

SITE PLAN SET
FOR
**473 and 469 WASHINGTON STREET
and 32 WHITTAKER AVENUE**

**PLAT 29, LOT 561
ZONING DISTRICT: C-2
GENERAL COMMERCIAL DISTRICT
PROVIDENCE, RHODE ISLAND**

OWNER /APPLICANT

468 WEST FOUNTAIN LLC
311 BROADWAY
PROVIDENCE, RI 02909

ENGINEERS and LAND SURVEYORS



- Civil
- Transportation
- Environmental
- Site Planning
- Surveying
- Permitting
- Landscape Architecture

CROSSMAN ENGINEERING

Rhode Island
151 Centerville Road
Warwick, RI 02886
Phone: (401) 738-5680

Massachusetts
103 Commonwealth Avenue
North Attleboro, MA 02763
Phone: (508) 695-1700

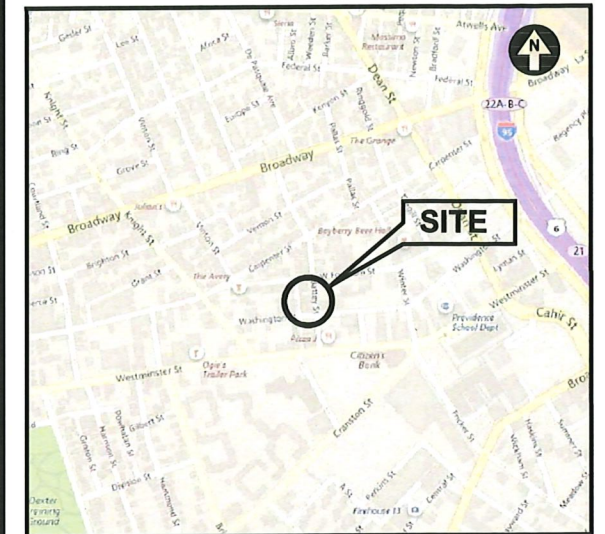
Email: cei@crossmaneng.com

ARCHITECT

ZDS inc.

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LOCATION MAP
NOT TO SCALE

INDEX OF DRAWINGS

<u>DRAWING No.</u>	<u>PLAN</u>
C1	GENERAL NOTES and LEGEND
C2	AERIAL MAP
C3	EXISTING CONDITIONS PLAN
C4	SITE PLAN
C5	GRADING, DRAINAGE, and UTILITY PLAN
C6	SOIL EROSION and SEDIMENT CONTROL PLAN
C7	MISCELLANEOUS DETAIL PLAN NO. 1
C8	MISCELLANEOUS DETAIL PLAN NO. 2
L1	LANDSCAPE PLAN

REVISIONS:

No.:	DATE:	DESCRIPTION:

GENERAL NOTES

- THE EXISTING CONDITIONS AND UTILITY INFORMATION REFERENCED IN THIS PLAN SET ARE BASED UPON A SURVEY PLAN PREPARED BY OTHERS (SEE MAP REFERENCE). THE PLANS MAY NOT DEPICT ALL UNDERGROUND UTILITY SYSTEMS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING DRAINAGE AND UTILITIES, BOTH UNDERGROUND AND OVERHEAD, BEFORE EXCAVATION BEGINS IN ACCORDANCE WITH "DIG SAFE PROGRAM LAW" ENACTED BY THE R.I. LEGISLATURE AND BY CONTACTING THE INDIVIDUAL UTILITY COMPANIES. EXCAVATION SHALL BE IN ACCORDANCE WITH ALL STATUTES, ORDINANCES, RULES AND REGULATIONS OF ANY CITY, STATE OR FEDERAL AGENCY THAT MAY APPLY. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- SPECIFICATIONS TO GOVERN THIS PROJECT ARE IDENTIFIED WITHIN THE PROJECT MANUAL FOR ALL EXCAVATION, PLACEMENT OF FILL, PIPE INSTALLATION, BITUMINOUS PAVEMENT CUTTING INTO CATCHBASIN/MANHOLE, CONCRETE AND SAWCUTTING. THE CONTRACTOR SHALL PERFORM THE WORK IN FULL COMPLIANCE WITH THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AMENDED AUGUST 2013, WITH LATEST REVISIONS UNLESS OTHERWISE SHOWN ON PLANS. THE "METHOD OF MEASUREMENT" AND "BASIS OF PAYMENT" WITHIN THE R.I.D.O.T. SPECIFICATIONS ARE NOT APPLICABLE. THESE SPECIFICATIONS CAN BE OBTAINED ON-LINE AT:
[HTTP://WWW.DOT.STATE.RI.US/ENGINEERING/STANDARDS/INDEX.ASP](http://www.dot.state.ri.us/engineering/standards/index.asp)
- FOR ALL EXCAVATION AND PLACEMENT OF FILL, THE CONTRACTOR SHALL PERFORM THE WORK IN FULL COMPLIANCE WITH THE R.I. STANDARD SPECIFICATION SECTION 202.
- RHODE ISLAND STANDARDS REFERENCED ARE ACCORDING TO THE STATE OF RHODE ISLAND AND PROVIDENCE PLANTATIONS "RHODE ISLAND STANDARD DETAILS" DATED MAY 20, 2015, WITH ALL REVISIONS AS PREPARED BY THE DEPARTMENT OF TRANSPORTATION.
- THE CONTRACTOR MUST VERIFY PRIOR TO CONSTRUCTION THAT ALL REQUIRED AUTHORIZATION TO PERFORM WORK HAS BEEN OBTAINED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION OPERATIONS INCLUDING ALL ACTIONS OR OMISSIONS OF ANY SUBCONTRACTORS, AGENTS OR EMPLOYEES. THE CONTRACTOR MUST ENSURE THAT THE CONDITIONS OF ALL PERMITS, SPECIFICATIONS AND FEDERAL, STATE AND LOCAL REGULATIONS ARE STRICTLY ENFORCED. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ASPECTS OF ON-SITE SAFETY INCLUDING ANY DAMAGE TO EXISTING STRUCTURES.
- WORK SHOWN ON THE PLANS FOR WHICH THERE ARE NO PARTICULAR DETAILS OR SPECIFICATIONS DOES NOT RELIEVE THE CONTRACTOR FROM FURNISHING AND INSTALLING THE WORK. THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE CONTRACT DOCUMENTS AND PLANS AND INSPECT THE SITE. THE BID PRICE SHALL INCLUDE ALL LABOR, INCIDENTALS, TOOLS EQUIPMENT, TESTING, SERVICES AND MATERIALS NECESSARY TO COMPLETE THE PROJECT. ANY CHANGES TO THE PROJECT OR THE INSTALLATION OF AN ITEM FOR WHICH NO PARTICULAR DETAIL OR SPECIFICATION WAS PROVIDED MUST BE REVIEWED BY AND MUST BE ACCEPTABLE TO THE ENGINEER AND OWNER.
- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY WORK.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT PRIOR TO THE INITIATION OF WORK. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS, RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
- ALL DISTURBED AREAS SHALL BE REPLACED IN KIND UNLESS OTHERWISE SHOWN.
- THROUGHOUT THE SITE URBAN FILL AND/OR DEBRIS MAY BE ENCOUNTERED DURING EXCAVATION. THE CONTRACTOR SHALL INCLUDE REMOVAL AND DISPOSAL OF THIS MATERIAL WITHIN THE REQUIRED EXCAVATION AREA, IN THE BID PRICE.
- ALL PROPOSED SIDEWALK RAMPS SHALL HAVE A DETECTABLE WARNING DEVICE (RI STD 48.1.0).
- THE SITE IS NOT WITHIN 200' OF ANY WETLAND AREAS, WATER COURSES OR COASTAL FEATURES.

LAYOUT NOTE

THE LAYOUT SHOWN REPRESENTS A GRAPHICAL DESIGN, AND PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL LAND SURVEYOR (PLS) REGISTERED IN THE STATE TO SET AND VERIFY ALL LINES AND GRADES AND PROVIDE A BENCH MARK FOR CONSTRUCTION. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY ITEM FOUND WHICH DOES NOT MATCH THE PLANS MUST BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO CONSTRUCTION FOR REVIEW. NO WORK SHALL PROCEED UNTIL AUTHORIZED BY THE ENGINEER.

EXISTING UTILITY NOTES

- THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY COMPANIES AND LAND OWNER TO OBTAIN THE LOCATION OF ALL UTILITIES PRIOR TO BEGINNING WORK. THE MARKED LOCATIONS SHALL BE PRESERVED BY THE CONTRACTOR DURING THE COURSE OF THE WORK, UNTIL SUCH TIME AS THEY ARE NO LONGER NEEDED.
- ALL UTILITIES INTERFERED WITH OR DAMAGED BY THE CONTRACTOR SHALL BE IMMEDIATELY AND PROPERLY RESTORED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL FULLY COMPACT ALL BACKFILL MATERIAL AROUND AND UNDER ALL EXISTING UTILITIES ENCOUNTERED OR CROSSED.
- UNDERGROUND UTILITIES REFERENCED ON THESE PLANS HAVE BEEN PROVIDED BY OTHERS, REFER TO MAP REFERENCE.

MAP REFERENCES

- BOUNDARY STAKE-OUT SURVEY, A.P. 29 LOTS 41, 42, & 481, 473 469 WASHINGTON STREET AND 32 WHITTAKER AVENUE, PROVIDENCE, RHODE ISLAND, SCALE 1"=10', DATE: OCTOBER 1, 2018, PREPARED FOR AIRWAY LEASING LLC c/o GERARD DISANTO, ONE FRANKLIN SQUARE, PROVIDENCE, RI 02903, PREPARED BY: OCEAN STATE PLANNERS, INC. 1255 OAKLAWN AVENUE, CRANSTON, RHODE ISLAND, (401)-463-9696.

FLOOD ZONE NOTE

THE SITE IS LOCATED IN ZONE X, AREA OF MINIMAL FLOOD HAZARD, AS NOTED ON THE FLOOD INSURANCE RATE MAP, PROVIDENCE COUNTY, RHODE ISLAND (ALL JURISDICTIONS), PANEL 308 OF 451, MAP NUMBER 44007C0308J, MAP REVISED OCTOBER 2, 2015.

