

New Development for: 322 Washington Street Providence, RI 02903

OWNER
Lincoln Avenue Capital
14 Harvest Way
Newmarket, NH 03857

DATE: NOVEMBER 18, 2022

SCHEMATIC DESIGN

DRAWINGS

CIVIL

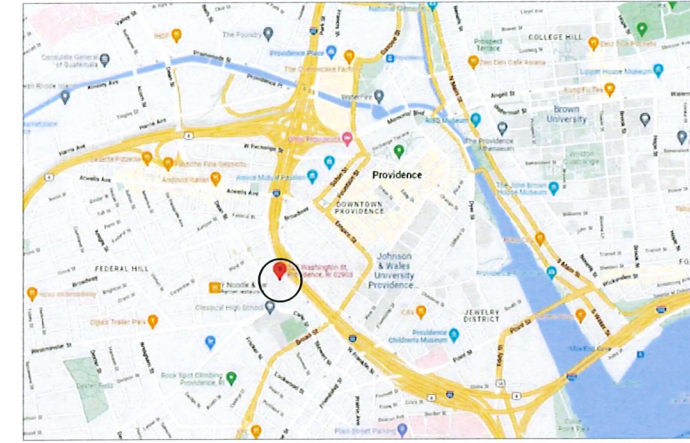
Existing Conditions Plan of Land (from Surveyor)
C1.0: General Notes and Legend
C2.0: Demo and Soil Erosion Sediment Control Plan
C3.0: Site Plan
C4.0: Grading, Drainage and Utility Plan
C5.0: Site Details 1
C5.1: Site Details 2

LANDSCAPE

L1.0: Landscape Plan

ARCHITECTURAL

A-1: Locus Plan
A-2: Site Context Plan
A-3: Proposed First Floor Plan
A-4: Proposed Floor Plan
A-6: Proposed Roof Plan
A-7: Street View Perspective
A-8: Exterior Elevations
A-9: Exterior Elevations
A-10: Exterior Elevations



LOCUS MAP

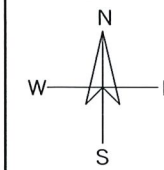
NTS

ARCHITECT
Ed Wojcik, Architect, Ltd.
One Richmond Square, Suite 100K
Providence, RI 02906
P: 401-861-7139
F: 401-861-7165

CIVIL ENGINEER
D'Amico Engineering Technology, Inc.
2080 Mineral Spring Ave.
North Providence, RI 02906
P: 401-622-1470

LANDSCAPE ARCHITECT
Diane Soule and Associates
422 Farnum Pike
Smithfield, RI 02917
P: 401-231-0736

Ed Wojcik
architect, ltd
One Richmond Square
Providence, RI 02906
401-861-7139
Fax: 401-861-7165



New Development for:
322 Washington St.
Residential Units

322 Washington Street
Providence, RI 02903

SHEET CONTENTS:
Cover

PROJECT # 3722

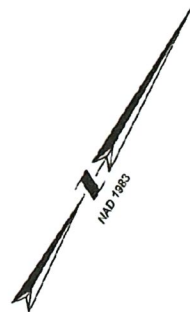
DATE: 11/14/2022
REVISED DATE:

PRELIMINARY - NOT FOR CONSTRUCTION

CVR



Locus Map
(NOT TO SCALE)



GENERAL NOTES:

- 1) THE EXISTING CONDITIONS SHOWN HEREON DEPICT THE SUBJECT SITE AS IT APPEARED DURING A FIELD SURVEY CONDUCTED BY BSC GROUP, INC. BETWEEN OCTOBER 6, 2022 AND OCTOBER 12, 2022.
- 2) THE ABOVE MENTIONED FIELD SURVEY IS BASED ON NAD 1983 HORIZONTAL AND NAVD 1988 VERTICAL DATUM (TEMPORARY BENCH MARKS (TBM) SET) AS DERIVED FROM GPS OBSERVATIONS MADE AT THE TIME OF THE SURVEY.
- 3) THE UTILITIES SHOWN ON THIS PLAN ARE TAKEN FROM LOCATIONS OF SURFACE STRUCTURES AND ALSO RECORD INFORMATION SUPPLIED BY UTILITY COMPANIES AND PB 90 PG 52-82

I CERTIFY TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF THAT THE LOT CORNERS, DIMENSIONS AND EXISTING CONDITIONS AS DETERMINED BY INSTRUMENT SURVEY AND AS SHOWN ON THIS PLAN ARE CORRECT



Craig A. Field 11/17/2022
 CRAIG A. FIELD DATE
 PROFESSIONAL LAND SURVEYOR

CLASS I PROPERTY LINE SURVEY AND CLASS III TOPO PLAN OF AP 25 LOT 264 EXISTING CONDITIONS PLAN OF LAND

WASHINGTON STREET,
 SERVICE ROAD 7
 & LYMAN STREET
 IN
 PROVIDENCE,
 RHODE ISLAND
 (PROVIDENCE COUNTY)

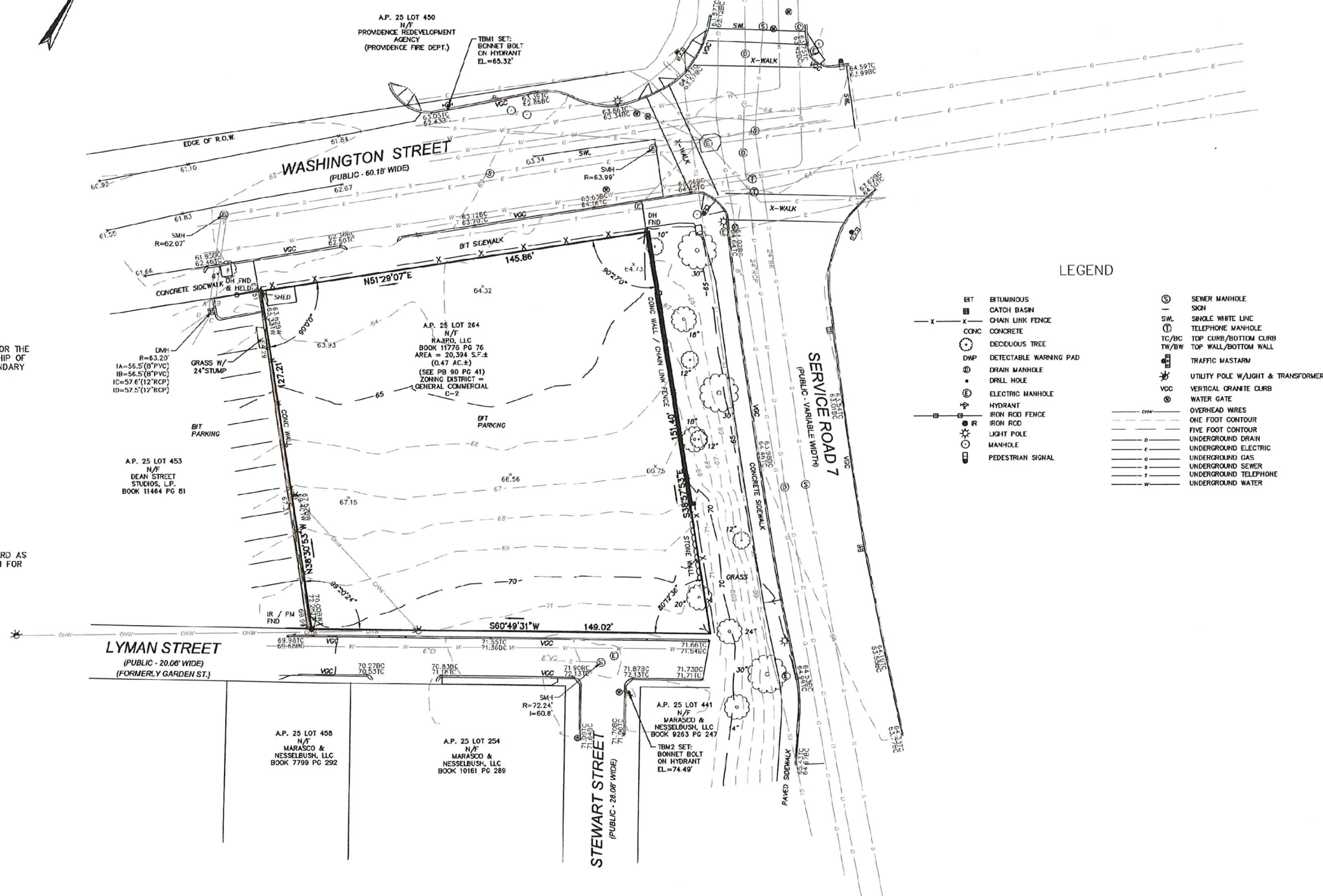
NOVEMBER 17, 2022

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS TO SHOW THE RELATIONSHIP OF THE EXISTING CONDITIONS TO THE LOCUS PROPERTY BOUNDARY LINES.

BY: *Craig A. Field* 11/17/2022
 CRAIG A. FIELD PLS LIC. NO. 1928
 C.O.A. NO. LS.000A176-COA

THIS SURVEY AND PLAN CONFORM TO A CLASS I STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS.

BY: *Craig A. Field*
 REGISTERED PROFESSIONAL LAND SURVEYOR
 DATE: 11/17/2022



LEGEND

- | | | | |
|------|------------------------|-------|------------------------------------|
| BIT | BITUMINOUS | ⊙ | SEWER MANHOLE |
| CB | CATCH BASIN | ⊕ | SIGN |
| CLF | CHAIN LINK FENCE | ⊖ | SINGLE WHITE LINE |
| CONC | CONCRETE | ⊗ | TELEPHONE MANHOLE |
| DT | DECIDUOUS TREE | ⊕/BC | TOP CURB/BOTTOM CURB |
| DWP | DETECTABLE WARNING PAD | TW/BW | TOP WALL/BOTTOM WALL |
| DMH | DRAIN MANHOLE | ⊕ | TRAFFIC MASTARM |
| DH | DRILL HOLE | ⊕ | UTILITY POLE W/LIGHT & TRANSFORMER |
| EMH | ELECTRIC MANHOLE | ⊕ | VERTICAL GRANITE CURB |
| HYD | HYDRANT | ⊕ | WATER GATE |
| IRF | IRON ROD FENCE | --- | OVERHEAD WIRES |
| IR | IRON ROD | --- | ONE FOOT CONTOUR |
| LP | LIGHT POLE | --- | FIVE FOOT CONTOUR |
| MH | MANHOLE | --- | UNDERGROUND DRAIN |
| PS | PEDESTRIAN SIGNAL | --- | UNDERGROUND ELECTRIC |
| | | --- | UNDERGROUND GAS |
| | | --- | UNDERGROUND SEWER |
| | | --- | UNDERGROUND TELEPHONE |
| | | --- | UNDERGROUND WATER |

UTILITY NOTE
 EXISTING UTILITIES, WHERE SHOWN HEREON, ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING ANY ON-SITE ACTIVITY WITH DIG-SAFE AND THE APPROPRIATE UTILITY COMPANY AND MAINTAINING EXISTING UTILITY SYSTEM SERVICE. DIG-SAFE SHALL BE NOTIFIED PER RHODE ISLAND GENERAL LAWS TITLE 36 CHAPTER 39-1.2, AT 1-888-344-7233. NO GUARANTEE IS IMPLIED OR INTENDED AS TO THE ACCURACY, LOCATION OR THAT ALL UTILITIES AND/OR SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION AND INVERTS OR UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.

OWNER:
 RAJPO, LLC
 SEE PLAN FOR ABUTTING PARCEL OWNER INFORMATION

PREPARED FOR:
 LINCOLN AVENUE CAPITAL
 14 HARVEST WAY
 NEWMARKET, NH 03857

BSC GROUP
 1 Mercantile Street, Suite 610
 Worcester, Massachusetts
 01608
 617 896 4500

©2022 BSC Group, Inc.
 SCALE: 1" = 20'
 0 10 20 40 FEET

PROJ. MGR.: C.MCNARY
 FIELD: M. GHANBARI, B. SNEESBY
 CALC./DESIGN: S.COHEN
 DRAWN: S.COHEN
 CHECK: C.MCNARY
 FILE: \9902700\SD\9902700EC1
 DWG: --- SHEET
 JOB NO: 99027.00 1 OF 1

GENERAL NOTES:

1. THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING ANY CONSTRUCTION OPERATIONS. RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR CITY WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.

SITE NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) OF ALL MATERIALS INDICATED ON THE PLANS.
2. STOCKPILES OF EARTH MATERIALS SHALL NOT BE LOCATED ADJACENT TO DRAINAGE STRUCTURES.
3. ALL DISTURBED AREAS OUTSIDE OF THE PAVED AREAS WILL RECEIVE A MINIMUM OF 6" OF LOAM AND SEED.
4. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SURVEY LAYOUT SERVICES FOR THE WORK AND SHALL SUBMIT "AS-BUILT" DRAWINGS OF ALL WORK, WHICH SHALL BE STAMPED AND CERTIFIED BY A RHODE ISLAND REGISTERED PROFESSIONAL LAND SURVEYOR.
5. ANY ITEM OF WORK NOT SPECIFICALLY INDICATED ON THE PLANS BUT IS REQUIRED FOR THE COMPLETE CONSTRUCTION OF THE PROJECT WILL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND INCLUDED IN THE CONTRACT BID PRICE. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING SITE CONDITIONS.
6. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR ACTUAL SIZE OF THE PROPOSED BUILDING.
7. WHERE NECESSARY TO REMOVE CURBS, CATCH BASINS OR DRAINS TO COMPLETE WORK, THE CONTRACTOR SHALL REPLACE SUCH ITEMS TO THE SATISFACTION OF THE ENGINEER AT NO ADDITIONAL COST TO THE OWNER.
8. ANY EXISTING PIPE OR UTILITY DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR AT NO COST TO THE OWNER OR ENGINEER.
9. THE CONTRACTOR SHALL RESTORE TO ITS ORIGINAL CONDITION OR REPLACE TREES, SHRUBS, FENCES, SIGNS, GUARDRAILS, DRIVEWAYS, SIDEWALKS AND ANY OTHER OBJECT AFFECTED BY THIS OPERATION.
10. THE TOPS OF ALL VALVE BOXES AND CURB BOXES SHALL BE FLUSH WITH GROUND OR PAVEMENT SURFACE LEVEL AND PLUMB, UNLESS OTHERWISE DIRECTED.
11. ROADWAYS SHALL BE LEFT PASSABLE AT ALL TIMES. CLOSURE OF ROADWAY IS NOT PERMITTED.
12. THE CONTRACTOR SHALL PROVIDE ACCESS TO ALL DRIVEWAYS AT COMPLETION OF EACH DAYS WORK.
13. WATER SERVICE SHALL BE MAINTAINED AT ALL TIMES.
14. ALL LEDGE TO BE REMOVED BY MECHANICAL MEANS.
15. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN THE DRY. THE CONTRACTOR SHALL PROVIDE, OPERATE AND MAINTAIN ALL PUMPS, DRAINS, WET POINTS, SCREENS, OR OTHER FACILITIES NECESSARY TO CONTROL, COLLECT AND DISPOSE OF ALL SURFACE AND SUBSURFACE WATER ENCOUNTERED IN THE PERFORMANCE OF THE WORK.
16. REFER TO PLUMBING PLANS FOR CONTINUATION OF ALL UTILITIES WITHIN 5' (FIVE) FEET OF THE BUILDING.
17. ALL SITE WORK, INCLUDING BUT NOT LIMITED TO, BITUMINOUS PAVEMENT, PERVIOUS PAVERS, AGGREGATE MATERIALS, DRAINAGE STRUCTURES, CURBING, SIDEWALK, LANDSCAPING, SAW CUTTING, ETC. SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, 2004 EDITION (WITH LATEST ADDENDA) AND THE RIDOT STANDARD DETAILS, 1998 EDITION (WITH LATEST ADDENDA).

