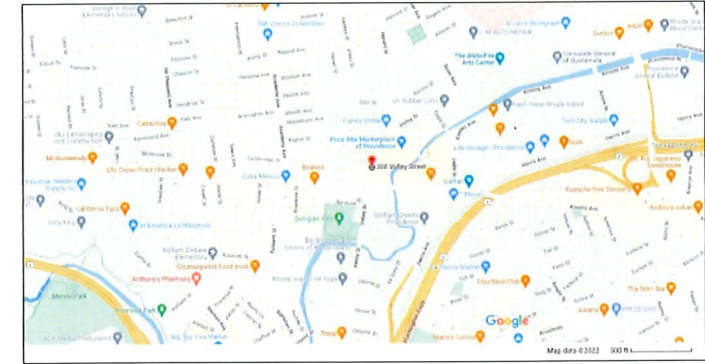


New Development for: 300 Valley Street Lofts Providence, RI



LOCUS MAP NTS

ARCHITECT
Ed Wojcik, Architect, Ltd.
One Richmond Square, Suite 100K
Providence, RI 02906
P: 401-861-7139
F: 401-861-7165

CIVIL ENGINEER
D'Amico Engineering Technology, Inc.
2080 Mineral Spring Ave.
North Providence, RI 02911
P: 401-622-1470

DATE: OCTOBER 05, 2022

DRAWINGS

CIVIL

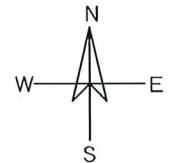
- C1.0: General Notes & Legend
- C2.0: Existing Conditions & Demo Plan
- C3.0: Site Plan
- C4.0: Grading, Drainage and Utility Plan
- C5.0: Site Details 1
- C5.1: Site Details 2

ARCHITECTURAL

- S-1: Site Context Plan
- A-1: Proposed First Floor Plan
- A-2: Unit Plans
- A-3: Unit Plans
- A-4: Proposed Floor Plan
- A-5: Proposed Floor Plan
- A-6: Proposed Floor Plan
- A-7: Proposed Floor Plan
- A-8: Street View Perspective
- A-9: Exterior Elevations
- A-10: Exterior Elevations

RECEIVED
NOV 15 2022
BY: CM
REVISED

Ed Wojcik
architect, ltd
One Richmond Square
Providence, RI 02906
401-861-7139
Fax: 401-861-7165



New Development for:
300 Valley Street
Residential
300 Valley Street
Providence, RI

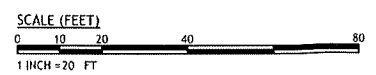
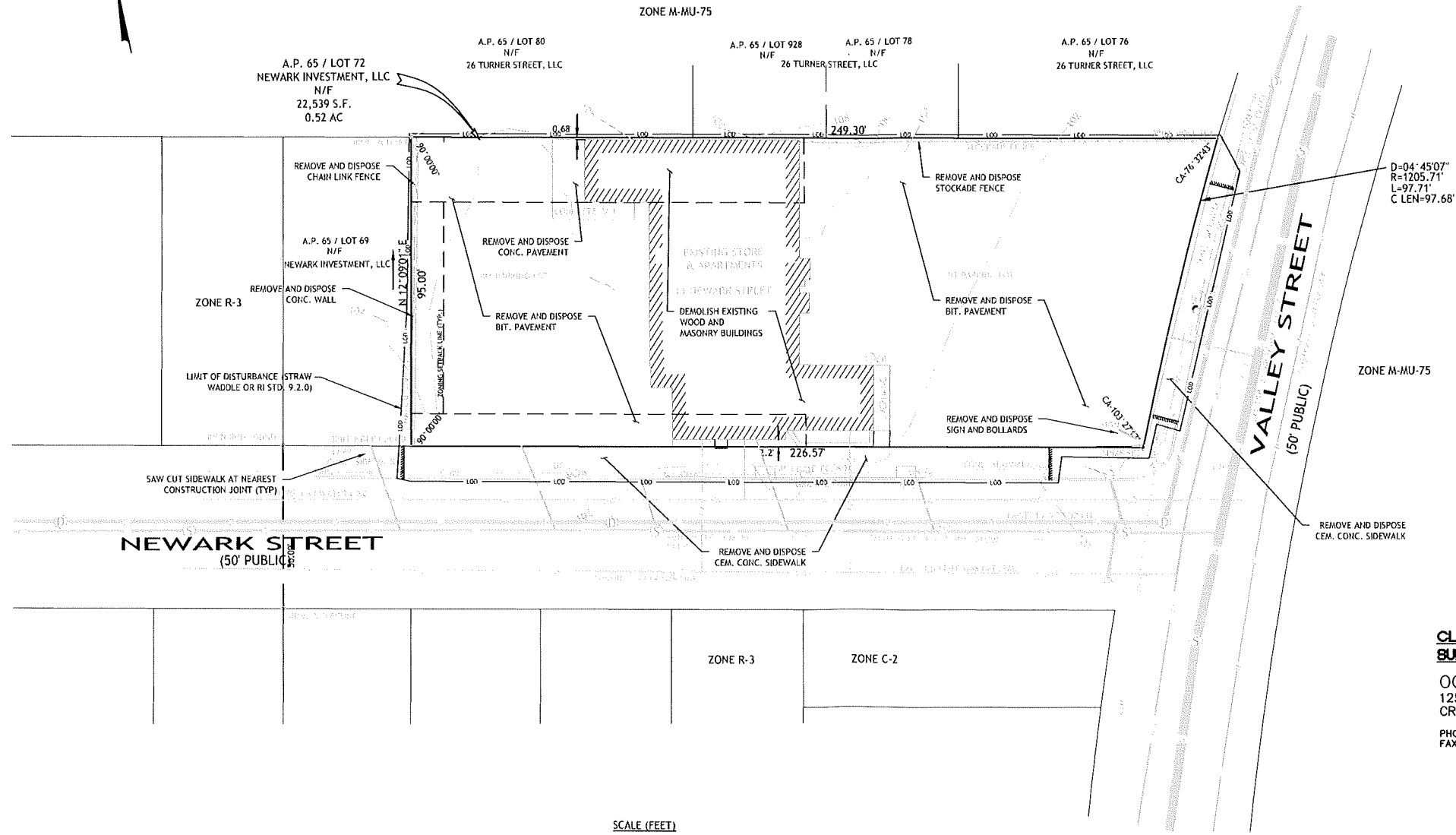
SHEET CONTENTS:
Cover

PROJECT # 2122

DATE: 10/05/2022
REVISED DATE:

PRELIMINARY - NOT FOR CONSTRUCTION

CVR



ZONING CRITERIA	REQUIRED	EXISTING
ZONING DISTRICT	M-MU-75	M-MU-75
MINIMUM LOT AREA	NONE	22,539 SF
MINIMUM FRONTAGE AND LOT WIDTH	NONE	322.42'
MINIMUM FRONT YARD SETBACK	NONE	2.2'
MINIMUM CORNER/INTERIOR SIDE SETBACK	NONE; 10' AT RESID.	79.0', 53.6'
MINIMUM REAR YARD SETBACK	NONE	0.68'
MAXIMUM BUILDING HEIGHT	75 FT	< 35'

* UNLESS ABUTTING RESIDENTIAL DISTRICT ON OPPOSITE SIDE OF STREET, THEN 10'
 ** UNLESS ABUTTING RESIDENTIAL DISTRICT ON OPPOSITE SIDE OF STREET, THEN 20'
 *** EXISTING NON-CONFORMING DIMENSIONS OF RECORD ALONG RESIDENTIAL ZONE

CLASS I PROPERTY LINE AND TOPOGRAPHIC SURVEY CONDUCTED BY:
 OCEAN STATE PLANNERS, INC.
 1255 OAKLAWN AVENUE
 CRANSTON, RI 02920
 PHONE: 401-463-9896
 FAX: 401-463-9039

- NOTES:**
1. THE PROPERTY BOUNDARY PERIMETER AND TOPOGRAPHIC INFORMATION SHOWN ON THIS EXISTING CONDITIONS SHEET IS THE RESULT OF A BOUNDARY STAKE-OUT SURVEY PERFORMED BY OCEAN STATE PLANNERS, INC., 1255 OAKLAWN AVENUE, CRANSTON, RI 02920 TITLED 'BOUNDARY STAKE-OUT SURVEY AP 65/LOT 72, 11 NEWARK STREET, PROVIDENCE, RI, DATED JUNE 24, 2022, SCALE 1" = 30' PREPARED FOR THE KINGDOM TRUST COMPANY FBO JOHN RISICA B011569.
 2. INFORMATION BY DETEC PROVIDED ON THIS EXISTING CONDITIONS PLAN IS TO AUGMENT THE BASE SURVEY FOR PERMITTING AND DESIGN WITH THE ADDITION OF SITE SPECIFIC FEATURES AND SITE UTILITIES TAKEN FROM RECORDS AND SITE ON-THE-GROUND MEASUREMENTS. THE PE STAMP IS AFFIXED FOR THIS INFORMATION ONLY.
 3. BASED ON FEMA FLOOD INSURANCE RATE MAP (FIRM) FOR THE CITY OF PROVIDENCE, COMMUNITY-PANEL NUMBER 0304-J, MAP NUMBER 44007C0304-I, EFFECTIVE DATE: MAP REVISED OCTOBER 2, 2015, THE SITE IS LOCATED IN ZONE 'X' AND OUTSIDE FLOOD ZONE 'A', 'AE', 'AH' OR 'AO' OTHER AREAS (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).