CONSTRUCTION WITHIN PUBLIC R.O.W

- ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL CONFORM TO THE CITY STANDARDS. SEE: <https://www.providenceri.gov/wp-content/uploads/2017/04/Providence-DPW-Standard-Details.pdf>.

PROPOSED PAVEMENT STRUCTURE / ROADWAY TRENCH REPAIR

- 2" BITUMINOUS CONCRETE TOP COURSE (CL. 9.5 HMA)
- 3" BITUMINOUS CONCRETE BINDER COURSE (CL. 12.5 HMA)
- 12" GRAVEL BORROW SUBBASE

MAINTENANCE AND PROTECTION OF TRAFFIC NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION. ALL TEMPORARY CONSTRUCTION SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST REVISIONS OF MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.)
- TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE TRAFFIC CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC.
- THE PRIVATE VEHICLES OF CONSTRUCTION WORKERS WILL NOT BE PARKED IN ANY ROADWAY RIGHT-OF-WAY UNLESS APPROVED BY THE PROVIDENCE DWP.
- ALL MAINTENANCE AND PROTECTION OF TRAFFIC CONTROL SETUPS, SIGNS, CHANNELING DEVICES, ETC., SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, 2009 EDITION, INCLUDING REVISION 2, MAY 2012, AND SUBSEQUENT ADDENDA.
- SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH THE STATE D.O.T. SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.
- THE CONTRACTOR SHALL INCLUDE POLICE DETAILS REQUIRED FOR WORK WITHIN THE CITY RIGHT-OF-WAY, WITHIN THE CONTRACT PRICE.
- ROAD OPENING PERMITS SHALL BE OBTAINED BY THE CONTRACTOR.
- COORDINATION WITH THE PROVIDENCE DEPARTMENT OF PUBLIC WORKS IS REQUIRED TO REVIEW ALL WORK IMPACTING SIDEWALKS AND/OR PEDESTRIAN TRAFFIC WITHIN THE CITY R.O.W. THE CONTRACTOR IS RESPONSIBLE FOR ALL SIGNAGE, DETOURS AND TEMPORARY FENCING AROUND SITE REQUIRED DURING CONSTRUCTION. DPW APPROVALS WILL BE REQUIRED FOR SIDEWALK WORK.

UTILITY NOTES

- THE CONTRACTOR SHALL REVIEW ALL PLANS PREPARED BY THE ARCHITECT, MECHANICAL ELECTRIC AND PLUMBING ENGINEER TO CONFIRM IF ALL EXISTING UTILITY SERVICES TO THE BUILDING ARE TO REMAIN. EXISTING SERVICE UTILITIES NO LONGER REQUIRED SHALL BE CUT AND CAPPED AT THE PROPERTY LINE. COORDINATION WITH THE UTILITY COMPANIES WILL BE REQUIRED.
- THE EXISTING SEWER SERVICE TO THIS SITE WILL BE RE-USED FOR THE PROPOSED BUILDING IMPROVEMENTS. INSTALL A NEW PIPE AND MONITORING MANHOLE AT THE CONNECTION POINT ON THE EXISTING SEWER.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT REGARDING REQUIRED FIRE FLOWS TO THE PROPOSED FIRE SPRINKLER SYSTEM. THE CONTRACTOR SHALL CONDUCT A FIRE FLOW TEST ON THE EXISTING WATER SYSTEM TO CONFIRM EXISTING FLOWS AND PRESSURES.
- THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT ON THE REQUIRED DOMESTIC WATER SERVICE SIZE AND PRESSURE REQUIREMENTS.
- THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT ON THE REQUIRED GAS SERVICE SIZE AND PRESSURE REQUIREMENTS. THE CONTRACTOR WILL CONTACT AND APPLY FOR GAS SERVICE FOR THIS SITE.
- PRIOR TO CONSTRUCTION AND AS REQUIRED FOR NEW SERVICES, THE CONTRACTOR MUST PERFORM ADDITIONAL TESTS TO:
 - CONFIRM THE EXISTING DEPTHS OF UTILITIES AT ALL PROPOSED CONNECTION POINTS AND POTENTIAL CROSSOVER (CONFLICT) POINTS.
 - CONFIRM THE EXTENT OF LEDGE WHICH MAY EXIST IN ALL ANTICIPATED UTILITY TRENCH AREAS. PRIOR TO CONSTRUCTION, THE FINDINGS ARE TO BE REVIEWED BY THE OWNER AND THE ENGINEER. IF NECESSARY, ALTERNATIVES TO MINIMIZE LEDGE REMOVAL AND UTILITY CONFLICTS WILL BE DEVELOPED. NO CONSTRUCTION WILL BE ALLOWED WITHOUT THE OWNER'S AUTHORIZATION.
 - THE CONTRACTOR SHALL DIG TEST HOLES TO VERIFY THE ELEVATIONS AND PIPE MATERIAL OF THE EXISTING WATER, GAS AND SANITARY SERVICES AT THE PROPOSED TIE-IN LOCATION.
- ANY MODIFICATIONS TO THE PROPOSED UTILITIES TO AVOID CONFLICTS MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION. NO EXTRA PAYMENT TO THE CONTRACTOR DUE TO RELOCATIONS WILL BE AUTHORIZED.
- CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO TIE-IN OR SERVICE REMOVAL.
- THIS UTILITY PLAN DOES NOT REPRESENT THE SITE ELECTRICAL/TELEPHONE/COMMUNICATION SYSTEM DESIGNS. REFER TO ARCHITECTURAL PLANS FOR THE ELECTRIC, TELEPHONE AND CABLE SERVICE LOCATIONS. THE CONTRACTOR SHALL COORDINATE WITH EACH UTILITY COMPANY FOR SERVICE INSTALLATION.
- AS APPLICABLE FOR NEW SERVICE; THE CONTRACTOR MUST LOCATE THE EXISTING WATER MAIN TO OBTAIN THE PROPER OUTSIDE DIAMETER TO SIZE THE SLEEVE. THE CONTRACTOR SHALL COORDINATE WITH THE PROVIDENCE SUPPLY BOARD FOR SERVICE APPLICATION AND APPROVALS.
- AS APPLICABLE FOR NEW SERVICE; THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL NEW UTILITY PIPE SIZES INCLUDING WATER, SEWER AND GAS ARE VERIFIED BY THE ARCHITECT PRIOR TO ORDERING PIPE OR RELATED MATERIAL.
- ALL PROPOSED PIPES AND CONDUITS SHALL BE INSTALLED TO MEET H-20 LOADING CAPACITY. ALL MATERIAL AND TRENCHING METHODS SHALL CONFORM TO H-20 LOADING CAPACITIES, AS RECOMMENDED BY THE MANUFACTURER. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS/CATALOG CUTS FOR PROPOSED PIPE AND CONDUIT TO ENGINEER FOR APPROVAL.

DEMOLITION NOTES

- AS APPLICABLE FOR TERMINATING EXISTING SERVICES; THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITY STUBS TO THIS SITE AND PROPERLY PLUG AND CAP STUBS AT THE MAIN. NOTE: IF UTILITY COMPANY ALLOWS CUTTING AND CAPPING EXISTING UTILITY SERVICES THAT ARE NO LONGER NEEDED AT THE CURB LINE, THEN CONTRACTOR SHALL PROVIDE OWNER A CREDIT FOR NOT ENTERING INTO THE ROADWAY FOR TERMINATION AT THE MAIN.
- PRIOR TO REMOVAL OF ANY OVERHEAD POLES AND/OR WIRES THE CONTRACTOR SHALL CONTACT THE ELECTRIC, TELEPHONE, CABLE AND FIRE ALARM COMPANIES.
- THE CONTRACTOR IS RESPONSIBLE TO REMOVE AND DISPOSE ALL ITEMS OUTSIDE THE BUILDING FOOTPRINT, INCLUDING BUT NOT LIMITED TO EXISTING PAVEMENT, SIDEWALKS, LIGHT POLES, DEBRIS, BOLLARDS, TREES, UNDERGROUND PIPES AND FENCING ON SITE.
- BUILDING DEMOLITION IS NOT INCLUDED OR REFERENCED IN THIS PLAN SET. REFER TO ARCHITECTURAL PLANS FOR REQUIRED PERMITS, TESTING, REMOVAL AND DISPOSAL REQUIREMENTS FOR THE BUILDING DEMOLITION.

EXISTING	LEGEND	PROPOSED
---	PROPERTY LINE	---
---	EASEMENT LINE	---
---	CURB	---
⊖ No.	UTILITY POLE	---
⊙ LP	LIGHT POLE	---
(Size) D	DRAIN LINE	(SIZE) D
(Size) S	SANITARY SEWER	---
(Size) G	SANITARY FORCE MAIN	---
1 1/2"	GAS LINE	---
6"W	DOMESTIC WATER LINE	---
Elec	FIRE SERVICE LINE	---
DMH	ELECTRIC/CABLE/TELEPHONE	DMH
CB	DRAINAGE MANHOLE	CB
SMH	CATCH BASIN	---
EMH	SEWER MANHOLE	---
TMH	ELECTRIC MANHOLE	---
Hyd	TELEPHONE MANHOLE	---
WG	HYDRANT	---
GG	WATER GATE	---
CG	GAS GATE	CG
---	CLEAN-OUT TO GRADE	---
XXX	SAWCUT PAVEMENT	---
ELEV.	CONTOURS	ELEV.
---	SPOT GRADES	00x0
---	CHAIN LINK FENCE	---
---	STOCKADE FENCE	---
---	RETAINING WALL	---
---	STONE WALL	---
---	GUARDRAIL	---
---	GRADE TO DRAIN	---
---	BUILDING	---
---	TREE	---
---	BOLLARDS	BOLLARD
---	LIMIT OF DISTURBANCE	---
---	FILTER SOXX	---
---	SPIKE SET (BY OTHERS)	---
---	DRILL HOLE FOUND (CROSSMAN)	---
---	DRILL HOLE SET (BY OTHERS)	---

CLIENT 468 WEST FOUNTAIN LLC
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CONSULTANTS



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191 South Main Road
Providence, RI 02909
Phone (401) 752-8500

PROJECT NAME
WASHINGTON STREET APARTMENTS

PROJECT NO. 20113
THESE DRAWINGS ARE FOR THE CONSTRUCTION OF THE PROJECT LISTED ABOVE AND ARE NOT TO BE COPIED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF ZDS, INC.