MISCELLANEOUS UTILITY NOTES:

1. PRIOR TO CONSTRUCTION ALL POTENTIAL UTILITY/DRAINAGE CONFLICTS MUST BE IDENTIFIED BY THE CONTRACTOR. ANY MODIFICATIONS TO THE PROPOSED UTILITIES TO AVOID CONFLICTS MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION. NO EXTRA PAYMENT TO THE CONTRACTOR DUE TO RELOCATION'S WILL BE AUTHORIZED.
2. THE UTILITY PLAN DOES NOT DEPICT THE NECESSARY ELECTRICAL CONDUIT/WIRING TO SERVICE THE PROPOSED LIGHTING AND SIGNS, WHICH WILL BE PERFORMED BY THE CONTRACTOR FOR NO ADDITIONAL COST.
3. OVERHEAD ELECTRIC AND TELEPHONE SERVICES ARE TO BE REMOVED BY THE APPROPRIATE UTILITY COMPANY AND COORDINATED BY THE CONTRACTOR.
4. THE CONTRACTOR SHALL AT ALL TIMES PROVIDE A SUFFICIENT NUMBER OF WORKMEN AND GUARDS AS MAY BE NECESSARY TO PROPERLY SAFEGUARD THE PUBLIC FROM THERE OPERATIONS.
5. THE CONTRACTOR SHALL TAKE PRECAUTIONS AGAINST DAMAGING OF PAVING, SIDEWALKS, UTILITIES, OR PRIVATE PROPERTIES AND SHALL PROMPTLY REPAIR AT HIS OWN EXPENSE ANY DAMAGE TO SUCH PAVING, SIDEWALKS, UTILITIES, OR PRIVATE PROPERTIES TO THE SATISFACTION OF THE OWNER OR CITY.
6. EXISTING UTILITY FRAMES AND COVERS FOR SANITARY SEWER, WATER, GAS, STORM DRAINAGE AND OTHER UTILITIES SHALL BE ADJUSTED TO GRADE AS REQUIRED IN NEW PAVING AND PAVEMENT OVERLAY AREAS.

LAYOUT NOTE:

THE LAYOUT SHOWN REPRESENTS A GRAPHICAL DESIGN, AND PRIOR TO THE CONSTRUCTION, THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL LAND SURVEYOR (PLS) REGISTERED IN THE STATE OF RHODE ISLAND TO SET AND VERIFY ALL LINES AND GRADES. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY ITEMS FOUND WHICH DO NOT MATCH THE PLANS MUST BE BROUGHT TO THE ENGINEERS ATTENTION PRIOR TO CONSTRUCTION FOR REVIEW. NO WORK SHALL PROCEED UNTIL AUTHORIZED BY THE ENGINEER.

MAINTENANCE AND PROTECTION OF TRAFFIC NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION. ALL TEMPORARY AND VEHICULAR SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST REVISIONS OF MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.)
2. TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE TRAFFIC CONTROL DIVIDES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC.
3. THE PRIVATE VEHICLES OF CONSTRUCTION WORKERS SHALL NOT BE PARKED IN THE STATE OR CITY RIGHT-OF-WAY.
4. ALL MAINTENANCE AND PROTECTION OF TRAFFIC CONTROL SETUPS, SIGNS CHANNELING DEVICES, ETC. SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, 1988 EDITION, INCLUDING REVISION 3, SEPTEMBER 3, 1993 AND SUBSEQUENT ADDENDA.
5. SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH THE R.I.D.O.T. SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.

DRAINAGE SYSTEM MAINTENANCE SCHEDULE:

UPON PROJECT COMPLETION, THE PROPERTY OWNER SHALL ADHERE TO THE FOLLOWING MAINTENANCE PLAN AND SCHEDULE:

1. **CATCH BASINS, MANHOLES AND DRAIN LINES:** AN INSPECTION MUST OCCUR ON AN ANNUAL BASIS BY QUALIFIED PERSONAL TO ENSURE PROPER OPERATION. THE INSPECTION SHOULD, AS A MINIMUM, CONCENTRATE ON THE FOLLOWING:
 - * DAMAGE TO GRATE/ COVERS
 - * EVIDENCE OF STANDING WATER
 - * DEBRIS REMOVAL
 - * STRUCTURAL ALIGNMENT/ INTEGRITY
 ANY DEFICIENCY NOTED DURING THE INSPECTION WILL BE IMMEDIATELY REPAIRED OR REPLACED.
2. **SEDIMENT REMOVAL:** ALL REMOVED SEDIMENT IS TO BE TESTED TO DETERMINE POLLUTANT CONTENT. THE SEDIMENT IS TO BE PROPERLY DISPOSED IN UPLAND AREAS BASED UPON THE TEST RESULTS AND LOCAL, STATE, AND FEDERAL REGULATIONS
3. ALL RIM ELEVATIONS SHOWN ARE APPROXIMATE AND ARE TO BE SET FLUSH WITH FINAL GRADES.
4. ROUTINE MAINTENANCE OF THE PERVIOUS BITUMINOUS CONCRETE SURFACE SHALL BE VACUUMED SWEEP TWICE A YEAR MINIMUM.

PROPOSED PAVEMENT STRUCTURE:
ON-SITE (PAVEMENT FOR ACCESS DRIVEWAY)
 1.5" BITUMINOUS CONCRETE SURFACE COURSE CLASS 1-1 (CLASS 12.5 HMA)
 1.5" BITUMINOUS CONCRETE BASE COURSE (CLASS 19 HMA)
 12" GRAVEL BORROW SUBBASE

ASPHALT EMULSION TACK COAT TO BE PLACED PRIOR TO SURFACE COURSE PAVING IF BINDER COURSE IS OPENED TO VEHICULAR USE, OR IF BINDER COURSE IS GREATER THAN 30 DAYS OLD.

PROPOSED PAVEMENT STRUCTURE:
CITY/STATE
 2" BITUMINOUS CONCRETE SURFACE COURSE CLASS TYPE 1-1
 2" BITUMINOUS CONCRETE BINDER COURSE
 12" GRAVEL BORROW SUBBASE COURSE

ASPHALT EMULSION TACK COAT TO BE PLACED ON ALL BITUMINOUS COURSES PRIOR TO PAVING.

WATER NOTES:

1. ALL INSTALLATIONS, JOINTS, CONSTRUCTION METHODS AND MATERIALS SHALL BE ACCORDING TO THE PROVIDENCE WATER SUPPLY BOARD REQUIREMENTS, AWWA STANDARDS AND GOVERNMENTAL REQUIREMENTS.
2. WATER PIPES SHALL TYPICALLY BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM SEWER PIPES, AND AT A MINIMUM DEPTH OF COVER EQUAL TO 5'. WHERE A NEW WATER PIPE IS LESS THAN 18 INCHES CLEAR DISTANCE ABOVE A SEWER OR WHERE A WATER PIPE PASSES BENEATH A SEWER OR STORM DRAIN, ENCASE THE SEWER OR DRAIN IN 6" OF CONCRETE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE CROSSING WATER PIPE.
3. ALL SYSTEM COMPONENTS AND CONSTRUCTION METHODS; SUCH AS PIPE, THRUST BLOCKS, FITTINGS, CASTINGS, ETC. SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION. THIS SUBMISSION SHALL INCLUDE MANUFACTURER'S LITERATURE, SHOP DRAWINGS, PROPOSED CONSTRUCTION METHODS, ETC.
4. WATER LINE TRENCH TO BE AWWA TYPE 5 A METALIZED DETECTABLE IDENTIFICATION TAPE 2" IN WIDTH, BLUE IN COLOR AND PRINTED WITH "CAUTION WATERLINE BURIED BELOW" SHALL BE UTILIZED OVER ALL MAINS. TAPE SHALL BE SET AT APPROXIMATELY 1' BELOW FINISHED GRADE.
5. THE CONTRACTOR SHALL RECEIVE VERIFICATION FROM THE ENGINEER AS TO THE APPROPRIATE SIZE OF THE DOMESTIC WATER AND FIRE PROTECTION LINE SHOWN ON THE PLANS PRIOR TO ORDERING WATER PIPE RELATED ITEMS.
6. SPECIFIC BENDS ARE SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL PROVIDE ADDITIONAL BENDS AS NECESSARY TO INSTALL THE PIPE AT THE REQUIRED DEPTH AND ALIGNMENT.

RIDOT

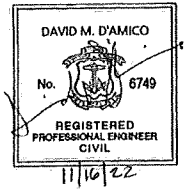
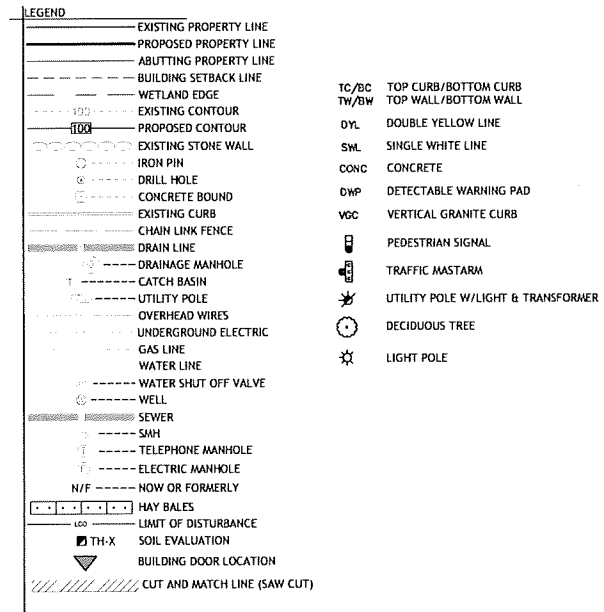
1. ALL WORK, INCLUDING BUT NOT LIMITED TO, BITUMINOUS PAVEMENT, ROADWAY CONSTRUCTION, AGGREGATE MATERIALS, DRAINAGE STRUCTURES, CURBING, SIDEWALK, LANDSCAPING, SAW CUTTING, ETC. SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, 2004 EDITION (WITH LATEST ADDENDA) AND THE RIDOT STANDARD DETAILS, 1998 EDITION (WITH LATEST ADDENDA).

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

1. THE HAYBALE AND SILT FENCE LINE ILLUSTRATED ON THESE PLANS SHALL SERVE AS THE STRICT LIMIT OF DISTURBANCE FOR THE PROJECT WITHIN OR ADJACENT TO REGULATED FRESHWATER WETLAND AREAS.
2. THE LIMITS OF CLEARING, GRADING, AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE OF THESE LIMITS, AS DEPICTED ON THE PLAN SHALL BE TOTALLY UNDISTURBED, TO REMAIN IN NATURAL CONDITION.
3. ALL CATCH BASINS AND CULVERTS SHALL BE PROTECTED WITH STAKED HAYBALES (R.I. STD. 9.8.0) DURING CONSTRUCTION ACTIVITIES. ALL PROPOSED STORM WATER DISCHARGE AREAS SHALL BE LINED WITH A RIPRAP SPLASH PAD AND PROTECTED WITH STAKED HAYBALE OUTLET PROTECTION (R.I. STD. 9.1.0), OR STAKED HAYBALE WITH SILT FENCE (R.I. STD. 9.3.0) SHALL ALSO BE INSTALLED AT ALL EXISTING STORMWATER DISCHARGE LOCATIONS WHERE DISTRIBUTING PIPES, CATCH BASINS, AND MANHOLES ARE TO BE CLEANED AND FLUSHED.
4. ALL DISTURBED SLOPES EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEEDED, PROTECTED AND MAINTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL REGULARLY CHECK ALL SEEDED AREAS TO ENSURE THAT A GOOD STAND IS MAINTAINED.
5. ALL HAYBALES, TEMPORARY TREATMENT (HAY, STRAW, ETC.) AND TEMPORARY EROSION PROTECTION SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
6. STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SIDE SLOPES OF NO GREATER THAN 2:1 AND SHALL BE TEMPORARILY SEEDED AND/OR STABILIZED PER CONTRACT SPECIFICATIONS.
7. THE HAYBALES SHALL BE CHECKED BY THE CONTRACTOR ON A WEEKLY BASIS AND AFTER EACH STORM FOR UNDERMINING OR DETERIORATION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY HAYBALES AS NEEDED. THE CONTRACTOR SHALL CLEAN THE ACCUMULATED SEDIMENT IF HALF OF THE ORIGINAL HEIGHT OF THE HAY-BALES BECOMES FILLED WITH SEDIMENTS.
8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL SOIL EROSION AND SEDIMENT CONTROLS ON THE PROJECT SITE FOR THE ENTIRE DURATION OF THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL FOLLOW THE DIRECTION OF THE RESIDENT ENGINEER WITH REGARD TO INSTALLATION, MAINTENANCE, AND REPAIR OF ALL SOIL EROSION AND SEDIMENTATION CONTROLS ON THE PROJECT SITE. TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROLS (HAYBALES, SILT FENCE, ETC.) SHALL BE MAINTAINED UNTIL ALL EXPOSED SOILS ARE SATISFACTORILY STABILIZED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND/OR RESEEDING ALL AREAS THAT DO NOT DEVELOP WITHIN ONE YEAR FROM THE COMPLETION OF CONSTRUCTION.
9. ALL REFERENCED SOIL EROSION AND SEDIMENTATION CONTROLS INCLUDING MATERIALS USED, APPLICATION RATES AND THE INSTALLATION PROCEDURES SHALL BE PERFORMED PER THE "RHODE ISLAND EROSION AND SEDIMENTATION HANDBOOK", DATED 1993.