D'AMICO ENGINEERING TECHNOLOGY, INC.
 Civil, Transportation, Land Use
 2080 Mineral Spring Avenue
 North Providence, RI 02911
 (401) 822-1470 (401) 353-1150 fax www.damicoengr.com

**300 VALLEY LOFTS PROPOSED
 RESIDENTIAL DEVELOPMENT
 11 NEWARK STREET
 PROVIDENCE, RHODE ISLAND
 AP 65, LOT 72**

REVISIONS:

NO.	DATE	DESCRIPTION

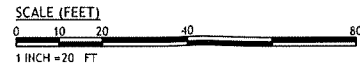
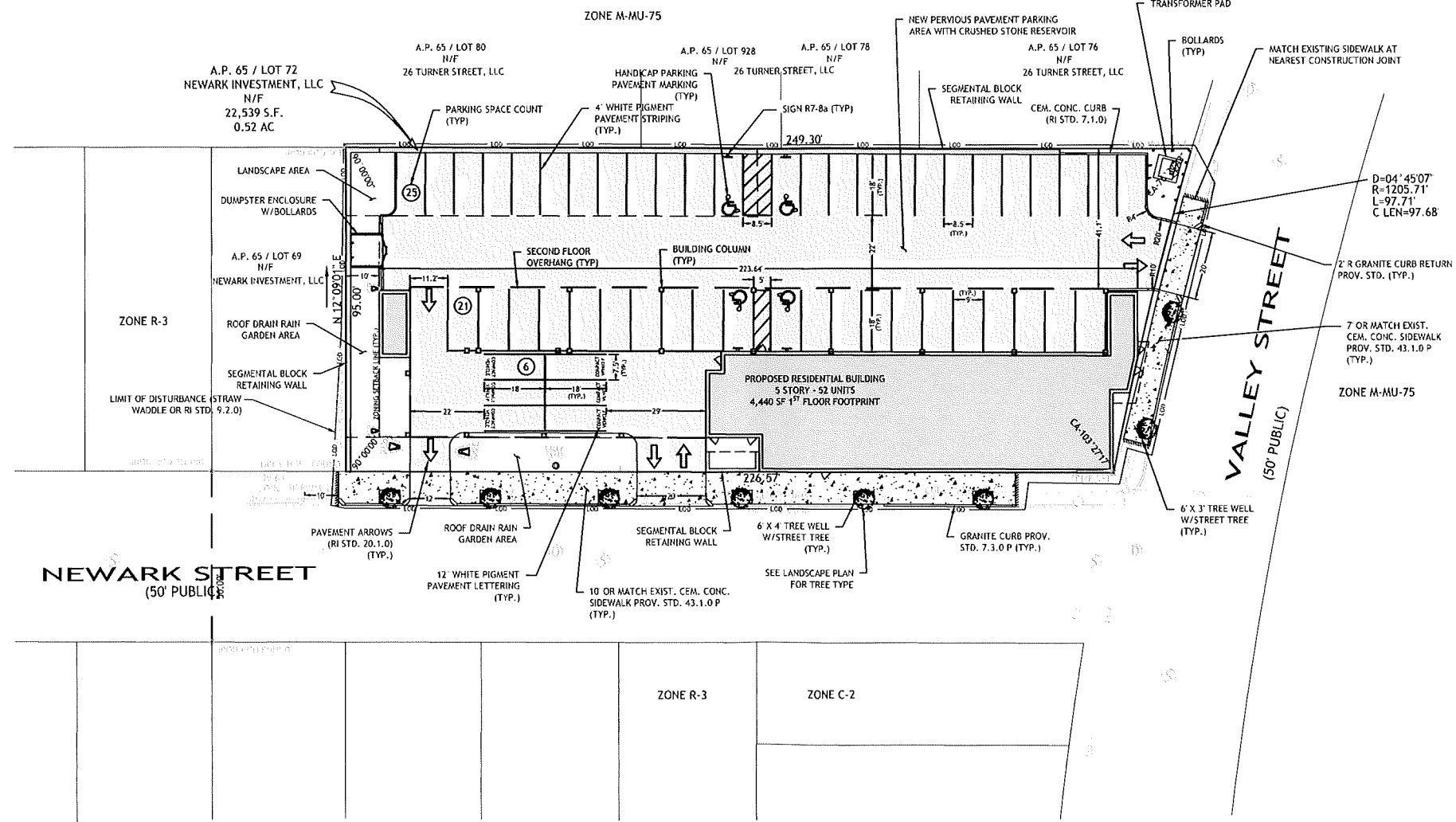
DESIGNED BY: DMD
 DRAWN BY: DMD
 CHECKED BY: DMD
 DATE: AUG. 2022
 PROJECT NO: 19-0005-03

PREMIT PLAN
EXISTING CONDITIONS AND DEMO PLAN
 C2.0

N:\19-0005-Peter-Casali\03-11-Newark-Street-PLM\SET-10-18-22.dwg Oct. 19, 2022 5:59pm



LOCATION OF EXISTING UTILITIES SHOWN, ARE FROM GATE LOCATION AND EXISTING DOCUMENTATION AND MAY NOT BE ACCURATE. EXACT LOCATION TO BE DONE BY THE APPROPRIATE UTILITY COMPANY OR MUNICIPALITY PRIOR TO ANY EXCAVATION CALL DIGSAFE AT 1-888-DIG-SAFE 1-888-344-7233



ZONING CRITERIA	REQUIRED	EXISTING	PROPOSED
ZONING DISTRICT	M-MU-75	M-MU-75	M-MU-75
MINIMUM LOT AREA	NONE	22,539 SF	22,539 SF
MINIMUM FRONTAGE AND LOT WIDTH	NONE	322.42	322.42
MINIMUM FRONT ZONE SETBACK	NONE*	2.2'***	0.0
MINIMUM CORNER/INTERIOR SIDE SETBACK	NONE; 10' AT RESID.	79.0', 53.6'	0.0', 10.0'
MINIMUM REAR YARD SETBACK	NONE**	0.68'***	41'
MAXIMUM BUILDING HEIGHT	75 FT	< 35'	4 STORIES

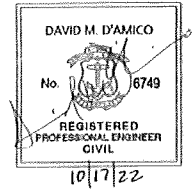
* UNLESS ABUTTING RESIDENTIAL DISTRICT ON OPPOSITE SIDE OF STREET, THEN 10'
 ** UNLESS ABUTTING RESIDENTIAL DISTRICT ON OPPOSITE SIDE OF STREET, THEN 20'
 *** EXISTING NON-CONFORMING DIMENSIONS OF RECORD ALONG RESIDENTIAL ZONE

PROPOSED PARKING CALCULATION(S):

ARTICLE 14 - OFF-STREET PARKING AND LOADING
 TABLE 14-1: OFF-STREET VEHICLE AND BICYCLE PARKING REQUIREMENTS, DWELLING - MULTI-FAMILY - ONE (1) SPACE PER UNIT AND 1 SPACE PER 5 DWELLING UNITS - 80% LONG-TERM SPACES FOR BIKES
 REQUIRED PARKING = 52 DWELLING UNITS + 52 PARKING SPACES
 REQUIRED VEHICLE: 52 SPACES
 PROVIDED VEHICLE: 52 SPACES
 REQUIRED BICYCLE: 11 SPACES
 PROVIDED BICYCLE: 11 SPACES (9 LONG-TERM)
 ADA ACCESSIBLE SPACE(S) REQUIRED: 3
 ADA ACCESSIBLE SPACE(S) PROVIDED: 4



D'AMICO ENGINEERING TECHNOLOGY, INC.
 Civil - Transportation Land Use
 2080 Mineral Spring Rd., North Providence, RI 02881
 (401) 822-4700 (401) 563-1190 fax www.damicoengr.com



300 VALLEY LOFTS PROPOSED RESIDENTIAL DEVELOPMENT
 11 NEWARK STREET
 PROVIDENCE, RHODE ISLAND
 AP 65, LOT 72

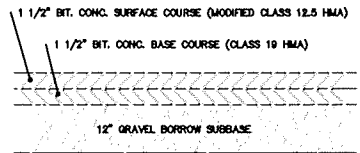
REVISIONS:	NO.	DATE	DESCRIPTION

DESIGNED BY: DMD
 DRAWN BY: DMD
 CHECKED BY: DMD
 DATE: AUG. 2022
 PROJECT NO: 19-0005-03

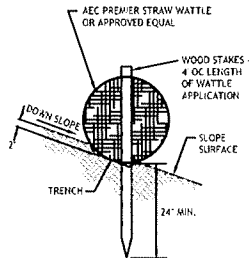
PREMIT PLAN

SITE PLAN
 C3.0

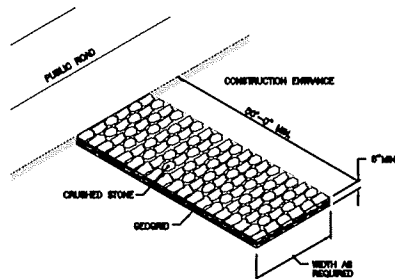
M:\19-0005 Peter Chalkley\03 11 Newark Street PLAN SET 10-18-22.dwg, Oct. 19, 2022 8:51pm



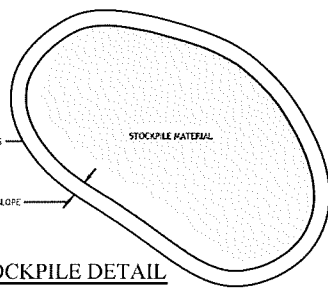
PAVEMENT CROSS SECTION - ON-SITE
NOT TO SCALE



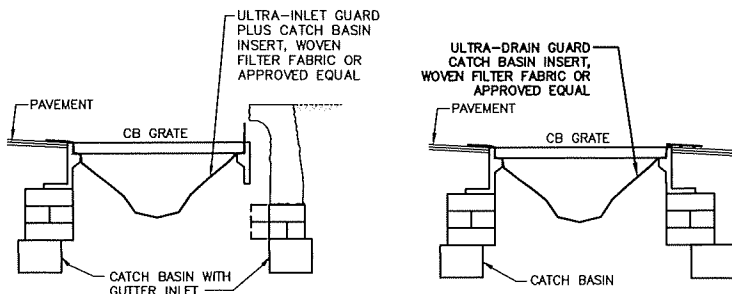
STRAW WATTLE STAKE DETAIL ON SOIL
N.T.S.



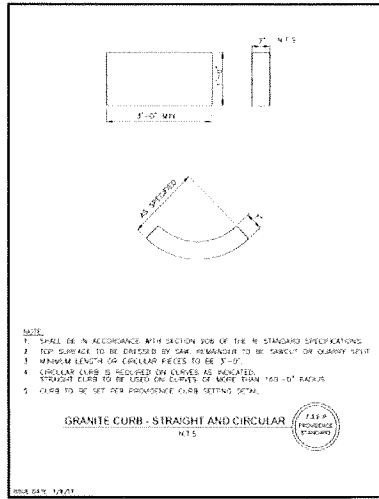
CONSTRUCTION ACCESS
N.T.S.



