# New Development for:

# 300 Valley Street Lofts Providence, RI

DATE: OCTOBER 05, 2022

# **DRAWINGS**

## CIVIL

C1.0: General Notes & Legend

C2.0: Existing Conditions & Demo Plan

C3.0: Site Plan

C4.0: Grading, Drainage and Utility Plan

C5.0: Site Details 1

C5.1: Site Details 2

# **ARCHITECTURAL**

S-1: Site Context Plan

A-1: Proposed First Floor Plan

A-2: Unit Plans

A-3: Unit Plans

A-4: Proposed Floor Plan

A-5: Proposed Floor Plan

A-6: Proposed Floor Plan

A-7: Proposed Floor Plan

A-8: Street View Perspective

A-9: Exterior Elevations

A-10: Exterior Elevations



# LOCUS MAP

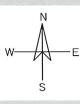
NT

### ARCHITECT

Ed Wojcik, Architect, Ltd.
One Richmond Square, Suite 100K
Providence, RI 02906
P: 401-861-7139
F: 401-861-7165

### CIVIL ENGINEER

D'Amico Engineering Technology, Inc. 2080 Mineral Spring Ave. North Providence, RI 02911 P: 401-622-1470



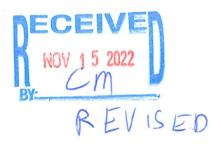
New Development for: 300 Valley Street Residential

SHEET CONTENTS: Cover

PROJECT # 2122

DATE: 10/05/2022 REVISED DATE:

CVR



### GENERAL NOTES:

THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING ANY CONSTRUCTION OPERATIONS. RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR CITY WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.

- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) OF ALL MATERIALS INDICATED ON THE PLANS.
- . STOCKPILES OF EARTH MATERIALS SHALL NOT BE LOCATED ADJACENT TO DRAINAGE STRUCTURES.
- ALL DISTURBED AREAS OUTSIDE OF THE PAVED AREAS WILL RECEIVE A MINIMUM OF 6" OF LOAM AND SEED
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SURVEY LAYOUT SERVICES FOR THE WORK AND SHALL SUBMIT "AS-BUILT" DRAWINGS OF ALL WORK, WHICH SHALL BE STAMPED AND CERTIFIED BY A RHODE ISLAND REGISTERED PROFESSIONAL LAND
- ANY ITEM OF WORK NOT SPECIFICALLY INDICATED ON THE PLANS BUT IS REQUIRED FOR THE COMPLETE CONSTRUCTION OF THE PROJECT WILL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND INCLUDED IN THE CONTRACT BID PRICE. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING SITE CONDITIONS.
- REFFR TO ARCHITECTURAL AND STRUCTURAL PLANS FOR ACTUAL SIZE OF THE PROPOSED BUILDING
- WHERE NECESSARY TO REMOVE CURBS, CATCH BASINS OR DRAINS TO COMPLETE WORK, THE CONTRACTOR SHALL REPLACE SUCH ITEMS TO THE SATISFACTION OF THE ENGINEER AT NO ADDITIONAL COST TO THE OWNER.
- ANY EXISTING PIPE OR UTILITY DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR AT NO COST TO THE OWNER OR ENGINEER.
- THE CONTRACTOR SHALL RESTORE TO ITS ORIGINAL CONDITION OR REPLACE TREES, SHRUBS, FENCES, SIGNS, GUARDRAILS, DRIVEWAYS, SIDEWALKS AND ANY OTHER OBJECT AFFECTED BY THIS OPERATION.
- 10. THE TOPS OF ALL VALVE BOXES AND CURB BOXES SHALL BE FLUSH WITH GROUND OR PAVEMENT SURFACE LEVEL AND PLUMB,
- ROADWAYS SHALL BE LEFT PASSABLE AT ALL TIMES, CLOSURE OF ROADWAY IS NOT PERMITTED
- 12. THE CONTRACTOR SHALL PROVIDE ACCESS TO ALL DRIVEWAYS AT COMPLETION OF EACH DAYS WORK
- 13. WATER SERVICE SHALL BE MAINTAINED AT ALL TIMES.
- 14. ALL LEDGE TO BE REMOVED BY MECHANICAL MEANS
- 15. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN THE DRY. THE CONTRACTOR SHALL PROVIDE, OPERATE AND MAINTAIN ALL PUMPS, DRAINS, WET POINTS, SCREENS, OR OTHER FACILITIES NECESSARY TO CONTROL, COLLECT AND DISPOSE OF ALL SURFACE AND SUBSURFACE WATER ENCOUNTERED IN THE PERFORMANCE OF THE WORK.
- 16. REFER TO PLUMBING PLANS FOR CONTINUATION OF ALL UTILITIES WITHIN 5' (FIVE) FEET OF THE BUILDING.
- 17. ALL SITE WORK, INCLUDING BUT NOT LIMITED TO. BITUMINOUS PAVEMENT, PERVIOUS PAVERS. AGGREGATE MATERIALS. DRAINAGE STRUCTURES, CURBING, SIDEWALK, LANDSCAPING, SAW CUTTING, ETC. SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, 2004 EDITION (WITH LATEST ADDENDA) AND THE RIDOT STANDARD DETAILS, 1998 EDITION (WITH LATEST ADDENDA).

### MISCELLANEOUS UTILITY NOTES:

- PRIOR TO CONSTRUCTION ALL POTENTIAL UTILITY/DRAINAGE CONFLICTS MUST BE IDENTIFIED BY THE CONTRACTOR. ANY MODIFICATIONS TO THE PROPOSED UTILITIES TO AVOID CONFLICTS MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION, NO EXTRA PAYMENT TO THE CONTRACTOR DUE TO RELOCATION'S WILL BE AUTHORIZED.
- THE UTILITY PLAN DOES NOT DEPICT THE NECESSARY ELECTRICAL CONDUIT/WIRING TO SERVICE THE PROPOSED LIGHTING AND SIGNS, WHICH WILL BE PERFORMED BY THE CONTRACTOR FOR NO ADDITIONAL COST.
- OVERHEAD ELECTRIC AND TELEPHONE SERVICES ARE TO BE REMOVED BY THE APPROPRIATE UTILITY COMPANY AND COORDINATED THE CONTRACTOR SHALL AT ALL TIMES PROVIDE A SUFFICIENT NUMBER OF WORKMEN AND GUARDS AS MAY BE NECESSARY TO
- PROPERLY SAFEGUARD THE PUBLIC FROM THERE OPERATIONS THE CONTRACTOR SHALL TAKE PRECAUTIONS AGAINST DAMAGING OF PAVING, SIDEWALKS, UTILITIES, OR PRIVATE PROPERTIES AND SHALL PROMPTLY REPAIR AT HIS OWN EXPENSE ANY DAMAGE TO SUCH PAVING, SIDEWALKS, UTILITIES, OR PRIVATE PROPERTIES TO
- EXISTING UTILITY FRAMES AND COVERS FOR SANITARY SEWER, WATER, GAS, STORM DRAINAGE AND OTHER UTILITIES SHALL BE ADJUSTED TO GRADE AS REQUIRED IN NEW PAVING AND PAVEMENT OVERLAY AREAS.

### LAYOUT NOTE:

THE LAYOUT SHOWN REPRESENTS A GRAPHICAL DESIGN, AND PRIOR TO THE CONSTRUCTION, THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL LAND SURVEYOR (PLS) REGISTERED IN THE STATE OF RHODE ISLAND TO SET AND VERIFY ALL LINES AND GRADES. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION, ANY ITEMS FOUND WHICH DO NOT MATCH THE PLANS MUST BE BROUGHT TO THE ENGINEERS ATTENTION PRIOR TO CONSTRUCTION FOR REVIEW. NO WORK SHALL PROCEED UNTIL AUTHORIZED BY THE ENGINEER.

### MAINTENANCE AND PROTECTION OF TRAFFIC NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION, ALL TEMPORARY AND VEHICULAR SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST REVISIONS OF MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.)
- 2. TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE TRAFFIC CONTROL DIVIDES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC.
- 3. THE PRIVATE VEHICLES OF CONSTRUCTION WORKERS SHALL NOT BE PARKED IN THE STATE OR CITY RIGHT-OF-WAY.
- ALL MAINTENANCE AND PROTECTION OF TRAFFIC CONTROL SETUPS, SIGNS CHANNELING DEVICES, ETC, SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. 1988 EDITION. INCLUDING REVISION 3, SEPTEMBER 3, 1993 AND SUBSEQUENT ADDENDA
- 5. SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH THE R.I.D.O.T. SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.

