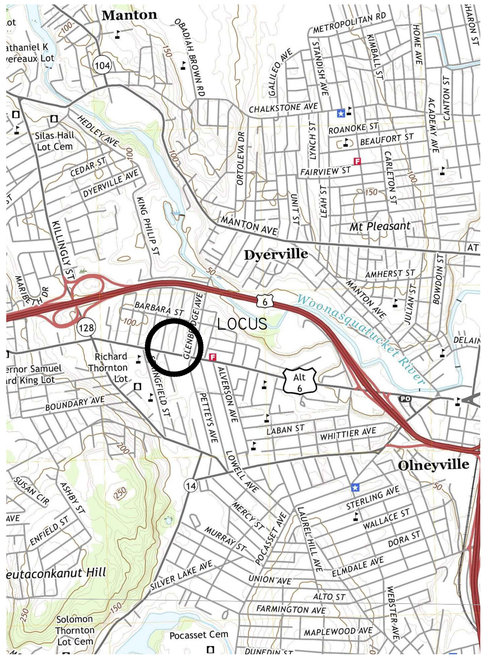
Preliminary Plan
of
"E.2000 Property"
in
Providence, Rhode Island 02909

DATE: January 18, 2022

REGISTRY USE ONLY

INDEX OF DRAWINGS



LOCATION MAP
SCALE 1"= 1000'

SITE MAP
SCALE 1"= 250'

SUBJECT TO A COVENANT DULY EXECUTED DATED THE _____ DAY OF _____, _____, RUNNING WITH THE LAND, TO BE DULY RECORDED BY OR FOR THE OWNER OF RECORD. THIS PLAN IS SUBJECT TO ALL CONDITIONS OF THE PROVIDENCE PLANNING BOARD CERTIFICATE OF ACTION DATED _____ FILED WITH THE PROVIDENCE TOWN CLERK ON _____ AND HEREWITH RECORDED AS A PART OF THIS PLAN.

I HEREBY CERTIFY THAT THERE HAS BEEN NO APPEAL TAKEN TO THIS PLANNING BOARD ACTION DURING THE 20 DAY STATUTORY APPEAL PERIOD.
DATE:_____ ____
TOWN CLERK, CITY OF PROVIDENCE _____

General Notes:

1. LOT SHOWN IS DESIGNATED AS LOTS 232, 233, 234, & 235 ON PROVIDENCE ASSESSORS MAP 113
2. ZONING DISTRICT: COMMERCIAL "C-2"
3. OWNER OF RECORD: - E.2000 REALTY, LLC
   BOOK 6024 PAGE 124 & 125
4. SITE IS NOT LOCATED IN A FEMA FLOOD ZONE (ZONE X) (AREA OF MINIMAL FLOOD HAZARD) AS SHOWN ON FIRM PANEL 445406 0304 J EFFECTIVE ON OCTOBER 2, 2015

Dimensional Zoning Requirements:

Commercial "C-2" Zoning District

MINIMUM AREA	= NONE
FRONT YARD SETBACK	= BUILT-TO PERCENTAGE IS 60% OF THE FRONT LOT LINE.'
INTERIOR SIDE YARD SETBACK	= NONE UNLESS ABUTTING A RESIDENTIAL DISTRICT, THEN 10'
CORNER SIDE YARD SETBACK	= BUILD-TO PERCENTAGE IS 40% OF THE CORNER SIDE LOT LINE.
REAR YARD SETBACK	= NONE UNLESS ABUTTING A RESIDENTIAL DISTRICT, THEN 20'
MAX. PERCENT OF COVERAGE	= NONE

REVISION	DATE	COMMENTS
0	Nov. 15, 2022	Master Plan Submission
1	Jan 18, 2022	Preliminary Plan Submission

Providence Planning Board
Approved Under Subdivision Control Law

PAUL D. CARLSON
No. 7142
REGISTERED PROFESSIONAL ENGINEER
CIVIL
PROFESSIONAL ENGINEER

MARC N. NYBERG
No. 1797
PROFESSIONAL LAND SURVEYOR
PROFESSIONAL LAND SURVEYOR

PAUL D. CARLSON
No. 7142
REGISTERED PROFESSIONAL ENGINEER
CIVIL
PROFESSIONAL SEAL

Cover Sheet

"E.2000 Property"
541 Hartford Avenue, Providence, RI 02909
Assessors Map 113, Lots 232, 233, 234, & 235

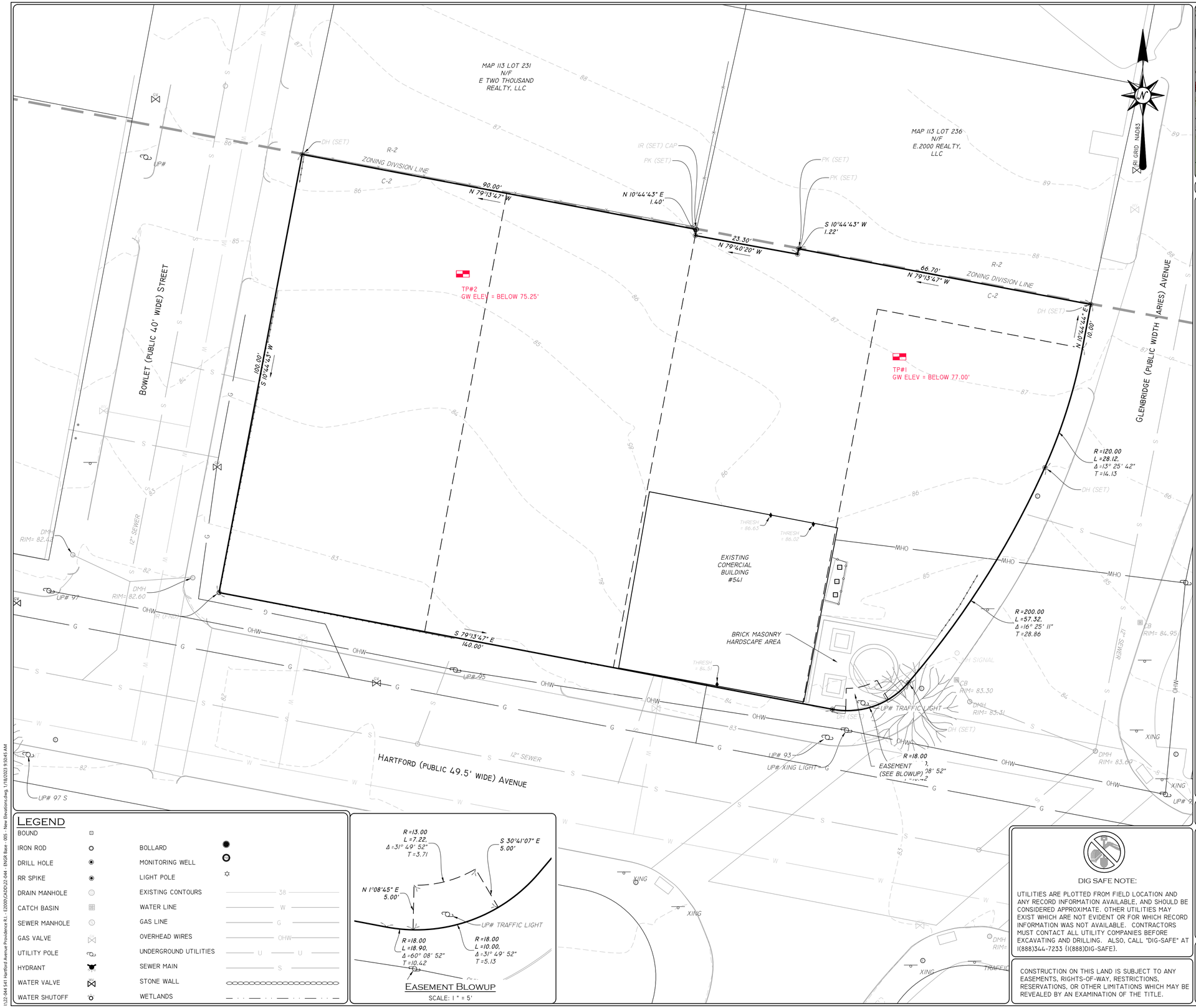
Applicant: E.2000 Realty, LLC
541 Hartford Avenue, Providence RI 02909

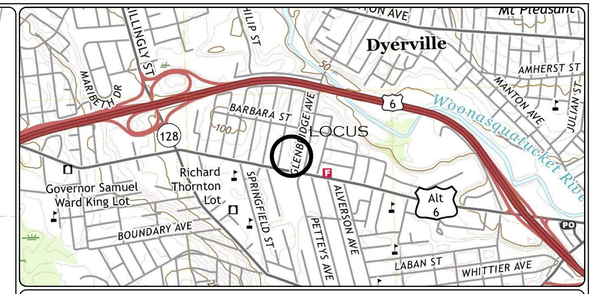
Job #	Scale:	Drawn By:	Date:
22-044	N.T.S.	LJG	January 18, 2022

Revised:

InSite Engineering Services, LLC
Professional Engineers | Land Surveyors
Precision. Clarity. Certainty.
InSite Professional Complex, Suite 1
1539 Fall River Avenue Seekonk, MA 02771
Phone: (508) 336-4500 Fax: (508) 336-4558
Web Address: InsiteEngineers.com

Sheet 1 of 10





LOCATION (NOT TO SCALE) MAP

GENERAL NOTES:

1. LOT SHOWN IS DESIGNATED AS LOTS 232, 233, 234, & 235 ON PROVIDENCE ASSESSORS MAP 113
2. ZONING DISTRICT: COMMERCIAL "C-2"
3. OWNER OF RECORD: - E.2000 REALTY, LLC
   BOOK 6024 PAGE 124 & 125
4. SITE IS NOT LOCATED IN A FEMA FLOOD ZONE (ZONE X) (AREA OF MINIMAL FLOOD HAZARD) AS SHOWN ON FIRM PANEL 445406 0304 J EFFECTIVE ON OCTOBER 2, 2015

DIMENSIONAL ZONING REQUIREMENTS:

COMMERCIAL "C-2" ZONING DISTRICT

MINIMUM AREA	= NONE
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CORNER SIDE YARD SETBACK	= BUILD-TO PERCENTAGE IS 40% OF THE CORNER SIDE LOT LINE.
REAR YARD SETBACK	= NONE UNLESS ABUTTING A RESIDENTIAL DISTRICT, THEN 20'
MAX. PERCENT OF COVERAGE	= NONE

WETLAND, WATERCOURSES, & COASTAL FEATURES:

THERE ARE NO WETLANDS, WATERCOURSES, OR COASTAL FEATURES LOCATED ON THE PROPERTY OR WITHIN 200' OF THE PROPERTY.

CERTIFICATION:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015 AS FOLLOWS:

TYPE OF SURVEY: COMPREHENSIVE BOUNDARY
TYPE OF SURVEY: DATA ACCUMULATION SURVEY
VERTICAL MEASUREMENT SPECIFICATION: V-3
MEASUREMENT SPECIFICATION: CLASS I
MEASUREMENT SPECIFICATION: CLASS III
TOPOGRAPHIC ACCURACY CLASS: T-2

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR PREPARATION OF THE PLAT IS AS FOLLOWS:

1. TO REPORT A PROFESSIONAL OPINION REGARDING THE LOCATION OF PROPERTY BOUNDARIES.
2. TO DEPICT AND REPORT THE RELATIVE POSITIONS OF EXISTING PHYSICAL OBJECTS AND EXISTING SITE CONDITIONS.
3. TO CREATE AN EXISTING CONDITIONS BASE PLAN FOR CONTEMPLATION OF DESIGNED CONSTRUCTION OR OTHER IMPROVEMENTS TO THE SITE.

Marc N Nyberg 1/18/2023

MARC NYBERG, PLS / REGISTERED PROFESSIONAL LAND SURVEYOR / DATE

RHODE ISLAND PLS NO: 1797 RHODE ISLAND C.O.A. NO.: LS.000A468.COA

GRAPHIC SCALE

10 0 5 10 20 40

1 INCH = 10 FEET

LEGEND

BOUND	⊡		
IRON ROD	○	BOLLARD	●
DRILL HOLE	◉	MONITORING WELL	◎
RR SPIKE	◉	LIGHT POLE	☼
DRAIN MANHOLE	◌	EXISTING CONTOURS	38
CATCH BASIN	▦	WATER LINE	W
SEWER MANHOLE	◌	GAS LINE	G
GAS VALVE	⋈	OVERHEAD WIRES	OHW
UTILITY POLE	⌓	UNDERGROUND UTILITIES	U U
HYDRANT		SEWER MAIN	S
WATER VALVE	⋈	STONE WALL	
WATER SHUTOFF	○	WETLANDS	

EASEMENT BLOWUP

SCALE: 1 " = 5'

DIG SAFE NOTE:

UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE, AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL "DIG-SAFE" AT 1(888)344-7233 (1(888)DIG-SAFE).

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

MARC N. NYBERG
No. 1797
PROFESSIONAL LAND SURVEYOR

PROFESSIONAL SEAL

EXISTING CONDITIONS PLAN (MASTER)

"E.2000 PROPERTY"
541 HARTFORD AVENUE, PROVIDENCE, RI 02909
ASSESSORS MAP 113, LOTS 232, 233, 234, & 235

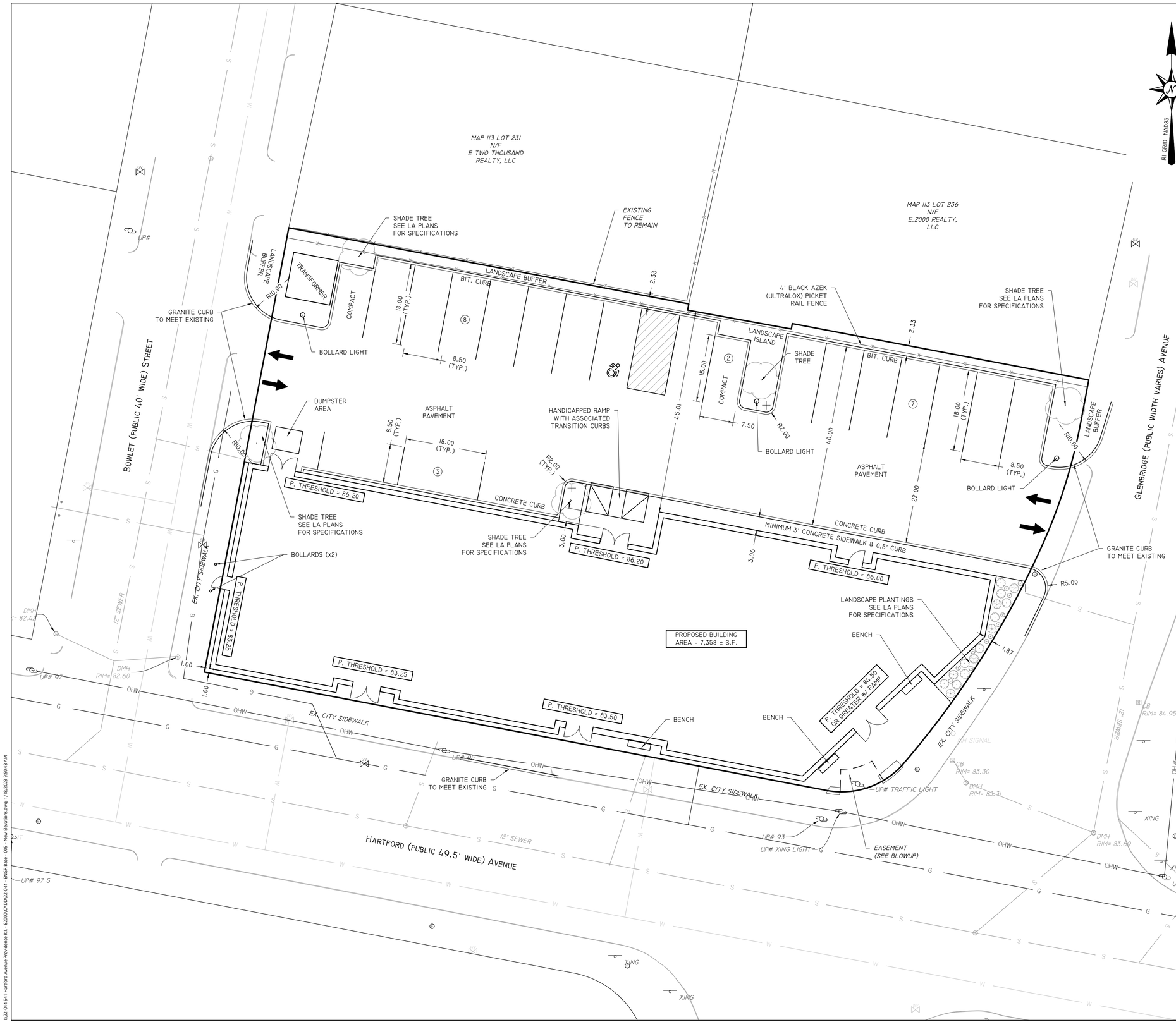
APPLICANT: E.2000 REALTY, LLC
541 HARTFORD AVENUE, PROVIDENCE, RI 02909

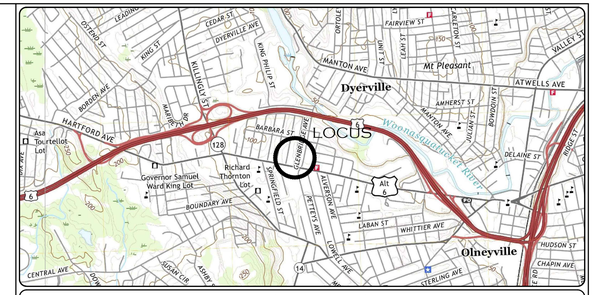
JOB #	SCALE:	DRAWN BY:	DATE:
22-044	1" = 10'	SCA	JANUARY 18, 2022

REVISED:

InSite Engineering Services, LLC
PROFESSIONAL ENGINEERS | LAND SURVEYORS
Precision. Clarity. Certainty.
InSite Professional Complex, Suite 1
1539 Fall River Avenue Seekonk, MA 02771
Phone: (508) 336-4500 Fax: (508) 336-4558
Web Address: InsiteEngineers.com

SHEET 2 OF 10





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COMMERCIAL "C-2" ZONING DISTRICT

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MAX. PERCENT OF COVERAGE	= NONE

GRAPHIC SCALE

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1 INCH = 10 FEET

LAYOUT PLAN (MASTER)

PAUL D. CARLSON
No. 7142
REGISTERED PROFESSIONAL ENGINEER
CIVIL
PROFESSIONAL SEAL

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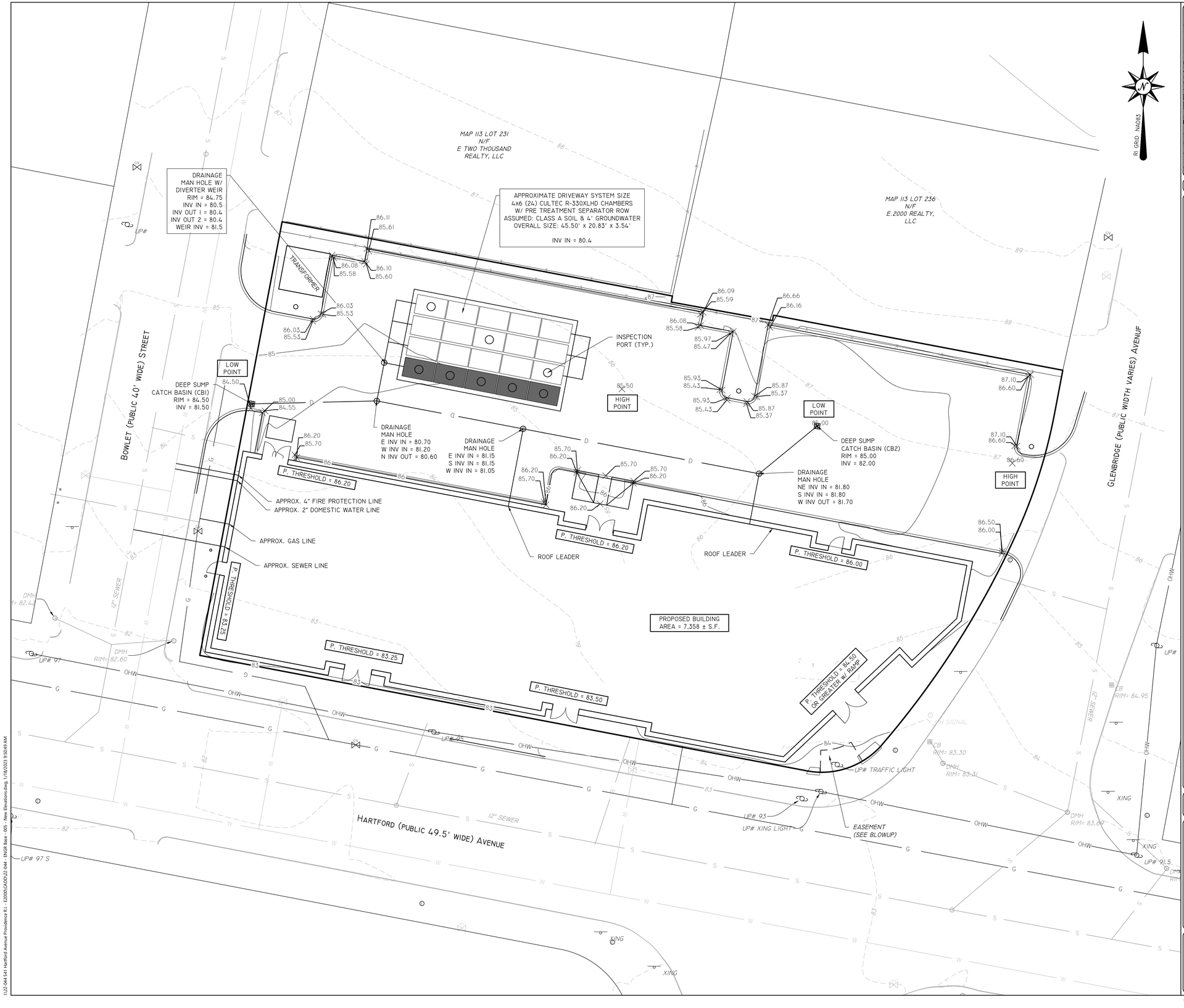
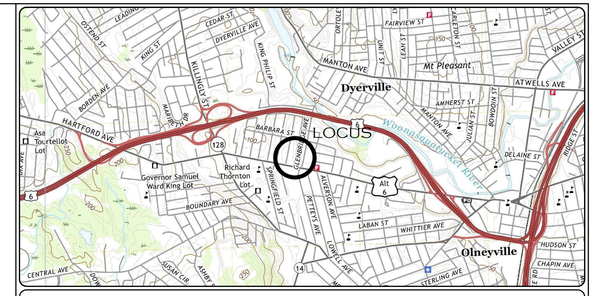
SHEET 3 OF 10





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GRAPHIC SCALE

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1 INCH = 10 FEET

GRADING, DRAINAGE & UTILITY PLAN

PAUL D. CARLSON
No. 7142
REGISTERED PROFESSIONAL ENGINEER
CIVIL
PROFESSIONAL SEAL

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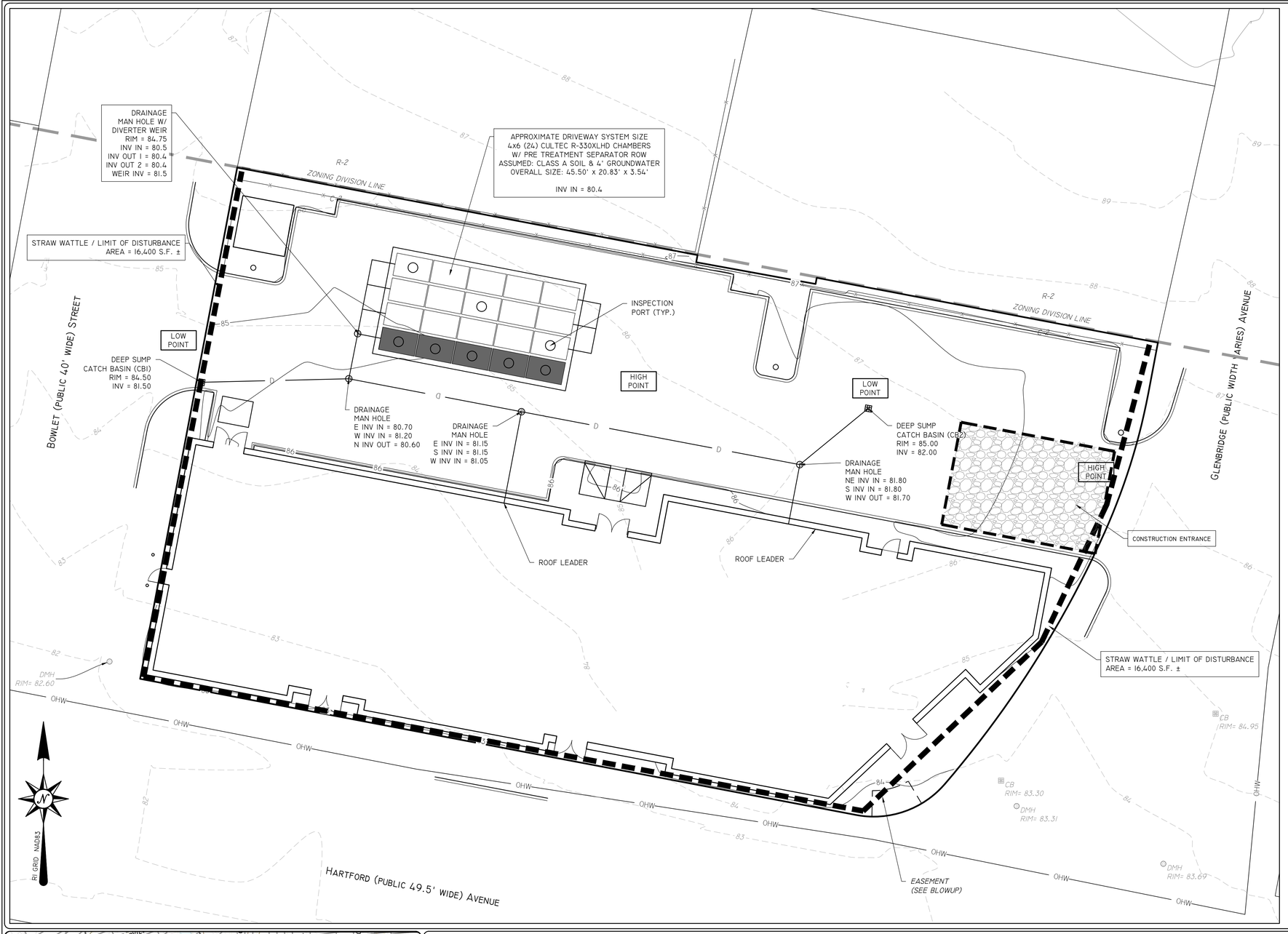


Erosion & Sediment Control Notes:

1. EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION. GRAVEL CONSTRUCTION ENTRANCE WILL BE INSTALLED BEFORE CONSTRUCTION TRAFFIC INTO AND OUT OF PROJECT AREA BEGINS. STABILIZATION OF ALL REGRADED AND SOIL STOCKPILE AREAS WILL BE INITIATED AND MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF PROVIDENCE REGULATIONS. ALL EROSION CONTROL MEASURES ARE TO BE MAINTAINED AND UPGRADED AS REQUIRED TO ACHIEVE PROPER SEDIMENT CONTROL DURING CONSTRUCTION.
3. ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING CONSTRUCTION PERIOD, IF DEEMED NECESSARY BY THE ENGINEER OR TOWN AGENCIES.
4. SEED TO APPLIED AT A RATE OF 10 LBS / 1000 S.F. FERTILIZER SHALL BE APPLIED AT A RATE OF 10 LBS / 1000 S.F. PLANTING SEASON SHALL BE APRIL 1 TO OCTOBER 15. AFTER OCTOBER 15 AREAS NOT SEEDED SHALL BE STABILIZED WITH HAY BALE CHECK, FILTER FABRIC OF WOODEN MULCH AS REQUIRED TO CONTROL EROSION.
5. AREAS LEFT BARE BEFORE FINISH GRADING AND SEEDING IS ACHIEVED, SHALL RECEIVE A TEMPORARY SEEDING OF PERENNIAL RYE GRASS APPLIED TO A RATE OF 10 LBS / 1000 S.F. AT A DEPTH OF 1/2". LIMESTONE (EQUIVALENT TO BE 50 % CALCIUM PLUS MAGNESIUM OXIDE) SHALL BE APPLIED AS SEEDBED PREPARATION AT A RATE OF 110 LBS / 1000 S.F.. WHERE GRASS PREDOMINATES, FERTILIZE ACCORDING TO A SOIL TEST AT A MINIMUM APPLICATION RATE OF 1 LB OF NITROGEN PER 1000 S.F. AREAS TO BE LEFT BARE BEFORE FINISH GRADING AND SEEDING OUTSIDE OF PLANTING SEASONS SHALL RECEIVE AN AIR-DRIED WOOD CHIP MULCH, FREE OF COURSE MATTER, TREATED WITH 12 LBS NITROGEN PER TON, APPLIED AT A RATE OF 185-275 LBS / 1000 S.F.
6. CONTRACTOR SHALL BE ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, AND NOTIFY THE PROPER TOWN AGENCY OF ANY TRANSFER OF THIS RESPONSIBILITY. THE OWNER SHALL BE RESPONSIBLY FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.
7. THE CONTRACTOR SHALL REQUEST THE APPROVING AUTHORITY TO INSPECT AND APPROVE THE INSTALLATION OF ALL EROSION CONTROL MEASURES PRIOR TO THE START OF CONSTRUCTION. PERIODIC INSPECTIONS OF EROSION CONTROL MEASURES MAY BE PERFORMED BY THE AGENT, THE CONTRACTOR SHALL REPAIR, UPGRADE OR REPAIR ANY MEASURES THE AGENT MAY FEEL ARE IN NEED OF SUCH.
8. LOAM SHALL BE STOCKPILED IN DESIGNATED AREAS FOR DURATION OF PROJECT. ALL LOAM MATERIAL SHALL BE REUSED ON SITE UPON FINAL GRADING OF SITE. SIX INCHES (6") OF LOAM SHALL BE USED THROUGHOUT THE SITE.
9. STOCKPILES OF SOIL SHALL BE SURROUNDED BY A SEDIMENT BARRIER. SOIL STOCKPILES TO BE LEFT BARE FOR MORE THAN FIFTEEN (15) DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION OR MULCH, IF STOCKPILES ARE TO REMAIN FOR MORE THAN SIXTY (60) DAYS, FILTER FABRIC SHALL BE USED IN PLACE OF HAY BALES. SIDE SLOPES SHALL NOT EXCEED 2 : 1. STOCKPILES SHALL BE LOCATED AT LEAST 100' FROM REGULATED WETLAND RESOURCE AREAS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE LIFE OF HIS CONTRACT. DUST CONTROL SHALL INCLUDE BUT NOT LIMITED TO SPRINKLING WATER ON EXPOSED SOILS AND HAUL ROADS. CONTRACTOR SHALL CONTROL DUST TO PREVENT A HAZARD TO TRAFFIC ON ADJACENT ROADWAYS.
11. SEDIMENT SHALL BE REMOVED ONCE THE VOLUME REACHES ¼ TO ½ THE HEIGHT OF THE STRAW WATTLE OR HAY BALE
12. DISTURBED AREAS REMAINING IDLE FOR MORE THAN 14 DAYS SHALL BE STABILIZED.
13. ALL CONSTRUCTION SEDIMENTATION SHALL BE REMOVED FROM TEMPORARY AND PERMANENT SEDIMENTATION BASINS PRIOR TO COMPLETION OF PROJECT AND ESTABLISHMENT OF ALL SLOPES. BASINS SHALL BE GRADED AND SHAPED TO DESIGN PARAMETERS.
14. SURFACE STONE OF THE ACCESS ROAD SHALL BE SCARIFIED ONCE A YEAR TO PREVENT COMPACTION.

Notes:

THE ENGINEER SHALL PERFORM FREQUENT INSPECTION OF THE STORMWATER SYSTEM DURING CONSTRUCTION, WITH CLEANING AND MAINTENANCE AS WARRANTED. DURING ACTIVE CONSTRUCTION PERIODS, WEEKLY INSPECTION IS REQUIRED.

IF CONSTRUCTION IS SUSPENDED (E.G., OVER THE WINTER), THEN MONTHLY INSPECTIONS ARE REQUIRED. IN ADDITION, THE SYSTEM SHOULD BE CHECKED AFTER ANY SIGNIFICANT RAINFALL, TO INSURE IT IS FUNCTIONING CORRECTLY AND TO MONITOR SEDIMENT ACCUMULATION FROM THE DISTURBED AREAS OF THE SITE.

ROUGH GRADING

DURING GRADING, THE POTENTIAL FOR EROSION IS HIGH. DURING GRADING OPERATIONS, DISTURBED SLOPES WILL BE MULCHED AND VEGETATION ESTABLISHED TO PREVENT SEDIMENT EROSION TO THE SATISFACTION OF THE ENGINEER.

Operation & Maintenance Plan

THE MAINTENANCE AND UPKEEP ON THE EXISTING ROADWAY WILL INCLUDE THE FOLLOWING ELEMENTS:

CONSTRUCTION VEHICLES SHALL BE LIMITED TO ONE ACCESS POINT ON EACH LOT WHERE A CRUSHED-STONE CONSTRUCTION PAD ENTRANCE SHALL BE INSTALLED IN THE AREA OF THE PERMANENT DRIVEWAY TO ENSURE THAT MUD AND DEBRIS ARE NOT TRACKED ONTO THE ROADWAY. IF MUD IS INADVERTENTLY TRACKED ONTO THE ROAD, IT SHOULD BE REMOVED PROMPTLY.

GENERAL MAINTENANCE OF EROSION CONTROL ELEMENTS INCLUDING REGRADING, REVEGETATION, REPLACING RIPRAP, ETC., ON AN AS NEEDED BASIS.

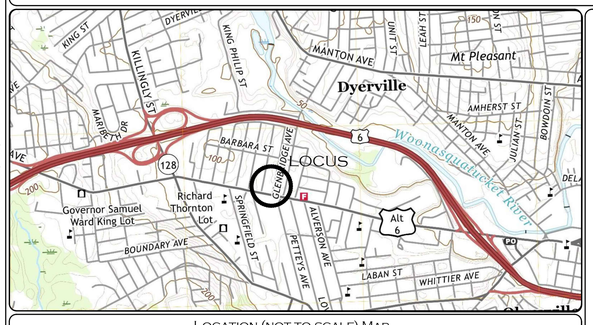
INFILTRATION FACILITY AND CATCH BASINS WILL BE INSPECTED SEMI-ANNUALLY BY THE OWNER AND WILL BE MAINTAINED AS REQUIRED.

BUILD UP OF SEDIMENTATION AND DEBRIS SHALL BE MONITORED AND REMOVED ON A SEMI-ANNUALLY BASIS IN ORDER TO KEEP THE DISCHARGES AND FLOWS INTO THE INFILTRATION FACILITY FUNCTIONING PROPERLY.

ALL STORMWATER MANAGEMENT SYSTEMS MUST HAVE AN OPERATION AND MAINTENANCE PLAN TO ENSURE THAT SYSTEMS FUNCTION AS DESIGNED.

THE OWNER WILL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE STORMWATER MANAGEMENT SYSTEM AND ALL OF ITS APPURTENANCES. THE FOLLOWING MAINTENANCE PROGRAM SHALL BE IMPLEMENTED:

THE OWNER SHALL KEEP A WRITTEN RECORD OF INSPECTION DATES AND FINDINGS, MAINTENANCE OPERATIONS, AND ALL REPAIRS. AN INSPECTION/MAINTENANCE CHECKLIST SHALL BE USED IN THE SPECIFIED INSPECTIONS. RECORDS OF INSPECTIONS AND MAINTENANCE SHALL BE KEPT FOR AT LEAST THREE YEARS, AND AVAILABLE ON REASONABLE NOTICE FOR INSPECTION BY THE APPROPRIATE TOWN AGENCY.



LOCATION (NOT TO SCALE) MAP

GRAPHIC SCALE

10 0 5 10 20 40

1 INCH = 10 FEET

Erosion & Sediment Control Plan

PAUL D. CARLSON
No. 7142
REGISTERED PROFESSIONAL ENGINEER
CIVIL
PROFESSIONAL SEAL

"E.2000 PROPERTY"
541 HARTFORD AVENUE, PROVIDENCE, RI 02909
ASSESSORS MAP 113, LOTS 232, 233, 234, & 335

APPLICANT: E.2000 REALTY, LLC
541 HARTFORD AVENUE, PROVIDENCE, RI 02909

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SHEET 5 OF 10

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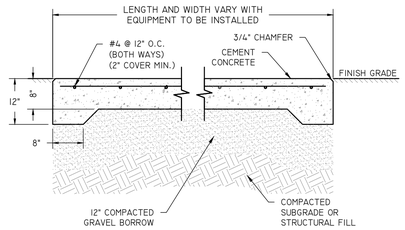
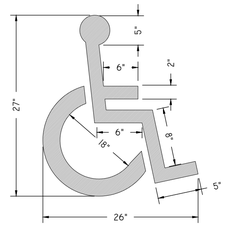


NOTES:
1. DIMENSIONS VARY
2. SURFACE OF PAD TO MATCH ADJACENT BITUMINOUS SURFACE.
3. CEMENT CONCRETE SHALL ATTAIN A COMPRESSIVE STRENGTH OF 3,000 P.S.I. (28 DAYS).
4. FOR LOCATION OF PADS SEE LAYOUT PLAN.
5. FILLING OF THE SITE SHOULD BE ACCOMPLISHED WITH STRUCTURAL FILL

CEMENT CONCRETE PAD

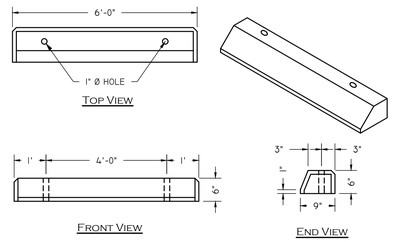
NOT TO SCALE



NOTES:
1. ALL HANDICAP PARKING AND SIGNALS SHALL BE IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE ARCHITECTURAL BARRIERS BOARD

HANDICAP PAVEMENT MARKING

NOT TO SCALE



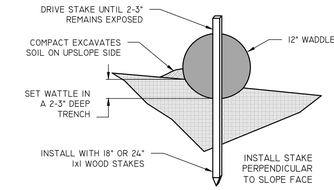
NOTES:
1. THE TOP AND ALL EXPOSED FACE SURFACES TO 1" BELOW GUTTER LINE SHALL HAVE A SPONGE FLOAT SURFACE
2. ALL EXPOSED EDGES SHALL HAVE A 3/4" CHAMFER
3. PRECAST CONCRETE CAR STOPS INCLUDE FURNISHING AND DRIVING 3/4"x 18" STEEL RODS.

PRECAST CEMENT CONCRETE CAR STOPS

NOT TO SCALE

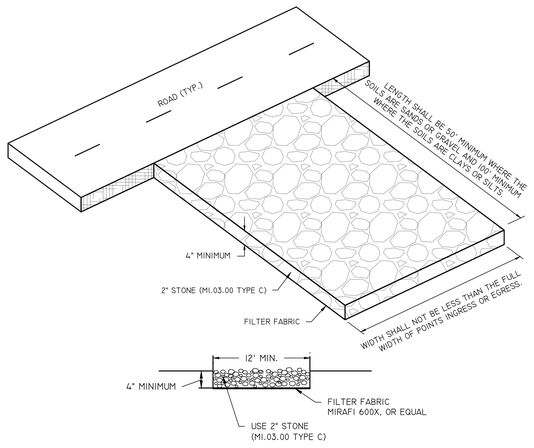
EROSION & SEDIMENTATION CONTROL:

1. BEGIN AT THE LOCATION WHERE WATTLE IS TO BE INSTALLED BY EXCAVATING 2-3" DEEP x 9" WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHOULD BE PLACED UP SLOPE FROM THE ANCHOR TRENCH.
2. PLACE THE WATTLE IN THE TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE. COMPACT SOIL FROM THE EXCAVATED TRENCH AGAINST THE WATTLE ON THE UPHILL SIDE. ADJACENT WATTLES SHOULD TIGHTLY ABUT.
3. SECURE THE WATTLE WITH 18-24" STAKES EVERY 3-4' AND WITH A STAKE ON EACH END. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE OF THE WATTLE LEAVING AT LEAST 2-3" OF STAKE EXTENDING ABOVE THE STAKES SHOULD BE DRIVEN PERPENDICULAR TO SLOPE FACE.
4. CONTRACTOR IS RESPONSIBLE TO MAINTAIN INTEGRITY OF STRAW WATTLE FOR DURATION OF CONSTRUCTION.
5. EROSION CONTROLS TO REMAIN UNTIL SOIL CONDITIONS STABILIZE.
6. LOOSE HAY TO BE SPREAD ON AREAS OF EXPOSED LOAM & SEED UNTIL GERMINATION AND STABILIZATION OCCURS.



STRAW WATTLE (OR SILT SOCK) DETAIL

NOT TO SCALE



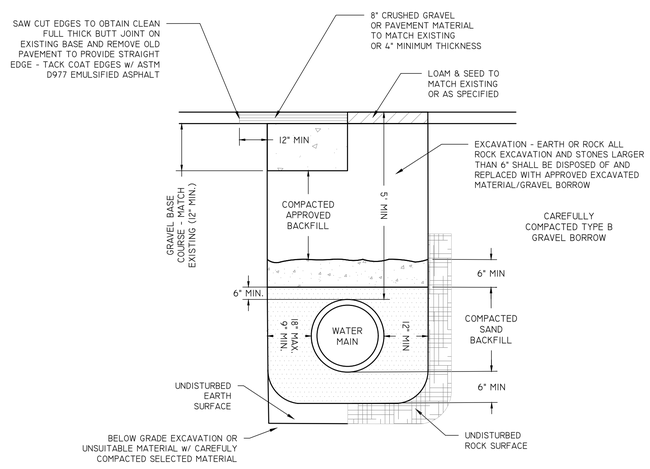
INSTALLATION:
THE AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL, THE STONE SHALL BE PLACED TO THE SPECIFIED DIMENSIONS, AS NOTED ABOVE.

MAINTENANCE:
THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENTS ONTO PUBLIC RIGHT- OF-WAYS THIS WILL REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE, OR ADDITIONAL LENGTH, AS CONDITIONS DEMAND, AND REPAIR, AND / OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.

LOCATION:
SEE OVERALL SHEET FOR LOCATION OF CONSTRUCTION ENTRANCE.

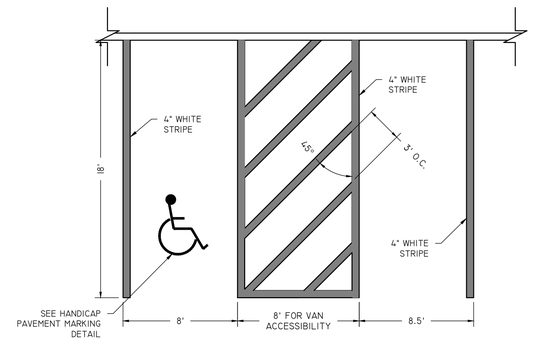
CONSTRUCTION ENTRANCE DETAIL

NOT TO SCALE



TYPICAL WATER MAIN / GAS MAIN TRENCH DETAIL

NOT TO SCALE

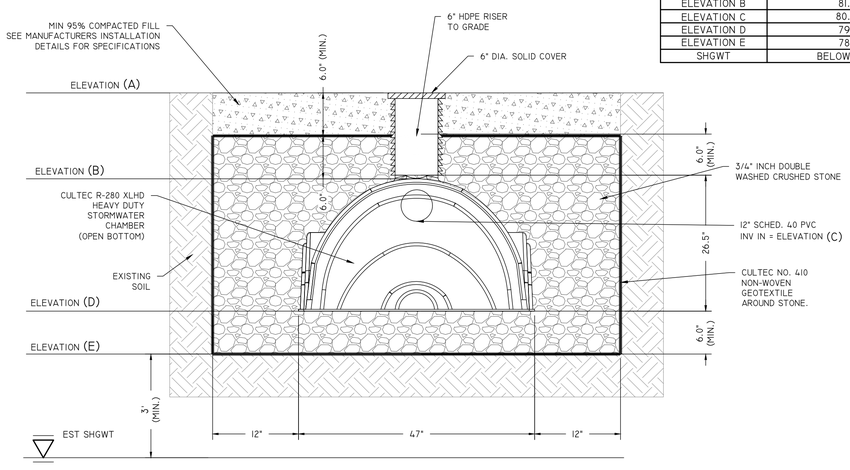


NOTES:
1. WHERE STALLS ABUT SIDEWALK, PARKING SIGNS SHOULD BE PLACED AT BACK EDGE OF SIDEWALK.

HANDICAP PARKING AND STANDARD STALLS

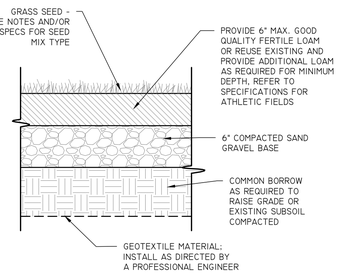
NOT TO SCALE

INFILTRATOR INVERT ELEVATIONS	
	FIELD A
ELEVATION A	84.75-85.50
ELEVATION B	81.61
ELEVATION C	80.40
ELEVATION D	79.4
ELEVATION E	78.9
SHGWT	BELOW 75.25



CULTC R-280-HD HEAVY DUTY INFILTRATION SYSTEM CROSS SECTION

NOT TO SCALE



LOAM AND SEED DETAIL

NOT TO SCALE

NOTES:
1. LOAM MOVED SHALL BE RETAINED AND DISTRIBUTED ON THE SITE IN ACCORDANCE WITH THE PLANS. STOCKPILED LOAM SHALL NOT BE MIXED WITH ANY SUBSOIL OR UNSUITABLE MATERIALS. NEW LOAM IF REQUIRED SHALL BE FERTILE,FRIABLE MEDIUM TEXTURED SANDY LOAM FREE OF STUMPS, STONES,ROOTS AND OTHER MATTER ONE INCH (1") OR GREATER IN DIAMETER. THE PH SHALL BE BETWEEN 5.5 AND 7.5.
2. LAWN PREPARATION: ALL DEBRIS AND INORGANIC MATERIAL SHALL BE REMOVED FROM THE SUBGRADE. PRIOR TO THE SPREADING OF ANY LOAM, AREAS SHALL BE RESHAPED AND DRESSED WITH CLEAN LOAM AS REQUIRED TO OBTAIN A SMOOTH SURFACE. SUBGRADE TO BE SCARIFIED AND LOOSEN IN AREAS WHERE COMPACTION HAS OCCURRED. LOAM TO BE SPREAD TO A DEPTH OF SIX INCHES (6"). A STARTER FERTILIZER (10-20-10) AT A RATE OF 20LBS. PER 1000 SQUARE FEET AND LIME AT A RATE OF 40LBS. PER 1000 SQUARE FEET. THE LOAM SHALL BE ROLLED TO CREATE A SMOOTH SURFACE.
3. SEEDING SHALL TAKE PLACE BETWEEN MARCH 15 AND MAY 31 OR AUGUST 15 AND OCTOBER 15. SEED SHALL BE PURE, LIVE, FRESH SEED FROM COMMERCIAL SOURCES AND LABELED IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS. THE SEED MIXTURE SHALL BE:

PRODUCTION TYPE	WEIGHT
HENREYS HARD FESCUE	24.78%
AZURE SHEEPS FESCUE	24.78%
AMBROSE CHEWINGS FESCUE	24.67%
CREEPING RED FESCUE	24.63%

*INERT MATERIAL TO BE LESS THAN 2.5% MAX.

DETAIL SHEET (1 OF 3)

PAUL D. CARLSON
No. 7142
REGISTERED PROFESSIONAL ENGINEER
CIVIL
PROFESSIONAL SEAL

"E.2000 PROPERTY"
541 HARTFORD AVENUE, PROVIDENCE, RI 02909
ASSESSORS MAP 113, LOTS 232, 233, 234, & 335

APPLICANT: E. 2000 REALTY, LLC
541 HARTFORD AVENUE, PROVIDENCE, RI 02909

JOB #	SCALE:	DRAWN BY:	DATE:
22-044	N.T.S.	LJG	JANUARY 18, 2022

REVISED:

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SHEET 6 OF 10

SEPARATOR ROW™ SPECIFICATIONS: (SR 1.0)

GENERAL:

1. CULTEC'S SEPARATOR ROW IS USED AS AN INEXPENSIVE MEANS OF REMOVING TOTAL SUSPENDED SOLIDS FROM THE CHAMBER SYSTEM, AS WELL AS PROVIDING EASIER ACCESS FOR INSPECTION AND MAINTENANCE.

2. THE SEPARATOR ROW PERFORMANCE SHALL BE TESTED AND VERIFIED TO THE PROTOCOLS AND PROCEDURES AS DEFINED BY ENVIRONMENTAL TECHNOLOGY VERIFICATION (ETV) CANADA TO ACHIEVE 80% TSS REMOVAL.

INSTALLATION INSTRUCTIONS:

A SEPARATOR ROW IS INSTALLED ON A 1-2 INCH [25-51 MM] WASHED, CRUSHED STONE BASE. TYPICALLY, THE CULTEC CHAMBER MODEL USED FOR THE SEPARATOR ROW IS THE SAME CHAMBER USED THROUGHOUT THE ENTIRE CHAMBER BED.

STORMWATER IS DISTRIBUTED TO THE SEPARATOR ROW BY A PRIMARY FEED SYSTEM THAT DIVERTS FLOW TO THE SEPARATOR ROW AND A SECONDARY BYPASS FEED SYSTEM THAT DIVERTS THE FLOW OF CLEAN WATER TO THE OTHER PARTS OF THE UNDERGROUND STORMWATER MANAGEMENT SYSTEM. THE DISTRIBUTION SYSTEM MAY BE BY PIPES SET AT A LOWER ELEVATION THAT PERMIT THE FIRST FLUSH TO THE SEPARATOR ROW VERSUS OTHER PARTS OF THE UNDERGROUND STORMWATER SYSTEM. THIS INITIAL FLOW MAY BE MANAGED BY A BAFFLE OR WEIR. THE SIZING OF THE PIPE(S) THAT PROVIDE STORM WATER TO THE SEPARATOR ROW IS TO BE DETERMINED BY THE DESIGN ENGINEER AND IS BASED UPON THE REQUIREMENT TO ACCOMMODATE THE DESIGN FLOW AND SERVICE CONVENIENCE.

THE CHAMBERS UTILIZED IN THE SEPARATOR ROW ARE TO BE COMPLETELY WRAPPED WITH CULTEC NO. 410 NON-WOVEN GEOTEXTILE. THIS CREATES A PASS-THROUGH FILTER ARRANGEMENT TO SEPARATE TOTAL SUSPENDED SOLIDS IN THE TRANSFER OF STORM WATER TO OTHER CHAMBERS THROUGHOUT THE UNDERGROUND STORMWATER MANAGEMENT SYSTEM.

ONCE WRAPPED, THE SEPARATOR ROW IS TO THEN PLACED ENTIRELY OVER 1 LAYER OF CULTEC No. 4800 WOVEN GEOTEXTILE. THIS WOVEN GEOTEXTILE PROVIDES A DURABLE SURFACE WITHIN THE ROW FOR MAINTENANCE PROCEDURES AS WELL AS TO PREVENT ANY SCOURING OF THE STONE BASE DURING HIGH PRESSURE JETTING.

THE RECOMMENDED INSTALLATION OF SEPARATOR ROW CHAMBERS, IN REGARD TO STONE SEPARATION AND STONE ABOVE THE UNIT, ALONG WITH OTHER MINIMUM BURIAL, MATERIALS AND METHOD SPECIFICATIONS DETAILED FOR THE PROPER INSTALLATION, IS THE SAME AS CULTEC'S REQUIREMENT DETAILED IN THE COMPANY'S INSTALLATION GUIDELINES WITH THE EXCEPTION OF THE PLACEMENT OF THE REQUIRED FILTERING FABRICS. PLEASE REFER TO CULTEC'S CURRENT INSTALLATION INSTRUCTIONS FOR STORMWATER CHAMBERS AS A GUIDE.

MAINTENANCE PROCEDURES:

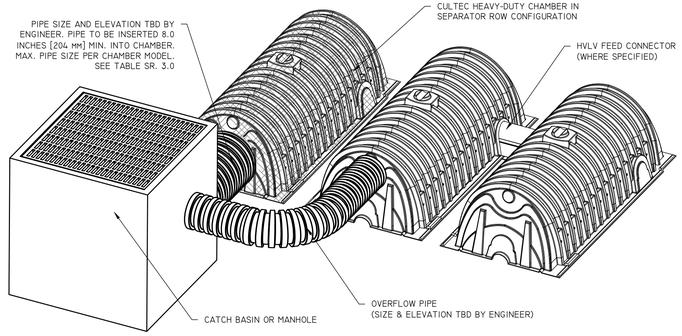
CULTEC RECOMMENDS INSPECTIONS OF THE SEPARATOR ROW TO BE PERFORMED EVERY SIX MONTHS FOR THE FIRST YEAR. THE FREQUENCY OF INSPECTION CAN THEN BE ADJUSTED BASED UPON PREVIOUS OBSERVATION OF SEDIMENT DEPOSITION.

WHILE CLEANING IS POSSIBLE FROM A SINGLE MANHOLE IN SHORTER LINES, A CLEAN-OUT OPTION FROM EITHER END OF A LINE IS PREFERABLE, PARTICULARLY FOR LONGER RUNS. CLEANING INVOLVES FLUSHING SEDIMENT FROM THE BASE FABRIC OF THE SEPARATOR ROW.

ACCESS WILL BE PROVIDED VIA A MANHOLE(S) LOCATED AT THE END(S) OF THE ROW FOR CLEAN OUT.

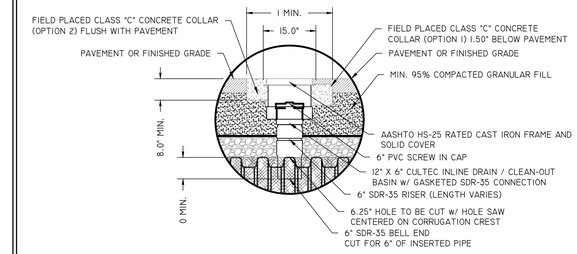
MAINTENANCE OF THE SEPARATOR ROW IS TO BE ACCOMPLISHED WITH A JETVAC PROCESS.

THE JETVAC IS TO BE SENT DOWN THE ENTIRE LENGTH OF THE SEPARATOR ROW. AS THE HIGH PRESSURE WATER NOZZLE IS RETRIEVED, THE CAPTURED SEDIMENTS ARE PUSHED BACK INTO THE MANHOLE FOR VACUUMING.



TYPICAL SEPARATOR ROW CONFIGURATION INLET CONNECTION DETAIL (SR 2.0)

NOT TO SCALE



TYPICAL INSPECTION PORT - ZOOM DETAIL (SR 5.0)

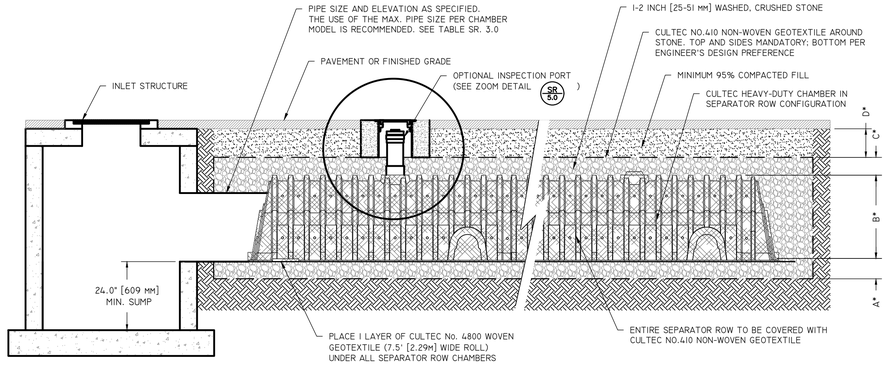
NOT TO SCALE

CULTEC CHAMBER MODEL						
	DESCRIPTION	CONTACTOR 100HD	RECHARGER 150XLHD	RECHARGER 280HD	RECHARGER 330XLHD	RECHARGER 902HD
A'	MIN. DEPTH OF STONE BASE	6" 152 mm	6" 152 mm	6" 152 mm	6" 152 mm	9" 229 mm
B	CHAMBER HEIGHT	12.5" 318 mm	18.5" 470 mm	26.5" 673 mm	30.5" 775 mm	48" 1219 mm
C'	MIN. DEPTH OF STONE REQUIRED ABOVE UNITS FOR TRAFFIC APPLICATIONS	6" 152 mm	6" 152 mm	6" 152 mm	6" 152 mm	12" 305 mm
D	MIN. DEPTH REQUIRED OF 95% COMPACTED FILL FOR PAVED TRAFFIC	8" 203 mm	8" 203 mm	8" 203 mm	10" 254 mm	12" 305 mm
E	MAX. DEPTH OF COVER ALLOWED ABOVE CROWN OF CHAMBER	12' 3.65 m	12' 3.65 m	12' 3.65 m	12' 3.65 m	8.3' 2.53 m
	MAX. PIPE SIZE TO CHAMBER ENDWALL/ENDCAP	10" 250 mm	12" 300 mm	18" 450 mm	24" 600 mm	24" 600 mm

NOTE': STONE ABOVE AND BELOW UNITS MAY VARY PER SYSTEM. SEE SYSTEM LAYOUT FOR STONE REQUIREMENTS

CROSS SECTION TABLE REFERENCE (SR 3.0)

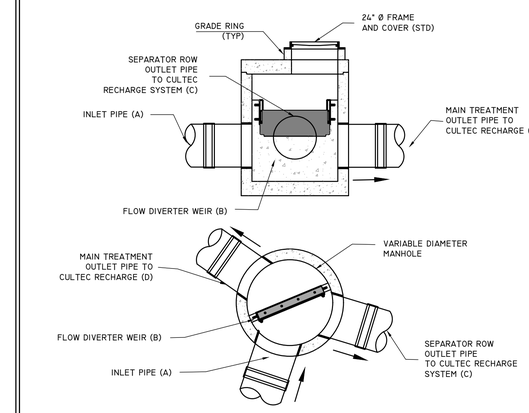
NOT TO SCALE



* SEE SR 3.0 - CROSS SECTION TABLE REFERENCE

TYPICAL SEPARATOR ROW CONFIGURATION CROSS SECTION WITH INSPECTION PORT DETAIL (SR 7.0)

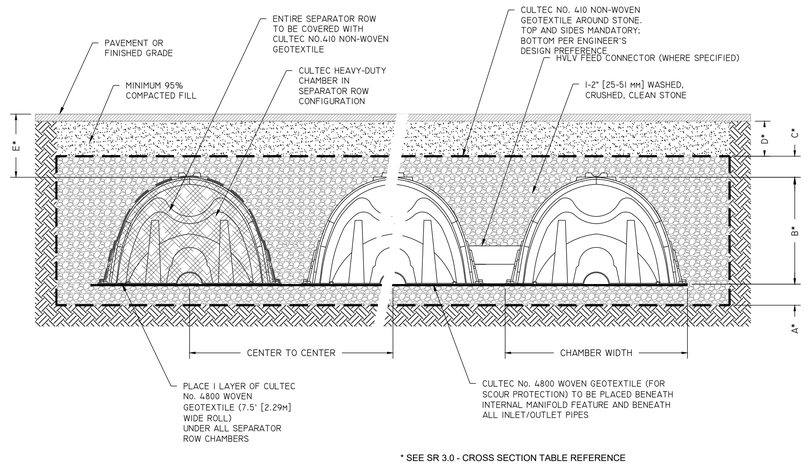
NOT TO SCALE



FLOW DIVERTER INVERT ELEVATIONS	
ELEVATION A	80.50
ELEVATION B	81.50
ELEVATION C	80.40
ELEVATION D	80.40

SEPARATOR ROW MANHOLE WITH FLOW DIVERTER

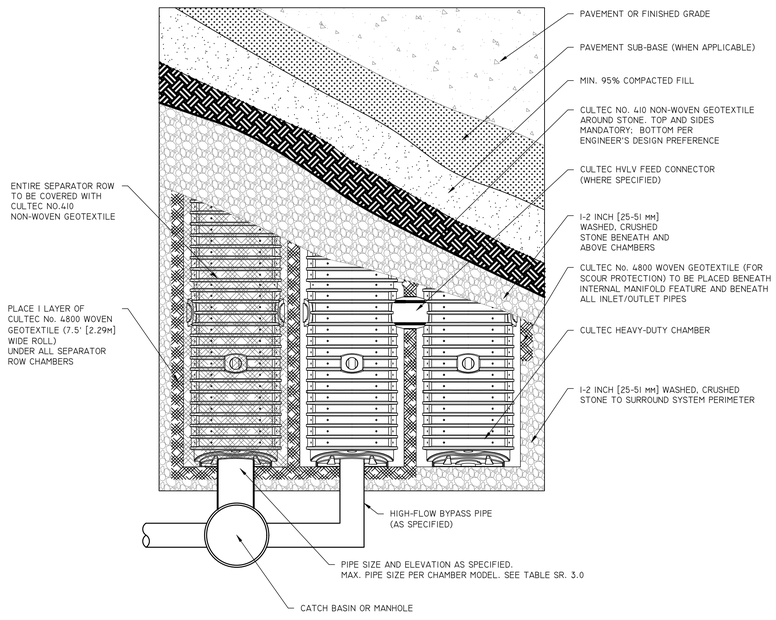
NOT TO SCALE



* SEE SR 3.0 - CROSS SECTION TABLE REFERENCE

TYPICAL SEPARATOR ROW CONFIGURATION CROSS SECTION (SR 6.0)

NOT TO SCALE



TYPICAL SEPARATOR ROW CONFIGURATION PLAN VIEW (SR 4.0)

NOT TO SCALE

CULTEC, Inc.

Subsurface Stormwater Management Systems

P.O. Box 280
878 Federal Road
Brookfield, CT 06804
www.cultec.com

PH: (203) 775-4416
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tech@cultec.com

DETAIL SHEET (2 OF 3)

PAUL D. CARLSON
No. 7142
REGISTERED PROFESSIONAL ENGINEER
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"E.2000 PROPERTY"
541 HARTFORD AVENUE, PROVIDENCE, RI 02909
ASSESSORS MAP 113, LOTS 232, 233, 234, & 335

APPLICANT: E. 2000 REALTY, LLC
541 HARTFORD AVENUE, PROVIDENCE, RI 02909

JOB #	SCALE:	DRAWN BY:	DATE:
22-044	N.T.S.	LJG	JANUARY 18, 2022

REVISED:

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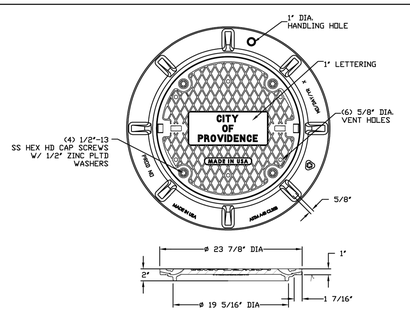
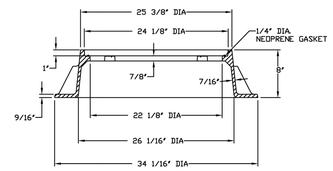
SHEET 7 OF 10



COVER SECTION



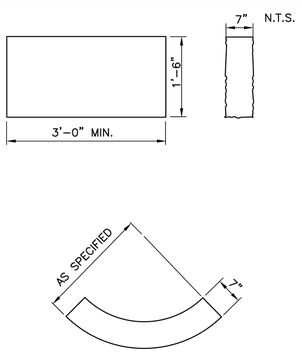
FRAME SECTION

NOTES:

1. MATERIALS SHALL CONFORM TO SECTION M.04 OF THE RHODE ISLAND STANDARD SPECIFICATIONS.
2. THE MATERIALS SHALL BE GRAY IRON AND SHALL BE ASTM A48 CERTIFIED.
3. SHALL BE EJ PRODUCT 240834B01 OR APPROVED EQUAL.

HEAVY DUTY MANHOLE FRAME AND COVER-24 INCH

6.2.1 P PROVIDENCE STANDARD



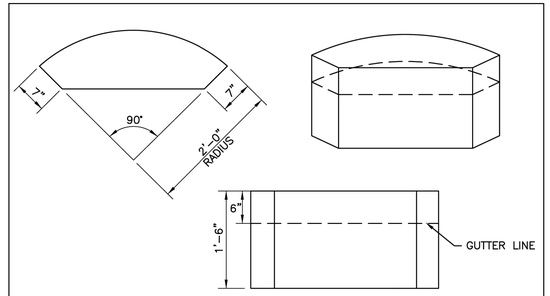
NOTE:

1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE RI STANDARD SPECIFICATIONS.
2. TOP SURFACE TO BE DRESSED BY SAW. REMAINDER TO BE SAWCUT OR QUARRY SPLIT.
3. MINIMUM LENGTH OR CIRCULAR PIECES TO BE 3'-0".
4. CIRCULAR CURB IS REQUIRED ON CURVES AS INDICATED. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 160'-0" RADIUS.
5. CURB TO BE SET PER PROVIDENCE CURB SETTING DETAIL.

GRANITE CURB - STRAIGHT AND CIRCULAR

N.T.S.

7.3.0 P PROVIDENCE STANDARD



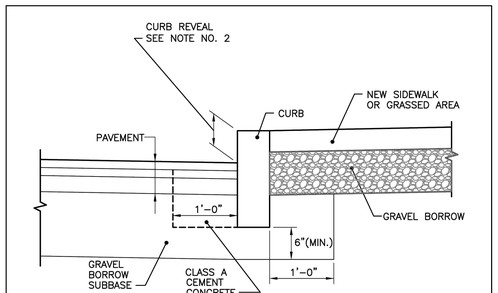
NOTES:

1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
2. TOP SURFACE TO BE DRESSED BY SAW. REMAINDER TO BE QUARRY SPLIT OR SAWCUT.

GRANITE 2'-0" RADIUS CURB RETURN

N.T.S.

7.3.4 P PROVIDENCE STANDARD



NOTES:

1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
2. NEW CURBING CONSTRUCTION SHALL BE SET AT A 6 INCH REVEAL OR AS INDICATED ON PLANS OR DIRECTED BY PROVIDENCE DPW. NEW CURBING INSTALLED ADJACENT TO EXISTING CURBING SHALL MATCH THE EXISTING REVEAL OR A MINIMUM OF 4 INCHES, WHICHEVER IS GREATER. IF ADJACENT EXISTING REVEAL IS LESS THAN 4 INCHES, THE FIRST SECTION OF NEW CURB SHALL TRANSITION TO 4" REVEAL,

CURB SETTING DETAIL

N.T.S.

7.6.0 P PROVIDENCE STANDARD

NOTES

1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
2. SEE CURB SETTING DETAIL WHERE APPLICABLE.
3. RUNNING SLOPE OF SIDEWALK SHALL NOT EXCEED 8.3% (1:12). TYPICALLY, RUNNING SLOPE SHALL MATCH ROAD SLOPE.
4. CROSS SLOPE OF SIDEWALK SHALL NOT EXCEED 2% (1:50).
5. SIDEWALK MAY BE SUBJECT TO GRASS STRIP INSTALLATION. CONSULT WITH DPW ENGINEERING
6. GRAVEL BORROW BASE SHALL COMPACT TO ACHEIVE SOIL DENSITY VALUES OF 95% MODIFIED PROCTOR DENSITY (AASHTO T180).
7. SIDEWALK REPAIRS TWENTY FEET OR LONGER ARE SUBJECT TO REQUIREMENTS HEREIN. SIDEWALK REPAIRS SHORTER THAN TWENTY FEET SHALL MAKE EVERY EFFORT TO MEET REQUIRED SLOPES.
8. CONTROLL JOINTS SHALL BE INSTALLED EVERY 5 FEET IN EACH DIRECTION.
9. EXPANSION JOINTS SHALL BE INSTALLED EVERY 20 FEET IN EACH DIRECTION AT FOUNDATIONS AND WALLS AND IN A SQUARE PATTERN AROUND MANHOLE COVERS, HYDRANTS, SIGN POSTS AND UTILITY POLES. THE EXPANSION JOINT SHALL BE THE FULL DEPTH OF THE SIDEWALK AND FILLED WITH AN APPROVED TYPE OF PREMOLDED EXPANSION JOINT FILLER.

CEMENT CONCRETE SIDEWALK

N.T.S.

43.1.0 P PROVIDENCE STANDARD

541 HARTFORD AVE

OBSERVATION HOLE #1

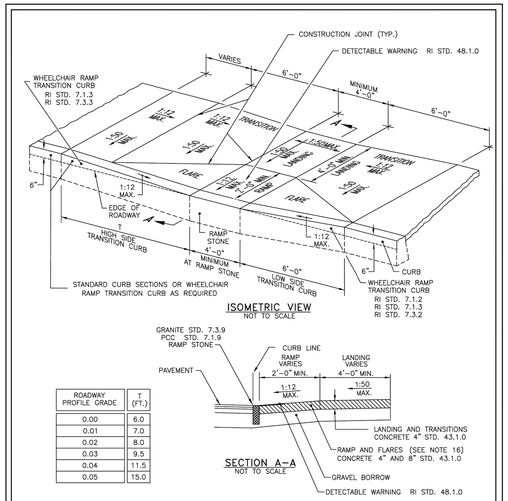
HORIZON	DEPTH	HORIZON BOUND		SOIL COLORS	RE-DOX				TEXTURE	STRUCTURE	CONSIST.	SOIL CATEGORY
		DIST.	TOPO	MATRIX	RE-DOX	AB.	S.	CONT.				
FILL	0-70											
FILL	70-120			10YR4/6					LCOS	O-M	FRI	6

SOIL CLASS: OUTWASH — IMPERVIOUS/LIMITING LAYER DEPTH: NONE — DATE:12-20-2022
TOTAL DEPTH: 120" — GW SEEPAGE DEPTH: NONE — BY: MARC NYBERG
PERC. TEST NOT PERFORMED — SHWT > 120" (> 50" OG) — LICENSE NUMBER: 04043

OBSERVATION HOLE #2

HORIZON	DEPTH	HORIZON BOUND		SOIL COLORS	RE-DOX				TEXTURE	STRUCTURE	CONSIST.	SOIL CATEGORY
		DIST.	TOPO	MATRIX	RE-DOX	AB.	S.	CONT.				
FILL	0-72											
FILL	72-120			2.5Y5/4					COS	O-S.G	LOOSE	I

SOIL CLASS: OUTWASH — IMPERVIOUS/LIMITING LAYER DEPTH: NONE — DATE:12-20-2022
TOTAL DEPTH: 120" — GW SEEPAGE DEPTH: NONE — BY: MARC NYBERG
PERC. TEST NOT PERFORMED — SHWT > 120" (> 48" OG) — LICENSE NUMBER: 04043



ISOMETRIC VIEW
NOT TO SCALE

ROADWAY PROFILE GRADE	T (FT.)
0.00	6.0
0.01	7.0
0.02	8.0
0.03	9.5
0.04	11.5
0.05	15.0

SECTION A-A
NOT TO SCALE

NOTES:

1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE RI STANDARD SPECIFICATIONS.
2. WHEN ANY OBSTRUCTION LOCATED IN THE SIDEWALK FALLS WITHIN A CROSSWALK AREA, THE WHEELCHAIR RAMP SHALL BE PLACED SUCH THAT THE OBSTRUCTION FALLS OUTSIDE OF THE RAMP.
3. AT NO TIME IS ANY PART OF THE WHEELCHAIR RAMP TO BE LOCATED OUTSIDE OF THE CROSSWALK, AND IT IS TO BE CENTERED WHENEVER POSSIBLE.
4. DRAINAGE FACILITIES ARE TO BE LOCATED UP-GRADE OF ALL WHEELCHAIR RAMPS.
5. LOCATION OF WHEELCHAIR RAMPS IS AS SHOWN ON CONTRACT DRAWINGS.
6. IN NO INSTANCE SHALL THE SIDEWALK CROSS SLOPE EXCEED 1:50 EXCEPT WITHIN THE RAMP AREA.
7. AN UNOBSTRUCTED PATH OF TRAVEL WITH A MINIMUM WIDTH OF 4'-0" SHALL BE MAINTAINED.
8. THE WHEELCHAIR RAMP SLOPE AND SIDE SLOPES (TRANSITIONS), MUST NOT BE STEEPER THAN 1:12. HOWEVER, THESE SLOPES MAY BE FLATTER THAN 1:12 WHEN WARRANTED BY SURROUNDING CONDITIONS.
9. WHERE THE ROAD PROFILE EXCEEDS 5% THE HIGH SIDE TRANSITION LENGTH (T) SHALL BE EIGHTEEN FEET (18'-0").
10. IN NO CASE, WHERE A STOP LINE IS WARRANTED, SHALL A RAMP BE PLACED BEHIND THE STOP LINE.
11. THE ENTRANCE OF THE WHEELCHAIR RAMP SHALL BE FLUSH WITH THE ROADWAY.
12. THE WHEELCHAIR RAMP SHALL BE CENTERED RADIALLY, OPPOSITE THE RADIUS POINT WHEN POSSIBLE.
13. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0" (GREATER LENGTHS PREFERRED).
14. ALL REQUIRED CUTTING OF CURB PIECES TO BE PAID FOR UNDER COST OF CURB.
15. DETECTABLE WARNINGS TO BE PAID FOR UNDER SECTION 942 OF THE RI STANDARD SPECIFICATIONS
16. 8" CONCRETE DEPTH FOR RADIUS WHEELCHAIR RAMPS ONLY. USE 4" DEPTH FOR TANGENT (MID-BLOCK) LOCATIONS.

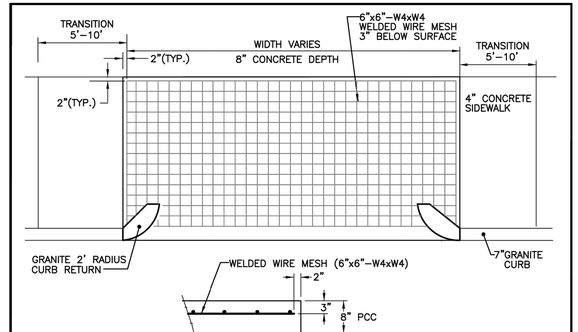
RHODE ISLAND DEPARTMENT OF TRANSPORTATION

REVISIONS		
NO.	BY	DATE
1	MJP	Oct. 2005
2	MJP	Jan. 2008
3	MJP	Sep. 2012

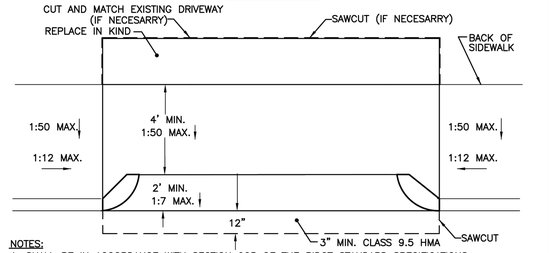
WHEELCHAIR RAMP

JUNE 15, 1998
ISSUE DATE

R.I. STANDARD 43.3.0



DRIVEWAY SECTION



NOTES:

1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE RIDOT STANDARD SPECIFICATIONS.
2. RUNNING SLOPE OF SIDEWALK/DRIVEWAY SHALL NOT EXCEED 8.3% (1:12)
3. 4' MINIMUM ACCESSIBLE PATH SHALL BE INSTALLED WITH CROSS SLOPE NOT EXCEEDING 2% (1:50)
4. RESIDENTIAL CURB CUTS SHALL BE NO WIDER THAN 12' FROM INSIDE OF CURB RETURNS.

CEMENT CONCRETE DRIVEWAYS

N.T.S.

43.5.0 P PROVIDENCE STANDARD

ISSUE DATE: 1/6/17, REVISED 10/6/17

DETAIL SHEET (3 OF 3)

PAUL D. CARLSON
No. 7142
REGISTERED PROFESSIONAL ENGINEER
CIVIL
PROFESSIONAL SEAL

"E.2000 PROPERTY"
541 HARTFORD AVENUE, PROVIDENCE, RI 02909
ASSESSORS MAP 113, LOTS 232, 233, 234, & 335

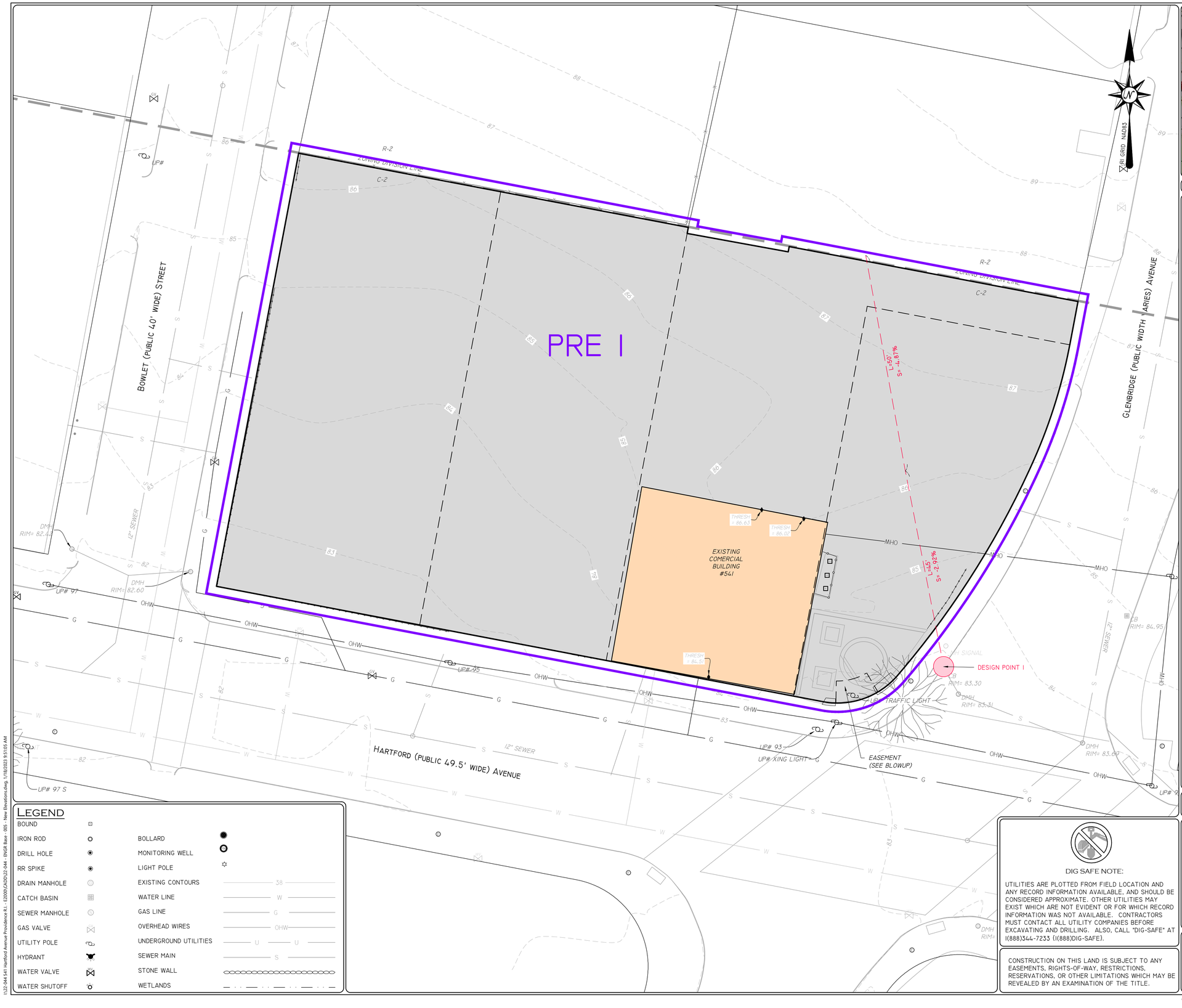
APPLICANT: E. 2000 REALTY, LLC
541 HARTFORD AVENUE, PROVIDENCE, RI 02909

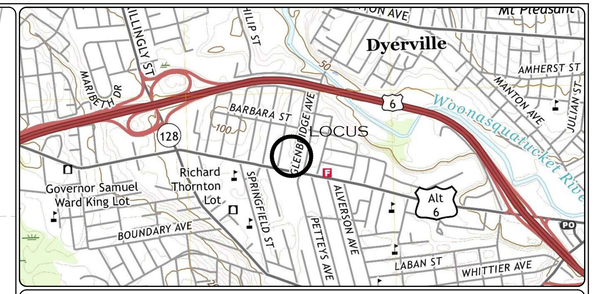
JOB #	SCALE:	DRAWN BY:	DATE:
22-044	N.T.S.	LJG	JANUARY 18, 2022

REVISED:

InSite Engineering Services, LLC
PROFESSIONAL ENGINEERS | LAND SURVEYORS
Precision. Clarity. Certainty.
InSite Professional Complex, Suite 1
1539 Fall River Avenue Seekonk, MA 02771
Phone: (508) 336-4500 Fax: (508) 336-4558
Web Address: InsiteEngineers.com

SHEET 8 OF 10





LOCATION (NOT TO SCALE) MAP

GENERAL NOTES:

1. LOT SHOWN IS DESIGNATED AS LOTS 232, 233, 234, & 235 ON PROVIDENCE ASSESSORS MAP 113
2. ZONING DISTRICT: COMMERCIAL "C-2"
3. OWNER OF RECORD: - E.2000 REALTY, LLC
   BOOK 6024 PAGE 124 & 125
4. SITE IS NOT LOCATED IN A FEMA FLOOD ZONE (ZONE X) (AREA OF MINIMAL FLOOD HAZARD) AS SHOWN ON FIRM PANEL 445406 0304 J EFFECTIVE ON OCTOBER 2, 2015

WETLAND, WATERCOURSES, & COASTAL FEATURES:

THERE ARE NO WETLANDS, WATERCOURSES, OR COASTAL FEATURES LOCATED ON THE PROPERTY OR WITHIN 200' OF THE PROPERTY.

WATERSHED ANALYSIS LEGEND:

WATERSHED BOUNDARY:
SOIL GROUPS:
TIME OF CONCENTRATION:
FORESTED AREA:
GRASS AREA:
PAVEMENT AREA:
GRAVEL AREA:
BUILDING AREA:

WATERSHED CALCULATIONS:

PRE Watershed Flow Analysis		
Year:	Design Point 1	
	Pre (CFS)	Pre (CF)
3 Month	0.44	1,488
1	1.06	3,727
2	1.3	4,629
5	1.62	5,833
10	1.94	7,038
25	2.42	8,846
50	2.9	10,656
100	3.46	12,767

GRAPHIC SCALE

10 0 5 10 20 40

1 INCH = 10 FEET

LEGEND

BOUND			
IRON ROD		BOLLARD	
DRILL HOLE		MONITORING WELL	
RR SPIKE		LIGHT POLE	
DRAIN MANHOLE		EXISTING CONTOURS	38
CATCH BASIN		WATER LINE	W
SEWER MANHOLE		GAS LINE	G
GAS VALVE		OVERHEAD WIRES	OHW
UTILITY POLE		UNDERGROUND UTILITIES	U U
HYDRANT		SEWER MAIN	S
WATER VALVE		STONE WALL	
WATER SHUTOFF		WETLANDS	

DIG SAFE NOTE:

UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE, AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL "DIG-SAFE" AT 1(888)344-7233 (1(888)DIG-SAFE).

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

PAUL D. CARLSON
No. 7142
REGISTERED PROFESSIONAL ENGINEER
CIVIL
PROFESSIONAL SEAL

PRE WATERSHED ANALYSIS

"E.2000 PROPERTY"
541 HARTFORD AVENUE, PROVIDENCE, RI 02909
ASSESSORS MAP 113, LOTS 232, 233, 234, & 235

APPLICANT: E.2000 REALTY, LLC
541 HARTFORD AVENUE, PROVIDENCE, RI 02909

JOB #	SCALE:	DRAWN BY:	DATE:
22-044	1" = 10'	LJG	JANUARY 18, 2022

REVISED:

InSite Engineering Services, LLC
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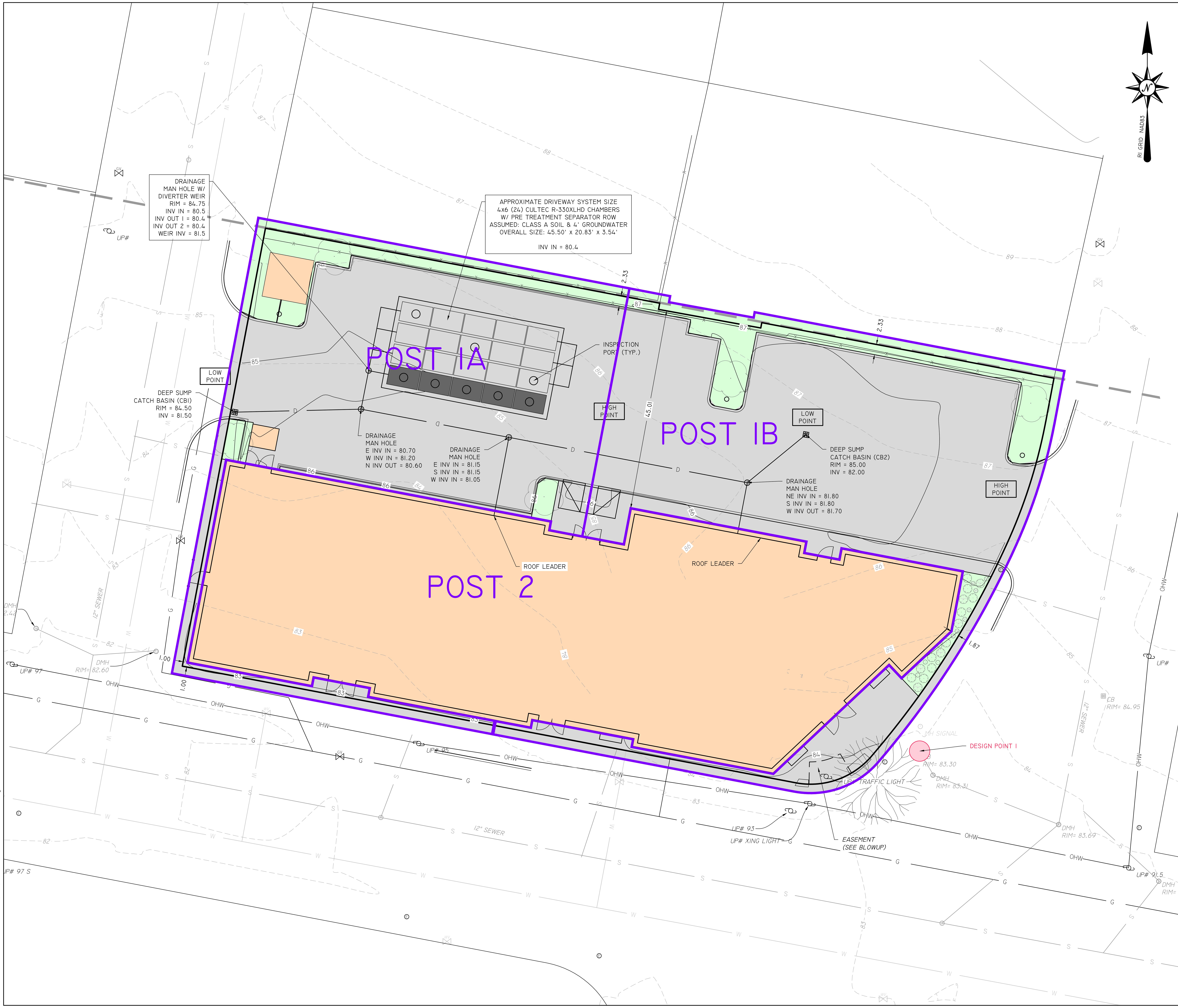
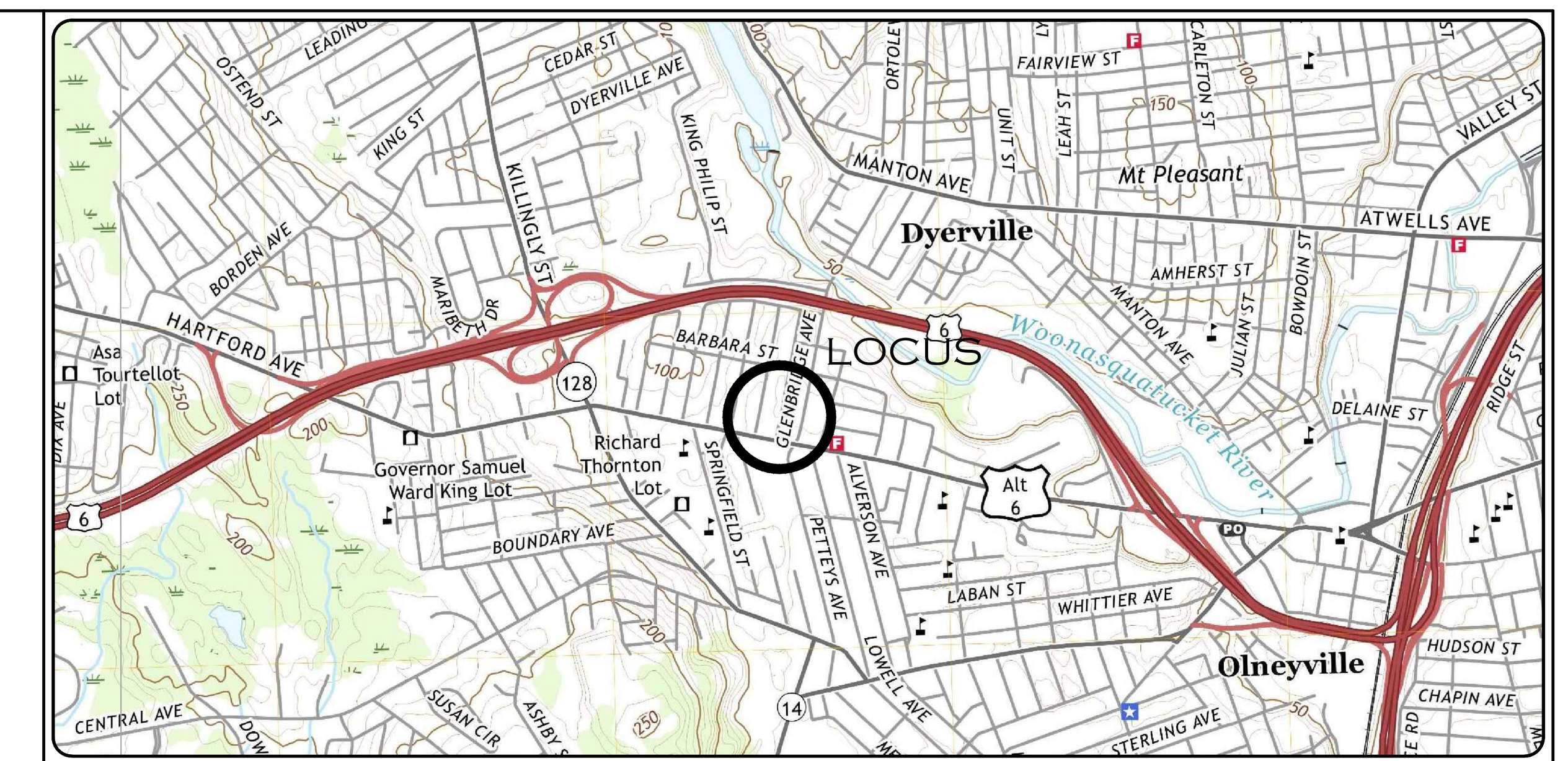
SHEET 9 OF 10





Location (not to scale) Map

General Notes:

1. LOT SHOWN IS DESIGNATED AS LOTS 232, 233, 234, & 235 ON PROVIDENCE ASSESSORS MAP 113
2. ZONING DISTRICT: COMMERCIAL "C-2"
3. OWNER OF RECORD: - E.2000 REALTY, LLC
   BOOK 6024 PAGE 124 & 125
4. SITE IS NOT LOCATED IN A FEMA FLOOD ZONE (ZONE X) (AREA OF MINIMAL FLOOD HAZARD) AS SHOWN ON FIRM PANEL 445406 0304 J EFFECTIVE ON OCTOBER 2, 2015

Wetland, Watercourses, & Coastal Features:

THERE ARE NO WETLANDS, WATERCOURSES, OR COASTAL FEATURES LOCATED ON THE PROPERTY OR WITHIN 200' OF THE PROPERTY.

Watershed Analysis Legend:

- WATERSHED BOUNDARY:
- SOIL GROUPS:
- TIME OF CONCENTRATION:
- FORESTED AREA:
- GRASS AREA:
- PAVEMENT AREA:
- GRAVEL AREA:
- BUILDING AREA:

Graphic Scale

10 0 5 10 20 40

1 Inch = 10 Feet

Post Watershed Analysis Plan

PAUL D. CARLSON
No. 7142
REGISTERED PROFESSIONAL ENGINEER CIVIL
Professional Seal

"E.2000 Property"
541 Hartford Avenue, Providence, RI 02909
Assessors Map 113, Lots 232, 233, 234, & 235

Applicant: E.2000 Realty, LLC
541 Hartford Avenue, Providence, RI 02909

Job #	Scale:	Drawn By:	Date:
22-044	1" = 10'	LJG	January 18, 2022

Revised:

InSite Engineering Services, LLC
Professional Engineers | Land Surveyors
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Phone: (508) 336-4500 Fax: (508) 336-4558
Web Address: InsiteEngineers.com

1122-044 541 Hartford Avenue Providence RI - E2000\CAD\22-044 - ENGR Base - 005 - New Elevations.dwg, 1/18/2023 9:51:07 AM