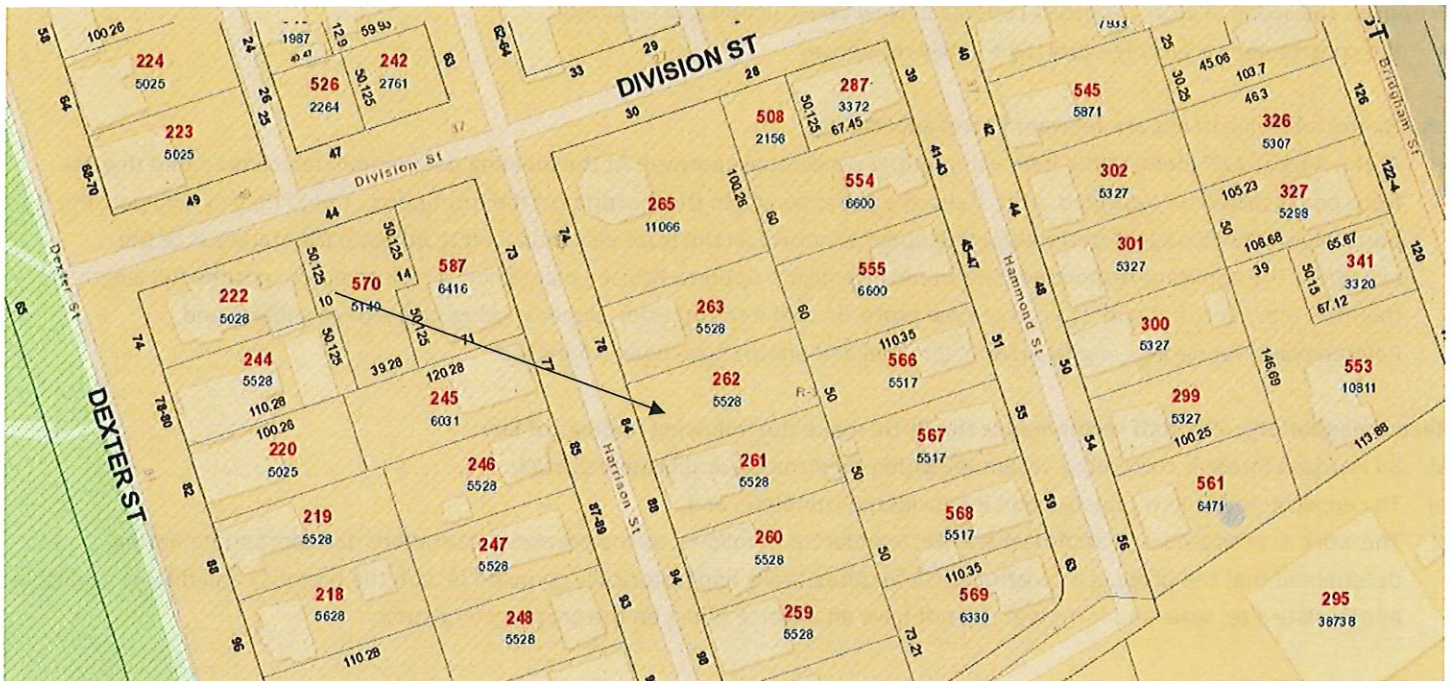


PROJECT REVIEW

- 1. CASE 22.074, 84 HARRISON STREET, Vacant lot (ARMORY)**
Currently a Vacant lot within the Broadway/Armory NRHD



Arrow indicates 84 Harrison Street.



Arrow indicates project location, looking north.

Applicants/Owners: Michael & Jennifer Gazdacko, 78 Harrison Street, Providence, RI 02909

Designer/Builder: Glenn Buie, Housewrights DBC, 363 Cedar Ave, East Greenwich, RI 02818

Proposal: The scope of work proposed consists of New Construction and includes:

- the construction of a three-story, two-family residence.

Issues: The following issues are relevant to this application:

- At the August 22nd meeting the item was granted conceptual approval; At the meeting the Commission commented that the front porch should be extended. Also, stairs are currently within the footprint of the front porch. Could they extend past the porch element? Also suggested shifting the upper windows on the front elevation a bit to mitigate the starkness of the elevation. The applicant responded they would investigate options. Revised plans show a revised porch, not the full length of the front elevation, but with stairs that now protrude to the south (side). Upper windows have been shifted; and,
- Revised plans, renderings, digital animated model and photos have been submitted.

Recommendations: The staff recommends the PHDC make the following findings of fact:

- a) 84 Harrison Street is currently a vacant lot within the Armory local historic district;
- b) The application for New Construction is considered complete; and,
- c) The work as proposed is in accord with PHDC Standard 8 as follows: as the proposed alterations are appropriate having determined that the proposed construction is architecturally and historically compatible with the property and district having an appropriate size, scale and form that will not have an adverse effect on the property or district.

Staff recommends a motion be made stating that: The application is considered complete. 84 Harrison Street is currently a vacant lot within the Armory local historic district. The Commission grants approval of the proposal as submitted having determined that the proposed new construction is appropriate as it is architecturally and historically compatible with the property and district having an appropriate size, scale and form that will not have an adverse effect on the property or district, citing and agreeing to the recommendations in the staff report, with a sub-committee to review construction details when available.



NORTHWEST VIEW
N.T.S.

DRAWING LIST:

- | | |
|----|------------------------|
| T1 | TITLE PAGE |
| C1 | SITE PLAN |
| A1 | BASEMENT PLAN |
| A2 | FIRST FLOOR PLAN |
| A3 | SECOND FLOOR PLAN |
| A4 | THIRD FLOOR PLAN |
| A5 | BUILDING SECTION |
| A6 | SECTION DETAILS |
| A7 | WEST & EAST ELEVATIONS |
| A8 | SOUTH ELEVATION |
| A9 | NORTH ELEVATION |

REVISIONS:

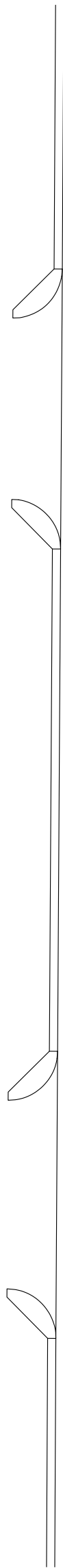
COVER PAGE

DATE: 1/24/22

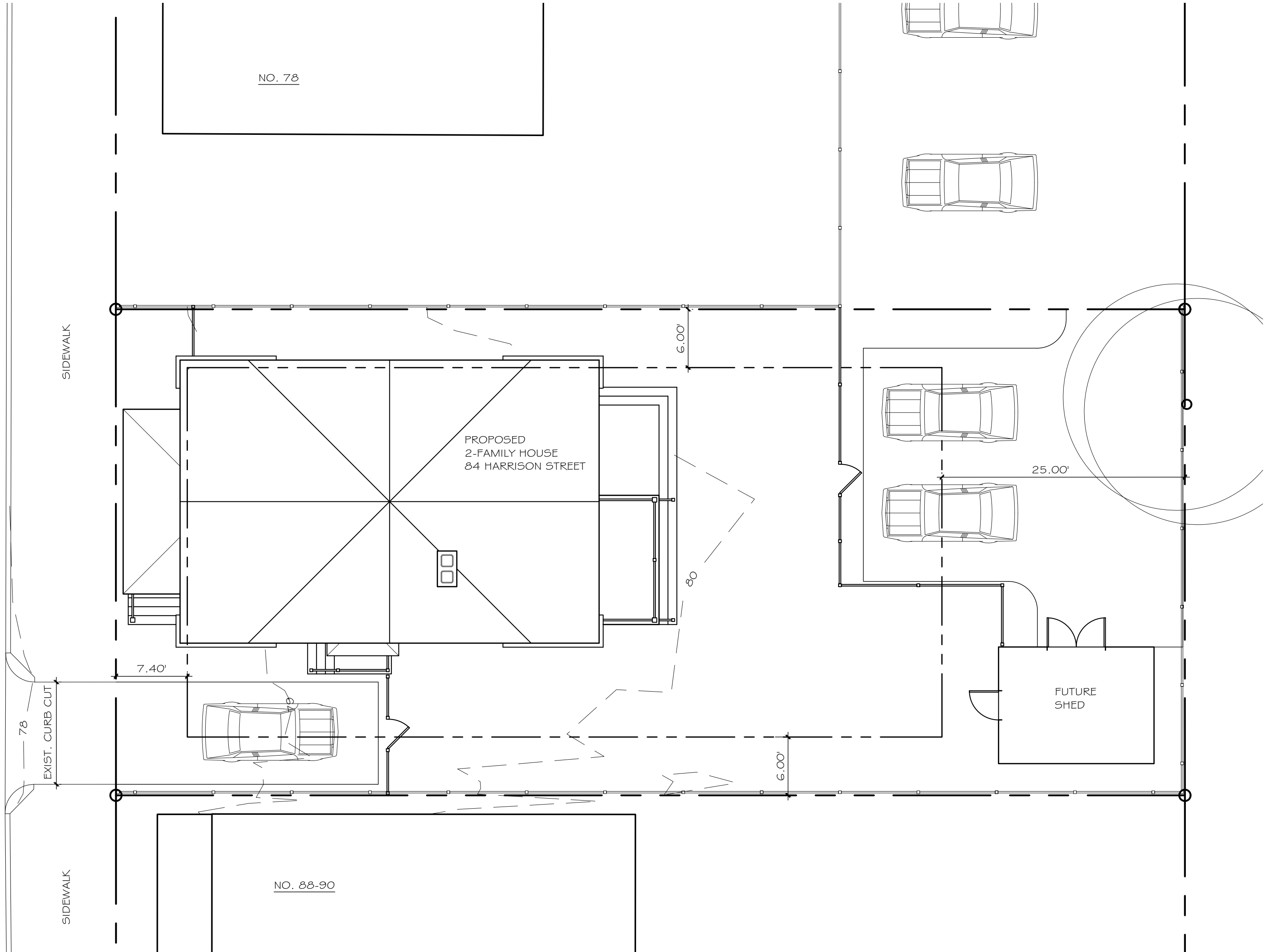
SHEET:

T1

REVIEW SET
NOT FOR CONSTRUCTION



HARRISON STREET



SITE PLAN
1/8" = 1'-0"



REVIEW SET
NOT FOR CONSTRUCTION

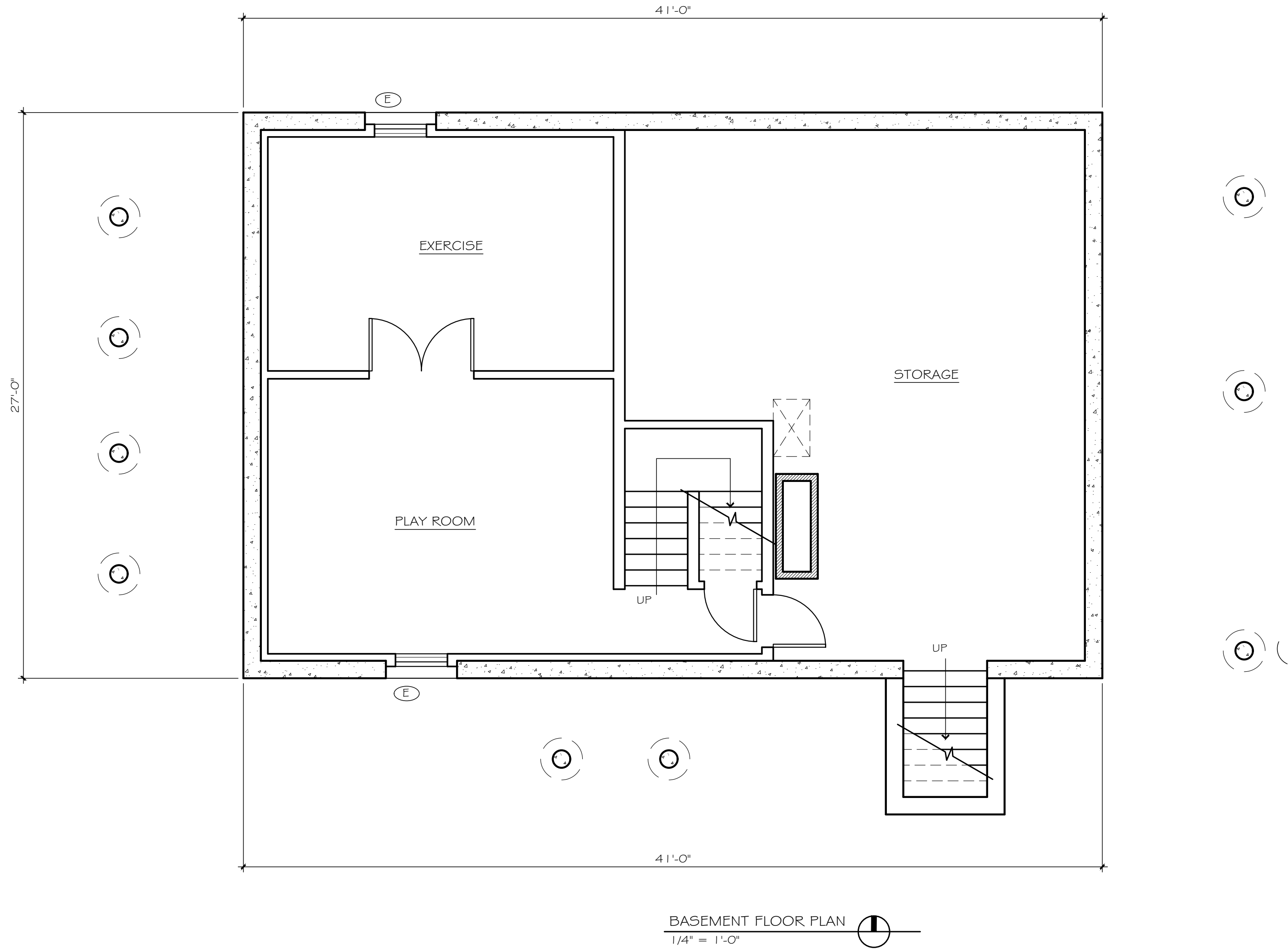
REVISIONS:

SITE PLAN

DATE: 12/4/22

SHEET:

C1



REVIEW SET
NOT FOR CONSTRUCTION

HOUSEWRIGHTS
— DESIGN BUILD corp. —
363 Cedar Avenue, East Greenwich, Rhode Island 02818
401-378-2917 • RI Lic. 10405