BMP MAINTENANCE SCHEDULE

1. ALL MAINTENANCE (INCLUDING CLEANING) REQUIRED DURING THE CONSTRUCTION PHASE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
2. MEASURES NEEDED TO ENSURE THE PROPER OPERATION OF THE STORMWATER DRAINAGE SYSTEMS AND WATER QUALITY CONTROL SYSTEMS TO INCLUDE INSPECTION, CLEANING AND REPAIRS TO ALL PIPES, INTAKE AND DISCHARGE STRUCTURES (INCLUDING RIP-RAP SPLASH PADS), CATCH BASIN SUMPS, AND MANHOLES.
3. INSPECTION OF ALL SLOPES, BERMS, AND OTHER CONTROL STRUCTURES (INCLUDING ROADWAY SIDE SLOPES, FOR STRUCTURAL INTEGRITY, STABILITY AND EVIDENCE OF SOIL EROSION, SHALL INCLUDE MAINTENANCE OF THESE STRUCTURES IF NECESSARY. INSPECTIONS SHALL BE PERFORMED FOLLOWING ALL RAIN EVENTS OF 1/2 INCH RAINFALL OR MORE IN A 24-HOUR PERIOD, OR BIMONTHLY IF NO RAINFALL EVENT OCCURS.
4. UPON COMPLETION OF PROJECT CONSTRUCTION, AND PRIOR TO VACATING THE SITE, THE CONTRACTOR SHALL CONDUCT A FINAL INSPECTION, REPAIR ANY VEGETATIVE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES, (SEEDING, PLANTING, ETC.) WHERE REQUIRED, AND REPAIR (OR REMOVE WHERE APPROPRIATE) ANY TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL DEVICES. AFTER PERMANENT SOIL STABILIZATION ON THE ENTIRE SITE HAS OCCURRED, ALL TEMPORARY CONTROL MEASURES MUST BE REMOVED.
5. AFTER THE COMPLETION OF PROJECT CONSTRUCTION AND THE FINAL STABILIZATION OF THE ENTIRE SITE, THE INSPECTION AND MAINTENANCE OF ALL STORMWATER FACILITIES MUST BE PERFORMED.
6. REPLANTING, REGRADING, OR OTHER REPAIRS NEEDED AS A RESULT OF SOIL EROSION AND SEDIMENTATION PROCESSES SHALL BE DONE PROMPTLY TO ENSURE PROPER FUNCTIONING OF THE ENTIRE SYSTEM.
7. ANY TRASH, DEBRIS, ETC. SHOULD BE REMOVED FROM ANY WETLAND AREAS, SWALE, AND PIPE OUTLETS.



**322 WASHINGTON ST. PROPOSED
 RESIDENTIAL DEVELOPMENT
 322 WASHINGTON STREET
 PROVIDENCE, RHODE ISLAND
 AP 25, LOT 464**

REVISIONS:

NO.	DATE	DESCRIPTION

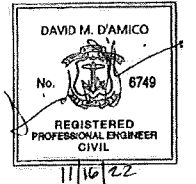
DESIGNED BY: DMD
 DRAWN BY:
 CHECKED BY: DMD
 DATE: OCT., 2022
 PROJECT NO: 22-0003-01

PREMIT PLAN

GENERAL NOTES & LEGEND PLAN

C1.0

N:\22-0003 Lincoln Ave Capitlan01 322 Washington St. Prov-Plan\322 Washington St. PLOM SET 11-16-22.dwg Nov. 16, 2022 5:02pm



**322 WASHINGTON ST. PROPOSED
 RESIDENTIAL DEVELOPMENT**
322 WASHINGTON STREET
 PROVIDENCE, RHODE ISLAND
 AP 25, LOT 464

REVISIONS:

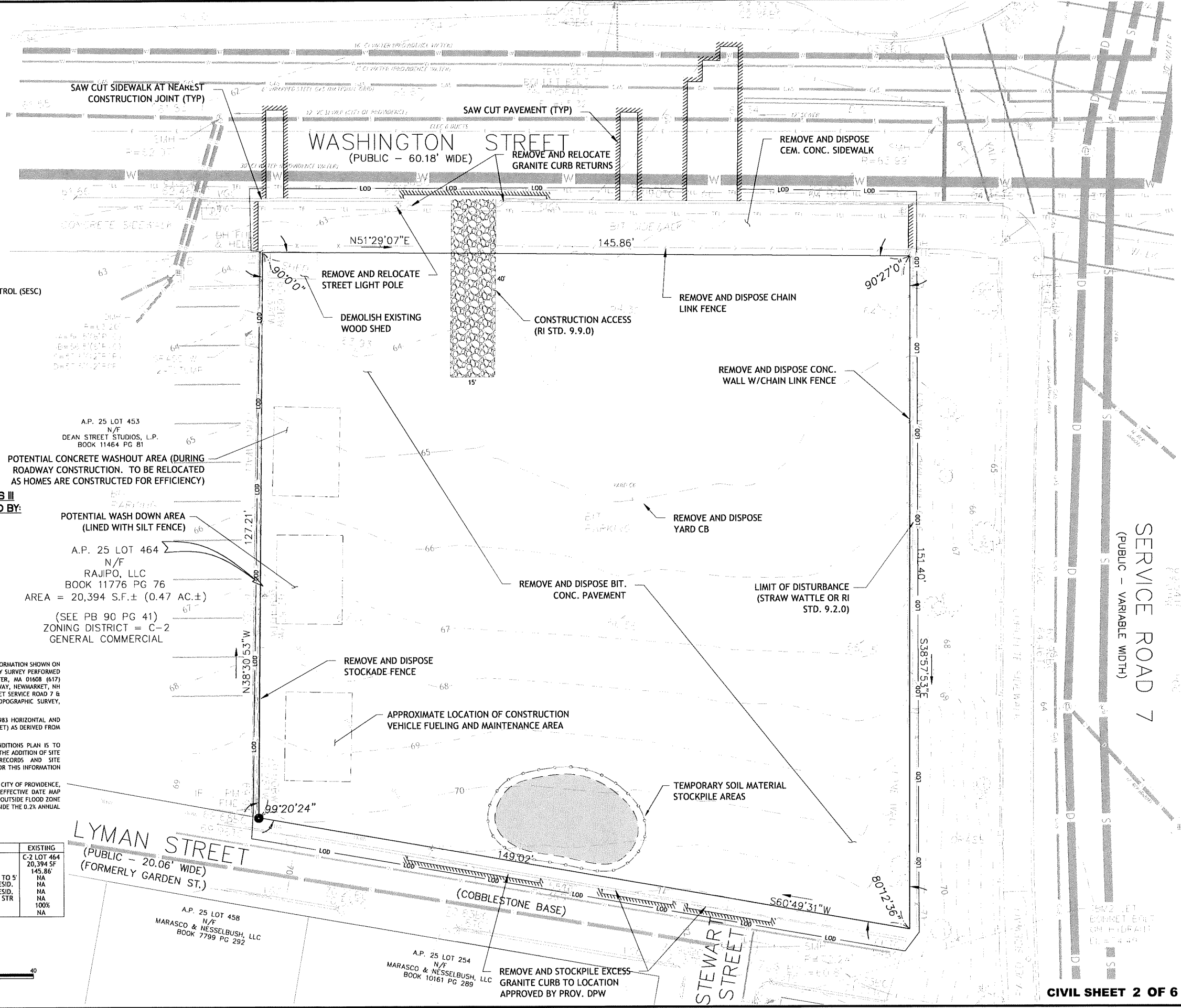
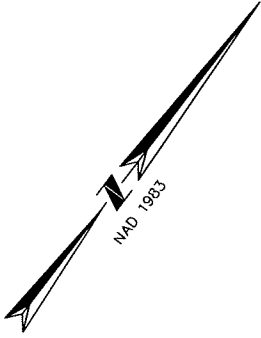
NO.	DATE	DESCRIPTION

DESIGNED BY: DMD
 DRAWN BY: DMD
 CHECKED BY: DMD
 DATE: OCT. 2022
 PROJECT NO: 22-0003-01

PREMIT PLAN

**DEMO AND
 SOIL EROSION
 CONTROL PLAN**

C2.0



FOR SOIL EROSION AND SEDIMENT CONTROL (SESC)
 NOTES SEE SHEET 1 OF 6

**CLASS I PROPERTY LINE AND CLASS III
 TOPOGRAPHIC SURVEY CONDUCTED BY:**
 RSC GROUP, INC.
 1 MERCANTILE STREET, SUITE 610
 WORCESTER, MA 01608 (617)
 896-4500

A.P. 25 LOT 453
 N/F
 DEAN STREET STUDIOS, L.P.
 BOOK 11464 PG 81

POTENTIAL CONCRETE WASHOUT AREA (DURING ROADWAY CONSTRUCTION. TO BE RELOCATED AS HOMES ARE CONSTRUCTED FOR EFFICIENCY)

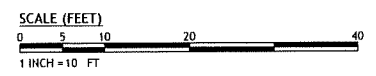
POTENTIAL WASH DOWN AREA
 (LINED WITH SILT FENCE)

A.P. 25 LOT 464
 N/F
 RAJIPO, LLC
 BOOK 11776 PG 76
 AREA = 20,394 S.F. ± (0.47 AC. ±)

(SEE PB 90 PG 41)
 ZONING DISTRICT = C-2
 GENERAL COMMERCIAL

- NOTES:
1. THE PROPERTY BOUNDARY PERIMETER AND TOPOGRAPHIC INFORMATION SHOWN ON THIS EXISTING CONDITIONS SHEET IS THE RESULT OF A BOUNDARY SURVEY PERFORMED BY RSC GROUP 1 MERCANTILE STREET, SUITE 610, WORCESTER, MA 01608 (617) 896-4500, PREPARED FOR LINCOLN AVE. CAPITAL, 14 HARVEST WAY, NEWMARKET, NH 03857, EXISTING CONDITIONS PLAN OF LAND WASHINGTON STREET SERVICE ROAD 7 & LYMAN STREET IN PROVIDENCE, RI (PROVIDENCE COUNTY) TOPOGRAPHIC SURVEY, DATED OCTOBER 26, 2022, SCALE 1" = 20'.
 2. THE ABOVE MENTIONED FIELD SURVEY IS BASED ON NAD 1983 HORIZONTAL AND NAVD 1988 VERTICAL DATUM (TEMPORARY BENCH MARKS (TBM) SET) AS DERIVED FROM GPS OBSERVATIONS MADE AT THE TIME OF THE SURVEY.
 3. INFORMATION BY DETEC PROVIDED ON THIS EXISTING CONDITIONS PLAN IS TO AUGMENT THE BASE SURVEY FOR PERMITTING AND DESIGN WITH THE ADDITION OF SITE SPECIFIC FEATURES AND SITE UTILITIES TAKEN FROM RECORDS AND SITE ON-THE-GROUND MEASUREMENTS. THE PE STAMP IS AFFIXED FOR THIS INFORMATION ONLY.
 4. BASED ON FEMA FLOOD INSURANCE RATE MAP (FIRM) FOR THE CITY OF PROVIDENCE, COMMUNITY-PANEL NUMBER 0304J, MAP NUMBER 44007C0304J EFFECTIVE DATE MAP REVISED OCTOBER 2, 2015, THE SITE IS LOCATED IN ZONE 'X' AND OUTSIDE FLOOD ZONE 'A', 'AE', 'AH OR AO' OTHER AREAS (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).

