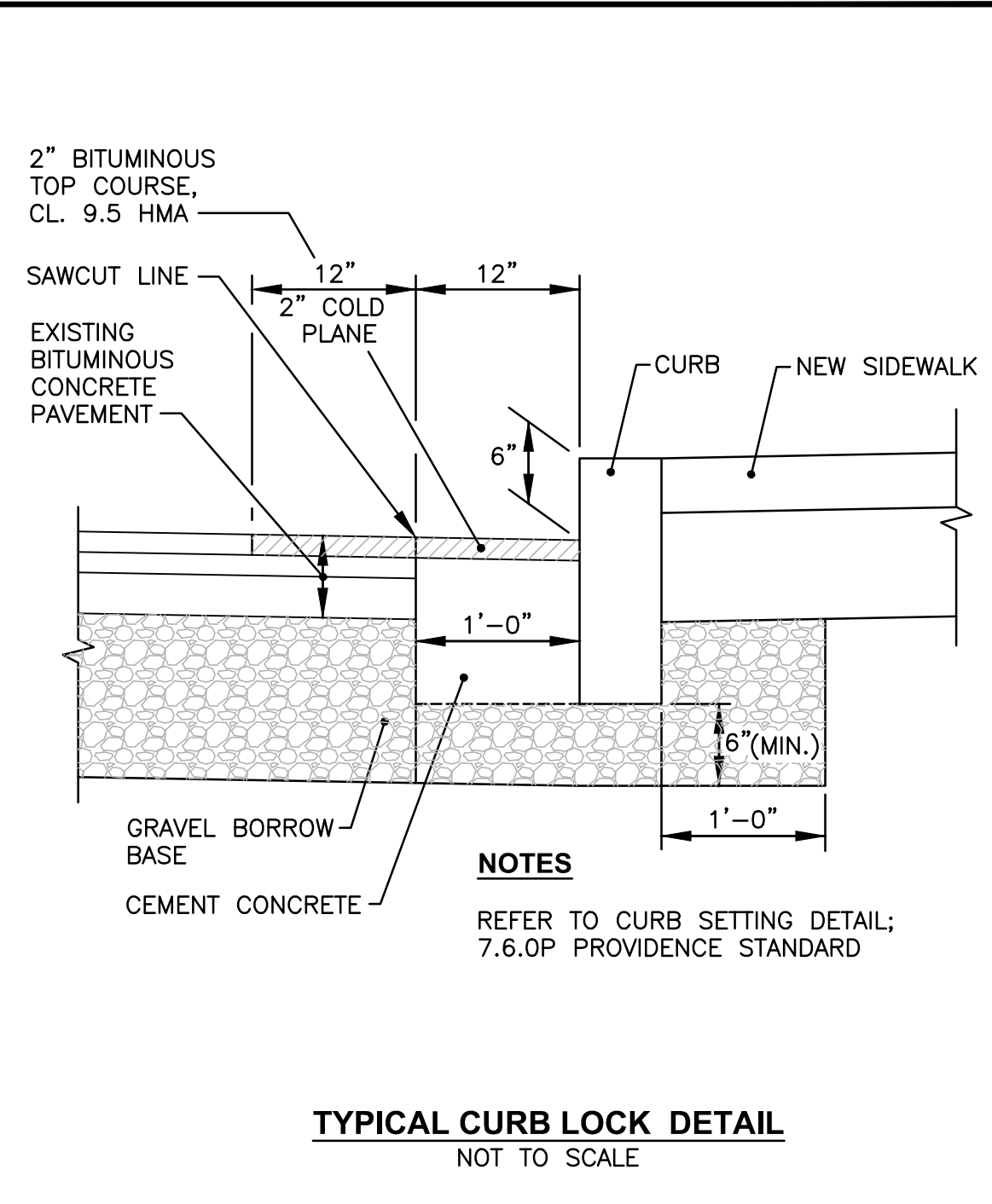
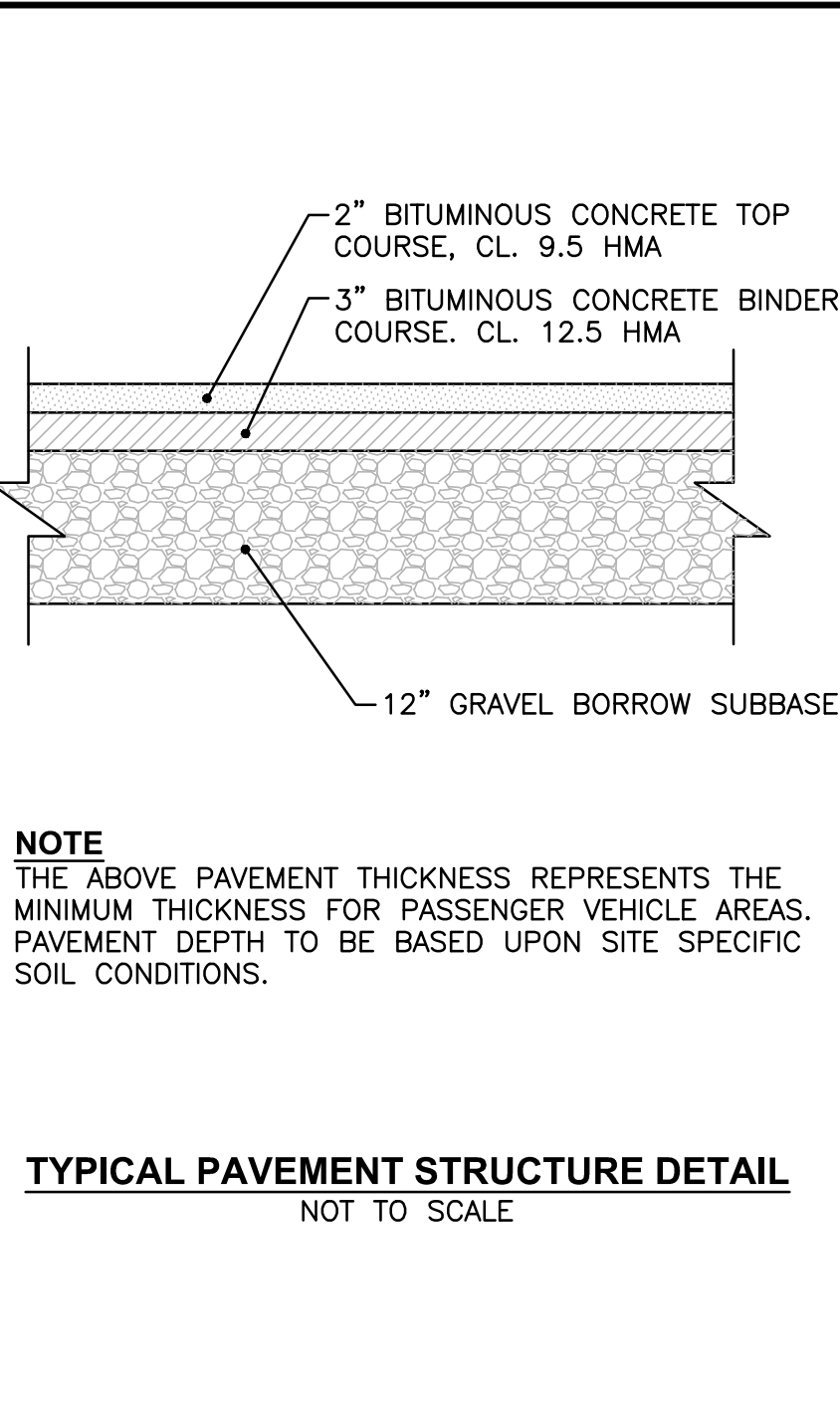
