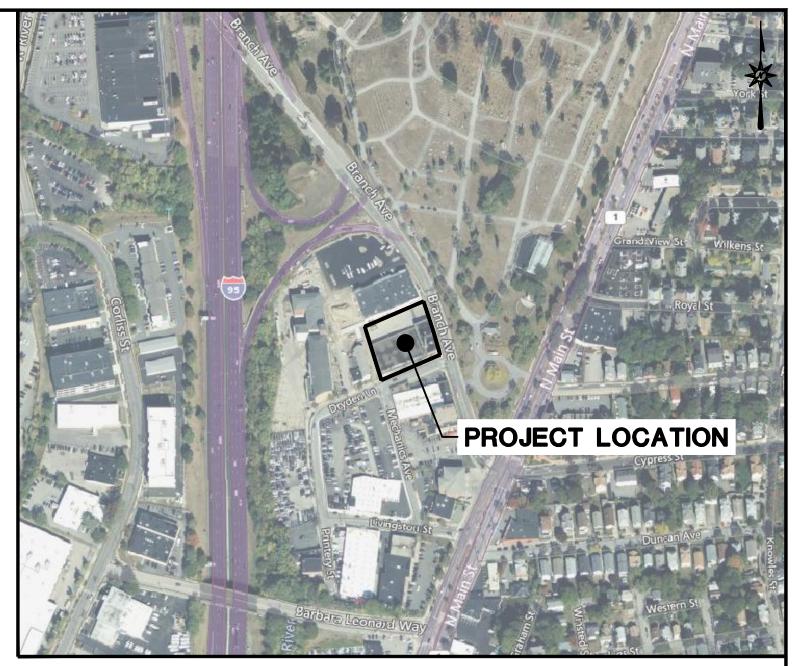


# CITY OF PROVIDENCE MAJOR LAND DEVELOPMENT PROJECT SUBMITTAL FOR PROPOSED SELF STORAGE FACILITY



VICINITY MAP

SCALE: 1"=30

50 BRANCH AVENUE PROVIDENCE, RHODE ISLAND 02904

PREPARED FOR:

TRUNK SPACE, LLC
1900 CROWN COLONY DRIVE, SUITE 405
QUINCY, MASSACHUSETTS 02169

### PREPARED BY:



2346 POST ROAD, SUITE 100 WARWICK, RHODE ISLAND 02886 (401) 400-4492 (203) 630-2615 Fax

DEVELOPER:

TRUNK SPACE, LLC 1900 CROWN COLONY DRIVE, SUITE 405 QUINCY, MASSACHUSETTS 02169 RAB PROPERTIES, LLC PO BOX 6426 PROVIDENCE, RI 02940

SUZANNE M. KING

10040

REGISTERED

PROFESSIONAL ENGINEER

CIVIL

DATES

ISSUE DATE: DECEMBER 15, 2022

NOT FOR CONSTRUCTION FOR PERMITTING PURPOSES ONLY

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CAD FILE: CV220025901

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### **LOCATION MAP** NOT TO SCALE

LEGEND	
	Property Line
	– Easement Line
	— Retaining Wall
xx	– Fence
· · · _	— Overhead Wires
	— Gas Line
ss	— Sanitary Sewer
	– Storm Sewer
	— Water Line
•	Utility Pole
<b>φ</b> -¤	Utility Pole w/ Light
•	Flood Light
O GV	Gas Valve
□ <i>CB</i>	Catch Basin
○ MH	Manhole
-6-	Fire Hydrant
○ WV	Water Valve
<del>0</del> <del>0</del> <del>0</del>	Sign
<u> </u>	Handicap Symbol
	Irrigation Control Box
	Deciduous Tree