THE GENERAL CONTRACTOR SHALL NOT SCALE DRAWINGS FOR MEASUREMENTS, BUT SHALL VERIFY AT THE SITE ALL LEVELS AND MEASUREMENTS NECESSARY FOR COMPLETE FABRICATION, ASSEMBLY AND INSTALLATION OF THE WORK. MINOR DETAILS OF THE WORK NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE ASCERTAINED BY THE CONTRACTOR AT THE SITE OF THE WORK, AND SHALL BE ACCOMPLISHED WITH THE INTENT OF THIS PROJECT.

REVISIONS		
NO	DATE	DESCRIPTION

ISSUED DATE: OCTOBER 2022

SHEET TITLE
GENERAL NOTES and LEGEND

DRAWING NO.
C1



LOT CREATED:

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SHEET TITLE
AERIAL MAP

DRAWING NO.
C2

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311 BROADWAY
PROVIDENCE, RI 02909

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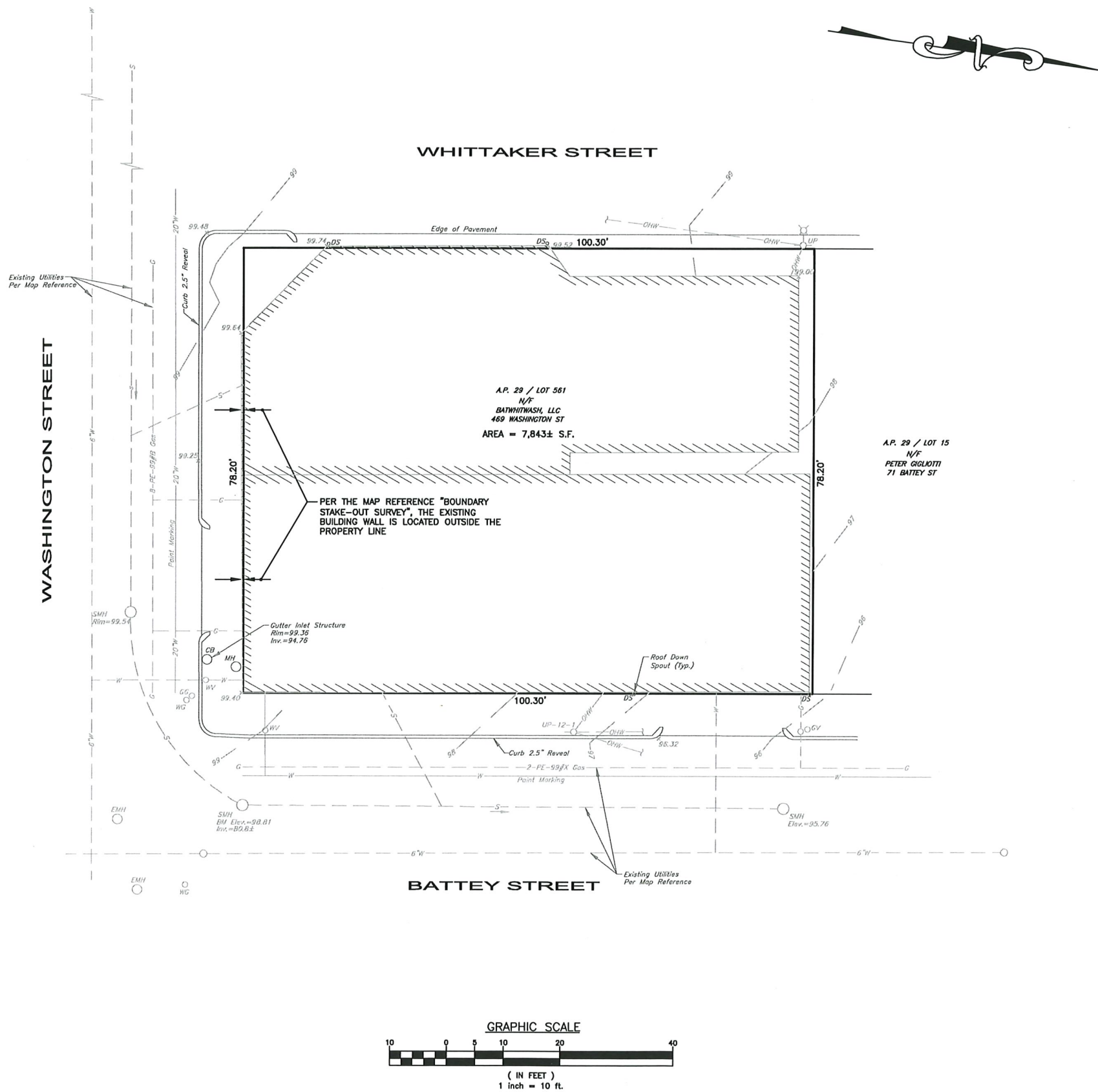
NO	DATE	DESCRIPTION

ISSUED DATE: OCTOBER 2022

SHEET TITLE
EXISTING CONDITIONS PLAN

DRAWING NO.
C3

- PLAN NOTES**
- THE EXISTING CONDITIONS REFERENCED ON THESE PLANS HAVE BEEN TAKEN FROM PLANS PREPARED BY OCEAN STATE PLANNERS (SEE MAP REFERENCE) AND BY LIMITED FIELD REVIEWS BY CROSSMAN ENGINEERING.
 - THE MAP REFERENCE PLAN IS A CLASS 1 LIMITED BOUNDARY SURVEY.
 - EXISTING UTILITIES REFERENCED WITH A DASHLINE REPRESENT UTILITIES PROVIDED BY OCEAN STATE PLANNERS. EXISTING UTILITIES REFERENCED WITH A SOLID LINE WERE OBTAINED FROM FIELD REVIEWS BY CROSSMAN ENGINEERING
- MAP REFERENCE**
- REFERENCE IS MADE TO A PLAN TITLED "BOUNDARY STAKE-OUT SURVEY, A.P. 29/LOT 41, 42 & 481, 473 & 469 WASHINGTON STREET, 32 WHITTAKER AVENUE, PROVIDENCE R.I., SCALE 1"=10', DATED OCTOBER 1, 2018 PREPARED FOR AIRWAY LEASING, LLC C/O GERARD DISANTO, ONE FRANKLIN SQUARE, PROVIDENCE, R.I., 02903 PREPARED BY OCEAN STATE PLANNERS, INC., 1255 OAKLAWN AVENUE, CRANSTON R.I. 02920."



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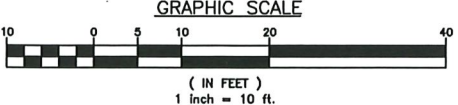
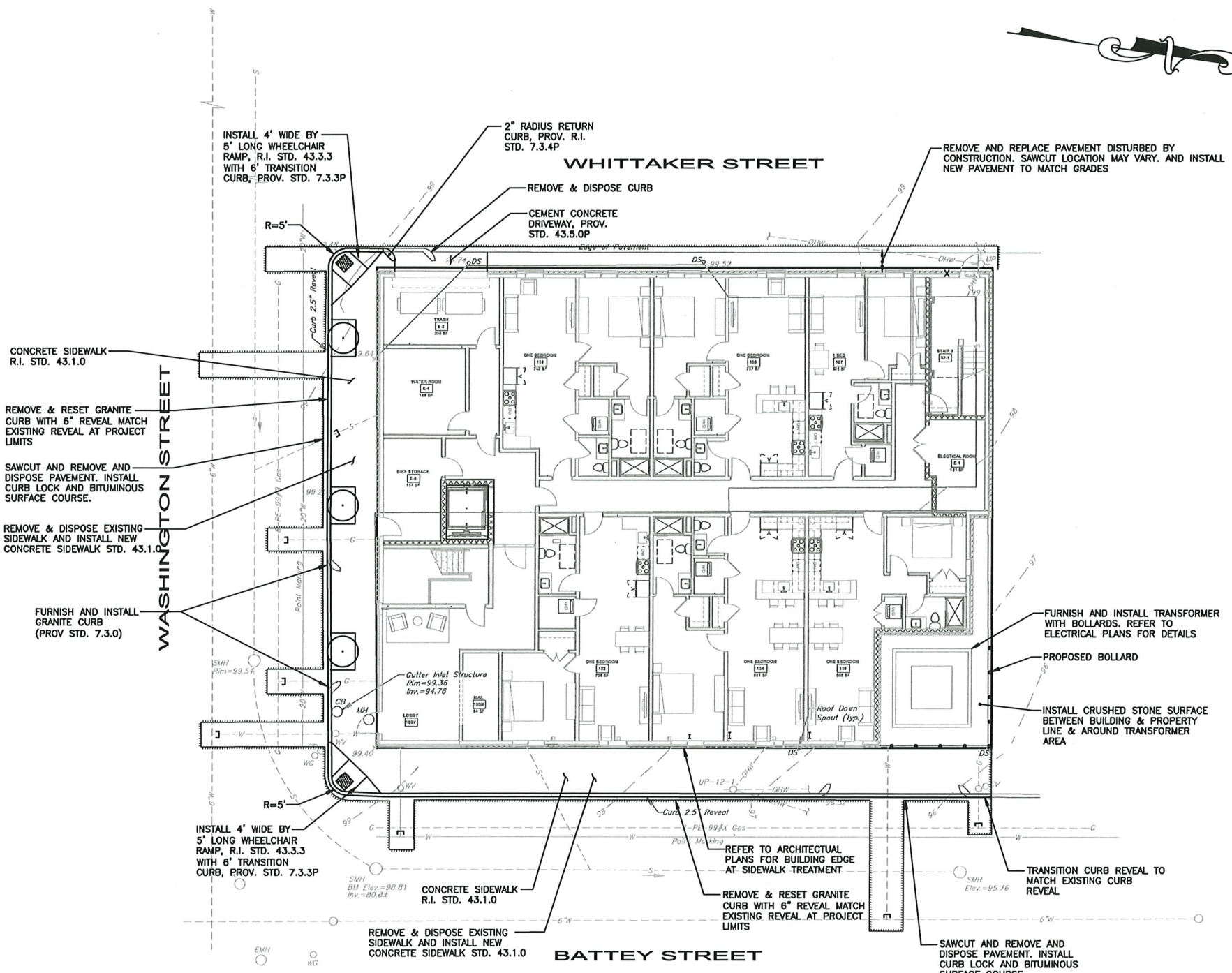
SHEET TITLE
SITE PLAN