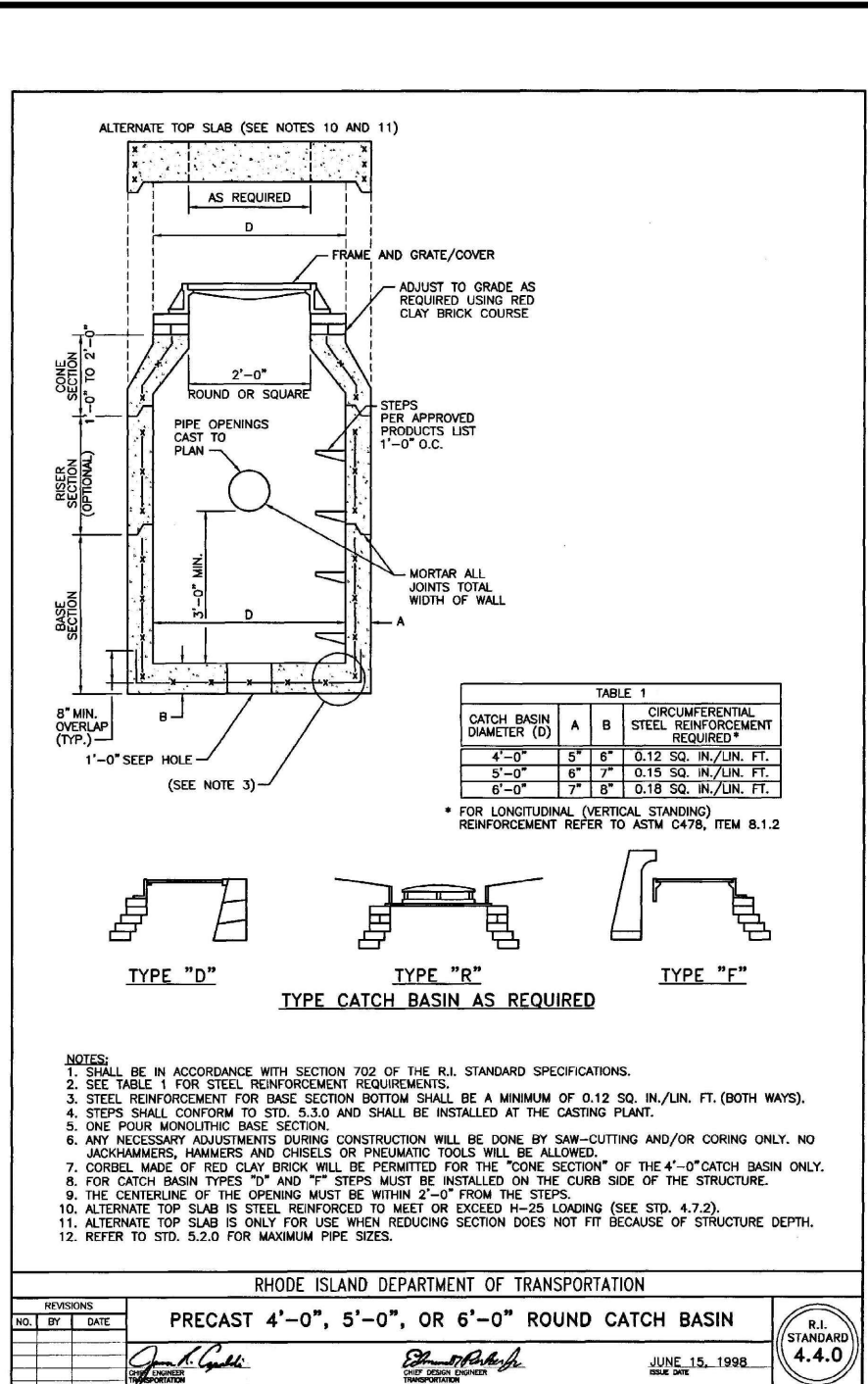
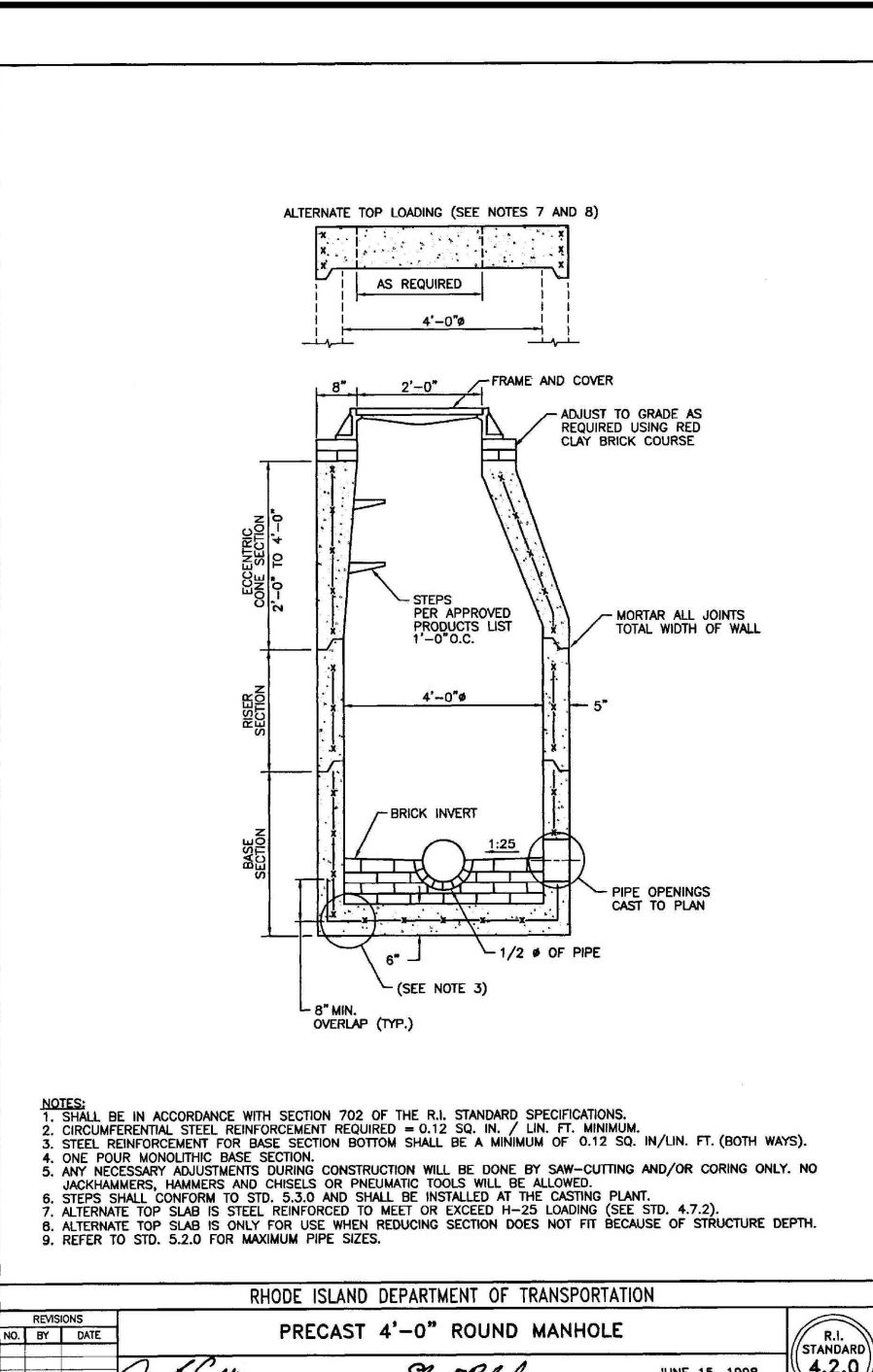
