SITE PLAN SET

FOR

473 and 469 WASHINGTON STREET and 32 WHITTAKER AVENUE

PLAT 29, LOT 561
ZONING DISTRICT: C-2
GENERAL COMMERCIAL DISTRICT
PROVIDENCE, RHODE ISLAND

OWNER /APPLICANT

468 WEST FOUNTAIN LLC 311 BROADWAY PROVIDENCE, RI 02909

ENGINEERS and LAND SURVEYORS



- Civil
- Transportation
 Environmental
 Site Blanning
- SurveyingPermitting
- Lanuscape Architectur

CROSSMAN ENGINEERING Rhode Island Massachusetts

151 Centerville Road Warwick, RI 02886 Phone: (401) 738-5660 Massachusetts
103 Commonwealth Avenu
North Attleboro, MA 02763
Phone: (508) 695-1700

Email: cel@crossmaneng.com

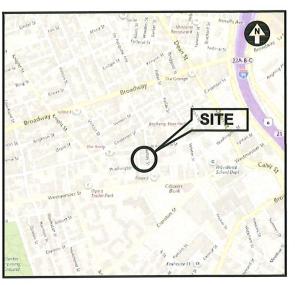
OCTOBER 2022 SHEET 1 of 10

ARCHITECT

ZDS inc.

2 CHARLES ST, SUITE A1 PROVIDENCE, RI 02904

> +1.401.680.6699 www.z-ds.com



LOCATION MAP

INDEX OF DRAWINGS

DRAWING No.	<u>PLAN</u>
C1	GENERAL NOTES and LEGEND
C2	AERIAL MAP
C3	EXISTING CONDITIONS PLAN
C4	SITE PLAN
C5	GRADING, DRAINAGE, and UTILITY PLAN
C6	SOIL EROSION and SEDIMENT CONTROL PLAN
C7	MISCELLANEOUS DETAIL PLAN NO. 1
C8	MISCELLANEOUS DETAIL PLAN NO. 2
L1	LANDSCAPE PLAN

	REVISIONS:				
No.:	DATE:	DESCRIPTION:			
		-			

1749 N COVED 4...

GENERAL NOTES

- 1. THE EXISTING CONDITIONS AND UTILITY INFORMATION REFERENCED IN THIS PLAN SET ARE BASED UPON A SURVEY PLAN PREPARED BY OTHERS (SEE MAP REFERENCE). THE PLANS MAY NOT DEPICT ALL UNDERGROUND UTILITY SYSTEMS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING DRAINAGE AND UTILITIES, BOTH UNDERGROUND AND OVERHEAD, BEFORE EXCAVATION BEGINS IN ACCORDANCE WITH "DIG SAFE PROGRAM LAW" ENACTED BY THE R.I. LEGISLATURE AND BY CONTACTING THE INDIVIDUAL UTILITY COMPANIES. EXCAVATION SHALL BE IN ACCORDANCE WITH ALL STATUTES, ORDINANCES, RULES AND REQULATIONS OF ANY CITY, STATE OR FEDERAL AGENCY THAT MAY APPLY, ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY. CONTRACTOR'S RESPONSIBILITY.
- 2. SPECIFICATIONS TO GOVERN THIS PROJECT ARE IDENTIFIED WITHIN THE PROJECT MANUAL FOR ALL EXCAVATION, PLACEMENT OF FILL, PIPE INSTALLATION, BITUMINOUS PAVEMENT, CUTTING INTO CATCHBASIN/MANHOLES, CONCRETE AND SAWCUTTING, THE CONTRACTOR SHALL PERFORM THE WORK IN FULL COMPLIANCE WITH THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AMENDED AUGUST 2013, WITH LATEST REMISIONS UNLESS OTHERWISE SHOWN ON PLANS. THE "METHOD OF MEASUREMENT" AND "BASIS OF PAYMENT" WITHIN THE R.I.D.O.T. SPECIFICATIONS ARE NOT APPLICABLE. THESE SPECIFICATIONS CAN BE OBTAINED ON—LINE AT:

HTTP://WWW.DOT.STATE.RI.US/ENGINEERING/STANDARDS/INDEX.ASP

- FOR ALL EXCAVATION AND PLACEMENT OF FILL, THE CONTRACTOR SHALL PERFORM THE WORK IN FULL COMPLIANCE WITH THE R.I. STANDARD SPECIFICATION SECTION 202.
- 4. RHODE ISLAND STANDARDS REFERENCED ARE ACCORDING TO THE STATE OF RHODE ISLAND AND PROVIDENCE PLANTATIONS "RHODE ISLAND STANDARD DETAILS" DATED MAY 20, 2015, WITH ALL REVISIONS AS PREPARED BY THE DEPARTMENT OF TRANSPORTATION.
- 5. THE CONTRACTOR MUST VERIFY PRIOR TO CONSTRUCTION THAT ALL REQUIRED AUTHORIZATION TO PERFORM WORK HAS BEEN OBTAINED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION OPERATIONS INCLUDING ALL ACTIONS OR OMISSIONS OF ANY SUBCONTRACTORS, AGENTS OR EMPLOYEES. THE CONTRACTOR MUST ENSURE THAT THE CONDITIONS OF ALL PERMITS, SPECIFICATIONS AND FEDERAL, STATE AND LOCAL REGULATIONS ARE STRICTLY EMPORCED. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ASPECTS OF ON-SITE SAFETY INCLUDING ANY DAMAGE TO EXISTING STRUCTURES.
- 6. WORK SHOWN ON THE PLANS FOR WHICH THERE ARE NO PARTICULAR DETAILS OR SPECIFICATIONS DOES NOT RELIEVE THE CONTRACTOR FROM FURNISHING AND INSTALLING THE WORK. THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE CONTRACT DOCUMENTS AND PLANS AND INSPECT THE STE. THE BID PRICE SHALL INCLUDE ALL LABOR, INCIDENTALS, TOOLS EQUIPMENT, TESTING, SERVICES AND MATERIALS NECESSARY TO COMPLETE THE PROJECT OR THE INSTALLATION OF AN ITEM FOR WHICH NO PARTICULAR DETAIL OR SPECIFICATION WAS PROVIDED MUST BE REVIEWED BY AND MUST BE ACCEPTABLE TO THE ENGINEER AND OWNER.
- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY WORK.
- 8. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT PRIOR TO THE INITIATION OF WORK, SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS, RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION, FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTRUCTION, FAILURE BY THE CONTRACTOR TO THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
- 9. ALL DISTURBED AREAS SHALL BE REPLACED IN KIND UNLESS OTHERWISE SHOWN
- 10. THROUGHOUT THE SITE URBAN FILL AND/OR DEBRIS MAY BE ENCOUNTERED DURING EXCAVATION. THE CONTRACTOR SHALL INCLUDE REMOVAL AND DISPOSAL OF THIS MATERIAL WITHIN THE REQUIRED EXCAVATION AREA, IN THE BID PRICE.
- 11. ALL PROPOSED SIDEWALK RAMPS SHALL HAVE A DETECTABLE WARNING DEVICE (RI STD 48.1.0).
- 12. THE SITE IS NOT WITHIN 200' OF ANY WETLAND AREAS, WATER COURSES OR COASTAL FEATURES.

THE LAYOUT SHOWN REPRESENTS A GRAPHICAL DESIGN, AND PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL LAND SURVEYOR (PLS) REGISTERED IN THE STATE TO SET AND VERIETY ALL LINES AND GRADES AND PROVIDE A BENCH MARK FOR CONSTRUCTION. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY ITEM FOUND WHICH DOES NOT MATCH THE PLANS MUST BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO CONSTRUCTION FOR REVIEW. NO WORK SHALL PROCEED UNTIL AUTHORIZED BY THE ENGINEER.

EXISTING UTILITY NOTES

- 1. THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY COMPANIES AND LAND OWNER TO OBTAIN THE LOCATION OF ALL UTILITIES PRIOR TO BEGINNING WORK. THE MARKED LOCATIONS SHALL BE PRESERVED BY THE CONTRACTOR DURING THE COURSE OF THE WORK, UNTIL SUCH TIME AS
- ALL UTILITIES INTERFERED WITH OR DAMAGED BY THE CONTRACTOR SHALL BE IMMEDIATELY AND PROPERLY RESTORED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL FULLY COMPACT ALL BACKFILL MATERIAL AROUND AND UNDER ALL EXISTING UTILITIES ENCOUNTERED OR CROSSED.
- 3. UNDERGROUND UTILITIES REFERENCED ON THESE PLANS HAVE BEEN PROVIDED BY OTHERS, REFER TO MAP REFERENCE.

 BOUNDARY STAKE-OUT SURVEY, A.P. 29 LOTS 41, 42, & 481, 473 469 WASHINGTON STREET AND 32 WHITTAKER AVENUE, PROVIDENCE, RHODE ISLAND, SCALE 1"-10', DATE: OCTOBER 1, 2018, PREPARED FOR AIRWAY LEASING LLC c/o GERARD DISANTO, ONE FRANKLIN SQUARE, PROVIDENCE, RI 02903, PREPARED BY: OCEAN STATE PLANKERS, INC. 1255 DAKLAWN AVENUE, CRANSTON, RHODE ISLAND, (401)-463-9696.

FLOOD ZONE NOTE

THE SITE IS LOCATED IN ZONE X, AREA OF MINIMAL FLOOD HAZARD, AS NOTED ON THE FLOOD INSURANCE RATE MAP, PROVIDENCE COUNTY, RHODE ISLAND (ALL JURISDICTIONS), PANEL 308 OF 451, MAP NUMBER 44007C0308J, MAP REVISED OCTOBER 2, 2015.