### DRAINAGE SYSTEM MAINTENANCE SCHEDULE:

UPON PROJECT COMPLETION, THE PROPERTY OWNER SHALL ADHERE TO THE FOLLOWING MAINTENANCE PLAN AND SCHEDULE:

- CATCH BASINS, MANHOLES AND DRAIN LINES: AN INSPECTION MUST OCCUR ON AN ANNUAL BASIS BY QUALIFIED PERSONAL TO ENSURE PROPER OPERATION. THE INSPECTION SHOULD, AS A MINIMUM, CONCENTRATE ON THE FOLLOWING:
  - \* DAMAGE TO GRATE/ COVERS \* EVIDENCE OF STANDING WATER
  - DEBRIS REMOVAL

  - \* STRUCTURAL ALIGNMENT/ INTEGRITY

ANY DEFICIENCY NOTED DURING THE INSPECTION WILL BE IMMEDIATELY REPAIRED OR REPLACED.

- SEDIMENT REMOVAL: ALL REMOVED SEDIMENT IS TO BE TESTED TO DETERMINE POLLUTANT CONTENT. THE SEDIMENT IS TO BE
  PROPERLY DISPOSED IN UPLAND AREAS BASED UPON THE TEST RESULTS AND LOCAL, STATE, AND FEDERAL REGULATIONS
- 3. ALL RIM ELEVATIONS SHOWN ARE APPROXIMATE AND ARE TO BE SET FLUSH WITH FINAL GRADES
- 4. ROUTINE MAINTENANCE OF THE PERVIOUS BITUMINOUS CONCRETE SURFACE SHALL BE VACUUMED SWEPT TWICE A YEAR

### PROPOSED PAVEMENT STRUCTURE:

(SEE DETAIL SHEET FOR PERVIOUS PAVEMENT STRUCTURE)

ASPHALT EMULSION TACK COAT IS NOT TO BE USED FOR PERVIOUS PAVEMENT STRUCTURES

### ROPOSED PAVEMENT STRUCTURE:

- - BITUMINOUS CONCRETE SURFACE COURSE CLASS TYPE I-1 BITUMINOUS CONCRETE BINDER COURSE
- 12" GRAVEL BORROW SUBBASE COURSE

ASPHALT EMULSION TACK COAT TO BE PLACED ON ALL BITUMINOUS COURSES PRIOR TO PAVING

### WATER NOTES:

- ALL INSTALLATIONS, JOINTS, CONSTRUCTION METHODS AND MATERIALS SHALL BE ACCORDING TO THE PROVIDENCE WATER SUPPLY BOARD REQUIREMENTS, AWWA STANDARDS AND GOVERNMENTAL REQUIREMENTS.
- 2. WATER PIPES SHALL TYPICALLY BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM SEWER PIPES, AND AT A MINIMUM DEPTH OF COVER EQUAL TO 5'. WHERE A NEW WATER PIPE IS LESS THAN 18 INCHES CLEAR DISTANCE ABOVE A SEWER OR WHERE A WATER PIPE PASSES BENEATH A SEWER OR STORM DRAIN, ENCASE THE SEWER OR DRAIN IN 6' OF CONCRETE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE CROSSING WATER PIPE.
- ALL SYSTEM COMPONENTS AND CONSTRUCTION METHODS: SUCH AS PIPE, THRUST BLOCKS, FITTINGS, CASTINGS, ETC. SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION. THIS SUBMISSION SHALL INCLUDE MANUFACTURERS LITERATURE, SHOP DRAWINGS, PROPOSED CONSTRUCTION METHODS, ETC.
- WATER LINE TRENCH TO BE AWWA TYPE 5 A METALIZED DETECTABLE IDENTIFICATION TAPE 2" IN WIDTH, BLUE IN COLOR AND PRINTED WITH "CAUTION WATERLINE BURIED BELOW" SHALL BE UTILIZED OVER ALL MAINS, TAPE SHALL BE SET AT
- 5. THE CONTRACTOR SHALL RECEIVE VERIFICATION FROM THE ENGINEER AS TO THE APPROPRIATE SIZE OF THE DOMESTIC WATER AND FIRE PROTECTION LINE SHOWN ON THE PLANS PRIOR TO ORDERING WATER PIPE RELATED ITEMS.
- 6. SPECIFIC BENDS ARE SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL PROVIDE ADDITIONAL BENDS AS NECESSARY TO INSTALL THE PIPE AT THE REQUIRED DEPTH AND ALIGNMENT.

### RIDOT

ALL WORK, INCLUDING BUT NOT LIMITED TO, BITUMINOUS PAYEMENT, ROADWAY CONSTRUCTION, AGGREGATE MATERIALS. DRAINAGE STRUCTURES, CURBING, SIDEWALK, LANDSCAPING, SAW CUTTING, ETC. SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, 2004 EDITION (WITH LATEST ADDENDA) AND THE RIDOT STANDARD DETAILS, 1998 EDITION (WITH LATEST ADDENDA)

### SOIL EROSION AND SEDIMENTATION CONTROL NOTES

- THE HAYBALE AND SILT FENCE LINE ILLUSTRATED ON THESE PLANS SHALL SERVE AS THE STRICT LIMIT OF DISTURBANCE FOR THE PROJECT WITHIN OR ADJACENT TO REGULATED FRESHWATER WETLAND AREAS
- THE LIMITS OF CLEARING, GRADING, AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE OF THESE LIMITS, AS DEPICTED ON THE PLAN SHALL BE TOTALLY UNDISTURBED, TO REMAIN IN NATURAL CONDITION.
- 3. ALL CATCH BASINS AND CULVERTS SHALL BE PROTECTED WITH STAKED HAYBALES (R.I. STD. 9.8.0) DURING CONSTRUCTION ACTIVITIES. ALL PROPOSED STORM WATER DISCHARGE AREAS SHALL BE LINED WITH A RIPRAP SPLASH PAD AND PROTECTED WITH STAKED HAYBALE OUTLET PROTECTION (R.I. STD. 9.1.0), OR STAKED HAYBALE WITH SILT FENCE (R.I. STD. 9.3.0) SHALL ALSO BE NSTALLED AT ALL EXISTING STORMWATER DISCHARGE LOCATIONS WHERE DISTRIBUTING PIPES, CATCH BASINS, AND MANHOLES ARE TO BE CLEANED AND FLUSHED.
- ALL DISTURBED SLOPES EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEEDED, PROTECTED AND MAINTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL REGULARLY CHECK ALL SEEDED AREAS TO ENSURE THAT A GOOD STAND IS MAINTAINED.
- ALL HAYBALES, TEMPORARY TREATMENT (HAY, STRAW, ETC.) AND TEMPORARY EROSION PROTECTION SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
- STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SIDE SLOPES OF NO GREATER THAN 2:1 AND SHALL BE TEMPORARILY SEEDED AND/OR STABILIZED PER CONTRACT SPECIFICATIONS.
- 8. THE HAYBALES SHALL BE CHECKED BY THE CONTRACTOR ON A WEEKLY BASIS AND AFTER EACH STORM FOR UNDERMINING OR DETERIORATION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY HAYBALES AS NEEDED. THE CONTRACTOR SHALL CLEAN THE ACCUMULATED SEDIMENT IF HALF OF THE ORIGINAL HEIGHT OF THE HAY-BALES BECOMES FILLED WITH SEDIMENTS
- 9. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL SOIL EROSION AND SEDIMENT CONTROLS ON THE PROJECT SITE FOR THE ENTIRE DURATION OF THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL FOLLOW THE DIRECTION OF THE RESIDENT ENGINEER WITH REGARD TO INSTALLATION, MAINTENANCE, AND REPAIR OF ALL SOIL EROSION AND SEDIMENTATION CONTROLS ON THE PROJECT SITE. TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROLS (HAYBALES, SILT FENCE, ETC.) SHALL BE MAINTAINED UNTIL ALL EXPOSED SOILS ARE SATISFACTORILY STABILIZED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND/OR RESEEDING ALL AREAS THAT DO NOT DEVELOP WITHIN ONE YEAR FROM THE COMPLETION OF CONSTRUCTION.
- 10. ALL REFERENCED SOIL EROSION AND SEDIMENTATION CONTROLS INCLUDING MATERIALS USED, APPLICATION RATES AND THE INSTALLATION PROCEDURES SHALL BE PERFORMED PER THE "RHODE ISLAND EROSION AND SEDIMENTATION HANDBOOK", DATED

