# SITE PLAN SET

**FOR** 

# WAYLAND CONDOMINIUM DEVELOPMENT

159 WAYLAND AVENUE PLAT 15, LOT 495 **ZONING DISTRICT: C-2** GENERAL COMMERCIAL DISTRICT PROVIDENCE, RHODE ISLAND

**OWNER / APPLICANT** MYLES STANDISH ASSOCIATES LP **5 BURLINGTON WOODS, SUITE 103 BURLINGTON, MA 01803** 

# **ENGINEERS and LAND SURVEYORS**



- Transportation Environmental
- Site Planning Surveying

**CROSSMAN ENGINEERING** 

Rhode Island 151 Centerville Road Warwick, RI 02886 Phone: (401) 738-5660

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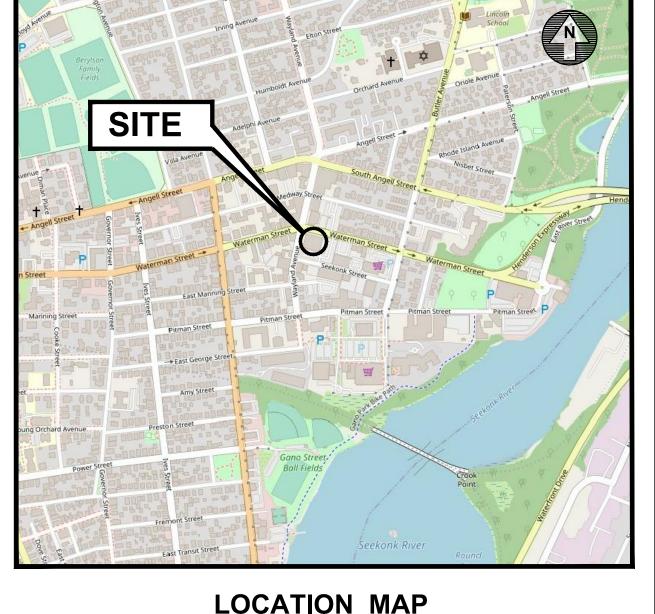
STEVEN M. CABRAL

**ARCHITECT** 

ZDS inc.

2 CHARLES ST, SUITE A1 PROVIDENCE, RI 02904

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(REFERENCE PLAN) **ADMINISTRATIVE SUBDIVISION PLAN** PREPARED BY OCEAN STATE PLANNERS

# **REVISIONS:**

		IXE VISIOI43.
No.:	DATE:	DESCRIPTION:

**OCTOBER 2022** SHEET 1 of 11

#### **GENERAL NOTES**

- 1. THE EXISTING CONDITIONS AND UTILITY INFORMATION REFERENCED IN THIS PLAN SET ARE BASED UPON A SURVEY PLAN PREPARED BY OTHERS (SEE MAP REFERENCE). THE PLANS MAY NOT DEPICT ALL UNDERGROUND UTILITY SYSTEMS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING DRAINAGE AND UTILITIES, BOTH UNDERGROUND AND OVERHEAD, BEFORE EXCAVATION BEGINS IN ACCORDANCE WITH "DIG SAFE PROGRAM LAW" ENACTED BY THE R.I. LEGISLATURE AND BY CONTACTING THE INDIVIDUAL UTILITY COMPANIES. EXCAVATION SHALL BE IN ACCORDANCE WITH ALL STATUTES, ORDINANCES, RULES AND REGULATIONS OF ANY CITY, STATE OR FEDERAL AGENCY THAT MAY APPLY. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- 2. SPECIFICATIONS TO GOVERN THIS PROJECT ARE IDENTIFIED WITHIN THE PROJECT MANUAL AND/OR WITHIN THE RIDOT STANDARD SPECIFICATIONS. THIS INCLUDES, BUT IS NOT LIMITED TO, ALL EXCAVATION, PLACEMENT OF FILL, PIPE INSTALLATION, BITUMINOUS PAVEMENT, CUTTING INTO CATCHBASIN/MANHOLES, CONCRETE AND SAWCUTTING, THE CONTRACTOR SHALL PERFORM THE WORK IN FULL COMPLIANCE WITH THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION (RIDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AMENDED MARCH 2018, WITH LATEST REVISIONS UNLESS OTHERWISE SHOWN ON PLANS. THE "METHOD OF MEASUREMENT" AND "BASIS OF PAYMENT" WITHIN THE R.I.D.O.T. SPECIFICATIONS ARE NOT APPLICABLE. THESE SPECIFICATIONS CAN BE OBTAINED ON-LINE AT:

#### "https://www.dot.ri.gov/business/bluebook.php"

- 3. FOR ALL EXCAVATION AND PLACEMENT OF FILL, THE CONTRACTOR SHALL PERFORM THE WORK IN FULL COMPLIANCE WITH THE R.I. STANDARD SPECIFICATION SECTION 202.
- 4. RHODE ISLAND STANDARDS REFERENCED ARE ACCORDING TO THE STATE OF RHODE ISLAND AND PROVIDENCE PLANTATIONS "RHODE ISLAND STANDARD DETAILS" DATED JUNE 21. 2019 WITH ALL REVISIONS AS PREPARED BY THE DEPARTMENT OF TRANSPORTATION.
- 5. THE CONTRACTOR MUST VERIFY PRIOR TO CONSTRUCTION THAT ALL REQUIRED AUTHORIZATION TO PERFORM WORK HAS BEEN OBTAINED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION OPERATIONS INCLUDING ALL ACTIONS OR OMISSIONS OF ANY SUBCONTRACTORS, AGENTS OR EMPLOYEES. THE CONTRACTOR MUST ENSURE THAT THE CONDITIONS OF ALL PERMITS, SPECIFICATIONS AND FEDERAL, STATE AND LOCAL REGULATIONS ARE STRICTLY ENFORCED. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ASPECTS OF ON-SITE SAFETY INCLUDING ANY DAMAGE TO EXISTING STRUCTURES.
- WORK SHOWN ON THE PLANS FOR WHICH THERE ARE NO PARTICULAR DETAILS OR SPECIFICATIONS DOES NOT RELIEVE THE CONTRACTOR FROM FURNISHING AND INSTALLING THE WORK. THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE CONTRACT DOCUMENTS AND PLANS AND INSPECT THE SITE. THE BID PRICE SHALL INCLUDE ALL LABOR, INCIDENTALS, TOOLS EQUIPMENT, TESTING, SERVICES AND MATERIALS NECESSARY TO COMPLETE THE PROJECT. ANY CHANGES TO THE PROJECT OR THE INSTALLATION OF AN ITEM FOR WHICH NO PARTICULAR DETAIL OR SPECIFICATION WAS PROVIDED MUST BE REVIEWED BY AND MUST BE ACCEPTABLE TO THE ENGINEER AND OWNER.
- 7. CONTRACTOR IS RESPONSIBLE TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY WORK.
- 8. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT PRIOR TO THE INITIATION OF WORK. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS, RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
- 9. ALL DISTURBED AREAS SHALL BE REPLACED IN KIND UNLESS OTHERWISE SHOWN.
- 10. THROUGHOUT THE SITE URBAN FILL AND/OR DEBRIS MAY BE ENCOUNTERED DURING EXCAVATION. THE CONTRACTOR SHALL INCLUDE REMOVAL AND DISPOSAL OF THIS MATERIAL WITHIN THE REQUIRED EXCAVATION AREA, IN THE BID PRICE.
- 11. ALL PROPOSED SIDEWALK RAMPS SHALL HAVE A DETECTABLE WARNING DEVICE (RI STD 48.1.0).
- 12. THE SITE IS NOT WITHIN 200' OF ANY WETLAND AREAS, WATER COURSES OR COASTAL FEATURES.

#### LAYOUT NOTE

THE LAYOUT SHOWN REPRESENTS A GRAPHICAL DESIGN, AND PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL LAND SURVEYOR (PLS) REGISTERED IN THE STATE TO SET AND VERIFY ALL LINES AND GRADES AND PROVIDE A BENCH MARK FOR CONSTRUCTION. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY ITEM FOUND WHICH DOES NOT MATCH THE PLANS MUST BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO CONSTRUCTION FOR REVIEW. NO WORK SHALL PROCEED UNTIL AUTHORIZED BY THE ENGINEER.

# **EXISTING UTILITY NOTES**

- 1. THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY COMPANIES AND LAND OWNER TO OBTAIN THE LOCATION OF ALL UTILITIES PRIOR TO BEGINNING WORK. THE MARKED LOCATIONS SHALL BE PRESERVED BY THE CONTRACTOR DURING THE COURSE OF THE WORK, UNTIL SUCH TIME AS THE ARE NO LONGER NEEDED.
- 2. ALL UTILITIES INTERFERED WITH OR DAMAGED BY THE CONTRACTOR SHALL BE IMMEDIATELY AND PROPERLY RESTORED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL FULLY COMPACT ALL BACKFILL MATERIAL AROUND AND UNDER ALL EXISTING UTILITIES ENCOUNTERED OR CROSSED.
- 3. UNDERGROUND UTILITIES REFERENCED ON THESE PLANS ARE APPROXIMATE AND/OR HAVE BEEN PROVIDED BY OTHERS, (REFER TO THE REFERENCE PLAN BY OCEAN STATE PLANNERS) AND ALSO HAVE BEEN TAKEN FROM SEWER PLAN/PROFILE SHEETS FROM THE CITY OF PROVIDENCE.

#### FLOOD ZONE NOTE

THE SITE IS LOCATED IN ZONE X, AREA OF MINIMAL FLOOD HAZARD, AS NOTED ON THE FEMA FLOOD MAP SERVICE CENTER FOR PROVIDENCE COUNTY, RHODE ISLAND, MAP NUMBER 44007C0309K, MAP REVISED OCTOBER 2, 2015.

#### CONSTRUCTION WITHIN PUBLIC R.O.W

1. ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL CONFORM TO THE CITY STANDARDS. SEE; "https://www.providenceri.gov/wp-content/uploads/2017/04/Providence-DPW-Standard-Details.pdf".

#### MAP REFERENCE

REFERENCE IS MADE TO A PLAN TITLED; ADMINISTRATIVE SUBDIVISION, A.P. 15/LOTS 158 & 158, 230 & 234 WATERMAN STREET, 161 WAYLAND STREET, PROVIDENCE, RI, SCALÉ 1"=10', DATE DECEMBER 23, 2020, PREPARED FOR CAPSTONE PROPERTIES C/O PAUL GRIESINGER, PREPARED BY: OCEAN STATE PLANNERS, INC., 1255 OAKLAWN AVENUE, CRANSTON, RI 02920.

#### PROPOSED PAVEMENT STRUCTURE / ROADWAY TRENCH REPAIR

2" BITUMINOUS CONCRETE TOP COURSE (CL. 9.5 HMA) 3" BITUMINOUS CONCRETE BINDER COURSE (CL. 12.5 HMA) 12" GRAVEL BORROW SUBBASE

#### MAINTENANCE AND PROTECTION OF TRAFFIC NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION. ALL TEMPORARY CONSTRUCTION SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST REVISIONS OF MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.)
- 2. TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE TRAFFIC CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC.
- 3. THE PRIVATE VEHICLES OF CONSTRUCTION WORKERS WILL NOT BE PARKED IN ANY ROADWAY RIGHT-OF-WAY UNLESS AAPROVED BY THE PROVIDENCE DWP.
- 4. ALL MAINTENANCE AND PROTECTION OF TRAFFIC CONTROL SETUPS, SIGNS, CHANNELING DEVICES, ETC., SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, 2009 EDITION, INCLUDING REVISION 2, MAY 2012, AND SUBSEQUENT ADDENDA.
- 5. SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH THE STATE D.O.T. SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.
- 6. THE CONTRACTOR SHALL INCLUDE POLICE DETAILS REQUIRED FOR WORK WITHIN THE CITY RIGHT-OF-WAY, WITIN THE CONTRACT FRICE.
- 7. ROAD OPENING PERMITS SHALL BE OBTAINED BY THE CONTRACTOR.
- 8. COORDINATION WITH THE PROVIDENCE DEPARTMENT OF PUBLIC WORKS IS REQUIRED TO REVIEW ALL WORK IMPACTING SIDEWALKS AND/OR PEDESTRIAN TRAFFIC WITHIN THE CITY R.O.W. THE CONTRACTOR IS RESPONSIBLE FOR ALL SIGNAGE, DETOURS AND TEMPORARY FENCING AROUND SITE REQUIRED DURING CONSTRUCTION. DPW APPROVALS WILL BE REQUIRED FOR SIDEWALK WORK.

#### **UTILITY NOTES**

- 1. THE CONTRACTOR SHALL REVIEW ALL PLANS PREPARED BY THE ARCHITECT, MECHANICAL ELECTRIC AND PLUMBING ENGINEER TO CONFIRM IF ALL EXISTING UTILITY SERVICES SERVICING THE PROPERTY ARE TO REMAIN OR ARE PROPOSED NEW UTILITIES. EXISTING SERVICE UTILITIES NO LONGER REQUIRED SHALL BE CUT AND CAPPED AT THE PROPERTY LINE. COORDINATION WITH THE UTILITY COMPANIES WILL BE REQUIRED.
- 2. THE EXISTING SEWER SERVICE TO THIS SITE WILL BE RE-USED FOR THE PROPOSED BUILDING IMPROVEMENTS. INSTALL A NEW PIPE AND MONITORING MANHOLE IN THE SIDEWALK AT THE CONNECTION POINT ON THE EXISTING SEWER. CONTRACTOR SHALL VIDEO RECORD (CCTV) EXISTING PIPE TO THE MAIN TO CONFIRM SIZE AND CONDITION. COORDINATE WITH ENGINEER.
- 3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT REGARDING REQUIRED FIRE FLOWS TO THE PROPOSED FIRE SPRINKLER SYSTEM. THE CONTRACTOR SHALL CONDUCT A FIRE FLOW TEST ON THE EXISTING WATER SYSTEM TO CONFIRM EXISTING FLOWS AND PRESSURES.
- 4. THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT ON THE REQUIRED DOMESTIC WATER SERVICE SIZE AND PRESSURE REQUIREMENTS.
- 5. THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT ON THE REQUIRED GAS SERVICE SIZE AND PRESSURE REQUIREMENTS. THE CONTRACTOR WILL CONTACT AND APPLY FOR GAS SERVICE FOR THIS SITE, AND IS RESPONSIBLE FOR ROAD CUTS, EXCAVATION, TRENCHING, COMPACTION, AND ROADWAY/SIDEWALK REPAIR.
- PRIOR TO CONSTRUCTION AND AS REQUIRED FOR NEW SERVICES, THE CONTRACTOR MUST PERFORM
  - A. CONFIRM THE EXISTING DEPTHS OF UTILITIES AT ALL PROPOSED CONNECTION POINTS AND POTENTIAL CROSSOVER (CONFLICT) POINTS.
  - B. CONFIRM THE EXTENT OF LEDGE WHICH MAY EXIST IN ALL ANTICIPATED UTILITY TRENCH AREAS. PRIOR TO CONSTRUCTION, THE FINDINGS ARE TO BE REVIEWED BY THE OWNER AND THE ENGINEER. IF NECESSARY, ALTERNATIVES TO MINIMIZE LEDGE REMOVAL AND UTILITY CONFLICTS WILL BE DEVELOPED. NO CONSTRUCTION WILL BE ALLOWED WITHOUT THE OWNER'S AUTHORIZATION.
- 7. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL DIG TEST HOLES TO VERIFY THE ELEVATION AND PIPE MATERIAL OF THE EXISTING WATER, GAS AND SANITARY SERVICES AT THE PROPOSED TIE-IN LOCATION. A TEST PIT IS ALSO REQUIRED ON THE EXISTING SEWER LINE OUTSIDE OF THE PLAT 15 LOT 156 (MCBRIDE'S BUILDING).
- 8. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO TIE-IN OR SERVICE REMOVAL
- 9. THIS UTILITY PLAN DOES NOT REPRESENT THE SITE ELECTRICAL/TELEPHONE/COMMUNICATION SYSTEM DESIGNS. REFER TO ARCHITECTURAL PLANS FOR THE ELECTRIC, TELEPHONE AND CABLE SERVICE LOCATIONS. THE CONTRACTOR SHALL COORDINATE WITH EACH UTILITY COMPANY FOR SERVICE INSTALLATION.
- 10. AS APPLICABLE FOR NEW SERVICE; THE CONTRACTOR MUST LOCATE THE EXISTING WATER MAIN ON WATERMAN STREET TO OBTAIN THE PROPER OUTSIDE DIAMETER TO SIZE THE SLEEVE. THE CONTRACTOR SHALL COORDINATE WITH THE PROVIDENCE SUPPLY BOARD FOR SERVICE APPLICATION AND APPROVALS.
- 11. AS APPLICABLE FOR NEW SERVICE; THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL NEW UTILITY PIPE SIZES INCLUDING WATER, SEWER AND GAS ARE VERIFIED BY THE ARCHITECT PRIOR TO ORDERING PIPE OR RELATED MATERIAL.
- 12. ALL PROPOSED PIPES, CONDUITS, STRUCTURES, FRAMES, COVERS AND GRATES SHALL BE INSTALLED TO MEET H-20 LOADING AND CAPACITY. ALL MATERIAL AND TRENCHING METHODS SHALL CONFORM TO H-20 LOADING CAPACITIES. AS RECOMMENDED BY THE MANUFACTURER. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS/CATALOG CUTS FOR PROPOSED PIPE AND CONDUIT TO ENGINEER FOR APPROVAL.