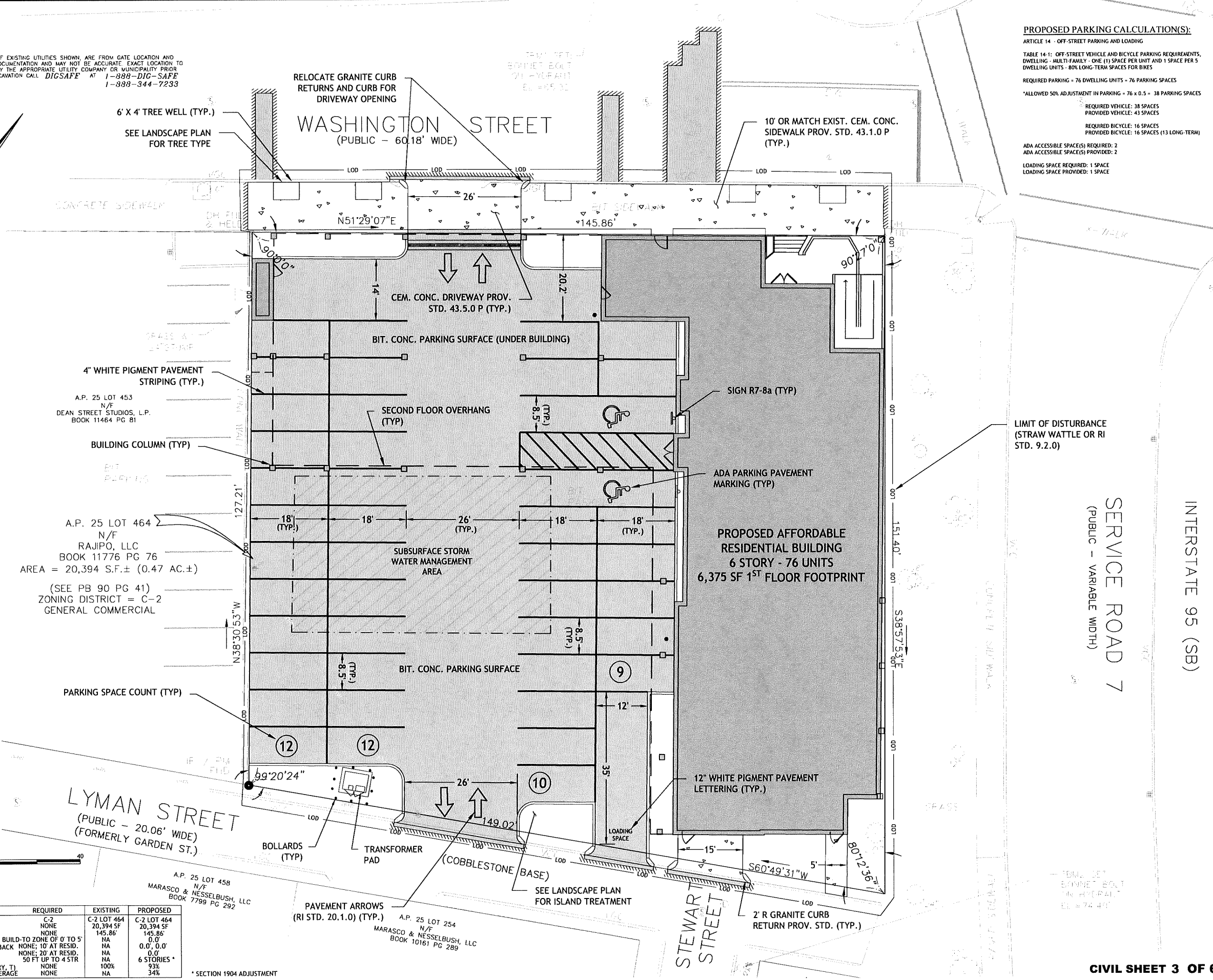
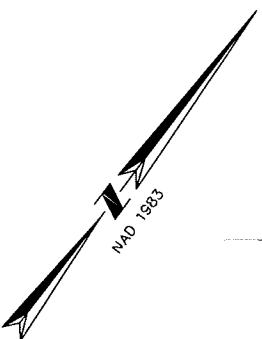
ZONING CRITERIA	REQUIRED	EXISTING
ZONING DISTRICT	C-2	C-2 LOT 464
MINIMUM LOT AREA	NONE	20,394 SF
MINIMUM FRONTAGE AND LOT WIDTH	NONE	145.86'
MINIMUM FRONT ZONE SETBACK	BUILD-TO ZONE OF 0 TO 5'	NA
MINIMUM CORNER/INTERIOR SIDE SETBACK	NONE; 10' AT RESID.	NA
MINIMUM REAR YARD SETBACK	NONE; 20' AT RESID.	NA
MAXIMUM BUILDING HEIGHT	50 FT UP TO 4 STR	NA
MAXIMUM IMPERVIOUS SURFACE (FY, RY, T)	NONE	100%
MAXIMUM BUILDING/IMPERVIOUS COVERAGE	NONE	NA



N022-0003 Lincoln Ave Capital01 322 Washington St. ProvPlan322 Washington St. PLAN SET 11-16-22.dwg Nov. 17, 2022, 4:19pm



LOCATION OF EXISTING UTILITIES SHOWN ARE FROM GATE LOCATION AND EXISTING DOCUMENTATION AND MAY NOT BE ACCURATE. EXACT LOCATION TO BE DONE BY THE APPROPRIATE UTILITY COMPANY OR MUNICIPALITY PRIOR TO ANY EXCAVATION CALL DIGSAFE AT 1-888-DIG-SAFE 1-888-344-7233



PROPOSED PARKING CALCULATIONS(S):
 ARTICLE 14 - OFF-STREET PARKING AND LOADING
 TABLE 14-1: OFF-STREET VEHICLE AND BICYCLE PARKING REQUIREMENTS, DWELLING - MULTI-FAMILY - ONE (1) SPACE PER UNIT AND 1 SPACE PER 5 DWELLING UNITS - 80% LONG-TERM SPACES FOR BIKES
 REQUIRED PARKING = 76 DWELLING UNITS = 76 PARKING SPACES
 *ALLOWED 50% ADJUSTMENT IN PARKING = 76 x 0.5 = 38 PARKING SPACES
 REQUIRED VEHICLE: 38 SPACES
 PROVIDED VEHICLE: 43 SPACES
 REQUIRED BICYCLE: 16 SPACES
 PROVIDED BICYCLE: 16 SPACES (13 LONG-TERM)
 ADA ACCESSIBLE SPACE(S) REQUIRED: 2
 ADA ACCESSIBLE SPACE(S) PROVIDED: 2
 LOADING SPACE REQUIRED: 1 SPACE
 LOADING SPACE PROVIDED: 1 SPACE

Detec.
 DAMICO ENGINEERING TECHNOLOGY, INC.
 Civil - Transportation - Land Use
 2080 Mineral Spring Ave., North Providence, RI 02811
 (401) 622-1470 (401) 353-1190 fax www.damicoengineering.com

DAVID M. DAMICO
 No. 6749
 REGISTERED PROFESSIONAL ENGINEER CIVIL
 11/16/22

322 WASHINGTON ST. PROPOSED RESIDENTIAL DEVELOPMENT
 322 WASHINGTON STREET
 PROVIDENCE, RHODE ISLAND
 AP 25, LOT 464

REVISIONS:

NO.	DATE	DESCRIPTION

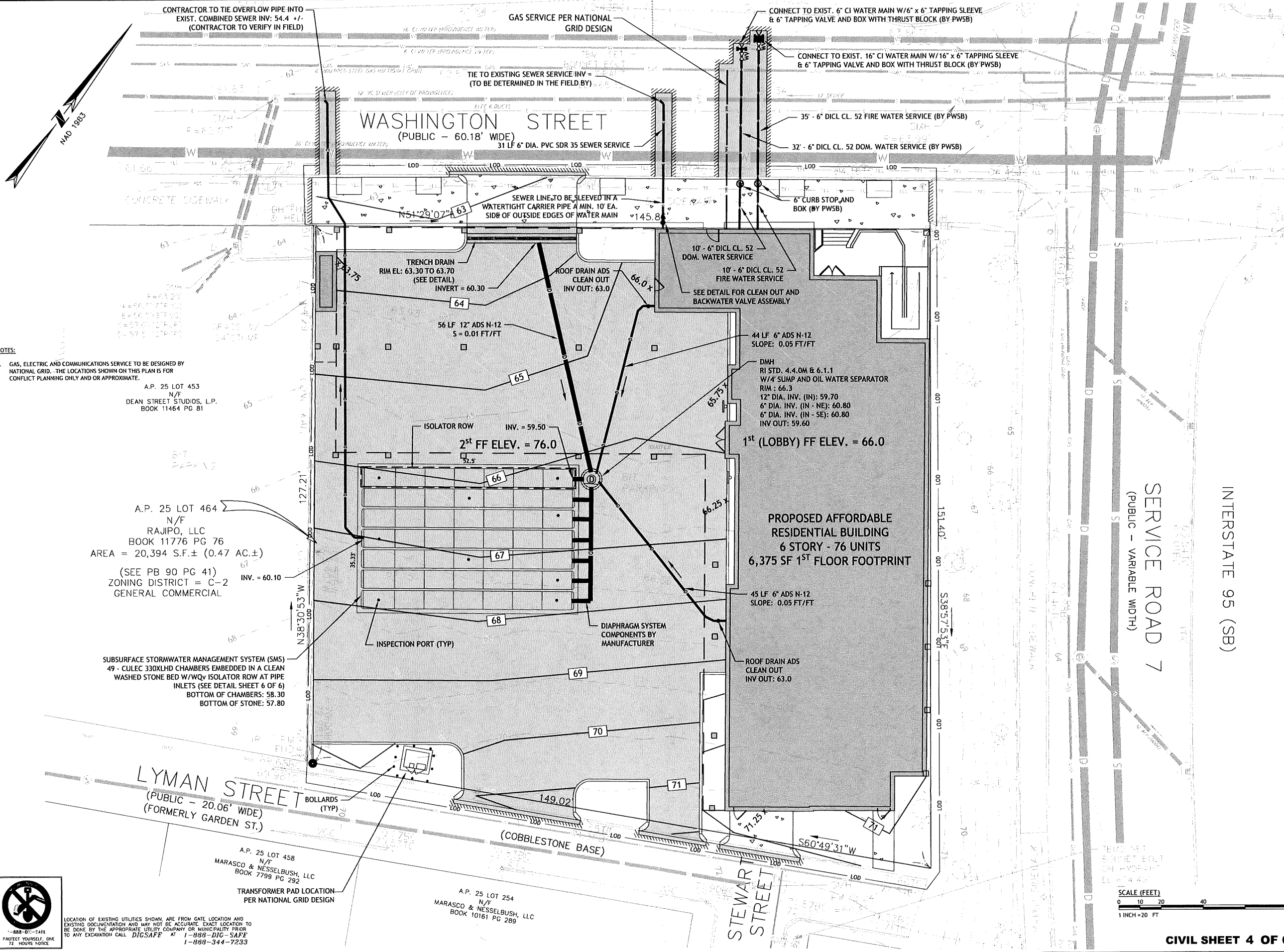
DESIGNED BY: DMD
 DRAWN BY: DMD
 CHECKED BY: DMD
 DATE: OCT., 2022
 PROJECT NO: 22-0003-01

PREMIT PLAN
SITE PLAN
 C3.0

N:\22-0003-01\322 Washington St. Prov\Plan\322 Washington St. PLAN SET 11-16-22.dwg, Nov. 17, 2022 12:24pm

ZONING CRITERIA	REQUIRED	EXISTING	PROPOSED
ZONING DISTRICT	C-2	C-2 LOT 464	C-2 LOT 464
MINIMUM LOT AREA	NONE	20,394 SF	20,394 SF
MINIMUM FRONTAGE AND LOT WIDTH	NONE	145.86'	145.86'
MINIMUM FRONT ZONE SETBACK	BUILD-TO-ZONE OF 0' TO 5'	0.0'	0.0'
MINIMUM CORNER/INTERIOR SIDE SETBACK	NONE; 10' AT RESID.	NA	0.0', 0.0'
MINIMUM REAR YARD SETBACK	NONE; 20' AT RESID.	NA	0.0'
MAXIMUM BUILDING HEIGHT	50 FT UP TO 4 STR	NA	6 STORIES*
MAXIMUM IMPERVIOUS SURFACE (FY, RY, T)	NONE	100%	93%
MAXIMUM BUILDING/IMPERVIOUS COVERAGE	NONE	NA	34%

* SECTION 1904 ADJUSTMENT



NOTES:
 1. GAS, ELECTRIC AND COMMUNICATIONS SERVICE TO BE DESIGNED BY NATIONAL GRID. THE LOCATIONS SHOWN ON THIS PLAN IS FOR CONFLICT PLANNING ONLY AND OR APPROXIMATE.

A.P. 25 LOT 453
 N/F
 DEAN STREET STUDIOS, L.P.
 BOOK 11464 PG 81

A.P. 25 LOT 464
 N/F
 RAJIPO, LLC
 BOOK 11776 PG 76
 AREA = 20,394 S.F.± (0.47 AC.±)
 (SEE PB 90 PG 41)
 ZONING DISTRICT = C-2
 GENERAL COMMERCIAL

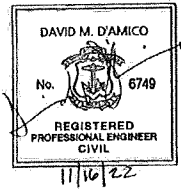
SUBSURFACE STORMWATER MANAGEMENT SYSTEM (SMS)
 49 - CULLEC 330XLHD CHAMBERS EMBEDDED IN A CLEAN WASHED STONE BED W/WQY ISOLATOR ROW AT PIPE INLETS (SEE DETAIL SHEET 6 OF 6)
 BOTTOM OF CHAMBERS: 58.30
 BOTTOM OF STONE: 57.80

A.P. 25 LOT 458
 N/F
 MARASCO & NESSELBUSH, LLC
 BOOK 7799 PG 292
 TRANSFORMER PAD LOCATION
 PER NATIONAL GRID DESIGN

A.P. 25 LOT 254
 N/F
 MARASCO & NESSELBUSH, LLC
 BOOK 10161 PG 289



LOCATION OF EXISTING UTILITIES SHOWN ARE FROM GATE LOCATION AND EXISTING DOCUMENTATION AND MAY NOT BE ACCURATE. EXACT LOCATION TO BE DONE BY THE APPROPRIATE UTILITY COMPANY OR MUNICIPALITY PRIOR TO ANY EXCAVATION CALL DIGSAFE AT 1-888-DIG-SAFE 1-888-344-7233



322 WASHINGTON ST. PROPOSED RESIDENTIAL DEVELOPMENT
 322 WASHINGTON STREET
 PROVIDENCE, RHODE ISLAND
 AP 25, LOT 464

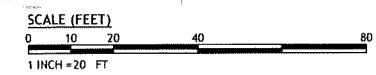
REVISIONS:

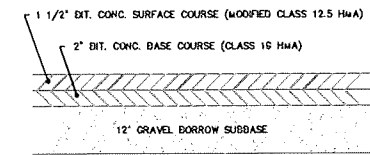
NO.	DATE	DESCRIPTION

DESIGNED BY: DMD
 DRAWN BY:
 CHECKED BY: DMD
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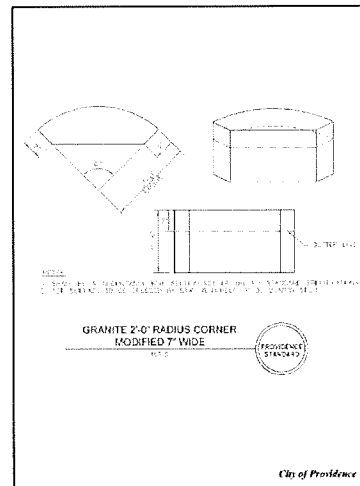
PREMIT PLAN
GRADING DRAINAGE AND UTILITY PLAN