CONSTRUCTION WITHIN PUBLIC R.O.W

1. ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL CONFORM TO THE CITY STANDARDS. SEE: "https://www.providenceri.gov/wp-content/uploads/2017/04/Providence-DPW-Standard-Details.pdf"

PROPOSED PAVEMENT STRUCTURE / ROADWAY TRENCH REPAIR

2" BITUMINOUS CONCRETE TOP COURSE (CL. 9.5 HMA) 3" BITUMINOUS CONCRETE BINDER COURSE (CL. 12.5 HMA)

12" GRAVEL BORROW SUBBASE

MAINTENANCE AND PROTECTION OF TRAFFIC NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION. ALL TEMPORARY CONSTRUCTION SIGNS, BARRICADES AND LAME CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST REVISIONS OF MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.)
- TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE TRAFFIC CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC.
- 3. THE PRIVATE VEHICLES OF CONSTRUCTION WORKERS WILL NOT BE PARKED IN ANY ROADWAY RIGHT-OF-WAY UNLESS AAPROVED BY THE PROVIDENCE DWP.
- ALL MAINTENANCE AND PROTECTION OF TRAFFIC CONTROL SETUPS, SIGNS, CHANNELING DEVICES, ETC., SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, 2009 EDITION, INCLUDING REVISION 2, MAY 2012, AND SUBSEQUENT ADDENDA.
- SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH THE STATE D.O.T. SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.
- THE CONTRACTOR SHALL INCLUDE POLICE DETAILS REQUIRED FOR WORK WITHIN THE CITY RIGHT-OF-WAY, WITHIN THE CONTRACT FRICE.
- 7. ROAD OPENING PERMITS SHALL BE OBTAINED BY THE CONTRACTOR
- 8. COORDINATION WITH THE PROVIDENCE DEPARTMENT OF PUBLIC WORKS IS REQUIRED TO REVIEW ALL WORK IMPACTING SIDEWALKS AND/OR PEDESTRIAN TRAFFIC WITHIN THE CITY R.O.W. THE CONTRACTOR IS RESPONSIBLE FOR ALL SIGNAGE, DETOURS AND TEMPORARY FENCING AROUND SITE REQUIRED DURING CONSTRUCTION. DPW APPROVALS WILL BE REQUIRED FOR SIDEWALK WORK.

UTILITY NOTES

- THE CONTRACTOR SHALL REVIEW ALL PLANS PREPARED BY THE ARCHITECT, MECHANICAL ELECTRIC AND PLUMBING ENGINEER TO CONFIRM IF ALL EXISTING UTILITY SERVICES TO THE BUILDING ARE TO REMAIN. EXISTING SERVICE UTILITIES NO LONGER REQUIRED SHALL BE CUT AND CAPPED AT THE PROPERTY LINE. COORDINATION WITH THE UTILITY COMPANIES WILL BE REQUIRED.
- THE EXISTING SEWER SERVICE TO THIS SITE WILL BE RE-USED FOR THE PROPOSED BUILDING IMPROVEMENTS. INSTALL A NEW PIPE AND MONITORING MANHOLE AT THE CONNECTION POINT ON THE EXISTING SEWER.
- 3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT REGARDING REQUIRED FIRE FLOWS TO THE PROPOSED FIRE SPRINKLER SYSTEM. THE CONTRACTOR SHALL CONDUCT A FIRE FLOW TEST ON THE EXISTING WATER SYSTEM TO CONFIRM EXISTING FLOWS AND
- 4. THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT ON THE REQUIRED DOMESTIC WATER SERVICE SIZE AND PRESSURE REQUIREMENTS.
- THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT ON THE REQUIRED GAS SERVICE SIZE AND PRESSURE REQUIREMENTS. THE CONTRACTOR WILL CONTACT AND APPLY FOR GAS SERVICE FOR THIS SITE.
- 6. PRIOR TO CONSTRUCTION AND AS REQUIRED FOR NEW SERVICES, THE CONTRACTOR MUST PERFORM
 - A. CONFIRM THE EXISTING DEPTHS OF UTILITIES AT ALL PROPOSED CONNECTION POINTS AND

 - B. CONFIRM THE EXTENT OF LEDGE WHICH MAY EXIST IN ALL ANTICIPATED UTILITY TRENCH AREAS. PRIOR TO CONSTRUCTION, THE FINDINGS ARE TO BE REVIEWED BY THE OWNER AND THE ENGINEER. IF NECESSARY, ALTERNATIVES TO MINIMIZE LEDGE REMOVAL AND UTILITY CONFLICTS WILL BE DEVELOPED. NO CONSTRUCTION WILL BE ALLOWED WITHOUT THE OWNER'S AUTHORIZATION
 - C. THE CONTRACTOR SHALL DIG TEST HOLES TO VERIFY THE ELEVATIONS AND PIPE MATERIAL OF THE EXISTING WATER, GAS AND SANITARY SERVICES AT THE PROPOSED TIE—IN LOCATION.
- 7. ANY MODIFICATIONS TO THE PROPOSED UTILITIES TO AVOID CONFLICTS MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION. NO EXTRA PAYMENT TO THE CONTRACTOR DUE TO RELOCATIONS
- 8. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO TIE-IN OR SERVICE REMOVAL
- THIS UTILITY PLAN DOES NOT REPRESENT THE SITE ELECTRICAL/TELEPHONE/COMMUNICATION SYSTEM DESIGNS. REFER TO ARCHITECTURAL PLANS FOR THE ELECTRIC, TELEPHONE AND CABLE SERVICE LOCATIONS. THE CONTRACTOR SHALL COORDINATE WITH EACH UTILITY COMPANY FOR SERVICE INSTALLATION.
- 10. AS APPLICABLE FOR NEW SERVICE; THE CONTRACTOR MUST LOCATE THE EXISTING WATER MAIN TO OBTAIN THE PROPER OUTSIDE DIAMETER TO SIZE THE SLEEVE. THE CONTRACTOR SHALL COORDINATE WITH THE PROVIDENCE SUPPLY BOARD FOR SERVICE APPLICATION AND APPROVALS.
- 11. AS APPLICABLE FOR NEW SERVICE; THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL NEW UTILITY PIPE SIZES INCLUDING WATER, SEWER AND GAS ARE VERIFIED BY THE ARCHITECT PRIOR TO ORDERING PIPE OR RELATED MATERIAL.
- 12. ALL PROPOSED PIPES AND CONDUITS SHALL BE INSTALLED TO MEET H-20 LOADING CAPACITY. ALL MATERIAL AND TRENCHING METHODS SHALL CONFORM TO H-20 LOADING CAPACITIES, AS RECOMMENDED BY THE MANUFACTURER. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS/CATALOG CUTS FOR PROPOSED PIPE AND CONDUIT TO ENGINEER FOR APPROVAL.

DEMOLITION NOTES

- AS APPLICABLE FOR TERMINATING EXISTING SERVICES; THE CONTRACTOR SHALL LOCATE ALL EXISTING
 UTILITY STUBS TO THIS SITE AND PROPERLY PLUG AND CAP STUBS AT THE MAIN. NOTE: IF UTILITY
 COMPANY ALLOWS CUTTING AND CAPPING EXISTING UTILITY SERVICES THAT ARE NO LONGER NEEDED
 AT THE CURB LINE, THEN CONTRACTOR SHALL PROVIDE OWNER A CREDIT FOR NOT ENTERING INTO
 THE ROADWAY FOR TERMINATION AT THE MAIN.
- PRIOR TO REMOVAL OF ANY OVERHEAD POLES AND/OR WIRES THE CONTRACTOR SHALL CONTACT THE ELECTRIC, TELEPHONE, CABLE AND FIRE ALARM COMPANIES.
- THE CONTRACTOR IS RESPONSIBE TO REMOVE AND DISPOSE ALL ITEMS OUTSIDE THE BUILDING FOOTPRINT, INCLUDING BUT NOT LIMITED TO EXISTING PAYEMENT, SIDEWALKS, LIGHT POLES, DEBRIS, BOLLARDS, TREES, UNDERGROUND PIPES AND FENCING ON SITE.
- BUILDING DEMOLITION IS NOT INCLUDED OR REFERENCED IN THIS PLAN SET. REFER TO ARCHITECTUAL PLANS FOR REQUIRED PERMITS, TESTING, REMOVAL AND DISPOSAL REQUIREMENTS FOR THE BUILDING DEMOLITION.

LEGEND EXISTING PROPOSED PROPERTY LINE EASEMENT LINE CURB -O- No UTILITY POLE I LP LIGHT POLE ----(Size) D----DRAIN LINE -(SIZE) D-----(Size) S----SANITARY SEWER SANITARY FORCE MAIN ----(Size) G----GAS LINE ----1 1/2"----DOMESTIC WATER LINE FIRE SERVICE LINE ELECTRIC/CABLE/TELEPHONE DRAINAGE MANHOLE ■ CB CATCH BASIN S SMH SEWER MANHOLE ⊕ EMH ELECTRIC MANHOLE ® TMH TELÉPHONE MANHOLE B' Hyd. HYDRANT e WG WATER GATE 0 GG GAS GATE 0 00 CLEAN-OUT TO GRADE •CO SAWCUT PAVEMENT ----XXX---ELEV. SPOT GRADES 00x0 CHAIN LINK FENCE STOCKADE FENCE GRADE TO DRAIN 7777 11/1/1 BUILDING \odot TREE **BOLLARDS** LIMIT OF DISTURBANCE FILTER SOXX O SPIKE SET SPIKE SET (BY OTHERS) (D.H. (FND) DRILL HOLE FOUND (CROSSMAN) IX DRILL HOLE SET DRILL HOLE SET (BY OTHERS)

CLIENT 468 WEST FOUNTAIN LLC 311 BROADWAY PROVIDENCE, RI 02909

ARCHITECT

ZDS inc 2 CHARLES ST, SUITE AT PROVIDENCE, RI 02904

> +1.401.680.669 www.z-ds.com

STAMP

CONSULTANTS



Rhode Internal 151 Centerville Road Warnisch, Ri 52305 Flyone (41) 738-6400 Phone 1503 164-1700 Emails cel@cro

WASHINGTON **STREET APARTMENTS**

PROJECT NO. 20113

THESE DRAWINGS ARE FOR THE CONSTRUCTION OF THE PROJECT LISTED ABOVE AND ARE NOT TO BE COPIED IN ANY FORM WITHOUT THE EXPRESS

THE GENERAL CONTRACTOR SHALL NOT SCALE DRAWINGS FOR MEASUREMENTS, BUT SHALL VERIFY AT THE SITE ALL LEVELS AND MEASUREMENTS NECESSARY FOR COMPLETE FABRICATION, ASSEMBLY AND INSTALLATION OF THE WORK MINOR DETAILS OF THE WORK NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE ASCERTAINED BY THE CONTRACTOR AT THE SITE OF THE WORK, AND SHALL BE ACCOMPLISHED WITH THE INTENT OF THIS PROJECT.

REVISIONS

NO	DATE	DESCRIPTION
		14

ISSUED DATE: OCTOBER 2022

GENERAL NOTES and LEGEND

DRAWING NO.



468 WEST FOUNTAIN LLC 311 BROADWAY PROVIDENCE, RI 02909

ZDS inc.

+1.401.680.6699 www.z-ds.com



CROSSMAN ENGINEERING

PROJECT NAME

WASHINGTON

STREET APARTMENTS

PROJECT NO. 20113

THESE DRAWINGS ARE FOR THE CONSTRUCTION OF THE PROJECT LISTED ABOVE AND ARE NOT TO BE COPIED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF ZDS, INC.