DRAWING NO.
C4

PROVIDENCE ZONING REQUIREMENTS		
ZONING DISTRICT: C-2 GENERAL COMMERCIAL DISTRICT		
PERMITTED USE: MULTI-TENANT RETAIL AND MULTI-FAMILY DWELLING		
MINIMUM LOT REQUIREMENTS	REQUIRED	PROVIDED
MINIMUM LOT AREA	NONE	7,843.4 S.F.
MINIMUM BUILDING HEIGHT	16'*(E)	46'-9"
MAXIMUM BUILDING HEIGHT	50' - 4 STORIES	4 STORIES
SETBACK REQUIREMENTS		
MINIMUM FRONT SETBACK	0'-5' *(A)	0'
MINIMUM INTERIOR SIDE SETBACK	NONE *(B)	0'
MINIMUM CORNER SIDE SETBACK	0'-5' *(C)	0'
MINIMUM REAR SETBACK	NONE *(D)	NA

NOTES: A: THE REQUIRED BUILD TO PERCENTAGE IS 60% OF THE FRONT LINE
B: UNLESS ABUTTING A RESIDENTIAL DISTRICT, THEN SETBACK IS 10'
C: THE REQUIRED BUILD TO PERCENTAGE IS 40% OF THE CORNER SIDE LINE
D: UNLESS ABUTTING A RESIDENTIAL DISTRICT, THEN SETBACK IS 20'
E: PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT TO OBTAIN ALL COPIES OF CITY APPROVALS RECEIVED FOR THIS PROJECT.

- NOTES:
1. PARKING REQUIREMENTS
 2. PROPOSED BUILDING SHALL BE CONSTRUCTED ON OR CLOSE TO THE LINE. CONTRACTOR SHALL OBTAIN SURVEY LOCATIONS PRIOR TO CONSTRUCTION.
 3. ALL SIDEWALK RAMPS SHALL HAVE A R.I. STD. 48.1.0 DETECTABLE WARNING PANEL.
 4. THIS PROPOSED PLAN REFERENCES NO ON-SITE PARKING SPACES.



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PROJECT NAME

WASHINGTON STREET APARTMENTS

PROJECT NO. 20113

THESE DRAWINGS ARE FOR THE CONSTRUCTION OF THE PROJECT LISTED ABOVE AND ARE NOT TO BE COPIED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF ZDS, INC.

THE GENERAL CONTRACTOR SHALL NOT SCALE DRAWINGS FOR MEASUREMENTS, BUT SHALL VERIFY AT THE SITE ALL LEVELS AND MEASUREMENTS NECESSARY FOR COMPLETE FABRICATION, ASSEMBLY AND INSTALLATION OF THE WORK. MINOR DETAILS OF THE WORK NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE ASCERTAINED BY THE CONTRACTOR AT THE SITE OF THE WORK, AND SHALL BE ACCOMPLISHED WITH THE INTENT OF THIS PROJECT.

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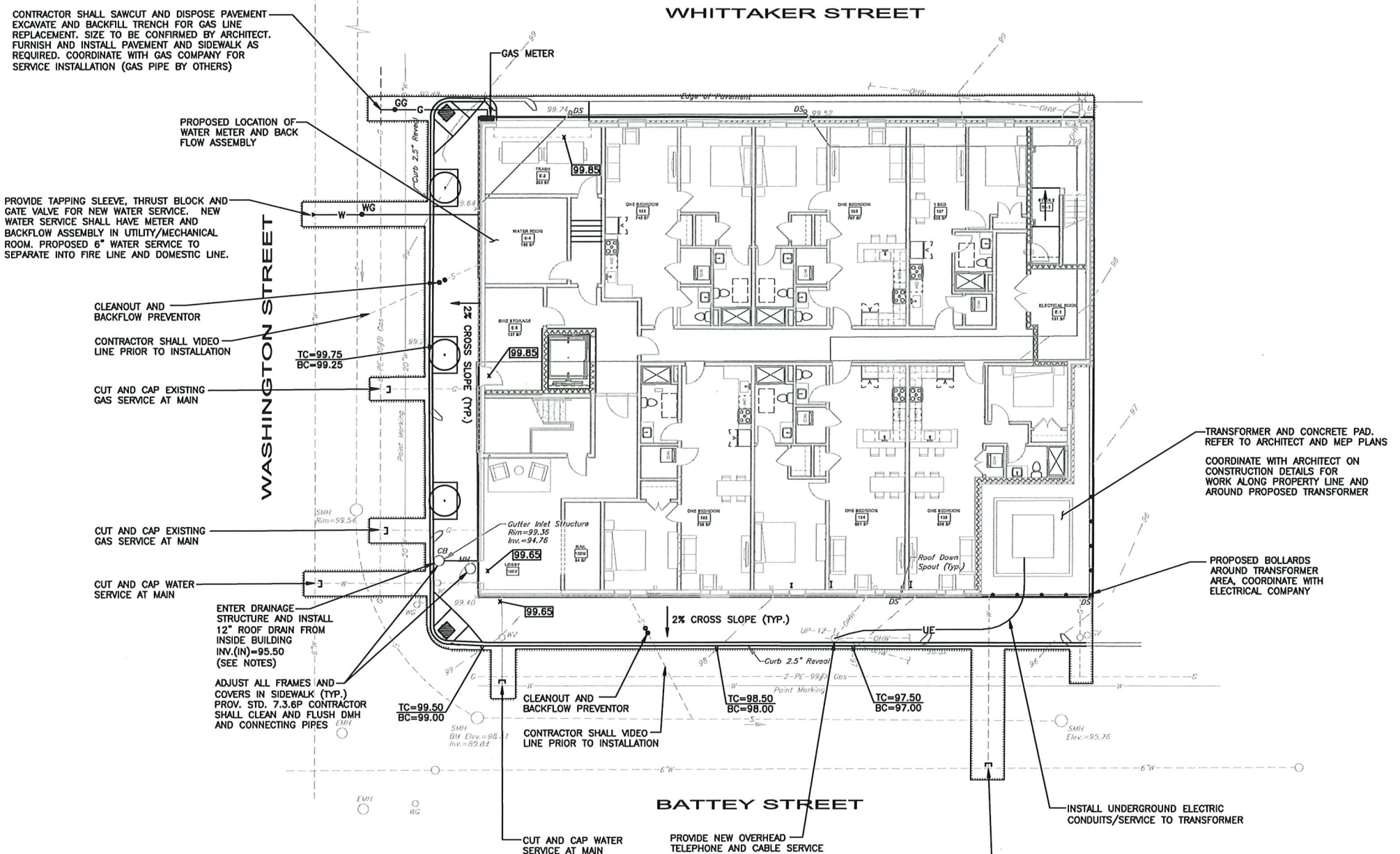
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SHEET TITLE

GRADING, DRAINAGE AND UTILITY PLAN

DRAWING NO.

C5



CONTRACTOR SHALL SAWCUT AND DISPOSE PAVEMENT EXCAVATE AND BACKFILL TRENCH FOR GAS LINE REPLACEMENT. SIZE TO BE CONFIRMED BY ARCHITECT. FURNISH AND INSTALL PAVEMENT AND SIDEWALK AS REQUIRED. COORDINATE WITH GAS COMPANY FOR SERVICE INSTALLATION (GAS PIPE BY OTHERS)

PROVIDE TAPPING SLEEVE, THRUST BLOCK AND GATE VALVE FOR NEW WATER SERVICE. NEW WATER SERVICE SHALL HAVE METER AND BACKFLOW ASSEMBLY IN UTILITY/MECHANICAL ROOM. PROPOSED 6" WATER SERVICE TO SEPARATE INTO FIRE LINE AND DOMESTIC LINE.

**CLEANOUT AND BACKFLOW PREVENTOR
 CONTRACTOR SHALL VIDEO LINE PRIOR TO INSTALLATION**

CUT AND CAP EXISTING GAS SERVICE AT MAIN

CUT AND CAP EXISTING GAS SERVICE AT MAIN

CUT AND CAP WATER SERVICE AT MAIN

ENTER DRAINAGE STRUCTURE AND INSTALL 12" ROOF DRAIN FROM INSIDE BUILDING INV.(N)=95.50 (SEE NOTES)

ADJUST ALL FRAMES AND COVERS IN SIDEWALK (TYP.) PROV. STD. 7.3.6P CONTRACTOR SHALL CLEAN AND FLUSH DMH AND CONNECTING PIPES

CLEANOUT AND BACKFLOW PREVENTOR

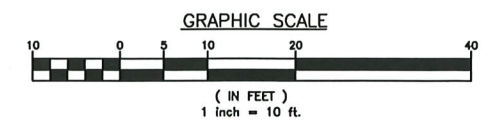
CONTRACTOR SHALL VIDEO LINE PRIOR TO INSTALLATION

CUT AND CAP WATER SERVICE AT MAIN

CUT AND CAP WATER SERVICE AT MAIN

INSTALL UNDERGROUND ELECTRIC CONDUITS/SERVICE TO TRANSFORMER

- NOTES:**
1. THE EXISTING SITE IS ALL IMPERVIOUS. THE PROPOSED IMPROVEMENTS WILL NOT INCREASE IMPERVIOUS SURFACE AREA AS COMPARED TO EXISTING CONDITIONS.
 2. ROOF DRAINS SHALL CONNECT TO STORM DRAIN SYSTEM IN WASHINGTON STREET.
 3. COORDINATE WITH ARCHITECT ON PROPOSED BUILDING ROOF DRAIN LOCATIONS.
 4. COORDINATION WILL BE REQUIRED PRIOR TO CONSTRUCTION TO REVIEW THE PIPE CONNECTION TO THE EXISTING STRUCTURE. THE CONTRACTOR SHALL COORDINATE WITH DPW AND ENGINEER.