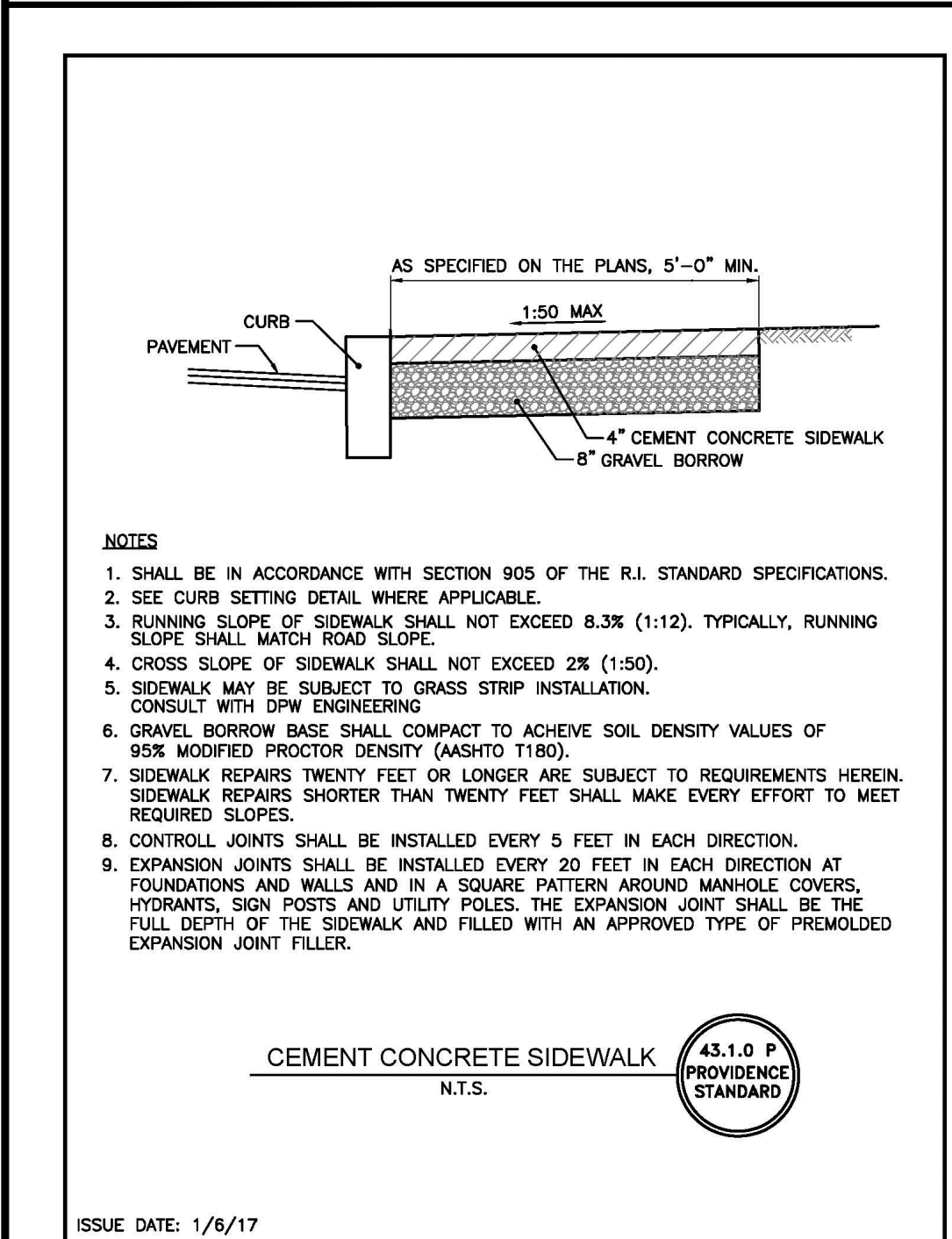
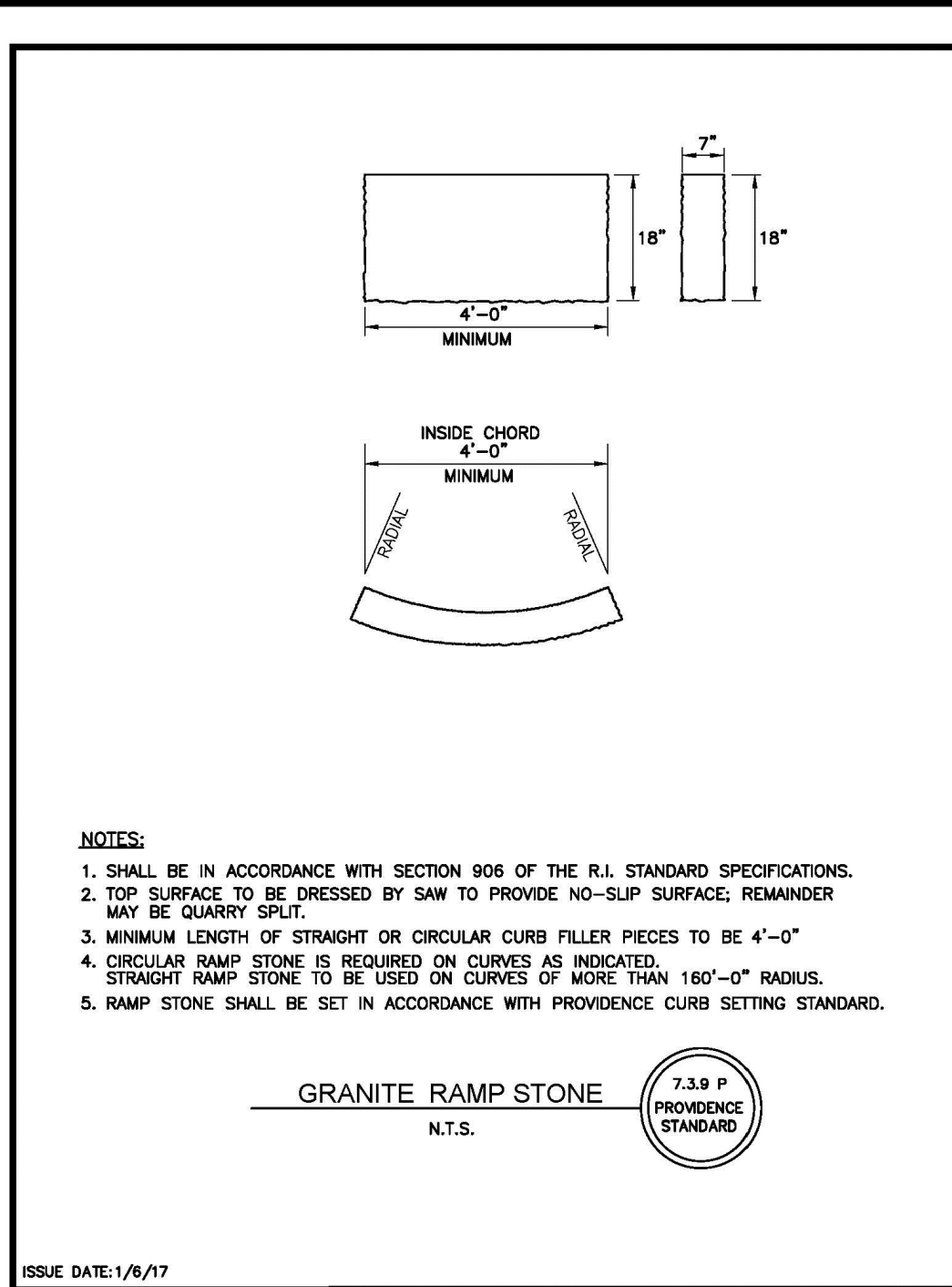