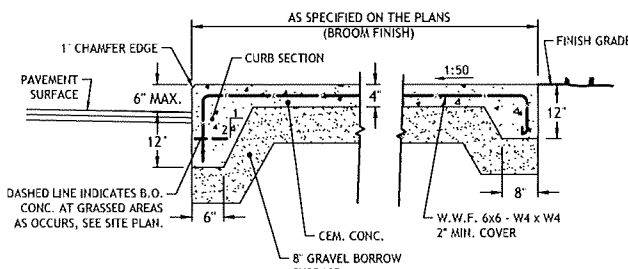
STOCKPILE DETAIL



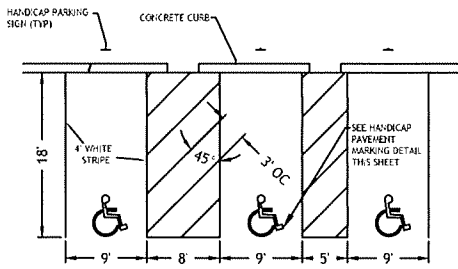
CATCH BASIN INLET PROTECTION IN CONSTRUCTION AREA
NOT TO SCALE



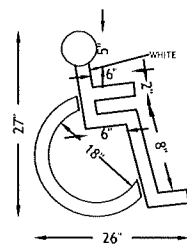
GRANITE CURB - STRAIGHT AND CIRCULAR
N.T.S.



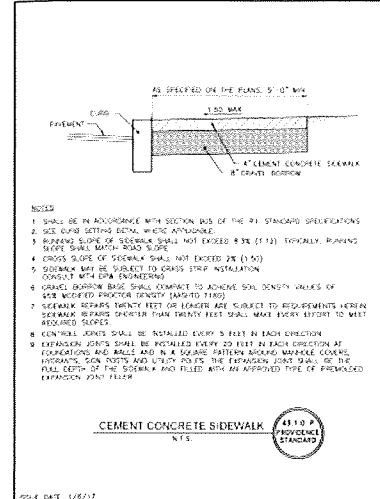
CEMENT CONCRETE PAD OR WALKWAY - MONOLITHIC POUR ON-SITE ONLY
N.T.S.



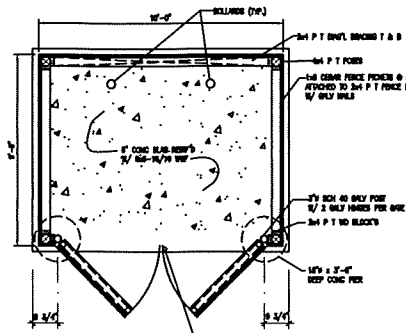
HANDICAP PARKING STALLS
NOT TO SCALE



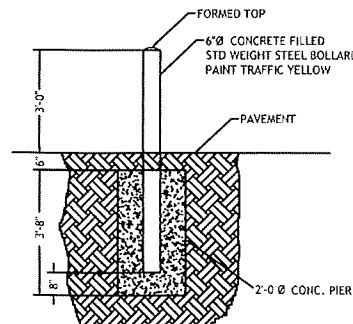
HANDICAP PAVEMENT MARKING
NOT TO SCALE



CEMENT CONCRETE SIDEWALK
N.T.S.



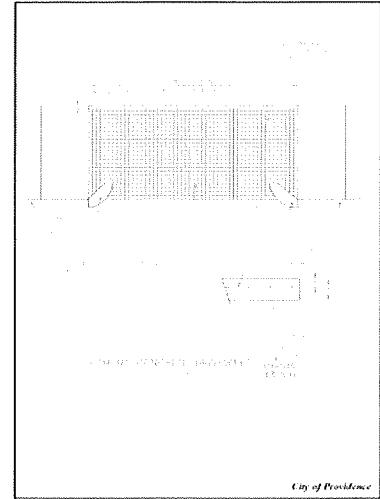
DUMPSTER ENCLOSURE PLAN
NOT TO SCALE



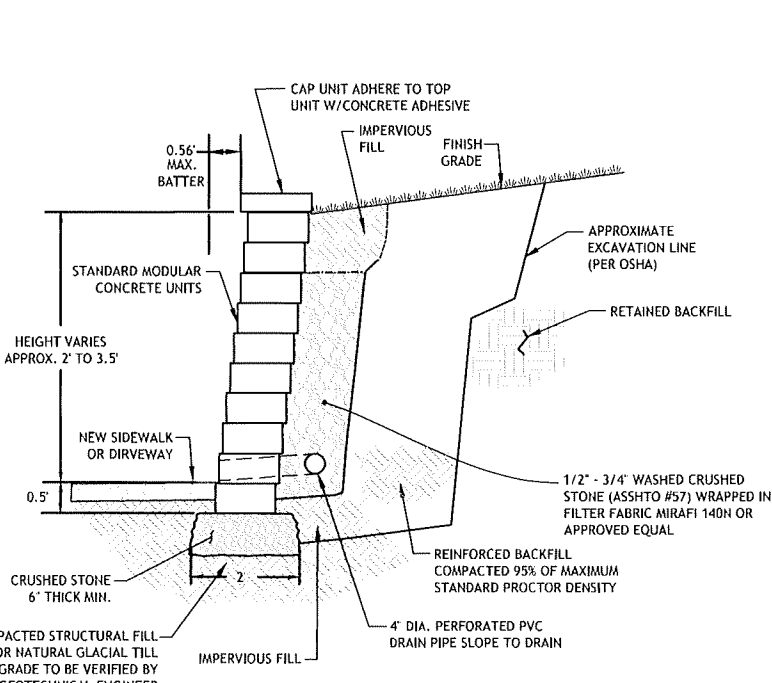
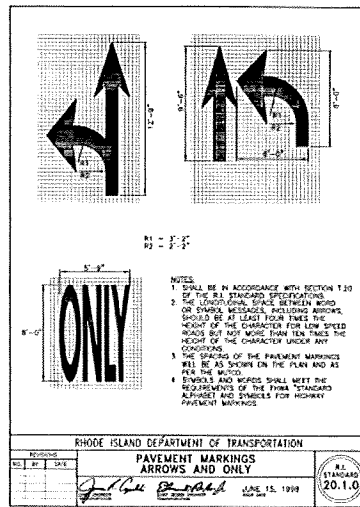
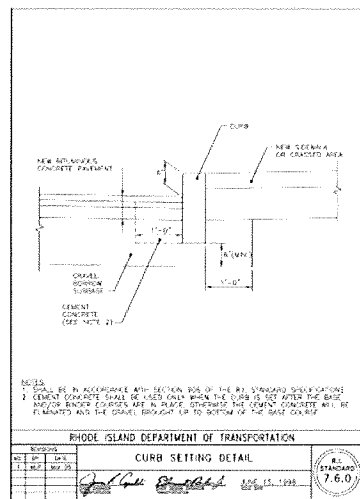
TYPICAL BOLLARD DETAIL
NOT TO SCALE



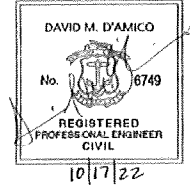
HANDICAPPED PARKING SIGNS
NOT TO SCALE



DUMPSTER PAD/FENCE DETAIL
SCALE: 1/2" = 1'-0"



TYPICAL SECTION-GEOSYNTHETIC-REINFORCED SEGMENTAL RETAINING WALL
NICOLOCK FIRMA TYPE BLOCKS OR APPROVED EQUAL (ARCHITECT TO CHOOSE COLOR)
NOT TO SCALE



300 VALLEY LOFTS PROPOSED RESIDENTIAL DEVELOPMENT
11 NEWARK STREET
PROVIDENCE, RHODE ISLAND
AP 65, LOT 72

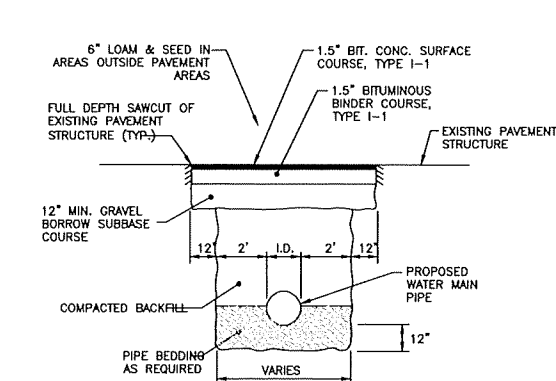
REVISIONS:		
NO.	DATE	DESCRIPTION

DESIGNED BY: DMD
DRAWN BY: DMD
CHECKED BY: DMD
DATE: AUG, 2022
PROJECT NO: 19-0005-03

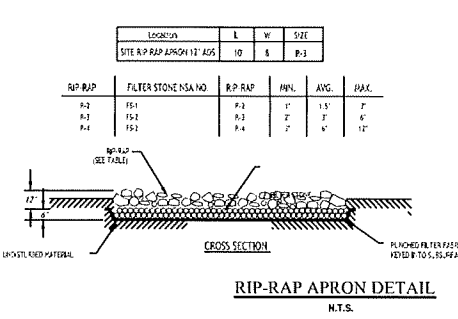
PREMIT PLAN

SITE DETAILS 1

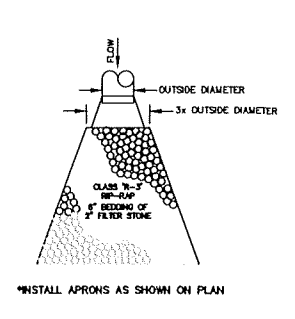
C5.0



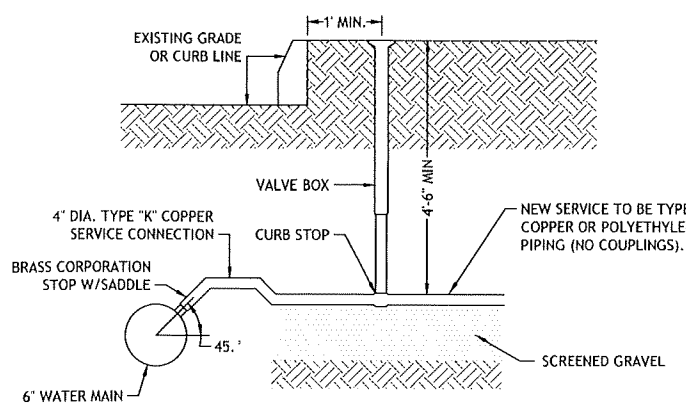
TYPICAL TRENCH AND PAVEMENT PATCH DETAIL
NOT TO SCALE



RIP-RAP APRON DETAIL
N.T.S.