# ZONING INFORMATION

MAXIMUM BUILDING COVERAGE

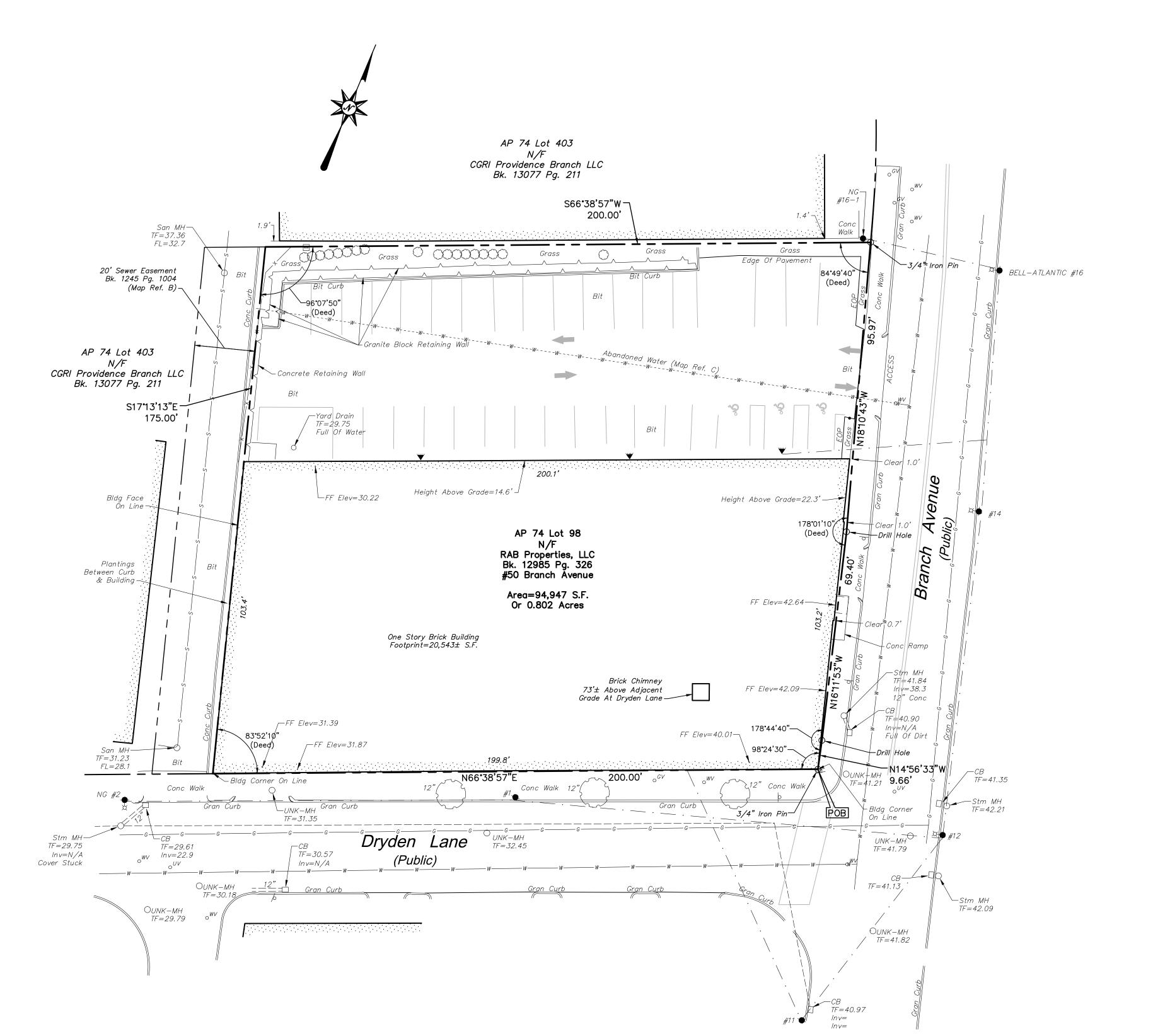
LOCATION: PROVIDENCE, RI					
ZONE: C-3					
USE: SELF STORAGE FACILITY					
ITEM REQUIREMENTS					
MINIMUM LOT AREA	NONE REQUIRED				
MINIMUM LOT WIDTH	NONE REQUIRED				
MINIMUM LOT DEPTH	NONE REQUIRED				
MINIMUM FRONT SETBACK	NONE REQUIRED				
MINIMUM SIDE SETBACK	NONE REQUIRED				
MINIMUM REAR SETBACK	NONE REQUIRED				
MAXIMUM BUILDING HEIGHT	50 FEET/4 STORIES				

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### SCHEDULE B, SECTION II:

TITLE COMMITMENT REFERENCE NUMBER	RECORDING REFERENCE	DESCRIPTION	STATUS ON PLAT
(5)		RIPARIAN RIGHTS OF OTHERS IN AND TO THE WATERS OF ANY STREAM AND/OR RIVERS LYING ALONG AND/OR CROSSING THE LAND, AND ANY RIGHT, TITLE AND INTEREST OF OTHERS IN AND TO ANY PORTION OF THE LAND CONSISTING OF FILLED TIDAL LANDS.	NOT PLOTTABLE
8	BK 12985 PG 326	COVENANTS AS SET FORTH IN BARGAIN AND SALE DEED FROM THE STATE OF RHODE ISLAND TO RAB PROPERTIES, LLC.	AFFECTS NOT PLOTTABLE

REFERENCE: COMMONWEALTH LAND TITLE INSURANCE COMPANY, COMMITMENT NO. 10599169 VERSION 1 COMMITMENT DATE: JUNE 28, 2022.