THE GENERAL CONTRACTOR SHALL NOT SCALE DRAWINGS FOR MEASUREMENTS, BUT SHALL VERIFY AT THE SITE ALL LEVELS AND MEASUREMENTS NECESSARY FOR COMPLETE FABRICATION, ASSEMBLY AND INSTALLATION OF THE WORK, MINOR DETAILS OF THE WORK NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE ASCERTAINED BY THE CONTRACTOR AT THE SITE OF THE WORK, AND SHALL BE ACCOMPLISHED WITH THE INTENT OF THIS PROJECT.

NO DATE DESCRIPTION

1		
ı		
1		
1		
ı		
ı		
I		
I		
ı		

ISSUED DATE: OCTOBER 2022

AERIAL MAP

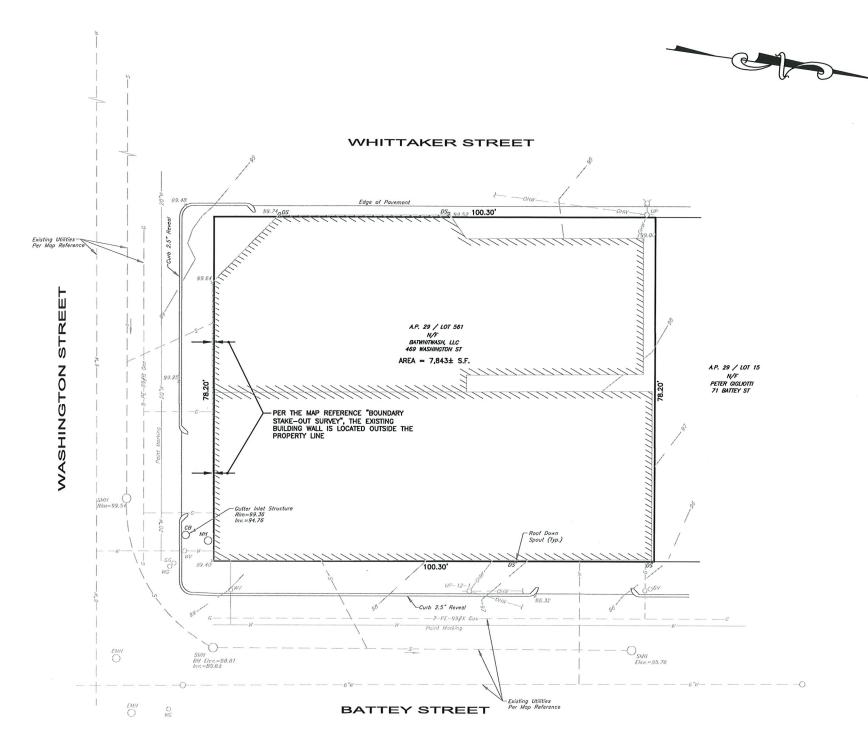
DRAWING NO.

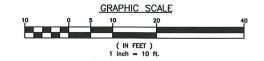
PLAN NOTES

- THE EXISTING CONDITIONS REFERENCED ON THESE PLANS HAVE BEEN TAKEN FROM PLANS PREPARED BY OCEAN STATE PLANNERS (SEE MAP REFERENCE) AND BY LIMITED FIELD REVIEWS BY CROSSMAN ENGINEERING.
- 2. THE MAP REFERENCE PLAN IS A CLASS 1 LIMITED BOUNDARY SURVEY.
- 3. EXISTING UTILITIES REFERENCED WITH A DASHLINE REPRESENT UTILITIES PROVIDED BY OCEAN STATE PLANNERS. EXISTING UTILITIES REFERENCED WITH A SOLID LINE WERE OBTAINED FROM FIELD REVIEWS BY CROSSMAN ENGINEERING

MAP REFERENCE

REFERENCE IS MADE TO A PLAN TITLED "BOUNDARY STAKE—OUT SURVEY, A.P. 29/LOT 41, 42 & 481, 473 & 469 WASHINGTON STREET, 32 WHITTAKER AVENUE, PROVIDENCE R.I., SCALE 1"=10", DATED OCTOBER 1, 2018 PREPARED FOR AIRWAY LEASING, LLC C/O GERARD DISANTO, ONE FRANKLIN SOUARE, PROVIDENCE, R.I., 20203 PREPARED BY OCEAN STATE PLANNERS, INC., 1255 OAKLAWN AVENUE, CRANSTON R.I. 02920."





468 WEST FOUNTAIN LLC 311 BROADWAY PROVIDENCE, RI 02909

ARCHITECT



+1.401.680.6699 www.z-ds.com

STAMP

CONSULTANT



Transportation
Emvironmental
Bits Planning
Surveying
Permitting
Landscape Architect

CROSSMAN ENGINEERING

Rhode Island
151 Cortarvith Road
Warnshin, NR 22006
Phone: (441) 1748-6000
Phone: (501) 905-1710

Email: oal@crossmanerg.

PROJECT NAME

WASHINGTON STREET APARTMENTS

PROJECT NO. 20113

THESE DRAWINGS ARE FOR THE CONSTRUCTION OF THE PROJECT LISTED ABOVE AND ARE NOT TO BE COPIED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF ZDS, INC.

THE GENERAL CONTRACTOR SHALL NOT SCALE DRAWINGS FOR MEASUREMENTS, BUT SHALL VERLIFY AT THE SITE ALL LEVELS AND MEASUREMENTS NECESSARY FOR COMPLETE FABRICATION, ASSEMBLY AND INSTALLATION OF THE WORK, MINOR DETAILS OF THE WORK NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE ASCERTAINED BY THE CONTRACTOR AT THE SITE OF THE WORK, AND SHALL BE ACCOMPLISHED WITH THE INTENT OF THIS PROJECT.

REVISI	ONS	
NO	DATE	DESCRIPTION
_		
$\overline{}$		
_		
-		

ISSUED DATE: OCTOBER 2022

SHEET TI

EXISTING CONDITIONS PLAN

DRAWING NO.

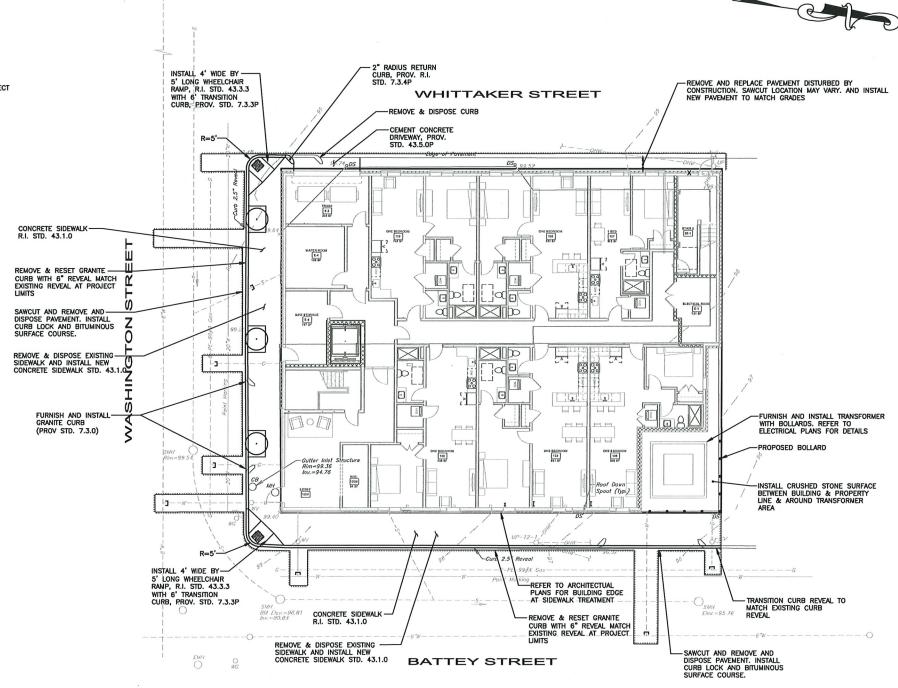
PROVIDENCE TOWNS PROJUDENENTS				
PROVIDENCE ZONI	PROVIDENCE ZONING REQUIREMENTS			
ZONING DISTRICT: C-2 GENERAL COMME	RCIAL DISTRICT			
PERMITTED USE: MULTI-TENANT RETAIL	AND MULTI-FAMILY DW	ELLING		
MINIMUM LOT REQUIREMENTS REQUIRED PROVIDED				
MINIMUM LOT AREA	NONE	7,843.4 S.F.		
MINIMUM BUILDING HEIGHT	16'*(E)	46'-9"		
MAXIMUM BUILDING HEIGHT	50' - 4 STORIES	4 STORIES		
SETBACK REQUIREMENTS				
MINIMUM FRONT SETBACK	0'-5' *(A)	0'		
MINIMUM INTERIOR SIDE SETBACK	NONE *(B)	0'		
MINIMUM CORNER SIDE SETBACK	0'-5' *(C)	0,		
MINIMUM REAR SETBACK	NONE *(D)	NA		

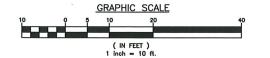
NOTES A: THE REQUIRED BUILD TO PERCENTAGE IS 60% OF THE FRONT LINE

E: UNLESS ABUTING A RESIDENTIAL DISTRICT, THEN SETBACK IS 10'
C: THE REQUIRED BUILD TO PERCENTAGE IS 40% OF THE CORNER SIDE LINE
D: UNLESS ABUTTING A RESIDENTIAL DISTRICT, THEN SETBACK IS 20'
E: PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT
TO OBTAIN ALL COPIES OF CITY APPROVALS RECEIVED FOR THIS PROJECT.

NOTES: 1. PARKING REQUIREMENTS

- 2. PROPOSED BUILDING SHALL BE CONSTRUCTED ON OR CLOSE TO THE LINE. CONTRACTOR SHALL OBTAIN SURVEY LOCATIONS PRIOR TO CONSTRUCTION.
- 3. ALL SIDEWALK RAMPS SHALL HAVE A R.I. STD. 48.1.0 DETECTABLE WARNING PANEL.
- 4. THIS PROPOSED PLAN REFERENCES NO ON-SITE PARKING SPACES.





CLIENT 468 WEST FOUNTAIN LLC 311 BROADWAY PROVIDENCE, RI 02909

ARCHITECT



+1.401.680.6699 www.z-ds.com

STAMP

CONSULTANTS



PROJECT NAME

WASHINGTON STREET **APARTMENTS**

PROJECT NO. 20113

THESE DRAWINGS ARE FOR THE
CONSTRUCTION OF THE PROJECT LISTED
ABOVE AND ARE NOT TO BE COPIED IN
ANY FORM WITHOUT THE EXPRESS
WRITTEN PERMISSION OF ZDS, INC.