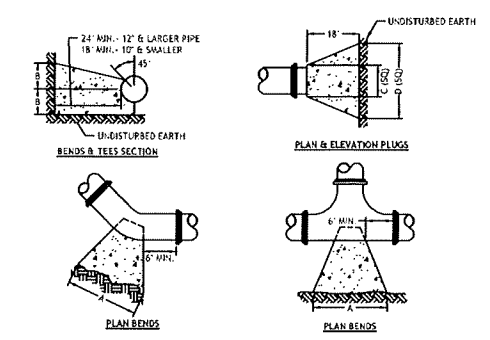


***INSTALL APRONS AS SHOWN ON PLAN**



- NOTE:**
- SERVICE MATERIALS PER QDC SPECIFICATION.
 - SERVICE LINE FROM CURB BOX TO BUILDING SHALL BE INSPECTED, TESTED AND APPROVED BY THE PROVIDENCE WATER SUPPLY BOARD INSPECTOR.

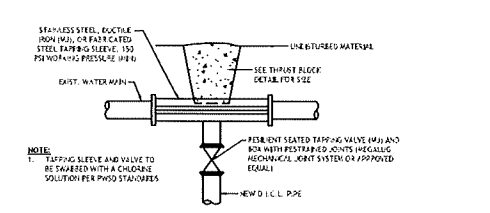
WATER SERVICE CONNECTION
NOT TO SCALE



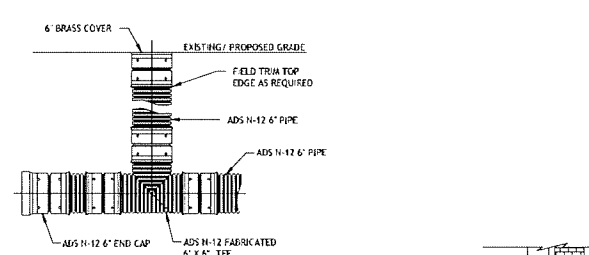
THRUST BLOCK
N.T.S.

SIZE	A	B	C	D	A	B	A	B	A	B	A	B
4" x 3"	22"	12"	22"	12"	24"	16"	30"	10"	14"	7"	11"	5"
6"	32"	18"	32"	18"	35"	22"	32"	15"	19"	12"	13"	8"
8"	35"	24"	38"	24"	46"	29"	33"	22"	25"	14"	19"	10"

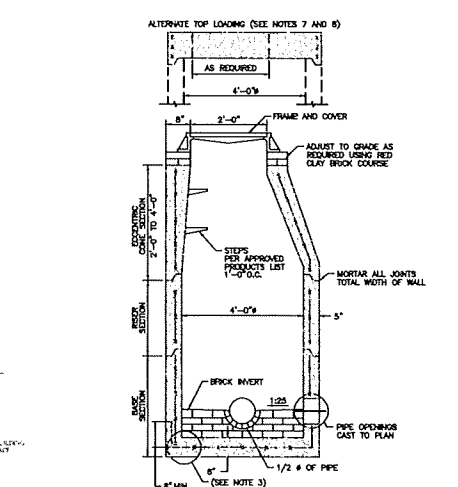
SIZE	TEES	PLUGS	90° BEND	45° BEND	22 1/2° BEND	11 1/4° BEND
4" x 3"	22"	12"	22"	12"	24"	16"
6"	32"	18"	32"	18"	35"	22"
8"	35"	24"	38"	24"	46"	29"



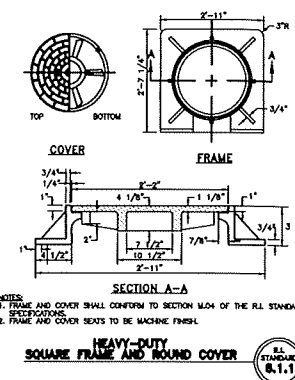
TAPPING SLEEVE AND VALVE
NOT TO SCALE



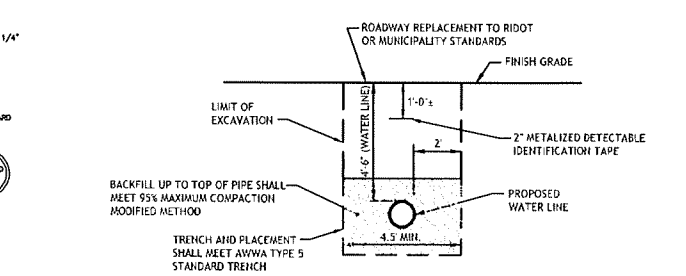
ADS CLEANOUT
N.T.S.



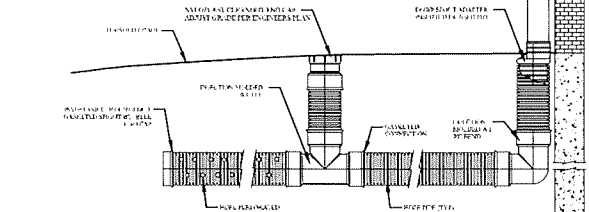
PRECAST 4" ROUND MANHOLE
ALL STANDARD 4.2.0



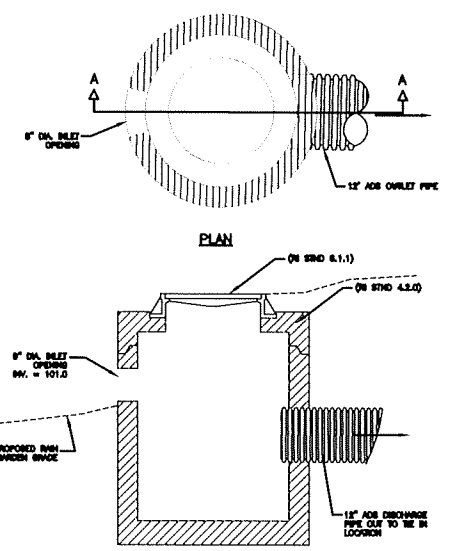
HEAVY-DUTY SQUARE FRAME AND ROUND COVER
ALL STANDARD 4.1.1



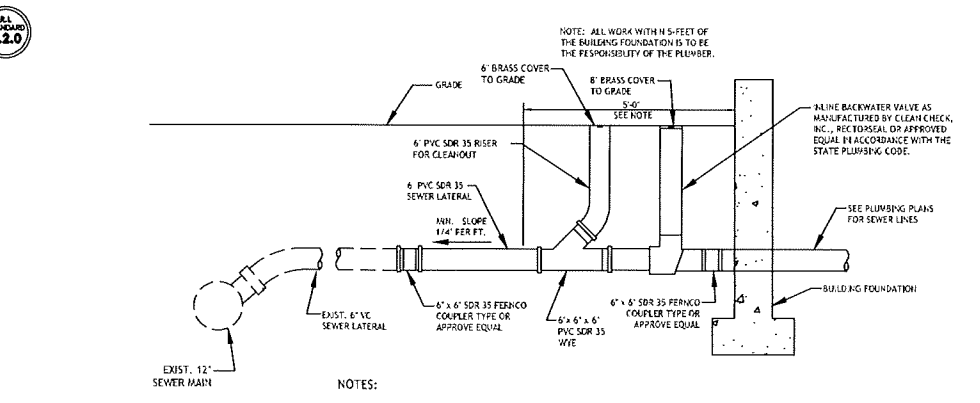
TYPICAL WATER LINE TRENCH
N.T.S.



ROOFDRAIN W/CLEAN OUT DETAIL
N.T.S.

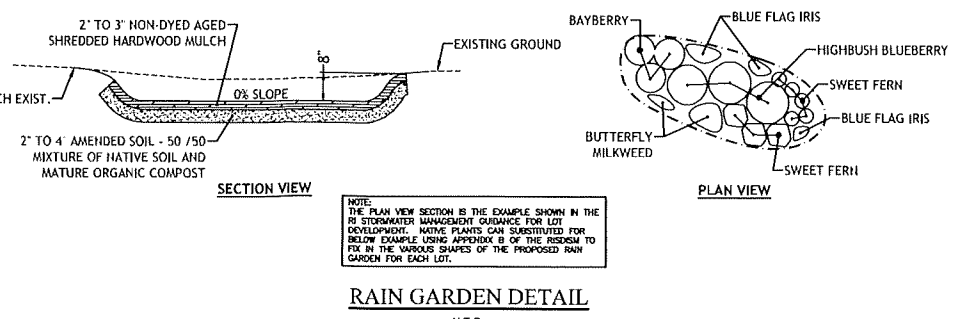
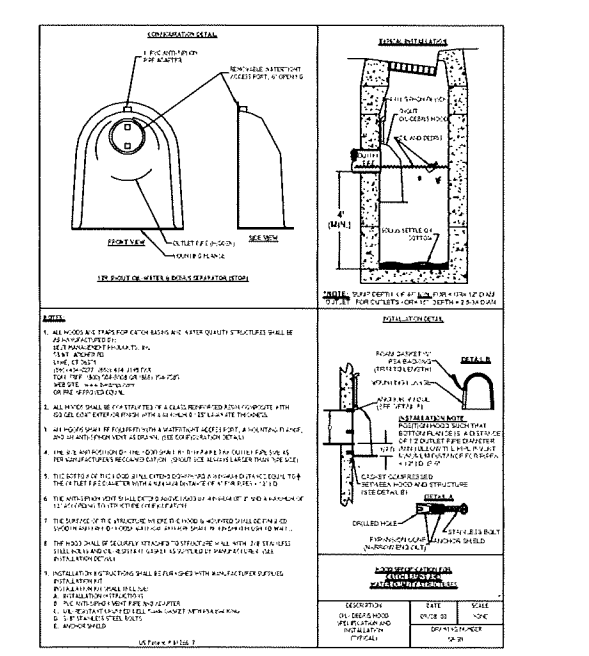


DMH FLOW CONTROL STRUCTURE
N.T.S.