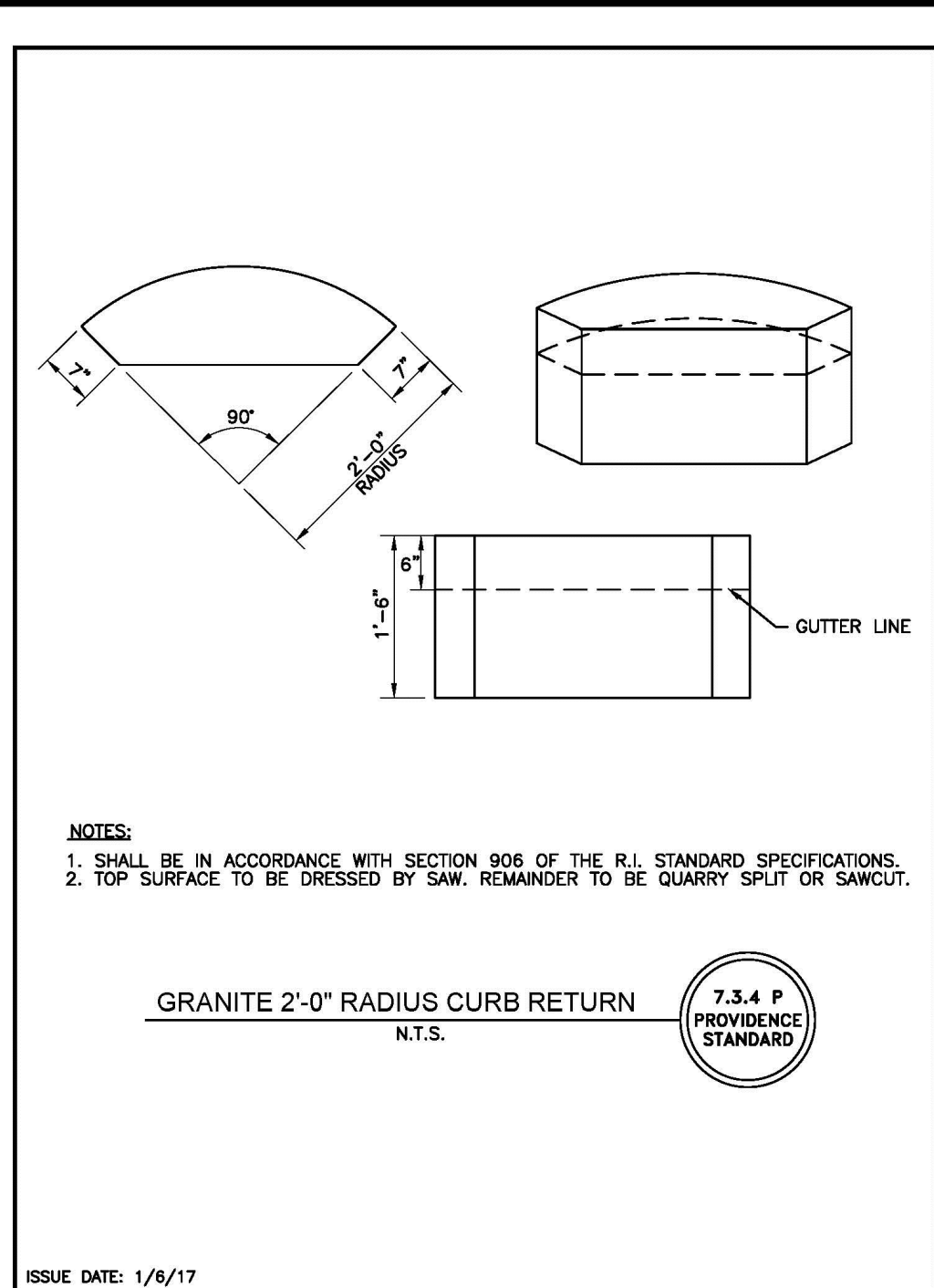
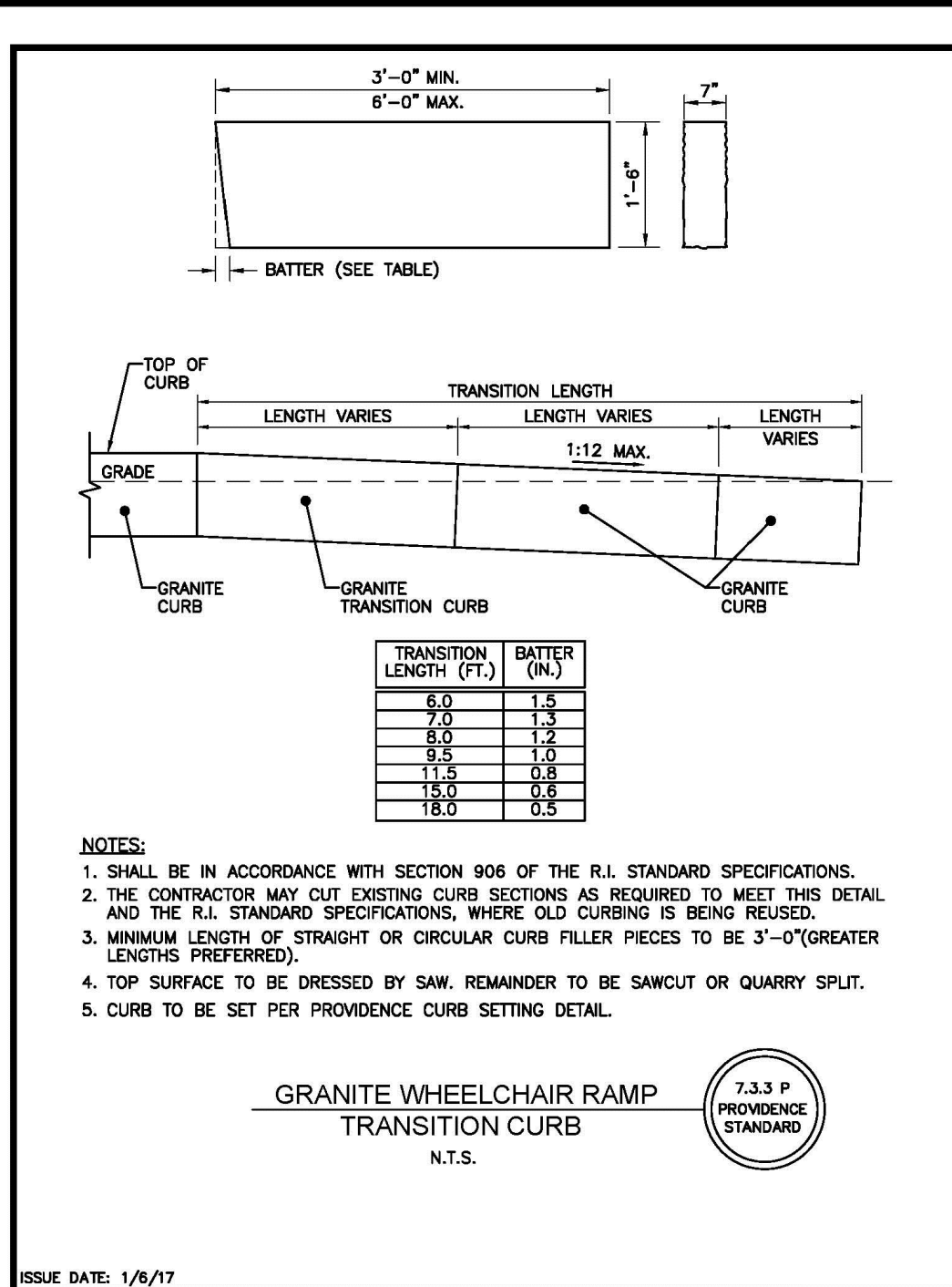