### BMP MAINTENANCE SCHEDULE

- ALL MAINTENANCE (INCLUDING CLEANING) REQUIRED DURING THE CONSTRUCTION PHASE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR
- 2. MEASURES NEEDED TO ENSURE THE PROPER OPERATION OF THE STORMWATER DRAINAGE SYSTEMS AND WATER QUALITY CONTROL SYSTEMS TO INCLUDE INSPECTION, CLEANING AND REPAIRS TO ALL PIPES, INTAKE AND DISCHARGE STRUCTURES (INCLUDING RIP-RAP SPLASH PADS), CATCH BASIN SUMPS, AND MANHOLES.
- INSPECTION OF ALL SLOPES, BERMS, AND OTHER CONTROL STRUCTURES (INCLUDING ROADWAY SIDE SLOPES, FOR STRUCTURAL INTEGRITY, STABILITY AND EVIDENCE OF SOIL FROSION, SHALL INCLUDE, MAINTENANCE OF THESE STRUCTURES IF NECESSARY, INSPECTIONS SHALL BE PERFORMED FOLLOWING ALL RAIN EVENTS OF ½ INCH RAINFALL OR MORE IN A 24-HOUR PERIOD, OR BIMONTHLY IF NO RAINFALL EVENT OCCURS.
- 4. UPON COMPLETION OF PROJECT CONSTRUCTION, AND PRIOR TO VACATING THE SITE, THE CONTRACTOR SHALL CONDUCT A FINAL INSPECTION, REPAIR ANY VEGETATIVE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES, (SEEDING, PLANTING, ETC.)
  WHERE REQUIRED, AND REPAIR (OR REMOVE WHERE APPROPRIATE) ANY TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL DEVICES. AFTER PERMANENT SOIL STABILIZATION ON THE ENTIRE SITE HAS OCCURRED, ALL TEMPORARY CONTROL MEASURES MUST
- 5. AFTER THE COMPLETION OF PROJECT CONSTRUCTION AND THE FINAL STABILIZATION OF THE ENTIRE SITE, THE INSPECTION AND MAINTENANCE OF ALL STORMWATER FACILITIES MUST BE PERFORMED.
- 6. REPLANTING, REGRADING, OR OTHER REPAIRS NEEDED AS A RESULT OF SOIL EROSION AND SEDIMENTATION PROCESSES SHALL BE DONE PROMPTLY TO ENSURE PROPER FUNCTIONING OF THE ENTIRE SYSTEM.
- 7. ANY TRASH, DEBRIS, ETC. SHOULD BE REMOVED FROM ANY WETLAND AREAS, SWALE, AND PIPE OUTLETS,





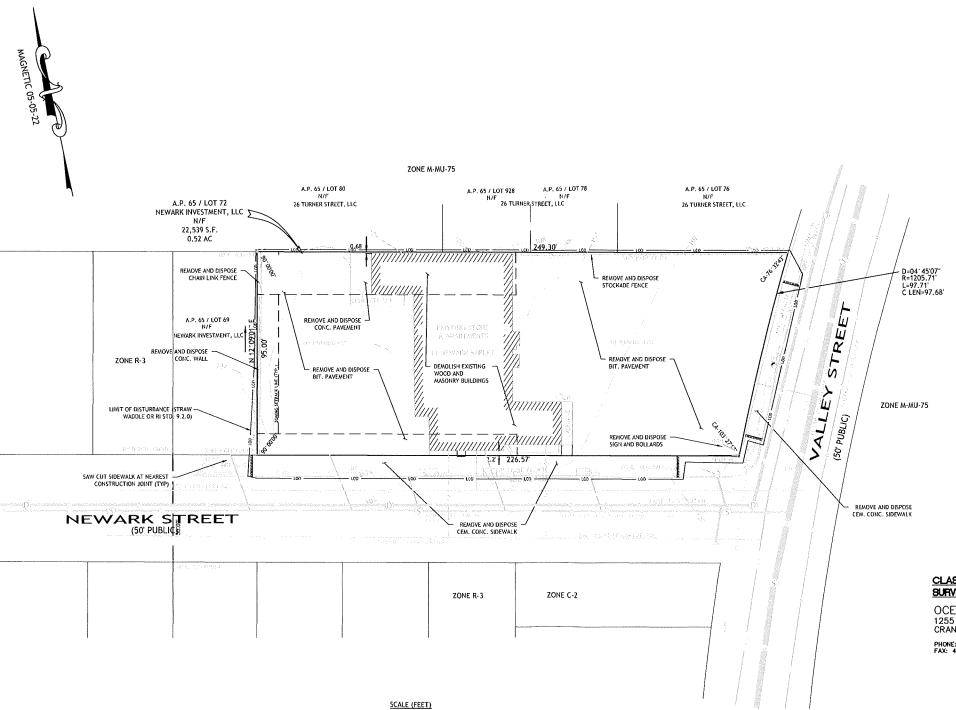


# ELOPMENT $\mathbf{S}$ REET ISLAND OPSTR RK STR 1, RHODE I 5, LOT 72 DE SSIDENTIAL DESIGNATION OF STREET STRE AL

REVISIONS: NO. DATE. DESCRIPTION DESIGNED BY: DMD DRAWN BY:
CHECKED BY: DMD
DATE: AUG., 20.
PROJECT NO: 19-0005-0 PREMIT PLAN

300 田

> **GENERAL** NOTES & LEGEND **PLAN**



ZONING CRITERIA	REQUIRED	EXISTING
ZONING DISTRICT	M-MU-75	M-MU-75
MINIMUM LOT AREA	NONE	22,539 SF
MINIMUM FRONTAGE AND LOT WIDTH	NONE	322.42'
MINIMUM FRONT ZONE SETBACK	NONE *	2.2' ***
MINIMUM CORNER/INTERIOR SIDE SETBACK	NONE: 10' AT RESID.	79.0. 53.6
MINIMUM REAR YARD SETBACK	NONE **	0.68' ***
MAXIMUM BUILDING HEIGHT	75 FT	< 35'

\* UNLESS ABUTTING RESIDENTIAL DISTRICT ON OPPOSITE SIDE OF STREET, THEN 10
\*\* UNLESS ABUTTING RESIDENTIAL DISTRICT ON OPPOSITE SIDE OF STREET, THEN 20
\*\*\* EXISTING NON-CONFORMING DIMENSIONS

OF RECORD ALONG RESIDENTIAL ZONE

CLASS I PROPERTY LINE AND TOPOGRAPHIC SURVEY CONDUCTED BY:

OCEAN STATE PLANNERS, INC. 1255 OAKLAWN AVENUE CRANSTON, RI 02920

PHONE: 401-463-9896 FAX: 401-463-9039

NOTES:

1. THE PROPERTY BOUNDARY PERIMETER AND TOPOGRAPHIC INFORMATION SHOWN ON THIS EXISTING CONDITIONS SHEET IS THE RESULT OF A BOUNDARY STAKE-OUT SURVEY PERFORMED BY OCEAN STATE PLANNERS, INC. 1255 OAKLAWN AVE., CRANSTON, RI 02920 THILED 'BOUNDARY STAKE-OUT SURVEY AP 65/LOT 72, 11 NEWARK STREET, PROVIDENCE, RI, DATED JUNE 24, 2022, SCALE 1" = 30" PREPARED FOR THE KINGDOM TRUST COMPANY FBO JOHN RISICA BC011569.