#### **DEMOLITION NOTES**

- 1. AS APPLICABLE FOR TERMINATING EXISTING SERVICES; THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITY STUBS TO THIS SITE AND PROPERLY PLUG AND CAP STUBS AT THE MAIN. NOTE: IF UTILITY COMPANY ALLOWS CUTTING AND CAPPING EXISTING UTILITY SERVICES THAT ARE NO LONGER NEEDED AT THE CURB LINE, THEN CONTRACTOR SHALL PROVIDE OWNER A CREDIT FOR NOT ENTERING INTO THE ROADWAY FOR TERMINATION AT THE MAIN.
- 2. PRIOR TO REMOVAL OF ANY OVERHEAD POLES AND/OR WIRES THE CONTRACTOR SHALL CONTACT THE ELECTRIC, TELEPHONE, CABLE AND FIRE ALARM COMPANIES.
- 3. THE CONTRACTOR IS RESPONSIBE TO REMOVE AND DISPOSE ALL ITEMS OUTSIDE THE BUILDING FOOTPRINT, INCLUDING BUT NOT LIMITED TO EXISTING PAVEMENT, SIDEWALKS, LIGHT POLES, DEBRIS, BOLLARDS, TREES, UNDERGROUND PIPES AND FENCING ON SITE.
- 4. BUILDING DEMOLITION IS NOT INCLUDED OR REFERENCED IN THIS PLAN SET. REFER TO ARCHITECTUAL PLANS FOR REQUIRED PERMITS, TESTING, REMOVAL AND DISPOSAL REQUIREMENTS FOR THE BUILDING DEMOLITION.

	LEGEND	
<b>EXISTING</b>		PROPOSED
<del></del>	PROPERTY LINE	
	EASEMENT LINE	
	CURB	
-O- <i>No.</i>	UTILITY POLE	
↓ LP	LIGHT POLE	
(Size) D	DRAIN LINE	(SIZE) D
(Size) S	SANITARY SEWER	
	SANITARY FORCE MAIN	
(Size) G	GAS LINE	
<i>1 1/2"</i>	DOMESTIC WATER LINE	
6"W	FIRE SERVICE LINE	
	ELECTRIC/CABLE/TELEPHONE	
MH) DMH	DRAINAGE MANHOLE	<ul><li>DMH</li></ul>
⊞ CB	CATCH BASIN	<b>■</b> CB
SMH	SEWER MANHOLE	
MH EMH	ELECTRIC MANHOLE	
MH 7MH	TELEPHONE MANHOLE	
<sup>′</sup> ∀' Hyd.	HYDRANT	
<b>₩</b> G	WATER GATE	
© <i>GG</i>	GAS GATE	
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	STOCKADE FENCE	
	RETAINING WALL	
	STONE WALL	
	GUARDRAIL	
	GRADE TO DRAIN	<del>X -</del>
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ENV ESS (Size)	TREE	(x)
Tas Nas	BOLLARDS	• BOLLARD
o Bollard	LIMIT OF DISTURBANCE	
	FILTER SOXX	

# **SITE NOTES:**

- 1. THE SITE IS LOCATED AT 230 WATERMAN STREET, PROVIDENCE, RI.
- 2. THE SITE IS LOCATED WITHIN THE C-2 (GENERAL COMMERCIAL DISTRICT) ZONE.
- 3. THE SITE IS NOT LOCATED WITHIN OR ADJACENT TO ANY HISTORICAL OVERLAY ZONES.
- 4. NO WETLANDS ARE LOCATED WITHIN 200' OF THE SITE.

#### **SOILS NOTE (DRAINAGE)**

- 1. REFERENCE IS MADE TO THE ENGINEERING REPORT PREPARED BY PAUL B. ALDINGER & ASSOCIATES, INC. IN JANUARY 2021.
- 2. TWO SOIL BORINGS WERE COMPLETED AT 230 WATERMAN STREET, PROVIDENCE ON DECEMBER 7, 2020. PERTINENT INFORMATION FROM THE REPORT IS PROVIDED BELOW:
- GEOLOGIC SETTING: SURFICIAL GEOLOGY CONSISTS OF KAME TERRACE (SAND AND GRAVEL).
- USDA SOIL CLASSIFICATION: URBAN LAND (Ur) URBAN LAND COMPLEX GENERALLY CONSISTS OF HUMAN TRANSPORTED MATERIAL (HTM), ALSO KNOWN AS FILL, REQUIRING ON SITE ANALYSIS TO ASSESS FOR
- THE GEOTECHNICAL SITE INVESTIGATIONS FOUND THE GROUNDWATER DEPTH 39.5 FEET BELOW GRADE.

#### **TEST PIT NOTES**

- 1. PRIOR TO CONSTRUCTION, ADDITIONAL TEST PITS FOR SOIL EVALUATION WITHIN THE PROPOSED UNDERGROUND STORMWATER SYSTEM IS REQUIRED. CONTRACTOR SHALL COORDINATE WITH
- 2. THE CONTRACTOR SHALL REMOVE ALL PAVEMENT AND FILL WITHIN THE LANDSCAPE AREAS. EXCAVATION AND FILL REMOVAL SHALL BE TO A MINIMUM DEPTH OF 3' BELOW THE PROPOSED UNDERGROUND STORMWATER SYSTEM. BACKFILL AREA WITH BANK RUN GRAVEL.



Civil Transportation Environmental Site Planning Surveying Permitting

Landscape Architectur

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Phone (401) 738-5660 Phone (508) 695-1700

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PROPERTY OWNER:

MYLES STANDISH ASSOCIATES LF 5 BURLINGTON WOODS, SUITE 103 **BURLINGTON, MA 01803** 

PROJECT TITLE:

WAYLAND CONDOMINIUM DEVELOPMENT

159 WAYLAND AVENUE PROVIDENCE, RHODE ISLAND

PREPARED FOR:

MYLES STANDISH ASSOCIATES LP 5 BURLINGTON WOODS, SUITE 103 **BURLINGTON, MA 01803** 

DRAWING TITLE:

**GENERAL NOTES** & LEGEND

OCTOBER 2022 NO SCALE DWG. NAME:

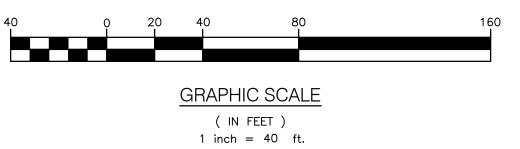
2568-02-NOTES.dwg **REVISIONS** 

NUMBER REMARKS DATE

DRAWING NUMBER

SHEET: 2 OF: 11





SOILS NOTE:
THE PROPERTY IS LOCATED IN SOILS GROUP MU (MERRIMAC-URBAN LAND COMPLEX).



TransportationEnvironmental Site Planning SurveyingPermitting

# Crossman Engineering

Rhode IslandMassachusetts151 Centerville Road103 Commonwealth Avenue Warwick, RI 02886 North Attleboro, MA 02763 **Phone (401) 738-5660** Phone (508) 695-1700

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PROPERTY OWNER:

MYLES STANDISH ASSOCIATES LP 5 BURLINGTON WOODS, SUITE 103 **BURLINGTON, MA 01803** 

PROJECT TITLE:

## WAYLAND CONDOMINIUM **DEVELOPMENT**

159 WAYLAND AVENUE PROVIDENCE, RHODE ISLAND

PREPARED FOR:

MYLES STANDISH ASSOCIATES LP 5 BURLINGTON WOODS, SUITE 103 BURLINGTON, MA 01803

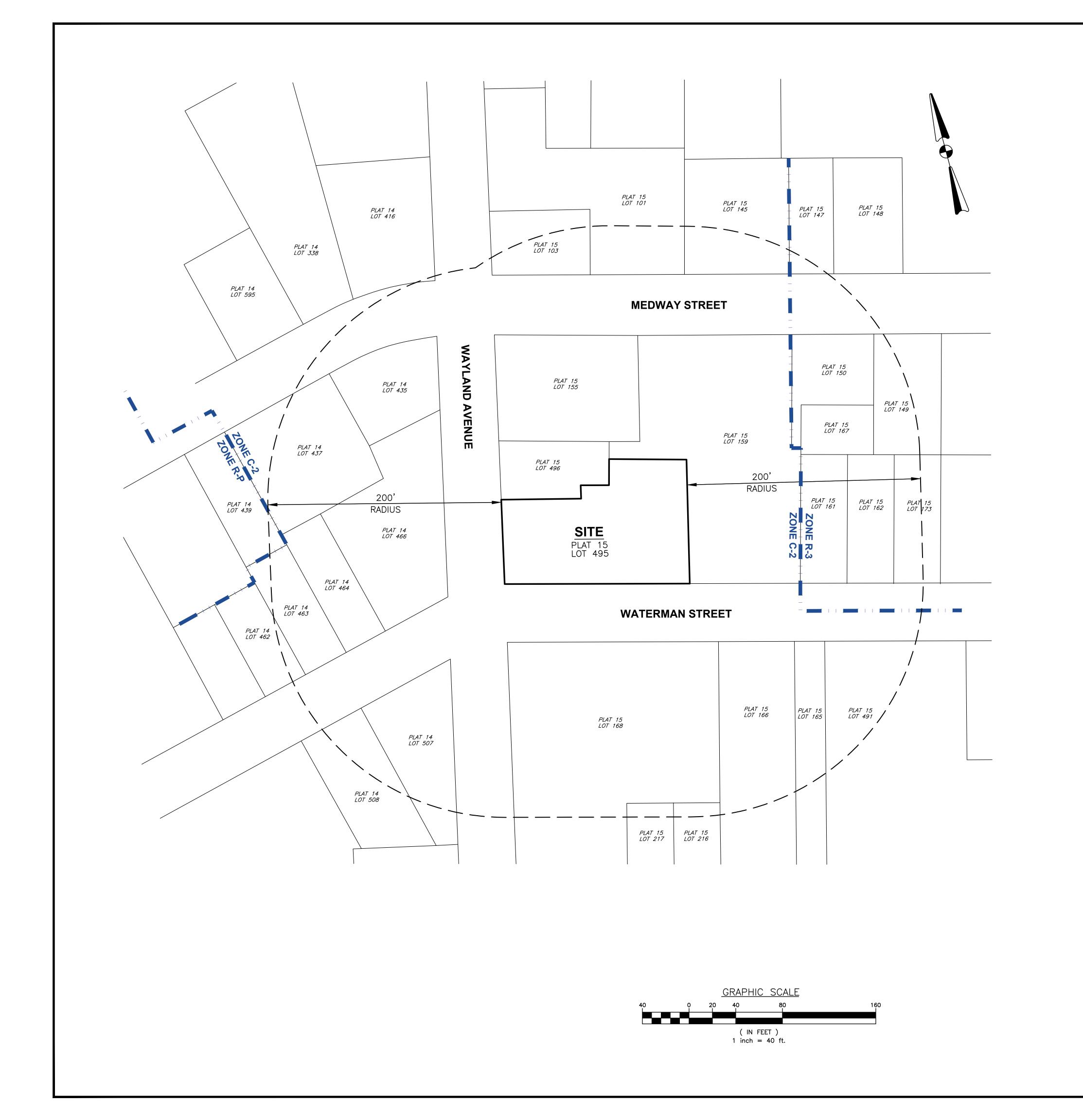
DRAWING TITLE:

**AERIAL MAP** 

1" = 40' OCTOBER 2022

DWG. NAME: 2568-03-AERIAL.dwg

MBER	
	MBER



# LIST OF ABUTTERS WITHIN 200'

(AS OF OCTOBER 2022)

PLAT 14 LOT 338 MYLES STANDISH ASSOCIATES LP C/O CAPSTONE PROPERTIES, INC. 5 BURLINGTON WOODS SUITE 103 BURLINGTON, MA 01803

PLAT 14 LOT 416 WAYMED REALTY P.O. BOX 603200 PROVIDENCE, RI 02906

PLAT 14 LOT 435 SQUAREWAY ASSOCIATES P.O. BOX 603200 PROVIDENCE, RI 02906

PLAT 14 LOT 437 BROMLEY REAL ESTATE CORPORATION 111 MEDWAY STREET PROVIDENCE, RI 02906

PLAT 14 LOT 439 REGIONAL COMMERCIAL PROPERTIES C/O PLAZA ONE FIFTEEN, LLC 3 PAMDEN LANE SEEKONK, MA 02771

PLAT 14 LOT 462 RIVER COMPANY LLC C/O GREGORY WEISS 220 WATERMAN STREET PROVIDENCE, RI 02906

PLAT 14 LOT 463 FEDERAL HOME LOAN 8200 JONES BRANCH DRIVE MCLEAN, VA 22102

PLAT 14 LOT 464 LMT REALTY 1090 NEW LONDON AVENUE CRANSTON, RI 02920

PLAT 14 LOT 466 SQUAREWAY ASSOCIATES P.O. BOX 603200 PROVIDENCE, RI 02906

PLAT 14 LOT 507 RUGGIERI FAMILY REAL ESTATE LLC 160 WAYLAND AVENUE

PLAT 14 LOT 508 FILI INVESTMENT LLC 441 ANGELL STREET PROVIDENCE, RI 02906

PROVIDENCE, RI 02906

PLAT 14 LOT 595 SQUAREMED ASSOCIATES LLC 5 BURLINGTON WOODS BURLINGTON, MA 01873

PLAT 15 LOT 101 WAYSQUARE ASSOCIATES LP 101 PLAIN STREET, 4TH FLOOR PROVIDENCE, RI 02903

PLAT 15 LOT 103 WAYSQUARE ASSOCIATES LP 101 PLAIN STREET, 4TH FLOOR PROVIDENCE, RI 02903

PLAT 15 LOT 145 GREAT LLC 10 ELMGROVE AVENUE PROVIDENCE, RI 02906

PLAT 15 LOT 147 SARA M. HIEBNER 150 MEDWAY STREET PROVIDENCE, RI 02906

PLAT 15 LOT 148 (156 MEDWAY ST. #1) ALEXANDER S.D. MACKENZIE & LOUANNÉ B. MACKENZIE 156 MEDWAY STREET, UNIT #1 PROVIDENCE, RI 02906