THE GENERAL CONTRACTOR SHALL NOT SCALE DRAWINGS FOR MEASUREMENTS, BUT SHALL VERIFY AT THE SITE ALL LEVELS AND MEASUREMENTS NECESSARY FOR COMPLETE FABRICATION, ASSEMBLY AND INSTALLATION OF THE WORK, MINOR DETAILS OF THE WORK NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE ASCERTAINED BY THE CONTRACTOR AT THE SITE OF THE WORK, AND SHALL BE ACCOMPLISHED WITH THE INTENT OF THIS PROJECT.

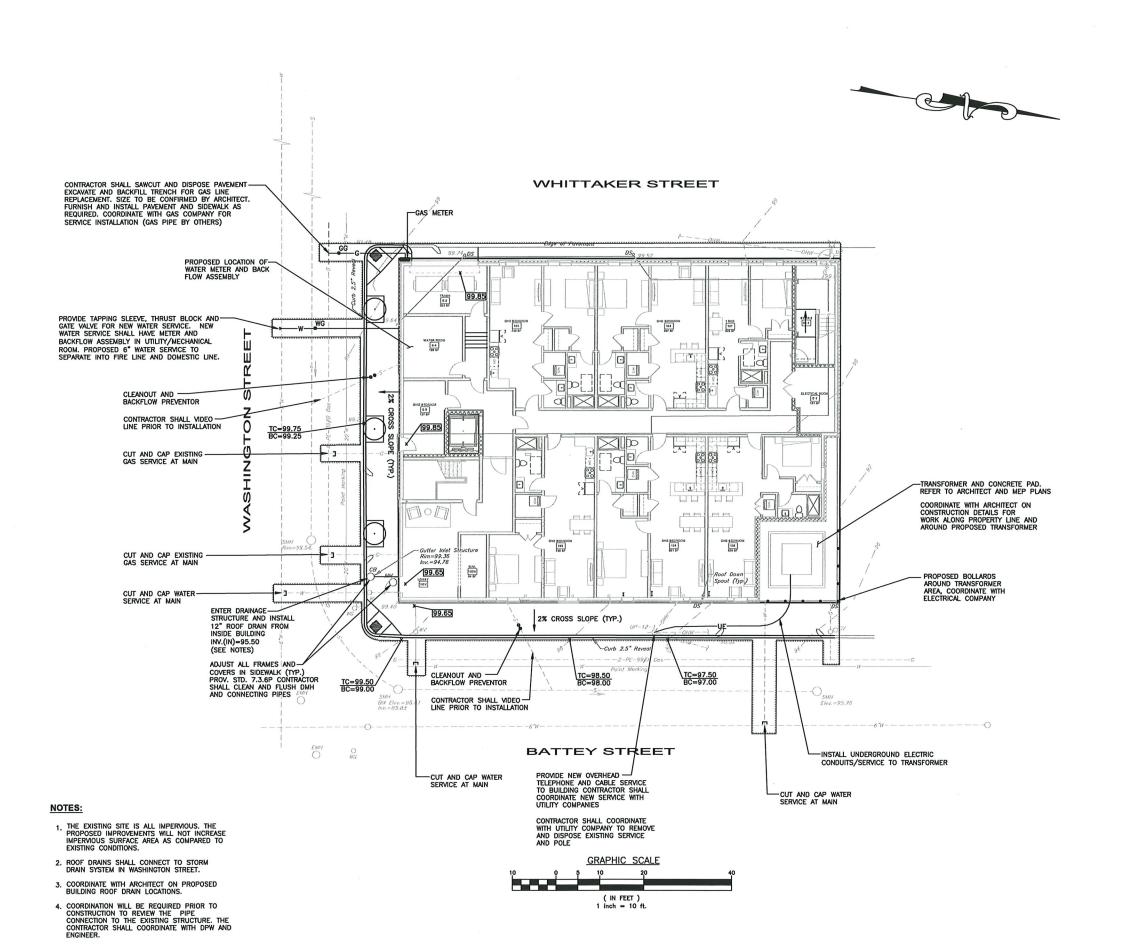
REVISIONS NO DATE DESCRIPTION

SSUED DATE: OCTOBER 2022

SHEET TITLE

SITE **PLAN**

DRAWING NO.



CLIENT 468 WEST FOUNTAIN LLC 311 BROADWAY PROVIDENCE, RI 02909

ARCHITECT



+1.401.680.6699 www.z-ds.com

STAMP

CONSULTANTS



181 Centerville Road Warwick, Fil 92886 Fhore (401) 738-8660 Fhore (506) 8

PROJECT NAME

WASHINGTON STREET APARTMENTS

PROJECT NO. 20113

THESE DRAWINGS ARE FOR THE CONSTRUCTION OF THE PROJECT LISTE ABOVE AND ARE NOT TO BE COPIED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF ZOS, INC.

THE GENERAL CONTRACTOR SHALL NOT SCALE DRAWINGS FOR MEASUREMENTS, BUT SHALL VERIEY AT THE SITE ALL LEVELS AND MEASUREMENTS NECESSARY FOR COMPLETE FABRICATION, ASSEMBLY AND INSTALLATION OF THE WORK, MINOR DETAILS OF THE WORK NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE ASCERTAINED BY THE CONTRACTOR AT THE SITE OF THE WORK, AND SHALL BE ACCOMPLISHED WITH THE INTENT OF THIS PROJECT.

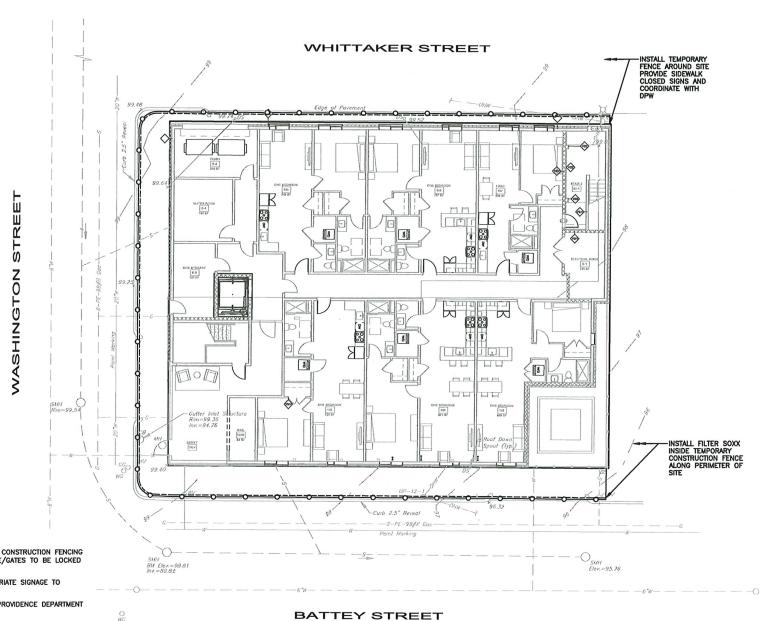
NO DATE DESCRIPTION

SSUED DATE: OCTOBER 2022

SHEET TITLE

GRADING, DRAINAGE AND UTILITY PLAN

DRAWING NO.

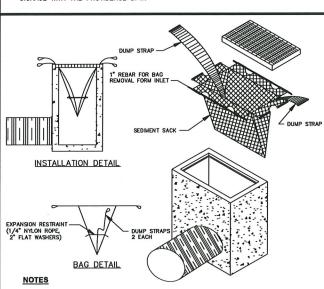


- 1. FURNISH AND INSTALL TEMPORARY CHAINLINK CONSTRUCTION FENCING WITH ENTRY GATES AROUND ENTIRE SITE. SITE/GATES TO BE LOCKED DURING NON-CONSTRUCTION HOURS.
- 2. CONSTRUCTION FENCING SHALL HAVE APPROPRIATE SIGNAGE TO PROTECT THE PUBLIC.
- VERIFY CONSTRUCTION SITE ENTRANCE WITH PROVIDENCE DEPARTMENT OF PUBLIC WORKS.
- 4. LIMIT OF DISTURBANCE = 10,058 S.F.

CONSTRUCTION NOTES

 CONTRACTOR SHALL COORDINATE AND PROVIDE TEMPORARY SIDEWALK CLOSURE WARNING SIGNAGE AND ALTERNATIVE PEDESTRIAN ROUTE SIGNAGE WITH THE PROVIDENCE DPW.

SCALE: 1"=10'

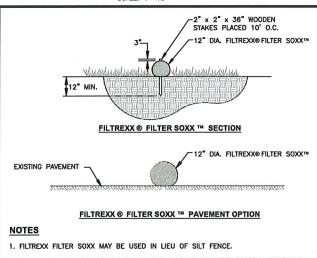


1. INSTALL SILT SACK AT CATCH BASINS IN VICINITY OF CONSTRUCTION

2. CONTRACTOR SHALL SUBMIT SILT SACK PRODUCT TO ENGINEER FOR APPROVAL.

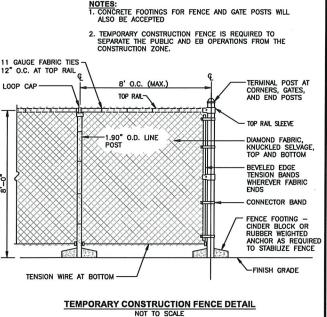
TYPICAL SILT SACK DETAIL

NOT TO SCALE



- CONTRACTOR IS RESPONSIBLE TO BECOME FAMILIAR WITH THE FILTREXX PRODUCTS AND COORDINATE INSTALLATION SCHEDULES AND METHODS WITH THE ENGINEER PRIOR TO PLACEMENT.
- 3. ALL MATERIAL SHALL MEET FILTREXX SPECIFICATIONS.
- 4. COMPOST MATERIAL SHALL NOT BE DISPERSED ON SITE AFTER CONSTRUCTION.

FILTREXX ® FILTER SOXX ™ DETAIL NOT TO SCALE



DUST CONTROL NOTES

ON AN AS-NEEDED BASIS OR AS DIRECTED BY THE CITY, RIDEM OR OWNER, THE CONTRACTOR SHALL UTILIZE ONE OF THE FOLLOWING METHODS TO CONTROL DUST:

A. THE EXPOSED SOIL SURFACE SHOULD BE MOISTENED PERIODICALLY WITH ADEQUATE WATER TO CONTROL DUST.

B. CALCIUM CHLORIDE SHOULD BE EITHER LOOSE DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH A SPREADER AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE.

THE METHODS SHOULD BE REPEATED AS NEEDED, AND SPECIAL ATTENTION MUST BE GIVEN TO THE ACCESS DRIVES.