LOT CREATED:

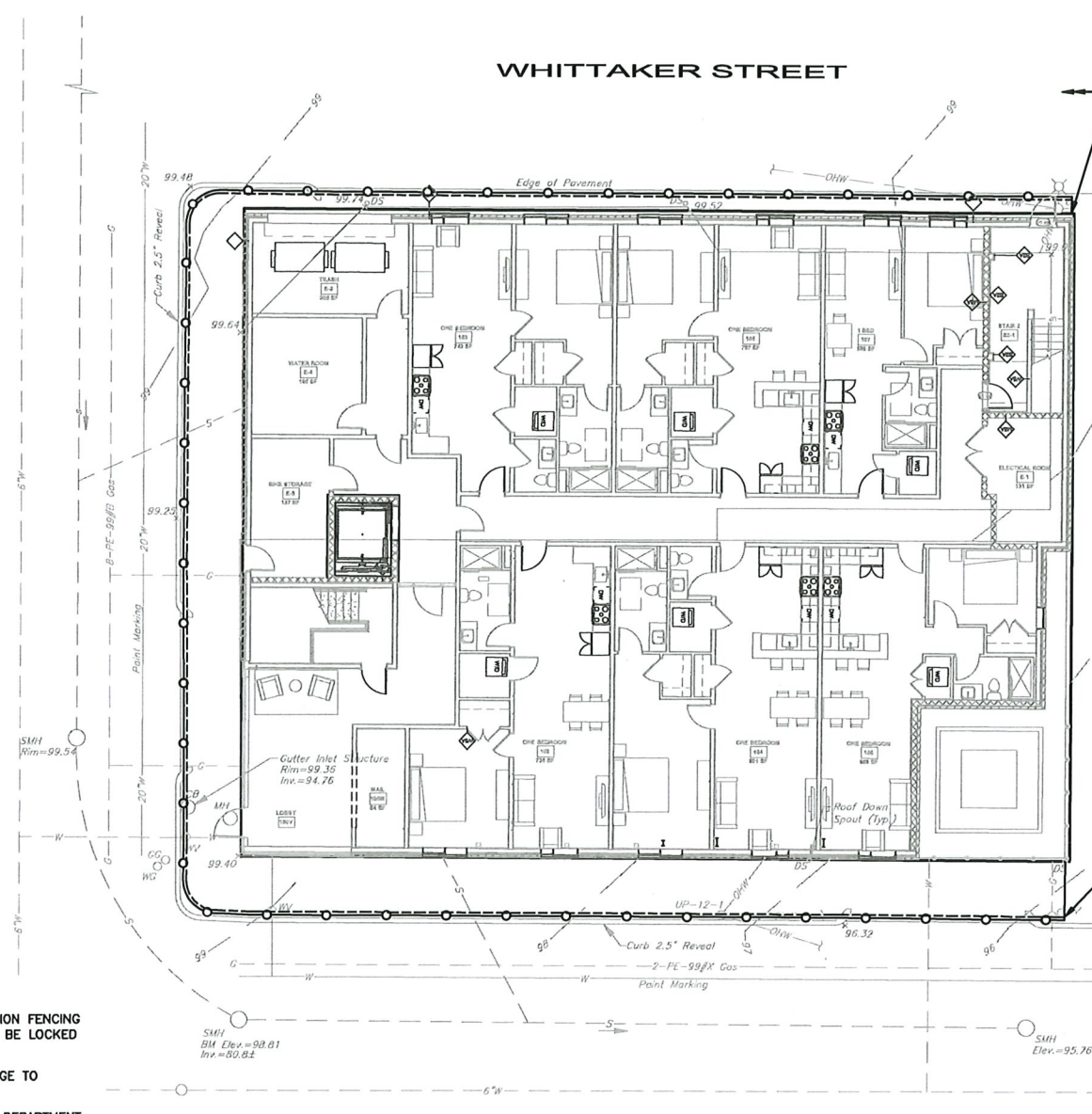
WASHINGTON STREET

WHITTAKER STREET

BATTEY STREET

INSTALL TEMPORARY FENCE AROUND SITE PROVIDE SIDEWALK CLOSED SIGNS AND COORDINATE WITH DPW

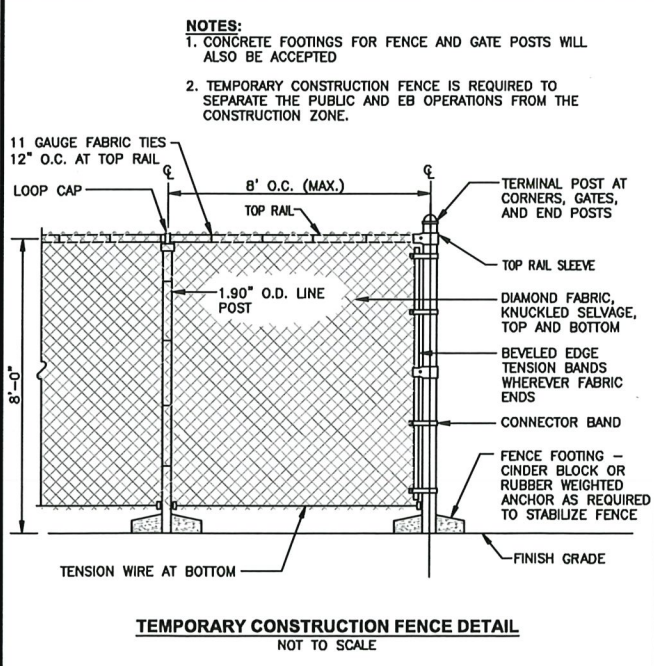
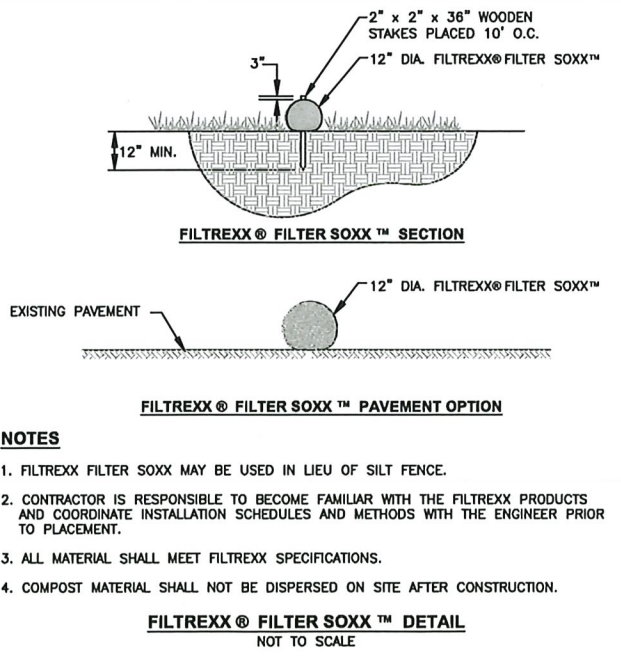
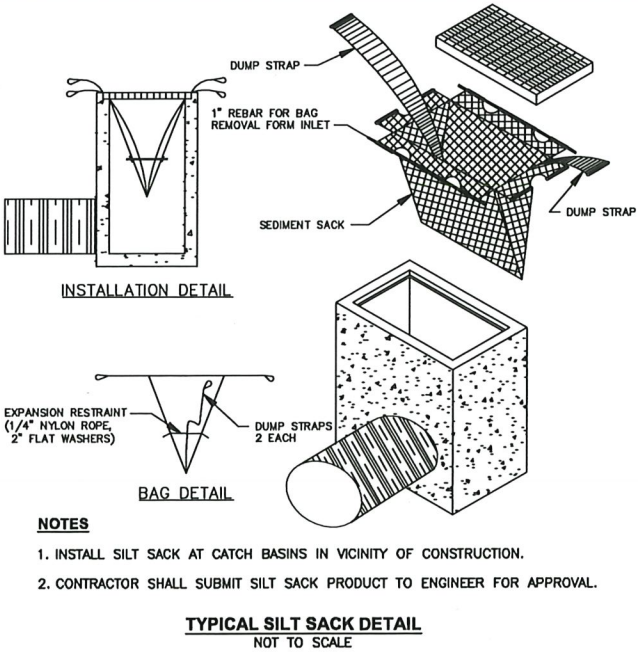
INSTALL FILTER SOXX INSIDE TEMPORARY CONSTRUCTION FENCE ALONG PERIMETER OF SITE



CONSTRUCTION NOTES

- FURNISH AND INSTALL TEMPORARY CHAINLINK CONSTRUCTION FENCING WITH ENTRY GATES AROUND ENTIRE SITE. SITE/GATES TO BE LOCKED DURING NON-CONSTRUCTION HOURS.
- CONSTRUCTION FENCING SHALL HAVE APPROPRIATE SIGNAGE TO PROTECT THE PUBLIC.
- VERIFY CONSTRUCTION SITE ENTRANCE WITH PROVIDENCE DEPARTMENT OF PUBLIC WORKS.
- LIMIT OF DISTURBANCE = 10,058 S.F.
- CONTRACTOR SHALL COORDINATE AND PROVIDE TEMPORARY SIDEWALK CLOSURE WARNING SIGNAGE AND ALTERNATIVE PEDESTRIAN ROUTE SIGNAGE WITH THE PROVIDENCE DPW.

SOIL EROSION CONTROL PLAN
SCALE: 1"=10'



DUST CONTROL NOTES

- ON AN AS-NEEDED BASIS OR AS DIRECTED BY THE CITY, RIDEM OR OWNER, THE CONTRACTOR SHALL UTILIZE ONE OF THE FOLLOWING METHODS TO CONTROL DUST:
- THE EXPOSED SOIL SURFACE SHOULD BE MOISTENED PERIODICALLY WITH ADEQUATE WATER TO CONTROL DUST.
 - CALCIUM CHLORIDE SHOULD BE EITHER LOOSE DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH A SPREADER AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE.
- THE METHODS SHOULD BE REPEATED AS NEEDED, AND SPECIAL ATTENTION MUST BE GIVEN TO THE ACCESS DRIVES.