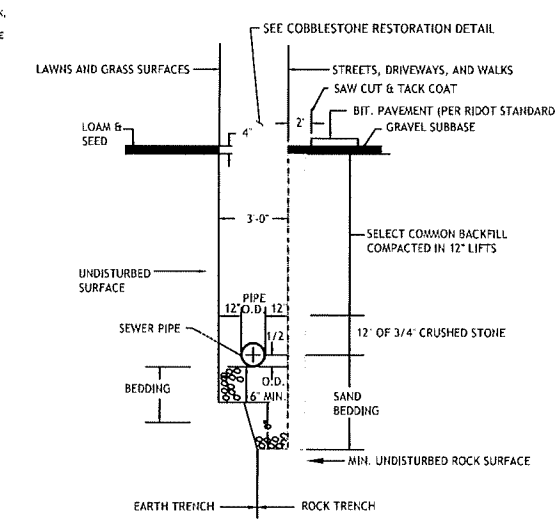


- NOTES:**
- SEWER LATERAL SHALL HAVE A MINIMUM 24" SEPARATION VERTICALLY AND 10" SEPARATION HORIZONTALLY FROM ALL WATER SUPPLY LINES

SEWER SERVICE LATERAL DETAIL
NOT TO SCALE



RAIN GARDEN DETAIL
N.T.S.



TYPICAL SEWER LINE TRENCH DETAIL
NO SCALE

DETEC
D'AMICO ENGINEERING TECHNOLOGY, INC.
Civil - Transportation - Land Use
2080 Mineral Spring Ave., North Providence, RI 02911
(401) 622-1170 (401) 353-1190 fax www.damicoeng.com

DAVID M. D'AMICO
No. 6749
REGISTERED PROFESSIONAL ENGINEER
CIVIL
10/17/22

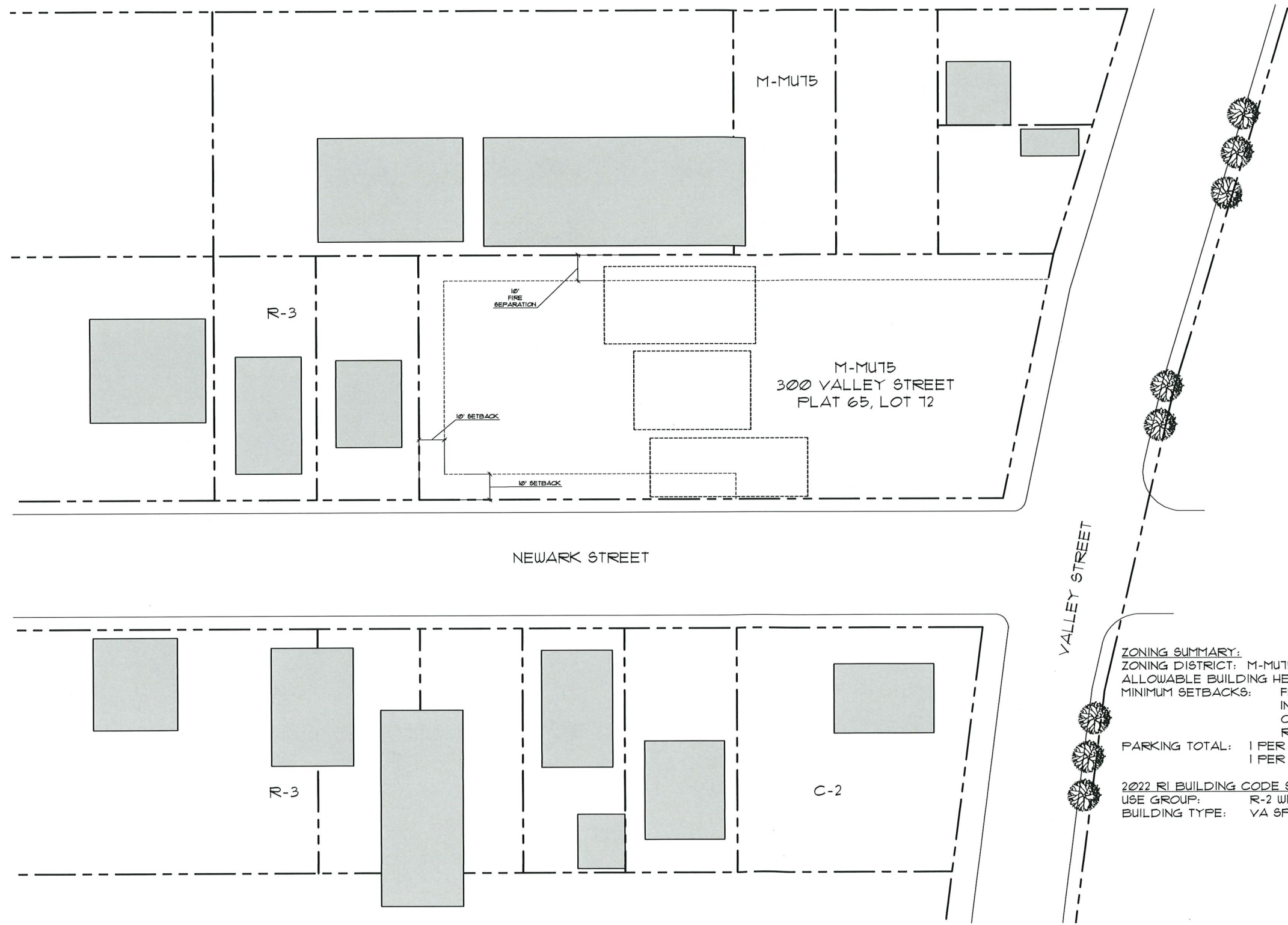
300 VALLEY LOFTS PROPOSED RESIDENTIAL DEVELOPMENT
11 NEWARK STREET
PROVIDENCE, RHODE ISLAND
AP 65, LOT 72

REVISIONS:

NO.	DATE	DESCRIPTION

DESIGNED BY: DMD
DRAWN BY: DMD
CHECKED BY: DMD
DATE: AUG. 2022
PROJECT NO: 19-0005-03
PREMIT PLAN
SITE DETAILS 2
C5.1

N:\19-0005 Peter_Casale03-11 Newark_Settl11 Newark_Street_Plan1 SET 10-16-22.dwg Oct. 19, 2022 5:52pm



SITE CONTEXT PLAN

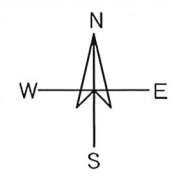
1" = 20'-0"

ZONING SUMMARY:
 ZONING DISTRICT: M-MU75
 ALLOWABLE BUILDING HEIGHT: 75'-0"
 MINIMUM SETBACKS: FRONT: 10' AT RESIDENTIAL
 INTERIOR SIDE: 10' AT RESID.
 CORNER SIDE: NONE
 REAR: NONE

PARKING TOTAL: 1 PER UNIT
 1 PER 500 GFA FOR RETAIL

2022 RI BUILDING CODE SUMMARY:
 USE GROUP: R-2 WITH BUSINESS (MIXED USE)
 BUILDING TYPE: VA SPRINKLERED

Ed Wojcik
 architect, ltd
 One Richmond Square
 Providence, RI 02906
 401-861-7139
 Fax: 401-861-7165



New Development for:
300 Valley Street
 Residential
 300 Valley Street
 Providence, RI

SHEET CONTENTS:
 Site Context Plan

PRELIMINARY - NOT FOR CONSTRUCTION

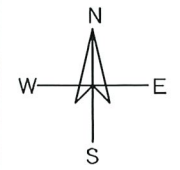
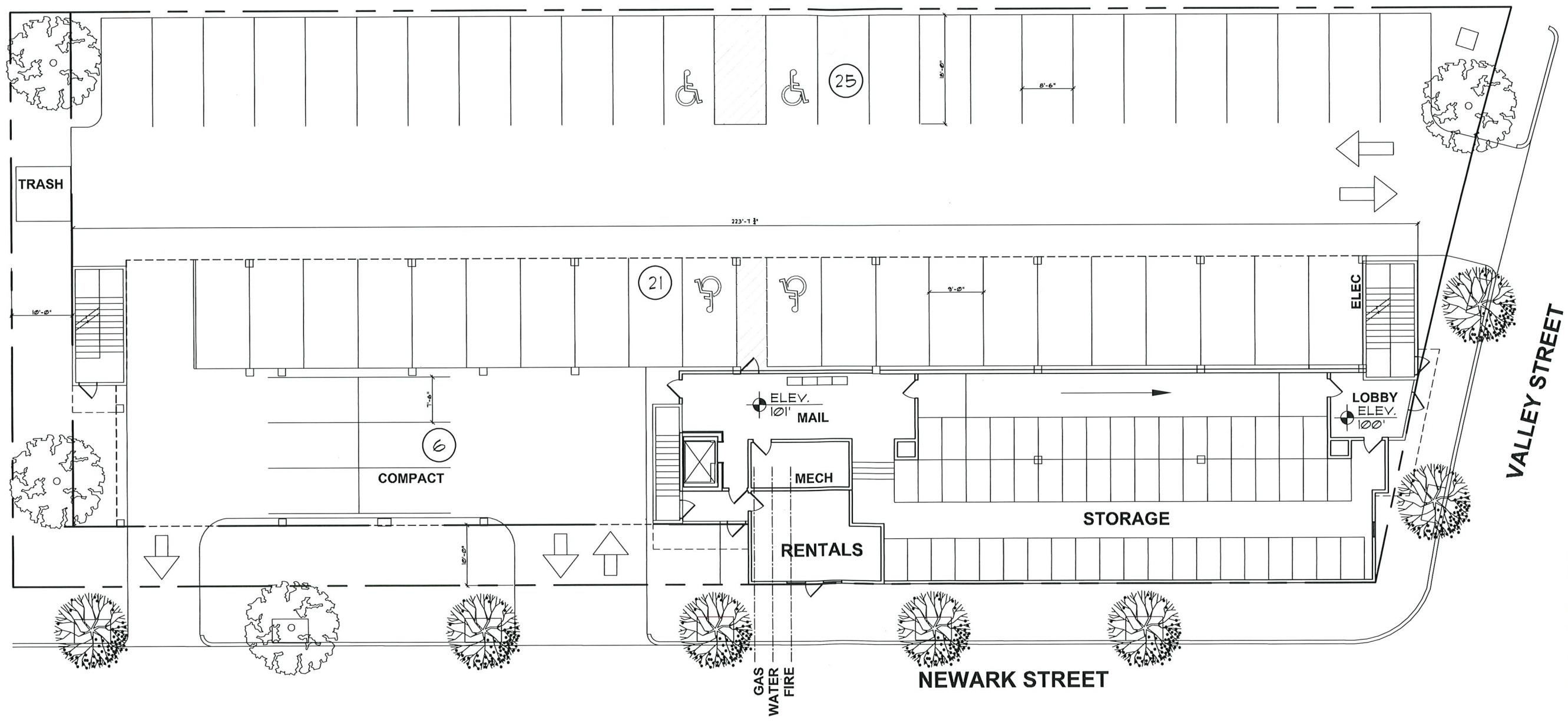
PROJECT # 2122