PLAT 15 LOT 148 (156 MEDWAY ST. #2) BETH A. HURT, TRUSTEE & ROBERT H. HURT, TRUSTEE 156 MEDWAY STREET, UNIT #2 PROVIDENCE, RI 02906

PLAT 15 LOT 149 (163 MEDWAY ST. #1)

M. KENNETH CRUISÈ 163 MEDWAY STREET, UNIT #1 PROVIDENCE, RI 02906

PLAT 15 LOT 149 (165 MEDWAY ST. #2) MARGARET WALSH 165 MEDWAY STREET, UNIT #2 PROVIDENCE, RI 02906

PLAT 15 LOT 150 PROSPECT STREET LLC C/O GREGORY WEISS 220 WATERMAN STREET PROVIDENCE, RI 02906

PLAT 15 LOT 155

ONE SEVENTY NINE WAYLAND LLC C/O CAPSTONE PROPERTIES, INC. 5 BURLINGTON WOODS, SUITE 103 BURLINGTON, MA 01803

PLAT 15 LOT 159 WAYLAND SQUARE PARKING CORP. 210 TAUNTON AVE EAST PROVIDENCE, RI 02914

PLAT 15 LOT 161 ANGELA SANTOS & CYNTHIA J. SOLOMON 242 WATERMAN STREET PROVIDENCE, RI 02906

PLAT 15 LOT 162 DAOU PROPERTY MANAGEMENT 168 ELMGROVE AVE PROVIDENCE, RI 02906

PLAT 15 LOT 165 229 WATERMAN REALTY LLC 56 PINE STREET, 3 FL, SUITE 20 PROVIDENCE, RI 02903

PLAT 15 LOT 166 229 WATERMAN REALTY LLC 56 PINE STREET, 3 FL, SUITE 20 PROVIDENCE, RI 02903

PLAT 15 LOT 167 PROSPECT STREET LLC C/O GREGORY WEISS 220 WATERMAN STREET PROVIDENCE, RI 02906

PLAT 15 LOT 168 229 WATERMAN REALTY LLC 56 PINE STREET, 3 FL, SUITE 20 PROVIDENCE, RI 02903

PLAT 15 LOT 173 JOAN MATHIEU 248 WATERMAN STREET PROVIDENCE, RI 02906

PLAT 15 LOT 216 229 WATERMAN REALTY LLC 56 PINE STREET, 3 FL, SUITE 20 PROVIDENCE, RI 02903

PLAT 15 LOT 217 229 WATERMAN REALTY LLC 56 PINE STREET, 3 FL, SUITE 20 PROVIDENCE, RI 02903

PLAT 15 LOT 491 BLISS PLACE BUILDING ASSOCIATES 245 WATERMAN STREET PROVIDENCE, RI 02906

PLAT 15 LOT 496 MONAHAN PROPERTIES LLC 161 WAYLAND AVENUE PROVIDENCE, RI 02906



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PROPERTY OWNER:

MYLES STANDISH ASSOCIATES LP **5 BURLINGTON WOODS, SUITE 103 BURLINGTON, MA 01803** 

PROJECT TITLE:

# WAYLAND CONDOMINIUM **DEVELOPMENT**

**159 WAYLAND AVENUE** PROVIDENCE, RHODE ISLAND

PREPARED FOR:

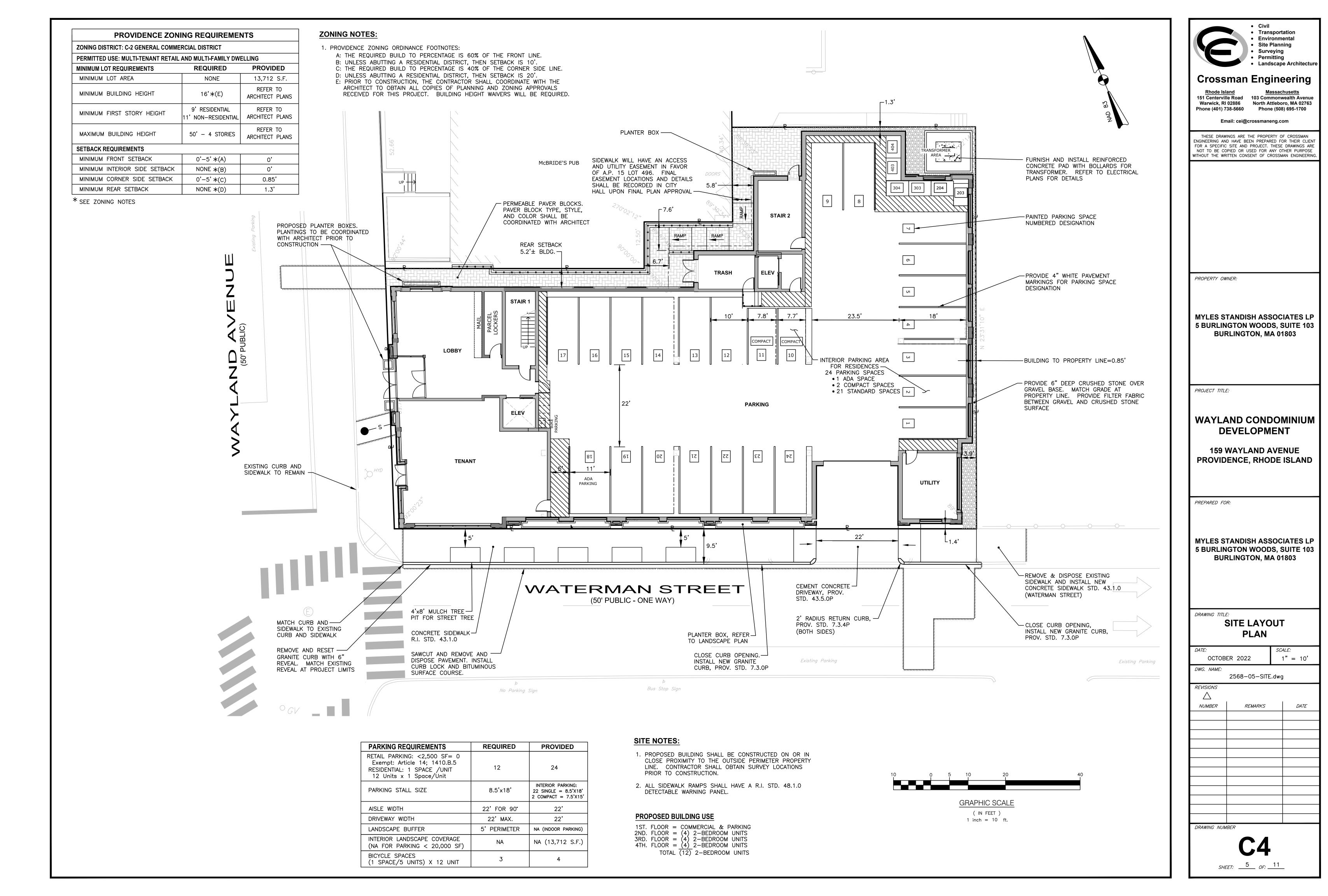
**MYLES STANDISH ASSOCIATES LP 5 BURLINGTON WOODS, SUITE 103 BURLINGTON, MA 01803** 

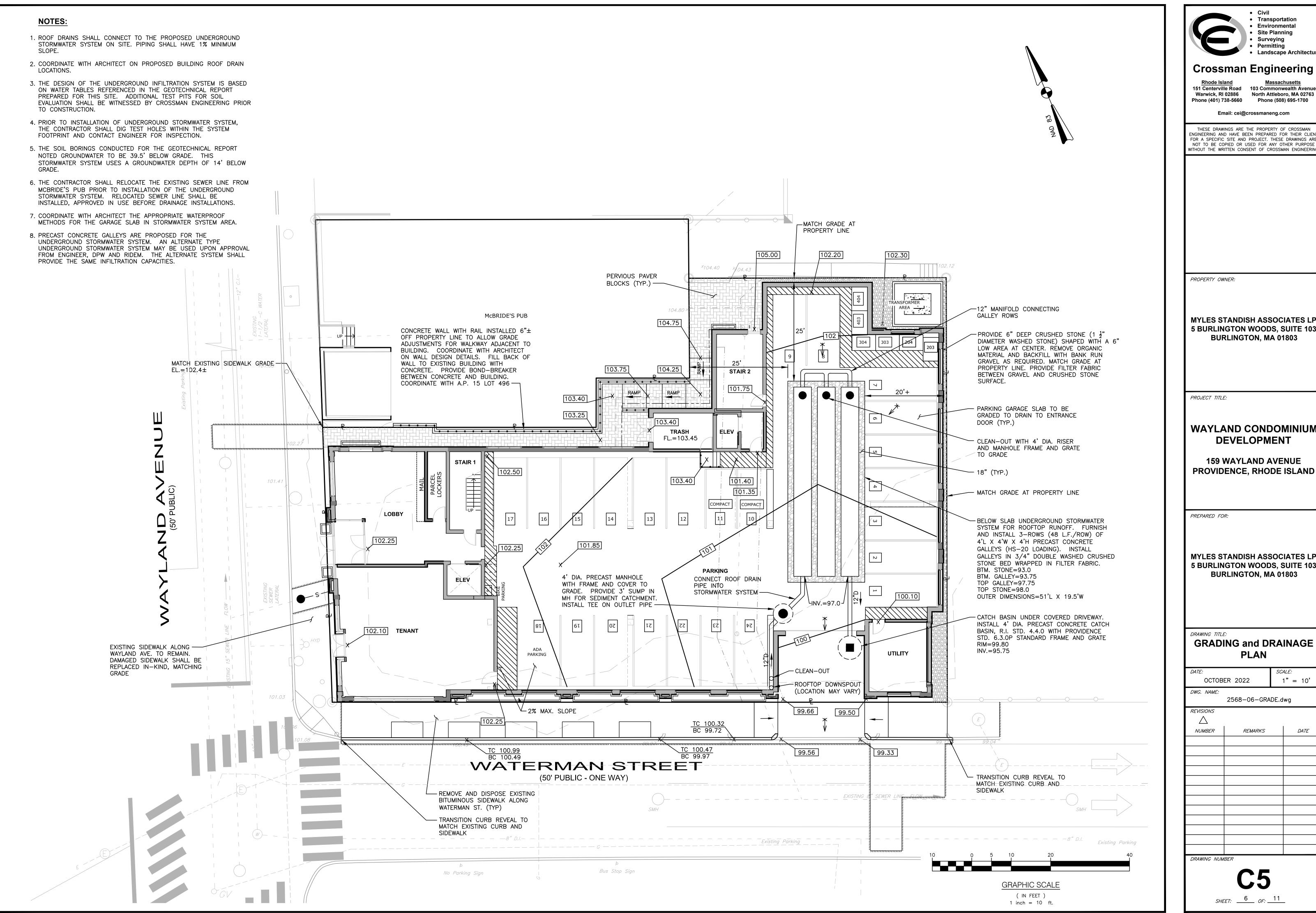
DRAWING TITLE:

200' RADIUS MAP

DATE:	SCALE:
OCTOBER 2022	1" = 4
<i>DWG. NAME:</i> 2568-04-RADIU	JS.dwg
REVISIONS  NUMBER REMARKS	J 774

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NUMBER	REMARKS	DATE
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 Transportation Environmental Site Planning Surveying Permitting