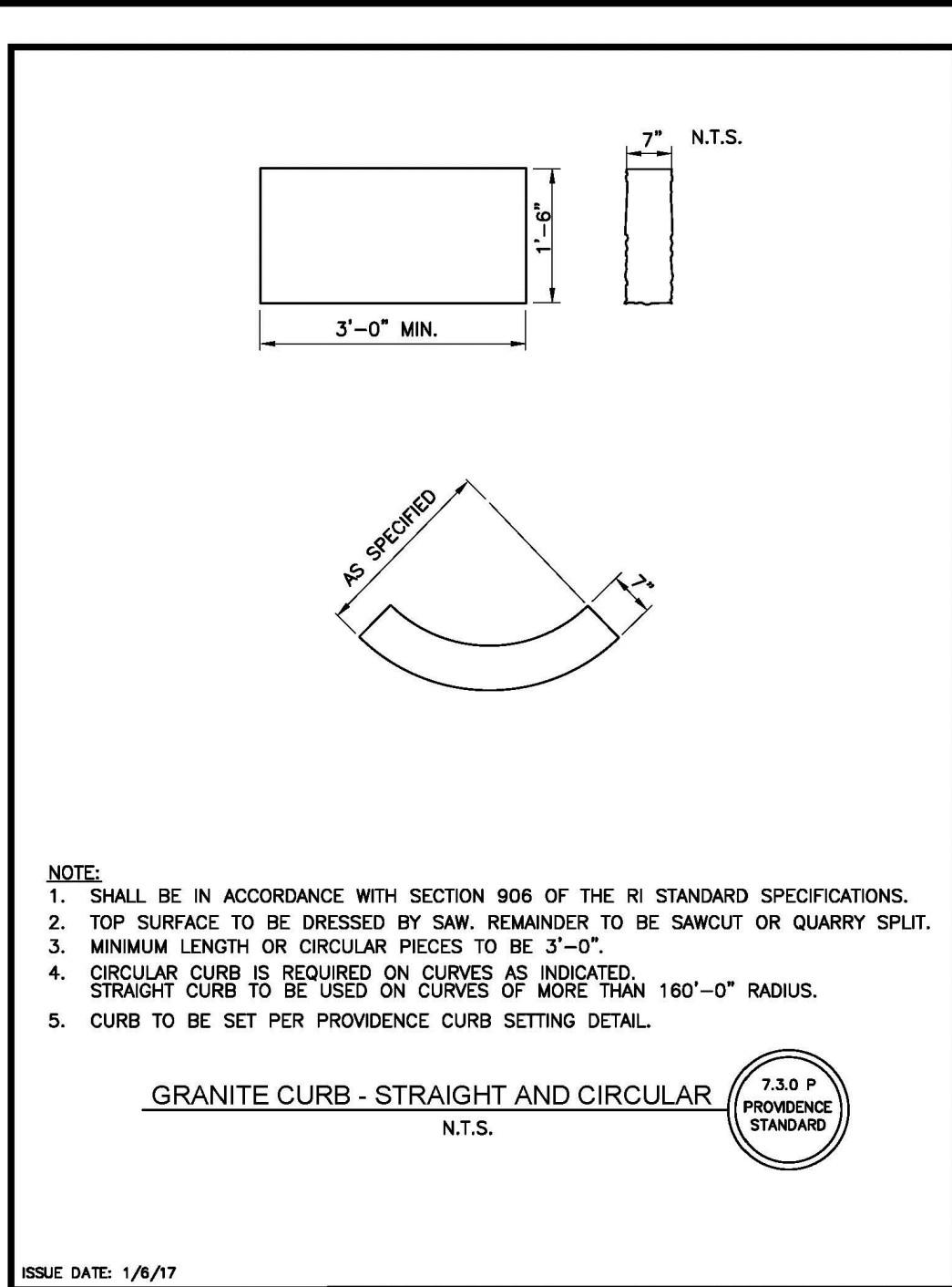
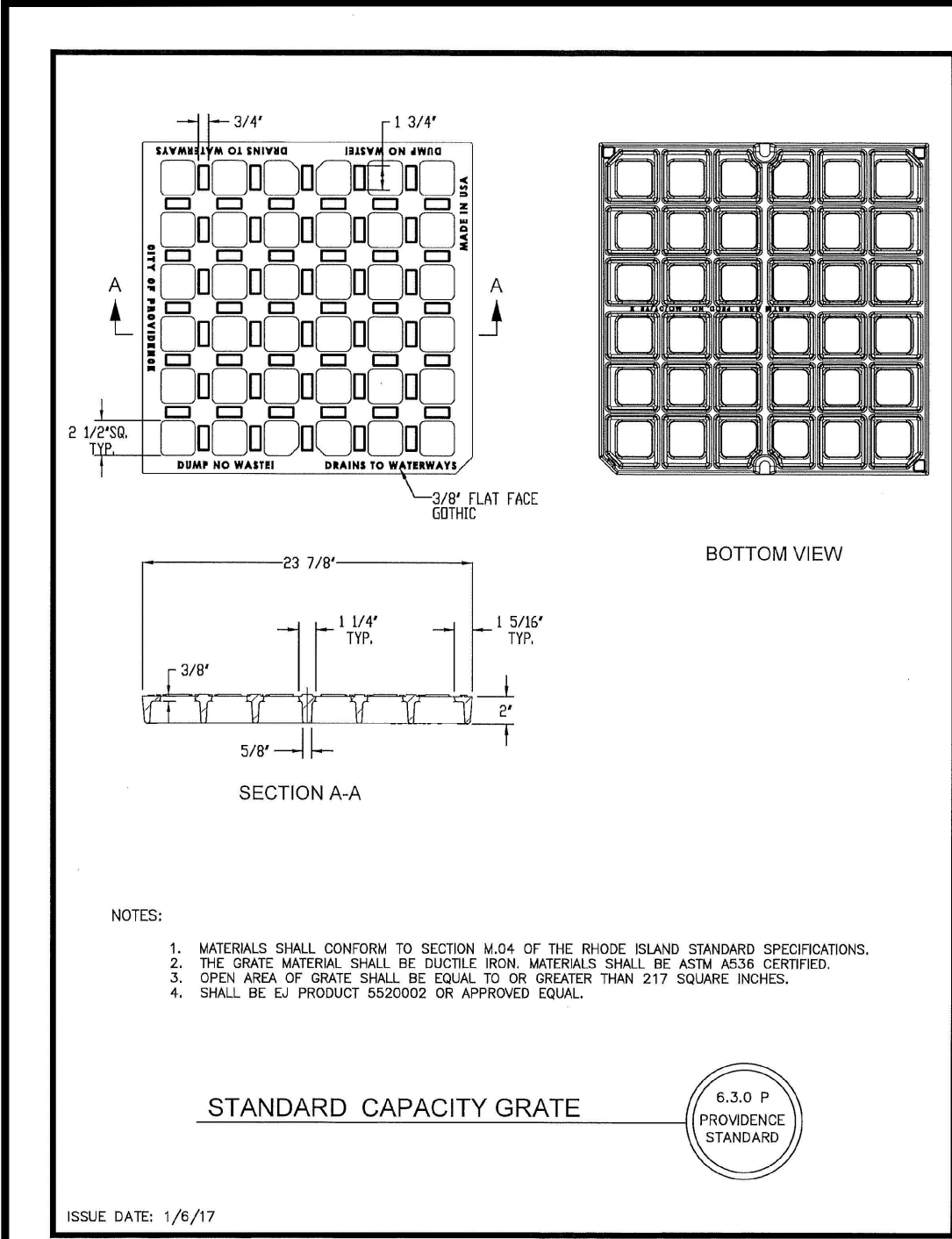
REMARKS

