

# Major Land Development Application Narrative

*For the Proposed:*  
**Self-Storage Facility**

*Located at:*  
**50 Branch Avenue  
Providence, Rhode Island**

*Prepared for Submission to:*  
**Providence City Plan Commission**

December 2022

*Prepared for:*  
**Trunk Space, LLC**  
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Quincy, Massachusetts 02169



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BL Project Number: 2200259



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**Attachments:**

ATTACHMENT A      Aerial Location Map

ATTACHMENT B      200' Abutter Map

ATTACHMENT C      200' Abutter List

## Project Narrative

This report has been prepared in support of the Major Land Development Permit Application submission to the City of Warwick for the proposed redevelopment at 50 Branch Avenue (Site). The development of the Site includes construction of a self-storage facility, interior parking improvements, associated utilities, and landscape improvements. The subject property is approximately 0.80 acres in size and is currently a developed parcel owned by RAB Properties, LLC, consisting of an existing building, parking area, and retaining wall. An aerial location map is provided as Attachment A.

The Site is bordered to the East by Branch Avenue and to the South by Dryden Lane. The Site is bordered to the North by an existing commercial development owned by CGRI Dryden, LLC and to the West by an existing building. The Site and the abutting properties to the North, South, and West are located within the City of Providence Heavy Commercial (C-3) District. The property to the East across Branch Avenue is North Burial Ground Cemetery owned by the City and is located in the Open Space district. A copy of the 200' Radius Abutter Map and List can be found in Attachment B and C of this report.

The proposed site development consists of a self-storage facility with an approximately 30,257 s.f. building footprint, with a cellar and 5-stories. The total gross floor is approximately 132,688 s.f. The proposed development includes 1,173 storage units, 16 garage parking spaces, a 58 feet x 63 feet loading space area, and stormwater and landscape improvements.

The existing building is to be partially demolished with the eastern portion of the building at the intersection of Branch Avenue and Dryden Lane remain. The proposed building is to be built around the existing building to remain and includes 1,173 storage units, a cellar, and 5 stories with a maximum height of 72'-11". Maximum building height in the C-3 District is 50'-0" and 4 stories. However, per the City of Providence Zoning Ordinance Article 19, section 1094 *Land Development Project*, section E Adjustments of Dimensional Regulations, City Plan Commission has the authority to make adjustments to certain dimensional and design standards through land development project review. The City Plan Commission modifications thresholds for Building Height are: +24' or 2 stories. This adjustment through the City Plan Commission would permit the proposed building height of 72'-11" and 5 stories. The project is requesting that the City Plan Commission approve the allowable height adjustment.

The project is requesting the following waiver:

- **Parking Requirement Waiver** – Per the City of Providence Zoning Ordinance Article 14, section 1402 *Required Off-Street Vehicle and Bicycle Parking Spaces* Table 14-1, a Self-Storage Facility require one parking stall per 50 units. The proposed storage unit is

approximately 1,173 square feet, resulting in 24 required parking stalls. However, as described in the attached Parking Analysis Memorandum, the self-storage facility is anticipated to support minimal traffic and 16 parking stalls has been proven to be adequate to support the use of the self-storage facility.

The proposed project does not include an onsite dumpster. The trash from the small office area will be removed from the site by the cleaning service as part of the cleaning contract. The presence of dumpsters at self-storage facilities typically promotes customers abandoning furniture and large items on site. The area around the dumpsters becomes cluttered and a nuisance. Therefore, the applicant no longer provides on site dumpsters so that the customers remove all belongings from the site and do not abandon items on the property. Removal of all personal items is included in the rental agreement and customers will be made aware that there is no dumpster located on site.

It is the intent of the applicant to complete the improvements as approved by the City Plan Commission.

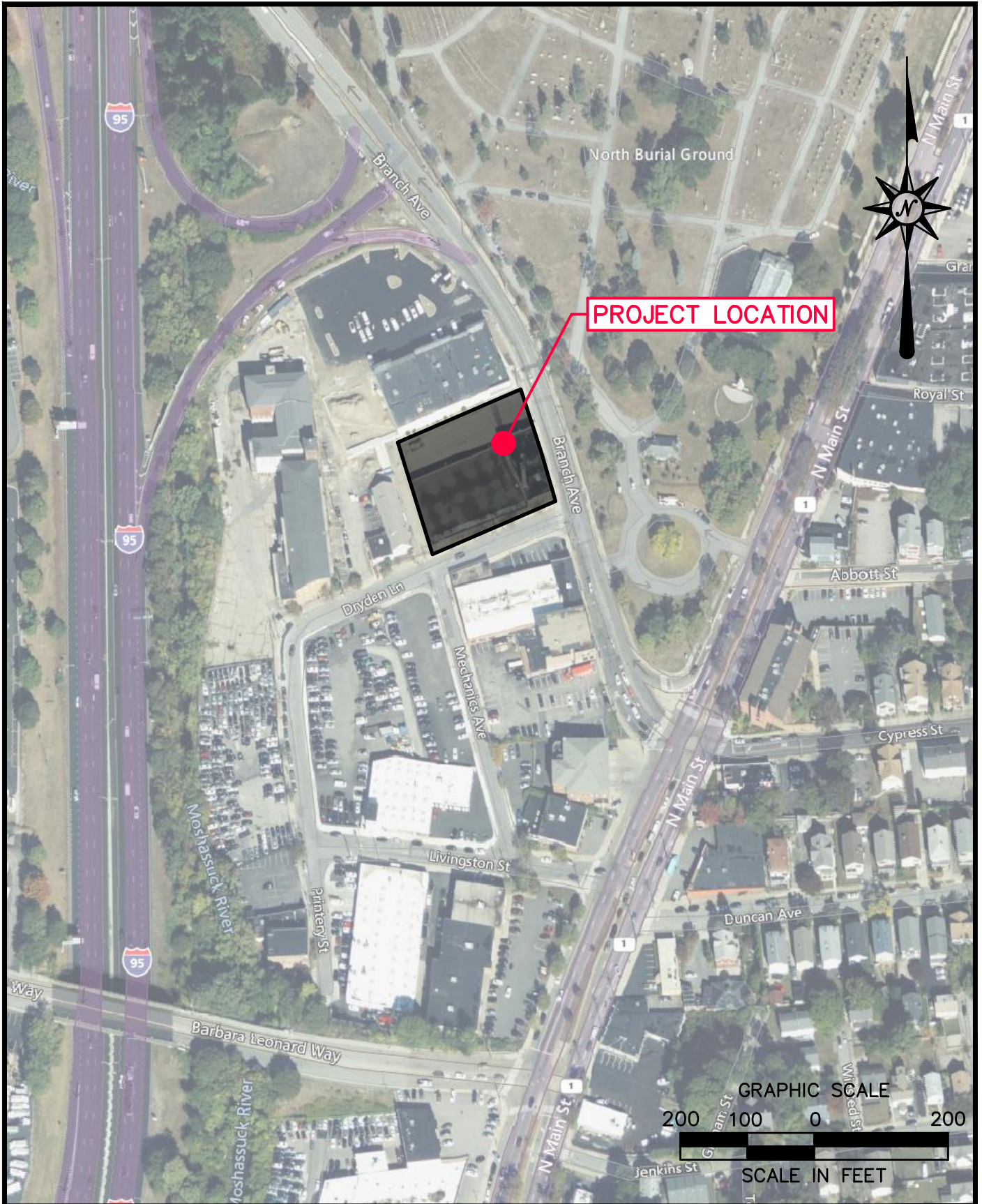


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## **ATTACHMENT A**

Aerial Location Map





ARCHITECTURE  
ENGINEERING  
ENVIRONMENTAL  
LAND SURVEYING

**PROPOSED  
SELF STORAGE FACILITY**  
50 BRANCH AVENUE  
PROVIDENCE, RHODE ISLAND

Designed R.M.D.  
Drawn R.M.D.  
Checked S.M.K.  
Approved S.M.K.  
Scale 1"=200'  
Project No. 2200259  
Date 11/30/2022  
CAD File EXH220025901

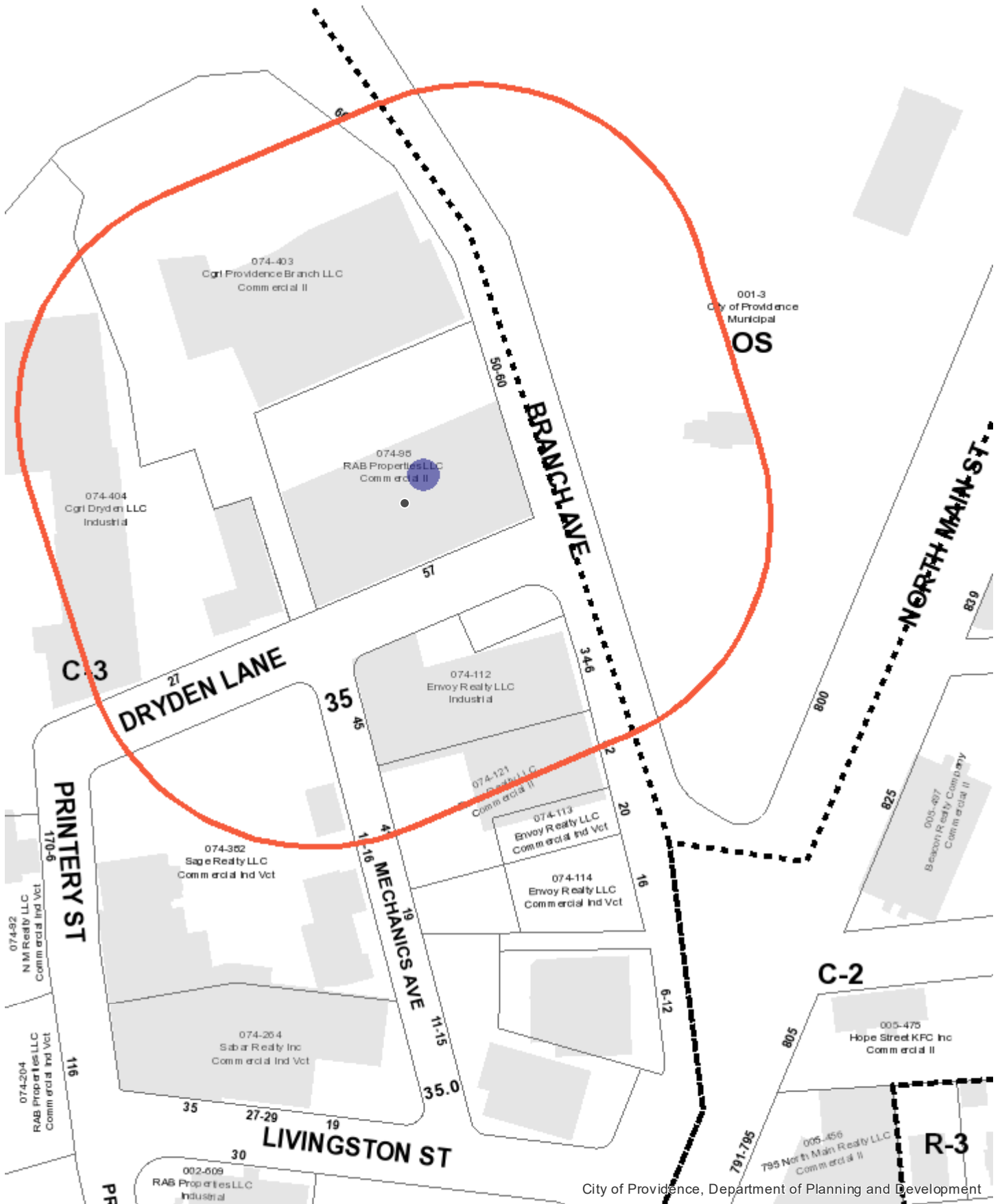
**FIGURE 1**  
**AERIAL LOCATION MAP**



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## **ATTACHMENT B**

200' Abutter Map



City of Providence, Department of Planning and Development

The information depicted herein is for planning purposes only. It is not intended for legal, boundary, title, or equity interpretation, or parcel analysis.  
 Produced by the Providence Planning and Development GIS Lab at the University of Rhode Island, Providence, RI, 02905.  
 Data Source: Providence Geographic Information System  
 Date: 11/29/2022



**P** PROVIDENCE, RHODE ISLAND

PROVIDENCE THE CREATIVE CAPITAL  
 DEPARTMENT OF PLANNING AND DEVELOPMENT  
 JORGE O. ELORZA, MAYOR | BONNIE NICKERSON AICP, DIRECTOR





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## **ATTACHMENT C**

200' Abutter List

**200' Abutter List for 50 Branch Avenue, Providence, RI**

No.	Address	Map	Block	Lot
1	32 BRANCH AVE	074	0	121
2	36 BRANCH AVE	074	0	112
3	36 BRANCH AVE	074	0	387
4	800 NORTH MAIN	001	0	3
5	14 MECHANICS AVE	074	0	382
6	27 DRYDEN LN	074	0	404
7	66 BRANCH AVE	074	0	403