Landscape Architecture

Email: cei@crossmaneng.com

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WAYLAND CONDOMINIUM

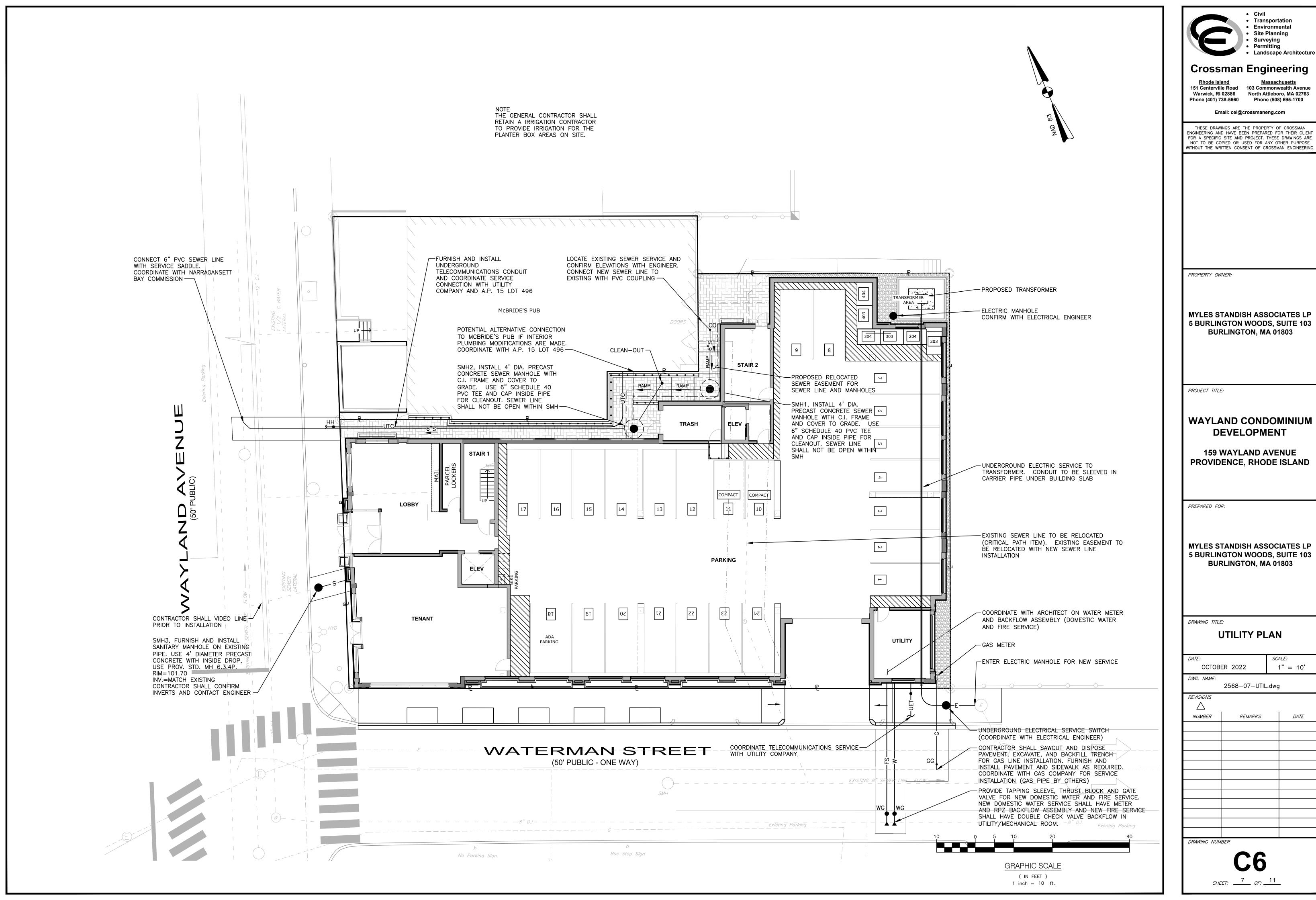
**159 WAYLAND AVENUE** PROVIDENCE, RHODE ISLAND

**MYLES STANDISH ASSOCIATES LP 5 BURLINGTON WOODS, SUITE 103 BURLINGTON, MA 01803** 

**GRADING and DRAINAGE PLAN** 

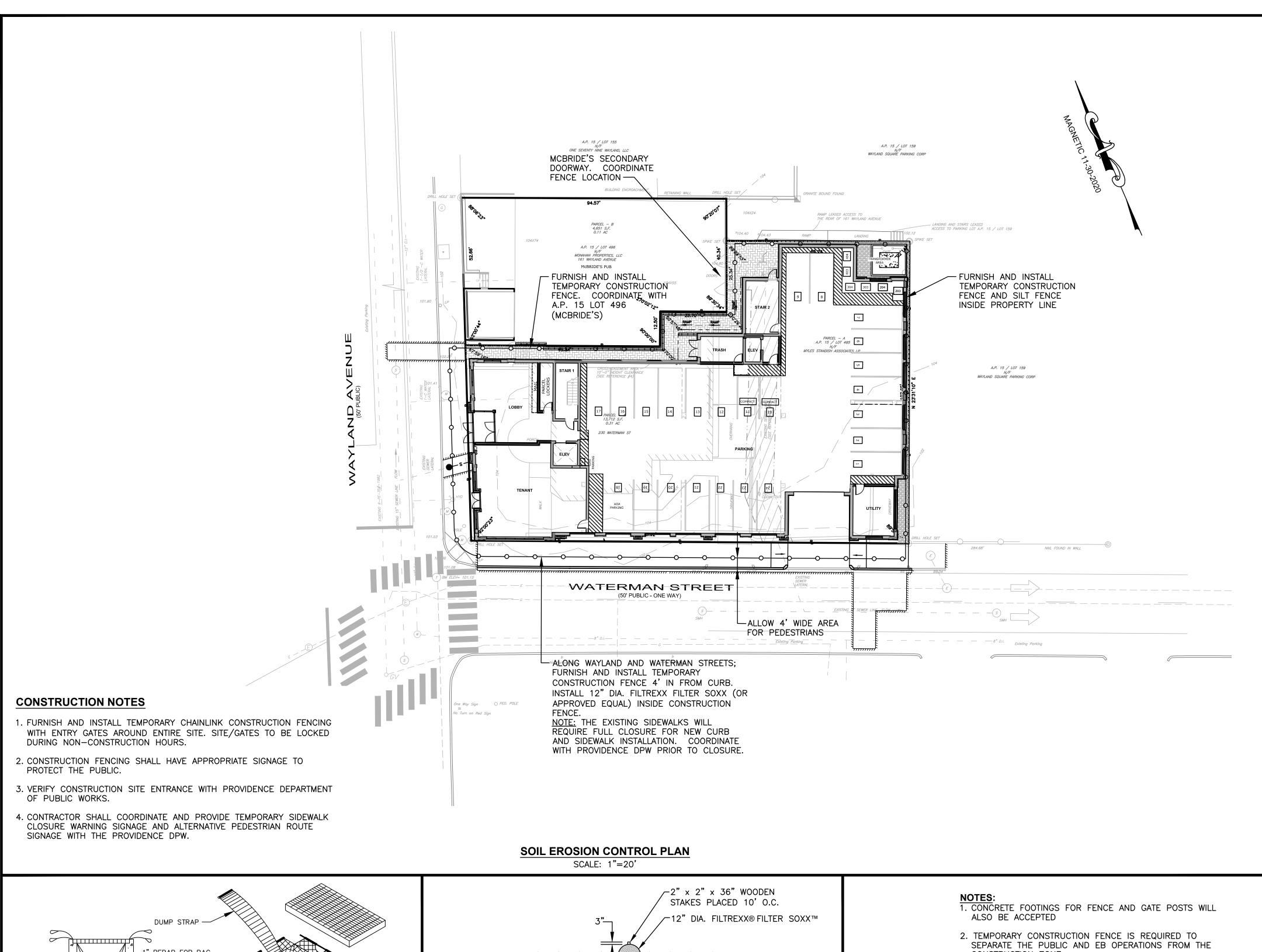
1" = 10'

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MYLES STANDISH ASSOCIATES LP 5 BURLINGTON WOODS, SUITE 103

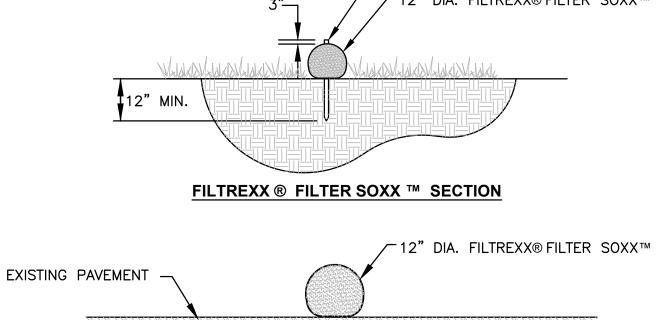


REBAR FOR BAG REMOVAL FORM INLET DUMP STRAP SEDIMENT SACK -INSTALLATION DETAIL **EXPANSION RESTRAINT -**(1/4" NYLON ROPE, 2" FLAT WASHERS) 2 EACH BAG DETAIL

1. INSTALL SILT SACK AT CATCH BASINS IN VICINITY OF CONSTRUCTION.

2. CONTRACTOR SHALL SUBMIT SILT SACK PRODUCT TO ENGINEER FOR APPROVAL.

TYPICAL SILT SACK DETAIL NOT TO SCALE



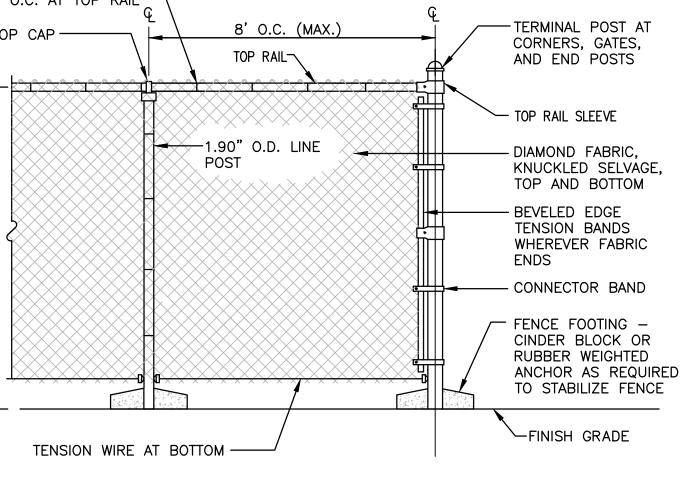
### FILTREXX® FILTER SOXX ™ PAVEMENT OPTION

#### NOTES

- 1. FILTREXX FILTER SOXX MAY BE USED IN LIEU OF SILT FENCE.
- 2. CONTRACTOR IS RESPONSIBLE TO BECOME FAMILIAR WITH THE FILTREXX PRODUCTS AND COORDINATE INSTALLATION SCHEDULES AND METHODS WITH THE ENGINEER PRIOR TO PLACEMENT.
- 3. ALL MATERIAL SHALL MEET FILTREXX SPECIFICATIONS.
- 4. COMPOST MATERIAL SHALL NOT BE DISPERSED ON SITE AFTER CONSTRUCTION.

#### FILTREXX® FILTER SOXX™ DETAIL NOT TO SCALE

## CONSTRUCTION ZONE. 1 GAUGE FABRIC TIES $\lnot$ 12" O.C. AT TOP RAIL 8' O.C. (MAX.) LOOP CAP -AND END POSTS — TOP RAIL SLEEVE



TEMPORARY CONSTRUCTION FENCE DETAIL

NOT TO SCALE

#### **DUST CONTROL NOTES**

- ON AN AS-NEEDED BASIS OR AS DIRECTED BY THE CITY, RIDEM OR OWNER, THE CONTRACTOR SHALL UTILIZE ONE OF THE FOLLOWING METHODS TO CONTROL DUST:
- A. THE EXPOSED SOIL SURFACE SHOULD BE MOISTENED PERIODICALLY WITH ADEQUATE WATER TO CONTROL DUST.
- B. CALCIUM CHLORIDE SHOULD BE EITHER LOOSE DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH A SPREADER AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE.
- THE METHODS SHOULD BE REPEATED AS NEEDED, AND SPECIAL ATTENTION MUST BE GIVEN TO THE ACCESS DRIVES.

#### INSPECTION/MAINTENANCE NOTES

- . PRIOR TO COMMENCING PAVEMENT REMOVAL AND/OR EXCAVATION OPERATIONS AND EARTHWORK, EROSION CONTROLS SHALL BE PLACED INSIDE SAWCUT EDGE TO PREVENT SEDIMENT FROM ENTERING EXISTING ROADWAY DRAINAGE SYSTEM AND ABUTTING
- 2. EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING THE DRAINAGE SYSTEM.
- 3. ALL DISTURBED AREAS WHICH BECOME SUBJECT TO EROSIVE TENDENCIES WHETHER THEY BE NEWLY FILLED OR EXCAVATED SHALL RECEIVE SLOPE PROTECTION - SUCH AS CRUSHED STONE.
- 4. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING PERIODS OF RAINFALL.
- 5. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MAINTENANCE AND SHALL INSPECT / REPLACE DAILY DURING CONSTRUCTION, FOLLOWING RAINFALL AND WEEKLY DURING NON CONSTRUCTION PERIODS.
- . ADDITIONAL FILTERSOXX OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
- 7. THE LATEST VERSION OF THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE R.I. STATE CONSERVATION COMMITTEE, MUST BE UTILIZED BY THE CONTRACTOR AS A GUIDE.
- B. THE CONTRACTOR IS RESPONSIBLE FOR ALL DUST CONTROL AND FOR THE ENTIRE PROJECT DURATION, INCLUDING TEMPORARY SHUT-DOWN PERIODS, MUST MONITOR AND REPAIR, AS NEEDED, ALL SLOPES TO ENSURE A STABLE PRODUCT.

#### **GENERAL PROJECT WIDE NOTES**

- CONTRACTOR SHALL INSTALL TEMPORARY MEASURES SUCH AS; FIBER MATTING, CRUSHED STONE, HAY OR STRAW IN AREAS WHERE SLOPES OR STABILIZATION HAS FAILED.
- 2. IF SEDIMENT IS TRACKED OR ERODED INTO THE ROADWAY, THE CONTRACTOR WILL BE REQUIRED TO INSTALL SILT SACK OR APPROVED EQUAL UNDER THE EXISTING CATCH BASIN GRATES. REMOVE AFTER CONSTRUCTION.
- 3. FILTER SOXX SHALL BE INSTALLED AROUND THE PERIMETER OF THE AREA TO BE DISTURBED BY CONSTRUCTION. ADDITIONAL APPLICATIONS OF THESE CONTROLS MEASURES MAY BE REQUIRED DURING THE CONSTRUCTION PROCESS. THE CONTRACTOR SHALL INSPECT THE SITE AT A MINIMUM OF ONCE PER WEEK OR WITHIN 24 HOURS AFTER A STORM EVENT.
- 4. IF EROSION OR EROSIVE TENDENCIES ARE APPARENT ON THE SITE, THE CONTRACTOR IS RESPONSIBLE TO INSTALL ADDITIONAL EROSION CONTROLS.
- 5. IF SEDIMENT OR DEBRIS IS TRACKED ONTO EXISTING PAVED AREAS ADJACENT TO THE CONSTRUCTION AREA, THE CONTRACTOR IS REQUIRED TO SWEEP THE PAVEMENT ON A DAILY BASIS. THE AREA SHALL BE INSPECTED DAILY.
- 6. THE CONTRACTOR IS RESPONSIBLE TO KEEP THE SITE CLEAN OF TRASH. RECOMMENDED DAILY PATROL OF THE CONSTRUCTION SHOULD BE CONDUCTED TO PICK-UP TRASH. THE OPERATOR SHALL REQUIRE THE CONTRACTOR TO HAVE PORTABLE SANITARY FACILITIES ON SITE. ROUTINE CLEANING AND WASTE DISPOSAL OF THESE PORTABLE SANITARY

#### **FILTREXX SOXX NOTE**

FACILITIES IS REQUIRED.

CONTRACTOR IS RESPONSIBLE TO BECOME FAMILIAR WITH THE FILTREXX PRODUCTS AND COORDINATE INSTALLATION SCHEDULES AND METHODS WITH THE ENGINEER PRIOR TO PLACEMENT.

#### **EROSION CONTROL AND SOIL STABILIZATION PROGRAM**

- EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING THE DRAINAGE SYSTEM, ADJACENT PROPERTY AND ROADWAYS.
- . TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, OR FIBER MULCH PROTECTIVE COVERS, SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE OWNER.
- 3. HAY OR STRAW APPLICATIONS SHALL BE IN THE AMOUNT OF 3,000-4,000 LBS/ACRE.
- 4. STOCKPILES SHALL HAVE NO SLOPE STEEPER THAN 2:1 AND SHALL BE SURROUNDED BY STAKED HAY BALES OR SILT FENCING.
- 5. STOCKPILES EXPOSED FOR EXCESSIVE PERIODS SHALL RECEIVE TEMPORARY TREATMENT CONSISTING OF HAY, STRAW OR FIBER MATTING.
- 6. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MAINTENANCE AND SHALL INSPECT/REPLACE AS NEEDED.
- ADDITIONAL HAY BALES OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER, OWNER, MUNICIPAL REPRESENTATIVES OR LOCAL DPW.
- B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DUST CONTROL AT NO ADDITIONAL COST TO THE OWNER.
- 9. ALL CATCH BASINS ADJACENT TO THE CONSTRUCTION AREA SHALL BE PROTECTED BY SILT SACKS. ROUTINE CLEANING OF SEDIMENT WILL BE REQUIRED.
- 10. ALL PROPOSED CATCH BASINS SHALL BE PROTECTED BY STAKED HAY BALES, SILT FENCING OR SILT SACKS.
- 11. THE FILTREXX FILTER SOXX MAY BE INSTALLED ON THE EXISTING PAVEMENT /IMPERVIOUS AREAS WITH OUT STAKES. CONTRACTOR SHALL INSPECT DAILY, IF SOIL EROSION OR SEDIMENT IS OBSERVED IN THESE AREAS, THE CONTRACTOR SHALL RELOCATE OR INSTALL ADDITIONAL FILTREXX FILTER SOXX IN LOCATIONS THAT CAN BE STAKED. THIS WORK IS INCLUDED IN THE PROJECT SCOPE.
- 12. AN ALTERNATE COMPOST SOCK OR STRAW WATTLE PRODUCT MAY BE USED IN LIEU OF FILTREXX FILTER SOCK UPON APPROVAL OF THE ENGINEER.