C4.0

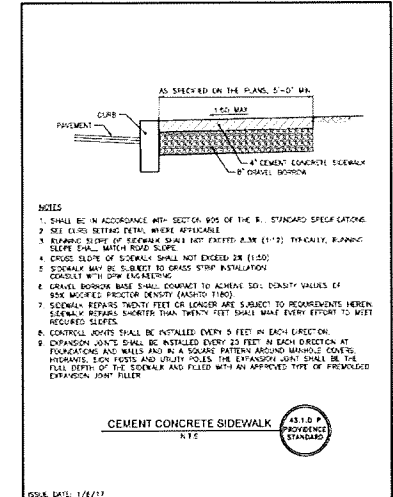




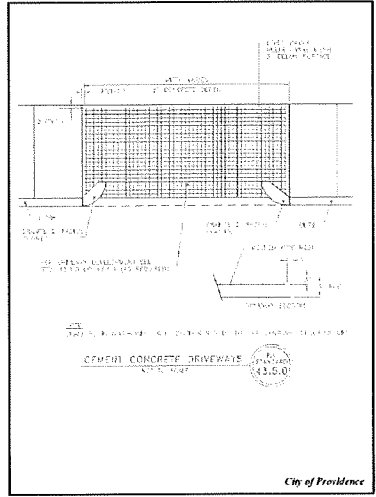
PAVEMENT CROSS SECTION - ON-SITE
NOT TO SCALE



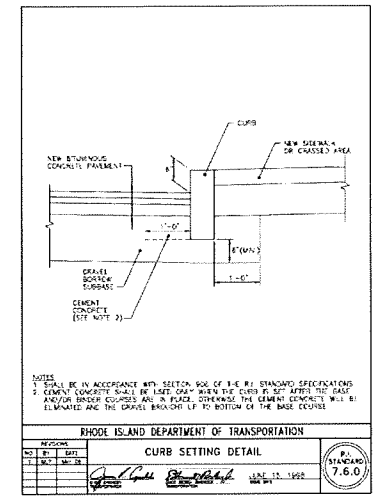
GRANITE 2'-0\"/>



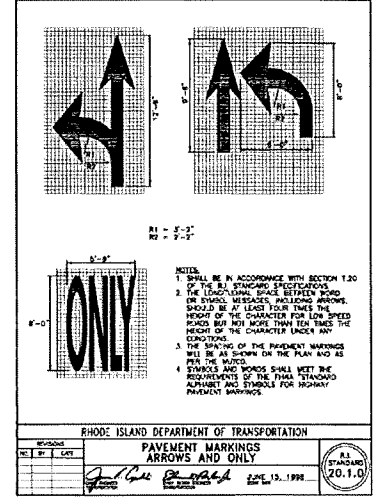
CEMENT CONCRETE SIDEWALK
NOT TO SCALE



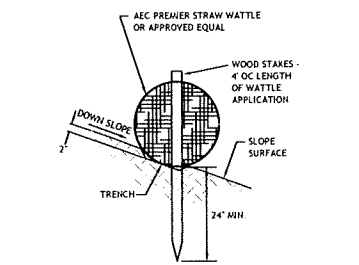
CEMENT CONCRETE DRIVEWAYS
NOT TO SCALE



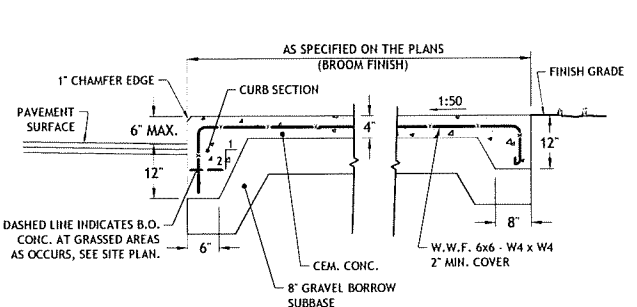
RHODE ISLAND DEPARTMENT OF TRANSPORTATION
CURB SETTING DETAIL
NOT TO SCALE



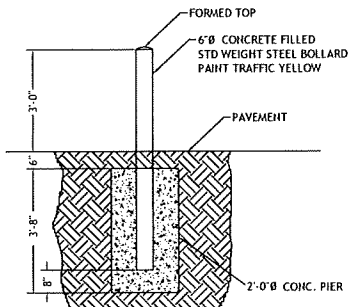
RHODE ISLAND DEPARTMENT OF TRANSPORTATION
PAVEMENT MARKINGS
ARROWS AND ONLY
NOT TO SCALE



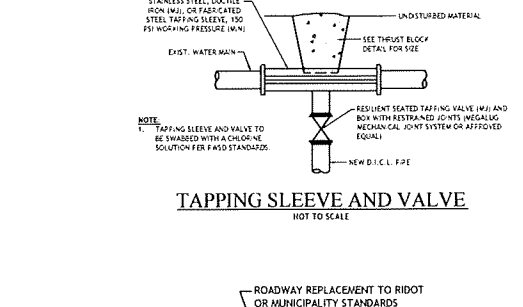
STRAW WATTLE STAKE
DETAIL ON SOIL
N.T.S.



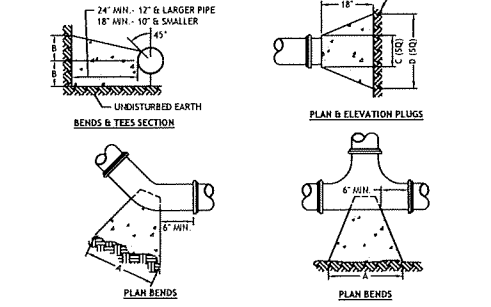
CEMENT CONCRETE PAD OR
WALKWAY - MONOLITHIC POUR
ON-SITE ONLY
N.T.S.



TYPICAL BOLLARD DETAIL
NOT TO SCALE

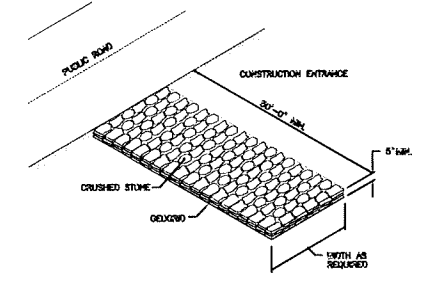


TAPPING SLEEVE AND VALVE
NOT TO SCALE

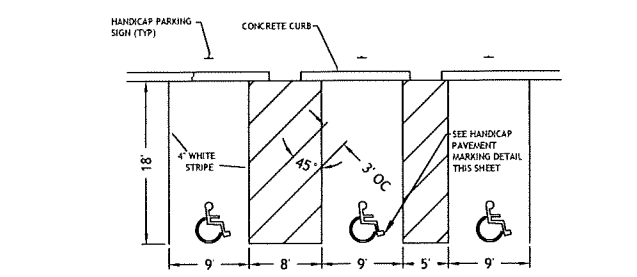


SIZE	TEES	PLUGS	90° BEND	45° BEND	22 1/2° BEND	11 1/4° BEND
	A	B	C	D	A	B
4" x 1"	22"	12"	22"	12"	24"	16"
6"	30"	18"	30"	18"	35"	22"
8"	38"	24"	38"	24"	46"	29"

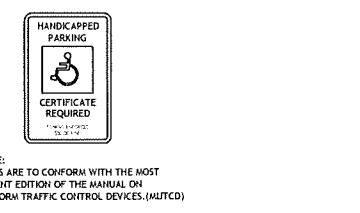
THRUST BLOCK
N.T.S.



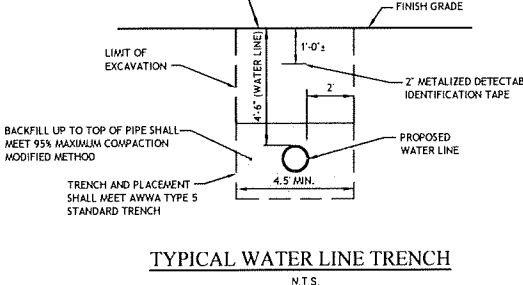
CONSTRUCTION ACCESS
N.T.S.



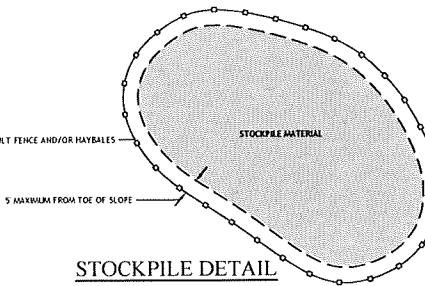
ADA PARKING SIGNS
NOT TO SCALE



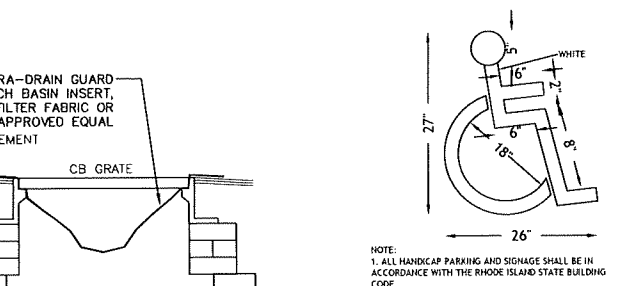
ADA PARKING SIGNS
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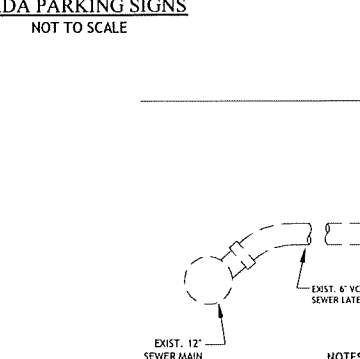
TYPICAL WATER LINE TRENCH
N.T.S.



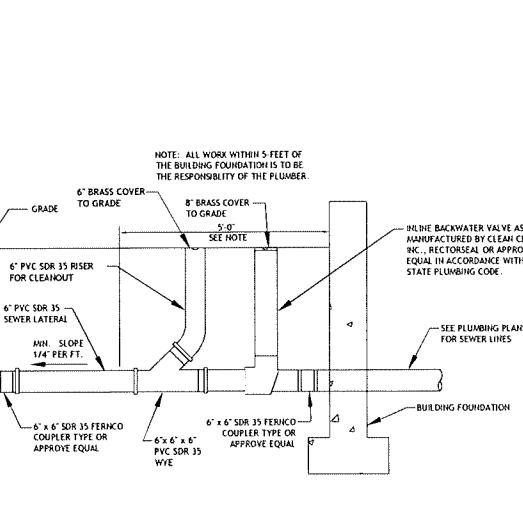
STOCKPILE DETAIL
N.T.S.



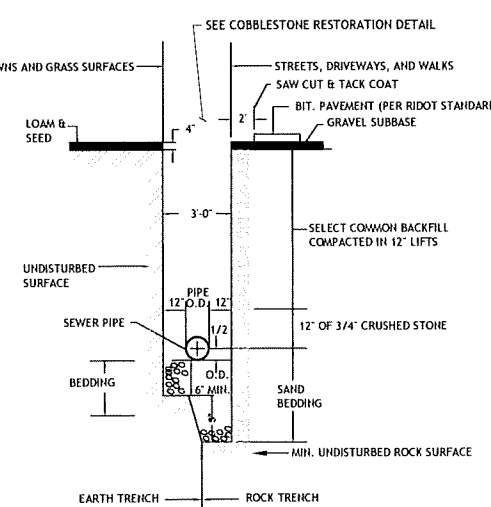
ADA PAVEMENT MARKING
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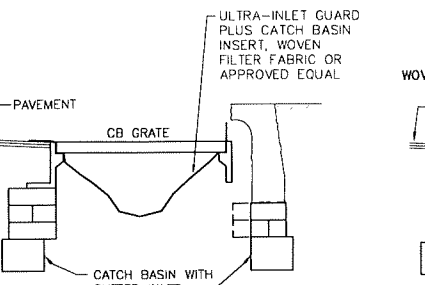
ADA PAVEMENT MARKING
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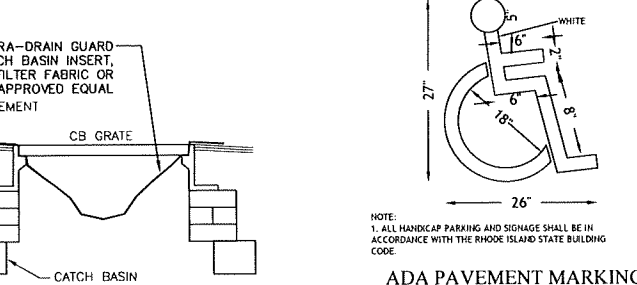
SEWER SERVICE LATERAL DETAIL
NOT TO SCALE



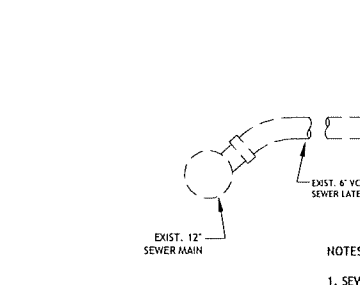
TYPICAL SEWER LINE TRENCH DETAIL
NO SCALE



CATCH BASIN INLET PROTECTION IN
CONSTRUCTION AREA
NOT TO SCALE



CATCH BASIN INLET PROTECTION IN
CONSTRUCTION AREA
NOT TO SCALE



CATCH BASIN INLET PROTECTION IN
CONSTRUCTION AREA
NOT TO SCALE

CATCH BASIN INLET PROTECTION IN
CONSTRUCTION AREA
NOT TO SCALE

CATCH BASIN INLET PROTECTION IN
CONSTRUCTION AREA
NOT TO SCALE

CATCH BASIN INLET PROTECTION IN
CONSTRUCTION AREA
NOT TO SCALE

SEWER SERVICE LATERAL DETAIL
NOT TO SCALE

TYPICAL SEWER LINE TRENCH DETAIL
NO SCALE

CATCH BASIN INLET PROTECTION IN
CONSTRUCTION AREA
NOT TO SCALE

CATCH BASIN INLET PROTECTION IN
CONSTRUCTION AREA
NOT TO SCALE

CATCH BASIN INLET PROTECTION IN
CONSTRUCTION AREA
NOT TO SCALE

SEWER SERVICE LATERAL DETAIL
NOT TO SCALE

TYPICAL SEWER LINE TRENCH DETAIL
NO SCALE

DETec
DAMICO ENGINEERING TECHNOLOGY, INC.
Civil Transportation Land Use
2080 Mineral Spring Ave., North Providence, RI 02911
(401) 852-1470 (401) 353-1190 fax www.damicoengtec.com

DAVID M. DAMICO
No. 6749
REGISTERED PROFESSIONAL ENGINEER
CIVIL
11/16/22

322 WASHINGTON ST. PROPOSED
RESIDENTIAL DEVELOPMENT
322 WASHINGTON STREET
PROVIDENCE, RHODE ISLAND
AP 25, LOT 464

REVISIONS

NO.	DATE	DESCRIPTION

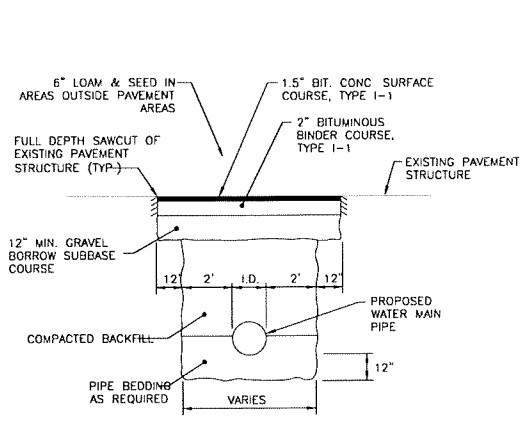
DESIGNED BY: DMD
DRAWN BY:
CHECKED BY: DMD
DATE: OCT. 2022
PROJECT NO: 22-0003-01