GAZDACKO HOUSE
84 HARRISON STREET, PROVIDENCE, RI 02909

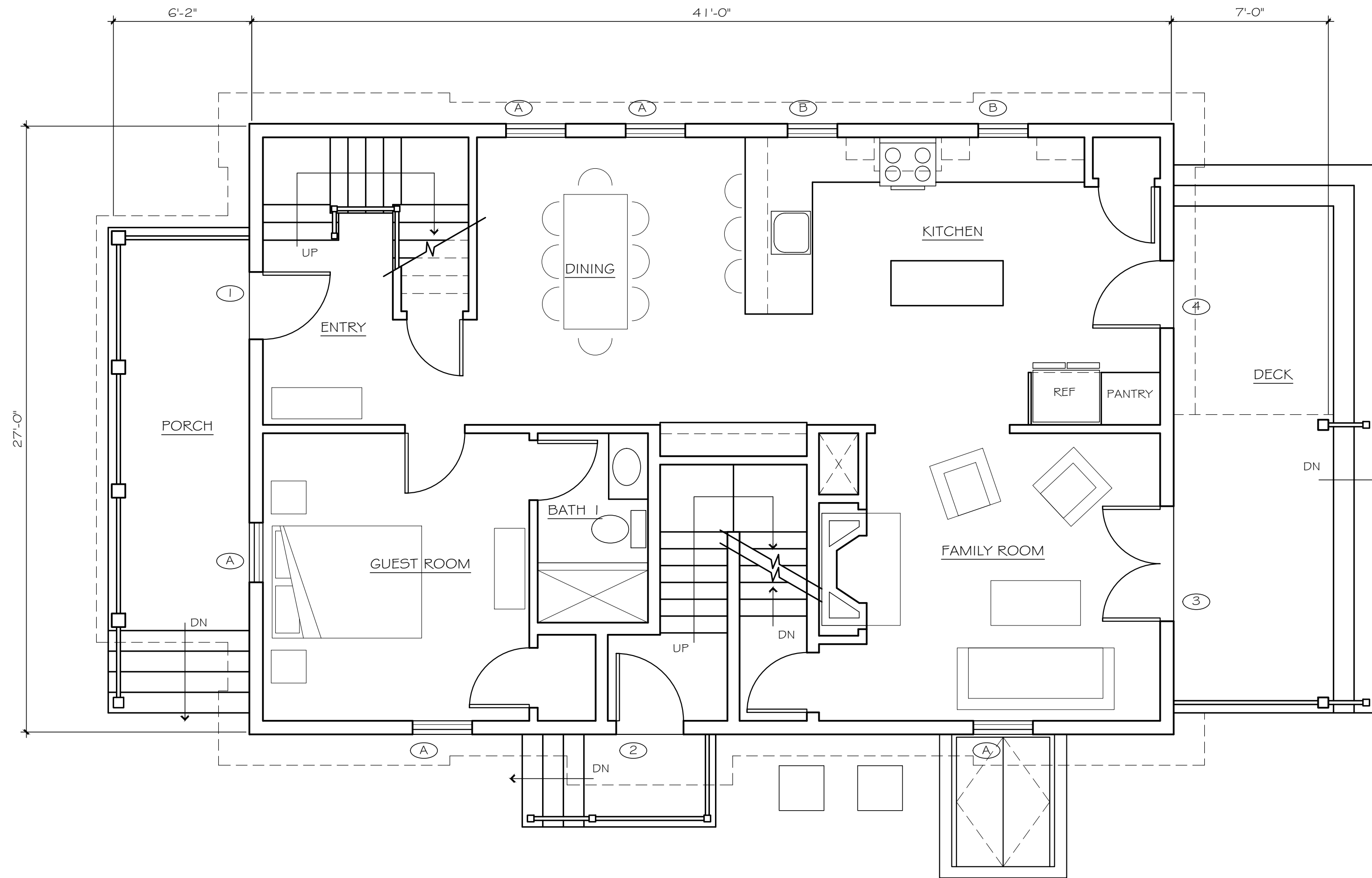
REVISIONS:

BASEMENT FLOOR PLAN

DATE: 12/7/22

SHEET:

A1



FIRST FLOOR PLAN
1/4" = 1'-0"

REVIEW SET
NOT FOR CONSTRUCTION

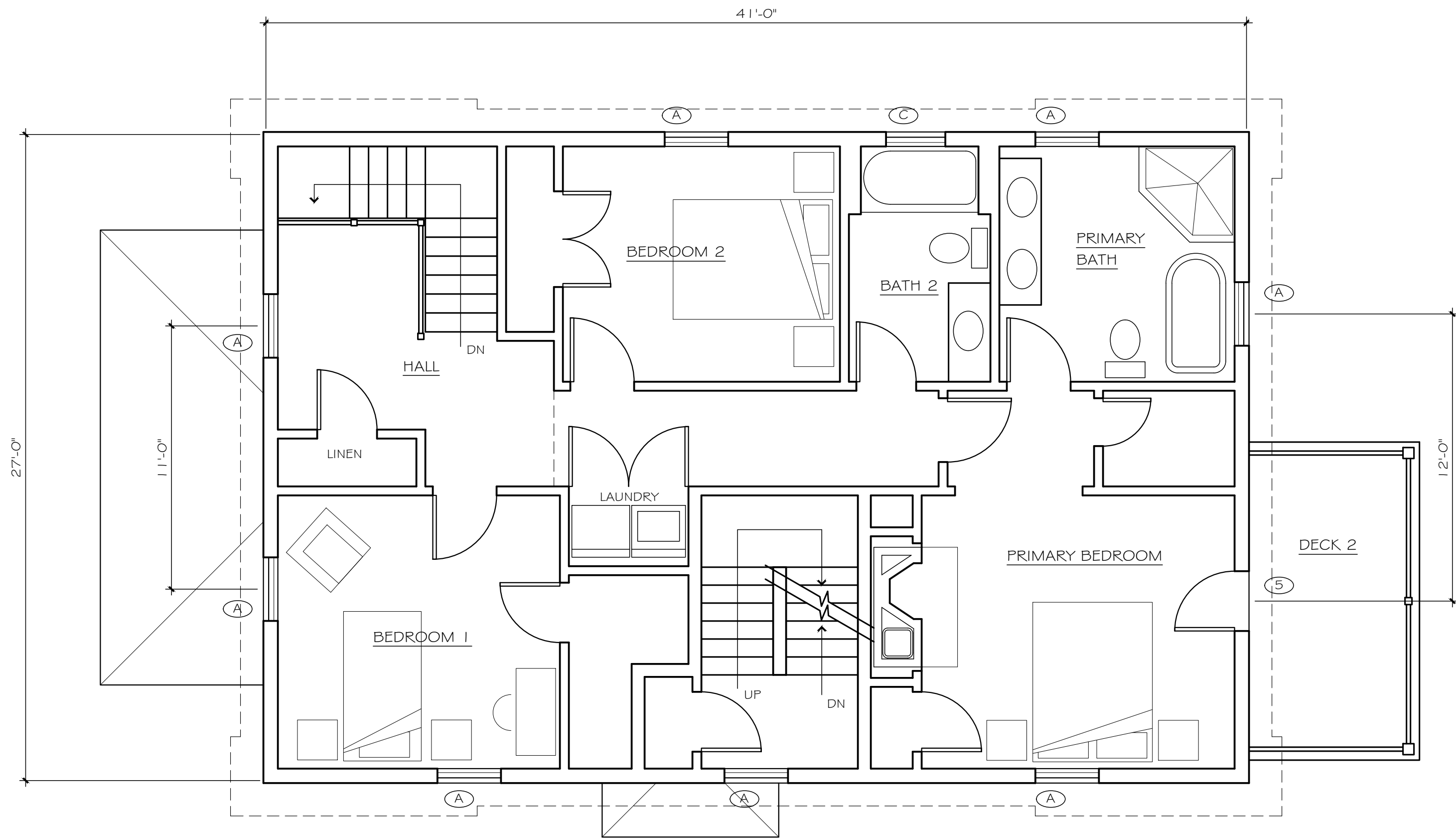
REVISIONS:

FIRST FLOOR PLAN

DATE: 12/7/22

SHEET:

A2



SECOND FLOOR PLAN
1/4" = 1'-0"