INSPECTION/MAINTENANCE NOTES

- PRIOR TO COMMENCING PAYEMENT REMOVAL AND/OR EXCAVATION OPERATIONS AND EARTHWORK, EROSION CONTROLS SHALL BE PLACED INSIDE SAWCUT EDGE TO PREVENT SEDIMENT FROM ENTERING EXISTING ROADWAY DRAINAGE SYSTEM AND ABUTTING PROPERTIES.
- 2. EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING THE DRAINAGE SYSTEM.
- 5. ALL DISTURBED AREAS WHICH BECOME SUBJECT TO EROSME TENDENCIES WHETHER THEY BE NEWLY FILLED OR EXCAVATED SHALL RECEIVE SLOPE PROTECTION SUCH AS CRUSHED STONE.
- 4. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING PERIODS OF RAINFALL.
- 5. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MAINTENANCE AND SHALL INSPECT / REPLACE DAILY DURING CONSTRUCTION, FOLLOWING RAINFALL AND WEEKLY DURING NON CONSTRUCTION PERIODS.
- 6. ADDITIONAL FILTERSOXX OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
- 7. THE LATEST VERSION OF THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE R.I. STATE CONSERVATION COMMITTEE, MUST BE UTILIZED BY THE CONTRACTOR AS A GUIDE.
- 8. THE CONTRACTOR IS RESPONSIBLE FOR ALL DUST CONTROL AND FOR THE ENTIRE PROJECT DURATION, INCLUDING TEMPORARY SHUT—DOWN PERIODS, MUST MONITOR AND REPAIR, AS NEEDED, ALL SLOPES TO ENSURE A STABLE PRODUCT.

GENERAL PROJECT WIDE NOTES

- 1. CONTRACTOR SHALL INSTALL TEMPORARY MEASURES SUCH AS; FIBER MATTING, CRUSHED STONE, HAY OR STRAW IN AREAS WHERE SLOPES OR STABILIZATION HAS FAILED.
- 2. IF SEDIMENT IS TRACKED OR ERODED INTO THE ROADWAY, THE CONTRACTOR WILL BE REQUIRED TO INSTALL SILT SACK OR APPROVED EQUAL UNDER THE EXISTING CATCH BASIN GRATES. REMOVE AFTER CONSTRUCTION.
- 3. FILTER SOXX SHALL BE INSTALLED AROUND THE PERIMETER OF THE AREA TO BE DISTURBED BY CONSTRUCTION. ADDITIONAL APPLICATIONS OF THESE CONTROLS MEASURES MAY BE REQUIRED DURING THE CONSTRUCTION PROCESS. THE CONTRACTOR SHALL INSPECT THE SITE AT A MINIMUM OF ONCE PER WEEK OR WITHIN 24 HOURS AFTER A STORM EVENT.
- 4. IF EROSION OR EROSIVE TENDENCIES ARE APPARENT ON THE SITE, THE CONTRACTOR IS RESPONSIBLE TO INSTALL ADDITIONAL EROSION CONTROLS.
- 5. IF SEDIMENT OR DEBRIS IS TRACKED ONTO EXISTING PAVED AREAS ADJACENT TO THE CONSTRUCTION AREA, THE CONTRACTOR IS REQUIRED TO SWEEP THE PAVEMENT ON A DAILY BASIS. THE AREA SHALL BE INSPECTED DAILY.
- . THE CONTRACTOR IS RESPONSIBLE TO KEEP THE SITE CLEAN OF TRASH. RECOMMENDED DAILY PATROL OF THE CONSTRUCTION SHOULD BE CONDUCTED TO PICK—UP TRASH. THE OPERATOR SHALL REQUIRE THE CONTRACTOR TO HAVE PORTABLE SANITARY FACILITIES ON SITE. ROUTINE CLEANING AND WASTE DISPOSAL OF THESE PORTABLE SANITARY FACILITIES IS REQUIRED.

FILTREXX SOXX NOTE

CONTRACTOR IS RESPONSIBLE TO BECOME FAMILIAR WITH THE FILTREXX PRODUCTS AND COORDINATE INSTALLATION SCHEDULES AND METHODS WITH THE ENGINEER PRIOR TO PLACEMENT.

EROSION CONTROL AND SOIL STABILIZATION PROGRAM

- 1. EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING THE DRAINAGE SYSTEM, ADJACENT PROPERTY AND ROADWAYS.
- TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, OR FIBER MULCH PROTECTIVE COVERS, SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE OWNER.
- 3. HAY OR STRAW APPLICATIONS SHALL BE IN THE AMOUNT OF 3,000-4,000 LBS/ACRE.
- STOCKPILES SHALL HAVE NO SLOPE STEEPER THAN 2:1 AND SHALL BE SURROUNDED BY STAKED HAY BALES OR SILT FENCING.
- STOCKPILES EXPOSED FOR EXCESSIVE PERIODS SHALL RECEIVE TEMPORARY TREATMENT CONSISTING OF HAY, STRAW OR FIBER MATTING.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MAINTENANCE AND SHALL INSPECT/REPLACE AS NEEDED.
- 7. ADDITIONAL HAY BALES OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER, OWNER, MUNICIPAL REPRESENTATIVES OR LOCAL DPW. 3. DIRECTED BY THE CONTROL BY RESPONSIBLE FOR PROVIDING DUST CONTROL AT NO ADDITIONAL COST TO THE OWNER.
- ALL CATCH BASINS ADJACENT TO THE CONSTRUCTION AREA SHALL BE PROTECTED BY SILT SACKS. ROUTINE CLEANING OF SEDIMENT WILL BE REQUIRED.
- ALL PROPOSED CATCH BASINS SHALL BE PROTECTED BY STAKED HAY BALES, SILT FENCING OR SILT SACKS.
- 11. THE FILTREXX FILTER SOXX MAY BE INSTALLED ON THE EXISTING PAVEMENT /IMPERMOUS AREAS WITH OUT STAKES. CONTRACTOR SHALL INSPECT DAILY, IF SOIL EROSION OR SEDIMENT IS OBSERVED IN THESE AREAS, THE CONTRACTOR SHALL RELOCATE OR INSTALL ADDITIONAL FILTER SXX INLETS OXX IN LOCATIONS THAT CAN BE STAKED. THIS WORK IS INCLUDED IN THE PROJECT SCOPE.
- 12. AN ALTERNATE COMPOST SOCK OR STRAW WATTLE PRODUCT MAY BE USED IN LIEU OF FILTREXX FILTER SOCK UPON APPROVAL OF THE ENGINEER.

468 WEST FOUNTAIN LLC 311 BROADWAY PROVIDENCE, RI 02909

ARCHITECT

ZDS inc.

2 CHARLES ST, SUITE A1
PROVIDENCE, RI 02904

+1.401.680.669 www.z-ds.com

STAMP

ONSULTANTS



Rhode Island
181 Centerville Road
Warwick, Ri 22884
Phone (401) 738-5603
Phone (506) 695

ROJECT NAME

WASHINGTON STREET APARTMENTS

PROJECT NO. 20113

HESE DRAWINGS ARE FOR THE ONSTRUCTION OF THE PROJECT LIS BOVE AND ARE NOT TO BE COPIED IN NY FORM WITHOUT THE EXPRESS VRITTEN PERMISSION OF ZDS. INC.

THE GENERAL CONTRACTOR SHALL NOT SCALE DRAWINGS FOR MEASUREMENTS, BUT SHALL VERIPY AT THE SITE ALL LEVELS AND MEASUREMENTS NECESSARY FOR COMPLETE FABRICATION, ASSEMBLY AND INSTALLATION OF THE WORK, MINOR DETAILS OF THE WORK NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE ASCERTAINED BY THE CONTRACTOR AT THE SITE OF THE WORK, AND SHALL BE ACCOMPLISHED WITH THE INTERT OF THIS PROJECT.

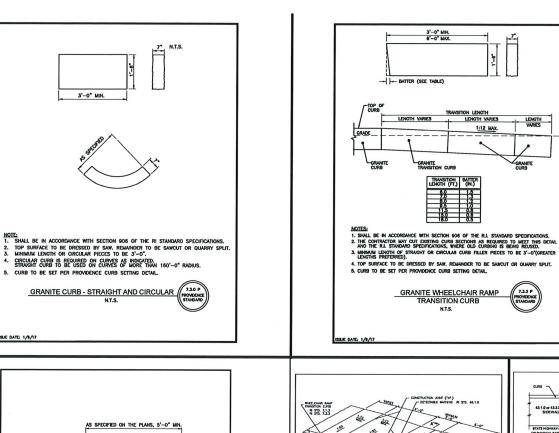
NO	DATE	DESCRIPTION
_		
_		
-		
-		
-	_	

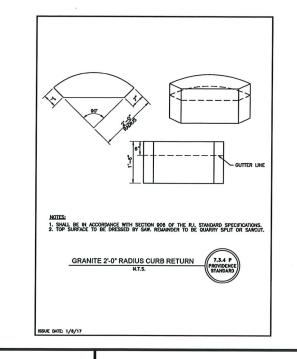
ISSUED DATE: OCTOBER 2022

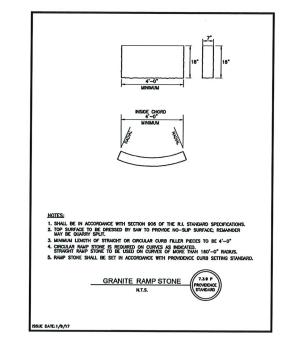
SHEET TITLE

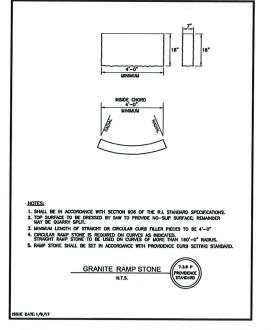
SOIL EROSION AND SEDIMENT CONTROL PLAN

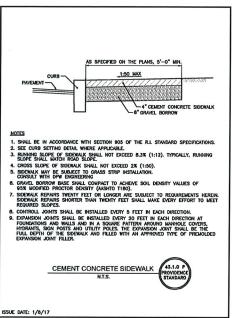
DRAWING NO.