GRAPHIC SCALE

SCALE IN FEET

### **GENERAL NOTES**

- NORTH ARROW AND BEARINGS REFER TO RHODE ISLAND STATE PLANE COORDINATES NAD 83 AND ARE BASED UPON GPS OBSERVATIONS BY BL COMPANIES JULY 2022..
- 2. ELEVATIONS REFER TO NAVD 88 AND ARE BASED ON GPS OBSERVATIONS BY BL COMPANIES JULY 2022.
- 3. PARCEL IS LOCATED IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS DEPICTED ON F.I.R.M. MAP 44007C0308J, PANEL 308 OF 451, REVISED DATE: OCTOBER 2, 2015.
- 4. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED THOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. THE CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF EXCAVATION.

### PLAT REFERENCES

- A. "BOUNDARY STAKE-OUT SURVEY, A.P. 74/LOT 98 50 BRANCH AVENUE, PROVIDENCE, R.I., SCALE: 1"=20', DATE: DECEMBER 8, 2020, PREPARED FOR: TOM BADWAY", PREPARED BY: OCEAN STATE PLANNERS, INC., CRANSTON, RI, JOB NO. 9826 / DWG. NO. 9826 - (JNP).
- B. "ADMINISTRATIVE SUBDIVISION FOR AP 74 LOTS 100, 363, 380, & 389 SITUATED ON 66 & 76 BRANCH AVENUE, 178 PRINTERY STREET, 27 DRYDEN LANE, RHODE ISLAND, PREPARED FOR CARPIONATO GROUP, LLC", SCALE: 1"=30', DATE: OCTOBER, 2020, SHEET 1 BY GAROFALO & ASSOCIATES, INC., PROVIDENCE, R.I. AND FILED IN THE PROVIDENCE REGISTRY OF DEEDS AS PLAT BOOK 96, PAGE 109.
- C. "UTILITY PLAN FOR REDEVELOPMENT AT BRANCH AVENUE AP 74 LOTS 100, 363, 380 & 389 SITUATED ON 66 & 76 BRANCH AVENUE, 178 PRINTERY STREET, 27 DRYDEN LANE, RHODE ISLAND PREPARED FOR CGRI PROVIDENCE BRANCH, LLC", DATE: OCTOBER 21, 2019, SHEET C-5, 6 OF 14 SHEETS, BY GAROFALO & ASSOCIATES, INC., PROVIDENCE, R.I. AND FILED IN THE PROVIDENCE REGISTRY OF DEEDS AS PLAT BOOK 91, PAGE 6 OF

### RECORD LEGAL DESCRIPTION

THAT CERTAIN TRACT OF LAND WITH ALL THE BUILDINGS AND IMPROVEMENTS THEREON, SITUATE ON BRANCH AVENUE AND ON DRYDEN LANE, IN THE CITY OF PROVIDENCE, STATE OF RHODE ISLAND, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE JUNCTION OF THE WESTERLY LINE OF SAID BRANCH AVENUE WITH THE NORTHERLY LINE OF SAID DRYDEN LANE; THENCE RUNNING NORTHERLY BOUNDING EASTERLY ON SAID BRANCH AVENUE A DISTANCE OF NINE AND 65/100 (9.65) FEET: THENCE TURNING AN INTERIOR ANGLE OF 178° 44' 40" AND RUNNING STILL NORTHERLY (BOUNDING EASTERLY ON SAID BRANCH AVENUE) A DISTANCE OF SIXTY-NINE AND 40/100 (69.40) FEET; THENCE TURNING AN INTERIOR ANGLE OF 178° 01' 10" AND RUNNING STILL NORTHERLY BOUNDING EASTERLY ON SAID BRANCH AVENUE A DISTANCE OF NINETY-FIVE AND 97/100 (95.97) FEET; THENCE TURNING AN INTERIOR ANGLE OF 84° 49' 40" AND RUNNING IN A WESTERLY DIRECTION BOUNDING NORTHERLY BY LAND NOW OR FORMERLY OWNED BY WANSKUCK COMPANY A DISTANCE OF TWO HUNDRED (200) FEET; THENCE TURNING AN INTERIOR ANGLE OF 96° 07' 50" AND RUNNING IN A SOUTHERLY DIRECTION BOUNDING WESTERLY BY LAND NOW OR FORMERLY OWNED BY WANSKUCK COMPANY A DISTANCE OF ONE HUNDRED SEVENTY-FIVE (175) FEET TO SAID DRYDEN LANE; THENCE TURNING AN INTERIOR ANGLE OF 83° 52' 10" AND RUNNING IN AN EASTERLY DIRECTION BOUNDING SOUTHERLY ON SAID DRYDEN LANE A DISTANCE OF TWO HUNDRED (200) FEET TO THE FIRST MENTIONED AND STARTING POINT, THE LAST LINE FORMING AN INTERIOR ANGLE WITH THE FIRST LINE HEREIN DESCRIBED OF 98°24'30".

