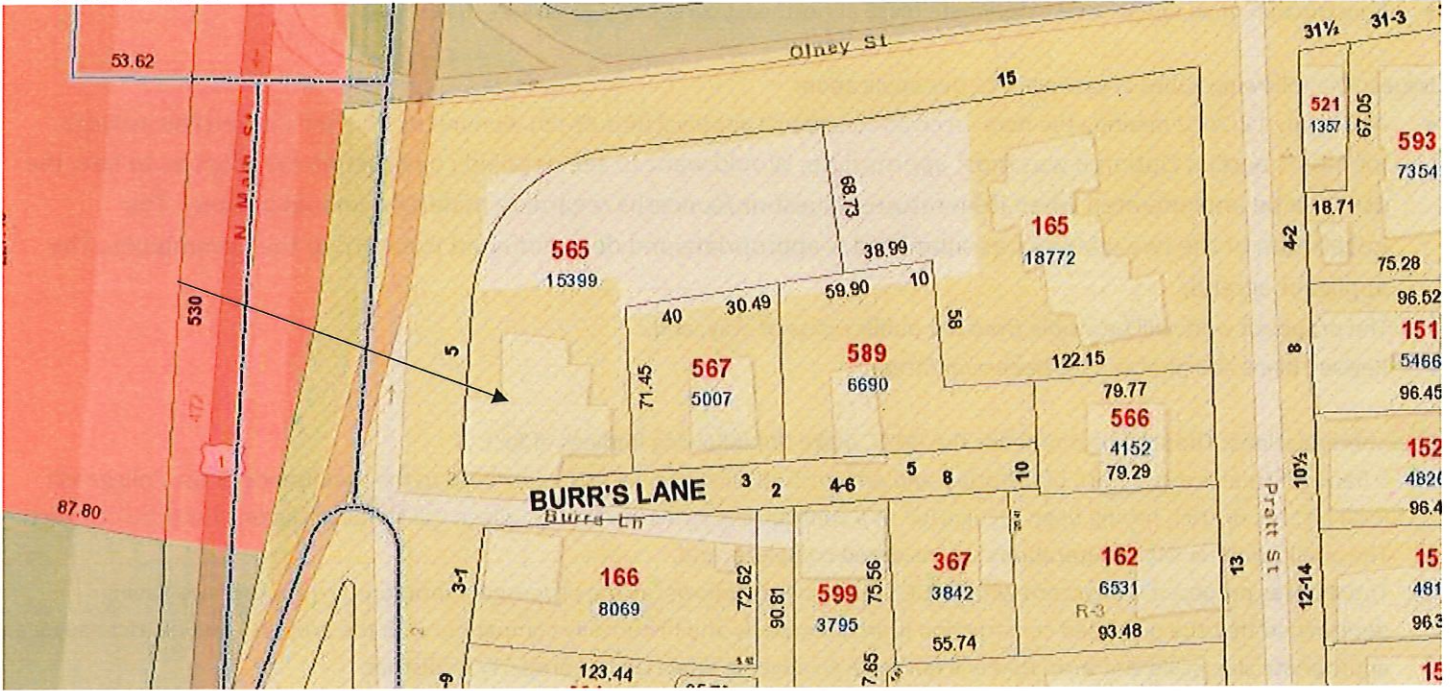


PROJECT REVIEW

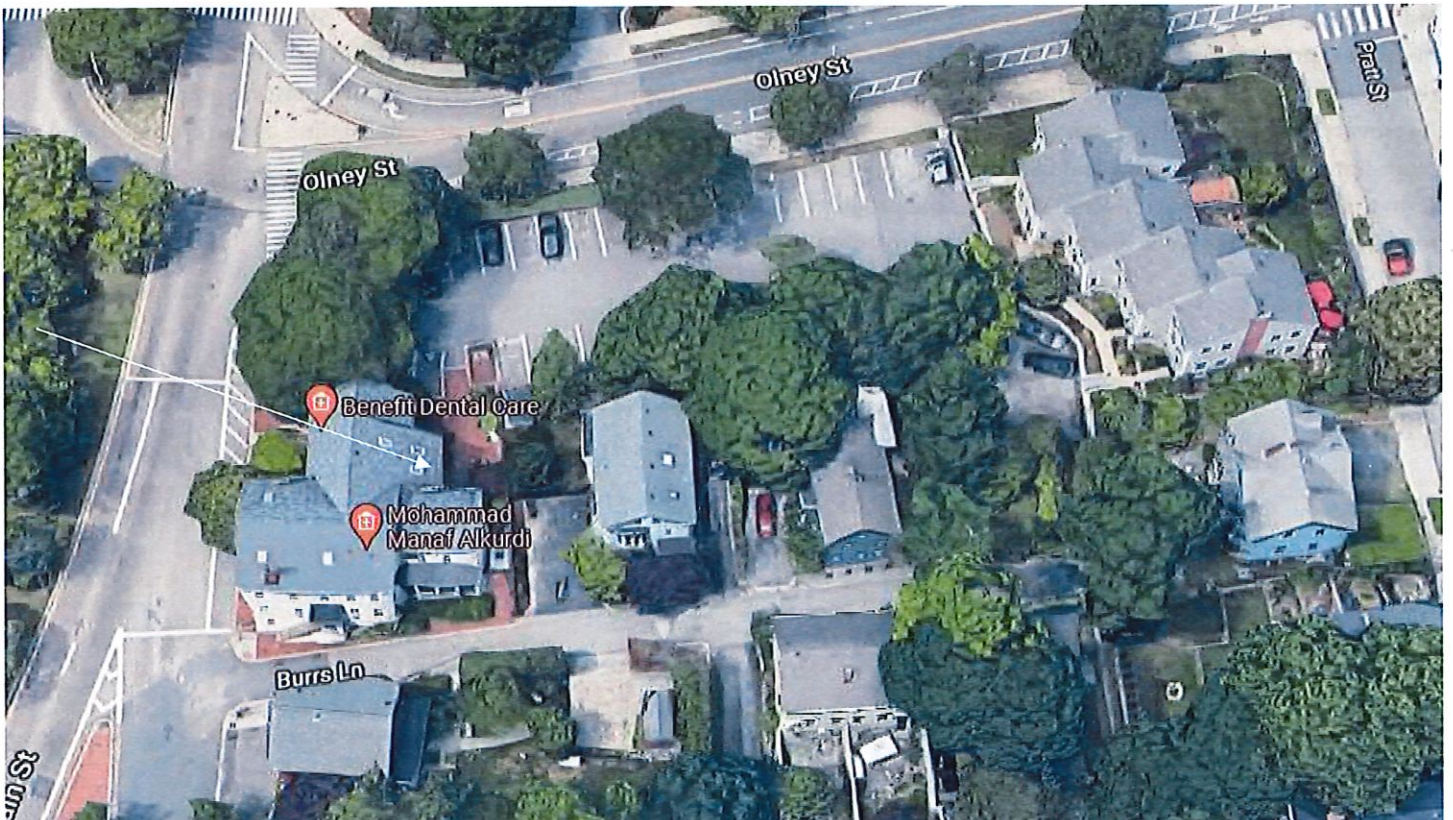
1. CASE 22.076, 5 BENEFIT STREET, House, pre1820-40, with addition c. 1980 (COLLEGE HILL)

Greek Revival; 2½ stories; flank gable; clapboard; entrance on south up high flight of steps under flat-roofed porch; 5 bay with molded window caps and paneled pilasters; L- to east with porch across front; wide entablature.

CONTRIBUTING



Arrow indicates 5 Benefit Street.



Arrow indicates project location, looking north.

Applicant/Owner: MSS Seven Realty LLC, 288 Grove Street, Ste. 383, Braintree, MA 02184

Architect: Providence Architecture, 269 Wickenden Street, Providence, RI 02906

Proposal: The scope of work proposed consists of Major Alterations and includes:

- Construction of an unenclosed exterior staircase at northeast corner of rear ell with egress door.

Issues: The following issues are relevant to this application:

- At the July 11, 2022 meeting the item received conceptual approval (Res 22-29). Comments from the Commission included: members agreed Option B was most appropriate. Would want to see detailed construction drawings as to how the plan will be implemented when item returns. Question/concerns regarding materials. Should be steel. The installation of the two windows as submitted is appropriate and does not need to return to the Commission. The applicant agreed;
- The proposed work will be visible from the public rights-of-way; and,
- Revised plans and photos have been submitted.

Recommendations: The staff recommends the PHDC make the following findings of fact:

- a) 5 Benefit Street is a structure of historical and architectural significance that contribute to the significance of the College Hill local historic district, having been recognized as a contributing structure to the College Hill National Historic Landmark District;
- b) The application for Major Alterations is considered complete; and,
- c) The work as proposed is in accord with PHDC Standard 8 as follows: as the proposed alterations are appropriate having determined that the proposed construction is architecturally and historically compatible with the property and district having an appropriate size, scale and form that will not have an adverse effect on the property or district.

Staff recommends a motion be made stating that: The application is considered complete. 5 Benefit Street is a structure of historical and architectural significance that contribute to the significance of the College Hill local historic district, having been recognized as a contributing structure to the College Hill National Historic Landmark District. The Commission grants Final Approval of the proposal as submitted having determined that the proposed alterations are appropriate as the proposed alterations are architecturally and historically compatible with the property and district having an appropriate size, scale and form that will not have an adverse effect on the property or district, citing and agreeing to the recommendations in the staff report, with staff to review any additional required details.

5 Benefit Street, Providence, RI 02904

Historic Mixed Use Redevelopment

Scope of Work:

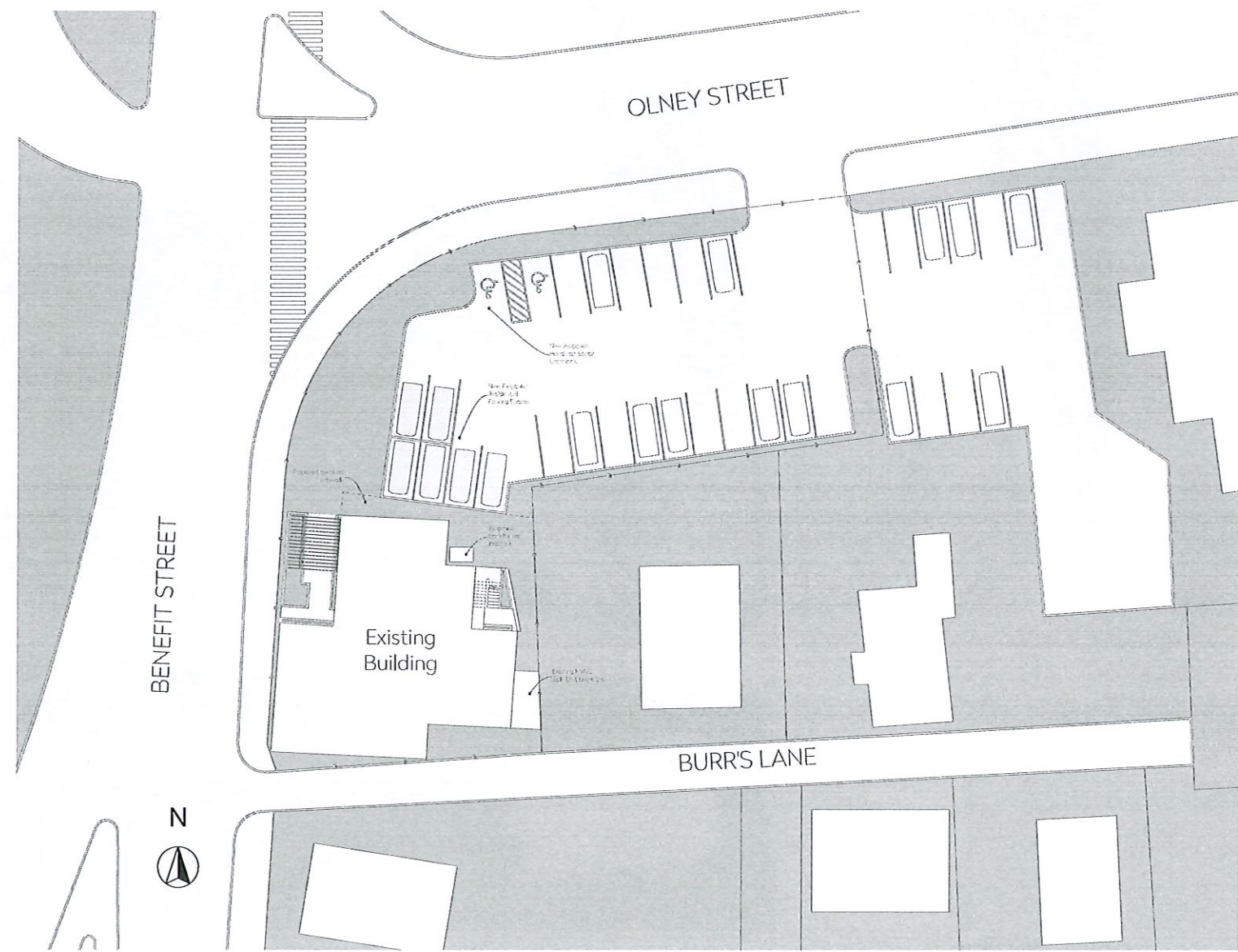
- Add pair of windows within gable at north facade.
- Add single window to north facade of previous addition.
- Add open air painted wood trellis at western courtyard.
- Add new covered/unenclosed exterior staircase at northeast corner. (Add new exterior door at top of staircase).
- Horizontal wall sign at western facade of dentist office
- Repair and replace decking at existing porch along Burr's Lane, add additional granite block step for code compliance.



PARCEL INFORMATION:

ZONE: R-3
 OVERLAYING ZONE: Historic District
 PLAT: 9 LOT: 565
 LOT SIZE: 0.35 Acres
 PROPOSED USE: Dentist office on Ground level & part of Level 1 with three residential units throughout the rest of the building.

Existing Parking Spaces: **30**
 Proposed Parking Spaces: **4**
 TOTAL Parking Spaces: **34**



1 Site Plan
 A001 NTS

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 994662426
 providencearchitect.com

ARCHITECT
 FROM PROVIDENCE ARCHITECTURE
 ARCHITECT-ENVIRONMENTAL-PLANNING

CONSULTANTS

Historic Mixed Use Redevelopment

5 Benefit St
 Providence, Rhode Island
 02904

Project Number: Project Number

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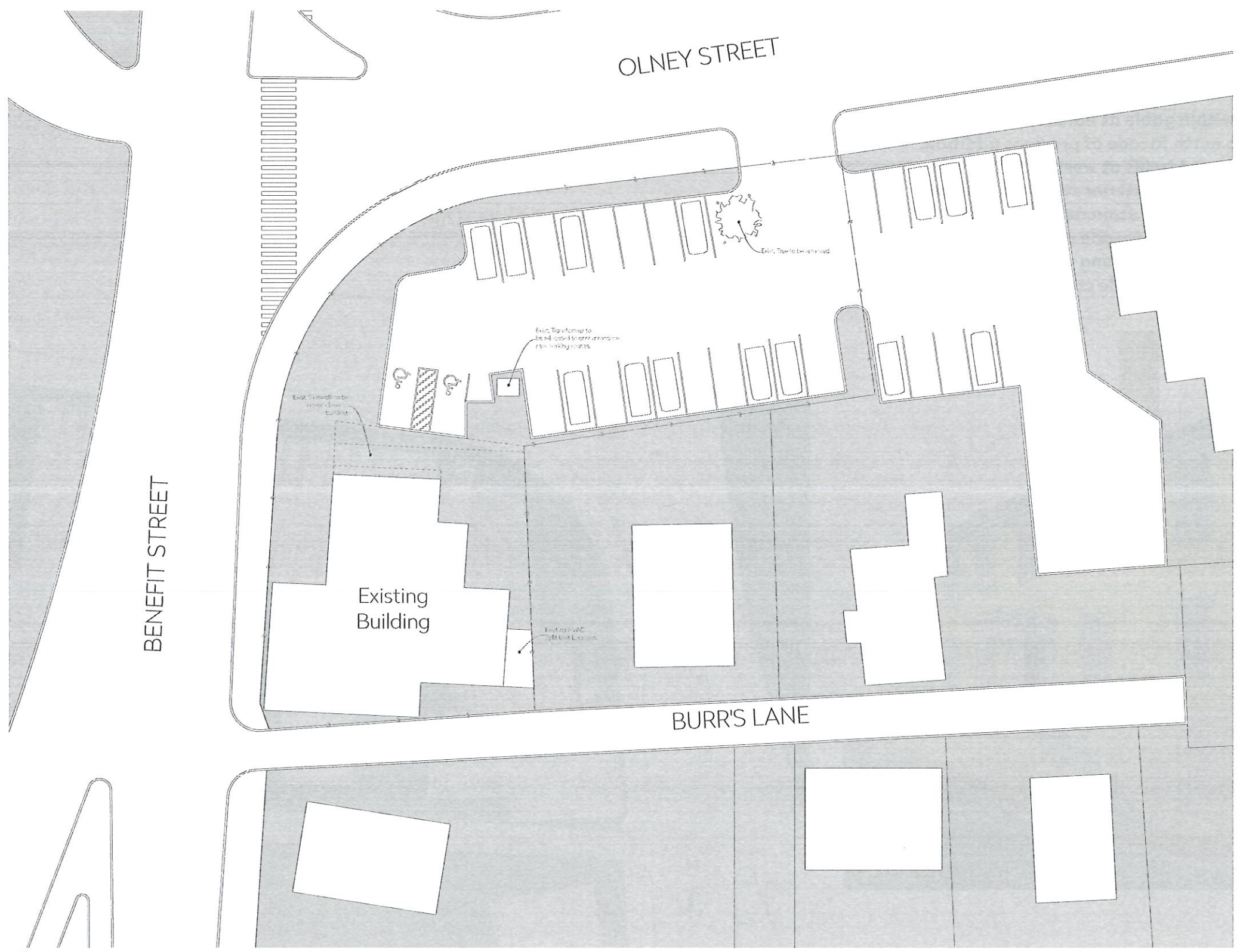
ISSUED:

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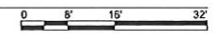
Cover Sheet and Site Plan

A001

Printed 5/19/23



1 Site Plan
A003 SCALE: 1/16" = 1'-0"



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FIRM PROVIDENCE ARCHITECTURE
ARCHITECT: KEN DAMON/DARA RHODES

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**Historic Mixed Use
Redevelopment**

5 Benefit St.
Providence, Rhode Island
02904

Project Number: Project Number

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Existing Site Plan

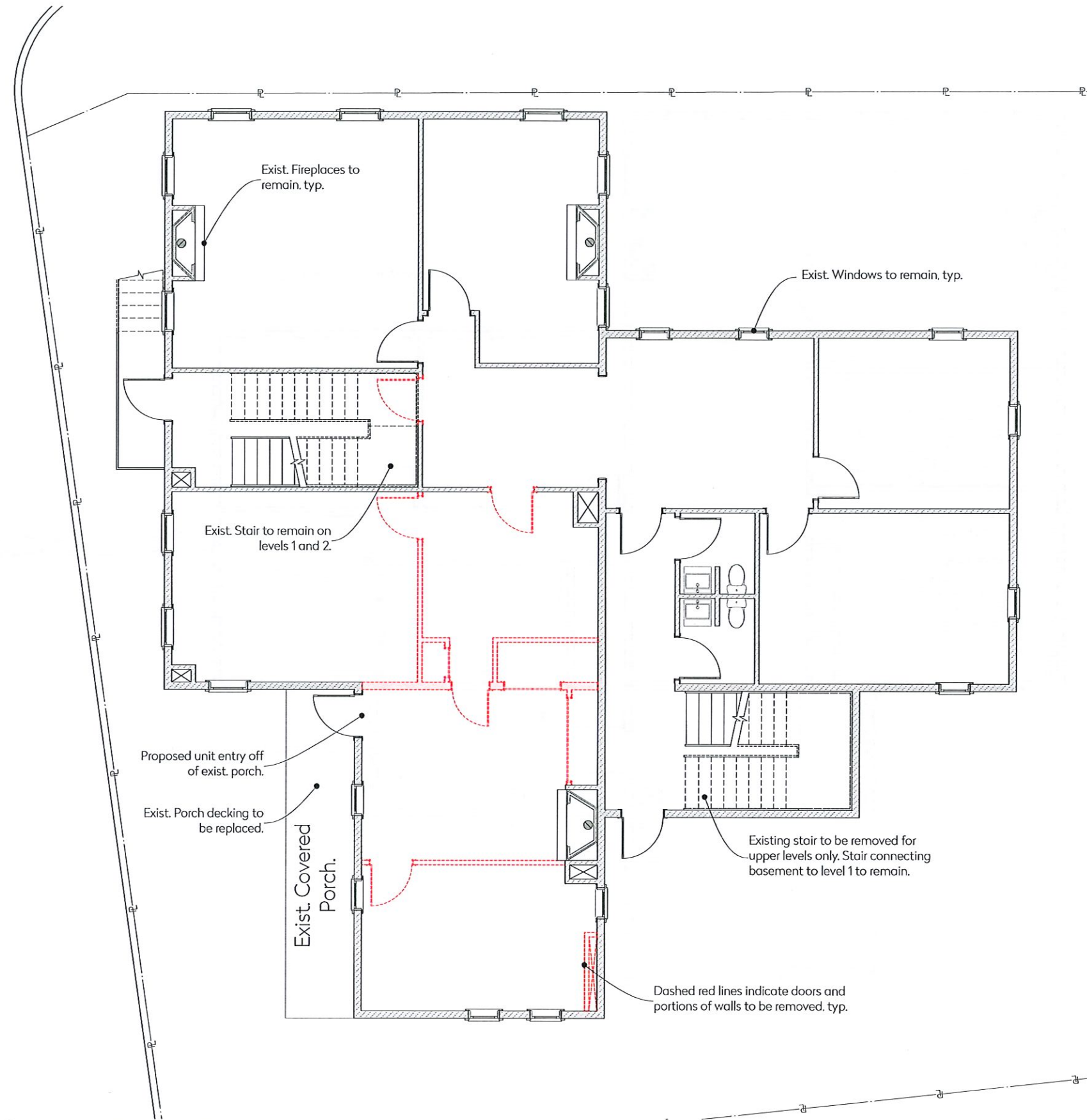
A003

Wall Legend:

-  Wall to be demolished
-  Existing wall to remain

NOTE: Expose structure prior to removing any load bearing walls, coord with architect in the field.

NOTE: Structural work to be designed and engineered post exploratory demolition once existing structural system is exposed- GC to coord. w/ architect or engineer in field prior to modifying any structural elements of the home



1
A101 **First Floor Demolition Plan**
SCALE: 1/4" = 1'-0"



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Historic Mixed Use Redevelopment

5 Benefit St
Providence, Rhode Island
02904

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Lower Level Demolition Plan

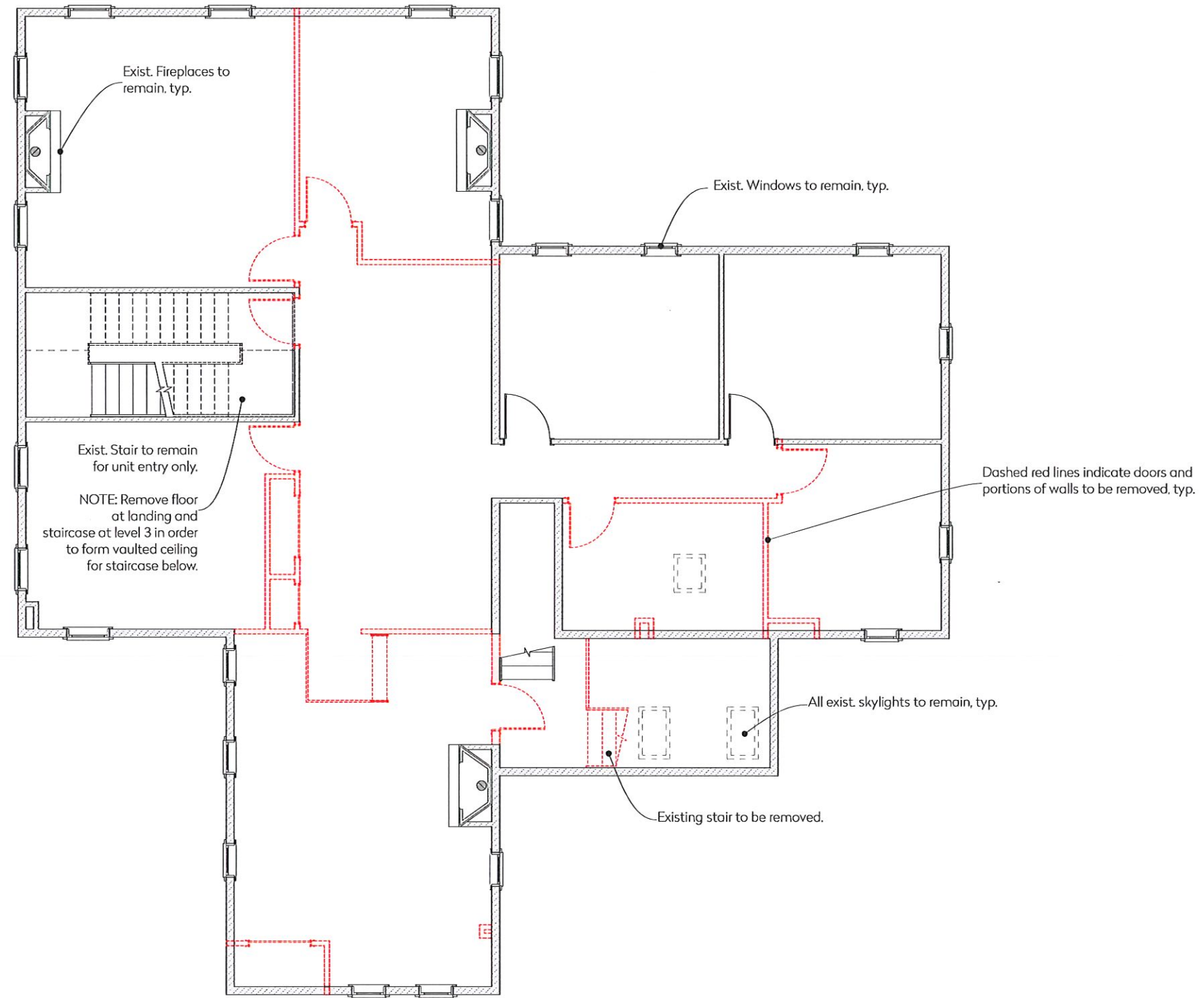
A101

Wall Legend:

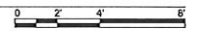
-  Wall to be demolished
-  Existing wall to remain

NOTE: Expose structure prior to removing any load bearing walls, coord with architect in the field.

NOTE: Structural work to be designed and engineered post exploratory demolition once existing structural system is exposed- GC to coord. w/ architect or engineer in field prior to modifying any structural elements of the home



1 Second Floor Demolition Plan
 A102 SCALE: 1/4" = 1'-0"



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Historic Mixed Use Redevelopment

5 Benefit St
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Main Level Demolition Plan

A102

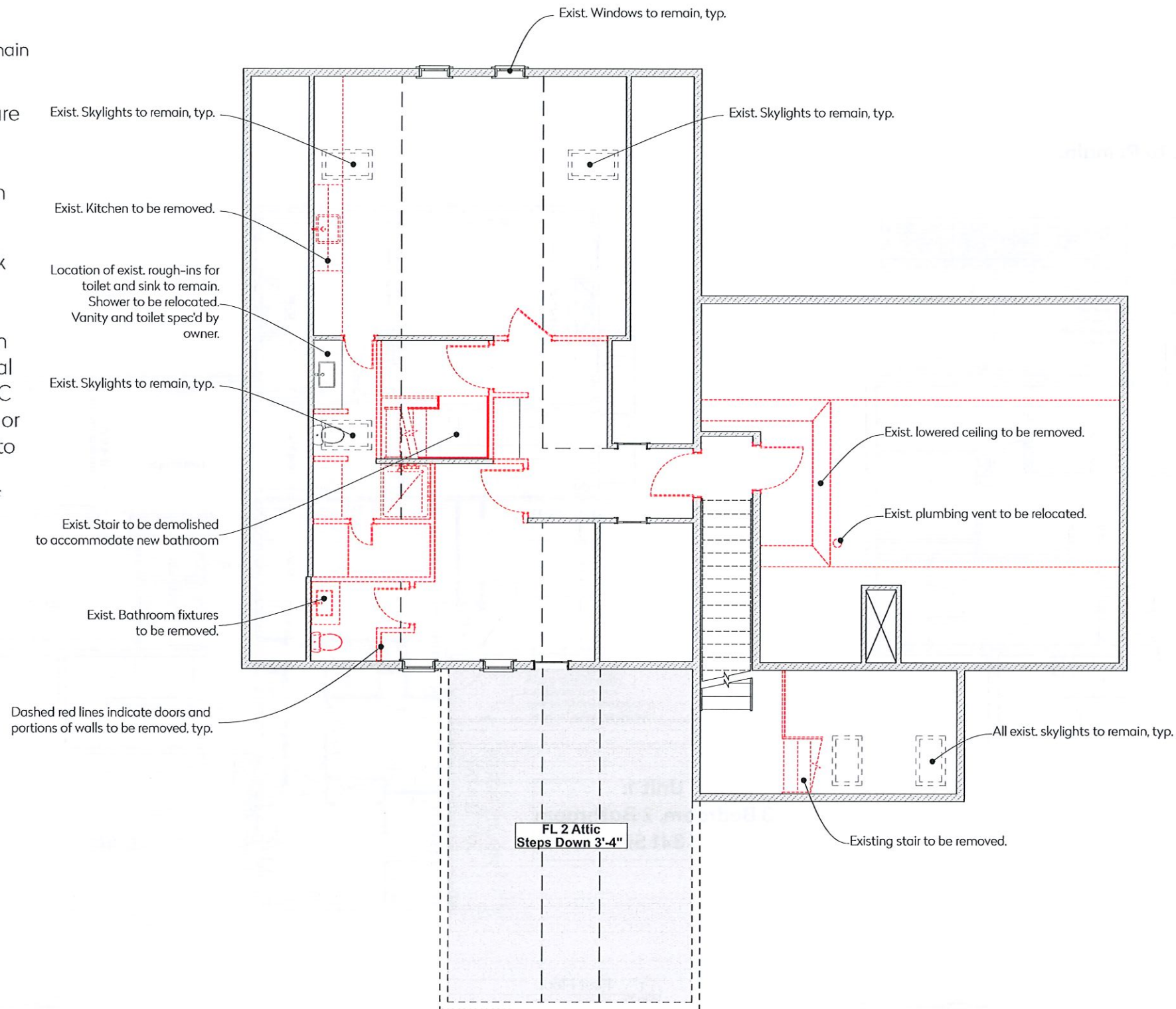
Printed: 1/19/23

Wall Legend:

- Wall to be demolished
- Existing wall to remain

NOTE: Expose structure prior to removing any load bearing walls, coord with architect in the field.

NOTE: Structural work to be designed and engineered post exploratory demolition once existing structural system is exposed- GC to coord. w/ architect or engineer in field prior to modifying any structural elements of the home



1 Third Floor Demolition Plan
SCALE: 1/4" = 1'-0"



Wall Legend:

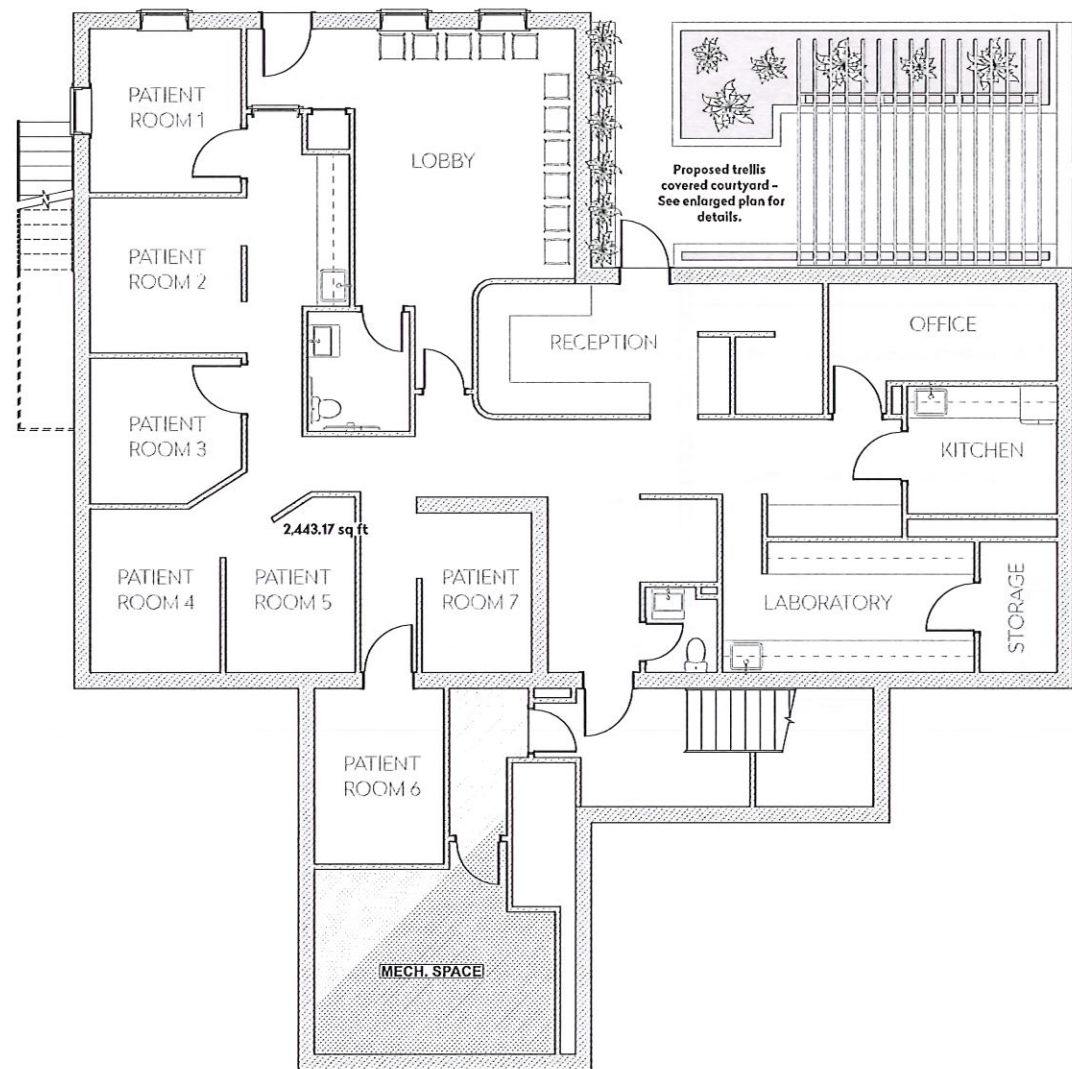


New walls

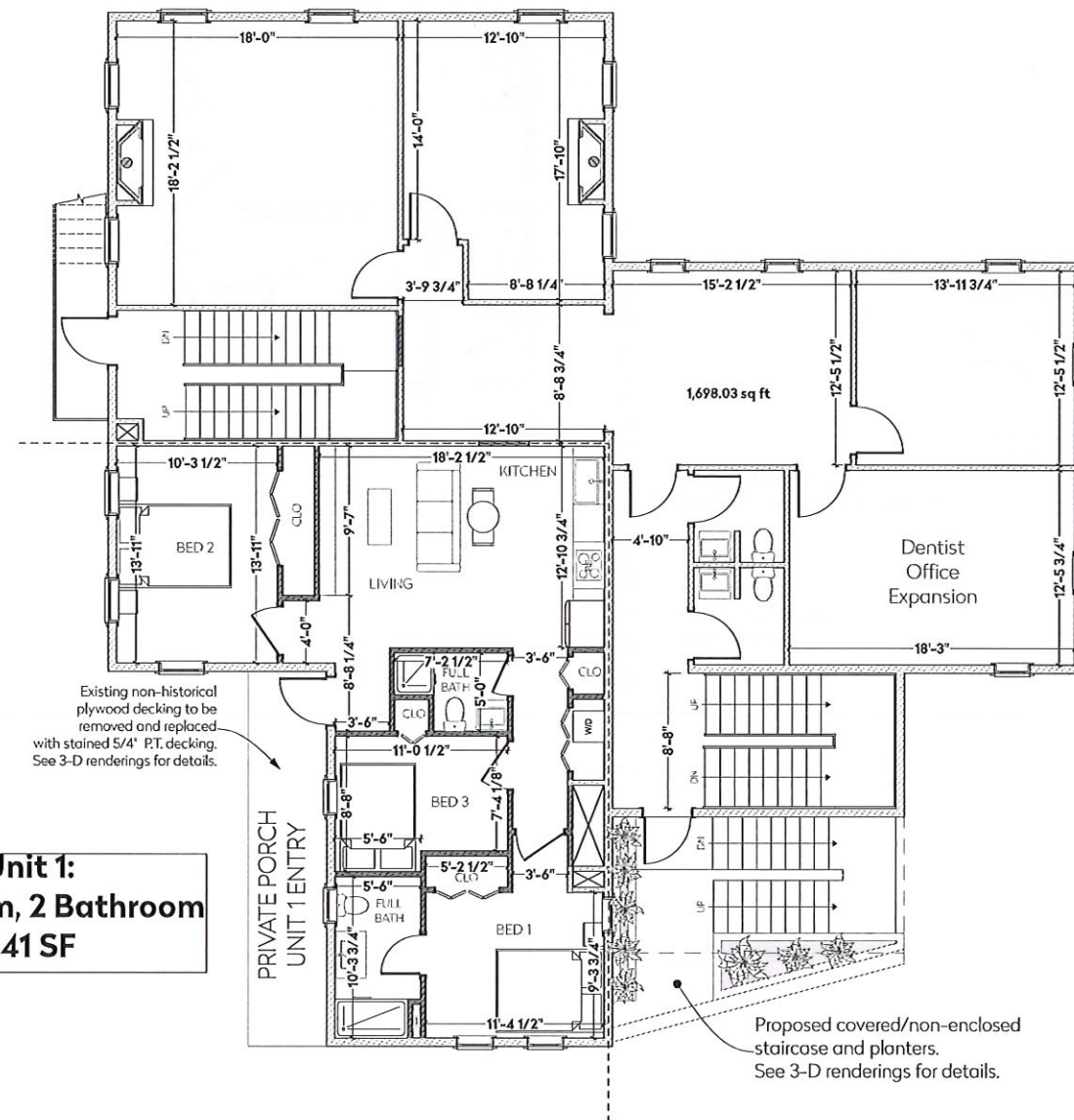


Existing wall to remain

Existing Dental Office to Remain.



2 Existing Basement
SCALE: 3/16" = 1'-0"



**Unit 1:
3 Bedroom, 2 Bathroom
841 SF**

1 First Floor
SCALE: 3/16" = 1'-0"



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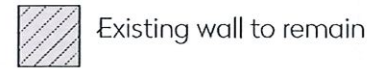
Proposed Floor Plans

SK12

Wall Legend:



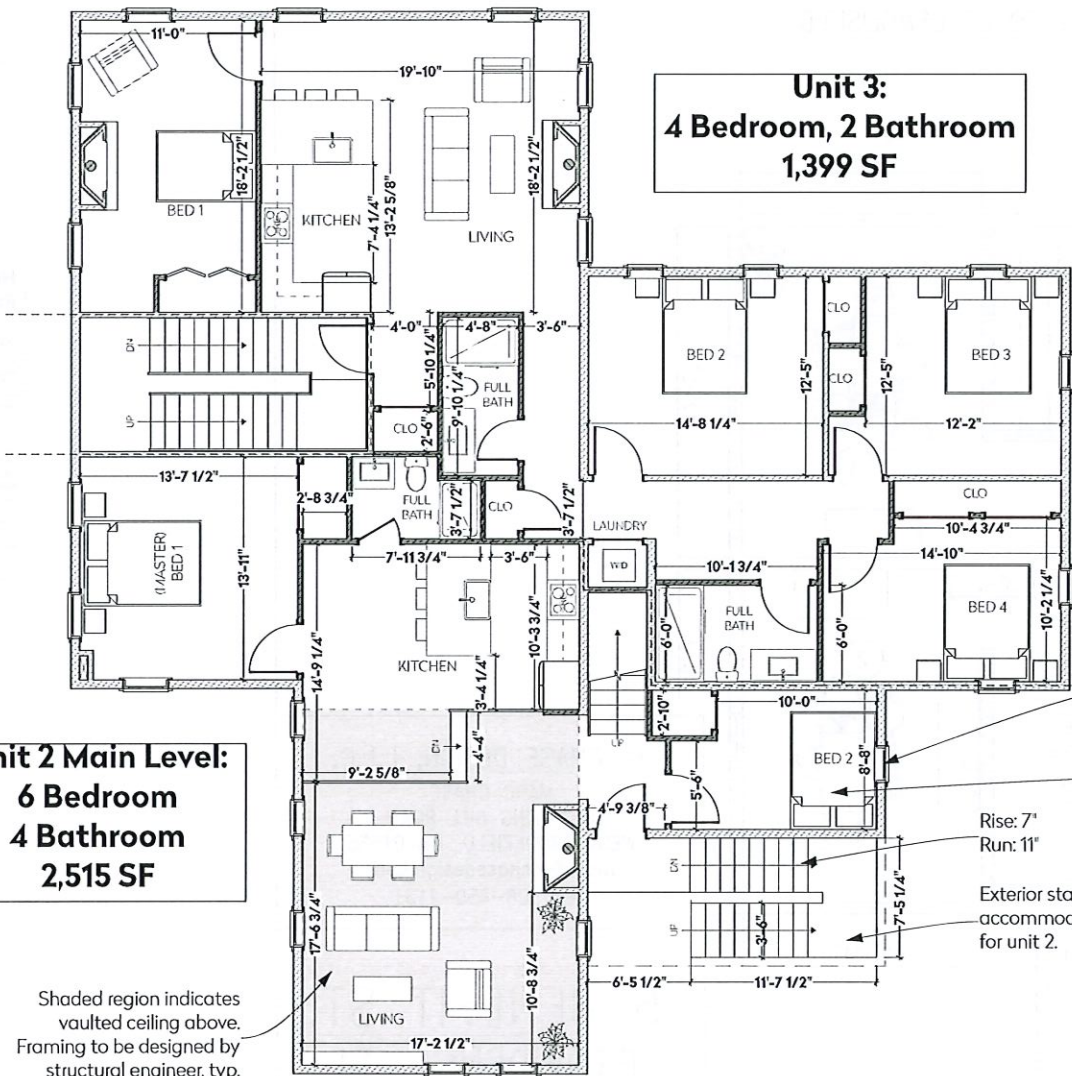
New walls



Existing wall to remain

**Unit 2 Main Level:
 6 Bedroom
 4 Bathroom
 2,515 SF**

Shaded region indicates vaulted ceiling above. Framing to be designed by structural engineer, typ.



Add new window within existing stairwell. Window, trim, & casing to match adjacent windows. See exterior drawing for details.

Proposed storage loft above bed.

Rise: 7"
 Run: 11"

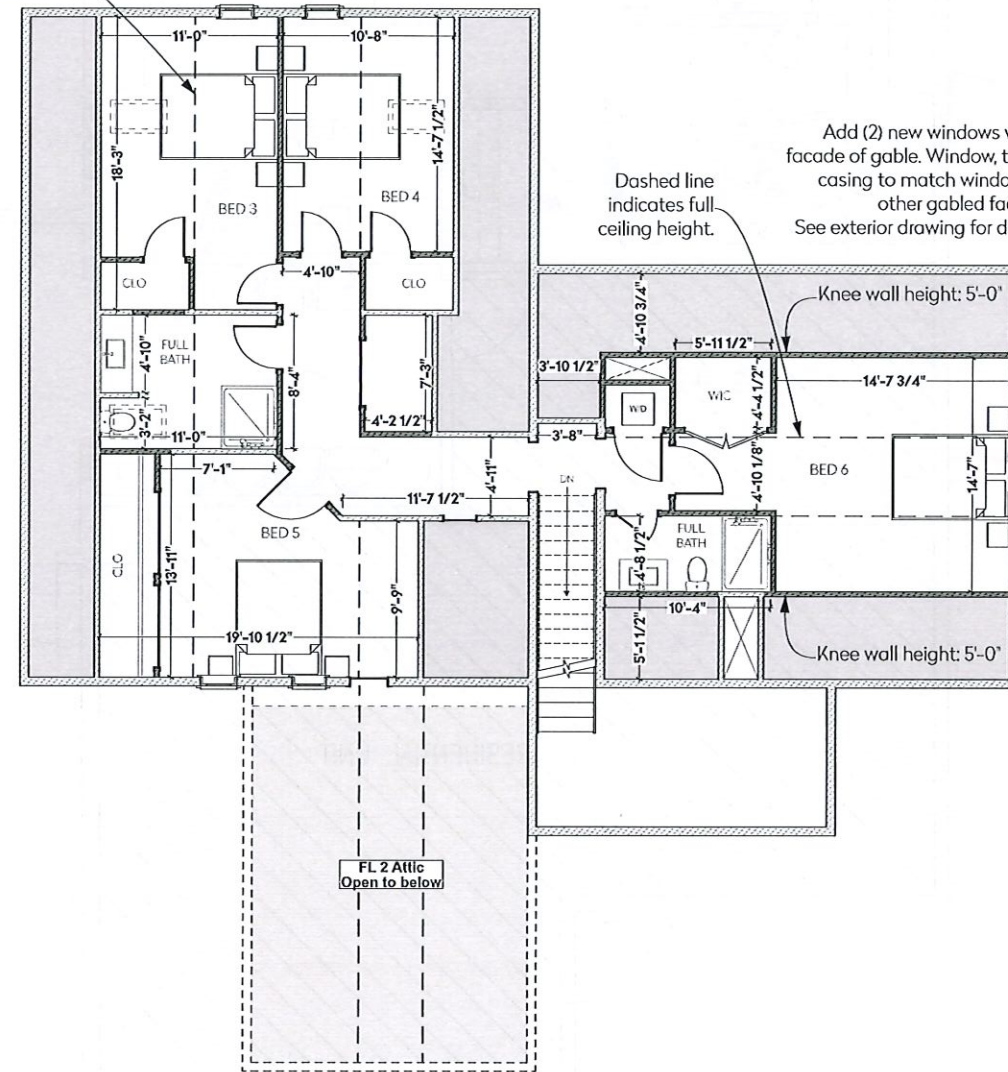
Exterior staircase proposed to accommodate private entry for unit 2.

**Unit 2 Upper Level:
 6 Bedroom, 4 Bathroom
 2,515 SF**

Dashed line indicates full ceiling height.

Dashed line indicates full ceiling height.

Add (2) new windows within facade of gable. Window, trim, & casing to match windows at other gabled facades. See exterior drawing for details.



Knee wall height: 5'-0"

Knee wall height: 5'-0"

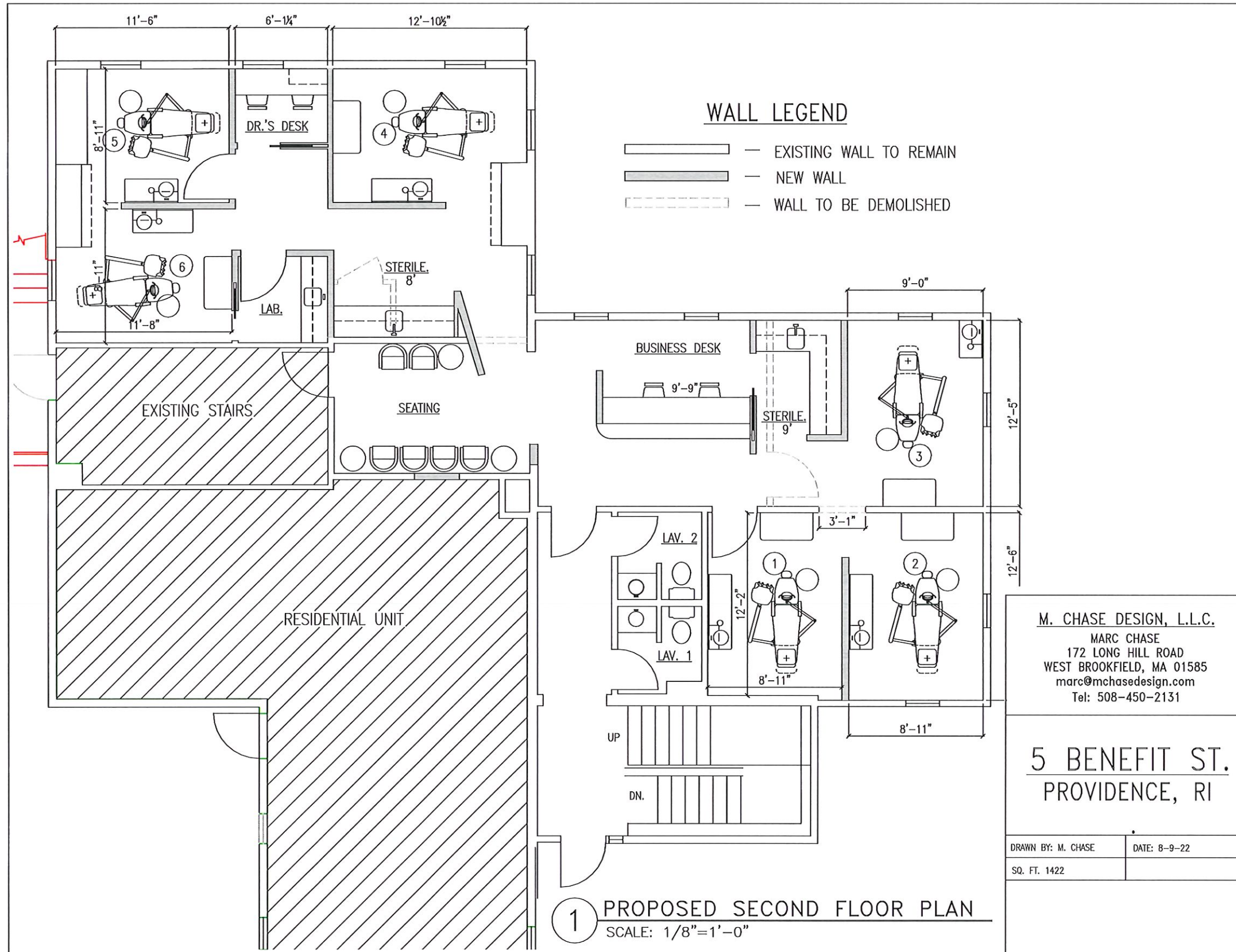
FL 2 Attic
 Open to below

1 Second Floor
 SK13 SCALE: 3/16" = 1'-0"



2 Third Floor
 SK13 SCALE: 3/16" = 1'-0"





1 PROPOSED SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"

M. CHASE DESIGN, L.L.C.
MARC CHASE
172 LONG HILL ROAD
WEST BROOKFIELD, MA 01585
marc@mchasedesign.com
Tel: 508-450-2131

**5 BENEFIT ST.
PROVIDENCE, RI**

DRAWN BY: M. CHASE DATE: 8-9-22
SQ. FT. 1422

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Dentist Office Design

A002



**EXISTING NORTH EAST CORNER OF BUILDING
AT LOCATION OF PROPOSED EXTERIOR
STAIRCASE**

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ARCHITECT
FIRM: PROVIDENCE ARCHITECTURE
ARCHITECT: KEVIN DIAMOND, R.A., B19185

CONSULTANTS

**Historic Mixed Use
Redevelopment**

5 Benefit St
Providence, Rhode Island
02904

Project Number: Project Number

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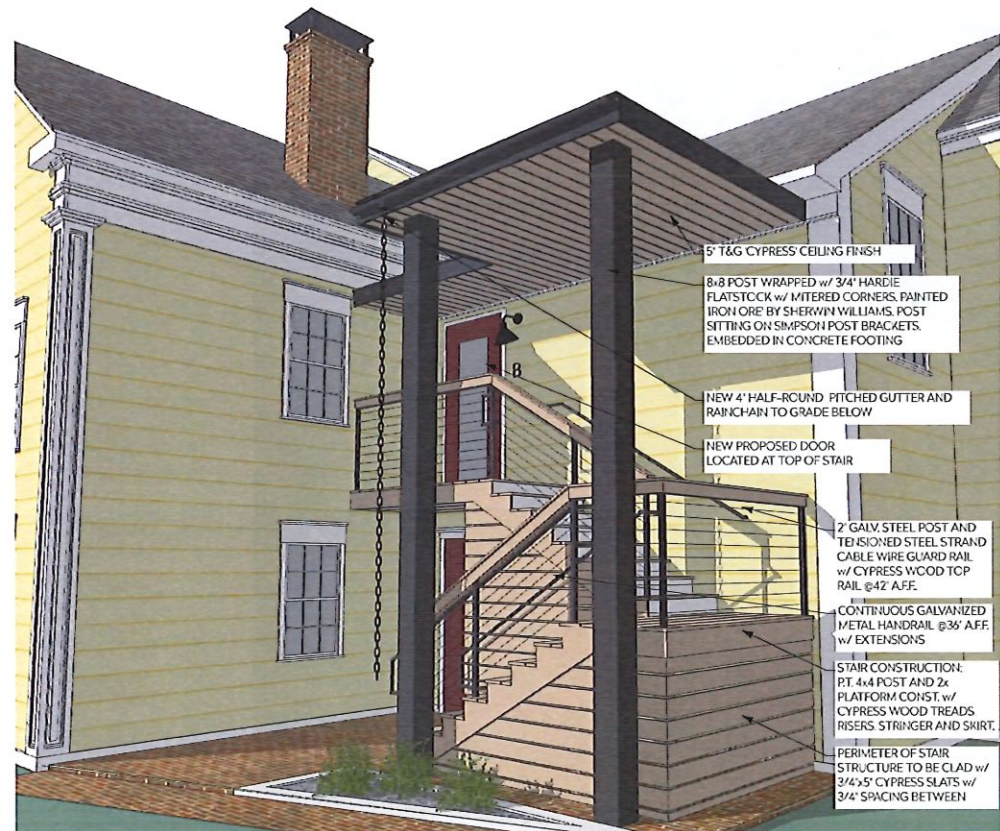
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Exterior Stair Location

SK14

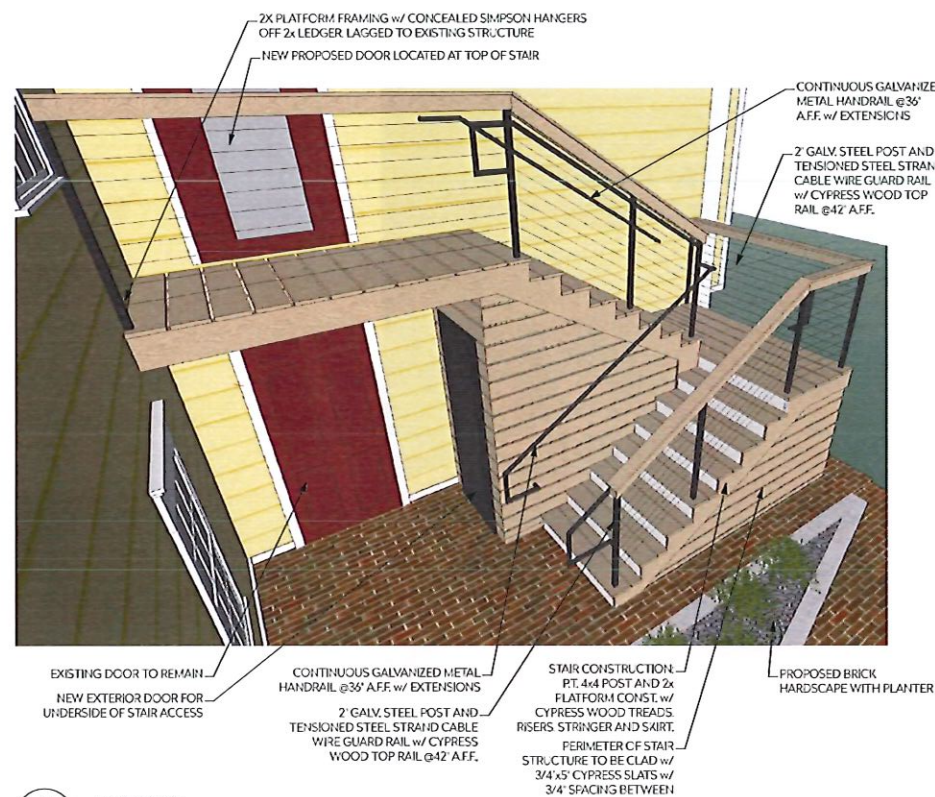
Printed 1/19/23



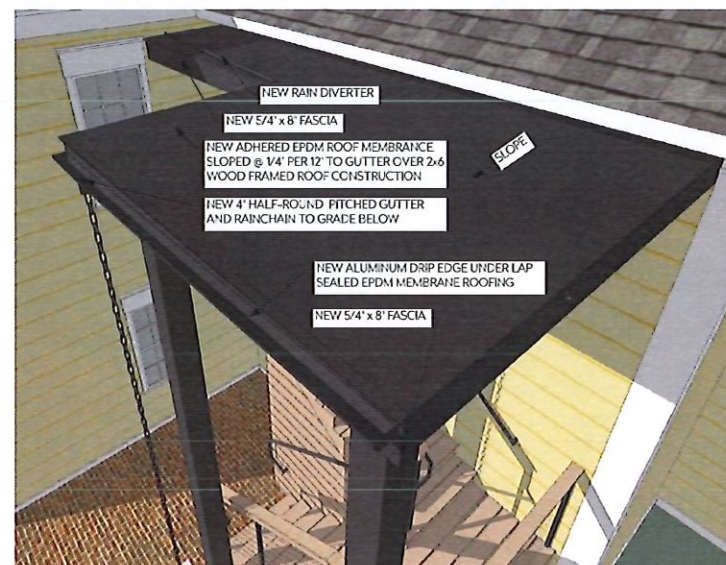
1 SK29 EXTERIOR STAIR AND AWNING NOT TO SCALE



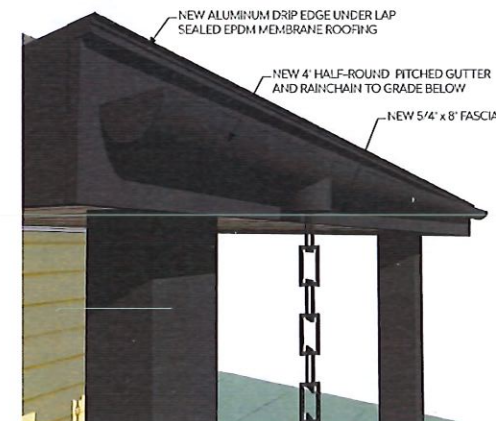
2 SK29 EXTERIOR STAIR AND AWNING NOT TO SCALE



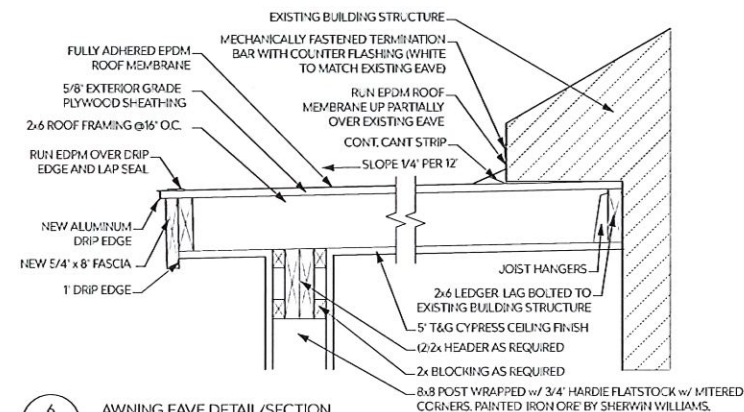
3 SK29 STAIR DETAIL NOT TO SCALE



4 SK29 AWNING ROOF NOT TO SCALE



5 SK29 GUTTER AND DOWNSPOUT DETAIL NOT TO SCALE



6 SK29 AWNING EAVE DETAIL/SECTION NOT TO SCALE

C. Attention Getting Devices

1. Attention getting devices are permitted for non-residential uses in the C-1, C-2, and C-3 Districts.
2. Attention getting devices are limited to a maximum of one per lot, a maximum of eight feet in height and ten square feet in area, and shall be located a minimum of five feet from a lot line.
3. Attention getting devices are not permitted in the public right-of-way.
4. Attention getting devices may be erected on a lot for no more than 30 days in a single display period, with a maximum of three display periods in a calendar year with a minimum of 30 calendar days between each display period.

K. Wall Signs

(Figure 16-9)

1. Wall signs are permitted for non-residential uses in all districts.
2. The maximum size of all wall signs for a building wall is established at two square feet per linear foot of building wall where the wall signs will be mounted.
3. An additional wall sign to identify the building may be placed within the top 20 feet of the structure. The sign may not cover any fenestration or architectural features. The maximum size is established at three square feet per linear foot of building façade, measured at the roofline where the wall sign will be mounted.
4. Wall signs may be internally or externally illuminated. If externally illuminated, all light shall be directed onto the sign face.
5. Wall signs shall be safely and securely attached to the building wall. Wall signs shall be affixed flat against the wall and shall not project more than 15 inches from the building wall. Wall signs shall not encroach into the public right-of-way for more than 15 inches.
6. No wall sign affixed to a building, including sign support structure, may project beyond the ends or top of the wall or higher than the roofline of the structure to which it is attached.
7. Wall signs shall be constructed of wood, brick, metal, or plastic.
8. Wall signs are permitted on architectural appurtenances, such as chimneys or penthouses, which are part of the structure.
9. Ghost signs are considered wall signs. Existing ghost signs are exempt from these requirements and deemed conforming, including prohibitions on illegally affixed and snipe signs in Section 1605. Ghost signs may be maintained and repainted but no new information or images may be added to the existing sign.

FIGURE 16-9



TABLE 16-2: PROJECTING SIGN REGULATIONS	
District	Maximum Sign Area Per Sign
R-1A	Prohibited
R-1	Prohibited
R-2	Prohibited
R-3	Prohibited
R-4	Prohibited
R-P	12sf
C-1	20sf
C-2	20sf
C-3	32sf
D-1	48sf
M-MU	48sf
M-1	48sf
M-2	48sf
I-1	32sf
I-2	32sf
W-2	32sf
W-3	48sf
OS	12sf
PS	12sf
CD	12sf

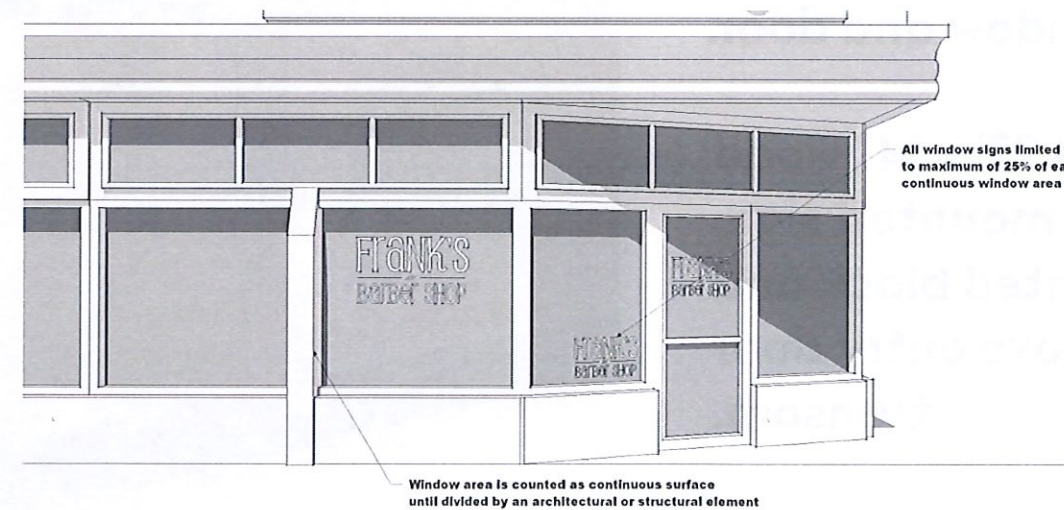
FIGURE 16-7

L. Window Signs

(Figure 16-10)

1. Window signs are permitted for all non-residential uses in all districts.
2. All window signs, whether temporary or permanent, are limited to no more than 25% of the surface of each window area. Window area is counted as a continuous surface until divided by an architectural or structural element. Mullions are not considered an element that divides window area.
3. Window signs that are internally or externally illuminated require a permit. Neon and LED window signs are permitted only in the commercial, waterfront, and downtown districts.

FIGURE 16-10



Proposed side sconces E.Q. distance away from center sconce, typ.

Proposed sconce on center with window and door.

Proposed 22' x 14" wood surface mounted sign, painted black and mounted above entry door transom.



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 FIRM PROVIDENCE ARCHITECTURE
 ARCHITECT KEVIN DIAMOND P.A. R03885

CONSULTANTS

Historic Mixed Use Redevelopment

5 Benefit St
 Providence, Rhode Island
 02904

Project Number: Project Number

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Proposed Signage Locations

SK15

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Painted P.T. tapered 2x8 trellis members installed @ 12" o.c. fastened to painted P.T. ledger as shown

Painted P.T. 6x6 posts with (2) painted P.T. beams notched into posts as shown

White painted P.T. 6x6 post

Proposed brick hardscape proposed with planters as shown

Proposed Exterior Courtyard

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 ARCHITECT KEVIN DIAMOND R.A. R01515

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**Historic Mixed Use
 Redevelopment**

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Outdoor Space Render 1

SK19

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 ARCHITECT: KEVIN DAMON RA, RAISES

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Historic Mixed Use Redevelopment

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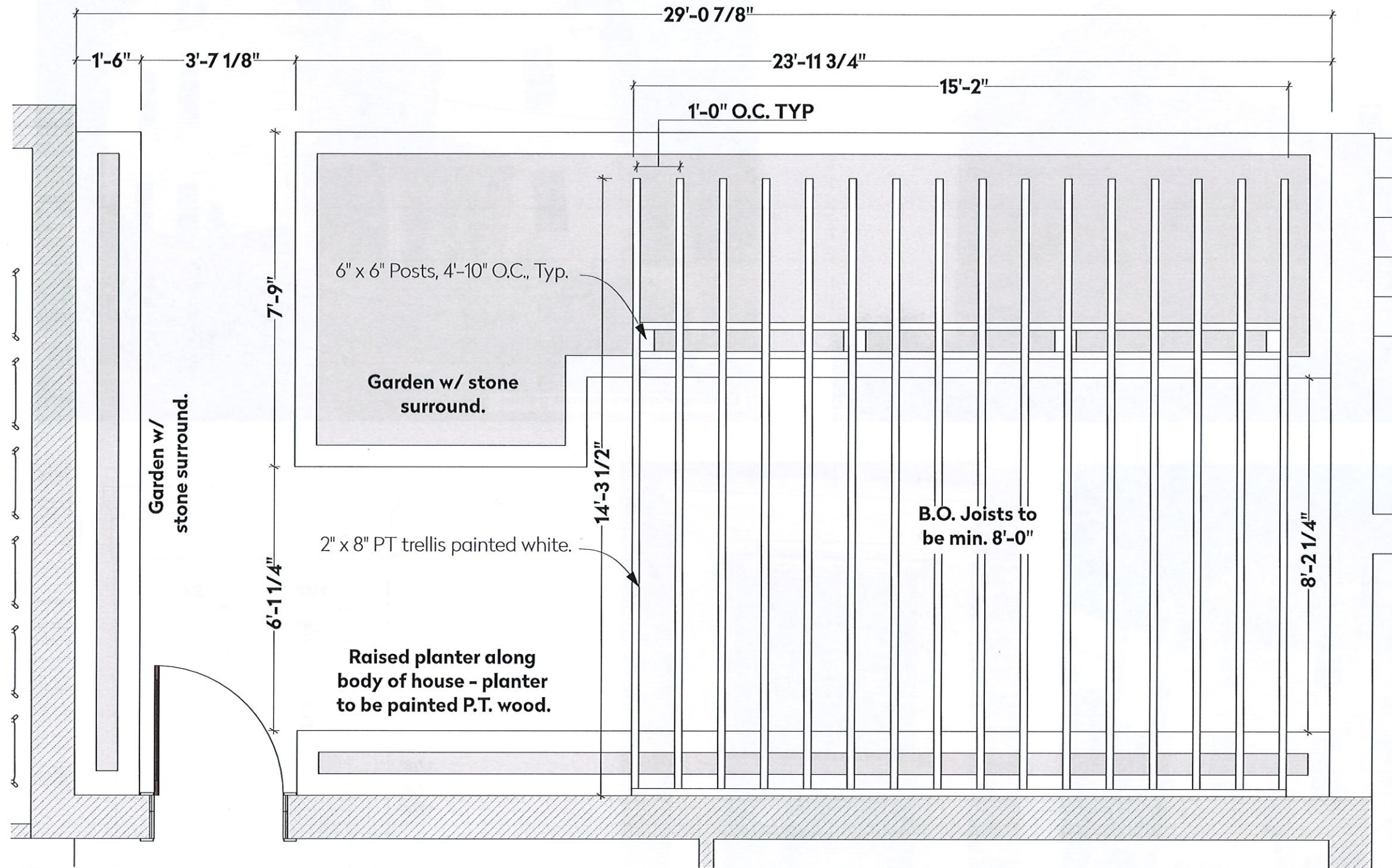
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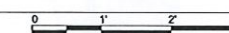
Outdoor Space Render 2

SK20

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1 Enlarged Courtyard Detail
SK24 SCALE: 3/4" = 1'-0"



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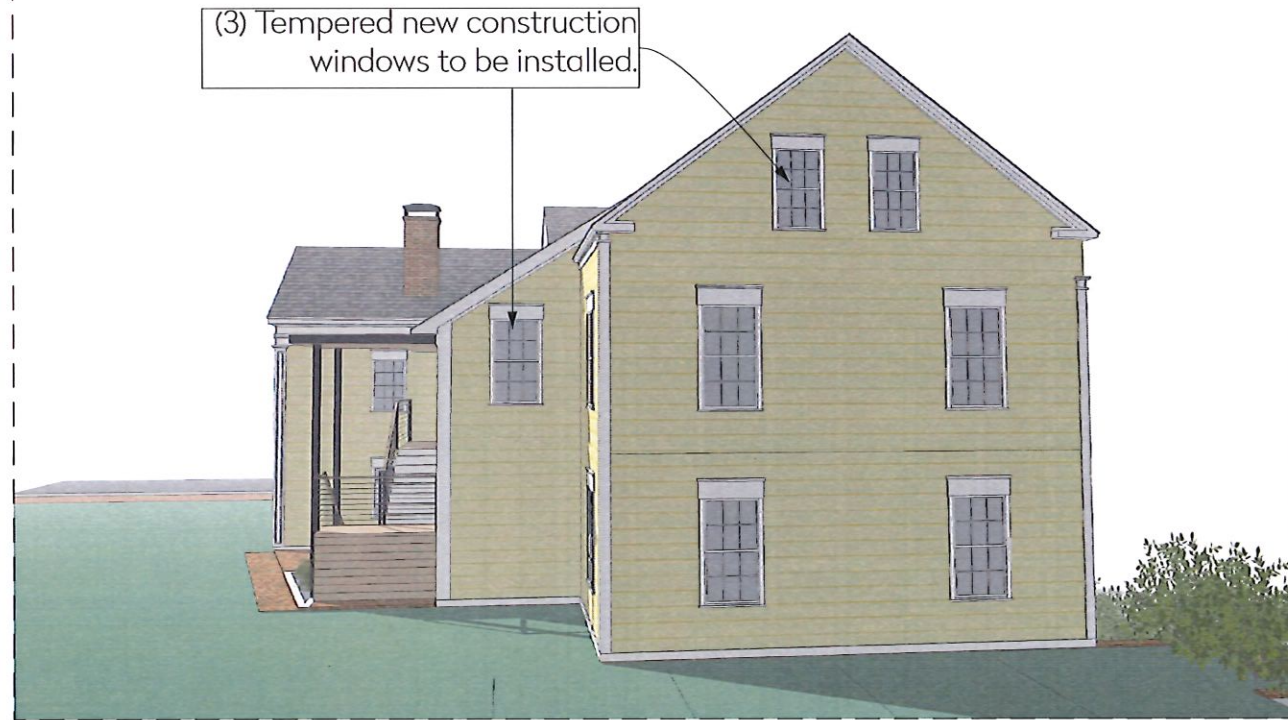
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Exterior Courtyard Detail

SK24

Proposed windows on north gable.



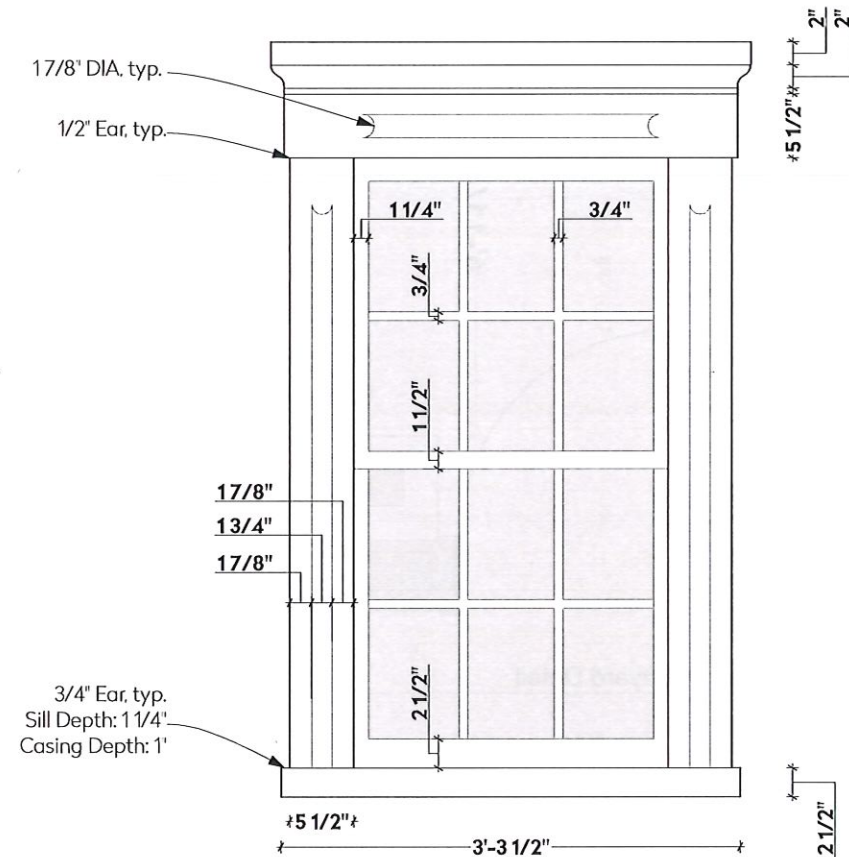
Existing windows on east gables.



Existing windows on west gable.



Existing window and casing.



Proposed casing detail: To match existing.

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919 836 2426
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ARCHITECT
FIRM: PROVIDENCE ARCHITECTURE
ARCHITECT: KEVIN DAMON R.A. RH0515

CONSULTANTS

Historic Mixed Use
Redevelopment

5 Benefit St
Providence, Rhode Island
02904

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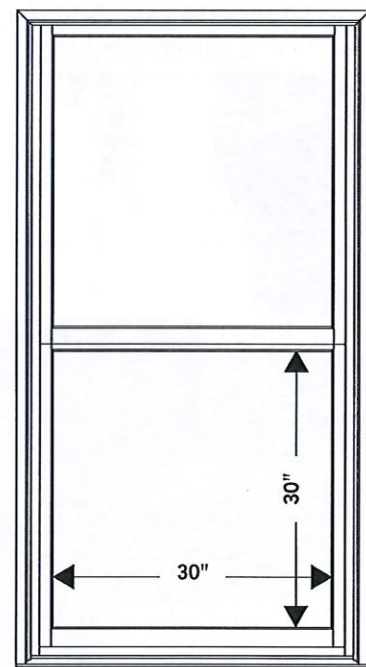
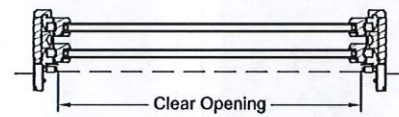
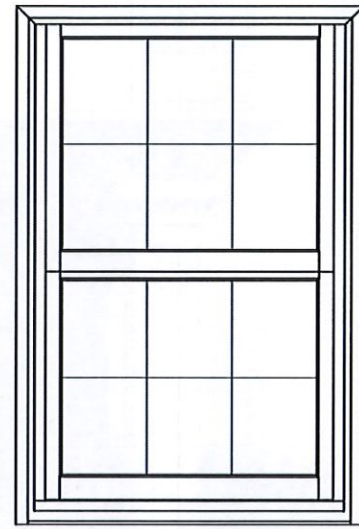
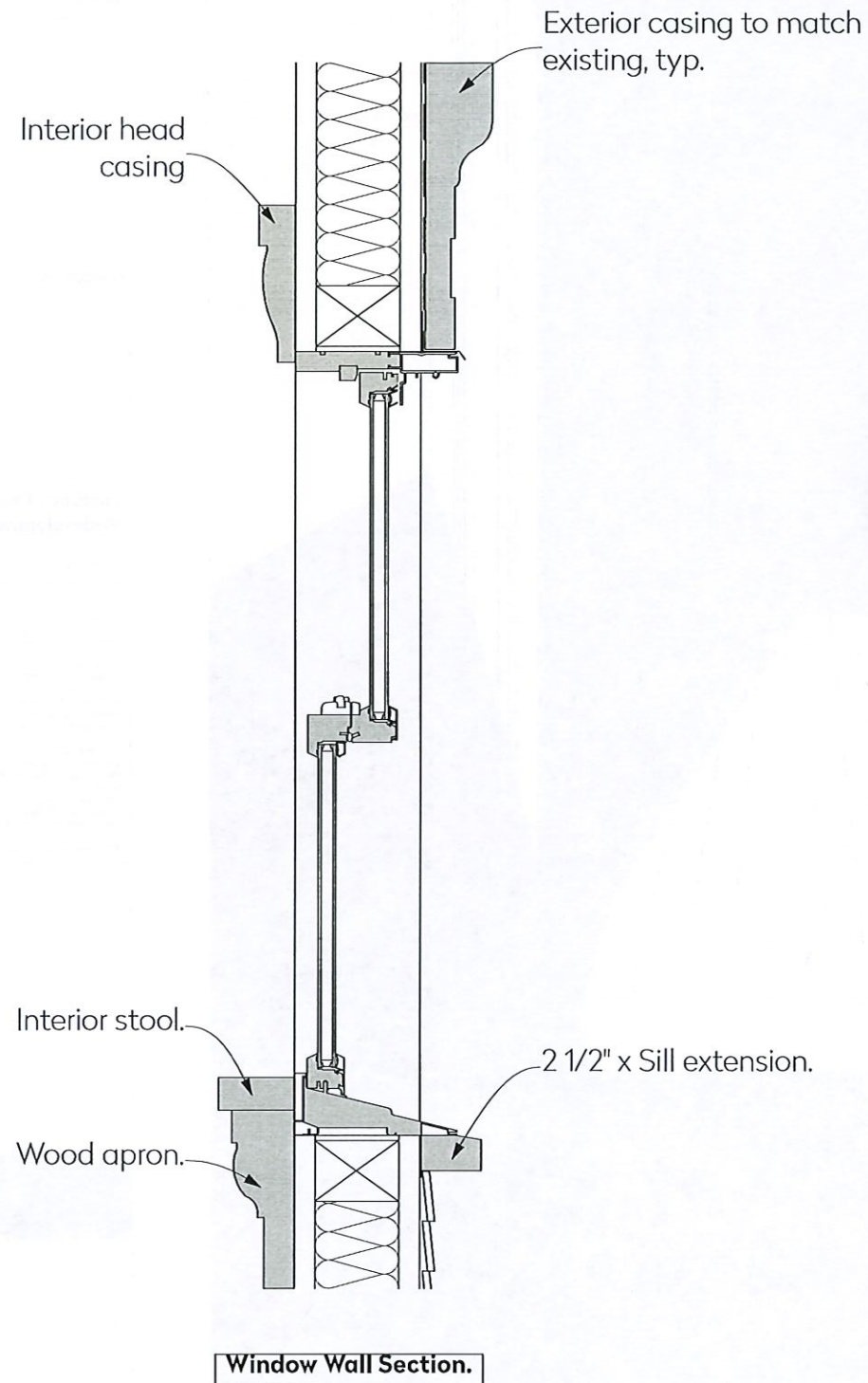
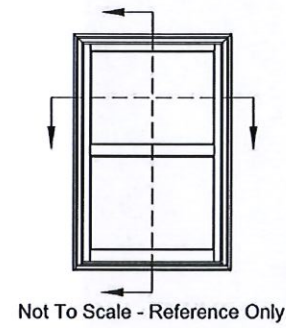
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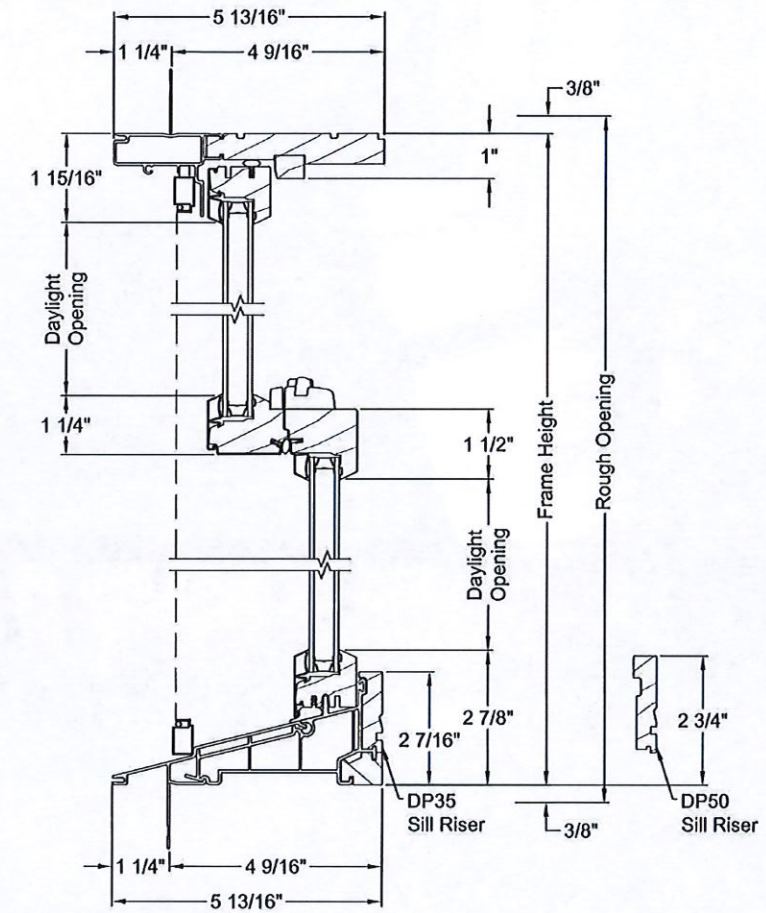
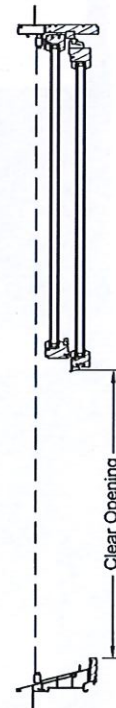
Window Details

SK25

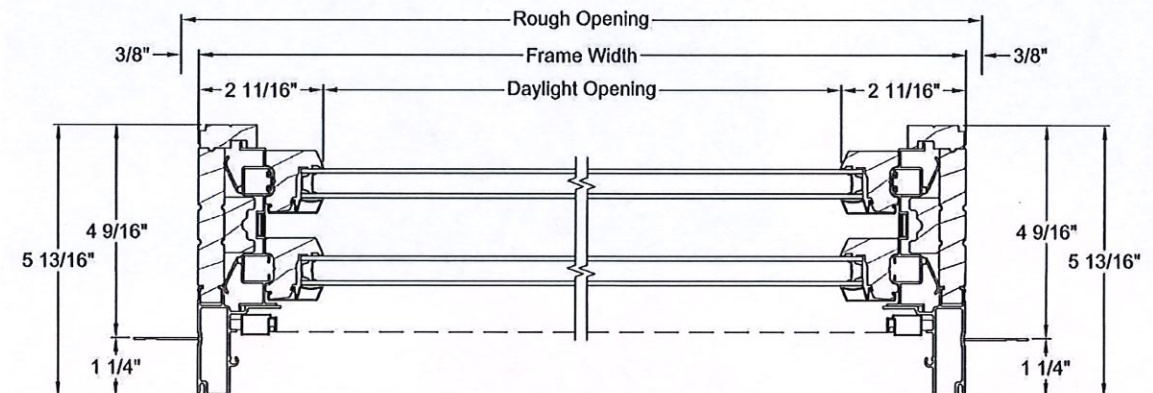
W-2500™
Clad-Wood Windows
Double-Hung



Double-Hung (Even Divide)
Vertical = (Frame Height / 2) - 3 5/8"
Horizontal = Frame Width - 3 9/16"



Window Section Facing Right



Window Section Facing Down



Existing Side Porch Conditions



Proposed Side Porch

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ARCHITECT
 FIRM: PROVIDENCE ARCHITECTURE
 ARCHITECT: KEVIN DIAMOND R.A., RUPRES

CONSULTANTS

**Historic Mixed Use
 Redevelopment**

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 02904

Project Number: Project Number

Drawings and Specifications as instruments of service are and shall remain the property of the Architect. They are not to be used on extensions of the project, or other projects, except by agreement in writing and appropriate compensation to the Architect.

The General Contractor is responsible for confirming and correlating dimensions at the jobsite. The Architect will not be responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with the project.

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ISSUED:

01/19/2023 - HDC Submission

Side Porch Detail

SK27

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