 Transportation Environmental Site Planning Surveying Permitting

Landscape Architecture

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### **Crossman Engineering**

Rhode Island 151 Centerville Road 103 Commonwealth Avenue Warwick, RI 02886 North Attleboro, MA 02763 Phone (401) 738-5660 Phone (508) 695-1700

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PROPERTY OWNER:

MYLES STANDISH ASSOCIATES LP **5 BURLINGTON WOODS, SUITE 103 BURLINGTON, MA 01803** 

PROJECT TITLE:

# WAYLAND CONDOMINIUM DEVELOPMENT

159 WAYLAND AVENUE PROVIDENCE, RHODE ISLAND

PREPARED FOR:

**MYLES STANDISH ASSOCIATES LP** 5 BURLINGTON WOODS, SUITE 103 **BURLINGTON, MA 01803** 

DRAWING TITLE:

SOIL EROSION and SEDIMENT CONTROL PLAN

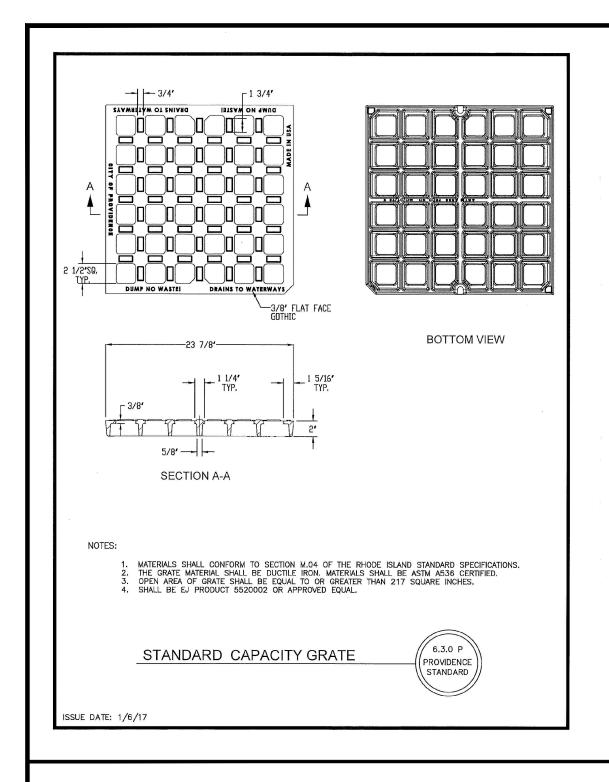
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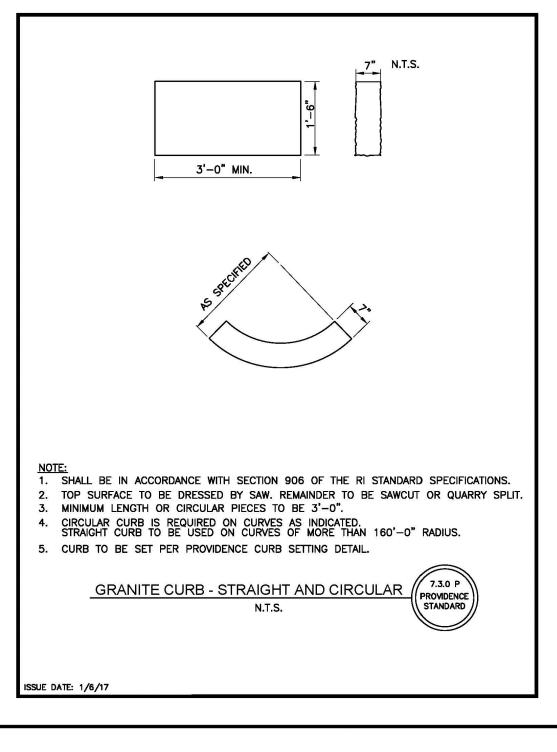
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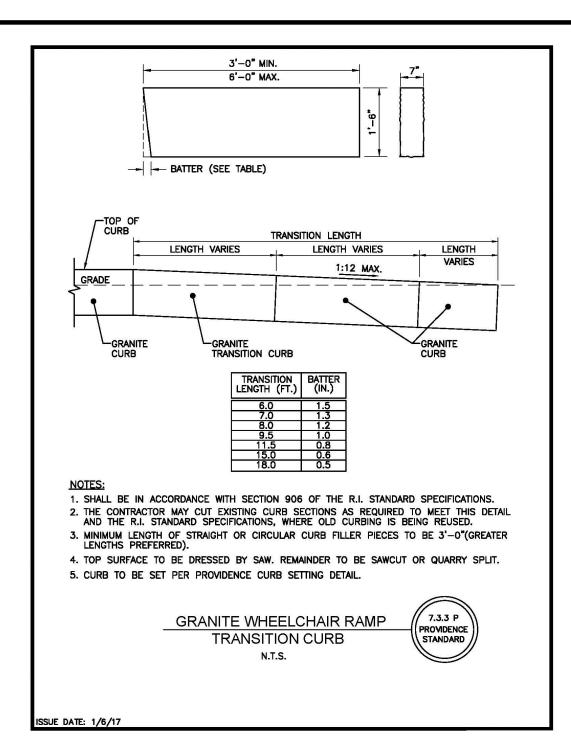
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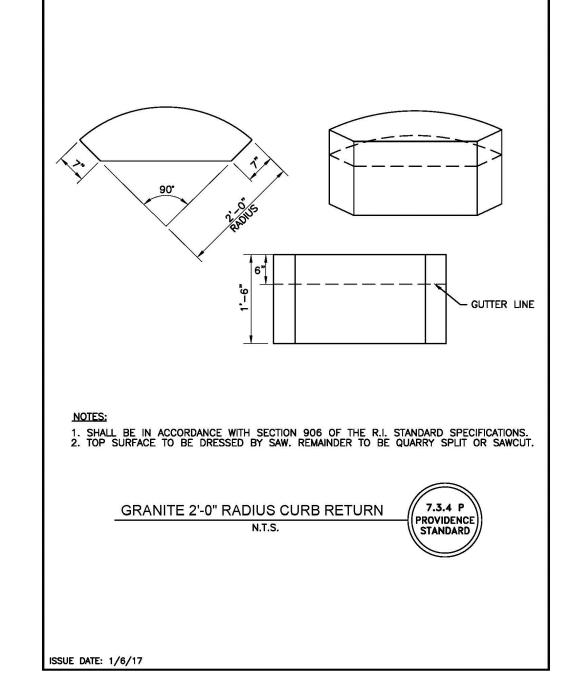
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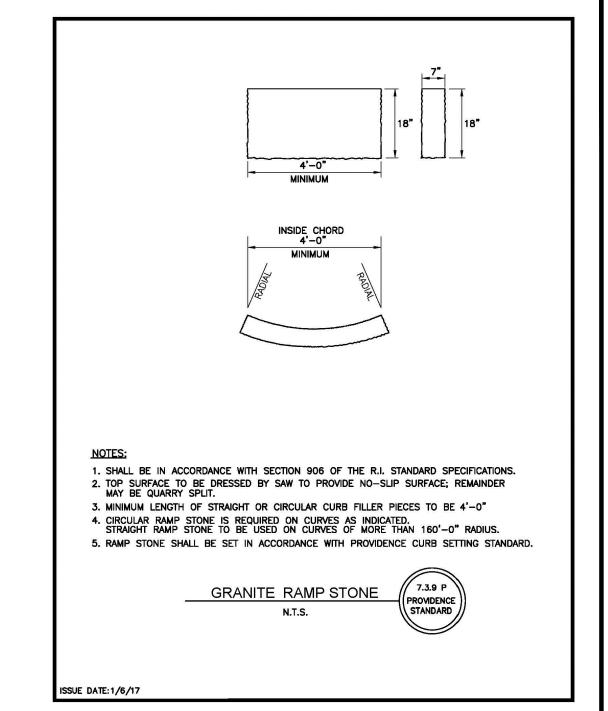
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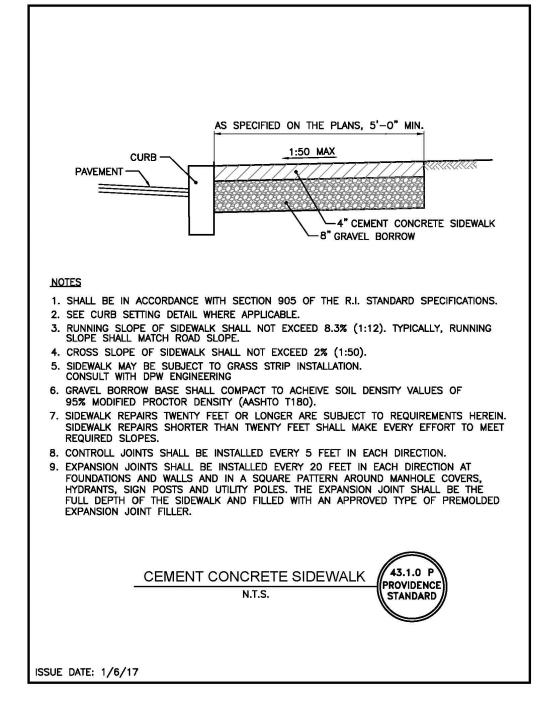