2. INFORMATION BY DETEC PROVIDED ON THIS EXISTING CONDITIONS PLAN IS TO AUGMENT THE BASE SURVEY FOR PERMITTING AND DESIGN WITH THE ADDITION OF SITE SPECIFIC FROM RECORDS AND SITE UTILITIES TAKEN FROM RECORDS AND SITE ON

3. BASED ON FEMA FLOOD RISURANCE RATE MAP (FIRM) FOR THE CITY OF PROVIDENCE, COMMUNITY-PAHEL NUMBER 0304J, MAP NUMBER 44007C0304J EFFECTIVE DATE MAP REVISED OCTOBER 2, 2015, THE SITE IS LOCATED IN ZONE "X AND OUTSIDE FLOOD ZONE "X, AF, AH OR AO" OTHER AREAS (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).

**CIVIL SHEET 2 OF 6** 

ECHNOLOGY, INC.



300 VALLEY LOFTS PROPOSED RESIDENTIAL DEVELOPMENT 11 NEWARK STREET PROVIDENCE, RHODE ISLAND AP 65, LOT 72

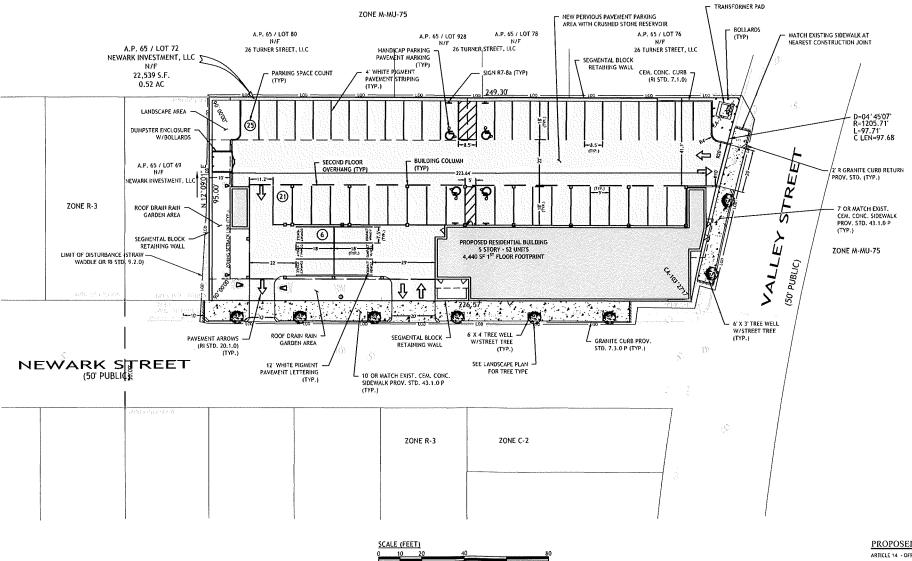
REVISIONS: NO. DATE. DESCRIPTION

PREMIT PLAN

EXISTING CONDITIONS AND DEMO PLAN

OCATION OF EXISTING UTILITIES SHOWN, ARE FROM CATE LOCATION AND XISTING OCCUMENTATION AND MAY NOT BE ACCUPATE. EXACT LOCATION TO BE DONE BY THE APPROPRIATE UTILITY COMPANY OR MUNICIPALITY PRIOR OF MY EXCAVATION CALL DIGSAFE AT 1-888-DIG-SAFE 1-888-344-7233





ZONING CRITERIA	REQUIRED	EXISTING	PROPOSED
ZONING DISTRICT	M-MU-75	M-MU-75	M-MU-75
MINIMUM LOT AREA	NONE	22,539 SF	22,539 SF
MINIMUM FRONTAGE AND LOT WIDTH	NONE	322.42	322.42
MINIMUM FRONT ZONE SETBACK	NONE *	2.2' ***	0.0
MINIMUM CORNER/INTERIOR SIDE SETBACK		79.0', 53.6'	0.0', 10.0
MINIMUM REAR YARD SETBACK	NONE **	0.68	41
MAXIMUM BUILDING HEIGHT	75 FT	< 35'	4 STORIES

\* UNLESS ABUTTING RESIDENTIAL DISTRICT ON OPPOSITE SIDE OF STREET, THEN 10
\*\*\* UNLESS ABUTTING RESIDENTIAL DISTRICT ON OPPOSITE SIDE OF STREET, THEN 20
\*\*\*\* EXISTING NON-CONFORMING DIMENSIONS
OF RECORD ALONG RESIDENTIAL ZONE

PROPOSED PARKING CALCULATION(S):

ARTICLE 14 - OFF-STREET PARKING AND LOADING

TABLE 14-1: OFF-STREET VEHICLE AND BKCYCLE PARKING REQUIREMENTS DWELLING - MULTI-FAMILY - ONE (1) SPACE PER UNIT AND 1 SPACE PER 5 DWELLING UNITS - 80% LONG-TERM SPACES FOR BIKES

REQUIRED PARKING = 52 DWELLING UNITS = 52 PARKING SPACES

ADA ACCESSIBLE SPACE(S) REQUIRED: 3 ADA ACCESSIBLE SPACE(S) PROVIDED: 4

CIVIL SHEET 3 OF 6

ENGI



300 VALLEY LOFTS PROPOSED RESIDENTIAL DEVELOPMENT 11 NEWARK STREET PROVIDENCE, RHODE ISLAND AP 65, LOT 72

DRAWN BY:

CHECKED BY: DMD

DATE: AUG., 2022

PROJECT NO: 19-0005-03

REVISIONS: NO. DATE. DESCRIPTION

PREMIT PLAN

SITE PLAN

C3.0

ZONE M-MU-75 A.P. 65 / LOT 80 OT 928 A.P. 65 / LOT 78
N/F
26 TURNER, STREET, LLC A.P. 65 / LOT 76 N/F 26 TURNER STREET, LLC A.P. 65 / LOT 928 N/F A.P. 65 / LOT 72 26 TURNER STREET, LLC NEWARK INVESTMENT, LLC N/F 22,539 S.F. 0.52 AC - TRANSFORMER PAD LOCATION PER NATIONAL GRID DESIGN A.P. 65 / LOT 69 N/F SEE DETAIL FOR CLEAN OUT AND -BACKWATER VALVE ASSEMBLY ROOF DRAIN-RAIN GARDEN ZONE R-3 25 LF 6" DIA. PVC SDR 35 -SEWER SERVICE - ELECTRICAL CONDUIT (SEE ELECTRICAL PLANS FOR DETAILS) 6 ROOF DRAIN FLARED END-SECTION ADS N-12 W/RIP RAP PAD INV OUT: 101.5 PROPOSED RESIDENTIAL BUILDING RIP RAP PAD INV: 100.80 5 STORY - 52 UNITS 4,440 SF 1<sup>ST</sup> FLOOR FOOTPRINT ZONE M-MU-75 UTILITY POLE RISER PER NATIONAL GRID DESIGN 2 - 10 FLARED END SECTION -ADS N-12 W/RIP RAP PAD INV OUT: 100.0 (50' PUBLI 4" CURB STOP AND BOX 1<sup>st</sup> FF ELEV, = 101.0 18 LF 10 DICL PIPE-PLOW CONTROL STRUCTURE—
(50' PUBLIC)
(50' PU GAS SERVICE PER — NATIONAL GRID DESIGN TIE TO EXISTING SEWER SERVICE ~ INV = (TO BE DETERMINED IN THE FIELD BY) CONNECT TO EXIST. 6" CI WATER MAIN W/6" x 6" TAPPING SLEEVE & 6" TAPPING VALVE AND BOX WITH THRUST BLOCK 22 LF 12" ADS N-12 S = 0.01 FT/FT CONNECT TO EXISTING WATER
MAIN VIA 4\* CORPORATION STOP 4' Ø COPPER TYPE K' (FULL LENGTH) — DOMESTIC WATER SERVICE CORE DMH TO RECEIVE NEW 12" ADS PIPE INV: 98.53 ZONE C-2

GAS, ELECTRIC AND COMMUNICATIONS SERVICE TO BE DESIGNED BY NATIONAL GRID. THE LOCATIONS SHOWIN ON THIS PLAN IS FOR CONFLICT PLANNING ONLY AND OR APPROXIMATE.