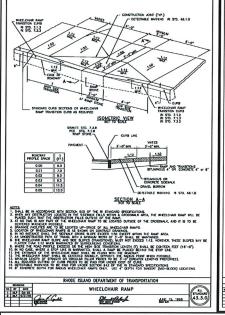


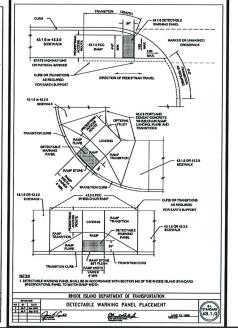


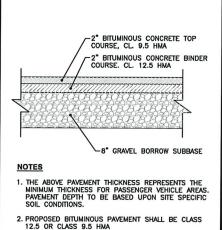




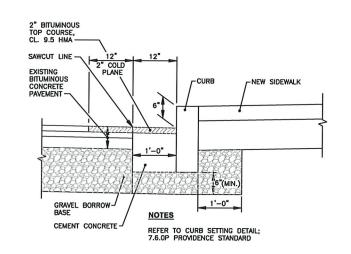


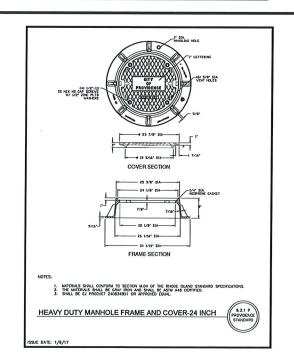


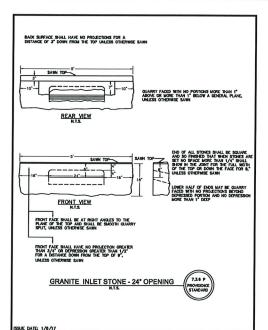


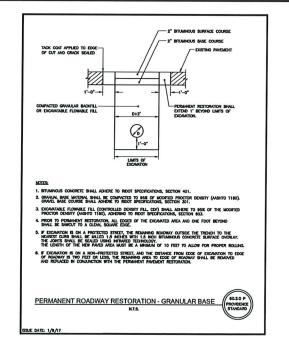


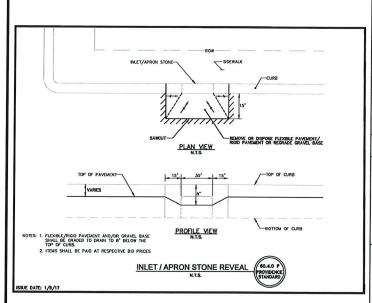












468 WEST FOUNTAIN LLC PROVIDENCE, RI 02909

ARCHITECT



+1.401.680.6699 www.z-ds.com

2 CHARLES ST, SUITE A1 PROVIDENCE, RI 02904

STAMP



Rhode Island
151 Centerville Road
Warnick, RI 92864 Rorth Attleborn, MA 92763
Phone (601) 738-6806
Phone (601) 738-6806

PROJECT NAME

WASHINGTON STREET

APARTMENTS PROJECT NO. 20113

THE GENERAL CONTRACTOR SHALL NOT SCALE DRAWINGS FOR MEASUREMENTS, BUT SHALL VERIFY AT THE SITE ALL LEVELS AND MEASUREMENTS NECESSARY FOR COMPLETE FABRICATION, ASSEMBLY AND INSTALLATION OF THE WORK, MINOR DETAILS OF THE WORK NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE ASCERTAINED BY THE CONTRACTOR AT THE SITE OF THE WORK, AND SHALL BE ACCOMPLISHED WITH THE INTENT OF THIS PROJECT.

REVISIONS NO DATE DESCRIPTION

1		
١		
١		
ı		
I		
١		
ı		
ı		

ISSUED DATE: OCTOBER 2022

SHEET TITLE

MISCELLANEOUS DETAILS No 1

DRAWING NO.

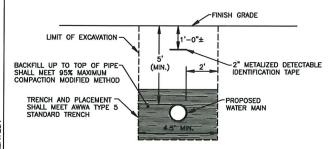
WATER NOTES

- . ALL INSTALLATION, JOINTS, CONSTRUCTION METHODS AND MATERIALS SHALL BE ACCORDING TO THE PROVIDENCE WATER SUPPLY BOARD REQUIREMENTS, AWWA STANDARDS AND GOVERNMENTAL REQUIREMENTS.
- ALL FITTINGS SHALL BE DUCTILE IRON MECHANICAL JOINT CLASS 350 CEMENT MORTAR LINED COMPACT STYLE (BY AMERICAN MANUFACTURER ONLY). FITTINGS SHALL MEET THE REQUIREMENTS OF ANSI/AWWA C153/A21.53. MECHANICAL JOINTS SHALL MEET THE REQUIREMENTS OF ANSI/AWWA C111/A21.11.
- 3. WATER PIPE SHALL BE DOUBLE CEMENT MORTAR LINED DUCTILE IRON PIPE CL52 AND SHALL MEET THE REQUIREMENTS OF ANSI/AWWA C151/A21.51.
- . CONSTRUCTION SHALL INCLUDE ALL PIPE, JOINTS, BENDS, TEES, FITTINGS, "MEGA-LUG" RESTRAINED MECHANICAL JOINTS, SERVICE CONNECTIONS AND ALL MISCELLANEOUS ITEMS REQUIRED TO CONSTRUCT THE PROPOSED SYSTEM.
- "MEGA-LUG" RESTRAINED MECHANICAL JOINTS SHALL BE INSTALLED IN LOCATIONS INDICATED AND AT ALL BENDS, FITTINGS, PLUGS, ETC.
- 6. PRESSURE AND LEAKAGE TESTS AND DISINFECTING PIPES SHALL BE PERFORMED BY THE CONTRACTOR IN CONFORMANCE TO AMERICAN WATER WORKS ASSOCIATION (AWWA) RECOMMENDATIONS, PROVIDENCE WATER SUPPLY BOARD REQUIREMENTS, AND GOVERNMENTAL AGENCIES HAVING JURISDICTION.
- ALL FITTINGS, PIPE, JOINTS, ETC. SHALL BE DESIGNED FOR 1.5 TIMES WORKING PRESSURE BUT NOT LESS THAN 150 PSI.
- 8. WATER PIPE SHALL TYPICALLY BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM SEWER PIPE, AND AT A MINIMUM DEPTH OF COVER EQUAL TO 5'. WHERE A NEW WATER MANN IS LESS THAN 18 INCHES CLEAR DISTANCE ABOVE A SEWER OR WHERE A WATER MAIN PASSES BENEATH A SEWER OR STORM DRAIN, ENCASE THE SEWER OR WATER IN 6" OF CONCRETE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE CROSSING WATER MAIN. THE USE OF DUCTILE IRON TIGHT JOINT SEWER PIPE IN LIEU OF CONCRETE ENCASEMENT WILL BE CONSIDERED UPON CONTRACTORS SUBMITTAL OF SPECIFICATIONS TO ENGINEER FOR APPROVAL.
- ALL SYSTEM COMPONENTS AND CONSTRUCTION METHODS, SUCH AS PIPE, RESTRAINED MECHANICAL JOINTS, FITTINGS, GATE VALVES, TAPPING SLEEVE, CASTINGS, ETC. SHALL BE SUBMITTED TO THE ENCINEER FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION. THIS SUBMISSION SHALL INCLUDE MANUFACTURER'S LITERATURE, SHOP DRAWINGS, PROPOSED CONSTRUCTION METHODS, ETC.
- 10. WATER LINE TRENCH TO BE AWWA TYPE 5. A METALIZED DETECTABLE IDENTIFICATION TAPE 2.5" IN WIDTH, BLUE IN COLOR AND PRINTED WITH "CAUTION WATERLINE BURIED BELOW" SHALL BE UTILIZED OVER ALL MAINS. TAPE SHALL BE SET AT APPROXIMATELY 1'-0" BELOW FINISHED GRADE.
- 11. ALL FITTINGS TO BE RESTRAINED WITH MECHANICAL JOINTS. RESTRAINTS TO BE MEGA-LUG OR EQUAL ALL DESIGN AND/OR PLACEMENT SHALL BE REVIEWED AND APPROVED BY THE PROVIDENCE WATER SUPPLY BOARD. PIPE RESTRAINT CALCULATIONS SHALL BE PROVIDED BY CONTRACTOR.
- 12. RESTRAIN ALL PUSH-ON BELL JOINTS WITHIN 20 FEET OF MECHANICAL JOINTS. RESTRAINTS TO BE SERIES 800 COVER-ALL BY EBAA IRON OR EQUAL.
- 13. WHEN THIS PROJECT IS COMPLETE, THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE WATER DEPARTMENT AND ENGINEER TWO SETS OF AS BUILT PLANS, CERTIFIED BY A RI LICENSED LAND SURVEYOR OF RI PROFESSIONAL ENGINEER. (ONE BLUE LINE, ONE REPRODUCIBLE COPY-MYLAR OR SEPIA) WHICH INDICATES:
- all curb stops with appropriate locating measurements
 main-to-curb
 and measurements from permanent structures.
- b. A SCHEDULE OF MATERIALS WHICH INDICATES: AND MEASUREMENTS FROM PERMANENT STRUCTURES.
 - . ITEM QUANTITY

 - a. INCLUDE SERIAL #'S AS APPLICABLE
 - c. OPERATION CHARACTERISTICS
- 14. THE CONTRACTOR SHALL VERIFY THE FIRE SERVICE PIPE SIZE REQUIREMENT WITH THE BUILDING ARCHITECT AND PLUMBING/FIRE SPRINKLER CONTRACTOR PRIOR TO ORDERING PIPE, METERS AND BACKFLOW PREVENTORS. COORDINATION WITH THE PROVIDENCE FIRE CHIEF AND PROVIDENCE WATER WSUPPLY BOARD IS REQUIRED TO DETERMINE THE EXISTING WATER PRESSURE AVAILABLE.
- 15. COORDINATE WITH THE PROVIDENCE WATER SUPPLY BOARD ON OPEN DIRECTION FOR VALVES. VALVES TO BE RESILIENT WEDGE GATE VALVES.
- 16. DOMESTIC WATER SERVICE LINES DHALL BE DUCTILE IRON.

THRUST BLOCK NOTES

- 2. BUTTRESS DIMENSIONS SHOWN ARE MINIMUM. DIMENSIONS ARE BASED UPON SOIL BEARING PRESSURE OF 1500 P.S.F. LATERAL AND STATIC WATER PRESSURE OF 150 P.S.I. WHERE PRESSURE EXCEEDS 150 P.S.I. OR WHERE SOIL BEARING PRESSURE IS LESS THAN 1500 P.S.F. LATERAL; OR SOIL CONDITIONS OR EXCAVATION LIMITS ENCOUNTERED DURING CONSTRUCTION MAKE IT UNFESTIBLE TO PLACE THRUST BLOCKS AGAINST UNDISTURBED EARTH OF THE PROPER BEARING CAPACITY. THE CONTRACTOR SHALL DESION, GET APPROVAL OF, AND PLACE SPECIAL REACTION BLOCKS OF SUFFICIENT WEIGHT TO RESIST THE FULL THRUST OF THE LINDER TEST AND OPERATING PRESSURES. THE DESIGN OF SUCH BLOCKS SHALL BE SUBJECT TO THE APPROVAL OF THE PROVIDENCE WATER SUPPLY BOARD AND THE ENGINEERS AND SHALL BE SUBJECT TO THE APPROVAL OF THE SUBMITTED TO THE WATER DEPARTMENT BEFORE ACTUAL INSTALLATION TAKES PLACE.
- 3. ALL THRUST BLOCKS SHALL BE CONCRETE 3,000 P.S.I. 28 DAYS AND BEARING AGAINST UNDISTURBED EARTH.