THE ABOVE PREMISES HOWEVER OTHERWISE DESCRIBED ARE THE SAME THAT WERE CONVEYED BY THE WHITE COMPANY TO THE GRANTOR IN AND BY A DEED DATED JULY 30, 1935, AND RECORDED IN THE RECORDS OF LAND EVIDENCE IN THE CITY OF PROVIDENCE IN DEED BOOK 780, AT PAGE 464.

### SURVEY CERTIFICATION

JENNIFER MARKS

**PROFESSIONAL** LAND SURVEYOR TO: TRUNK SPACE, LLC; COMMONWEALTH LAND TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2-4,6(a),6(b),7(a),7(b)(1),7(c),8,11(a),13,16,17 AND 18 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON JULY 27, 2022.

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015 AS FOLLOWS:

THE TYPE OF BOUNDARY SURVEY IS A COMPREHENSIVE BOUNDARY SURVEY. THE MEASUREMENT SPECIFICATION IS CLASS 1. THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS TO DEPICT THE EXISTING CONDITIONS WITH RESPECT TO BOUNDARY LINES, EASEMENTS, AND FOUND MONUMENTATION.

JENNIFER MARKS PLS NO. 1960 COA #LS.00A457E-COA



2346 Post Road, Suite 100 Warwick, RI 02886 (401) 400-4492 www.blcompanies.com

Surveyed

Reviewed 1"=20' 2200259 Project No. 08/02/2022 Field Book

ALTA/NSPS

AL220025901

LAND TITLE SURVEY

Sheet No.

CAD File:

### **ZONING INFORMATION**

LOCATION: PROVIDENCE, RHODE ISLAND  ZONE: C-3 (HEAVY COMMERCIAL DISTRICT)					
ITEM #	ITEM	REQUIREMENTS	PROPOSED	VARIANCE	
1	MINIMUM LOT AREA	MINIMUM LOT AREA NONE REQUIRED		NO	
2	MINIMUM LOT WIDTH NONE REQUIRED		200 FEET	NO	
3	MINIMUM FRONT SETBACK NONE REQUIRED		O FEET	NO	
4	MINIMUM CORNER SIDE SETBACK NONE REQUIRED		5 FEET	NO	
5	MINIMUM INTERIOR SIDE SETBACK	NONE REQUIRED	5 FEET	NO	
6	MINIMUM REAR SETBACK NONE REQUIRED		N/A	NO	
7	MAXIMUM BUILDING HEIGHT	50 FEET/ 4 STORIES	72'-11" / 5 STORIES	NO*	
8	MAXIMUM BUILDING COVERAGE	NONE REQUIRED	84 PERCENT	NO	

\*PER CITY OF PROVIDENCE ORDINANCE, ARTICLE 19 SECTION 1904 LAND DEVELOPMENT PROJECT, SECTION E, THE CITY PLAN COMMISSION ALLOWS MODIFICATIONS FOR BUILDING HEIGHT UP TO +24' OR 2 STORIES.