300 VALLEY LOFTS PROPOSED RESIDENTIAL DEVELOPMENT 11 NEWARK STREET PROVIDENCE, RHODE ISLAND AP 65, LOT 72

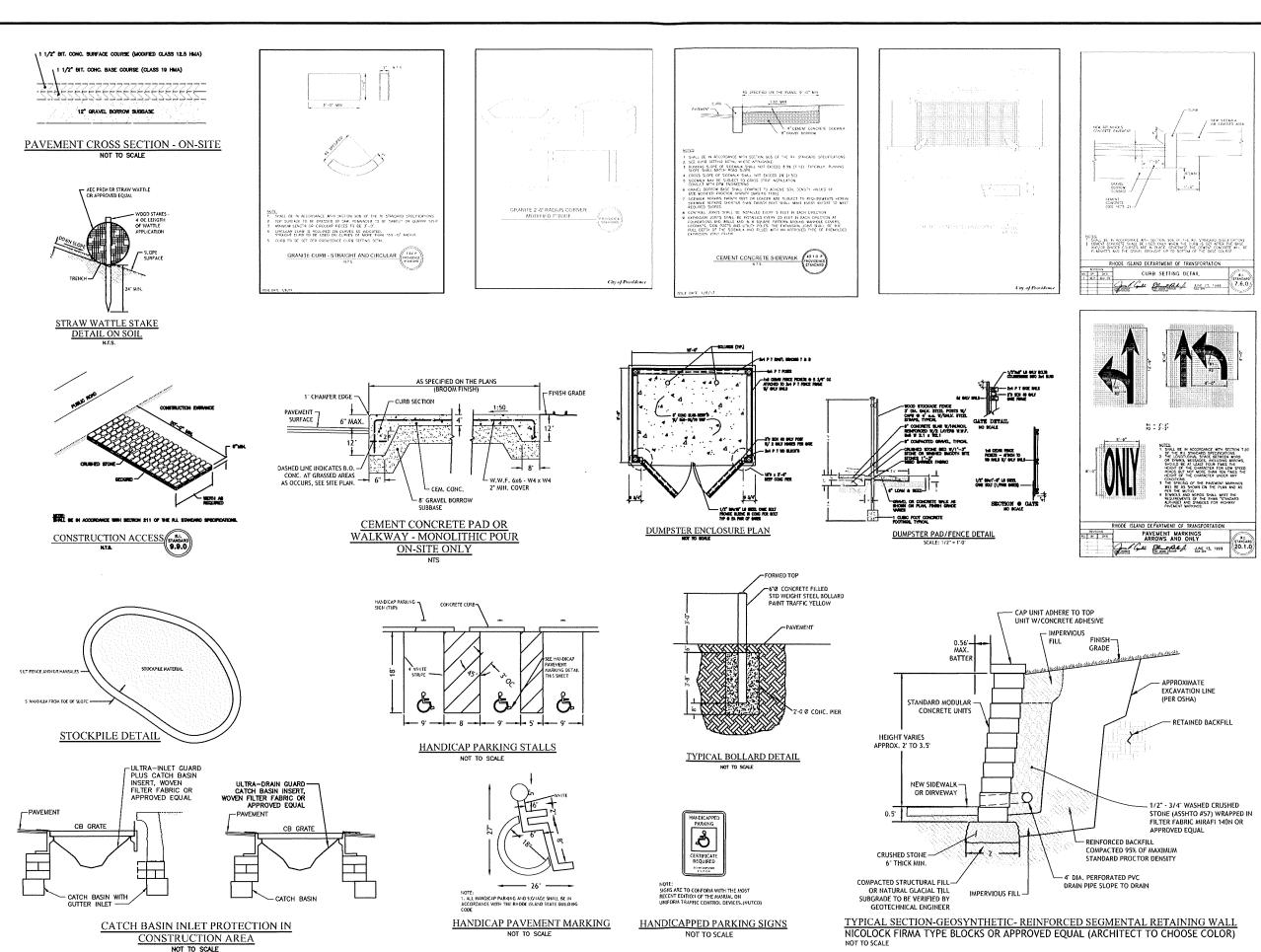
TECHNOLOGY, INC. D'AMICO ENG

DAVID M. D'AMICO PROFESSIONAL ENGINEER 10 17 22

REVISIONS: NO. DATE. DESCRIPTION 

PREMIT PLAN

GRADING DRAINAGE AND UTILITY PLAN C4.0



N:119-0005 Peter Casale\03 11 Newark St\11 Newark Street PLAN SET 10-18-22.dwg Oct

CIVIL SHEET 5 OF 6

ECHNOLOGY, INC.

ENG

D'AMICO

DAVID M. D'AMICO

REGISTERED POFESSIONAL ENGINEER CIVIL

10 17 22

300 VALLEY LOFTS PROPOSED RESIDENTIAL DEVELOPMENT 11 NEWARK STREET PROVIDENCE, RHODE ISLAND AP 65, LOT 72

REVISIONS: NO. DATE. DESCRIPTION

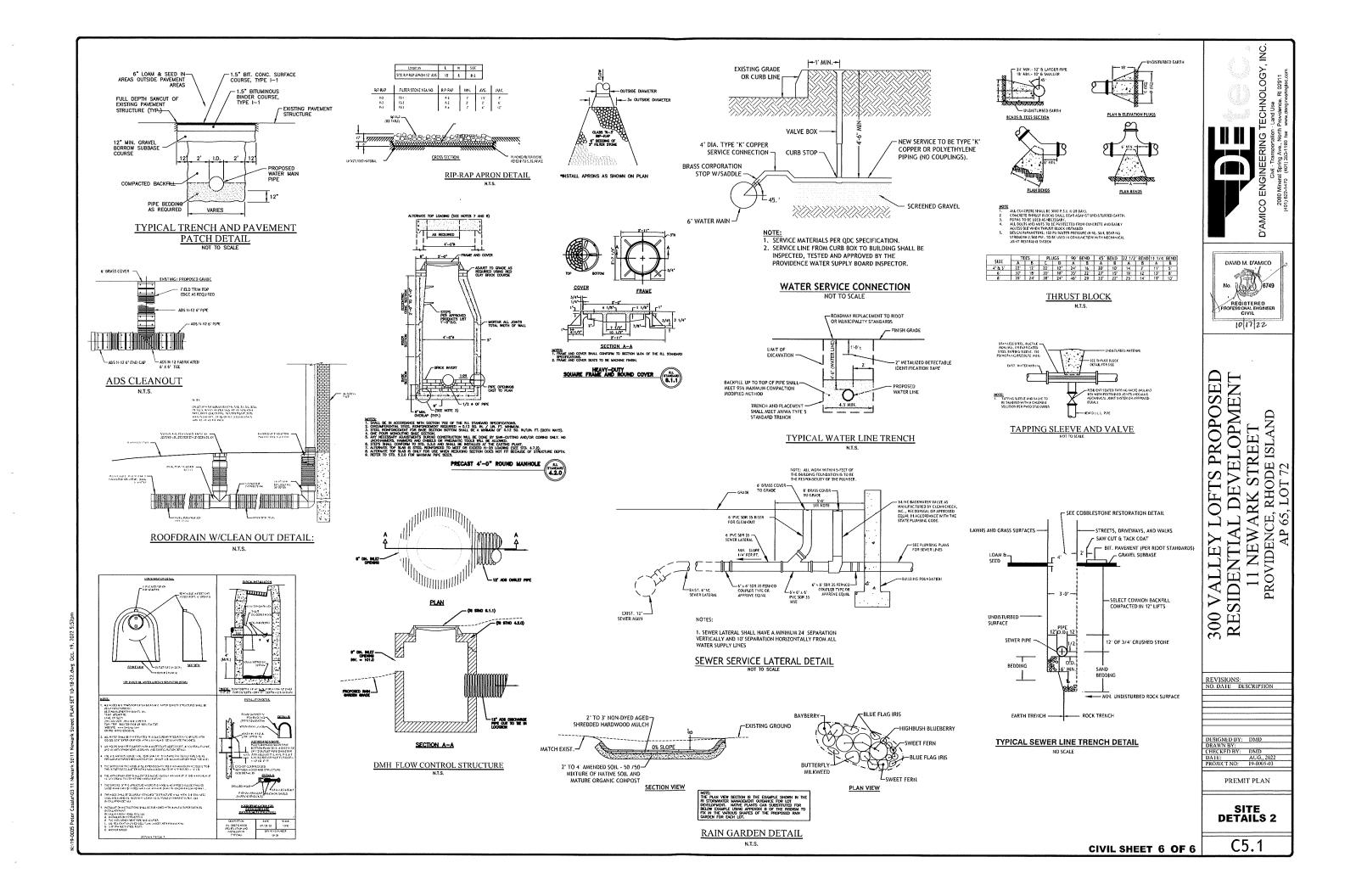
DESIGNED BY: DMD DRAWN BY: CHECKED BY: DMD