INSPECTION/MAINTENANCE NOTES

- PRIOR TO COMMENCING PAVEMENT REMOVAL AND/OR EXCAVATION OPERATIONS AND EARTHWORK, EROSION CONTROLS SHALL BE PLACED INSIDE SAWCUT EDGE TO PREVENT SEDIMENT FROM ENTERING EXISTING ROADWAY DRAINAGE SYSTEM AND ADJUTING PROPERTIES.
- EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING THE DRAINAGE SYSTEM.
- ALL DISTURBED AREAS WHICH BECOME SUBJECT TO EROSION TENDENCIES WHETHER THEY BE NEWLY FILLED OR EXCAVATED SHALL RECEIVE SLOPE PROTECTION - SUCH AS CRUSHED STONE.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING PERIODS OF RAINFALL.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MAINTENANCE AND SHALL INSPECT / REPLACE DAILY DURING CONSTRUCTION, FOLLOWING RAINFALL AND WEEKLY DURING NON CONSTRUCTION PERIODS.
- ADDITIONAL FILTERSOXX OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
- THE LATEST VERSION OF THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE R.I. STATE CONSERVATION COMMITTEE, MUST BE UTILIZED BY THE CONTRACTOR AS A GUIDE.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL DUST CONTROL AND FOR THE ENTIRE PROJECT DURATION, INCLUDING TEMPORARY SHUT-DOWN PERIODS, MUST MONITOR AND REPAIR, AS NEEDED, ALL SLOPES TO ENSURE A STABLE PRODUCT.

GENERAL PROJECT WIDE NOTES

- CONTRACTOR SHALL INSTALL TEMPORARY MEASURES SUCH AS; FIBER MATTING, CRUSHED STONE, HAY OR STRAW IN AREAS WHERE SLOPES OR STABILIZATION HAS FAILED.
- IF SEDIMENT IS TRACKED OR ERODED INTO THE ROADWAY, THE CONTRACTOR WILL BE REQUIRED TO INSTALL SILT SACK OR APPROVED EQUAL UNDER THE EXISTING CATCH BASIN GRATES. REMOVE AFTER CONSTRUCTION.
- FILTER SOXX SHALL BE INSTALLED AROUND THE PERIMETER OF THE AREA TO BE DISTURBED BY CONSTRUCTION. ADDITIONAL APPLICATIONS OF THESE CONTROLS MEASURES MAY BE REQUIRED DURING THE CONSTRUCTION PROCESS. THE CONTRACTOR SHALL INSPECT THE SITE AT A MINIMUM OF ONCE PER WEEK OR WITHIN 24 HOURS AFTER A STORM EVENT.
- IF EROSION OR EROSION TENDENCIES ARE APPARENT ON THE SITE, THE CONTRACTOR IS RESPONSIBLE TO INSTALL ADDITIONAL EROSION CONTROLS.
- IF SEDIMENT OR DEBRIS IS TRACKED ONTO EXISTING PAVED AREAS ADJACENT TO THE CONSTRUCTION AREA, THE CONTRACTOR IS REQUIRED TO SWEEP THE PAVEMENT ON A DAILY BASIS. THE AREA SHALL BE INSPECTED DAILY.
- THE CONTRACTOR IS RESPONSIBLE TO KEEP THE SITE CLEAN OF TRASH. RECOMMENDED DAILY PATROL OF THE CONSTRUCTION SHOULD BE CONDUCTED TO PICK-UP TRASH. THE OPERATOR SHALL REQUIRE THE CONTRACTOR TO HAVE PORTABLE SANITARY FACILITIES ON SITE. ROUTINE CLEANING AND WASTE DISPOSAL OF THESE PORTABLE SANITARY FACILITIES IS REQUIRED.

FILTREXX SOXX NOTE

CONTRACTOR IS RESPONSIBLE TO BECOME FAMILIAR WITH THE FILTREXX PRODUCTS AND COORDINATE INSTALLATION SCHEDULES AND METHODS WITH THE ENGINEER PRIOR TO PLACEMENT.

EROSION CONTROL AND SOIL STABILIZATION PROGRAM

- EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING THE DRAINAGE SYSTEM, ADJACENT PROPERTY AND ROADWAYS.
- TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, OR FIBER MULCH PROTECTIVE COVERS, SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS), THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE OWNER.
- HAY OR STRAW APPLICATIONS SHALL BE IN THE AMOUNT OF 3,000-4,000 LBS/ACRE.
- STOCKPILES SHALL HAVE NO SLOPE STEEPER THAN 2:1 AND SHALL BE SURROUNDED BY STAKED HAY BALES OR SILT FENCING.
- STOCKPILES EXPOSED FOR EXCESSIVE PERIODS SHALL RECEIVE TEMPORARY TREATMENT CONSISTING OF HAY, STRAW OR FIBER MATTING.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MAINTENANCE AND SHALL INSPECT/REPLACE AS NEEDED.
- ADDITIONAL HAY BALES OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER, OWNER, MUNICIPAL REPRESENTATIVES OR LOCAL DPW.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DUST CONTROL AT NO ADDITIONAL COST TO THE OWNER.
- ALL CATCH BASINS ADJACENT TO THE CONSTRUCTION AREA SHALL BE PROTECTED BY SILT SACKS. ROUTINE CLEANING OF SEDIMENT WILL BE REQUIRED.
- ALL PROPOSED CATCH BASINS SHALL BE PROTECTED BY STAKED HAY BALES, SILT FENCING OR SILT SACKS.
- THE FILTREXX FILTER SOXX MAY BE INSTALLED ON THE EXISTING PAVEMENT /IMPERVIOUS AREAS WITH OUT STAKES. CONTRACTOR SHALL INSPECT DAILY, IF SOIL EROSION OR SEDIMENT IS OBSERVED IN THESE AREAS, THE CONTRACTOR SHALL RELOCATE OR INSTALL ADDITIONAL FILTREXX FILTER SOXX IN LOCATIONS THAT CAN BE STAKED. THIS WORK IS INCLUDED IN THE PROJECT SCOPE.
- AN ALTERNATE COMPOST SOCK OR STRAW WATTLE PRODUCT MAY BE USED IN LIEU OF FILTREXX FILTER SOCK UPON APPROVAL OF THE ENGINEER.

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PROJECT NAME
WASHINGTON STREET APARTMENTS

PROJECT NO. 20113

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REVISIONS

NO	DATE	DESCRIPTION

ISSUED DATE: OCTOBER 2022

SHEET TITLE
SOIL EROSION AND SEDIMENT CONTROL PLAN

DRAWING NO.
C6

LOT CREATED:

STAMP

CONSULTANTS

- Civil
- Transportation
- Environmental
- Site Planning
- Surveying
- Planning
- Landscape Architecture