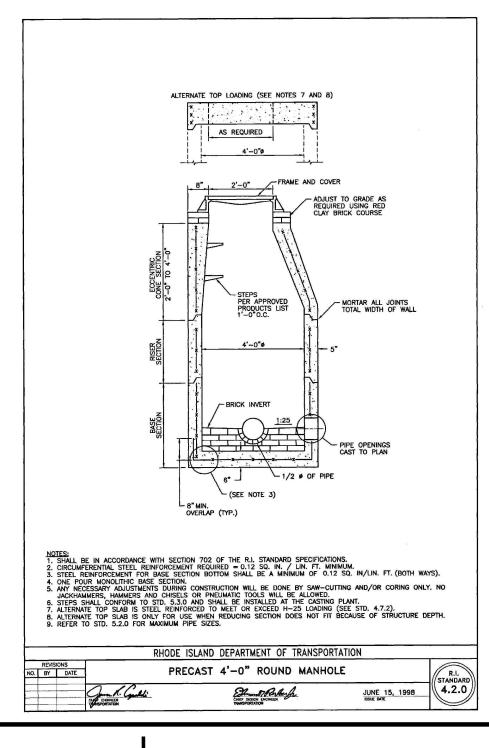


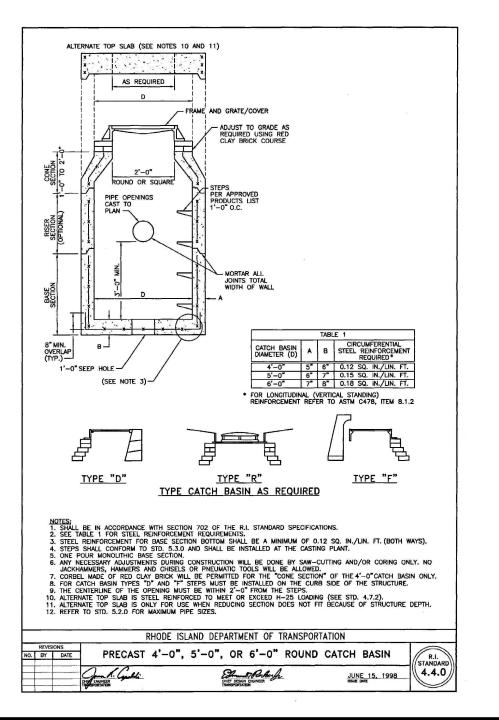


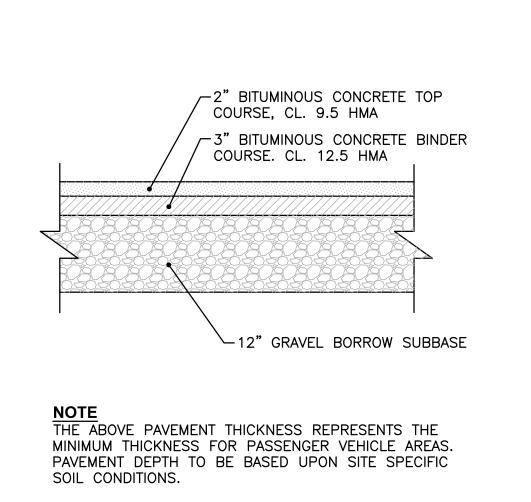




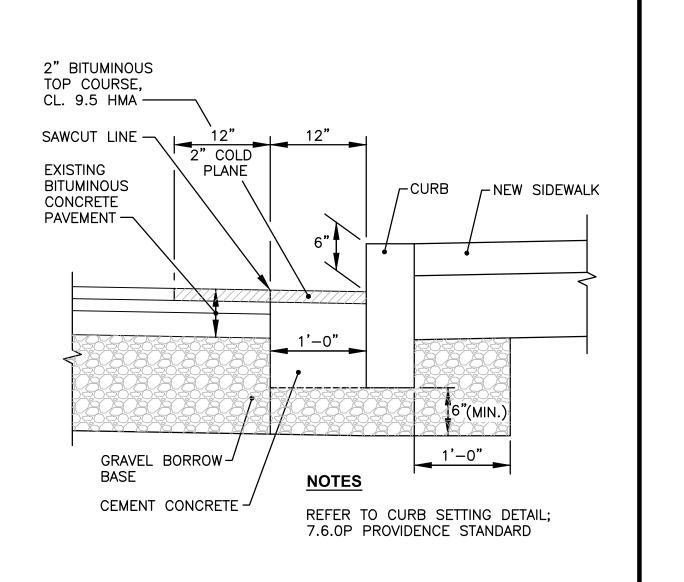






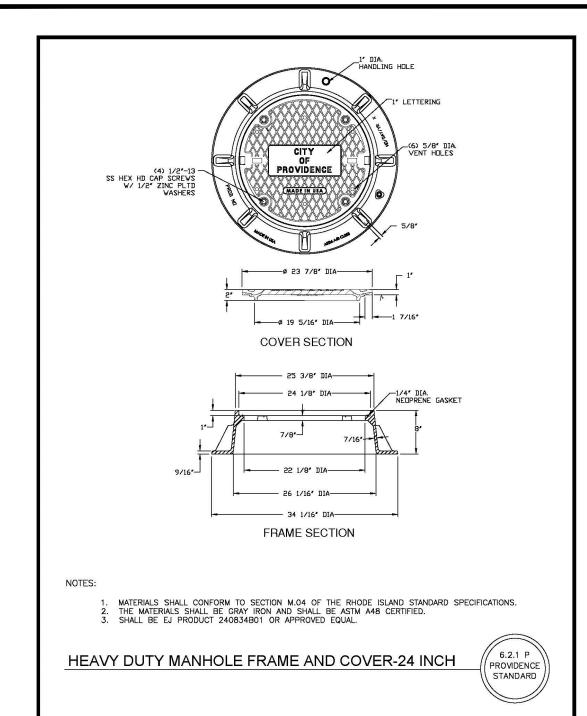




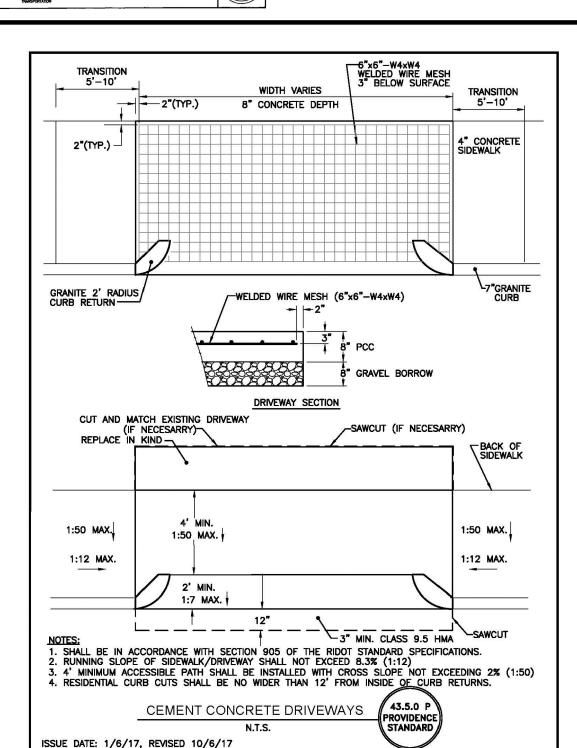


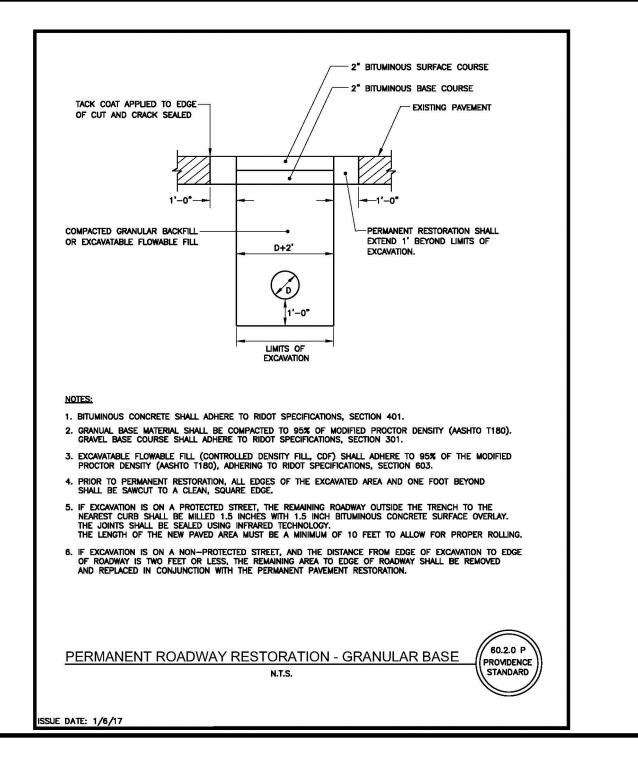
TYPICAL CURB LOCK DETAIL

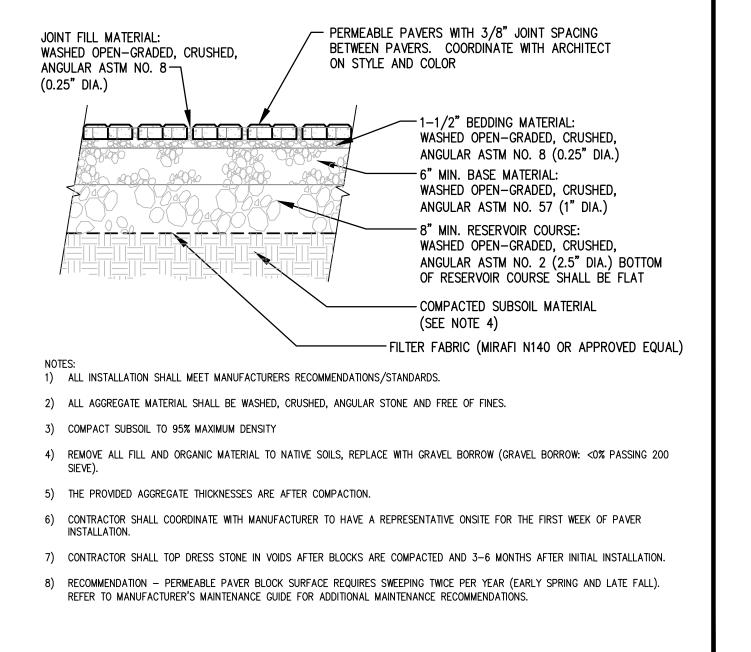
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SUE DATE: 1/6/17







PERMEABLE PAVER BLOCK DETAIL

NOT TO SCALE



• Landscape Architectur

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PROPERTY OWNER:

MYLES STANDISH ASSOCIATES LP 5 BURLINGTON WOODS, SUITE 103 BURLINGTON, MA 01803

PROJECT TITLE:

WAYLAND CONDOMINIUM DEVELOPMENT

159 WAYLAND AVENUE PROVIDENCE, RHODE ISLAND

PREPARED FOR:

MYLES STANDISH ASSOCIATES LP 5 BURLINGTON WOODS, SUITE 103 BURLINGTON, MA 01803

DRAWING TITLE:

DWG. NAME:

MISCELLANEOUS DETAILS No. 1

OCTOBER 2022

SCALE:

NO SCALE

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#### **WATER NOTES**

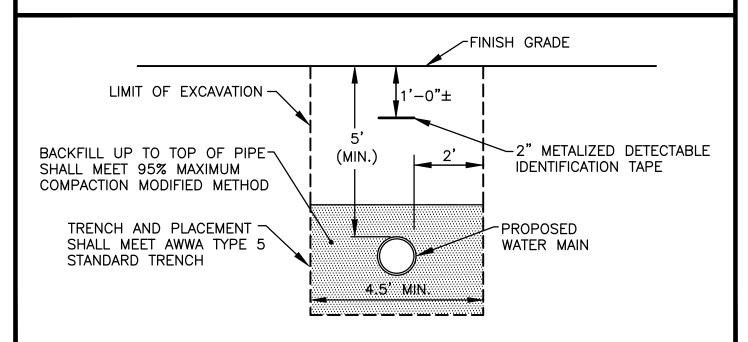
- ALL INSTALLATION, JOINTS, CONSTRUCTION METHODS AND MATERIALS SHALL BE ACCORDING TO THE PROVIDENCE WATER SUPPLY BOARD REQUIREMENTS, AWWA STANDARDS AND GOVERNMENTAL REQUIREMENTS.
- 2. ALL FITTINGS SHALL BE DUCTILE IRON MECHANICAL JOINT CLASS 350 CEMENT MORTAR LINED COMPACT STYLE (BY AMERICAN MANUFACTURER ONLY). FITTINGS SHALL MEET THE REQUIREMENTS OF ANSI/AWWA C153/A21.53. MECHANICAL JOINTS SHALL MEET THE REQUIREMENTS OF ANSI/AWWA C111/A21.11.
- 3. WATER PIPE SHALL BE DOUBLE CEMENT MORTAR LINED DUCTILE IRON PIPE CL52 AND SHALL MEET THE REQUIREMENTS OF ANSI/AWWA C151/A21.51.
- 4. CONSTRUCTION SHALL INCLUDE ALL PIPE, JOINTS, BENDS, TEES, FITTINGS, "MEGA-LUG" RESTRAINED MECHANICAL JOINTS, SERVICE CONNECTIONS AND ALL MISCELLANEOUS ITEMS REQUIRED TO CONSTRUCT THE PROPOSED SYSTEM.
- 5. "MEGA-LUG" RESTRAINED MECHANICAL JOINTS SHALL BE INSTALLED IN LOCATIONS INDICATED AND AT ALL BENDS, FITTINGS, PLUGS, ETC.
- 6. PRESSURE AND LEAKAGE TESTS AND DISINFECTING PIPES SHALL BE PERFORMED BY THE CONTRACTOR IN CONFORMANCE TO AMERICAN WATER WORKS ASSOCIATION (AWWA) RECOMMENDATIONS, PROVIDENCE WATER SUPPLY BOARD REQUIREMENTS, AND GOVERNMENTAL AGENCIES HAVING JURISDICTION.
- 7. ALL FITTINGS, PIPE, JOINTS, ETC. SHALL BE DESIGNED FOR 1.5 TIMES WORKING PRESSURE BUT NOT LESS THAN 150 PSI.
- 8. WATER PIPE SHALL TYPICALLY BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM SEWER PIPE, AND AT A MINIMUM DEPTH OF COVER EQUAL TO 5', WHERE A NEW WATER MAIN IS LESS THAN 18 INCHES CLEAR DISTANCE ABOVE A SEWER OR WHERE A WATER MAIN PASSES BENEATH A SEWER OR STORM DRAIN, ENCASE THE SEWER OR WATER IN 6" OF CONCRETE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE CROSSING WATER MAIN. THE USE OF DUCTILE IRON TIGHT JOINT SEWER PIPE IN LIEU OF CONCRETE ENCASEMENT WILL BE CONSIDERED UPON CONTRACTORS SUBMITTAL OF SPECIFICATIONS TO ENGINEER FOR APPROVAL.
- 9. ALL SYSTEM COMPONENTS AND CONSTRUCTION METHODS, SUCH AS PIPE, RESTRAINED MECHANICAL JOINTS, FITTINGS, GATE VALVES, TAPPING SLEEVE, CASTINGS, ETC. SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION. THIS SUBMISSION SHALL INCLUDE MANUFACTURER'S LITERATURE, SHOP DRAWINGS, PROPOSED CONSTRUCTION METHODS, ETC.
- 10. WATER LINE TRENCH TO BE AWWA TYPE 5. A METALIZED DETECTABLE IDENTIFICATION TAPE 2.5" IN WIDTH, BLUE IN COLOR AND PRINTED WITH "CAUTION WATERLINE BURIED BELOW" SHALL BE UTILIZED OVER ALL MAINS. TAPE SHALL BE SET AT APPROXIMATELY 1'-0" BELOW FINISHED GRADE.
- 11. ALL FITTINGS TO BE RESTRAINED WITH MECHANICAL JOINTS. RESTRAINTS TO BE MEGA-LUG OR EQUAL. ALL DESIGN AND/OR PLACEMENT SHALL BE REVIEWED AND APPROVED BY THE PROVIDENCE WATER SUPPLY BOARD. PIPE RESTRAINT CALCULATIONS SHALL BE PROVIDED BY CONTRACTOR.
- 12. RESTRAIN ALL PUSH-ON BELL JOINTS WITHIN 20 FEET OF MECHANICAL JOINTS. RESTRAINTS TO BE SERIES 800 COVER-ALL BY EBAA IRON OR EQUAL.
- 13. WHEN THIS PROJECT IS COMPLETE, THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE WATER DEPARTMENT AND ENGINEER TWO SETS OF AS BUILT PLANS, CERTIFIED BY A RI LICENSED LAND SURVEYOR OF RI PROFESSIONAL ENGINEER. (ONE BLUE LINE, ONE REPRODUCIBLE COPY-MYLAR OR SEPIA) WHICH INDICATES:
- a. ALL CURB STOPS WITH APPROPRIATE LOCATING MEASUREMENTS
- MAIN-TO-CURB AND MEASUREMENTS FROM PERMANENT STRUCTURES.

b. A SCHEDULE OF MATERIALS WHICH INDICATES: AND MEASUREMENTS FROM PERMANENT STRUCTURES.

- ITEM QUANTITY
- 2. MANUFACTURER 3. DESCRIPTION
  - a. INCLUDE SERIAL #'S AS APPLICABLE
  - b. MATERIAL c. OPERATION CHARACTERISTICS
- 14. THE CONTRACTOR SHALL VERIFY THE FIRE SERVICE PIPE SIZE REQUIREMENT WITH THE BUILDING ARCHITECT AND PLUMBING/FIRE SPRINKLER CONTRACTOR PRIOR TO ORDERING PIPE, METERS AND BACKFLOW PREVENTORS. COORDINATION WITH THE PROVIDENCE FIRE CHIEF AND PROVIDENCE WATER WSUPPLY BOARD IS REQUIRED TO DETERMINE THE EXISTING WATER PRESSURE AVAILABLE
- 15. COORDINATE WITH THE PROVIDENCE WATER SUPPLY BOARD ON OPEN DIRECTION FOR VALVES. VALVES TO BE RESILIENT WEDGE GATE VALVES.
- 16. DOMESTIC WATER SERVICE LINES DHALL BE DUCTILE IRON.

#### THRUST BLOCK NOTES

- 1. ALL CONCRETE TO BE CLASS B.
- 2. BUTTRESS DIMENSIONS SHOWN ARE MINIMUM. DIMENSIONS ARE BASED UPON SOIL BEARING PRESSURE OF 1500 P.S.F. LATERAL AND STATIC WATER PRESSURE OF 150 P.S.I. WHERE PRESSURE EXCEEDS 150 P.S.I. OR WHERE SOIL BEARING PRESSURE IS LESS THAN 1500 P.S.F. LATERAL; OR SOIL CONDITIONS OR EXCAVATION LIMITS ENCOUNTERED DURING CONSTRUCTION MAKE IT UNFEASIBLE TO PLACE THRUST BLOCKS AGAINST UNDISTURBED EARTH OF THE PROPER BEARING CAPACITY. THE CONTRACTOR SHALL DESIGN, GET APPROVAL OF, AND PLACE SPECIAL REACTION BLOCKS OF SUFFICIENT WEIGHT TO RESIST THE FULL THRUST OF THE LINE UNDER TEST AND OPERATING PRESSURES. THE DESIGN OF SUCH BLOCKS SHALL BE SUBJECT TO THE APPROVAL OF THE PROVIDENCE WATER SUPPLY BOARD AND THE ENGINEERS AND SHALL BE SUBMITTED TO THE WATER DEPARTMENT BEFORE ACTUAL INSTALLATION TAKES PLACE.
- 3. ALL THRUST BLOCKS SHALL BE CONCRETE 3,000 P.S.I. @ 28 DAYS AND BEARING AGAINST UNDISTURBED EARTH.