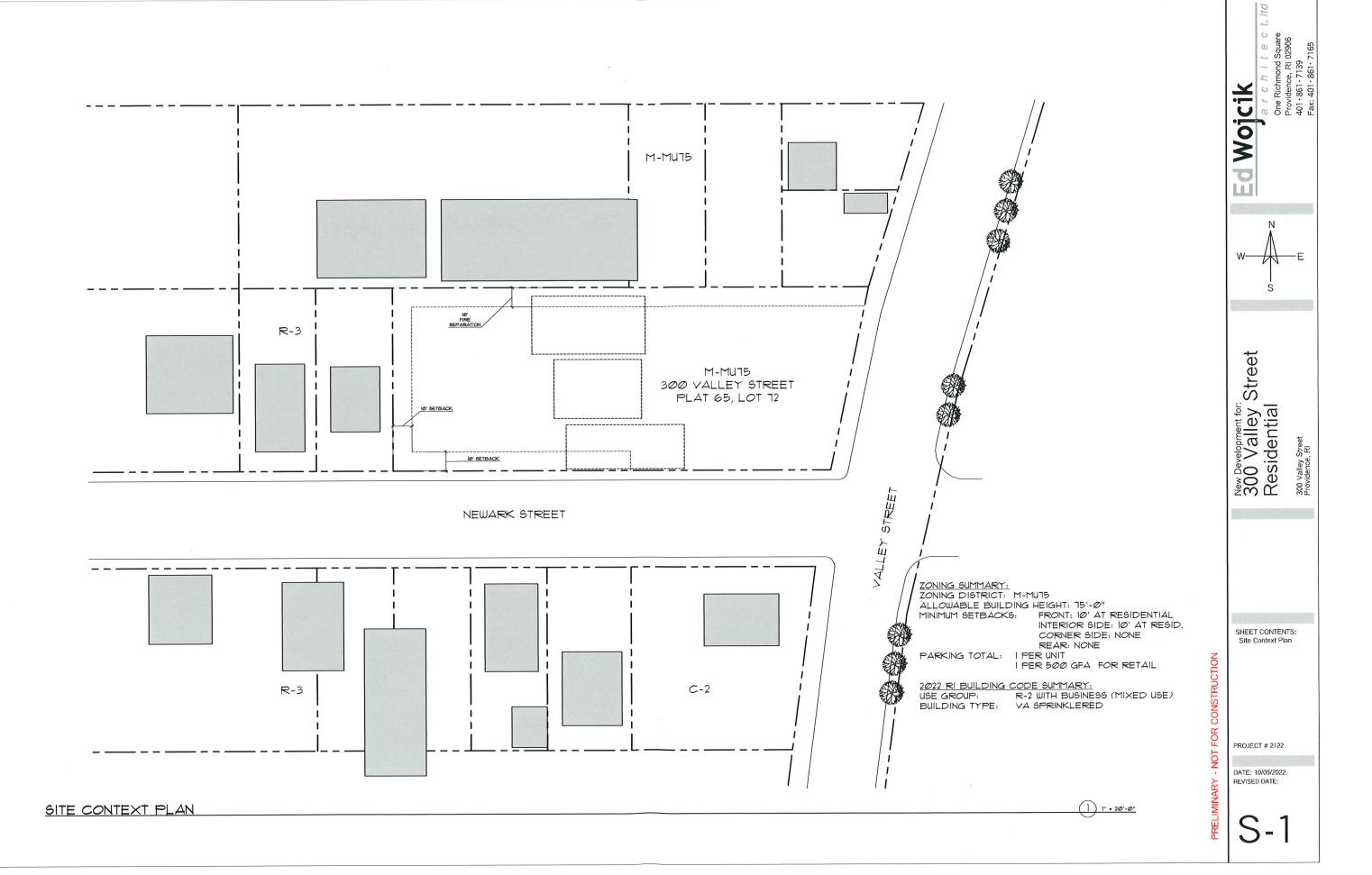
PREMIT PLAN

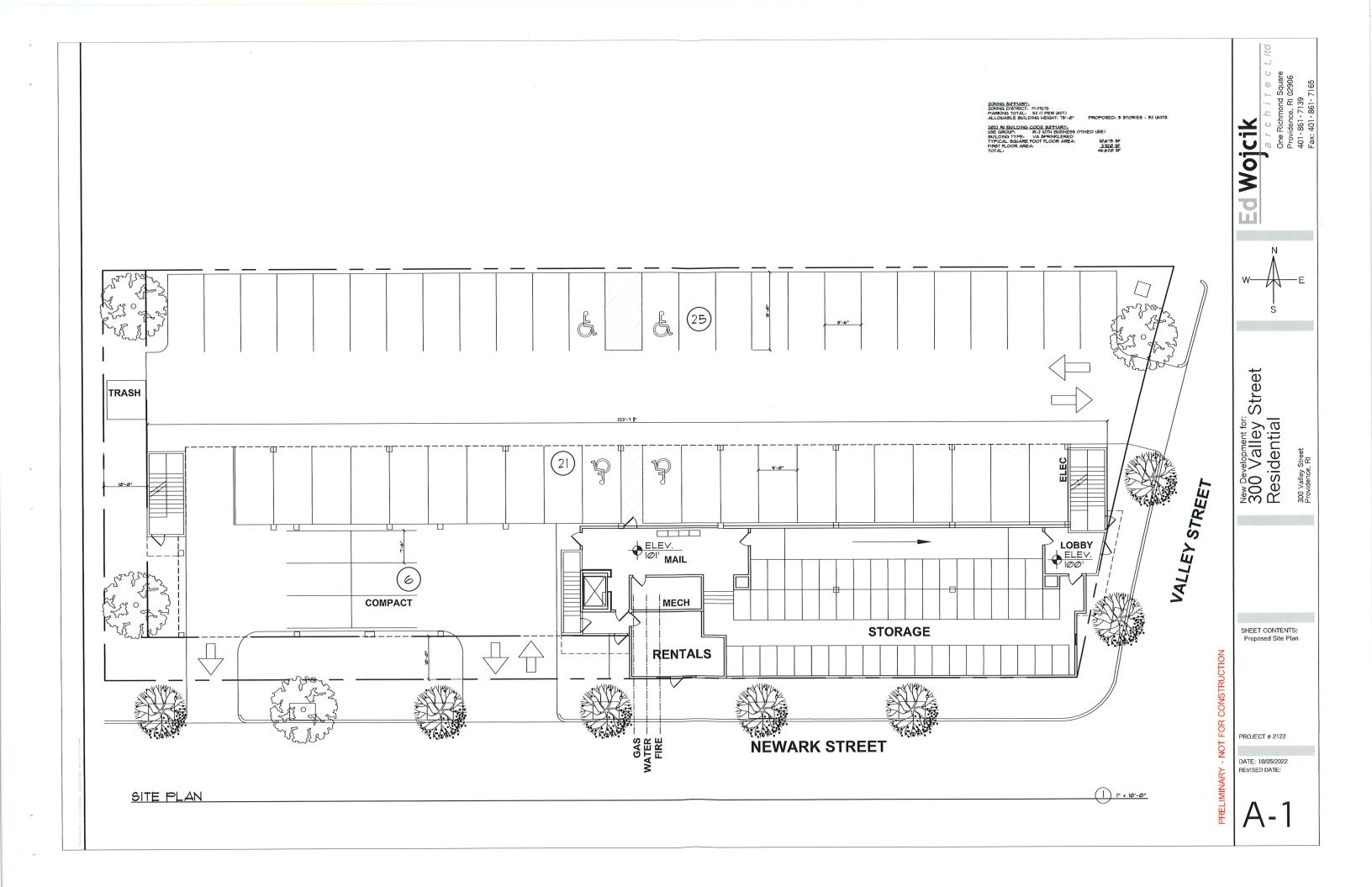
SITE

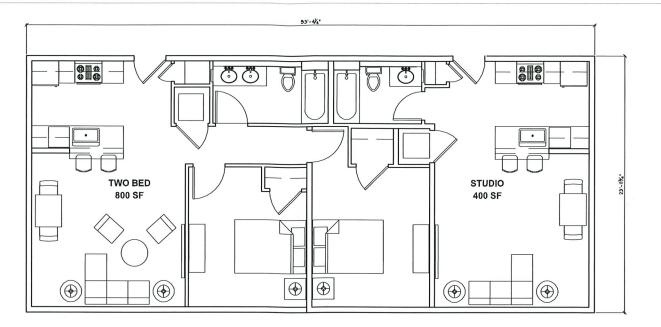
**DETAILS 1** 

C5.0



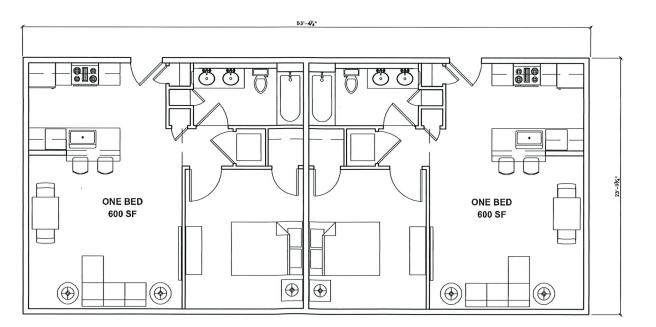






TWO BED/ STUDIO UNITS

2 1/4" • 1'-@"



ONE BEDROOM UNITS

1/4" • 1'-@"

New Development for: 300 Valley Street Residential

Ed Wojcik

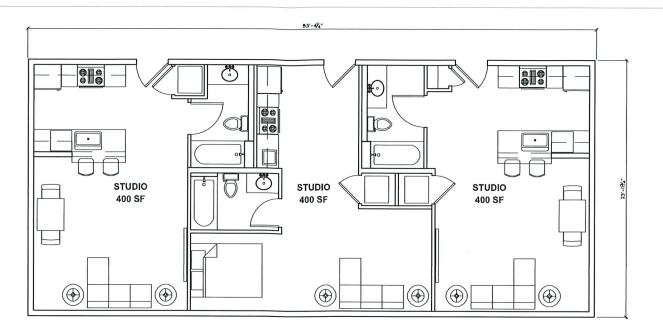
300 Valley Street Providence, RI

SHEET CONTENTS: Unit Plans

PROJECT # 2122

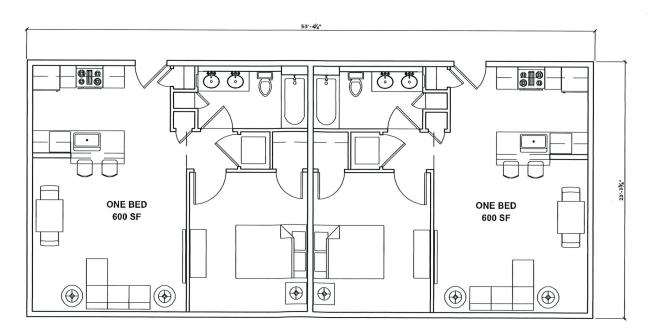
PRELIMINARY - NOT FOR CONSTRUCTION

DATE: 10/05/2022 REVISED DATE:



STUDIO UNITS

2 1/4" • 1'-@"



ONE BEDROOM UNITS

1/4" • 1'-0"

New Development for: 300 Valley Street Residential

Ś

Ed Wojcik

300 Valley Stre Providence, RI

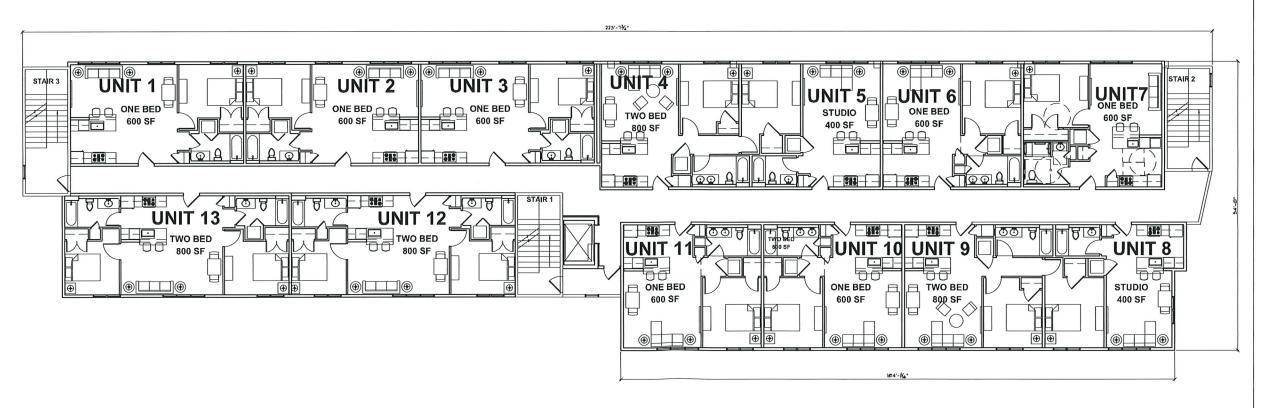
SHEET CONTENTS: Unit Plans

PROJECT # 2122

PRELIMINARY - NOT FOR CONSTRUCTION

DATE: 10/05/2022 REVISED DATE:

	GROSS SQUARE FEET	STUDIO UNITS	I BEDROOM UNITS	2 BEDROOM UNITO	TOTAL
FIRST FLOOR	3,920 8₽	0	Ø	0	0
SECOND FLOOR	10,675 SF	2	7	4	13
THIRD FLOOR	10,675 SF	2	1	4	13