DATE

DRAWING NUMBER

C7

SHEET: 8 OF 11



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PROPERTY OWNER:

MYLES STANDISH ASSOCIATES LP
5 BURLINGTON WOODS, SUITE 103
BURLINGTON, MA 01803

PROJECT TITLE:

WAYLAND CONDOMINIUM DEVELOPMENT

159 WAYLAND AVENUE
PROVIDENCE, RHODE ISLAND

PREPARED FOR:

MYLES STANDISH ASSOCIATES LP
5 BURLINGTON WOODS, SUITE 103
BURLINGTON, MA 01803

DRAWING TITLE:

MISCELLANEOUS DETAILS No. 1

DATE: OCTOBER 2022

SCALE: NO SCALE

DWG. NAME: 2568--09--DET1.dwg

REVISIONS

NUMBER	REMARKS	DATE

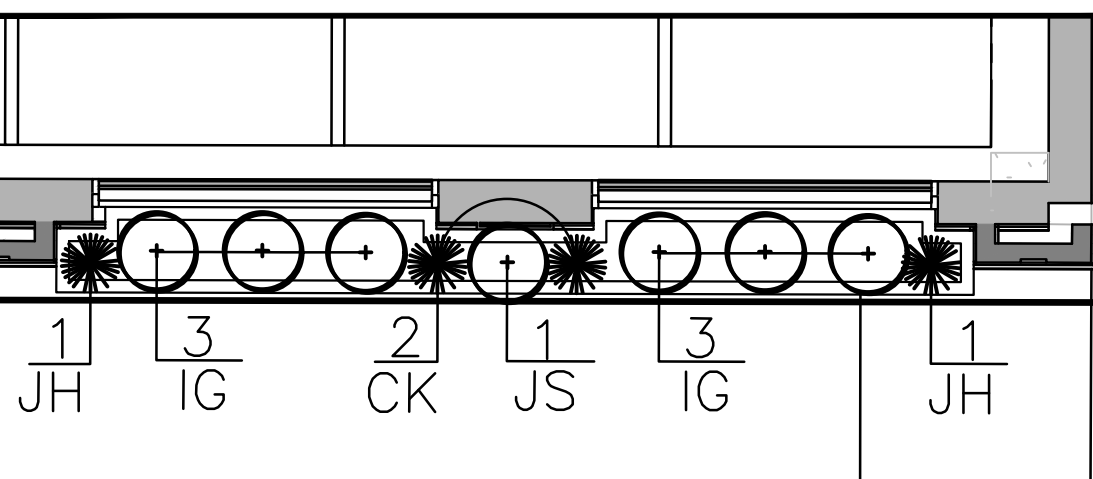
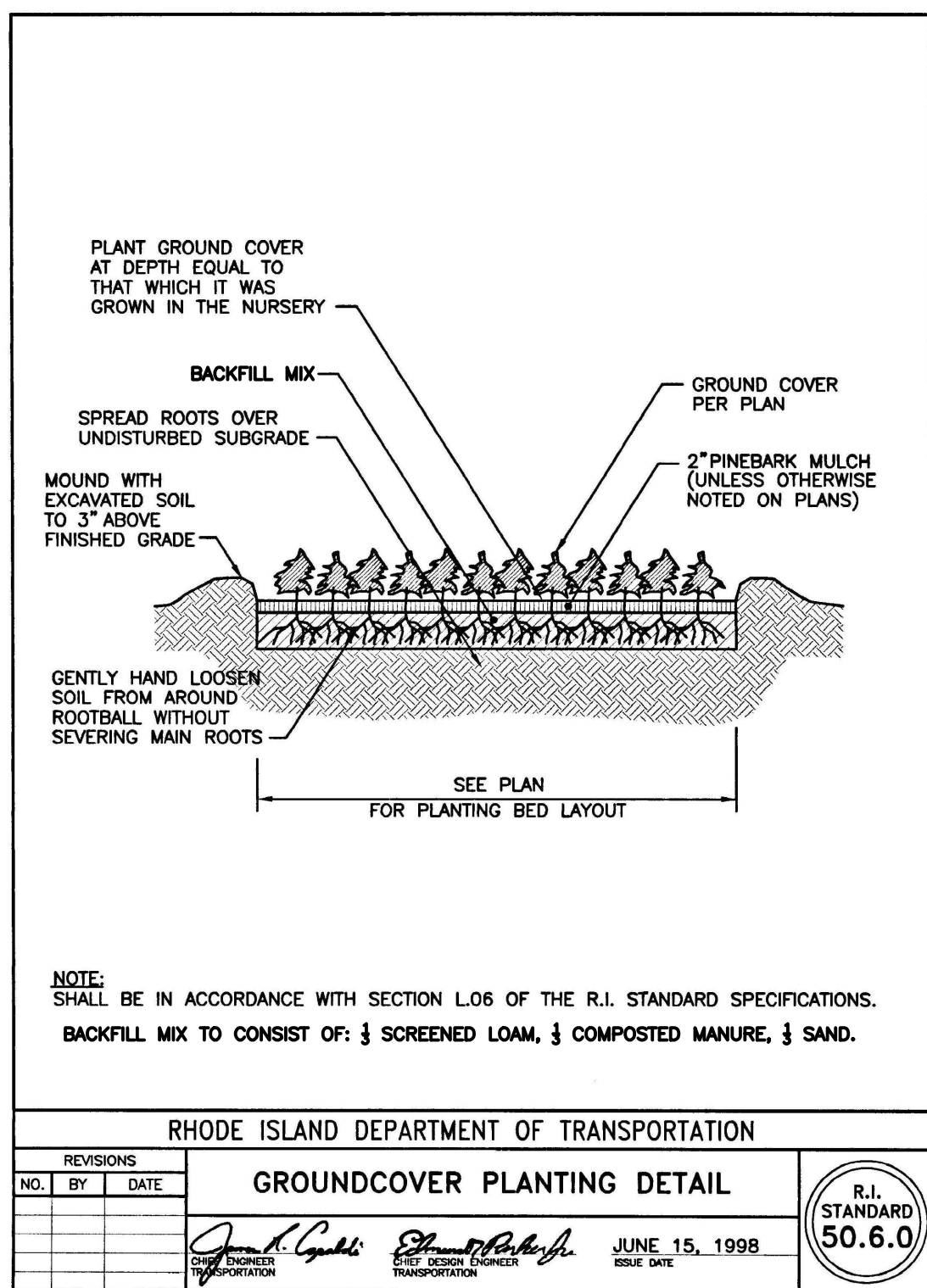
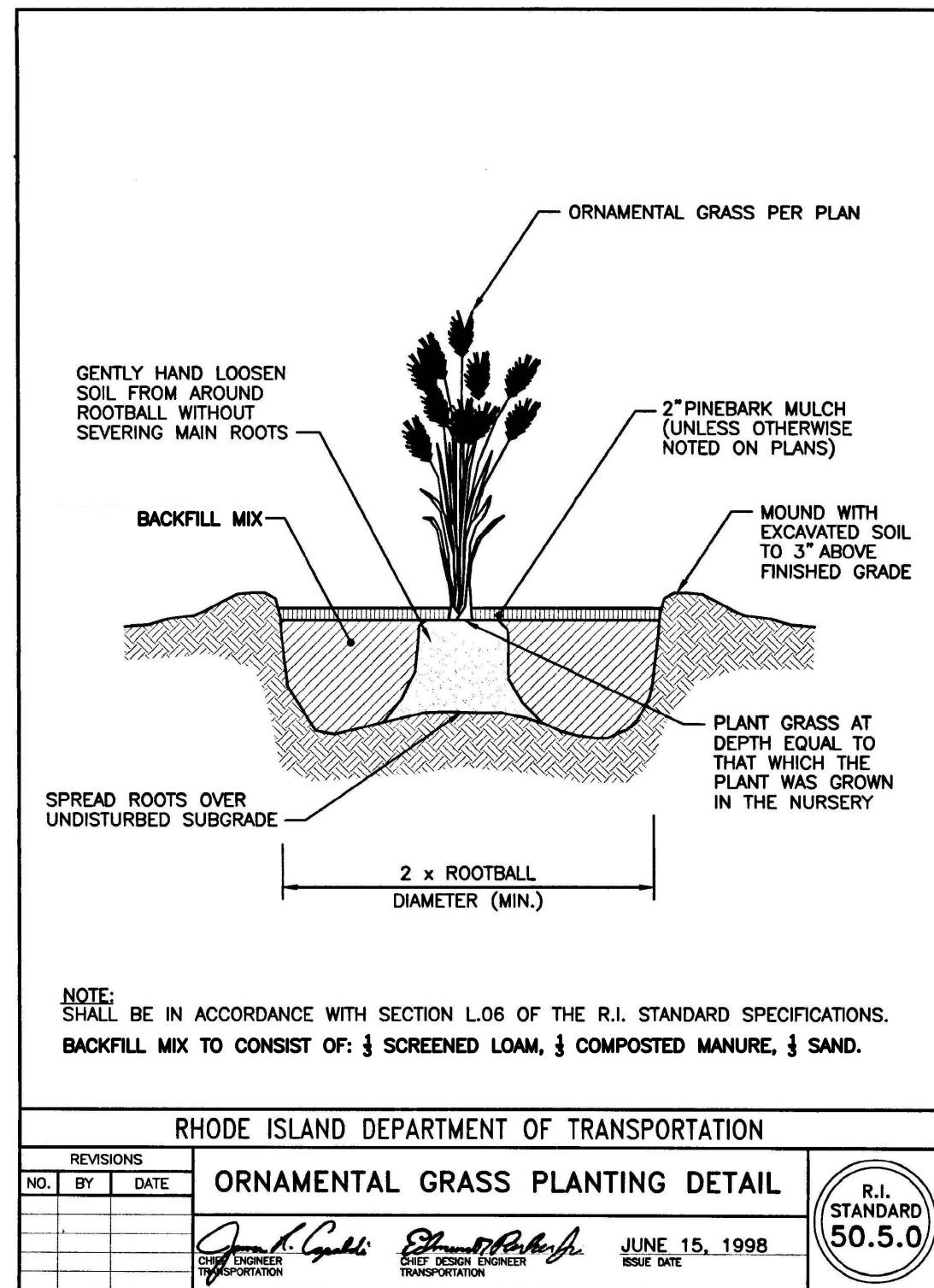
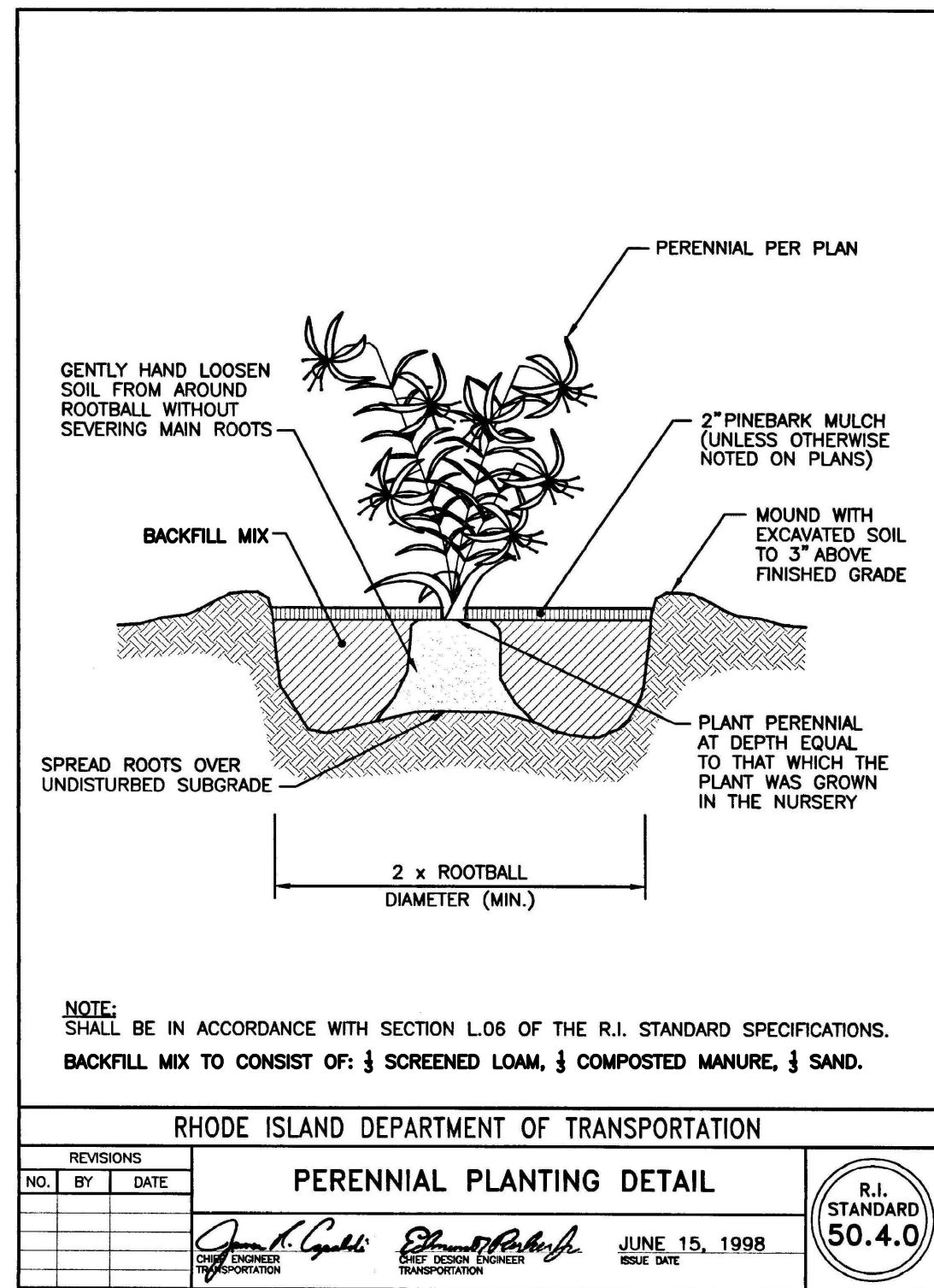
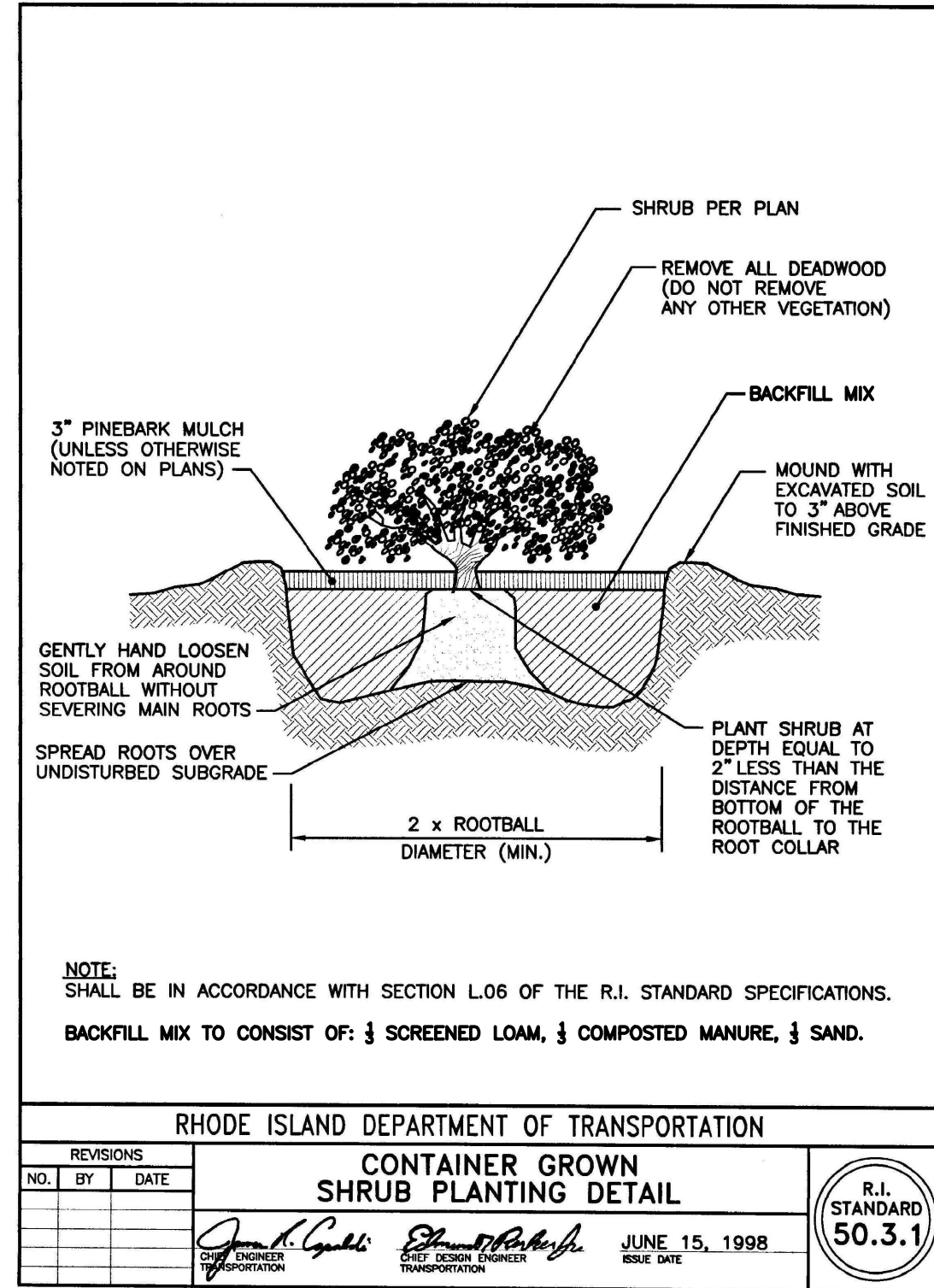
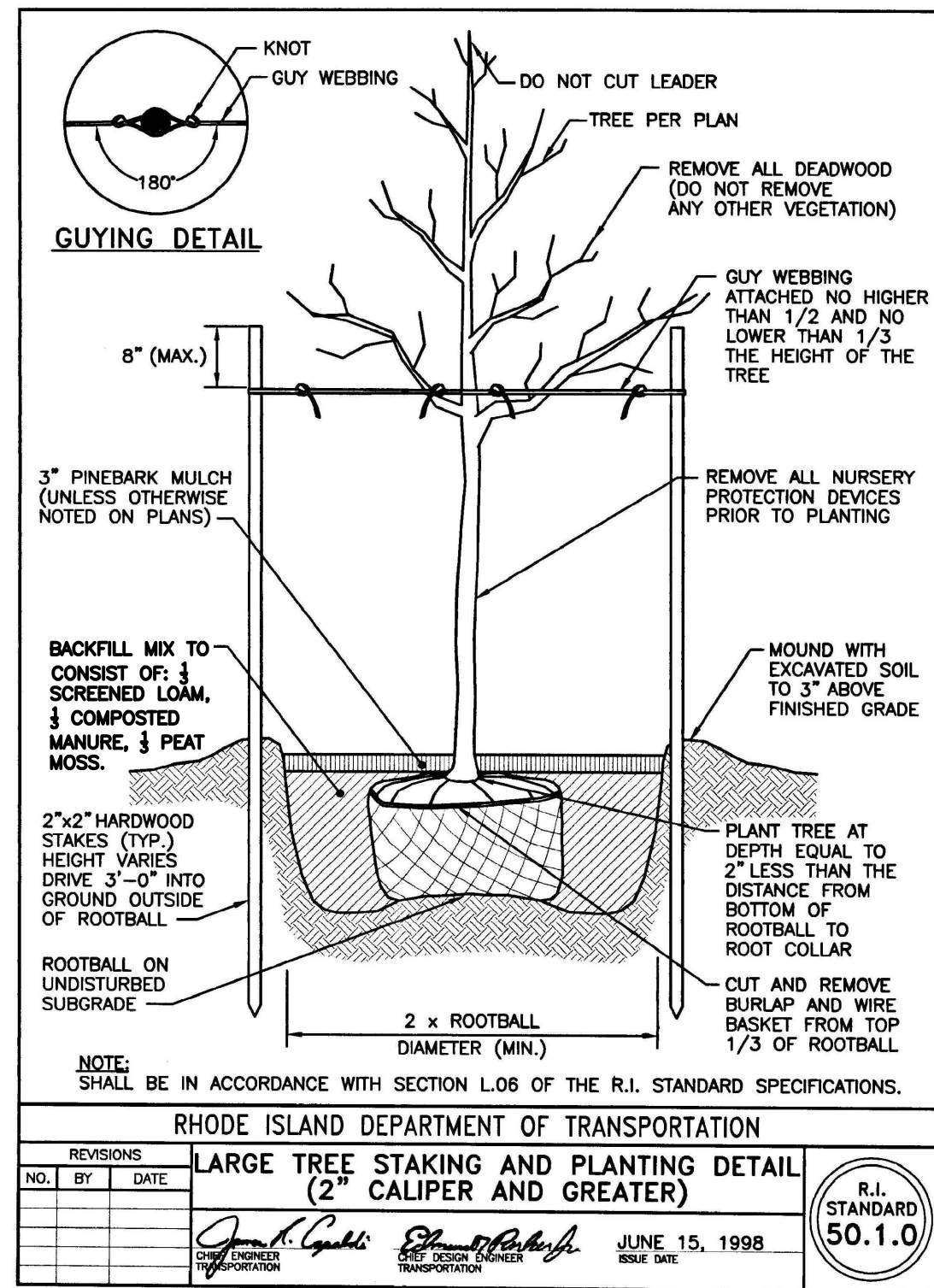
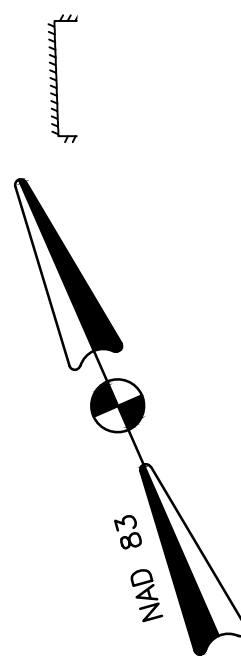
DRAWING NUMBER