TYPICAL WATER LINE TRENCH DETAIL NOT TO SCALE

#### **GENERAL SEWER NOTES**

- . ALL SEWER CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF PROVIDENCE STANDARD SPECIFICATIONS AND DETAILS FOR THE INSTALLATION OF SEWER LINE
- 2. PRIOR TO RECEIVING AUTHORIZATION TO CONSTRUCT, ALL MATERIALS SHALL MEET THE STANDARDS AND RECEIVE THE WRITTEN APPROVAL, BASED ON MANUFACTURER'S DRAWINGS AND REQUIREMENTS FROM THE CITY OF PROVIDENCE.
- 3. ALL SEWERAGE FACILITIES SHALL MEET TESTING AND CLEANING REQUIREMENTS PRIOR TO
- 4. THE CONTRACTOR IS RESPONSIBLE TO COORDINATE AS-BUILT LOCATIONS PRIOR TO PIPE BACKFILL. AS-BUILT DRAWINGS SHALL BE FURNISHED AS A CONDITION FOR ACCEPTANCE OF THE NEW SEWERAGE FACILITIES. PLANS SHALL INCLUDE LOCATION OF WYES.
- 5. NO FLOW WILL BE ACCEPTED UNTIL ALL ABOVE STEPS ARE COMPLETED AND COMPLETION CERTIFICATE IS ISSUED.
- 6. AFTER THE CONTRACTOR HAS "STAKED OUT" THE FACILITIES TO BE CONSTRUCTED AND HAS THE APPROVED MATERIALS ON THE JOB, CITY OF PROVIDENCE SHALL BE NOTIFIED IN ADVANCE OF CONSTRUCTION IN ORDER FOR THEM TO ARRANGE FOR THEIR INSPECTOR. THE NOTIFICATION MUST MEET THE CITY OF PROVIDENCE REQUIREMENTS.
- 7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROVED PLANS AND MATERIALS, STANDARDS AND SPECIAL DETAILS, AND STANDARD SPECIFICATIONS, ANY WORK NOT MEETING THE APPROVED STANDARDS SHALL BE IMMEDIATELY REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
- 8. THE CONTRACTOR SHALL CONFINE HIS OPERATIONS AND ACTIVITIES FOR CONSTRUCTION WITHIN THE LIMITS OF WORK AS SHOWN ON THE DRAWINGS.
- 9. ALL AREAS DISTURBED BY THE CONTRACTOR SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT NO EXTRA COST TO THE OWNER.
- 10. LOCATION AND DEPTHS OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING UTILITIES AND NOTIFY THE APPROPRIATE UTILITY AUTHORITIES INCLUDING "DIG-SAFE" PRIOR TO STARTING WORK. ANY DAMAGE TO UTILITIES CAUSED BY THE CONTRACTOR'S OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND THE COST OF REPAIRS SHALL BE BORNE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- 11. RELATION TO WATER LINES:
- A. HORIZONTAL SEPARATION: WHENEVER POSSIBLE, SEWERS SHOULD BE LAID AT A MINIMUM OF 10 FEET (3.0 m), HORIZONTALLY, FROM ANY EXISTING OR PROPOSED WATER LINE. SHOULD LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET, A SEWER MAY BE LAID CLOSER THAN 10 FEET TO A WATER LINE IF:
  - 1. IT IS LAID IN A SEPARATE TRENCH, OR IF
  - 2. IT IS LAID IN THE SAME TRENCH WITH THE WATER LINE LOCATED AT ONE SIDE ON A BENCH OF UNDISTURBED EARTH, AND IF
  - 3. IN EITHER CASE THE ELEVATION OF THE TOP (CROWN) OF THE SEWER IS AT LEAST 18 INCHES (46 cm) BELOW THE BOTTOM (INVERT) OF THE WATER LINE.
- VERTICAL SEPARATION: WHENEVER A SEWER MUST CROSS UNDER WATER LINES, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE TOP OF THE SEWER IS AT LEAST 18 INCHES (46 cm) BELOW THE BOTTOM OF THE WATER LINE. WHEN THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THE ABOVE REQUIREMENTS, THE WATER LINE SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR RECONSTRUCTED WITH MECHANICAL-JOINT PIPE FOR A DISTANCE OF 10 FEET (3.0 m) ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER LINE SHOULD BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE.
- C. WHEN IT IS IMPOSSIBLE TO OBTAIN HORIZONTAL AND/OR VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER LINE AND SEWER SHALL BE SLEEVED WITH DUCTILE IRON OR ENCASED WITH CONCRETE.
- 2. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DEWATERING REQUIRED IN THE SEWER INSTALLATION.
- 13. THE PROPOSED GRAVITY SANITARY SEWER PIPE SHALL BE PVC ASTM 3034 SDR 35, UNLESS OTHERWISE SHOWN ON PLANS. PIPE SIZE TO MATCH UTILITY PLAN.
- 4. THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE ELEVATION OF EXISTING SEWER LINE PRIOR TO INSTALLATION.
- 15. INSPECTION OF ALL SEWER CONSTRUCTION SHALL BE PERFORMED BY THE CITY OF PROVIDENCE. APPLICANT SHALL PROVIDE SCHEDULE FOR CONSTRUCTION AS SOON AS POSSIBLE TO ALLOW FOR DEVELOPMENT OF INSPECTION FEE, TO BE PAID BY APPLICANT DIRECTLY TO THE CITY OF PROVIDENCE. UPON PAYMENT OF FEE, COMMENCEMENT OF CONSTRUCTION INSPECTION REQUIRES MINIMUM NOTIFICATION OF 48-HOURS.
- 16. NO FLOW WILL BE ACCEPTED UNTIL A COMPLETION CERTIFICATE IS ISSUED.
- 17. ALL CONSTRUCTION MATERIAL, AS WELL AS MATERIAL SHOP DRAWINGS AND MANUFACTURERS DATA SHEETS SHALL BE REVIEWED AND APPROVED BY THE DESIGN ENGINEER, THE SEWER AUTHORITY, OR ITS REPRESENTATIVE PRIOR TO FABRICATION AND INSTALLATION.

CARRY CONCRETE TO SOLID GROUND

<u>PLAN</u>

-CARRY CONCRETE D/4

1'-6"

1'-3"

1'-3"

TO SOLID GROUND

SECTION C-C

TEE

SIZE OF BRANCH

∟D/4

18. ALL BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED IN 12 INCH LIFTS.

TO SOLID GROUND

PLAN

SECTION B-B

ENC CAP

1-6"

**CONCRETE THRUST BLOCKS** 

FOR CAPS, TEES AND HORIZONTAL BENDS

NOT TO SCALE

**—**A

0.D. C

SECTION A-A

HORIZONTAL BENDS

11 1/4 A 2'-0"

22 1/2° B 10"

and 45° C 1'-6"

90°

A | 2'-6"

B 1'-3"

 $C \mid 1' - 6''$ 

CARRY CONCRETE

TO SOLID GROUND

# - IDENTIFICATION TAPE -COVER (5' MINIMUM) —NO LEDGE OR UNEXCAVATED MATERIAL SHALL PROJECT BEYOND THIS LINE SEWER LINE -SURROUND PIPE WITH 3/4" DIA. CRUSHED STONE AND FILTER FABRIC UNDISTURBED MATERIAL FORCE MAIN SHALL BE PLACED ON UNDISTURBED EARTH AND ENCASED IN SAND HALF SECTION HALF SECTION IN EARTH IN ROCK

#### TYPICAL SEWER LINE TRENCH DETAIL NOT TO SCALE

#### **SEWER TRENCH NOTES**

FRAME WITH LOCKING -

END -

CAP

COVER LETTERED

"CLEANOUT"

BIT. PAVEMENT-

- . MINIMUM WIDTH OF TRENCH IS EQUAL TO THE INSIDE DIAMETER OF THE PIPE PLUS 12" EACH SIDE.
- SOIL UNDER CRUSHED STONE FOUNDATION SHALL BE UNDISTURBED AND COMPACTED MATERIAL WITH SEVERAL PASSES OF A VIBRATORY PLATE COMPACTOR TO ATTAIN 95% MAX. DENSITY (MOD.
- 3. CRUSHED STONE FOUNDATION 3/4" MAXIMUM SIZE, SHALL BE PLACED 12" UNDER THE PIPE AND UP TO THE PIPE LAID THEREON, CRUSHED STONE PULLED AGAINST THE PIPE SIDES TO FIRMLY HOLD THE PIPE IN PLACE.
- 4. CRUSHED STONE HAUNCHING 3/4" MAXIMUM SIZE SHALL BE BROUGHT LEVEL TO THE TOP OF THE PIPE AND OUT TO THE TRENCH WALL AT THIS ELEVATION FOR ALL PIPE.

— 2'-0"x2'-0"x1'-6"

CONCRETE COLLAR

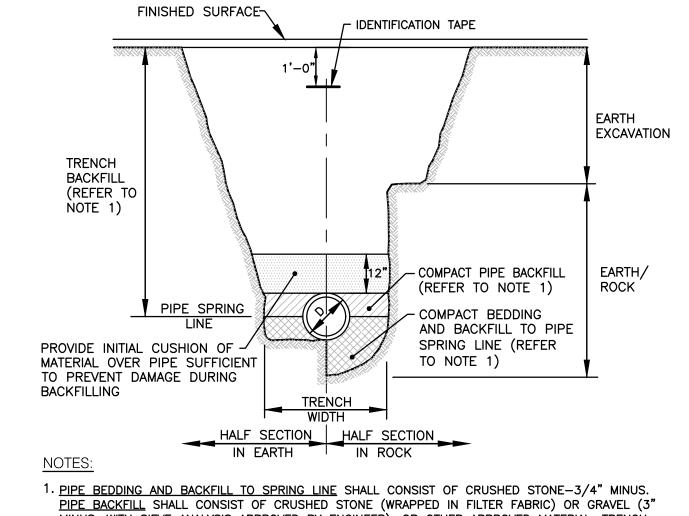
6"-45° ELBOW

CONCRETE PAD

WYE BRANCH

· PIPE SIZE

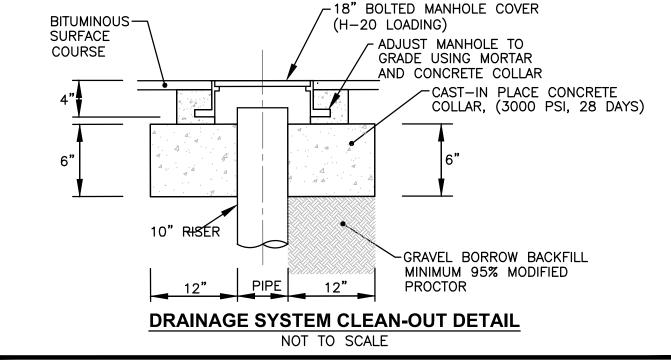
PER PLAN

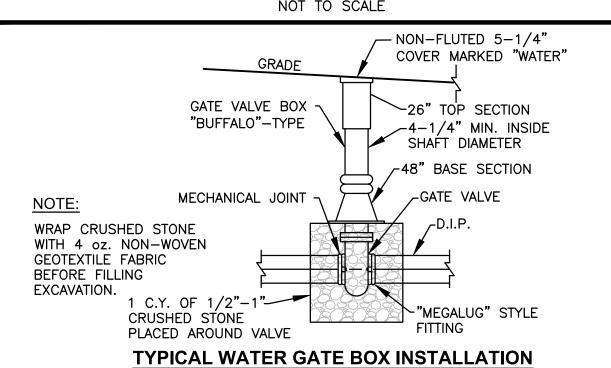


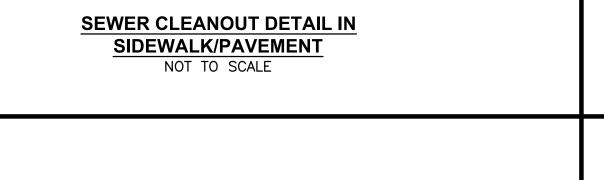
- MINUS. WITH SIEVE ANALYSIS APPROVED BY ENGINEER), OR OTHER APPROVED MATERIAL. TRENCH BACKFILL SHALL CONSIST OF SUITABLE EXCAVATED MATERIAL OR OTHER APPROVED MATERIAL. ALL BEDDING/BACKFILL TO BE COMPACTED TO 95% DRY DENSITY, MODIFIED PROCTOR METHOD.
- 2. ALL TRENCH EXCAVATION AND ANY SHEETING AND SHORING SHALL BE DONE IN ACCORDANCE WITH ALL STATE AND LOCAL CODES AND OSHA REGULATIONS.
- 3. MINIMUM TRENCH WIDTH SHALL BE OUTSIDE DIAMETER OF PIPE AT BELL PLUS 12". MAXIMUM TRENCH WIDTH SHALL BE OUTSIDE DIAMETER OF PIPE AT BELL PLUS 24".

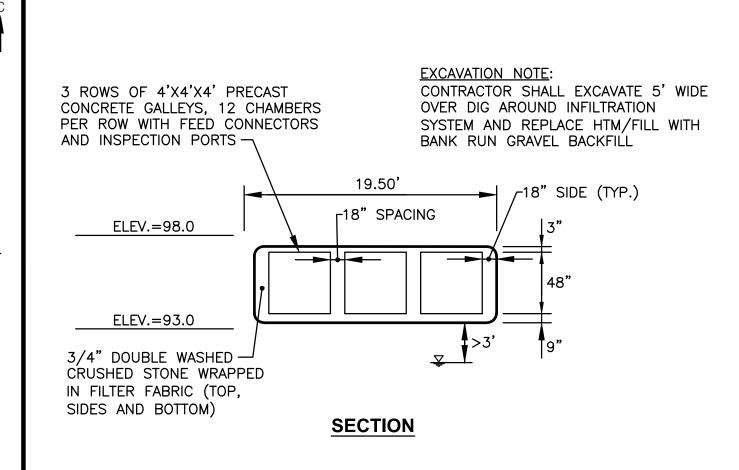
#### DRAINAGE TRENCH DETAIL

NOT TO SCALE

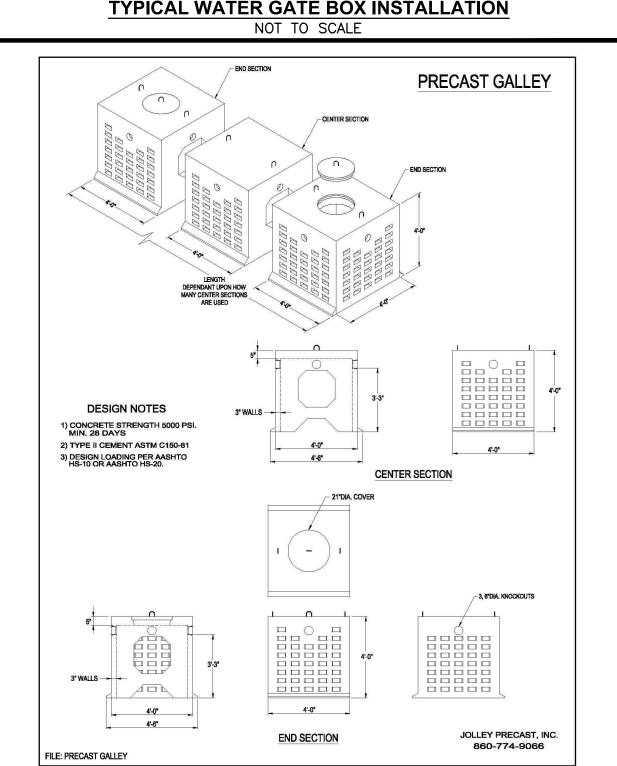


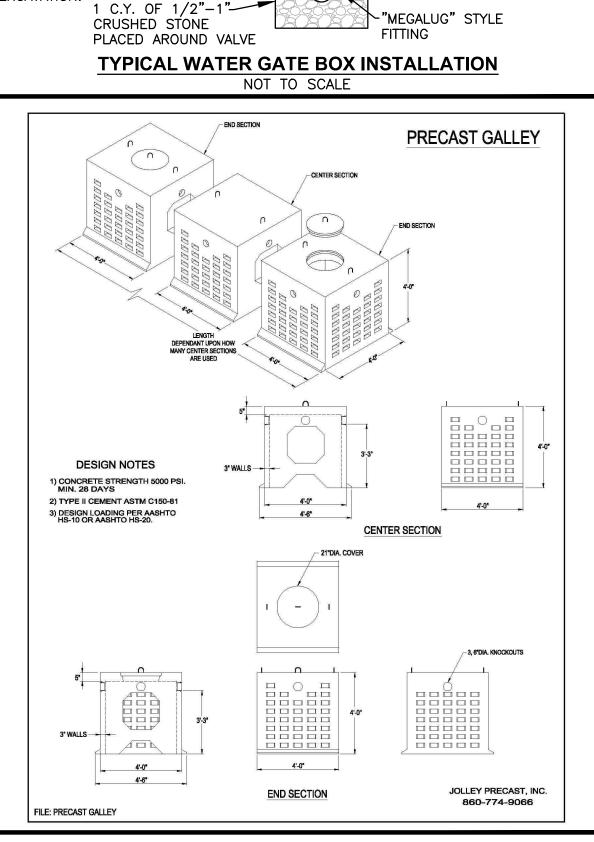






**UNDERGROUND STORMWATER SYSTEM DETAIL** NOT TO SCALE







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PROPERTY OWNER:

MYLES STANDISH ASSOCIATES LI 5 BURLINGTON WOODS, SUITE 103 **BURLINGTON, MA 01803** 

PROJECT TITLE:

WAYLAND CONDOMINIUM DEVELOPMENT

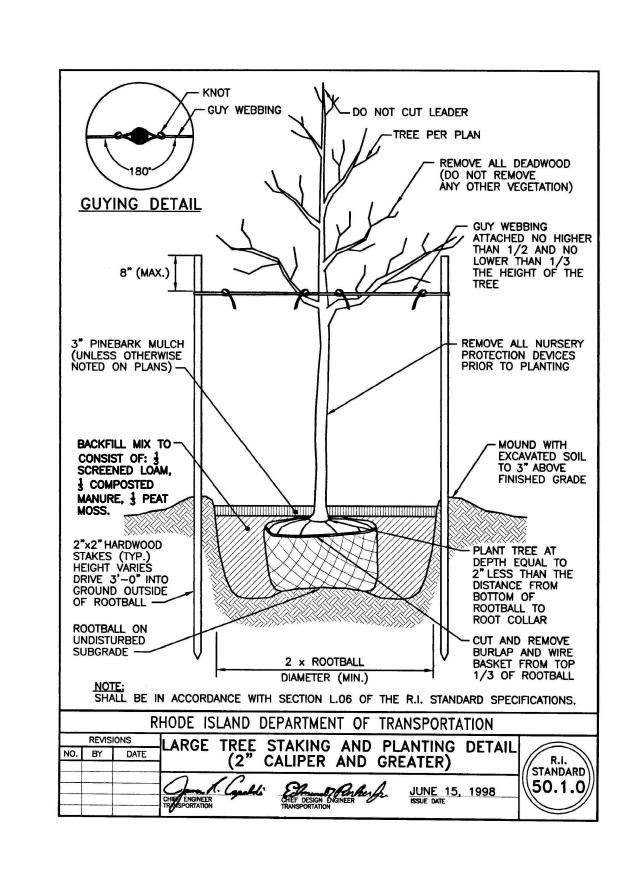
**159 WAYLAND AVENUE** PROVIDENCE, RHODE ISLAND

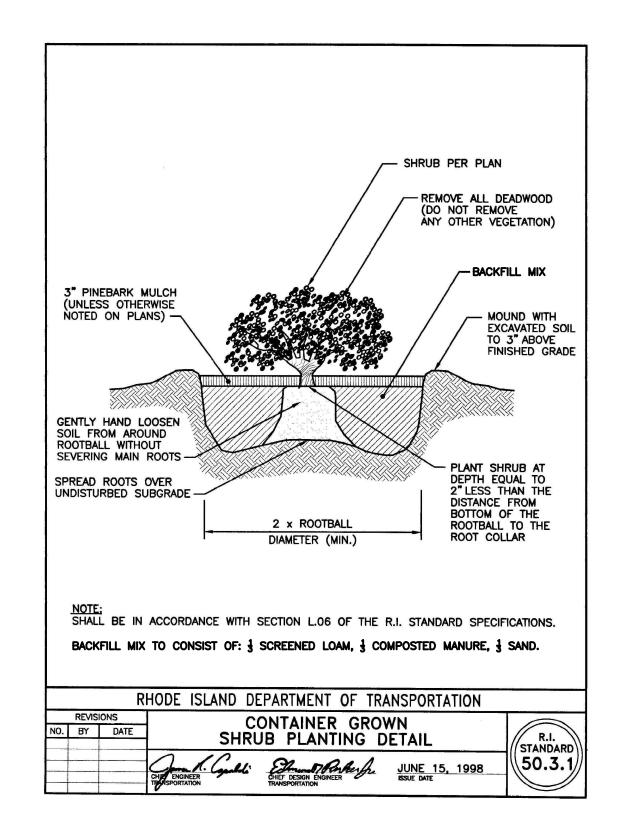
PREPARED FOR:

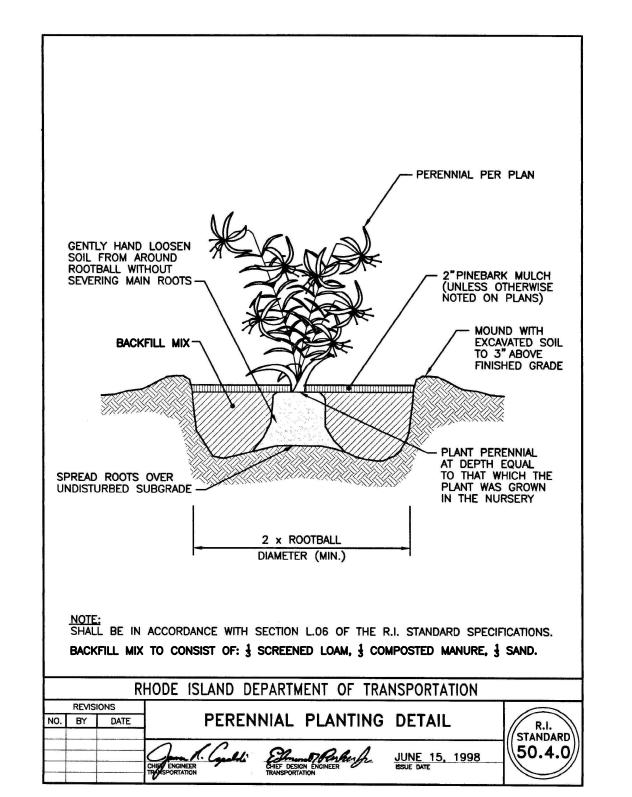
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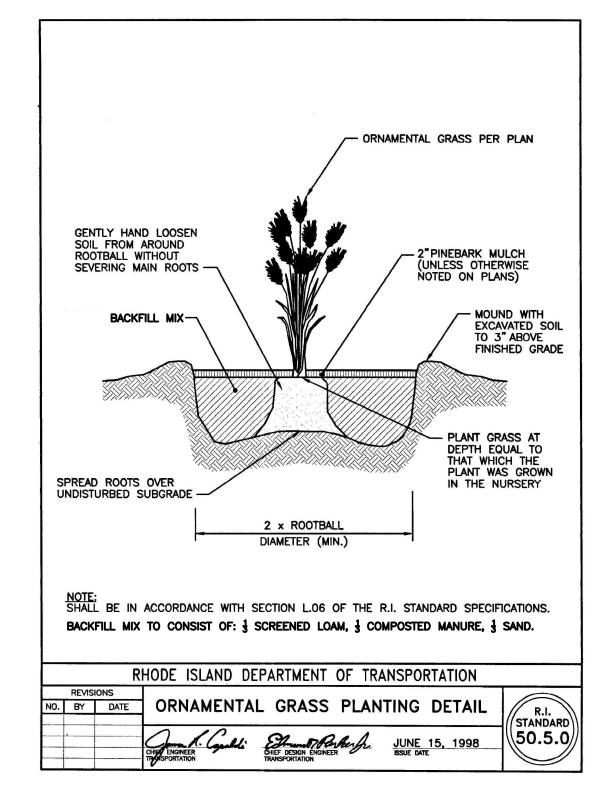
DRAWING TITLE: MISCELLANEOUS DETAILS No. 2

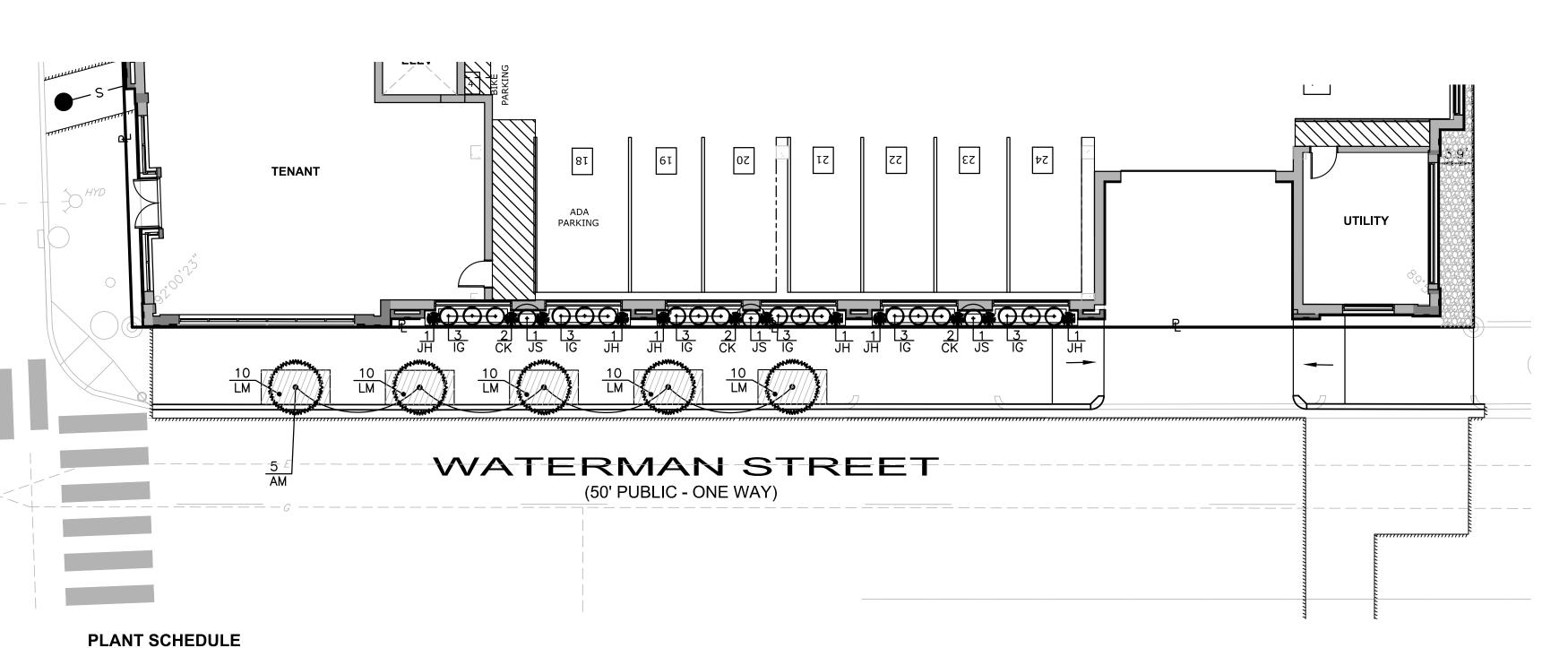
OCTOBER 2022 NO SCALE DWG. NAME: 2568-10-DET2.dwg **REVISIONS** NUMBER DATE REMARKS

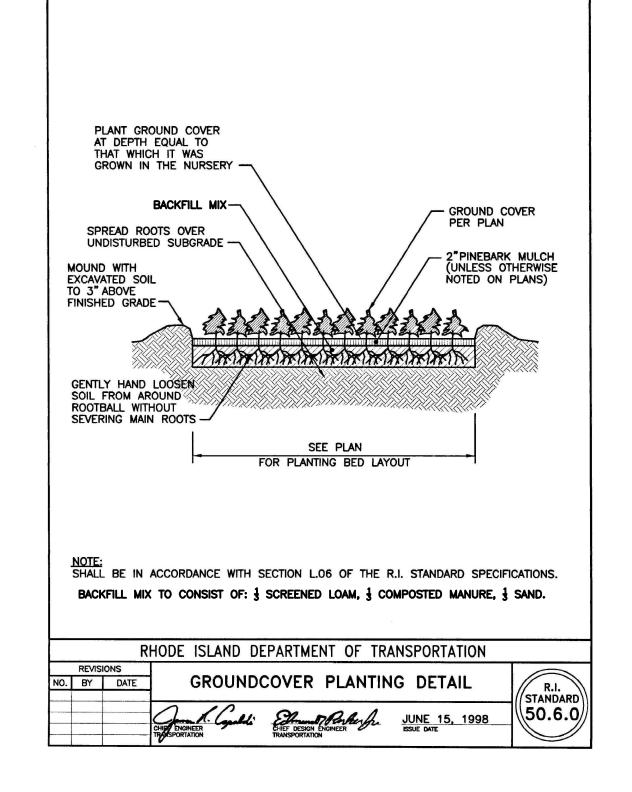




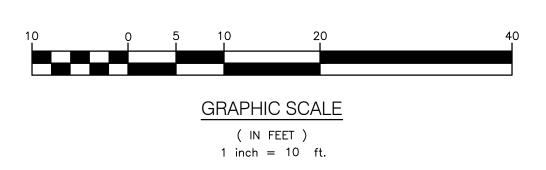








Key	QTY	Botanical Name Common Name	Size	Remarks
АМ	5	Acer rubrum 'Armstrong' Armstrong Maple	2"-2 1/2"	В&В
CK	6	Calamagrostis x acutaflora 'Karl Foerster' Karl Foerster's Feather Reed Grass	<b>#</b> 1	Cont.
IG	18	llex glabra 'Shamrock' Dwarf Inkberry	#5	Cont.
JH	6	Juniperus horizontalis 'Blue Chip' Blue Chip Juniper	#1	Cont.
JS	3	Juniperus scopularum 'Blue Arrow' Blue Arrow Juniper	4'-5'	Cont.
LM	50	Liriope muscari Lilyturf	#1	Cont.



#### **PLANTER BOX DETAIL** SCALE: 1"=5"

# NOTES:

- 1. THE PROPOSED TREES SHALL BE REVIEWED AND APPROVED BY THE CITY FORESTER.
- 2. TREE GRATES SHALL BE PROVIDED UPON REQUEST FROM CITY FORESTER.





PROPERTY OWNER:

**MYLES STANDISH ASSOCIATES LP 5 BURLINGTON WOODS, SUITE 103 BURLINGTON, MA 01803** 

PROJECT TITLE:

# WAYLAND CONDOMINIUM **DEVELOPMENT**

**159 WAYLAND AVENUE** PROVIDENCE, RHODE ISLAND

PREPARED FOR:

**MYLES STANDISH ASSOCIATES LP 5 BURLINGTON WOODS, SUITE 103 BURLINGTON, MA 01803** 

DRAWING TITLE:

#### LANDSCAPE PLAN

OCTOBER 2022			AS NOTED	
DWG. NAME:	DWG. NAME: 2568—11—LAND.dwg			
REVISIONS				
NUMBER	REMARKS		DATE	

DRAWING NUMBER

SHEET: 11 OF: 11