FOURTH FLOOR	10,675 SF	2	7	4	13
FIFTH FLOOR	10,675 SF	2	1	4	13
TOTAL	46,620 SF	8	28	16	52



1/8" = 1'-0"

- NOT FOR CONSTRUCTION

DATE: 10/05/2022 REVISED DATE:

PROJECT # 2122

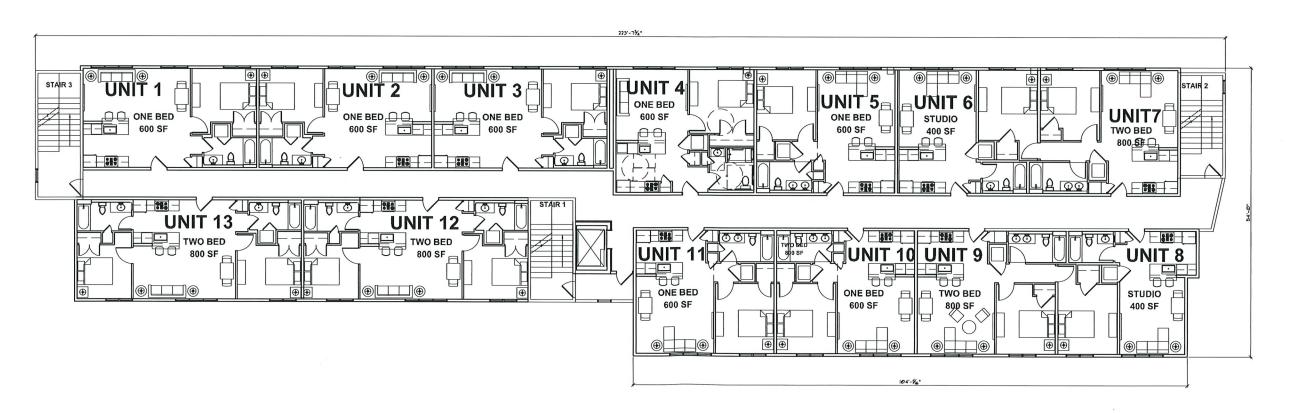
SHEET CONTENTS: Proposed Floor Plan

SECOND FLOOR PLAN

New Development for: 300 Valley Street Residential

d Wojcik

GROSS SQUARE FEET	STUDIO UNITS	I BEDROOM UNITS	2 BEDROOM UNITO	TOTAL
3,920 8₽	0	0	0	0
10,675 SF	2	1	4	13
10,675 SF	2	1	4	13
10,675 SF	2	1	4	13
10,675 SF	2	1	4	13
46,620 SF	8	28	16	52
	3,320 8F 0,615 8F 0,615 8F 0,615 8F	SCALARE FEET  3.3.00 6F  0.6.15 6F	GOLIANE         FEET           7,910 6F         0           Øp.15 0F         2           1         0p.15 0F           1         0p.15 0F           1         0p.15 0F           1         0p.15 0F           1         0p.15 0F	Collare FEET         ANTE           3,370 6F         0         0           0,6715 6F         2         1         4           0,6715 6F         2         1         4           0,6715 6F         2         1         4           0,6715 6F         2         1         4