DATE: 10/05/2022
 REVISED DATE:

S-1

ZONING SUMMARY:
 ZONING DISTRICT: M-P115
 PARKING TOTAL: 52 (1 PER UNIT)
 ALLOWABLE BUILDING HEIGHT: 15'-0" PROPOSED: 5 STORIES - 52 UNITS

2021 RI BUILDING CODE SUMMARY:
 USE GROUP: R-2 WITH BUSINESS (MIXED USE)
 BUILDING TYPE: VA SPRINKLERED
 TYPICAL SQUARE FOOT FLOOR AREA: 10,675 SF
 FIRST FLOOR AREA: 3,302 SF
 TOTAL: 46,670 SF



New Development for:
300 Valley Street
 Residential

300 Valley Street
 Providence, RI

SHEET CONTENTS:
 Proposed Site Plan

PROJECT # 2122

DATE: 10/05/2022
 REVISED DATE:

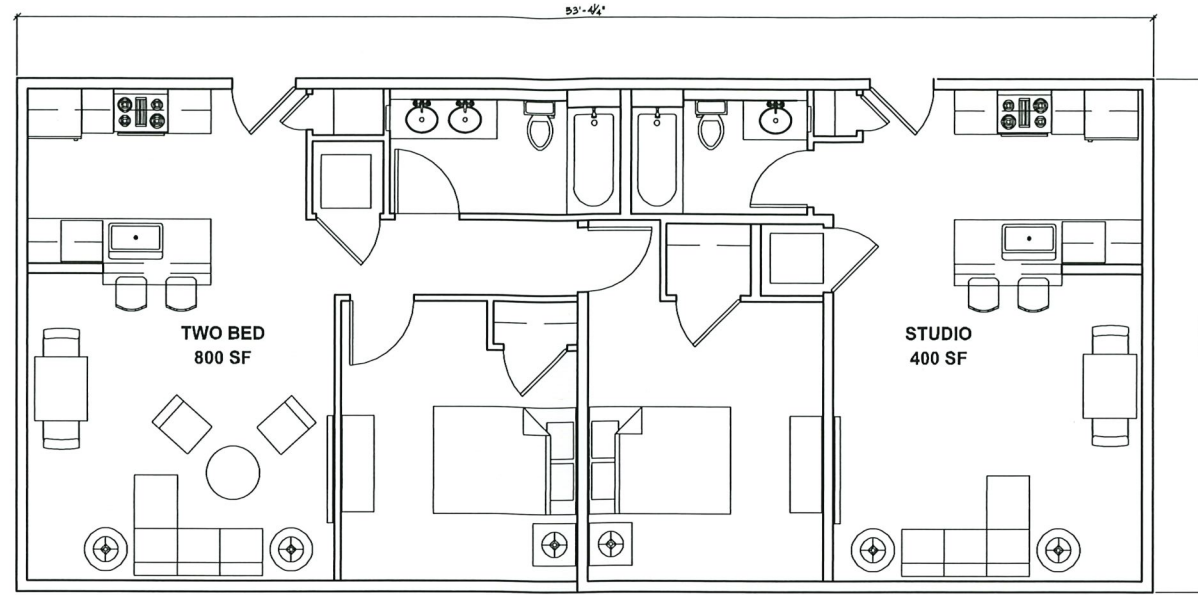
A-1

PRELIMINARY - NOT FOR CONSTRUCTION

Ed Wojcik
architect, ltd
 One Richmond Square
 Providence, RI 02906
 401-861-7139
 Fax: 401-861-7165

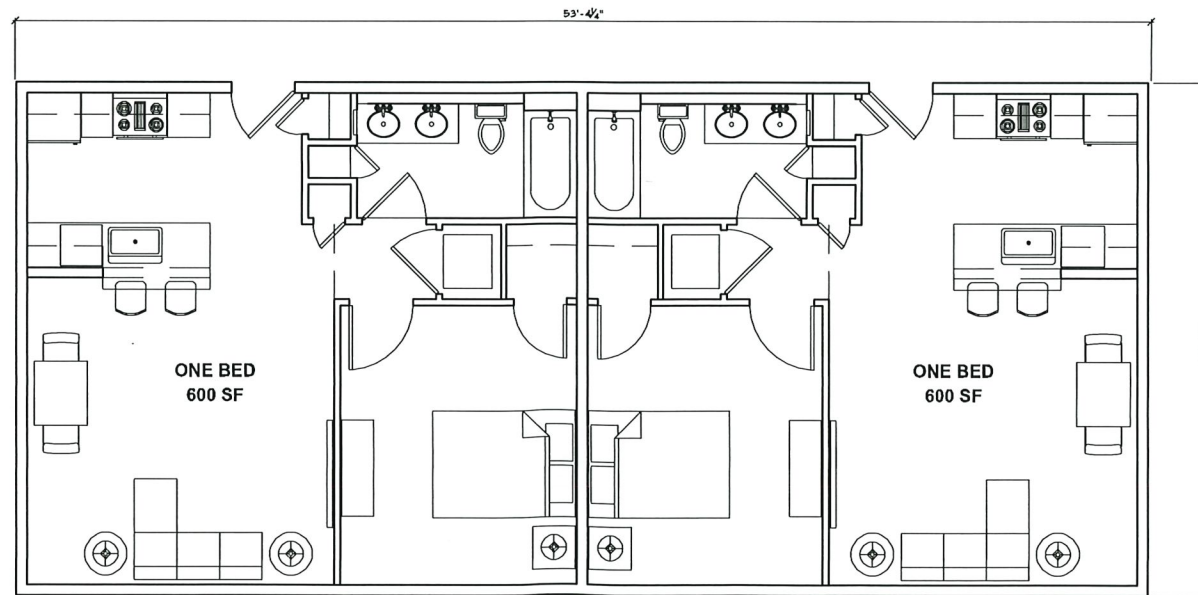
SITE PLAN

1" = 10'-0"



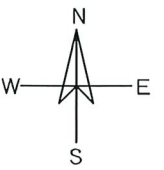
TWO BED/ STUDIO UNITS

② 1/4" = 1'-0"



ONE BEDROOM UNITS

① 1/4" = 1'-0"

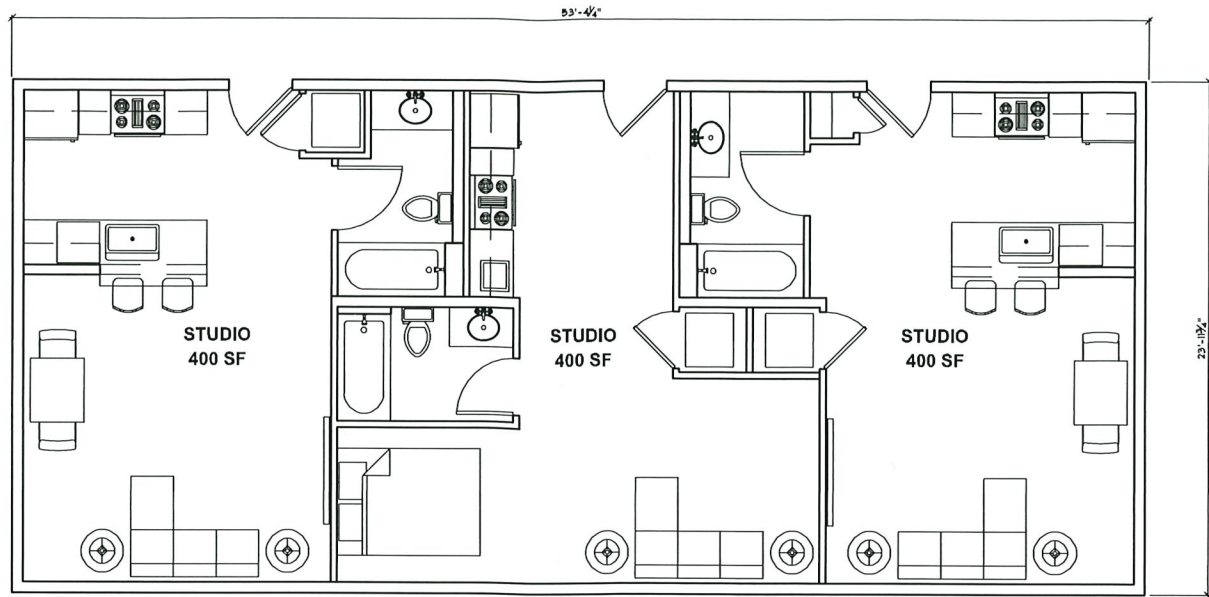


SHEET CONTENTS:
 Unit Plans

PROJECT # 2122

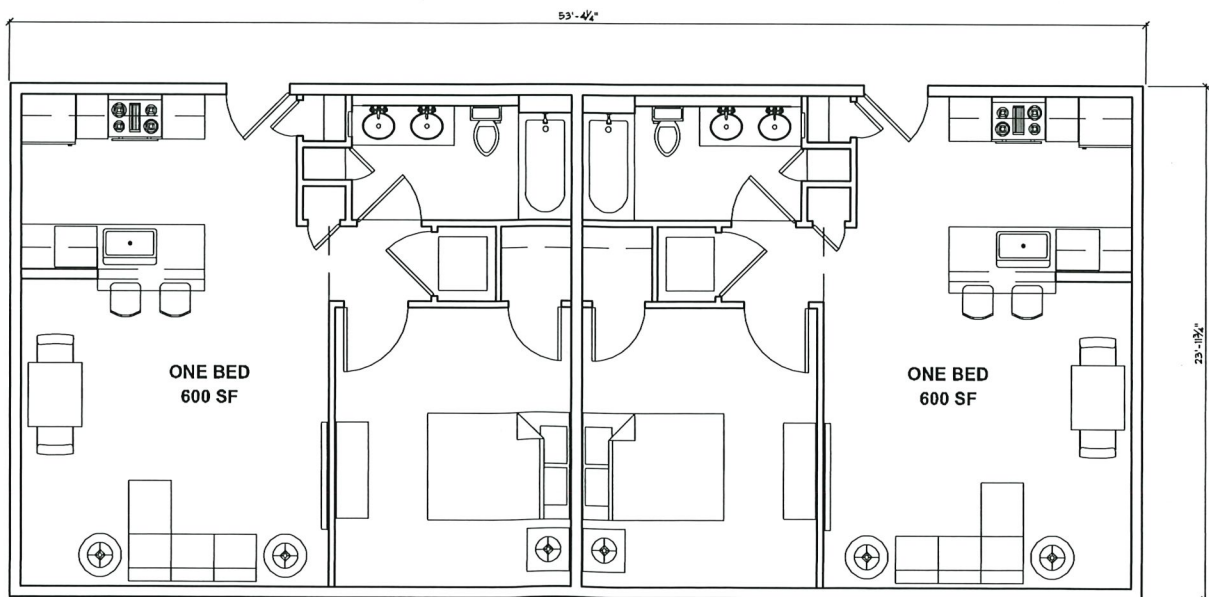
DATE: 10/05/2022
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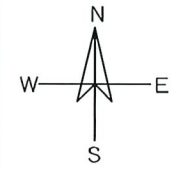
STUDIO UNITS