C8.1

SHEET: 9 OF 11

WAYLAND AVENUE
(50' PUBLIC)

Existing Parking



Key	QTY	Botanical Name Common Name	Size	Remarks
AM	5	Acer rubrum 'Armstrong' Armstrong Maple	2"-2 1/2"	B&B
CK	6	Calamagrostis x acutiflora 'Karl Foerster' Karl Foerster's Feather Reed Grass	#1	Cont.
IG	18	Ilex glabra 'Shamrock' Dwarf Inkberry	#5	Cont.
JH	6	Juniperus horizontalis 'Blue Chip' Blue Chip Juniper	#1	Cont.
JS	3	Juniperus scopulorum 'Blue Arrow' Blue Arrow Juniper	4'-5'	Cont.
LM	50	Liriope muscari Lilyturf	#1	Cont.

NOTES:

1. THE PROPOSED TREES SHALL BE REVIEWED AND APPROVED BY THE CITY FORESTER.
2. TREE GRATES SHALL BE PROVIDED UPON REQUEST FROM CITY FORESTER.



GRAPHIC SCALE
(IN FEET)
1 inch = 10 ft.

- Civil
- Transportation
- Environmental
- Site Planning
- Surveying
- Permitting
- Landscape Architecture

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PROJECT TITLE:

**WAYLAND CONDOMINIUM
DEVELOPMENT**

**159 WAYLAND AVENUE
PROVIDENCE, RHODE ISLAND**

PREPARED FOR:

MYLES STANDISH ASSOCIATES LP
5 BURLINGTON WOODS, SUITE 103
BURLINGTON, MA 01803

DRAWING TITLE:

LANDSCAPE PLAN

DATE: OCTOBER 2022 SCALE: AS NOTED

DWG. NAME: 2568-11-LAND.dwg

REVISIONS	NUMBER	REMARKS	DATE
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

DRAWING NUMBER

L1

SHEET: 11 OF 11