PREMIT PLAN

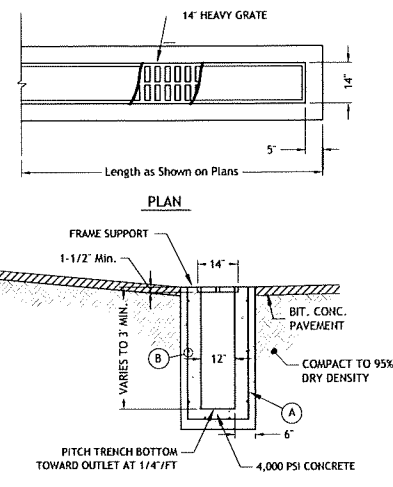
SITE
DETAILS 1

C5.0

N:\22-0003-0003-01\cshet 5.dwg Nov. 16, 2022 5:22pm



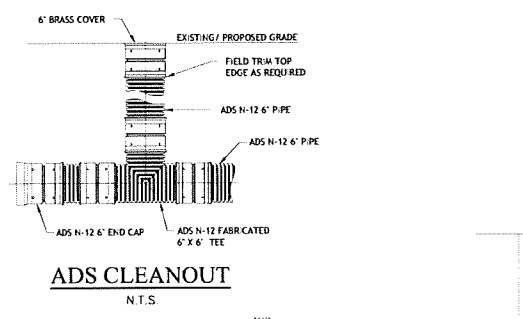
TYPICAL TRENCH AND PAVEMENT PATCH DETAIL
NOT TO SCALE



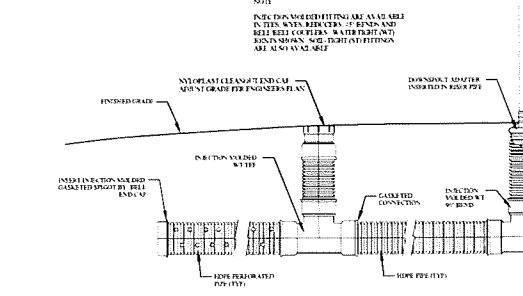
TRENCH DRAIN
NOT TO SCALE

USE NEENAH TYPE A FRAME SECTION WITH TRENCH DRAIN COVER AND CAST INTO CONCRETE AT VEHICULAR CROSSINGS IN ASSOCIATION WITH COVER TYPE NEENAH R-4990-DX

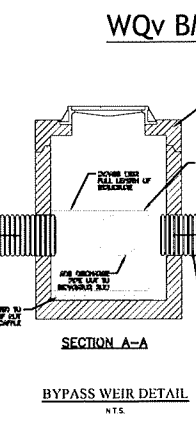
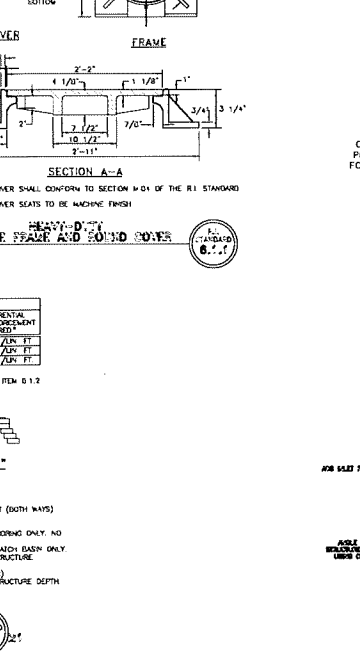
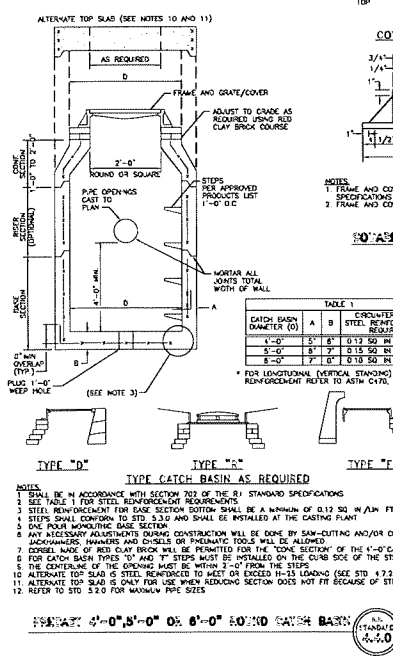
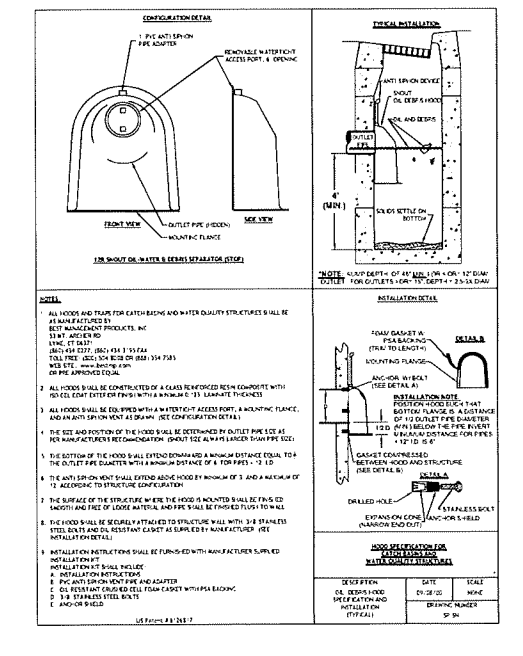
REINFORCEMENT TO BE:
A. 1" BARS #4 12" BOTTOM LEG TO BE 12" VERTICAL LEG.
B. LONGITUDINAL BARS #4 AT 9" WITH 20" LAP GAP TO REINFORCEMENT 2" MIN. TO ANY FACE.



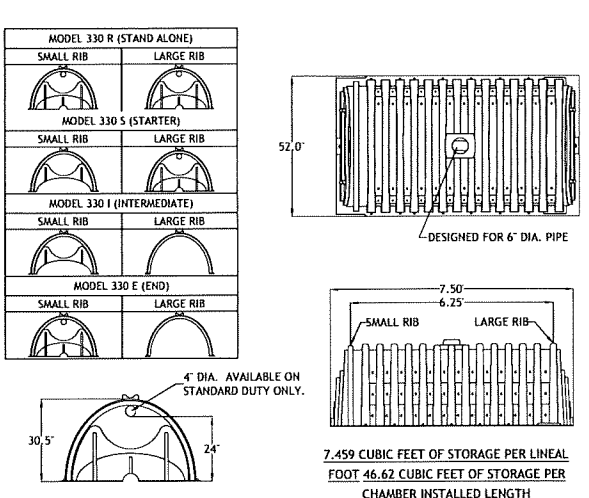
ADS CLEANOUT
N.T.S.



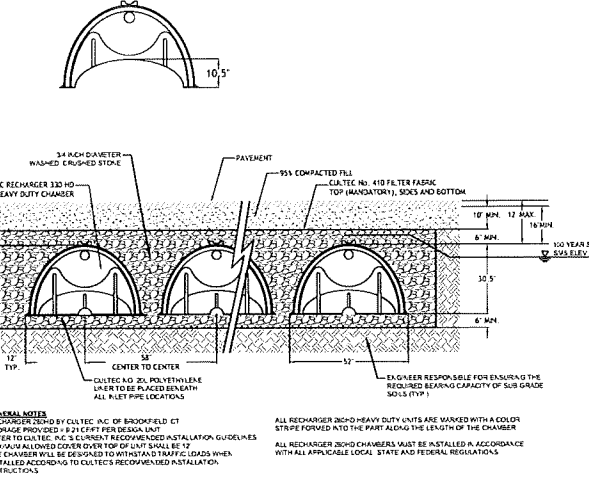
ROOF DRAIN W/CLEAN OUT DETAIL:
N.T.S.



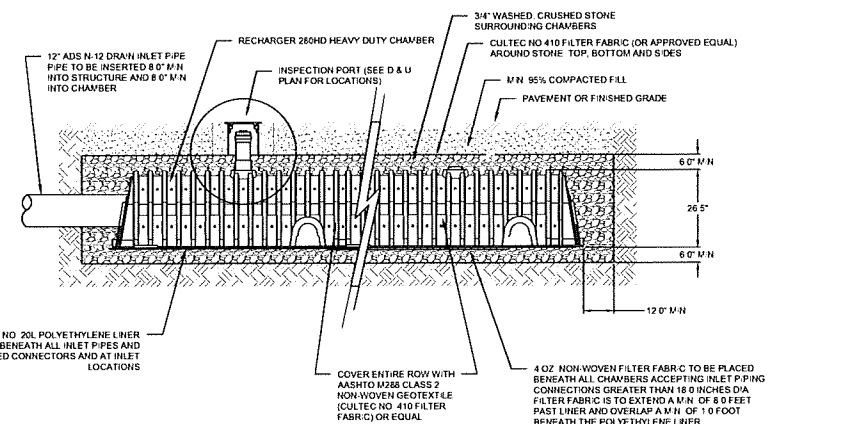
BYPASS WEIR DETAIL
N.T.S.



- CULTEC RECHARGER 330 SPECIFICATIONS**
- GENERAL**
CULTEC RECHARGER 330 CHAMBERS ARE DESIGNED FOR UNDERGROUND STORMWATER AND/OR ON-SITE WASTEWATER MANAGEMENT. THE CHAMBERS MAY BE USED FOR RETENTION, RECHARGING, DETENTION, CONTROLLING THE FLOW OF ON-SITE STORMWATER RUNOFF OR AS SEPTIC LEACHFIELDS.
- CHAMBER PROPERTIES**
- THE CHAMBERS WILL BE MANUFACTURED BY CULTEC, INC. BROOKFIELD, CT (203-775-4416)
 - CONTACT CULTEC, INC. AT 203-775-4416 FOR SUBMITTAL PACKAGES AND TO PURCHASE PRODUCT.
 - THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC RECHARGER 330 SHALL BE 30.5 INCHES TALL, 52 INCHES WIDE AND 7.5 FEET LONG. THE INSTALLED LENGTH OF INTERMEDIATE UNITS SHALL BE 6.25 FEET.
 - THE STANDARD-DUTY VERSION OF THE CHAMBER COMES STANDARD WITH A 4.75 INCH INLET/OUTLET. MAXIMUM INLET OPENING IS 24 INCHES.
 - THE HEAVY-DUTY CHAMBER WILL HAVE 15 CORRUGATIONS. THE STANDARD-DUTY CHAMBER WILL HAVE 14 CORRUGATIONS.
 - THE NOMINAL STORAGE VOLUME OF THE RECHARGER 330HD WILL BE 7.459 CF/AF.
 - THE CHAMBERS WILL BE VACUUM THERMOFORMED OF BLACK HIGH MOLECULAR WEIGHT HIGH DENSITY POLYETHYLENE (HDPE) IN AN ISO 9001:2000 CERTIFIED FACILITY.
 - CHAMBERS ARE MANUFACTURED WITH AN OPEN BOTTOM, INTEGRALLY FORMED END WALLS AND PERFORATED SIDEWALLS.
 - THE CHAMBERS WILL BE JOINED USING AN INTERLOCKING OVERLAPPING RIB METHOD. CONNECTIONS MUST BE FULLY SHOULDERED OVERLAPPING RIBS, HAVING NO SEPARATE COUPLINGS OR SEPARATE END WALLS.
 - THE CHAMBERS END WALL WILL BE AN INTEGRAL PART OF THE CONTINUOUSLY FORMED UNIT. SEPARATE INLET OR END PLATES CANNOT BE USED WITH THIS UNIT.
 - THE RECHARGER 330R STAND-ALONE UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO FULLY FORMED INTEGRAL END WALLS.
 - THE RECHARGER 330S STARTER CHAMBER MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY FORMED INTEGRAL END WALL AND ONE PARTIALLY FORMED INTEGRAL ENDWALL WITH A LOWER TRANSFER OPENING OF 10.5 INCHES HIGH X 40.5 INCHES WIDE.
 - THE RECHARGER 330I INTERMEDIATE CHAMBER MUST BE FORMED AS A WHOLE CHAMBER HAVING AT LEAST ONE FULLY FORMED INTEGRAL END WALL AND ONE PARTIALLY FORMED INTEGRAL ENDWALL WITH A LOWER TRANSFER OPENING OF 10.5 INCHES HIGH X 40.5 INCHES WIDE.
 - THE RECHARGER 330E END CHAMBER MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY FORMED INTEGRAL END WALL.
 - ALL CHAMBERS WILL BE ARCHED IN SHAPE. THE HEAVY-DUTY CHAMBER WILL HAVE SEVENTY-EIGHT 1/2 INCH ROUND DISCHARGE HOLES, THE STANDARD-DUTY CHAMBER WILL HAVE SEVENTY-TWO 1/2 INCH ROUND DISCHARGE HOLES BORED INTO THE SIDEWALLS OF THE UNIT'S CORE TO PROMOTE INFILTRATION/EXFILTRATION.
 - CHAMBERS MUST HAVE HORIZONTAL STIFFENING FLEX REDUCTION STEPS BETWEEN THE RIBS.
 - RECHARGER 330HD HEAVY-DUTY CHAMBERS ARE DESIGNED TO WITHSTAND AASHTO H-20 LOAD RATING (22,000 LBS/AXLE) WHEN INSTALLED ACCORDING TO CULTEC'S MOST CURRENT INSTALLATION INSTRUCTIONS. RECHARGER 330HD HEAVY-DUTY UNITS ARE DESIGNATED BY A COLORED STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER.
 - RECHARGER 330 STANDARD-DUTY CHAMBERS ARE DESIGNED TO WITHSTAND AASHTO H-10 LOAD RATING (16,000 LBS/AXLE) WHEN INSTALLED ACCORDING TO CULTEC'S MOST CURRENT INSTALLATION INSTRUCTIONS.
 - POLYETHYLENE CHAMBERS MUST HAVE THE ABILITY TO ACCEPT AND CARRY PIPE THROUGH ITS INTEGRALLY FORMED VERTICAL SUPPORT WALL WITHOUT THE USE OF SEPARATE PIPE HANGERS.
 - UNITS WILL HAVE A RAISED INTEGRAL CAP AT THE TOP OF THE ARCH IN THE CENTER OF EACH UNIT. TO BE USED AS AN OPTIONAL INSPECTION PORT OR CLEAN-OUT.
 - THE UNITS MAY BE TRIMMED TO CUSTOM LENGTHS BY CUTTING BACK TO ANY CORRUGATION.
 - REPEATING SUPPORT PANELS AND END WALLS OF THE ELONGATED CHAMBER SHALL BE SPACED EVERY 6.25 FEET.