② 1/4" = 1'-0"



ONE BEDROOM UNITS

① 1/4" = 1'-0"



SHEET CONTENTS:
 Unit Plans

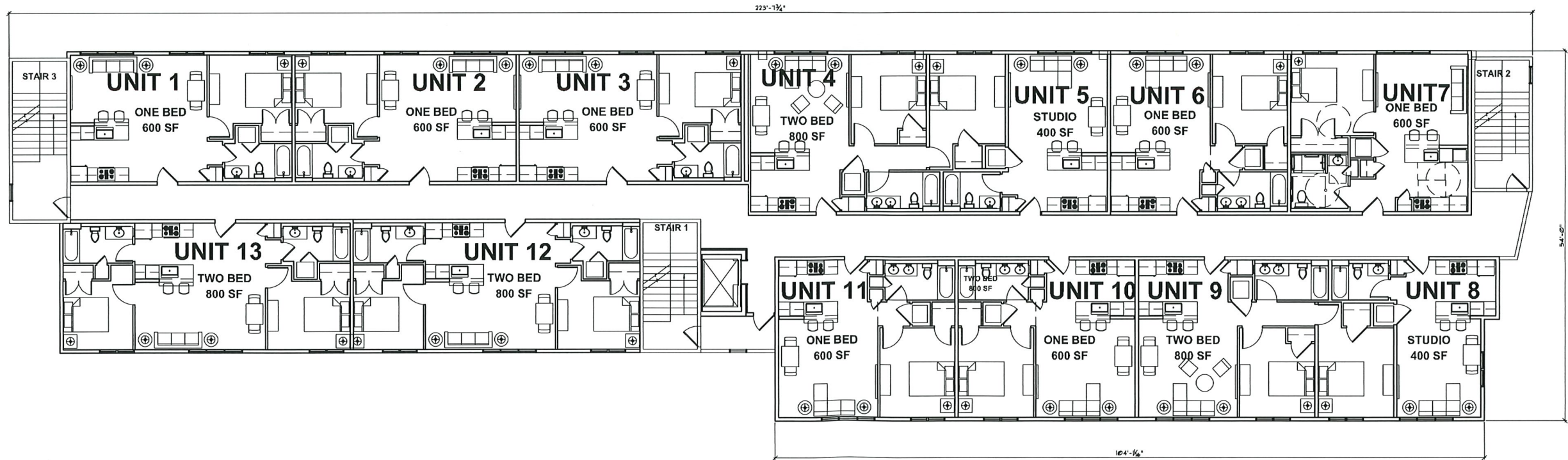
PROJECT # 2122

DATE: 10/05/2022
 REVISED DATE:

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(2) STUDIO UNITS/ FLOOR: +/- 400 NET SF
 (7) ONE BEDROOM UNITS/ FLOOR: +/- 600 NET SF
 (4) TWO BEDROOM UNITS/ FLOOR: +/- 800 NET SF
 TOTAL BUILDING AREA PER FLOOR: 10,675 SF

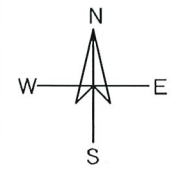
FLOOR	GROSS SQUARE FEET	STUDIO UNITS	1 BEDROOM UNITS	2 BEDROOM UNITS	TOTAL
FIRST FLOOR	3,370 SF	0	0	0	0
SECOND FLOOR	10,675 SF	2	7	4	13
THIRD FLOOR	10,675 SF	2	7	4	13
FOURTH FLOOR	10,675 SF	2	7	4	13
FIFTH FLOOR	10,675 SF	2	7	4	13
TOTAL	46,670 SF	8	28	16	52



SECOND FLOOR PLAN

1/8" = 1'-0"

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New Development for:
300 Valley Street
 Residential

300 Valley Street
 Providence, RI

SHEET CONTENTS:
 Proposed Floor Plan

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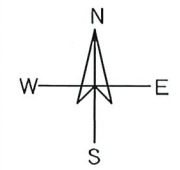
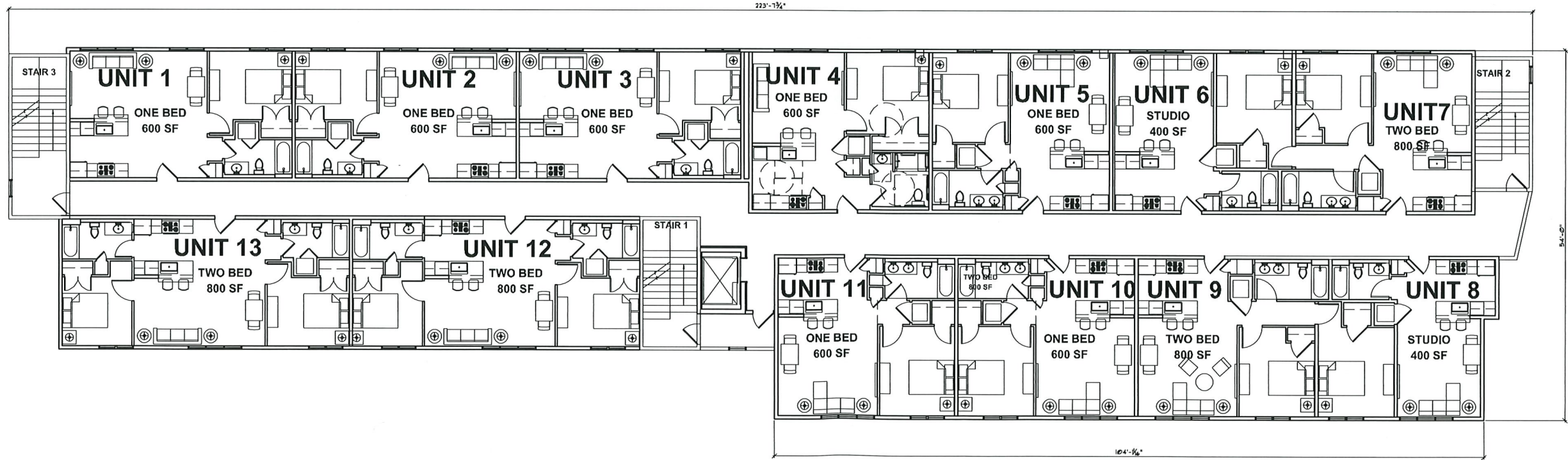
PROJECT # 2122

DATE: 10/05/2022
 REVISED DATE:

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(2) STUDIO UNITS/ FLOOR: +/- 400 NET SF
 (7) ONE BEDROOM UNITS/ FLOOR: +/- 600 NET SF
 (4) TWO BEDROOM UNITS/ FLOOR: +/- 800 NET SF
 TOTAL BUILDING AREA PER FLOOR: 10,675 SF

	GROSS SQUARE FEET	STUDIO UNITS	BEDROOM UNITS 1	BEDROOM UNITS 2	TOTAL
FIRST FLOOR	3,300 SF	0	0	0	0
SECOND FLOOR	10,675 SF	2	1	4	13
THIRD FLOOR	10,675 SF	2	1	4	13
FOURTH FLOOR	10,675 SF	2	1	4	13
FIFTH FLOOR	10,675 SF	2	1	4	13
TOTAL	46,675 SF	8	28	16	52



New Development for:
300 Valley Street
 Residential
 300 Valley Street
 Providence, RI

SHEET CONTENTS:
 Proposed Floor Plan

PRELIMINARY - NOT FOR CONSTRUCTION

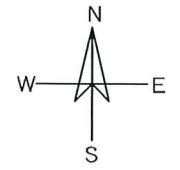
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 REVISED DATE:

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THIRD FLOOR PLAN

1/8" = 1'-0"

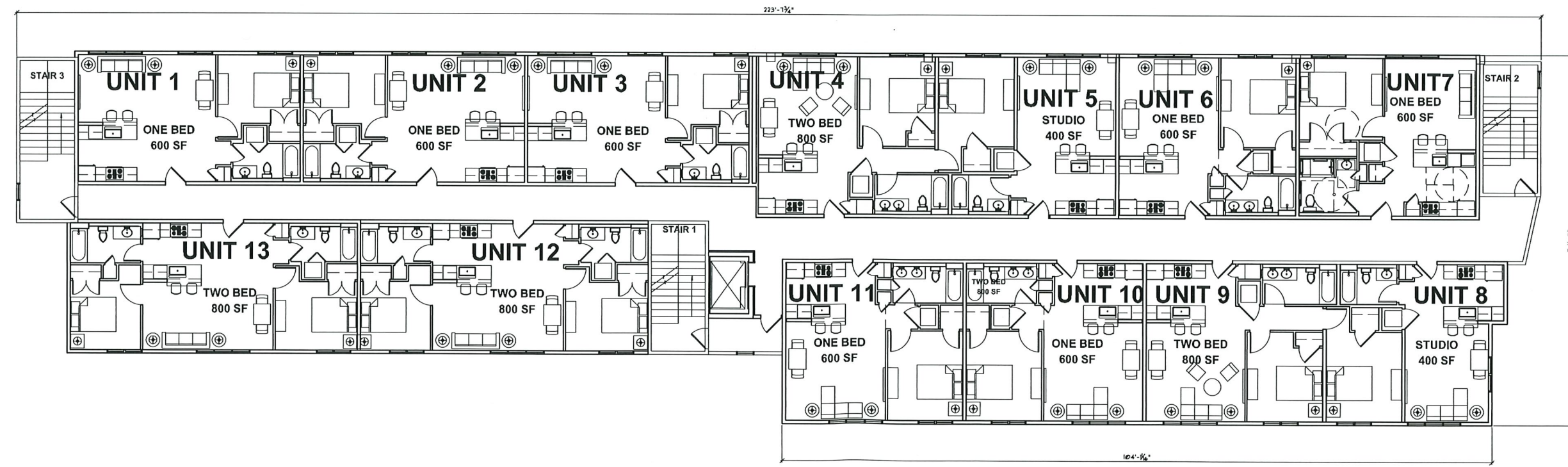


New Development for:
300 Valley Street
 Residential

300 Valley Street
 Providence, RI

(2) STUDIO UNITS/ FLOOR: +/- 400 NET SF
 (7) ONE BEDROOM UNITS/ FLOOR: +/- 600 NET SF
 (4) TWO BEDROOM UNITS/ FLOOR: +/- 800 NET SF
 TOTAL BUILDING AREA PER FLOOR: 10,675 SF