GENERAL SEWER NOTES

- 1. ALL SEWER CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF PROVIDENCE STANDARD SPECIFICATIONS AND DETAILS FOR THE INSTALLATION OF SEWER LINE
- 2. PRIOR TO RECEIVING AUTHORIZATION TO CONSTRUCT, ALL MATERIALS SHALL MEET THE STANDARDS AND RECEIVE THE WRITTEN APPROVAL, BASED ON MANUFACTURER'S DRAWINGS AND REQUIREMENTS FROM THE CITY OF PROVIDENCE.
- 3. ALL SEWERAGE FACILITIES SHALL MEET TESTING AND CLEANING REQUIREMENTS PRIOR TO ACCEPTANCE.
- 4. THE CONTRACTOR IS RESPONSIBLE TO COORDINATE AS—BUILT LOCATIONS PRIOR TO PIPE BACKFILL. AS—BUILT DRAWINGS SHALL BE FURNISHED AS A CONDITION FOR ACCEPTANCE OF THE NEW SEWERAGE FACILITIES. PLANS SHALL INCLUDE LOCATION OF WYES.
- 5. NO FLOW WILL BE ACCEPTED UNTIL ALL ABOVE STEPS ARE COMPLETED AND COMPLETION CERTIFICATE IS ISSUED.
- 6. AFTER THE CONTRACTOR HAS "STAKED OUT" THE FACILITIES TO BE CONSTRUCTED AND HAS THE APPROVED MATERIALS ON THE JOB, CITY OF PROVIDENCE SHALL BE NOTIFIED IN ADVANCE OF CONSTRUCTION IN ORDER FOR THEM TO ARRANGE FOR THEIR INSPECTOR. THE NOTIFICATION MUST NEET THE CITY OF PROVIDENCE PROVIDENCES. MEET THE CITY OF PROVIDENCE REQUIREMENTS.
- 7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROVED PLANS AND MATERIALS, STANDARDS AND SPECIAL DETAILS, AND STANDARD SPECIFICATIONS, ANY WORK NOT MEETING THE APPROVED STANDARDS SHALL BE IMMEDIATELY REMOVED AND REPLACED AT THE
- 8. THE CONTRACTOR SHALL CONFINE HIS OPERATIONS AND ACTIVITIES FOR CONSTRUCTION WITHIN THE LIMITS OF WORK AS SHOWN ON THE DRAWINGS.
- 9. ALL AREAS DISTURBED BY THE CONTRACTOR SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT NO EXTRA COST TO THE OWNER.
- 10. LOCATION AND DEPTHS OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING UTILITIES AND NOTIFY THE APPROPRIATE UTILITY AUTHORITIES INCLUDING "OIG-SAFE" PRIOR TO STATTING WORK. ANY DAMAGE TO UTILITIES CAUSED BY THE CONTRACTOR'S OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND THE COST OF REPAIRS SHALL BE BORNE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- A. HORIZONTAL SEPARATION: WHENEVER POSSIBLE, SEWERS SHOULD BE LAID AT A MINIMUM OF 10 FEET (3.0 m), HORIZONTALLY, FROM ANY EXISTING OR PROPOSED WATER LINE. SHOULD LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET, A SEWER MAY BE LAID CLOSER THAN 10 FEET TO A WATER LINE IF:
- 1. IT IS LAID IN A SEPARATE TRENCH, OR IF
- 2. IT IS LAID IN THE SAME TRENCH WITH THE WATER LINE LOCATED AT ONE SIDE ON A BENCH OF UNDISTURBED EARTH, AND IF
- IN EITHER CASE THE ELEVATION OF THE TOP (CROWN) OF THE SEWER IS AT LEAST 18 INCHES (46 cm) BELOW THE BOTTOM (INVERT) OF THE WATER LINE.
- VERTICAL SEPARATION: WHENEVER A SEWER MUST CROSS UNDER WATER LINES, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE TOP OF THE SEWER IS AT LEAST 18 INCHES (46 cm) BELOW THE BOTTOM OF THE WATER LINE, WHEN THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THE ABOVE REQUIREMENTS, THE WATER LINE SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR RECONSTRUCTED WITH MECHANICAL—JOINT PIPE FOR A DISTANCE OF 10 FEET (3.0 m) ON EACH SIDE OF THE SEWER, ONE FULL LENGTH OF WATER LINE SHOULD BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE.
- C. WHEN IT IS IMPOSSIBLE TO OBTAIN HORIZONTAL AND/OR VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER LINE AND SEWER SHALL BE SLEEVED WITH DUCTILE IRON OR ENCASED WITH CONCRETE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DEWATERING REQUIRED IN THE SEWER INSTALLATION.
- 13. THE PROPOSED GRANTY SANITARY SEWER PIPE SHALL BE PVC ASTM 3034 SDR 35, UNLESS OTHERWISE SHOWN ON PLANS. PIPE SIZE TO MATCH UTILITY PLAN.
- 14. THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE ELEVATION OF EXISTING SEWER LINE PRIOR TO INSTALLATION.
- 15. INSPECTION OF ALL SEWER CONSTRUCTION SHALL BE PERFORMED BY THE CITY OF PROVIDENCE. APPLICANT SHALL PROVIDE SCHEDULE FOR CONSTRUCTION AS SOON AS POSSIBLE TO ALLOW FOR DEVELOPMENT OF INSPECTION FEE, TO BE PAID BY APPLICANT DIRECTLY TO THE CITY OF PROVIDENCE. UPON PAYMENT OF FEE, COMMENCEMENT OF CONSTRUCTION INSPECTION REQUIRES MINIMUM NOTIFICATION OF 48-HOURS
- 16. NO FLOW WILL BE ACCEPTED UNTIL A COMPLETION CERTIFICATE IS ISSUED.
- 17. ALL CONSTRUCTION MATERIAL, AS WELL AS MATERIAL SHOP DRAWINGS AND MANUFACTURERS DATA SHEETS SHALL BE REVIEWED AND APPROVED BY THE DESIGN ENGINEER. THE SEWER AUTHORITY, OR ITS REPRESENTATIVE PRIOR TO FABRICATION AND INSTALLATION.
- 18. ALL BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED IN 12 INCH LIFTS.

CARRY CONCRETE -

PLAN

SECTION B-B

ENC CAP

D 6"
E 1-6"
F 2'-5"
G 2'-5"

CARRY CONCRETE
TO SOLID GROUND

<u>PLAN</u>

D/4 0.D C

SECTION A-A

HORIZONTAL BENDS

11 1/4 A 2'-0" 22 1/2 B 10" and 45 C 1'-6" A 2'-6"

90,

D/47

-IDENTIFICATION TAPE GRADE -COVER (5' MINIMUM) NO LEDGE OR UNEXCAVATED 1'-0" SURROUND PIPE WITH 3/4" DIA. CRUSHED STONE AND FILTER FABRIC UNDISTURBED NOTE: FORCE MAIN SHALL BE PLACED ON UNDISTURBED EARTH AND ENCASED IN SAND HALF SECTION HALF SECTION IN EARTH

TYPICAL SEWER LINE TRENCH DETAIL NOT TO SCALE

FRAME WITH LOCKING COVER LETTERED

"CLEANOUT"

BIT. PAVEMENT-

- MINIMUM WIDTH OF TRENCH IS EQUAL TO THE INSIDE DIAMETER OF THE PIPE PLUS 12" EACH SIDE
- 2. SOIL UNDER CRUSHED STONE FOUNDATION SHALL BE UNDISTURBED AND COMPACTED MATERIAL WITH SEVERAL PASSES OF A VIBRATORY PLATE COMPACTOR TO ATTAIN 95% MAX. DENSITY (MOD.
- CRUSHED STONE FOUNDATION 3/4" MAXIMUM SIZE, SHALL BE PLACED 12" UNDER THE PIPE AND UP TO THE PIPE LAID THEREON, CRUSHED STONE PULLED AGAINST THE PIPE SIDES TO FIRMLY HOLD THE PIPE IN PLACE.

-2'-0"x2'-0"x1'-6

6"-45" ELBOY

18"v 18" v 5"

GRADE

~26" TOP SECTION

-48" BASE SECTION

"MEGALUG" STYLE

GATE VALVE

~D.I.P

SEWER CLEANOUT DETAIL IN

SIDEWALK/PAVEMENT NOT TO SCALE

COVER MARKED "WATER"

GATE VALVE BOX "BUFFALO"-TYPE

MECHANICAL JOINT -

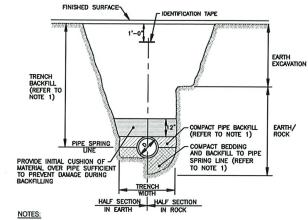
1 C.Y. OF 1/2"-1"
CRUSHED STONE

NOTE:

PLACED AROUND VALVE

CONCRETE COLLAR

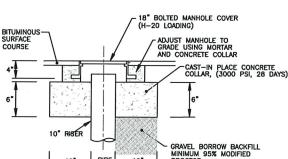
4. CRUSHED STONE HAUNCHING 3/4" MAXIMUM SIZE SHALL BE BROUGHT LEVEL TO THE TOP OF THE PIPE AND OUT TO THE TRENCH WALL AT THIS ELEVATION FOR ALL PIPE.



- 1. PIPE BEDDING AND BACKFILL TO SPRING LINE SHALL CONSIST OF CRUSHED STONE—3/4* MINUS. PIPE BACKFILL, SHALL CONSIST OF CRUSHED STONE (WRAPPED IN FILTER FABRIC) OR GRAVEL (3* MINUS, WITH SIEVE ANALYSIS APPROVED BY ENGINEERY, OR OTHER APPROVED MATERIAL TIERNÉH BACKFILL SHALL CONSIST OF SUITABLE EXCANATED MATERIAL, OR OTHER APPROVED MATERIAL ALL BEDDING/BACKFILL TO BE COMPACTED IO 95% DRY DENSITY, MODIFIED PROCTOR METHOD.
- ALL TRENCH EXCAVATION AND ANY SHEETING AND SHORING SHALL BE DONE IN ACCORDANCE WITH ALL STATE AND LOCAL CODES AND OSHA REGULATIONS.
- 3. MINIMUM TRENCH WIDTH SHALL BE OUTSIDE DIAMETER OF PIPE AT BELL PLUS 12°. MAXIMUM TRENCH WIDTH SHALL BE OUTSIDE DIAMETER OF PIPE AT BELL PLUS 24°.