CROSS SECTION VIEW FOR SMS
NOT TO SCALE

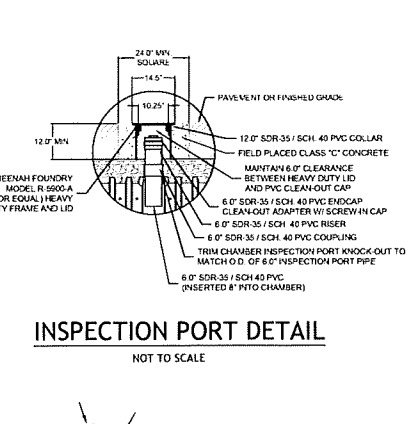


WQv BMP SEPARATOR-TM ROWS (TYP)
NOT TO SCALE

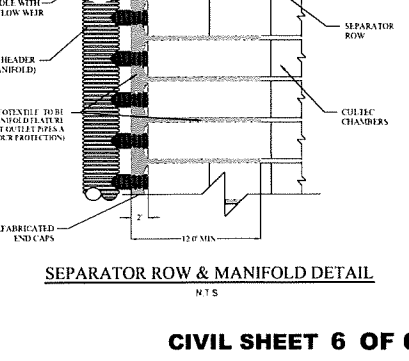
- CULTEC NO. 20L™ POLYETHYLENE LINER**
- GENERAL**
CULTEC NO. 20L™ POLYETHYLENE LINER IS DESIGNED AS AN IMPERVIOUS UNDERLAYMENT TO PREVENT SCOURING OF THE STONE BASE CAUSED BY WATER MOVEMENT WITHIN THE CULTEC SYSTEM. CULTEC NO. 20L™ POLYETHYLENE LINER IS TO BE PLACED BENEATH HDV FC-24 FEED CONNECTORS WHEN UTILIZING INTERNAL MANIFOLD AND BENEATH ALL INLET PIPES.
- LINER PARAMETERS**
- THE LINER WILL BE PROVIDED BY CULTEC, INC. OF BROOKFIELD, CT (203-775-4416 OR 1-800-428-5832)
 - THE LINER WILL BE BLACK IN APPEARANCE.
 - THE LINER WILL HAVE A NOMINAL THICKNESS OF 20 MIL (0.51 mm)
 - THE LINER WILL HAVE A WEIGHT OF 93 LBS/MSF.
 - THE LINER WILL HAVE A TENSILE STRENGTH @ BREAK 1" OF 75 LBS PER ASTM D6993 TESTING METHOD.
 - THE LINER WILL HAVE AN ELONGATION AT BREAK OF 600% PER ASTM D6993 TESTING METHOD.
 - THE LINER WILL HAVE A TEAR RESISTANCE OF 11 LBF PER ASTM D1004 TESTING METHOD.
 - THE LINER WILL HAVE A HYDROSTATIC RESISTANCE OF 100 PSI PER ASTM D751 TESTING METHOD.
 - THE LINER WILL HAVE A PUNCTURE RESISTANCE OF 30 LBF PER ASTM D4833 TESTING METHOD.
 - THE LINER WILL HAVE A VOLATILE LOSS OF <1% PER ASTM D1203 TESTING METHOD.
 - THE LINER WILL HAVE A DIMENSIONAL STABILITY OF <2% PER ASTM D1204 TESTING METHOD.
 - THE LINER WILL HAVE A MAXIMUM USE TEMPERATURE OF 180° F (82° C)
 - THE LINER WILL HAVE A MINIMUM USE TEMPERATURE OF -70° F (-57° C)
 - THE LINER WILL HAVE A PERM RATING OF 0.041 U.S. PERMS (0.027 METRIC PERMS) PER ASTM E96 METHOD.
 - THE LINER WILL CONSIST OF A BLENDED LINEAR POLYETHYLENE.
 - THE LINER WILL NOT CONTAIN PLASTICIZERS.



INSPECTION PORT DETAIL
NOT TO SCALE



SEPARATOR ROW & MANIFOLD DETAIL
N.T.S.



SEPARATOR ROW & MANIFOLD DETAIL
N.T.S.

Petec
D'AMICO ENGINEERING TECHNOLOGY, INC.
Civil - Transportation Land Use
2080 Mineral Spring Ave., North Providence, RI 02911
(401) 622-1470 (401) 353-1190 fax www.damicoeng.com

DAVID M. D'AMICO
No. 6749
REGISTERED PROFESSIONAL ENGINEER
CIVIL
11/16/22

322 WASHINGTON ST. PROPOSED
RESIDENTIAL DEVELOPMENT
322 WASHINGTON STREET
PROVIDENCE, RHODE ISLAND
AP 25, LOT 464

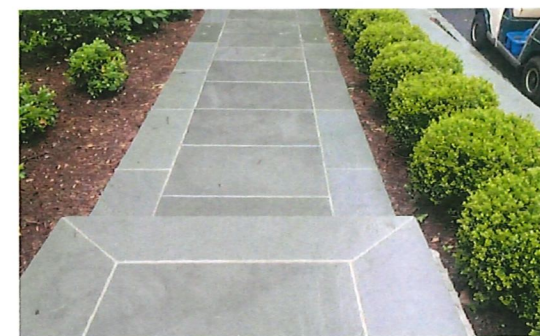
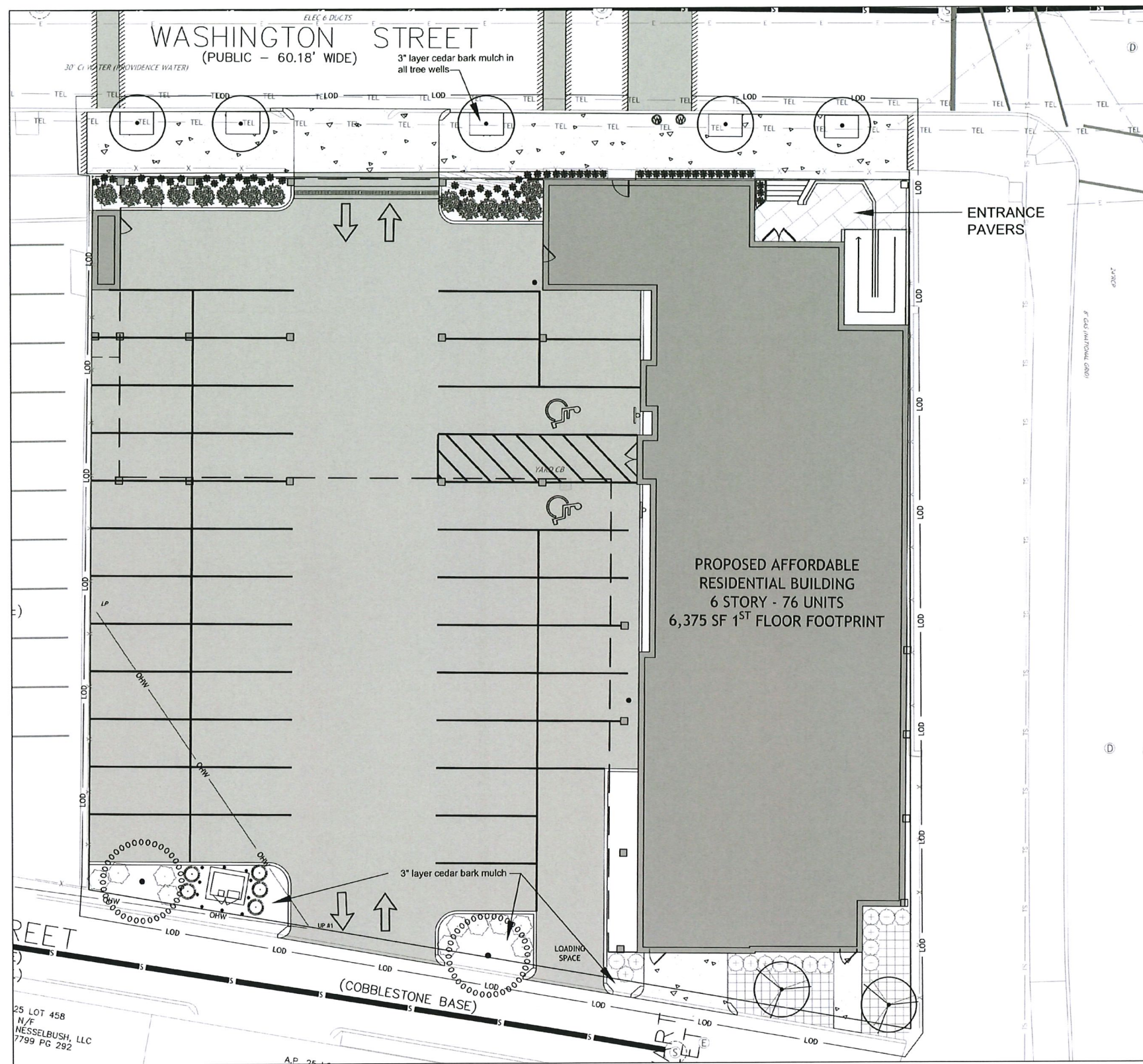
REVISIONS:
NO. DATE DESCRIPTION

DESIGNED BY: DMD
DRAWN BY: DMD
CHECKED BY: DMD
DATE: OCT, 2022
PROJECT NO: 22-0003-01

PREMIT PLAN

SITE DETAILS 2

C5.1



Example of bluestone pavers suggested for entrance

PROVIDENCE LANDSCAPE PLANNING DATA
ARTICLE 15 ZONING ORDINANCE, Trees and Landscaping

ZONING CRITERIA	REQUIRED	PROPOSED	ARTICLE 15
SIZE OF SHADE TREES AT PLANTING	2" CALIPER	2 1/2" CALIPER	1502.C.1
SIZE OF EVERGREEN TREES AT PLANTING	6 FEET HIGH	6 FEET HIGH	1502.C.2
SIZE OF ORNAMENTAL TREES AT PLANTING	2 INCH CALIPER	3 INCH CALIPER	1502.C.4
SIZE OF LARGE SHRUBS AT PLANTING	3 FEET HIGH	3 FEET HIGH	1502.C.4
SIZE OF SMALL SHRUBS AT PLANTING	18 INCHES HIGH	18 INCHES HIGH	1502.C.4
REQUIRED TREE CANOPY	15% OF TOTAL LOT FOR C-2 COMMERCIAL ZONE CALCULATIONS: Total Lot square footage = 20,384 SF X 15% = 3,058 square feet Minimum shading required.	8,400 SQUARE FEET PROVIDED CALCULATIONS: 8 large trees (1,000ft ²)=8,000 square feet 2 small trees (700ft ²)=1,400 square feet	1503.C.1
PARKING LOT PERIMETER LANDSCAPE STRIP	PERIMETER LANDSCAPE STRIP SHALL BE MINIMUM 5 FEET WIDE AND HAVE 1 SHADE TREE EVERY 25 FEET SPACED LINEARLY. THE LANDSCAPE STRIP SHALL BE PLANTED OVER A MINIMUM OF 80% OF ITS LENGTH WITH LARGE SHRUBS. CALCULATIONS: Lyman Street Parking Lot=60 linear feet enclosing curb cuts or 3 trees @1/2" AND 35 linear feet of shrubs	2 SHADE TREES AND 40 LINEAR FEET OF SHRUBS	1504.A-C
INTERIOR PARKING LOT LANDSCAPING	PARKING LOTS OVER 20,000 GROSS SQUARE FEET: 1 ISLAND EVERY 10 SPACES FOR LANDSCAPING 1 SHADE TREE/ISLAND	N/A PARKING LOT UNDER 20,000 SQUARE FEET (11,525 SF)	1505.A-E
SCREENING OF PARKING LOTS FROM RESIDENTIAL EXTRACTS	4 FOOT SCREEN REQUIRED BETWEEN RESIDENTIAL LOT AND PARKING	N/A	1506

PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	B&B	CALIPER	
	ARA1	2	Acer rubrum 'Armstrong' / Armstrong Red Maple	B & B	2.5" Cal	
	GB	5	Ginkgo biloba 'Princeton Sentry' / Princeton Sentry Ginkgo Male trees only	B & B	2.5" Cal	
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	B&B	CALIPER	
	TH	5	Thuja occidentalis 'Hill's Dark Green' / Hill's Dark Green Arborvitae	B & B		
FLOWERING TREES	CODE	QTY	BOTANICAL / COMMON NAME	B&B	CALIPER	
	PC12	2	Prunus sargentii 'Columnaris' / Columnar Sargent Cherry	B & B	2.5" Cal	
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT/B&B	SIZE	
	IN2	10	Ilex glabra 'Nordic' / Nordic Inkberry	CONT	5 gal	
	SM	16	Spiraea japonica 'Magic Carpet' / Magic Carpet Spirea	CONT	5 gal	
PERENNIALS	CODE	QTY	BOTANICAL / COMMON NAME	CONT/B&B	SIZE	
	ACF	58	Astilbe chinensis 'Finale' / Chinese Astilbe	1 gal		
	HF4	14	Hosta x 'Frances Williams' / Plantain Lily	1 gal		
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT/FLAT	SIZE	SPACING
	CATT	52	Cotoneaster adpressus 'Tom Thumb' / Early Cotoneaster	1 gal		36" o.c.
	PS7	12	Pachysandra terminais 'Green Sheen' / Pachysandra	1 gal		24" o.c.