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REVISIONS

NO	DATE	DESCRIPTION

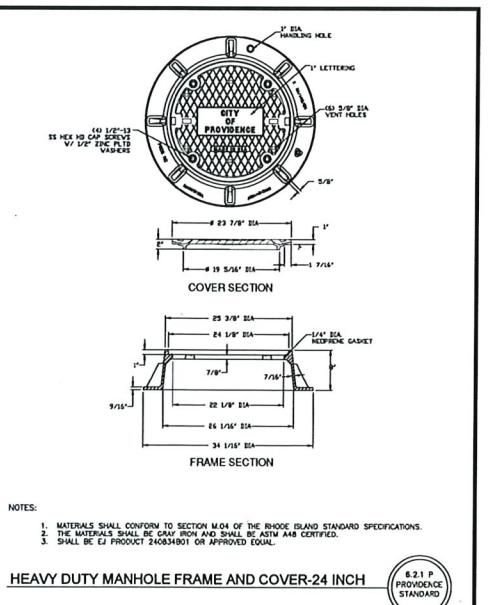
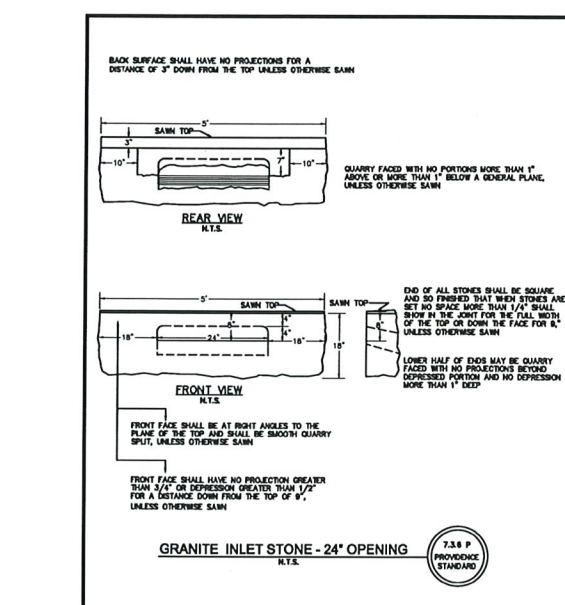
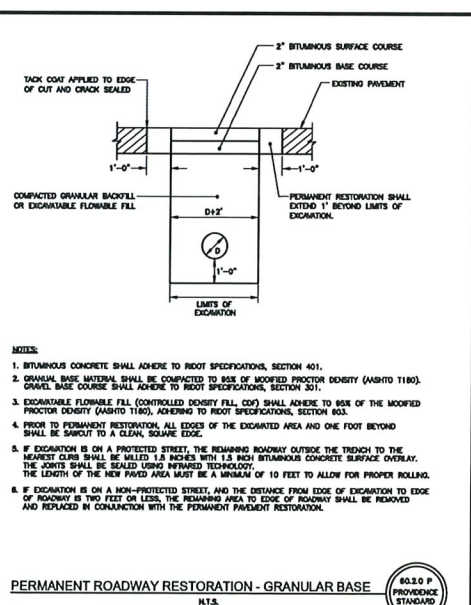
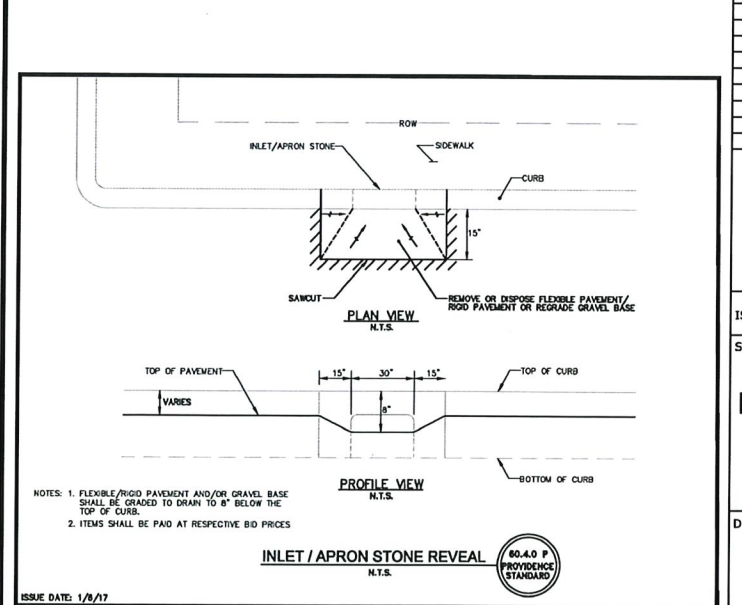
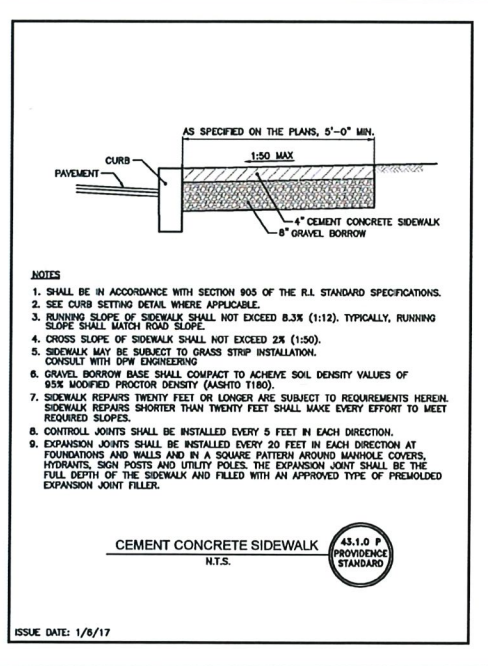
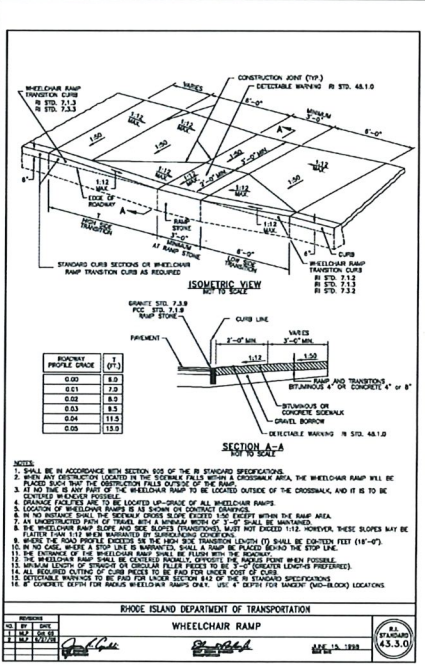
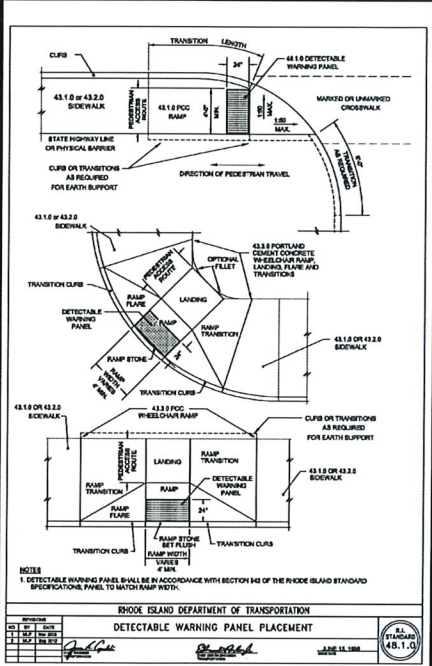
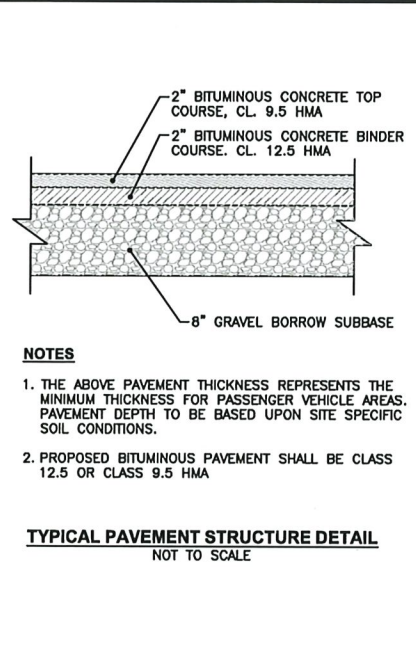
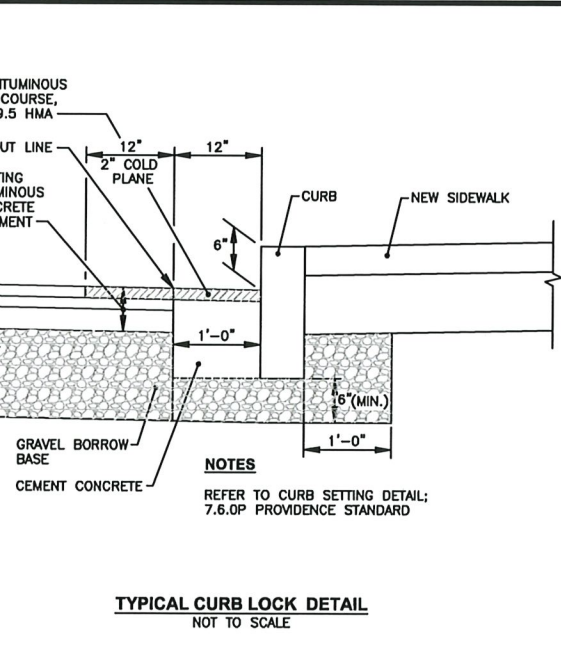
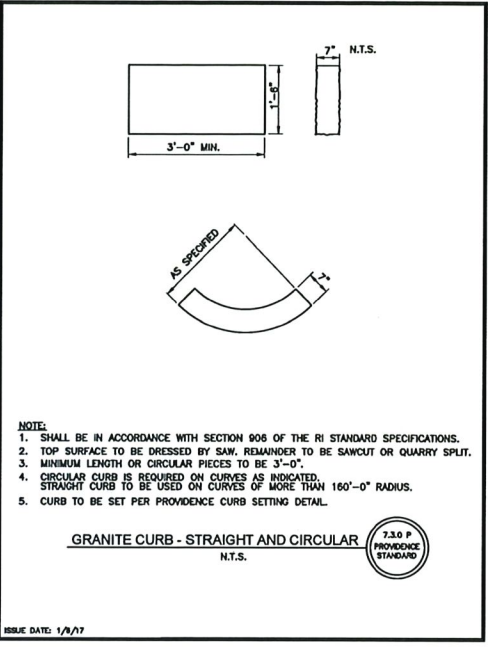
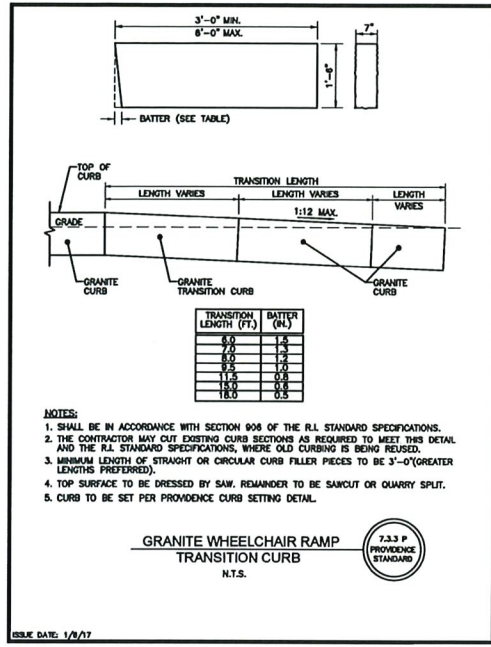
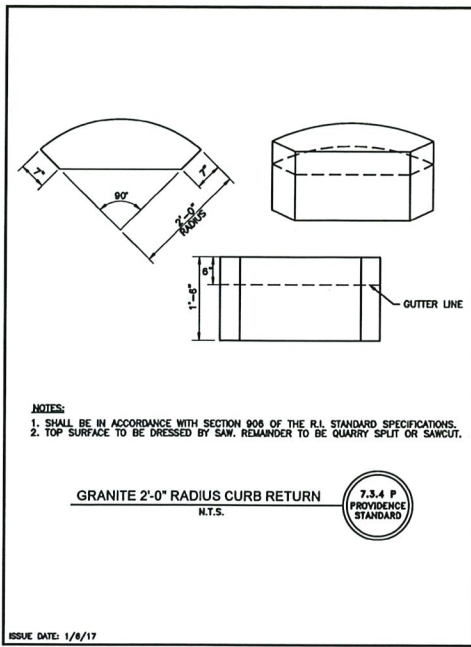
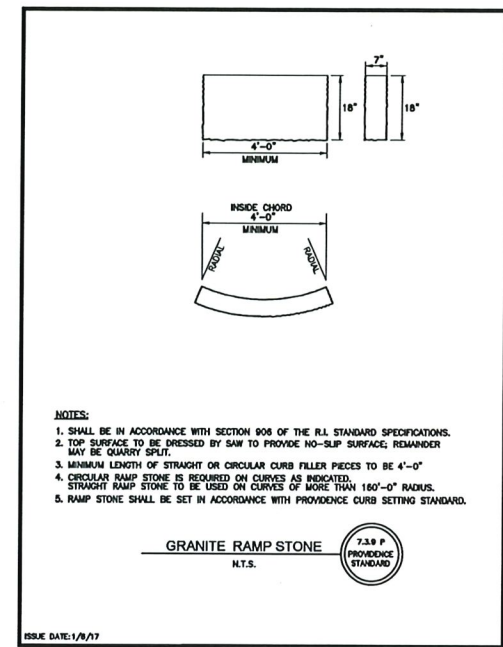
ISSUED DATE: OCTOBER 2022

SHEET TITLE

MISCELLANEOUS DETAILS No 1

DRAWING NO.