DRAINAGE TRENCH DETAIL

NOT TO SCALE



DRAINAGE SYSTEM CLEAN-OUT DETAIL

NOT TO SCALE

PROJECT NAME WASHINGTON STREET **APARTMENTS** PROJECT NO. 20113

THESE DRAWINGS ARE FOR THE CONSTRUCTION OF THE PROJECT LISTED ABOVE AND ARE NOT TO BE COPIED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF ZDS, INC.

Crossman Engineering Rhode latend
181 Centerville Road
Warelck, RI 62866
Phone (601) 738-6869
Phone (601) 738-6869
Phone (601) 818-1708

Email: cel@cr

468 WEST FOUNTAIN LLC

ARCHITECT

STAMP

ONSULTANTS

PROVIDENCE, RI 02909

311 BROADWAY

ZDS inc

+1.401.680.669 www.z-ds.com

2 CHARLES ST, SUITE A PROVIDENCE, RI 0290

THE GENERAL CONTRACTOR SHALL NOT SCALE DRAWINGS FOR MEASUREMENTS, BUT SHALL VERIFY AT THE SITE ALL LEVELS AND MEASUREMENTS NECESSARY FOR COMPLETE FABRICATION, ASSEMBLY AND INSTALLATION OF THE WORK, MINOR DETAILS OF THE WORK NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE ASCERTAINED BY THE CONTRACTOR AT THE SITE OF THE WORK, AND SHALL BE ACCOMPLISHED WITH THE INTENT OF THIS PROJECT.

REVISIONS

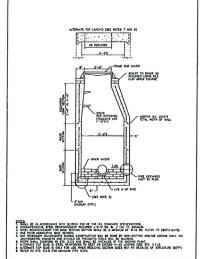
NO DATE DESCRIPTION

AS REGUNED THANK HIS COURT

ACLUST TO SPACE AS

FROM THE SPACE AS

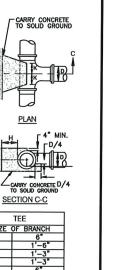
CLASS PER APPROVED THE TOTAL MOTH OF MA BRICK INVERS CHE OF CHINES SHOOE ISLAND DEPARTMENT OF TRANSPORTATION



SSUED DATE: OCTOBER 2022 SHEET TITLE

MISCELLANEOUS DETAILS No. 2

DRAWING NO.



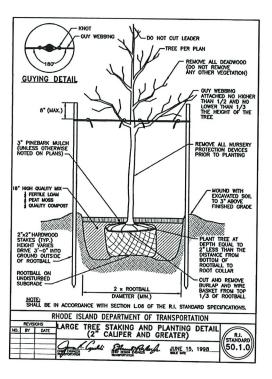
TEE SIZE OF BRANCH

CONCRETE THRUST BLOCKS
FOR CAPS, TEES AND HORIZONTAL BENDS

TYPICAL WATER GATE BOX INSTALLATION

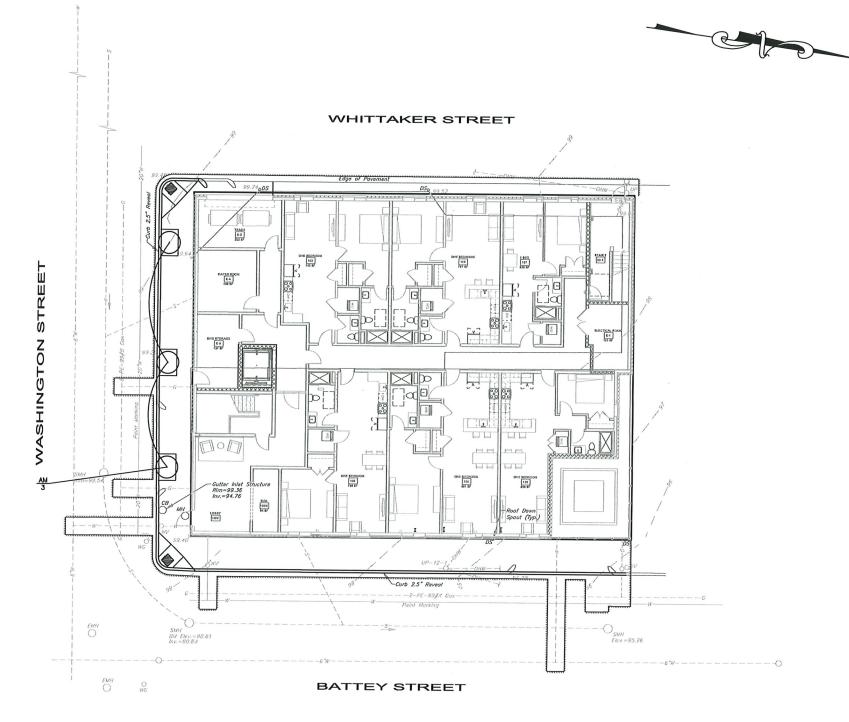
WRAP CRUSHED STONE WITH 4 oz. NON-WOVEN GEOTEXTILE FABRIC BEFORE FILLING EXCAVATION.

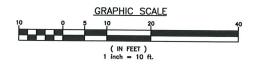
TYPICAL WATER LINE TRENCH DETAIL



LANDSCAPE CONSTRUCTION NOTES

- FURNISH AND INSTALL ALL PLANTS SHOWN ON THE DRAWINGS SPECIFIED HEREIN. NO SUBSTITUTIONS WILL BE PERMITTED, UNLESS APPROVED BY THE LANDSCAPE ARCHITECT.
- 2. NURSERY STOCK SHALL MEET THE STANDARDS OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION AS TO GRADING AND QUALITY.
- SET PLANTS PLUMB AND AT A LEVEL THAT AFTER SETTLEMENT THEY BEAR THE SAME RELATION TO THE SURROUNDING GROUND AS THEY BORE TO THE GROUND FROM WHICH THEY WERE DUG. SETTLE BACKFILL MATERIAL FOR PLANTS, THOROUGHLY AND PROPERLY BY FIRMING OR THAMPING. FORM SAUCERS, CAPABLE OF HOLDING WATER ABOUT INDIMDUAL PLANTS, BY PLACING RIDGES OF PLANTING SOIL AROUND EACH.
- 5. STAKE ALL TREES OVER 5 FEET AS SHOWN ON PLANS. REMOVE STAKES AT THE END OF THE GUARANTEE PERIOD.
- WATERING: WATER ALL PLANTS WITHIN 48 HOURS AFTER PLANTING. IF CONDITIONS WARRANT, AND AS MANY TIMES THEREAFTER TO SUSTAIN HEALTHY CONDITIONS UNTIL LANDSCAPE INSTALLATION IS COMPLETED. SATURATE THE SOIL AROUND EACH PLANT THORROUGHLY AT EACH WATERING.
- PRUNING, PRUNE PLANTS, AS DIRECTED BY OWNER, AT THE PROJECT STE BEFORE OR IMMEDIATELY AFTER PLANTING IN ACCORDANCE WITH THE BEST HORTICULTURAL PRACTICE. CUT BROKEN, DEAD OR INJURED BRANCHES IMMEDIATELY ABOVE THE STEM COLLAR ON THE TRUNK OR LIMB. PRUNE ALL BROKEN ROOTS ON THE PLANT SIDE OF THE BREAK. PAINT CUTS OVER 3/4" IN DUALETER WITH THE WOUND PAINT. PRUNING SHALL ROT DEFORM OR CHIEFMES EDISTROY THE TYPICAL SLAPE OR SYMMETRY OF THE PLANT, AND SYALL NOT REDUCE THE HEIGHT BY MORE THAN ONE-THIRD. DO NOT OUT BLOCK THE LEGET BY THE LANDSCAPE ARCHITECT.
- FERTILIZING; FERTILIZE SHRUB BEDS WITH 10-10-10 SLOW RELEASE FERTILIZER SPREAD AT MANUFACTURERS SUGGESTED RATE. APPLY THE FERTILIZER UNIFORMLY TO THE SURFACE BEDS AND WORK INTO THE UPPER TWO INCHES OF SOIL. FERTILIZER INDMODIAL TREES AT A RATE OF ONE AGRIFORM PELLET PER INCH OF TRUNK DAMETER (FOLLOW MANUFACTURER'S WRITTEN INSTRUCTIONS), FOLLOWING MANUFACTURER'S INSTRUCTIONS, APPLY A SECOND APPLICATION OF FERTILIZER TO ALL PLANT TELAS AS DIRECTED.
- LIMING: ADD POWDERED LIME EVERY SIX MONTHS OR SLOW RELEASE GRANULAR LIME—AS PER MANUFACTURER'S INSTRUCTION.
- 11. GUARANTEE: ALL PLANTS FURNISHED BY THE CONTRACTOR SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER PRELIMINARY INSPECTION AND SHALL BE ALIVE AND IN SATISFACTORY GROWTH AT THE END OF THE GUARANTEE PERIOD. ALL DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED AT ONCE BY THE CONTRACTOR, FREE OF CHARGE.





PLANT SCHEDULE

Key	QTY	Botanical Name Common Name	Size	Remorks
AM	3	Acer x fremanii 'Armstrong' Armstrong Maple	2"-2 1/2"	B&B

CLIENT 468 WEST FOUNTAIN LLC 311 BROADWAY PROVIDENCE, RI 02909

ARCHITECT

ZDS inc.

2 CHARLES ST, SUITE A1 PROVIDENCE, RI 02904 +1.401.680.6699

Crossman Engineering

PROJECT NAME

WASHINGTON STREET **APARTMENTS**

PROJECT NO. 20113

THESE DRAWINGS ARE FOR THE CONSTRUCTION OF THE PROJECT LISTED ABOVE AND ARE NOT TO BE COPIED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF ZDS, INC.

THE GENERAL CONTRACTOR SHALL NOT THE GENERAL CONTRACTOR SHALL NOT SCALE DRAWINGS FOR MEASUREMENTS, BUT SHALL VERIFY AT THE SITE ALL LEVELS AND MEASUREMENTS IN RECESSARY FOR COMPLETE FABRICATION, ASSEMBLY AND INSTALLATION OF THE WORK. MINOR DETAILS OF THE WORK NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE ASCENTAINED BY THE CONTRACTOR AT THE SITE OF THE WORK, AND SHALL BE ACCOMPLISHED WITH THE INTENT OF THIS PROJECT.

NO	DATE	DESCRIPTION
_		
_		
_		
_		
-		

ISSUED DATE: OCTOBER 2022

SHEET TITLE

LANDSCAPE **PLAN**

DRAWING NO.