Ed Wojcik
 architect, ltd
 One Richmond Square
 Providence, RI 02906
 401 • 861 • 7139
 Fax: 401 • 861 • 7165

New Development for:
322 Washington St.
 Residential Units

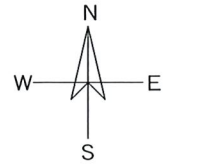
322 Washington Street
 Providence, RI 02903

SHEET CONTENTS:

PROJECT # 3722

DATE: 09/28/2022
 REVISED DATE:

Diane C. Soule & Associates, AS A
 Landscape Architecture
 422 Farnum Pike
 Smithfield, Rhode Island 02917
 www.dianesouleandassociates.com
 401.231.0736
 email: diane@dcsaw.com



New Development for:
322 Washington St.
 Residential Units

322 Washington Street
 Providence, RI 02903

SHEET CONTENTS:

City Context

PROJECT # 3722

DATE: 11/14/2022
 REVISED DATE:

PRELIMINARY - NOT FOR CONSTRUCTION

ZONING SUMMARY:
 ZONING DISTRICT: C-2
 ALLOWABLE BUILDING HEIGHT: 50'-0" 4 STORES
 MINIMUM SETBACKS: FRONT 20' GROUND FLOOR
 REAR 10' GROUND FLOOR
 INTERIOR SIDE NONE
 CORNER SIDE C-2
 REAR NONE

PARKING TOTAL: 1 PER UNIT

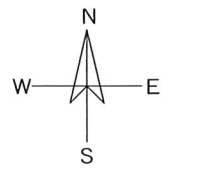
2022 R.I. BUILDING CODE SUMMARY:
 USE GROUP: R-2
 BUILDING TYPE: VA SPRINKLERED



LOCUS MAP

1" = 20'-0"

Ed Wojcik
 architect, ltd
 One Richmond Square
 Providence, RI 02906
 401-861-7139
 Fax: 401-861-7165



New Development for:
322 Washington St.
 Residential Units

322 Washington Street
 Providence, RI 02903

PRELIMINARY - NOT FOR CONSTRUCTION

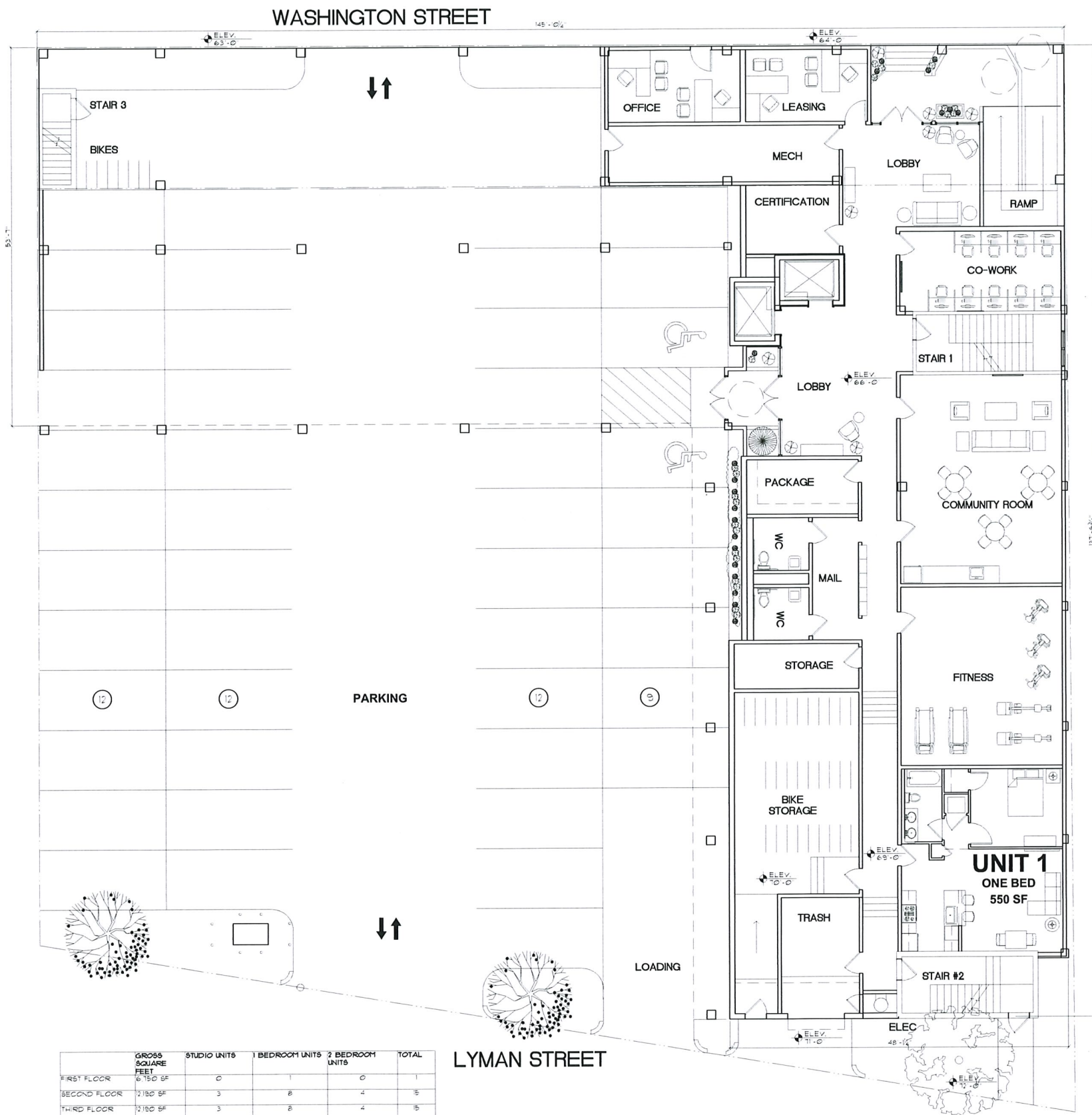
SHEET CONTENTS:

City Context

PROJECT # 3722

DATE: 11/14/2022
 REVISED DATE:

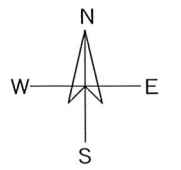
A-2



ZONING SUMMARY:
 ZONING DISTRICT: C-1
 PARKING TOTAL: 45
 PROPOSED PARKING SDV OF 76 x 38
 ALLOWABLE BUILDING HEIGHT: 50'-0" - 4 STORES
 ADJUSTMENT FOR AFFORDABLE: 65'-6" - 6 STORES

2021 RI BUILDING CODE SUMMARY:
 USE GROUP: R-2 WITH BUSINESS (MIXED USE)
 BUILDING TYPE: 1B SPRINKLERED
 TYPICAL SQUARE FOOT FLOOR AREA: 6,150 SF
 FIRST FLOOR AREA: 6,100 SF
 TOTAL: 6,100 SF

Ed Wojcik
architect, ltd
 One Richmond Square
 Providence, RI 02906
 401-861-7139
 Fax: 401-861-7165



New Development for:
322 Washington St.
 Residential Units

322 Washington Street
 Providence, RI 02903

SHEET CONTENTS:
 First Floor and Parking
 Plan

PROJECT # 3722

DATE: 11/14/2022
 REVISED DATE:

PRELIMINARY - NOT FOR CONSTRUCTION

A-3

	GROSS SQUARE FEET	STUDIO UNITS	BEDROOM UNITS	2 BEDROOM UNITS	TOTAL
FIRST FLOOR	6,150 SF	0	1	0	1
SECOND FLOOR	7,180 SF	3	8	4	15
THIRD FLOOR	7,180 SF	3	8	4	15
FOURTH FLOOR	7,180 SF	3	8	4	15
FIFTH FLOOR	7,180 SF	3	8	4	15
SIXTH FLOOR	7,180 SF	3	8	4	15
TOTAL	61,100 SF	15	41	20	76

FIRST FLOOR PLAN

1/8" = 1'-0"



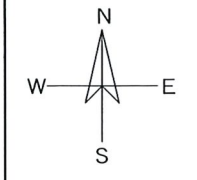
(3) STUDIO UNITS/ FLOOR: +/- 400 NET SF
 (8) ONE BEDROOM UNITS/ FLOOR: +/- 600 NET SF
 (4) TWO BEDROOM UNITS/ FLOOR: +/- 800 NET SF
 TOTAL BUILDING AREA PER FLOOR: 12,190 SF

	GROSS SQUARE FEET	STUDIO UNITS	1 BEDROOM UNITS	2 BEDROOM UNITS	TOTAL
FIRST FLOOR	6,750 SF	0	1	0	1
SECOND FLOOR	2,180 SF	3	8	4	15
THIRD FLOOR	2,180 SF	3	8	4	15
FOURTH FLOOR	2,180 SF	3	8	4	15
FIFTH FLOOR	2,180 SF	3	8	4	15
SIXTH FLOOR	2,180 SF	3	8	4	15
TOTAL	61,100 SF	15	41	20	76

TYPICAL FLOOR PLAN

1/8" = 1'-0"

Ed Wojcik
 architect, ltd
 One Richmond Square
 Providence, RI 02906
 401-861-7139
 Fax: 401-861-7165



New Development for:
322 Washington St.
 Residential Units

322 Washington Street
 Providence, RI 02903

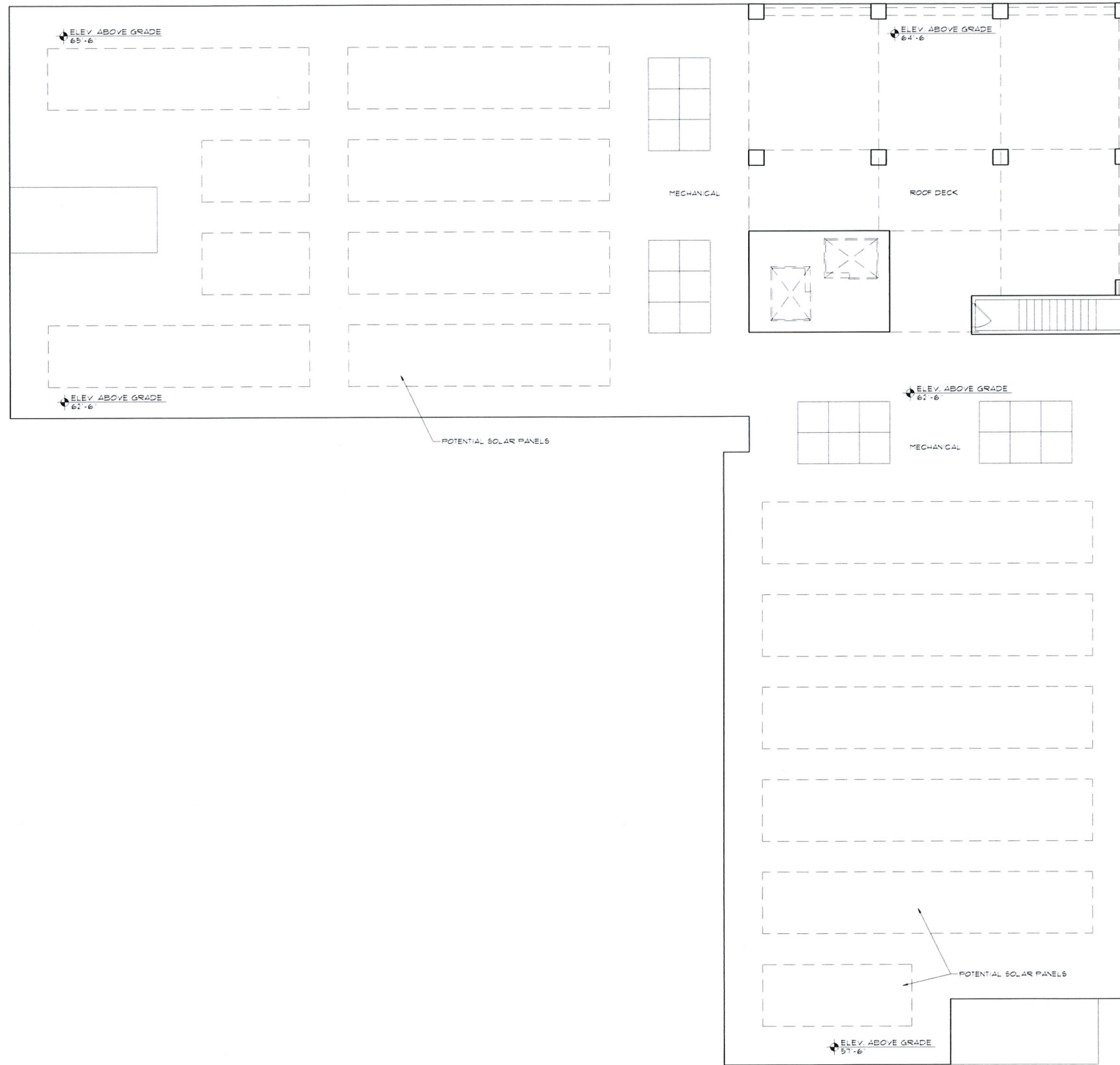
SHEET CONTENTS:
 Proposed Floor Plan

PRELIMINARY - NOT FOR CONSTRUCTION

PROJECT # 3722

DATE: 11/14/2022
 REVISED DATE:

A-4



ROOF PLAN

1/2" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

SHEET CONTENTS:
Proposed Roof Plan

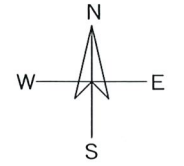
PROJECT # 3722

DATE: 11/14/2022
REVISED DATE:

A-6

New Development for:
322 Washington St.
Residential Units

322 Washington Street
Providence, RI 02903



Ed Wojcik
architect, ltd
One Richmond Square
Providence, RI 02906
401 - 861 - 7139
Fax: 401 - 861 - 7165



GROUND PERSPECTIVE RENDERING



Ed Wojcik
architect, ltd
One Richmond Square
Providence, RI 02906
401-861-7139
Fax: 401-861-7165

New Development for:
**322 Washington St.
Residential Units**

322 Washington Street
Providence, RI 02903

SHEET CONTENTS:
Ground Perspective
Rendering

PROJECT # 3722

DATE: 11/14/2022
REVISED DATE:

PRELIMINARY - NOT FOR CONSTRUCTION

A-7



SCREEN DETAIL (3) NTS



NORTH ELEVATION - WASHINGTON STREET (1) 3/32" = 1'-0"



EAST ELEVATION (2) 3/32" = 1'-0"



WEST ELEVATION

1 3/32" = 1'-0"



WEST ELEVATION

2 3/32" = 1'-0"



SOUTH ELEVATION

1 3/32" = 1'-0"



SOUTH ELEVATION

2 3/32" = 1'-0"