	GROSS SQUARE FEET	STUDIO UNITS	1 BEDROOM UNITS	2 BEDROOM UNITS	TOTAL
FIRST FLOOR	3,320 SF	0	0	0	0
SECOND FLOOR	10,615 SF	2	1	4	13
THIRD FLOOR	10,615 SF	2	1	4	13
FOURTH FLOOR	10,615 SF	2	1	4	13
FIFTH FLOOR	10,615 SF	2	1	4	13
TOTAL	46,870 SF	8	28	16	52



FOURTH FLOOR PLAN

1 1/8" = 1'-0"

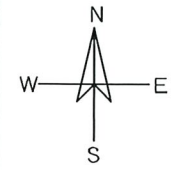
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SHEET CONTENTS:
 Proposed Floor Plan

PROJECT # 2122

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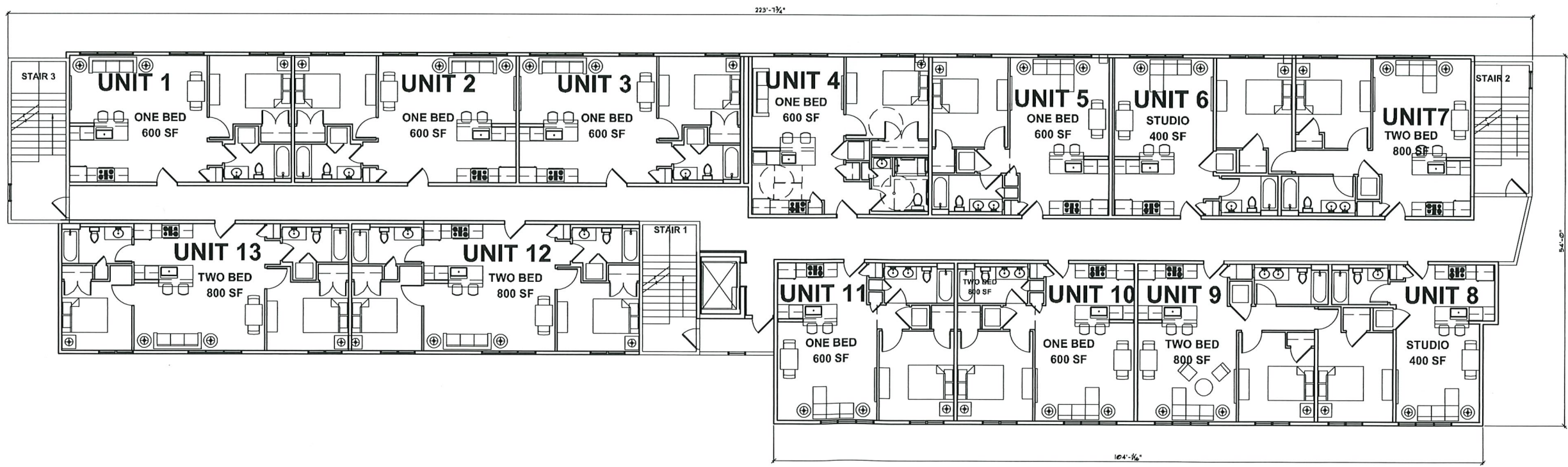


New Development for:
300 Valley Street
 Residential

300 Valley Street
 Providence, RI

(2) STUDIO UNITS/ FLOOR: +/- 400 NET SF
 (7) ONE BEDROOM UNITS/ FLOOR: +/- 600 NET SF
 (4) TWO BEDROOM UNITS/ FLOOR: +/- 800 NET SF
 TOTAL BUILDING AREA PER FLOOR: 10,675 SF

	GROSS SQUARE FEET	STUDIO UNITS	1 BEDROOM UNITS	2 BEDROOM UNITS	TOTAL
FIRST FLOOR	3,310 SF	0	0	0	0
SECOND FLOOR	10,675 SF	2	1	4	13
THIRD FLOOR	10,675 SF	2	1	4	13
FOURTH FLOOR	10,675 SF	2	1	4	13
FIFTH FLOOR	10,675 SF	2	1	4	13
TOTAL	46,675 SF	8	3	16	52



FIFTH FLOOR PLAN

1 1/8" = 1'-0"

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SHEET CONTENTS:
 Proposed Floor Plan

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 REVISED DATE:

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STREET VIEW PERSPECTIVE

1 1/8" = 1'-0"

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SHEET CONTENTS:
Exterior Elevations

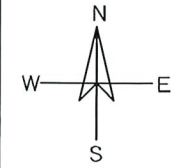
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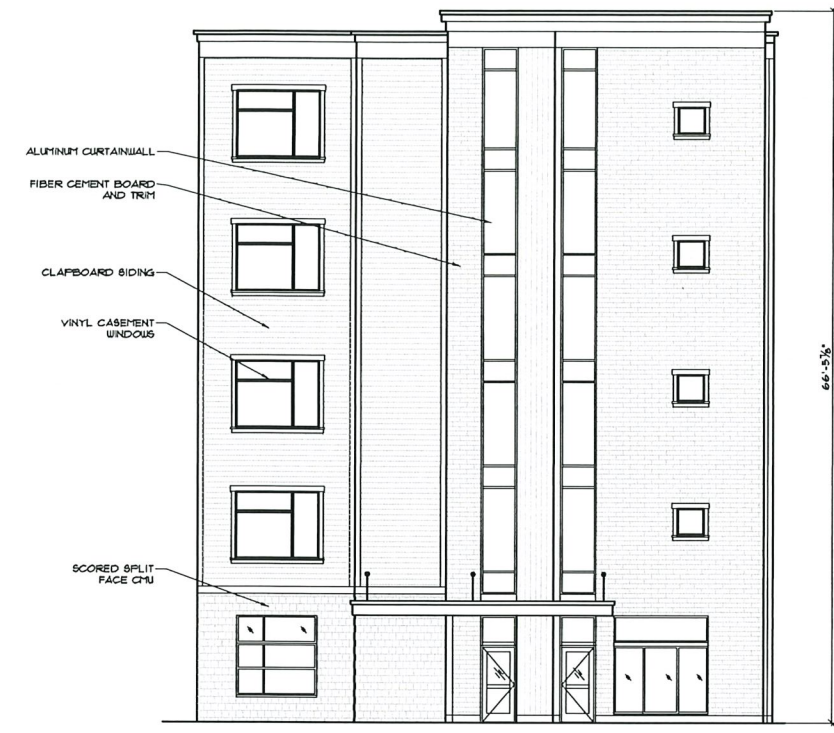
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New Development for:
**300 Valley Street
Residential**

300 Valley Street
Providence, RI



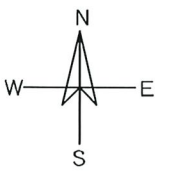
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architect, ltd
One Richmond Square
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401-861-7139
Fax: 401-861-7165



FRONT ELEVATION 1/8" = 1'-0"



SOUTH ELEVATION 1/8" = 1'-0"



SHEET CONTENTS:
 Exterior Elevations

PROJECT # 2122

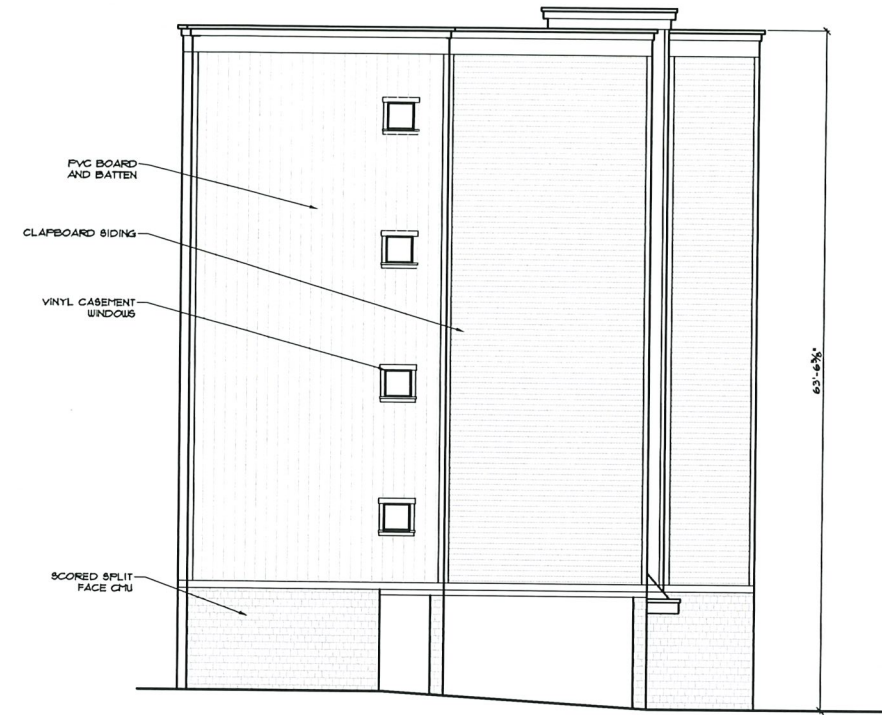
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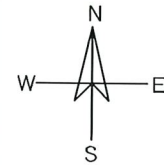


NORTH ELEVATION

1/8" = 1'-0"



WEST ELEVATION 1/8" = 1'-0"



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SHEET CONTENTS:
 Exterior Elevations

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