C7



ISSUE DATE: 1/8/17

ISSUE DATE: 1/8/17

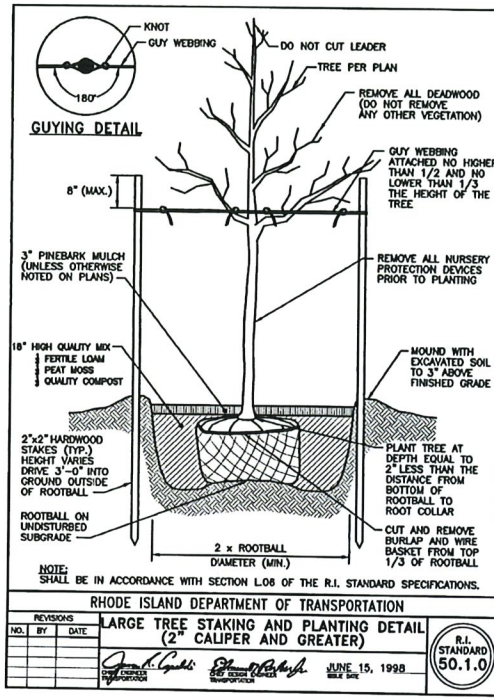
ISSUE DATE: 1/8/17

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NOTE: SHALL BE IN ACCORDANCE WITH SECTION 108 OF THE R.I. STANDARD SPECIFICATIONS.

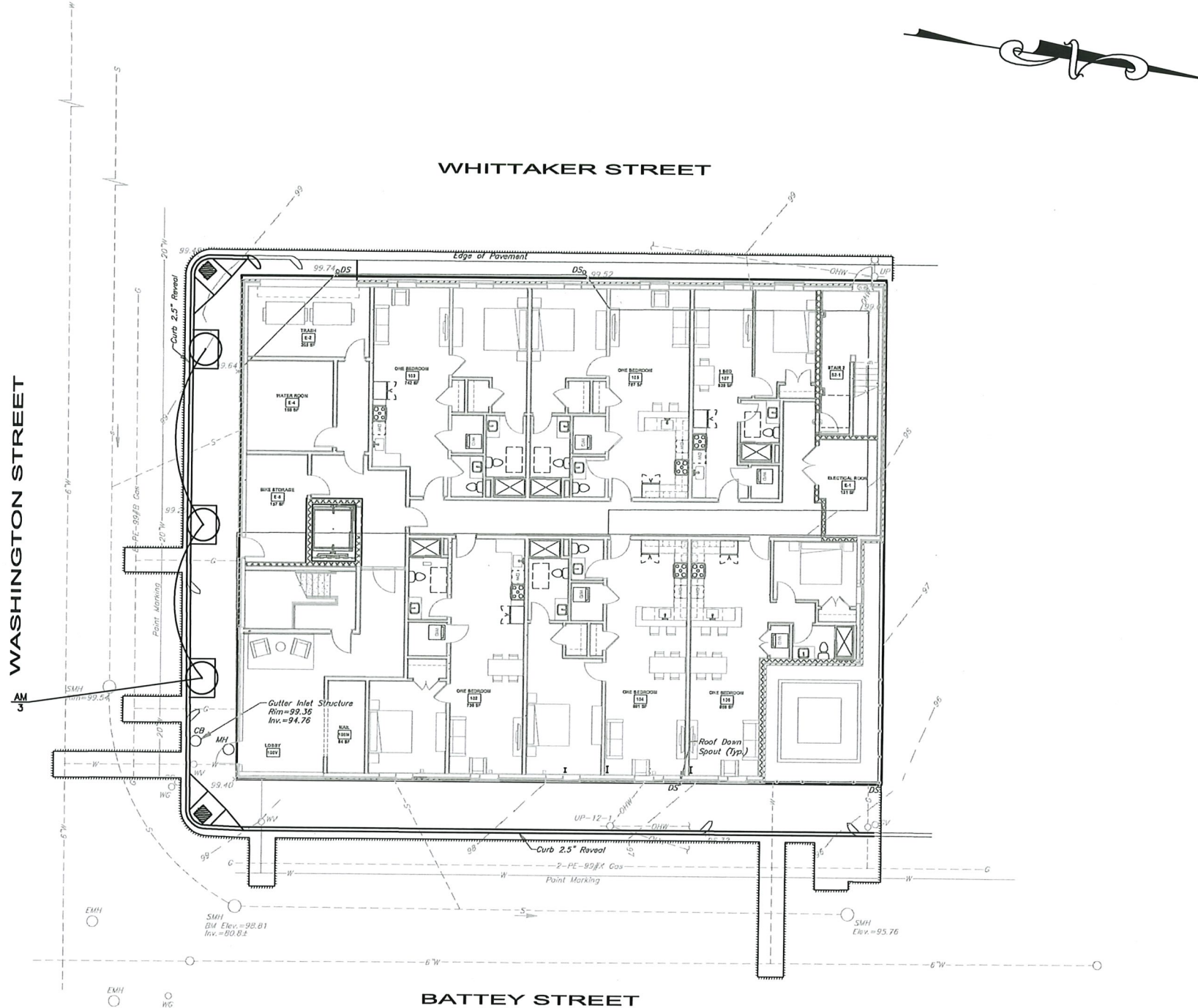
RHODE ISLAND DEPARTMENT OF TRANSPORTATION
LARGE TREE STAKING AND PLANTING DETAIL
 (2" CALIPER AND GREATER)

REVISED BY DATE JUN 15, 1998

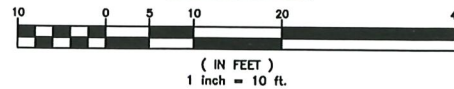
R.I. STANDARD 50.1.0

LANDSCAPE CONSTRUCTION NOTES

- FURNISH AND INSTALL ALL PLANTS SHOWN ON THE DRAWINGS SPECIFIED HEREIN. NO SUBSTITUTIONS WILL BE PERMITTED, UNLESS APPROVED BY THE LANDSCAPE ARCHITECT.
- NURSERY STOCK SHALL MEET THE STANDARDS OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION AS TO GRADING AND QUALITY.
- ONLY NURSERY-GROWN PLANTS, GROWN IN ACCORDANCE WITH ACCEPTED HORTICULTURAL PRACTICES, AND GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST TWO (2) YEARS, WILL BE ACCEPTED.
- SET PLANTS PLUMB AND AT A LEVEL THAT AFTER SETTLEMENT THEY BEAR THE SAME RELATION TO THE SURROUNDING GROUND AS THEY BORE TO THE GROUND FROM WHICH THEY WERE DUG. SETTLE BACKFILL MATERIAL FOR PLANTS, THOROUGHLY AND PROPERLY BY FIRING OR TAMPING. FORM SAUCERS, CAPABLE OF HOLDING WATER ABOUT INDIVIDUAL PLANTS, BY PLACING RIDGES OF PLANTING SOIL AROUND EACH.
- STAKE ALL TREES OVER 5 FEET AS SHOWN ON PLANS. REMOVE STAKES AT THE END OF THE GUARANTEE PERIOD.
- WATERING: WATER ALL PLANTS WITHIN 48 HOURS AFTER PLANTING. IF CONDITIONS WARRANT, AND AS MANY TIMES THEREAFTER TO SUSTAIN HEALTHY CONDITIONS UNTIL LANDSCAPE INSTALLATION IS COMPLETED. SATURATE THE SOIL AROUND EACH PLANT THOROUGHLY AT EACH WATERING.
- PRUNING: PRUNE PLANTS AS DIRECTED BY OWNER, AT THE PROJECT SITE BEFORE OR IMMEDIATELY AFTER PLANTING IN ACCORDANCE WITH THE BEST HORTICULTURAL PRACTICE. CUT BROKEN, DEAD OR INJURED BRANCHES IMMEDIATELY ABOVE THE STEM COLLAR ON THE TRUNK OR LIMB. PRUNE ALL BROKEN ROOTS ON THE PLANT SIDE OF THE BREAK. PAINT CUTS OVER 3/4" IN DIAMETER WITH TREE WOUND PAINT. PRUNING SHALL NOT DEFORM OR OTHERWISE DESTROY THE TYPICAL SHAPE OR SYMMETRY OF THE PLANT, AND SHALL NOT REDUCE THE HEIGHT BY MORE THAN ONE-THIRD. DO NOT CUT BACK THE LEADER OF THE PLANT UNLESS DIRECTED BY THE LANDSCAPE ARCHITECT.
- FERTILIZING: FERTILIZE SHRUB BEDS WITH 10-10-10 SLOW RELEASE FERTILIZER SPREAD AT MANUFACTURERS SUGGESTED RATE. APPLY THE FERTILIZER UNIFORMLY TO THE SURFACE BEDS AND WORK INTO THE UPPER TWO INCHES OF SOIL. FERTILIZE INDIVIDUAL TREES AT A RATE OF ONE AGRIFORM PELLETS PER INCH OF TRUNK DIAMETER (FOLLOW MANUFACTURER'S WRITTEN INSTRUCTIONS). FOLLOWING MANUFACTURER'S INSTRUCTIONS, APPLY A SECOND APPLICATION OF FERTILIZER TO ALL PLANT ITEMS AS DIRECTED.
- LIMING: ADD POWDERED LIME EVERY SIX MONTHS - OR SLOW RELEASE GRANULAR LIME-AS PER MANUFACTURER'S INSTRUCTION.
- MULCHING: WITHIN A 72 HOUR PERIOD AFTER PLANTING, COVER ALL PLANTED AREAS WITH 3" DARK HEMLOCK MULCH. NO RED OR DYED MULCH IS TO BE USED. MULCH SHOULD BE PULLED ONE INCH AWAY FROM PLANT TRUNK OR STEM, AND NOT ALLOWED TO REST DIRECTLY AGAINST THE TRUNK OR STEM. USE FILTER FABRIC UNDER ALL MULCH AREAS UNLESS DIRECTED OTHERWISE BY LANDSCAPE ARCHITECT. COORDINATE WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- GUARANTEE: ALL PLANTS FURNISHED BY THE CONTRACTOR SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER PRELIMINARY INSPECTION AND SHALL BE ALIVE AND IN SATISFACTORY GROWTH AT THE END OF THE GUARANTEE PERIOD. ALL DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED AT ONCE BY THE CONTRACTOR, FREE OF CHARGE.



GRAPHIC SCALE



PLANT SCHEDULE

Key	QTY	Botanical Name Common Name	Size	Remarks
AM	3	Acer x fremantli 'Armstrong' Armstrong Maple	2"-2 1/2"	B&B

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PROJECT NAME
WASHINGTON STREET APARTMENTS

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NO	DATE	DESCRIPTION

ISSUED DATE: OCTOBER 2022

SHEET TITLE
LANDSCAPE PLAN

DRAWING NO.
L1

NOT CREATED