REVIEW SET
NOT FOR CONSTRUCTION

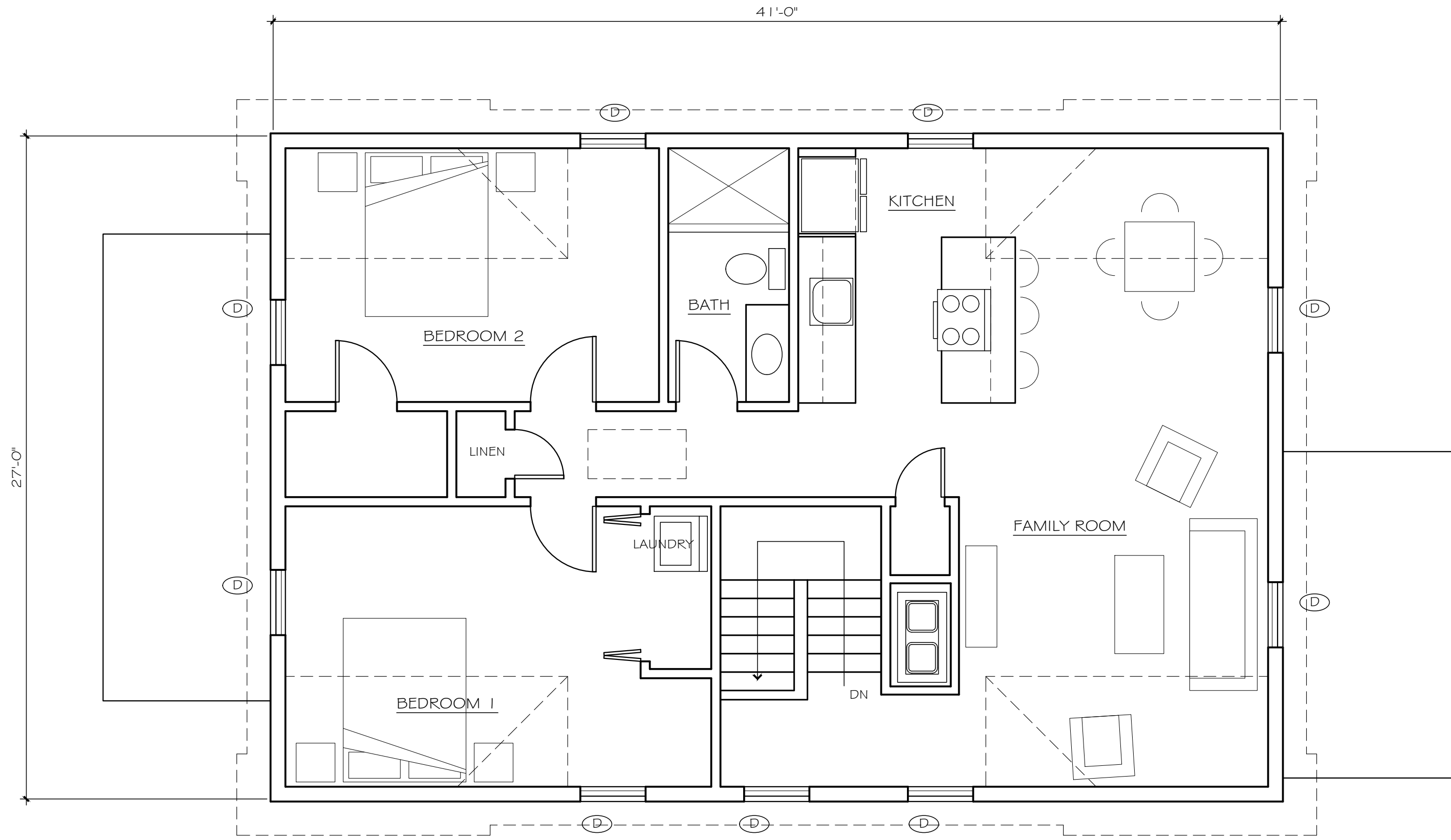
REVISIONS:

SECOND FLOOR PLAN

DATE: 12/7/22

SHEET:

A3



THIRD FLOOR PLAN
1/4" = 1'-0"



REVIEW SET
NOT FOR CONSTRUCTION

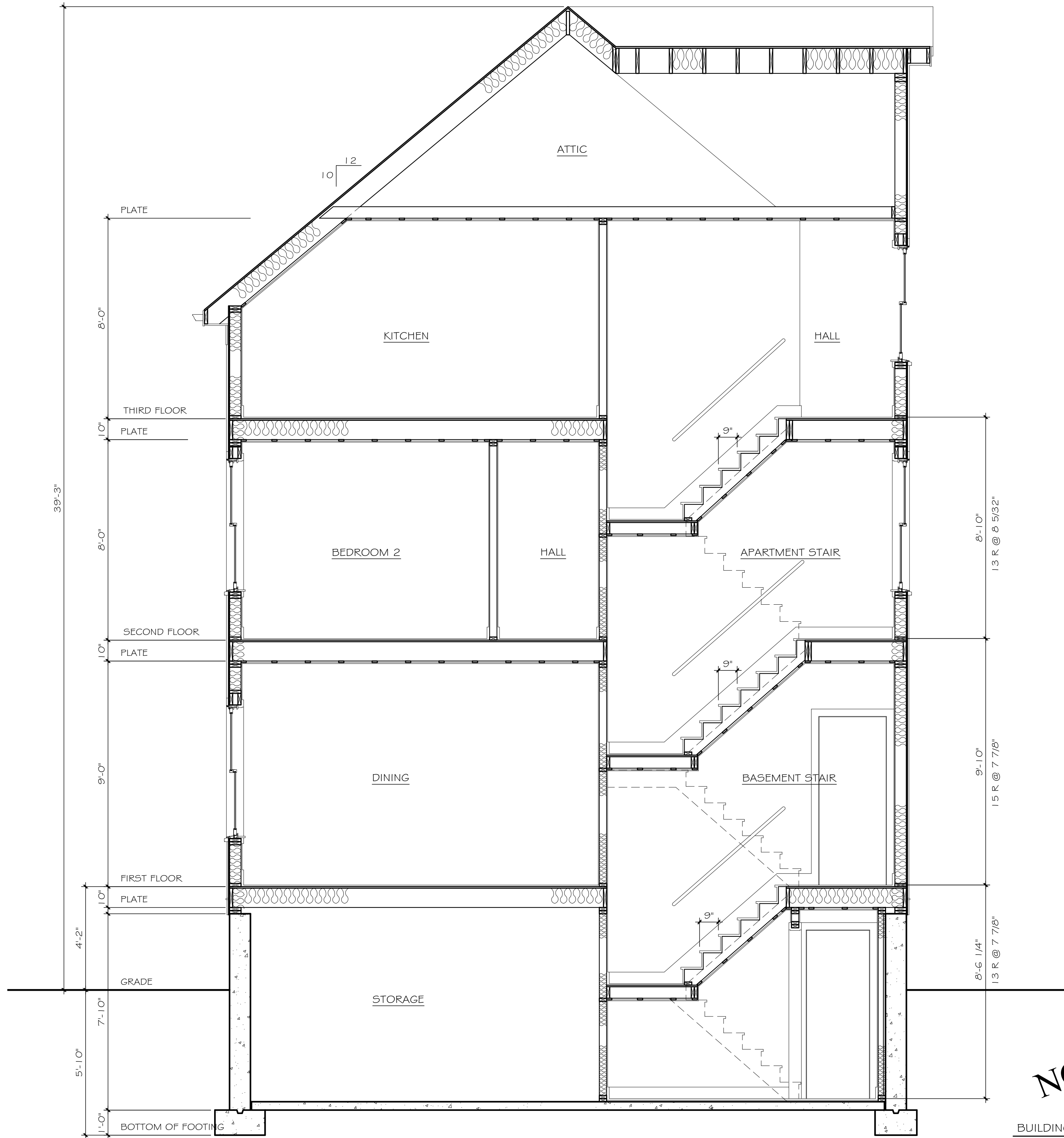
REVISIONS:

THIRD FLOOR PLAN

DATE: 12/7/22

SHEET:

A4



BUILDING SECTION
3/8" = 1'-0"

REVIEW SET
NOT FOR CONSTRUCTION

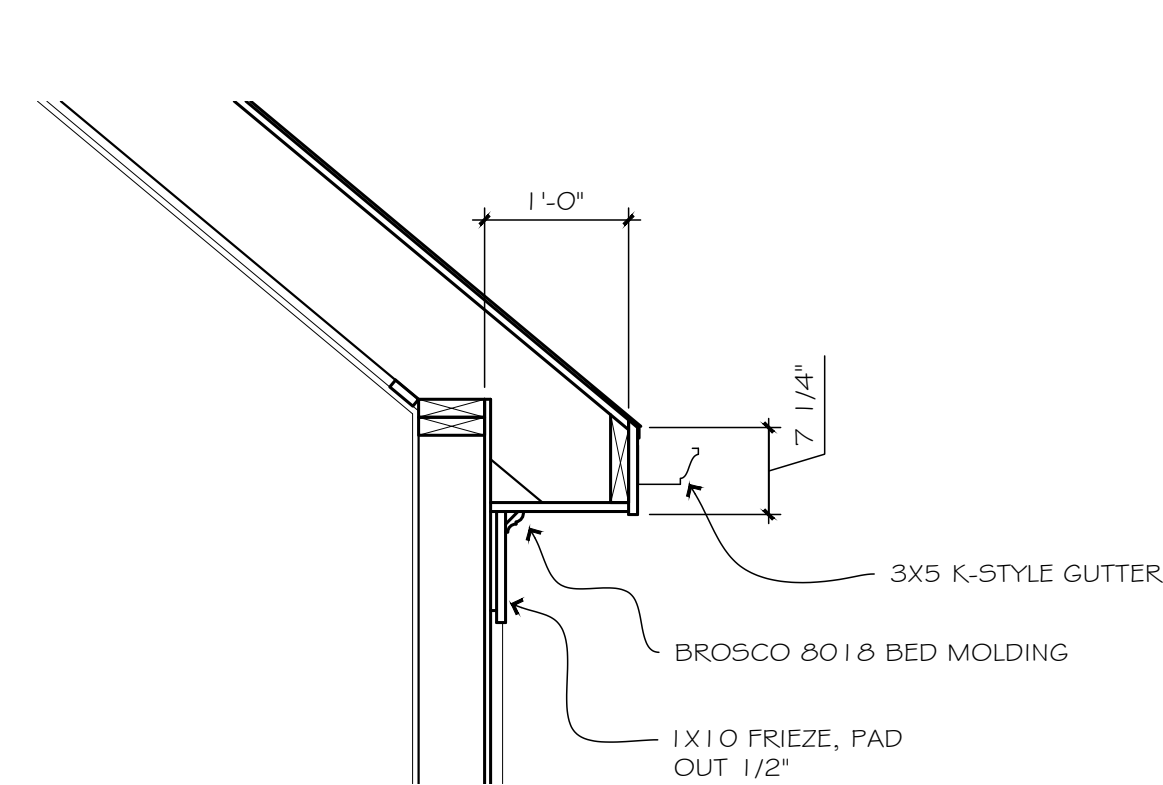
REVISIONS:

BUILDING SECTION

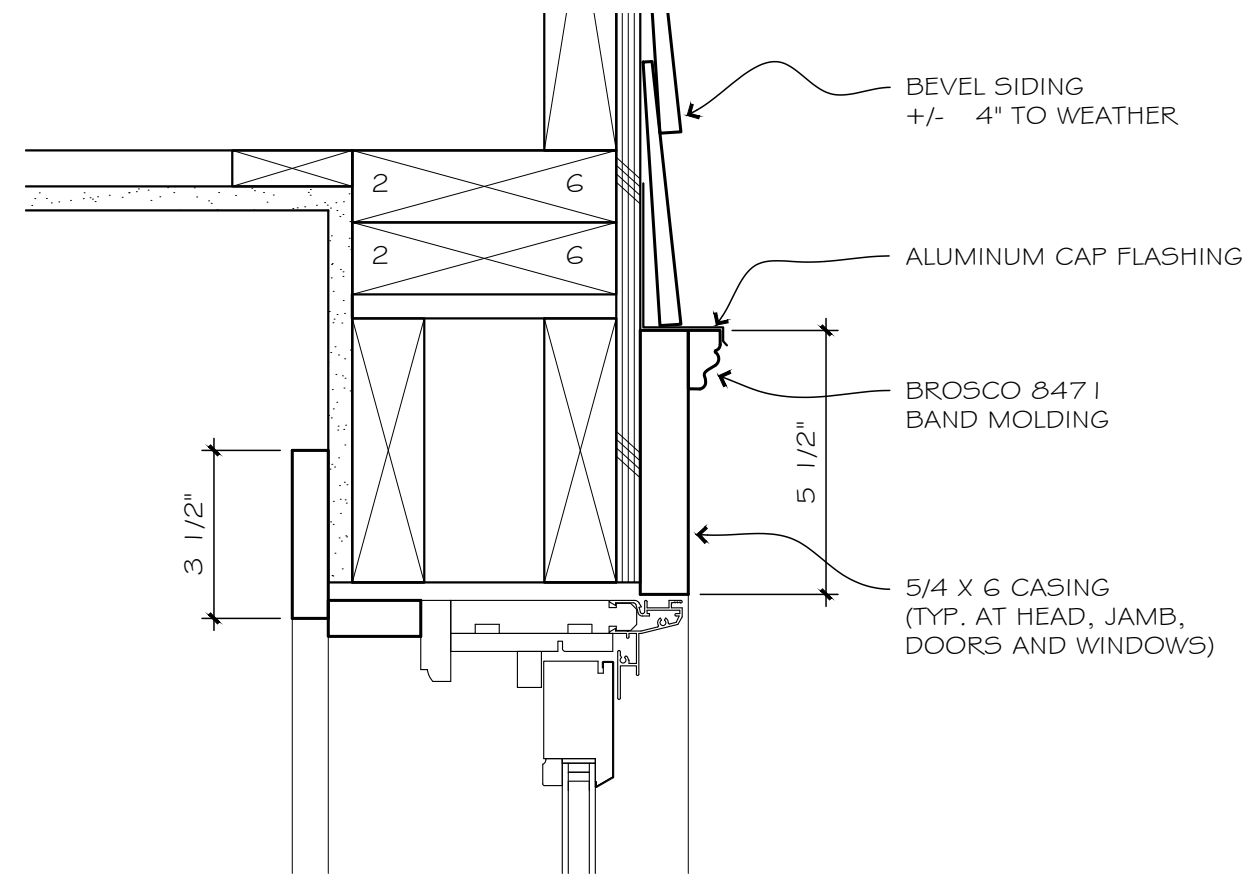
DATE: 12/4/22

SHEET:

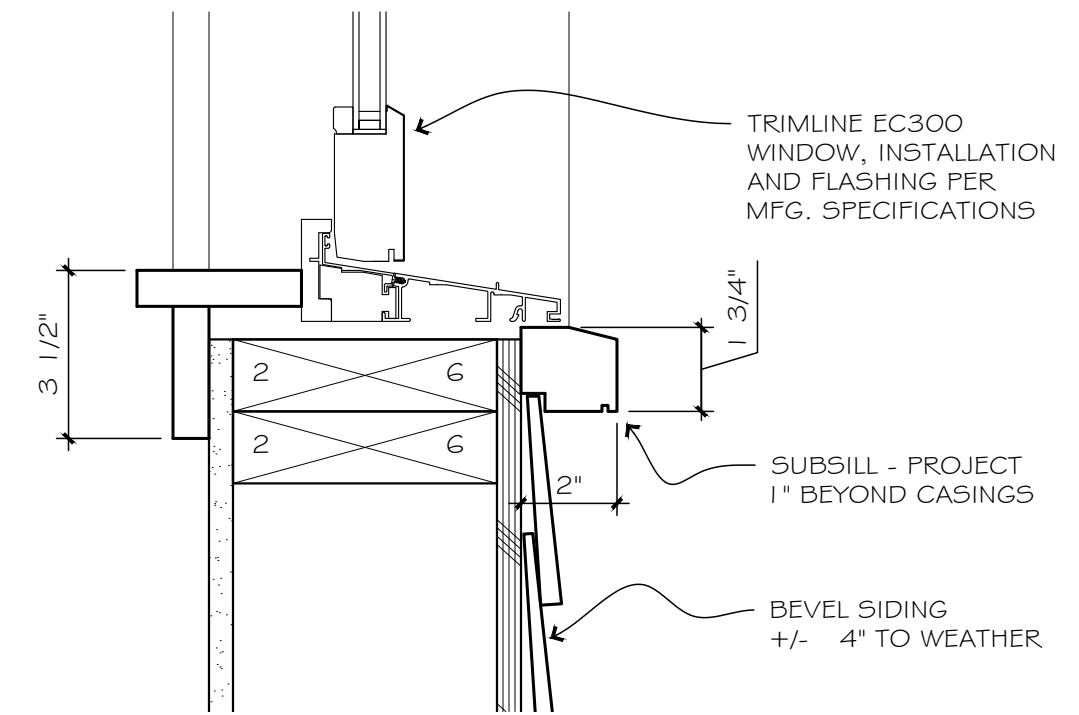
A5



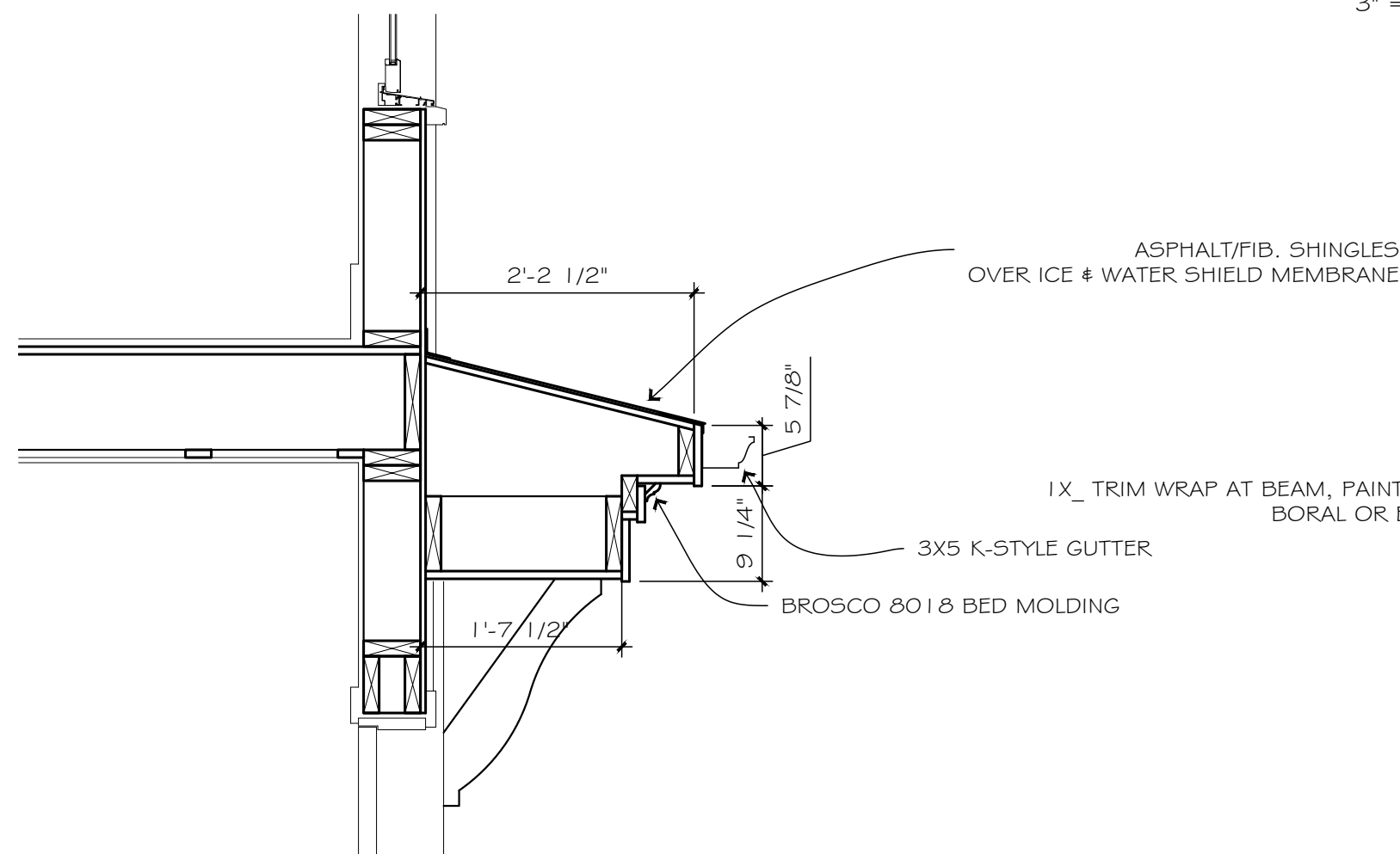
CORNICE DETAIL
3/4" = 1'-0"



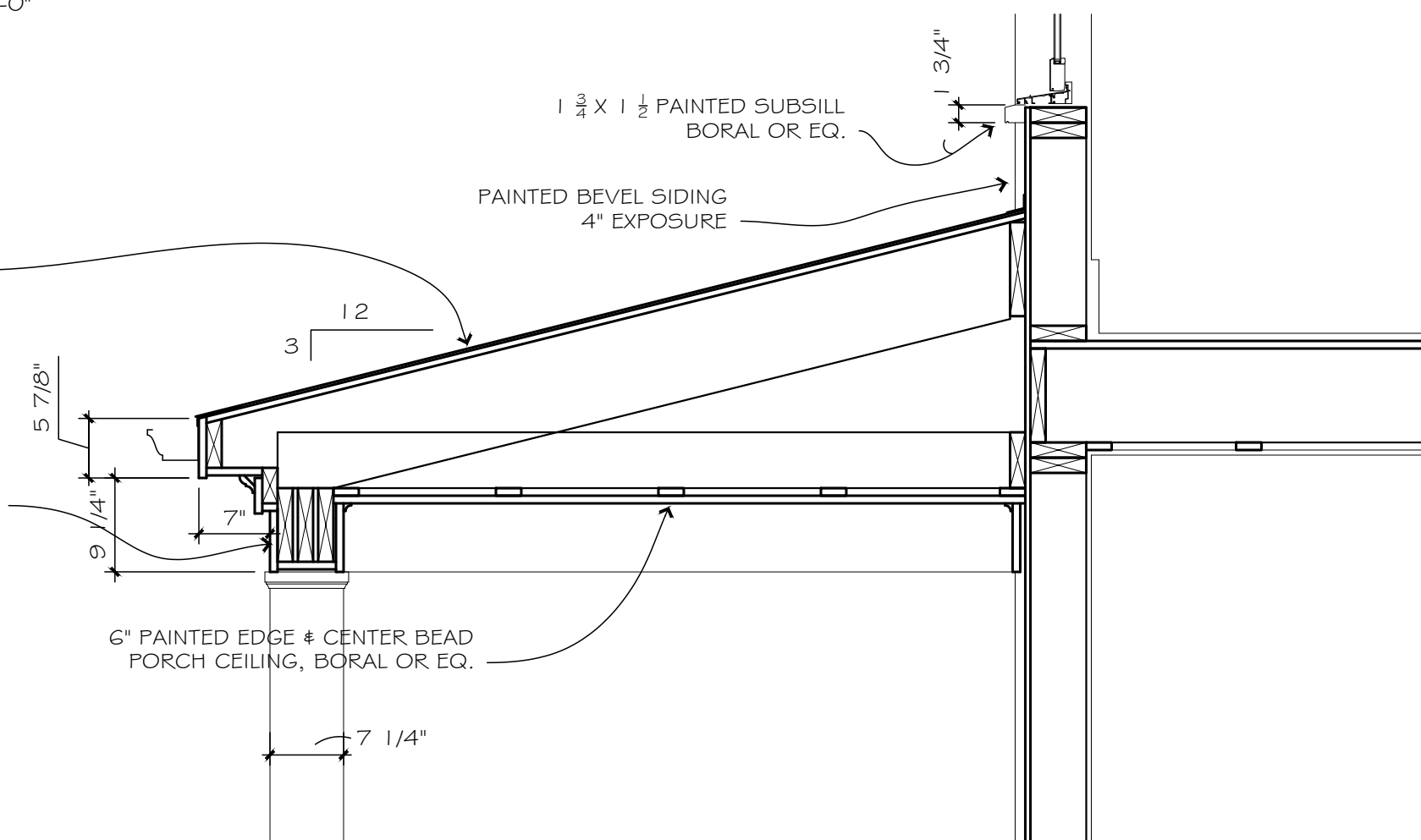
TYP. WINDOW HEAD
3" = 1'-0"



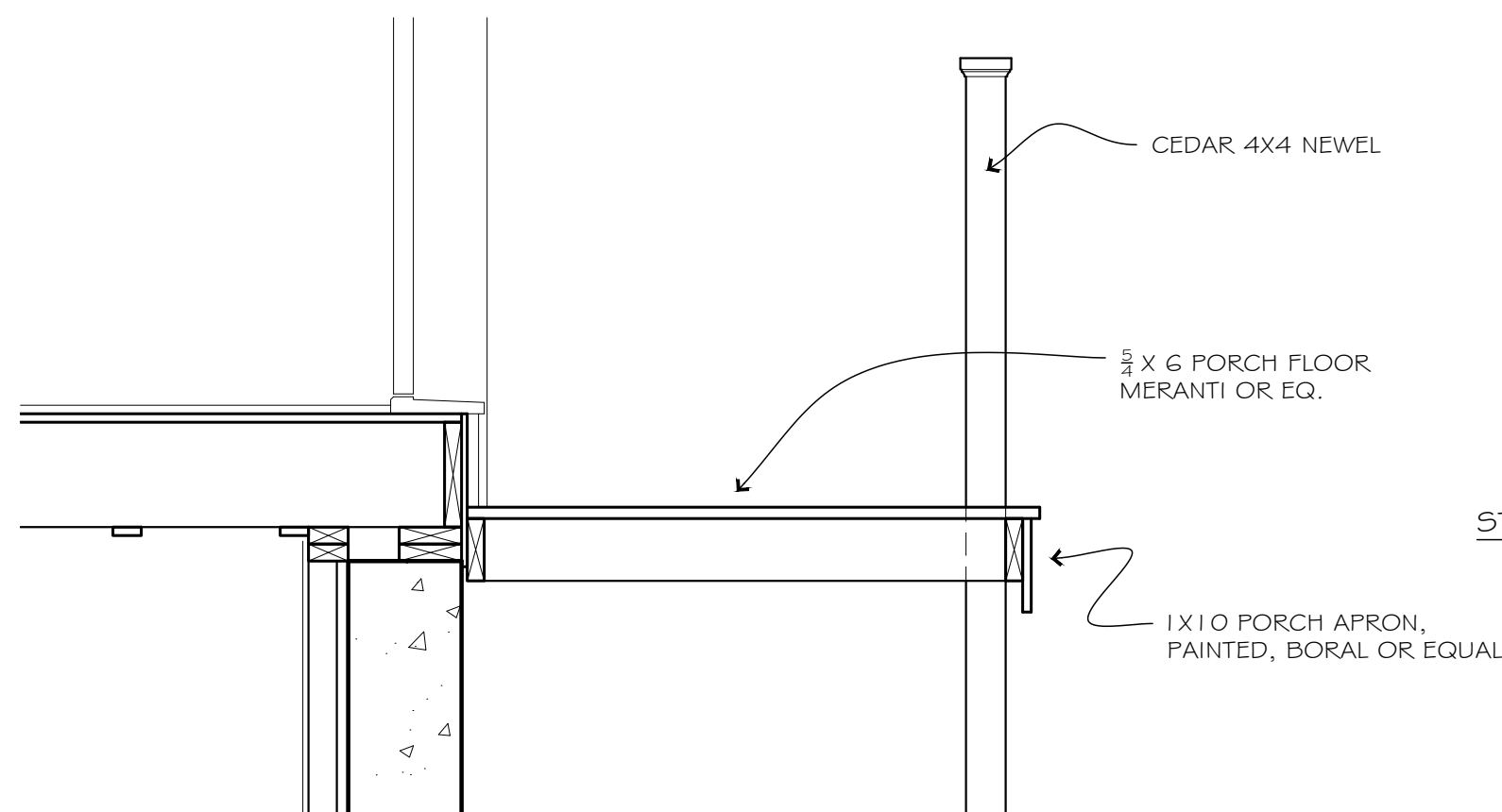
TYP. WINDOW SILL
3" = 1'-0"



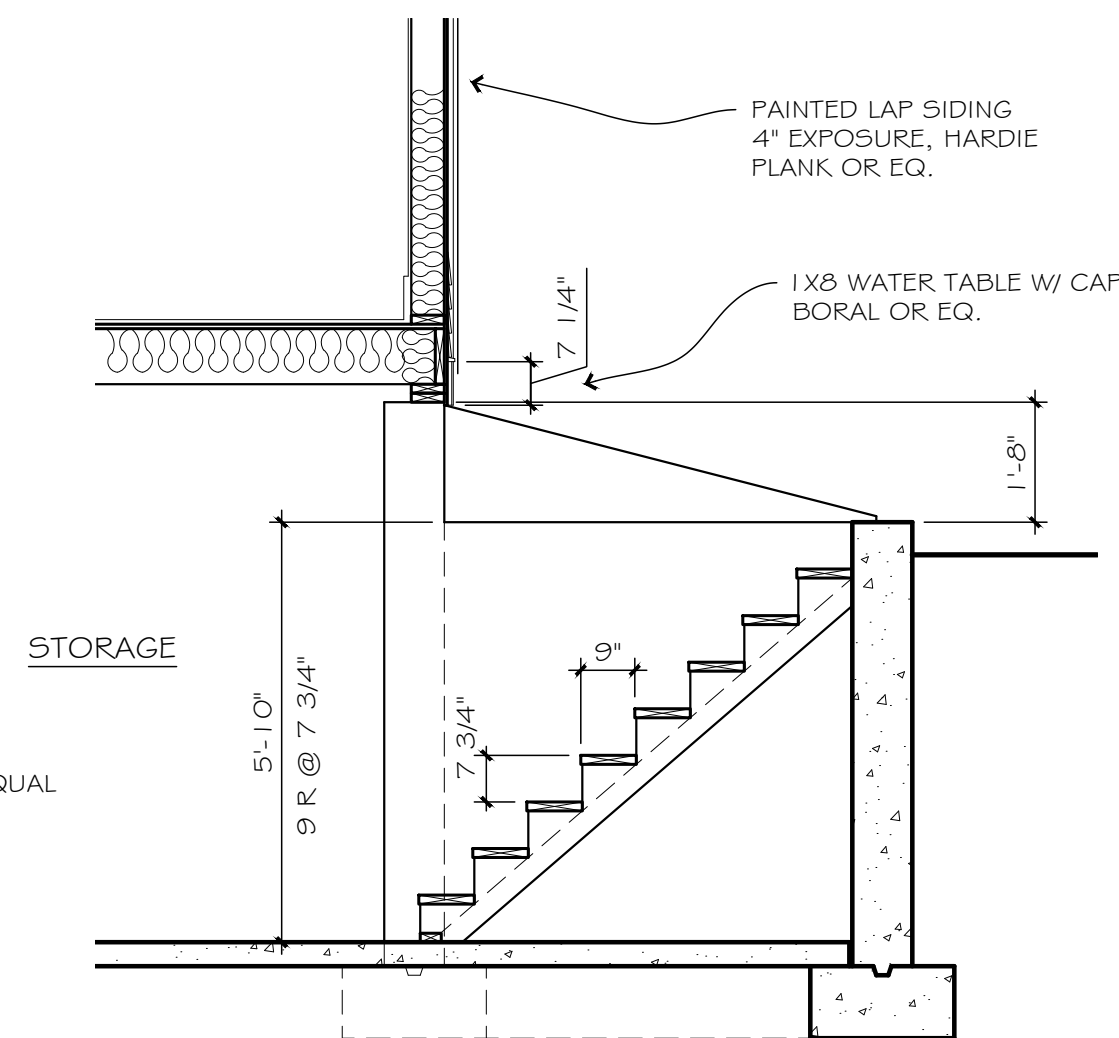
SIDE PORCH ROOF
3/4" = 1'-0"



PORCH ROOF SECTION
3/8" = 1'-0"



SIDE PORCH SECTION
3/4" = 1'-0"



BULKHEAD SECTION
3/8" = 1'-0"

REVIEW SET
NOT FOR CONSTRUCTION

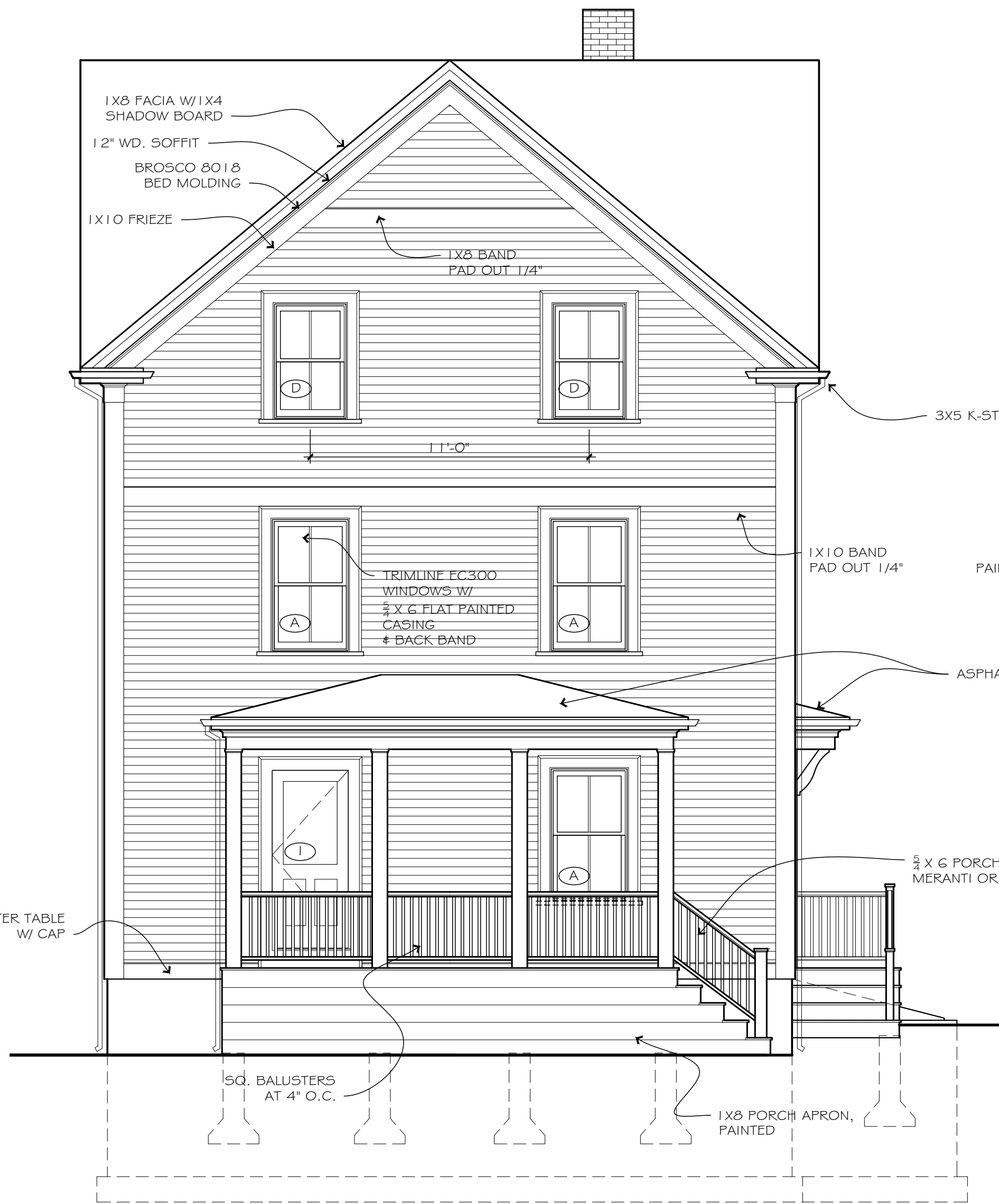
REVISIONS:

BUILDING SECTION

DATE: 12/7/22

SHEET:

A5



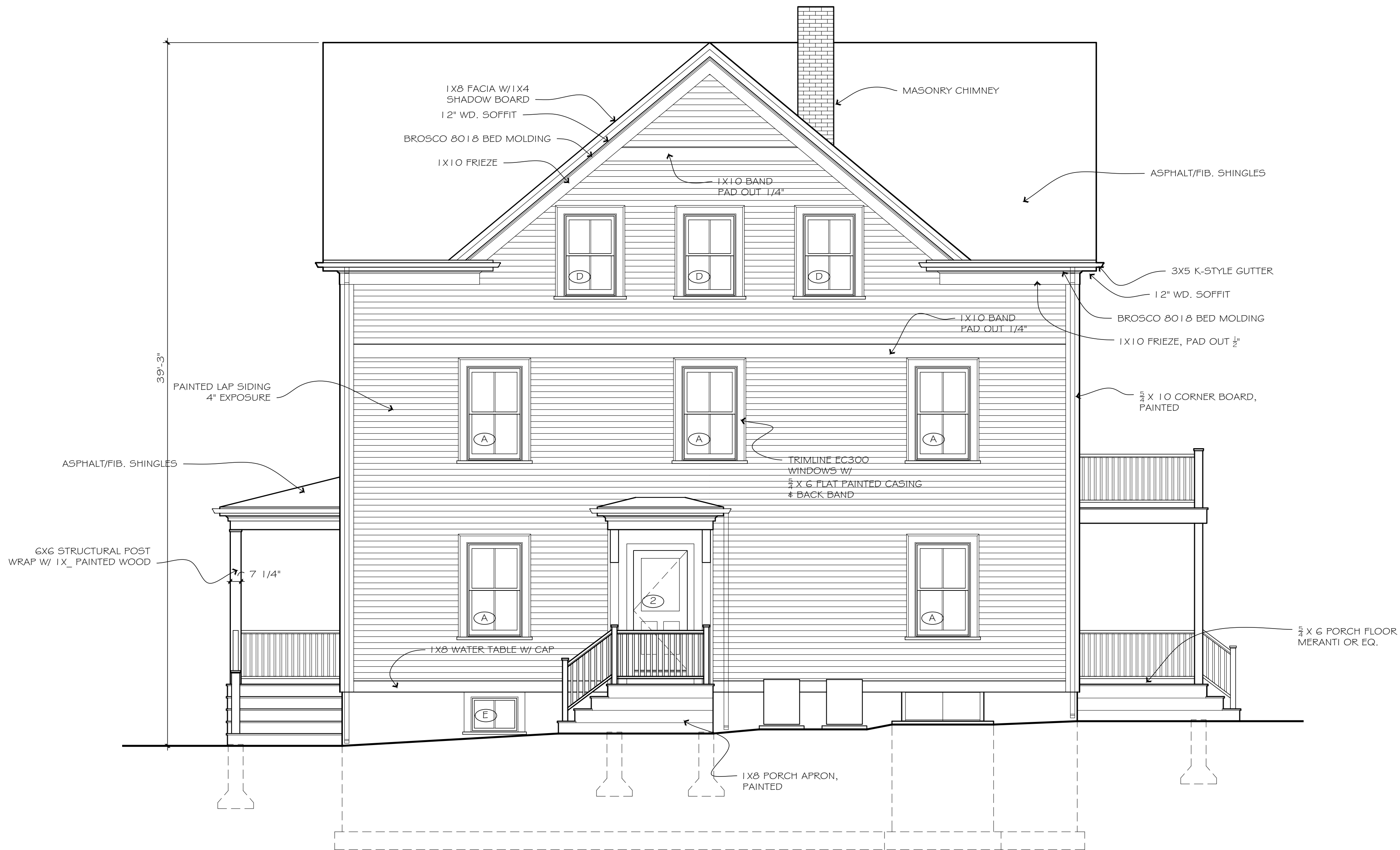
WEST ELEVATION
1/4" = 1'-0"



EAST ELEVATION
1/4" = 1'-0"

WINDOW AND EXTERIOR DOOR SCHEDULE								
UNIT	LOCATION	TYPE	UNIT	ROUGH OPENING	LITES	QTY.	HAND	NOTES
A	FLR. 1, 2	DOUBLE-HUNG	3254	3'-2" x 5'-4"	2/2	13		TRIMLINE EC300 ALUMINUM CLAD WOOD
B	KITCHEN	CASEMENT	2440	2'-4" x 4'-0"	2W2H	2	1 L, 1 R	TRIMLINE C4000 ALUMINUM CLAD WOOD
C	BATH 2	AWNING	2824	2'-8" x 2'-4"	2W1H	1		TRIMLINE AW4000 ALUMINUM CLAD WOOD
D	FLR. 3	DOUBLE-HUNG	3048	3'-0" x 4'-8"	2/2	9		TRIMLINE EC300 ALUMINUM CLAD WOOD
E	BASEMENT	AWNING	2820	2'-8" x 2'-0"	2W1H	2		TRIMLINE AW4000 ALUMINUM CLAD WOOD
1	FRONT DOOR	INSWING 1/2 LITE	3070	3'-2" x 7'-2 1/2"	1	1	AL	SIMPSON FIR 7044
2	APARTMENT	INSWING 1/2 LITE	3068	3'-2" x 6'-10 1/2"	1	1	AL	SIMPSON FIR 7044
3	FAMILY ROOM	INSWING FR. DBL.	5068	5'-3" x 6'-10 1/2"	1	1	APLR	JELD WEN SP-686CL
4	KITCHEN	INSWING FR.	21068	3'-0 1/2" x 6'-10 1/2"	1	1	AL	JELD WEN SP-686CL
5	PRIMARY BEDROOM	INSWING FR.	2668	2'-8 1/2" x 6'-10 1/2"	1	1	AL	JELD WEN SP-686CL

REVIEW SET
NOT FOR CONSTRUCTION



SOUTH ELEVATION
1/4" = 1'-0"

REVIEW SET
NOT FOR CONSTRUCTION

REVISIONS:

SOUTH ELEVATION

DATE: 12/7/22

SHEET:

A8



NORTH ELEVATION
1/4" = 1'-0"

REVIEW SET
NOT FOR CONSTRUCTION

REVISIONS:

NORTH ELEVATION

DATE: 12/7/22

SHEET:

A9