THIRD FLOOR PLAN

1/8" = 1'-@"

New Development for: 300 Valley Street Residential

Ed Wojcik

W-

S

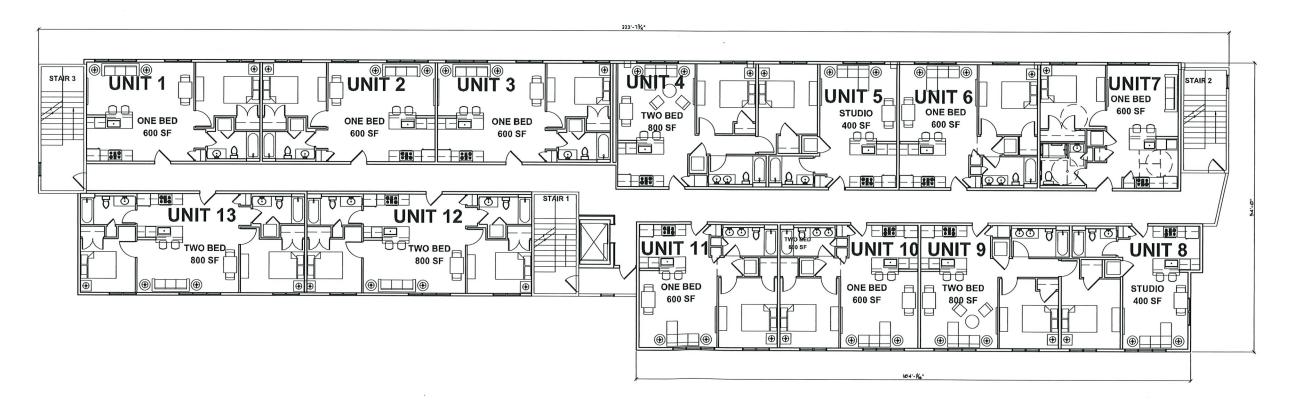
PROJECT # 2122

- NOT FOR CONSTRUCTION

SHEET CONTENTS: Proposed Floor Plan

DATE: 10/05/2022 REVISED DATE:

	GROSS SCHARE FEET	STUDIO UNITS	I BEDROOM UNITS	2 BEDROOM UNITO	TOTAL
FIRST FLOOR	3,92Ø 8F	0	0	0	0
BECOND FLOOR	10,675 SF	2	1	4	13
THIRD FLOOR	10,675 SF	2	1	4	13
OURTH FLOOR	10,675 SF	2	1	4	13
IFTH FLOOR	10,675 SF	2	Т	4	13
TOTAL	46,620 SF	8	28	16	52



FOURTH FLOOR PLAN

1/8" = 1'-@"

New Development for: 300 Valley Street Residential

d Wojcik

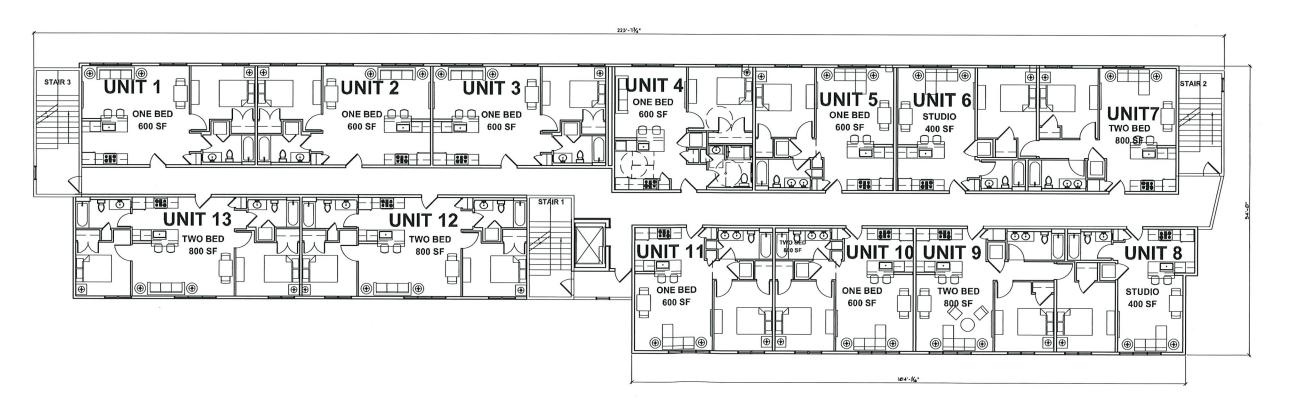
SHEET CONTENTS: Proposed Floor Plan

PROJECT # 2122

- NOT FOR CONSTRUCTION

DATE: 10/05/2022 REVISED DATE:

	GROSS SGLIARE FEET	etudio unite	BEDROOM UNITS	2 BEDROOM UNITO	TOTAL
FIRST FLOOR	3,920 BF	0	0	0	Ø
SECOND FLOOR	10,675 SF	2	1	4	13
THIRD FLOOR	10,675 SF	2	1	4	13
FOURTH FLOOR	10,675 SF	2	1	4	13
FIFTH FLOOR	10,675 8F	2	1	4	13
TOTAL	46,620 SF	8	28	16	52



FIFTH FLOOR PLAN

1/8" = 1'-@"

S New Development for: 300 Valley Street Residential

Ed Wojcik

W-

SHEET CONTENTS: Proposed Floor Plan

PROJECT # 2122

- NOT FOR CONSTRUCTION

DATE: 10/05/2022 REVISED DATE:



New Development for: 300 Valley Street Residential

300 Valley Street Providence, RI

Ed Wojcik

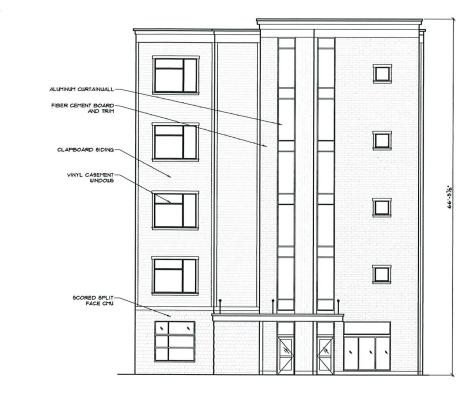
SHEET CONTENTS: Exterior Elevations

PROJECT # 2122

DATE: 10/05/2022 REVISED DATE:

STREET VIEW PERSPECTIVE

1/8" = 1'-@"



FRONT ELEVATION

1/8" = 1'-0"

1/8" = 1'-0"

New Development for: 300 Valley Street Residential

300 Valley Street Providence, RI

architect

Ed Wojcik

W---

SHEET CONTENTS: Exterior Elevations

PROJECT # 2122

JARY - NOT FOR CONSTRUCTION

DATE: 10/05/2022 REVISED DATE:

d Wojcik PVC BOARD -VINYL CASEMENT-SCORED SPLIT-New Development for: 300 Valley Street Residential WEST ELEVATION 1/8" = 1'-@" VINYL CASEMENT\_\_\_\_ FIBER CEMENT BOARD\_ AND TRIM PVC BOARD\_ AND BATTEN SHEET CONTENTS: Exterior Elevations PROJECT # 2122

NORTH ELEVATION

1/8" = 1'-0"

DATE: 10/05/2022 REVISED DATE: