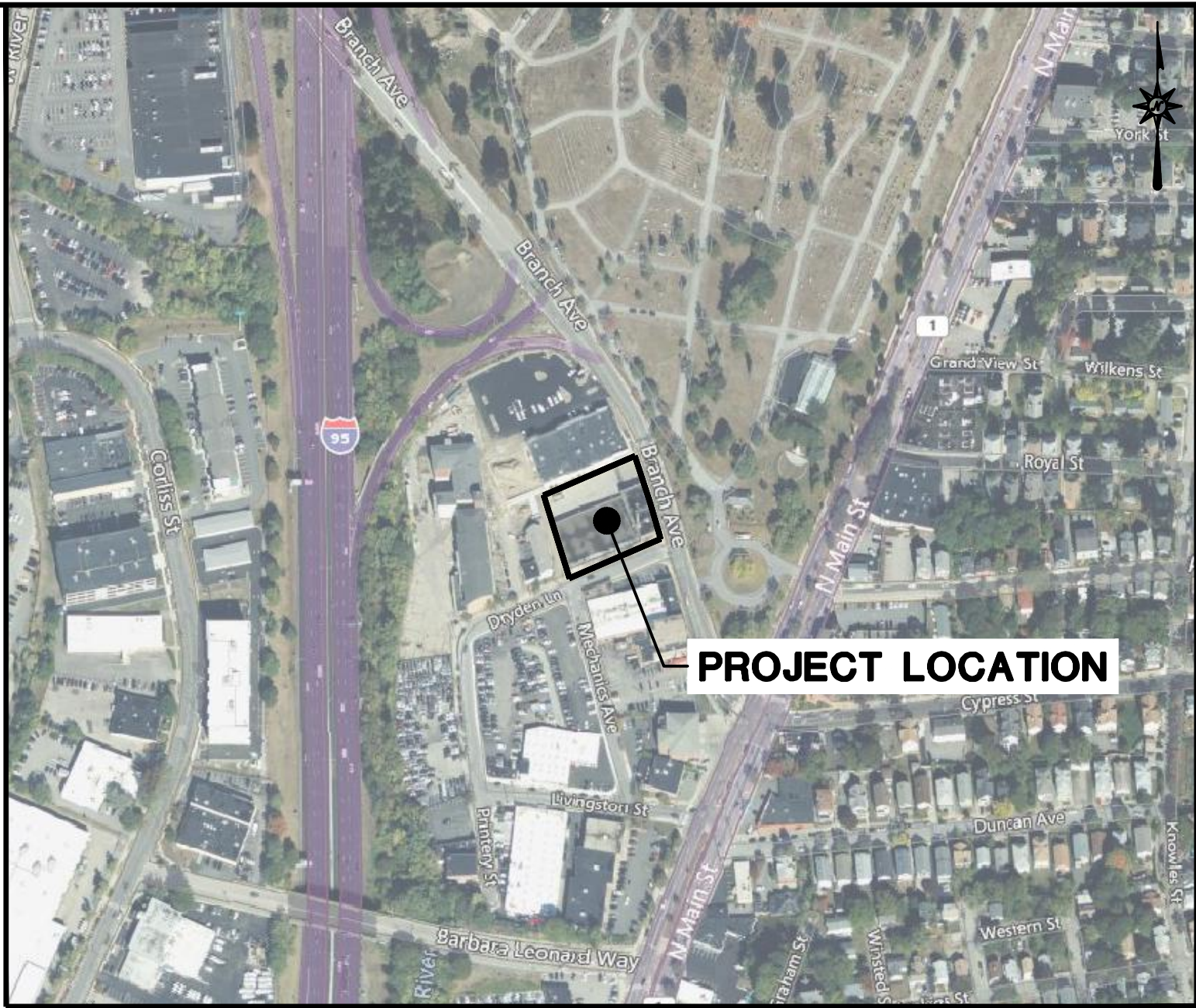


LOCATION MAP  
N.T.S.

# CITY OF PROVIDENCE - MAJOR LAND DEVELOPMENT PROJECT SUBMITTAL FOR PROPOSED SELF STORAGE FACILITY



VICINITY MAP  
SCALE: 1"=300'

50 BRANCH AVENUE  
PROVIDENCE, RHODE ISLAND 02904

PREPARED FOR:  
TRUNK SPACE, LLC  
1900 CROWN COLONY DRIVE, SUITE 405  
QUINCY, MASSACHUSETTS 02169

PREPARED BY:  
**BL** ARCHITECTURE  
ENGINEERING  
ENVIRONMENTAL  
LAND SURVEYING  
Companies

2346 POST ROAD, SUITE 100  
WARWICK, RHODE ISLAND 02886  
(401) 400-4492  
(203) 630-2615 Fax

NOT FOR CONSTRUCTION  
FOR PERMITTING PURPOSES ONLY

## CONTENTS

	TITLE SHEET
AL-1	ALTA/NSPS LAND TITLE SURVEY
SP-1	SITE PLAN
LL-1	LANDSCAPE PLAN
LL-2	LANDSCAPE NOTES AND DETAILS
EE-1	EXTERIOR ELEVATIONS
EE-2	EXTERIOR ELEVATIONS

DEVELOPER:  
TRUNK SPACE, LLC  
1900 CROWN COLONY DRIVE, SUITE 405  
QUINCY, MASSACHUSETTS 02169

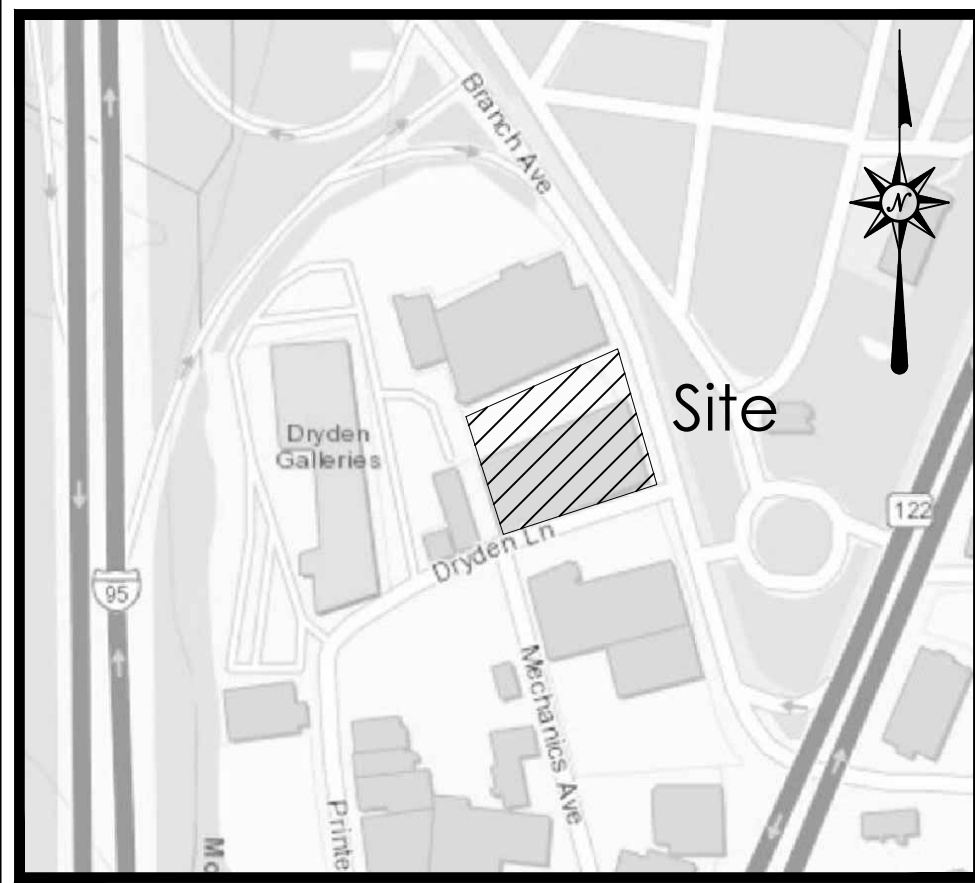
OWNER:  
RAB PROPERTIES, LLC  
PO BOX 6426  
PROVIDENCE, RI 02940

## DATES

ISSUE DATE: DECEMBER 15, 2022







## LOCATION MAP

NOT TO SCALE

## LEGEND

---	Property Line
- - -	Easement Line
- - -	Retaining Wall
X - X	Fence
- - -	Overhead Wires
- - -	Gas Line
- - -	Sanitary Sewer
- - -	Storm Sewer
- - -	Water Line
●	Utility Pole
●	Utility Pole w/ Light
◀	Flood Light
○	Gas Valve
□	Catch Basin
○	Manhole
⊙	Fire Hydrant
○	Water Valve
⊙	Sign
⊙	Handicap Symbol
⊙	Irrigation Control Box
⊙	Deciduous Tree

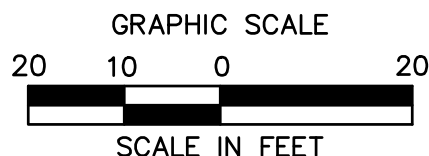
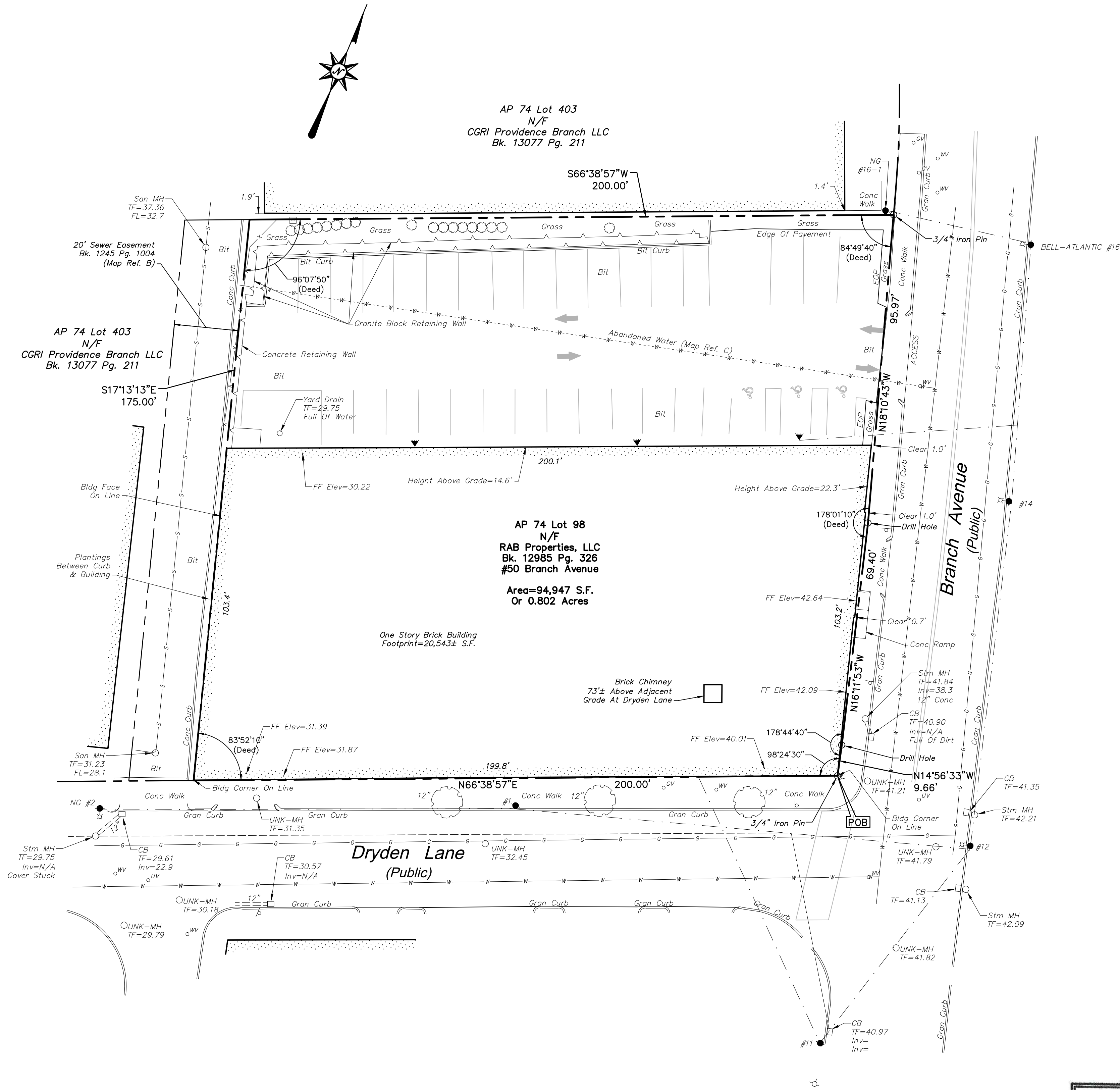
## ZONING INFORMATION

LOCATION:	PROVIDENCE, RI
ZONE:	C-3
USE:	SELF STORAGE FACILITY
ITEM	REQUIREMENTS
MINIMUM LOT AREA	NONE REQUIRED
MINIMUM LOT WIDTH	NONE REQUIRED
MINIMUM LOT DEPTH	NONE REQUIRED
MINIMUM FRONT SETBACK	NONE REQUIRED
MINIMUM SIDE SETBACK	NONE REQUIRED
MINIMUM REAR SETBACK	NONE REQUIRED
MAXIMUM BUILDING HEIGHT	50 FEET/4 STORIES
MAXIMUM BUILDING COVERAGE	NONE

## SCHEDULE B, SECTION II:

TITLE COMMITMENT REFERENCE NUMBER	RECORDING REFERENCE	DESCRIPTION	STATUS ON PLAT
⑤		RIPARIAN RIGHTS OF OTHERS IN AND TO THE WATERS OF ANY STREAM AND/OR RIVERS LYING ALONG AND/OR CROSSING THE LAND, AND ANY RIGHT, TITLE AND INTEREST OF OTHERS IN AND TO ANY PORTION OF THE LAND CONSISTING OF FILLED TIDAL LANDS.	NOT PLOTTABLE
⑧	BK 12985 PG 326	COVENANTS AS SET FORTH IN BARGAIN AND SALE DEED FROM THE STATE OF RHODE ISLAND TO RAB PROPERTIES, LLC.	AFFECTS NOT PLOTTABLE

REFERENCE: COMMONWEALTH LAND TITLE INSURANCE COMPANY, COMMITMENT NO. 10599169 VERSION 1, COMMITMENT DATE: JUNE 28, 2022.



## GENERAL NOTES

- NORTH ARROW AND BEARINGS REFER TO RHODE ISLAND STATE PLANE COORDINATES NAD 83 AND ARE BASED ON GPS OBSERVATIONS BY BL COMPANIES JULY 2022.
- ELEVATIONS REFER TO NAVD 88 AND ARE BASED ON GPS OBSERVATIONS BY BL COMPANIES JULY 2022.
- PARCEL IS LOCATED IN ZONE X. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS DEPICTED ON F.I.R.M. MAP 44007C0308J, PANEL 308 OF 451, REVISED DATE: OCTOBER 2, 2015.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED THOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. THE CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF EXCAVATION.

## PLAT REFERENCES

- "BOUNDARY STAKE-OUT SURVEY, A.P. 74/LOT 98 50 BRANCH AVENUE, PROVIDENCE, R.I., SCALE: 1\"/>
- "ADMINISTRATIVE SUBDIVISION FOR AP 74 LOTS 100, 363, 380, & 389 SITUATED ON 66 & 76 BRANCH AVENUE, 178 PRINTER STREET, 27 DRYDEN LANE, RHODE ISLAND, PREPARED FOR CARRIONATO GROUP, LLC\", SCALE: 1\"/>
- "UTILITY PLAN FOR REDEVELOPMENT AT BRANCH AVENUE AP 74 LOTS 100, 363, 380 & 389 SITUATED ON 66 & 76 BRANCH AVENUE, 178 PRINTER STREET, 27 DRYDEN LANE, RHODE ISLAND PREPARED FOR CGRI PROVIDENCE BRANCH, LLC\", DATE: OCTOBER 21, 2019, SHEET C-5, 6 OF 14 SHEETS, BY GAROFALO & ASSOCIATES, INC., PROVIDENCE, R.I. AND FILED IN THE PROVIDENCE REGISTRY OF DEEDS AS PLAT BOOK 91, PAGE 6 OF 20.

## RECORD LEGAL DESCRIPTION

THAT CERTAIN TRACT OF LAND WITH ALL THE BUILDINGS AND IMPROVEMENTS THEREON, SITUATE ON BRANCH AVENUE AND ON DRYDEN LANE, IN THE CITY OF PROVIDENCE, STATE OF RHODE ISLAND, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE JUNCTION OF THE WESTERLY LINE OF SAID BRANCH AVENUE WITH THE NORTHERLY LINE OF SAID DRYDEN LANE; THENCE RUNNING NORTHERLY BOUNDING EASTERLY ON SAID BRANCH AVENUE A DISTANCE OF NINE AND 65/100 (9.65) FEET; THENCE TURNING AN INTERIOR ANGLE OF 178° 44' 40\"/>

THE ABOVE PREMISES HOWEVER OTHERWISE DESCRIBED ARE THE SAME THAT WERE CONVEYED BY THE WHITE COMPANY TO THE GRANTOR IN AND BY A DEED DATED JULY 30, 1935, AND RECORDED IN THE RECORDS OF LAND EVIDENCE IN THE CITY OF PROVIDENCE IN DEED BOOK 780, AT PAGE 464.

## SURVEY CERTIFICATION

TO: TRUNK SPACE, LLC; COMMONWEALTH LAND TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2-4, 6(a), 6(b), 7(c), 7(d), 8, 11(a), 13, 16, 17 AND 18 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON JULY 27, 2022.

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015 AS FOLLOWS:

THE TYPE OF BOUNDARY SURVEY IS A COMPREHENSIVE BOUNDARY SURVEY. THE MEASUREMENT SPECIFICATION IS CLASS 1.

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS TO DEPICT THE EXISTING CONDITIONS WITH RESPECT TO BOUNDARY LINES, EASEMENTS, AND FOUND MONUMENTATION.

DATED: 11/29/2022

SIGNED: Jennifer Marks  
JENNIFER MARKS PLS NO. 1960  
COA #LS.004457E-COA





ZONING INFORMATION

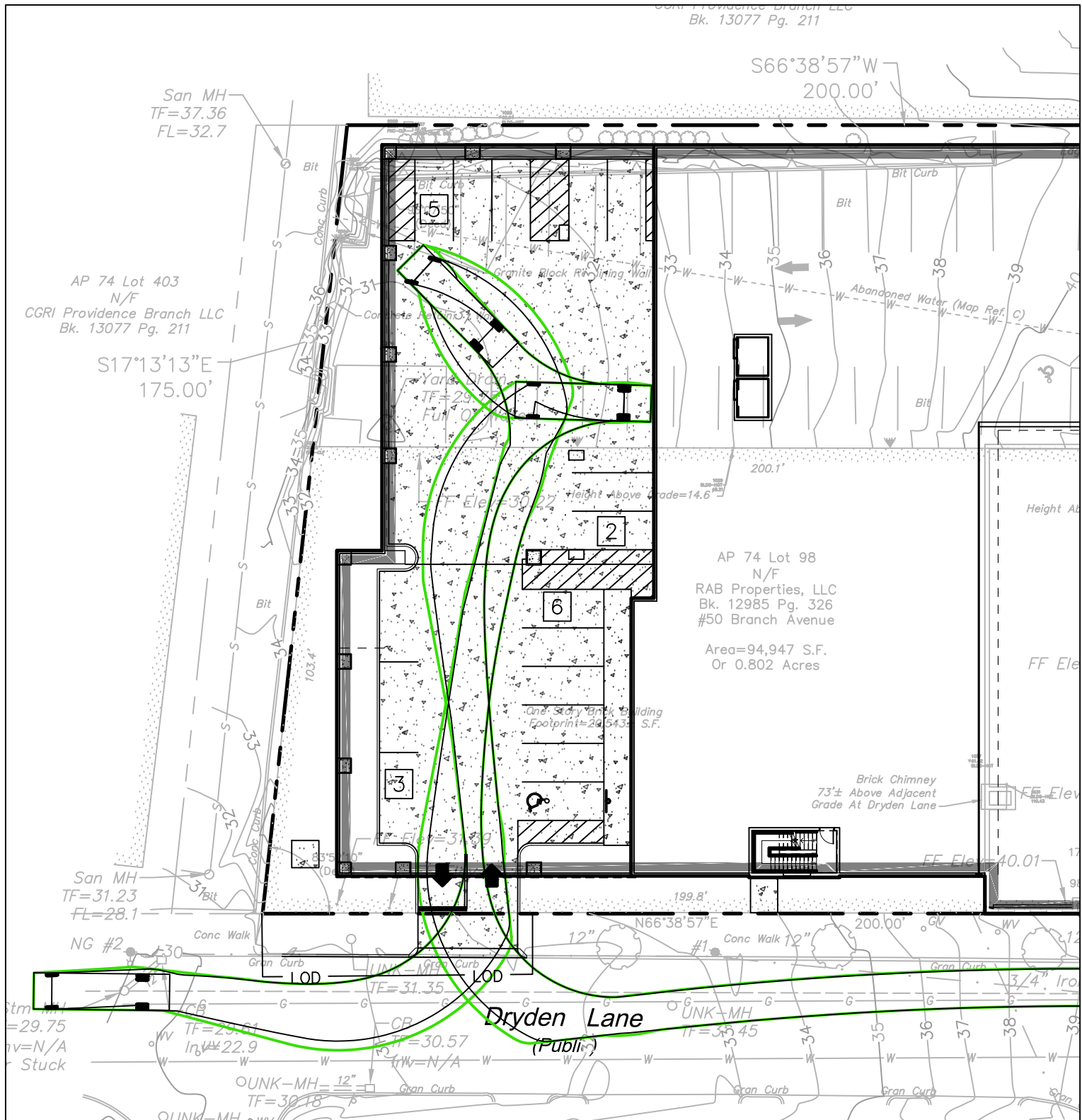
LOCATION: PROVIDENCE, RHODE ISLAND				
ZONE: C-3 (HEAVY COMMERCIAL DISTRICT)				
USE: SELF-STORAGE FACILITY (PERMITTED USE)				
ITEM #	ITEM	REQUIREMENTS	PROPOSED	VARIANCE
1	MINIMUM LOT AREA	NONE REQUIRED	34,946 S.F. (0.80 AC.)	NO
2	MINIMUM LOT WIDTH	NONE REQUIRED	200 FEET	NO
3	MINIMUM FRONT SETBACK	NONE REQUIRED	0 FEET	NO
4	MINIMUM CORNER SIDE SETBACK	NONE REQUIRED	5 FEET	NO
5	MINIMUM INTERIOR SIDE SETBACK	NONE REQUIRED	5 FEET	NO
6	MINIMUM REAR SETBACK	NONE REQUIRED	N/A	NO
7	MAXIMUM BUILDING HEIGHT	50 FEET/ 4 STORIES	72'-11" / 5 STORIES	NO*
8	MAXIMUM BUILDING COVERAGE	NONE REQUIRED	84 PERCENT	NO

\*PER CITY OF PROVIDENCE ORDINANCE, ARTICLE 19 SECTION 1904 LAND DEVELOPMENT PROJECT, SECTION E, THE CITY PLAN COMMISSION ALLOWS MODIFICATIONS FOR BUILDING HEIGHT UP TO +24' OR 2 STORIES.

PARKING INFORMATION

ITEM #	ITEM	REQUIREMENTS	PROPOSED	VARIANCE
1	BUILDING SIZE	NONE REQUIRED	132,688 S.F. (5 STORY BUILDING & CELLAR)	NO
2	PARKING REQUIRED	SELF-STORAGE FACILITY: 1 SPACE PER EVERY 50 STORAGE UNITS (1,173 UNITS) TOTAL REQUIRED = 24	16 SPACES	YES
3	LOADING REQUIRED	COMMERCIAL & INDUSTRIAL USE 100,001 - 200,000 S.F. GFA TOTAL REQUIRED: 2 SPACES	2 SPACES	NO
3	MINIMUM ADA PARKING SPACES REQUIRED	1 SPACE	1 SPACES	NO
4	MINIMUM PARKING DIMENSIONS	8.5 FEET X 18 FEET	8.5 FEET X 18 FEET	NO
5	MINIMUM LOADING DIMENSIONS	12 FEET WIDTH X 35 FEET LENGTH X 15 FEET VERTICAL	58 FEET X 63 FEET	NO
5	MINIMUM AISLE WIDTH	22 FEET - 2-WAY	22 FEET - 2-WAY	NO
6	MINIMUM FRONT SETBACK	NONE REQUIRED	N/A	NO
7	MINIMUM SIDE SETBACK	NONE REQUIRED	N/A	NO
8	MINIMUM REAR SETBACK	NONE REQUIRED	N/A	NO
8	MINIMUM PARKING LOT PERIMETER LANDSCAPE STRIP	5 FOOT LANDSCAPE STRIP	5 FEET MINIMUM	NO

TRUCK TURNING PLAN



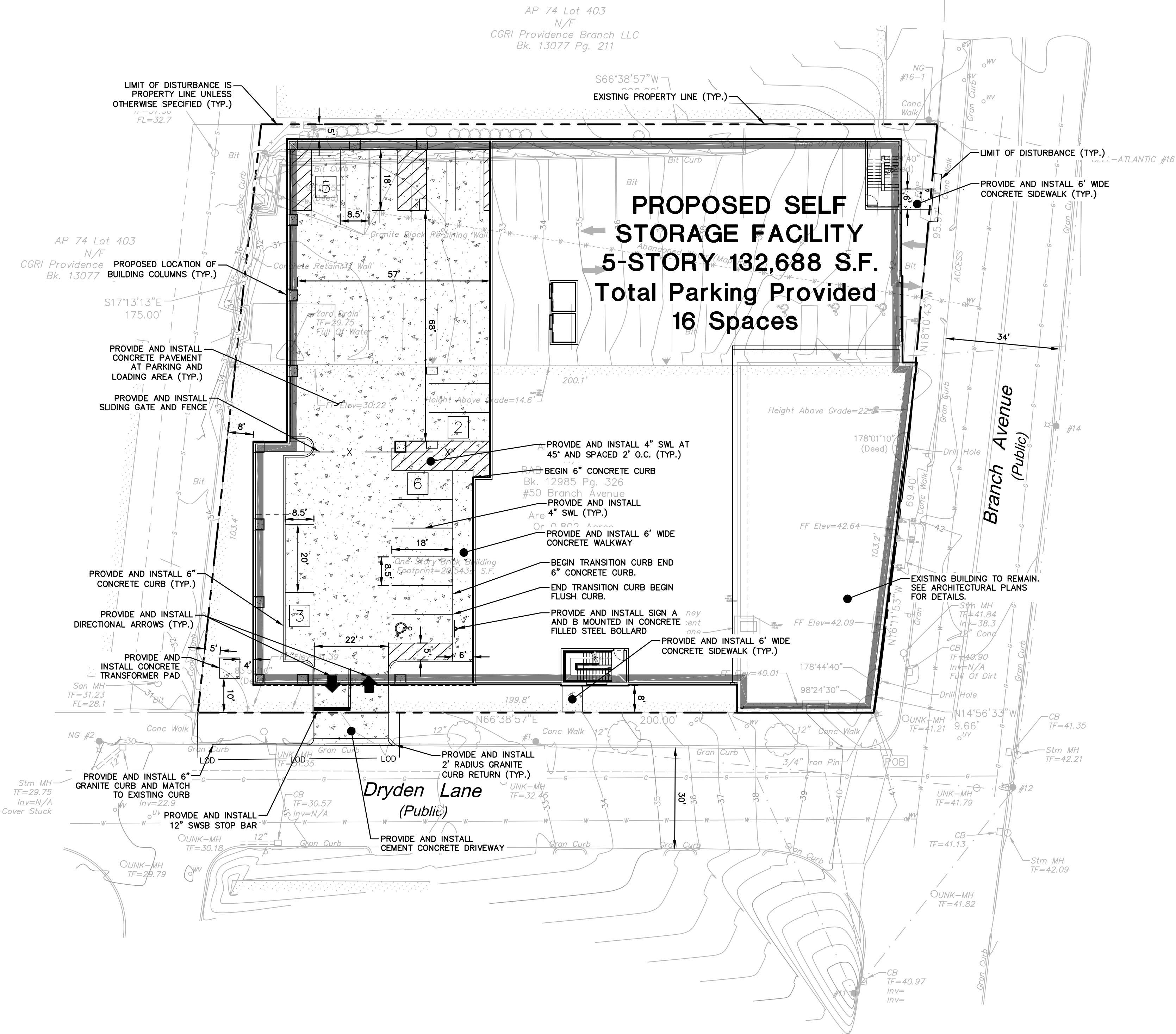
SITE PLAN LEGEND

---	PROPERTY LINE
---	LIMIT OF DISTURBANCE/ CONTRACT LIMIT LINE
X	PROVIDE AND INSTALL FENCE
---	PROVIDE AND INSTALL RETAINING WALL
---	PROVIDE AND INSTALL CURB SEE PLANS FOR MATERIAL
X	NUMBER OF PARKING STALLS
---	PROVIDE AND INSTALL CONCRETE

SIGN LEGEND

SIGN NO.	MUTCD NO.	LEGEND
A	R7-8	NO PARKING ANYTIME
A	R7-8P	VAN ACCESSIBLE

NOTE: ADA SIGNS TO BE INSTALLED IN PIPE BOLLARDS (SEE DETAIL). ALL ADA SIGNAGE TO CONFORM TO LATEST BUILDING CODE.



FOR PERMITTING PURPOSES ONLY  
NOT RELEASED FOR CONSTRUCTION

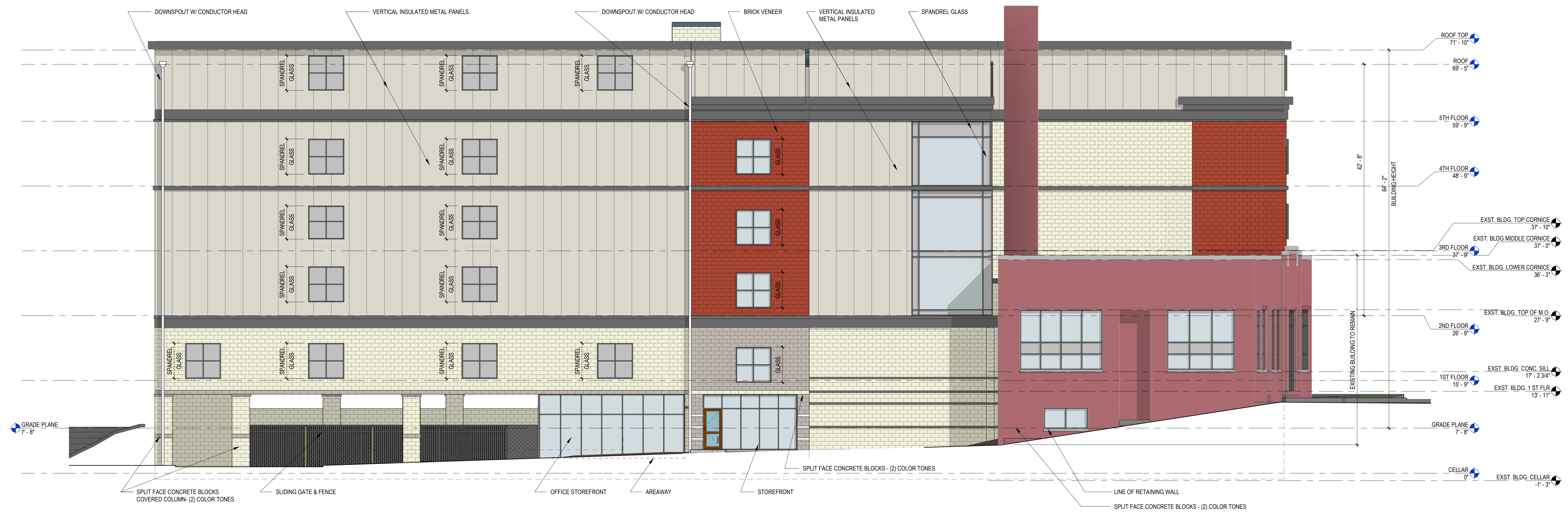






19. ALL DISTURBED AREAS NOT OTHERWISE DEVELOPED SHALL BE SEEDED WITH THE LAWN SEED MIX.





**SOUTH ELEVATION**

1/8" = 1'-0"

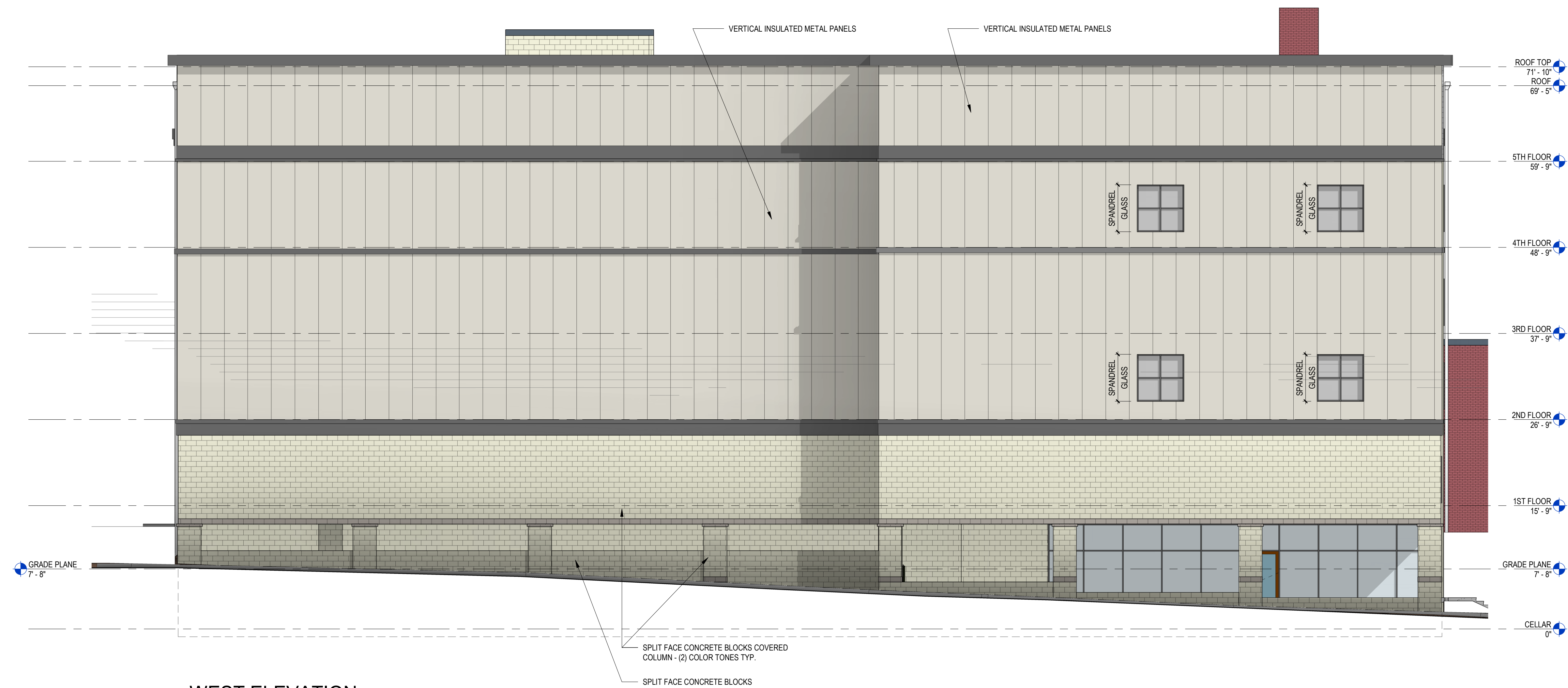


**EAST ELEVATION**

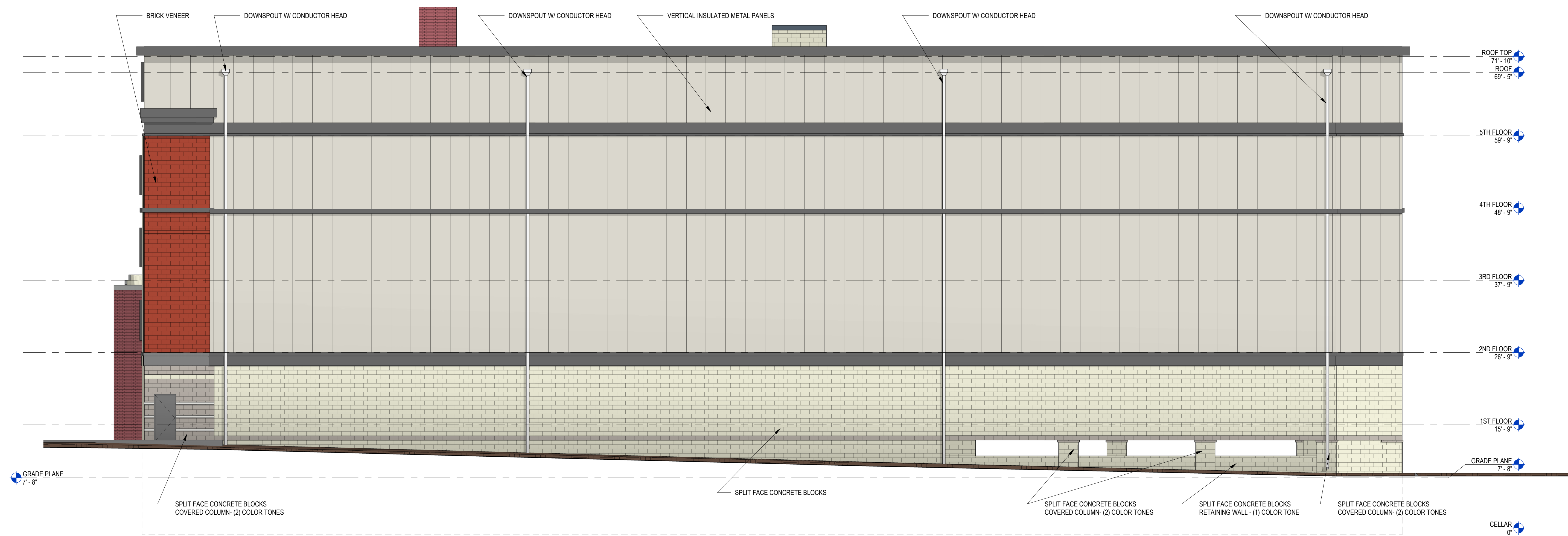
1/8" = 1'-0"







WEST ELEVATION  
1/8" = 1'-0"



NORTH ELEVATION  
1/8" = 1'-0"