### SITE PLAN LEGEND

	PROPERTY LINE
LOD	LIMIT OF DISTURBANGE CONTRACT LIMIT LINI
x	PROVIDE AND INSTAI
	PROVIDE AND INSTAI RETAINING WALL
	PROVIDE AND INSTAL
X	NUMBER OF PARKING

TALL FENCE ΓALL TALL CURB ING STALLS

PROVIDE AND INSTALL CONCRETE

## PARKING INFORMATION

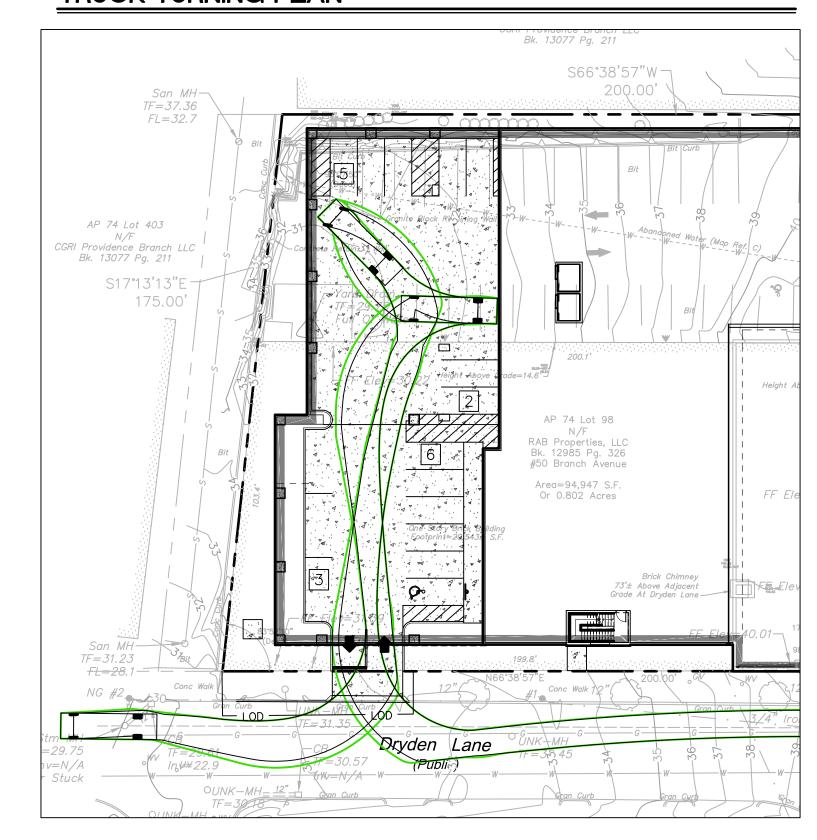
ITEM #	ITEM	REQUIREMENTS	PROPOSED	VARIANCE	
1	BUILDING SIZE	NONE REQUIRED	132,688 S.F. (5 STORY BUILDING & CELLAR)	NO	
2	PARKING REQUIRED	SELF-STORAGE FACILITY: 1 SPACE PER EVERY 50 STORAGE UNITS (1,173 UNITS) TOTAL REQUIRED = 24	16 SPACES	YES	
3	LOADING REQUIRED	COMMERCIAL & INDUSTRIAL USE 100,001 - 200,000 S.F. GFA TOTAL REQUIRED: 2 SPACES	2 SPACES	NO	
3	MINIMUM ADA PARKING SPACES REQUIRED	1 SPACE	1 SPACES	NO	
4	MINIMUM PARKING DIMENSIONS	8.5 FEET X 18 FEET	8.5 FEET X 18 FEET	NO	
5	MINIMUM LOADING DIMENSIONS	12 FEET WIDTH X 35 FEET LENGTH X 15 FEET VERTICAL	58 FEET X 63 FEET	NO	
5	MINIMUM AISLE WIDTH	22 FEET — 2—WAY	22 FEET - 2-WAY	NO	
6	MINIMUM FRONT SETBACK	NONE REQUIRED	N/A	NO	
7	MINIMUM SIDE SETBACK	NONE REQUIRED	N/A	NO	
8	MINIMUM REAR SETBACK	NONE REQUIRED	N/A	NO	
8	MINIMUM PARKING LOT PERIMETER LANDSCAPE STRIP	5 FOOT LANDSCAPE STRIP	5 FEET MINIMUM	NO	

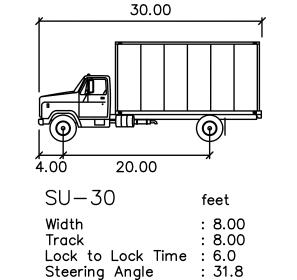
### SIGN LEGEND

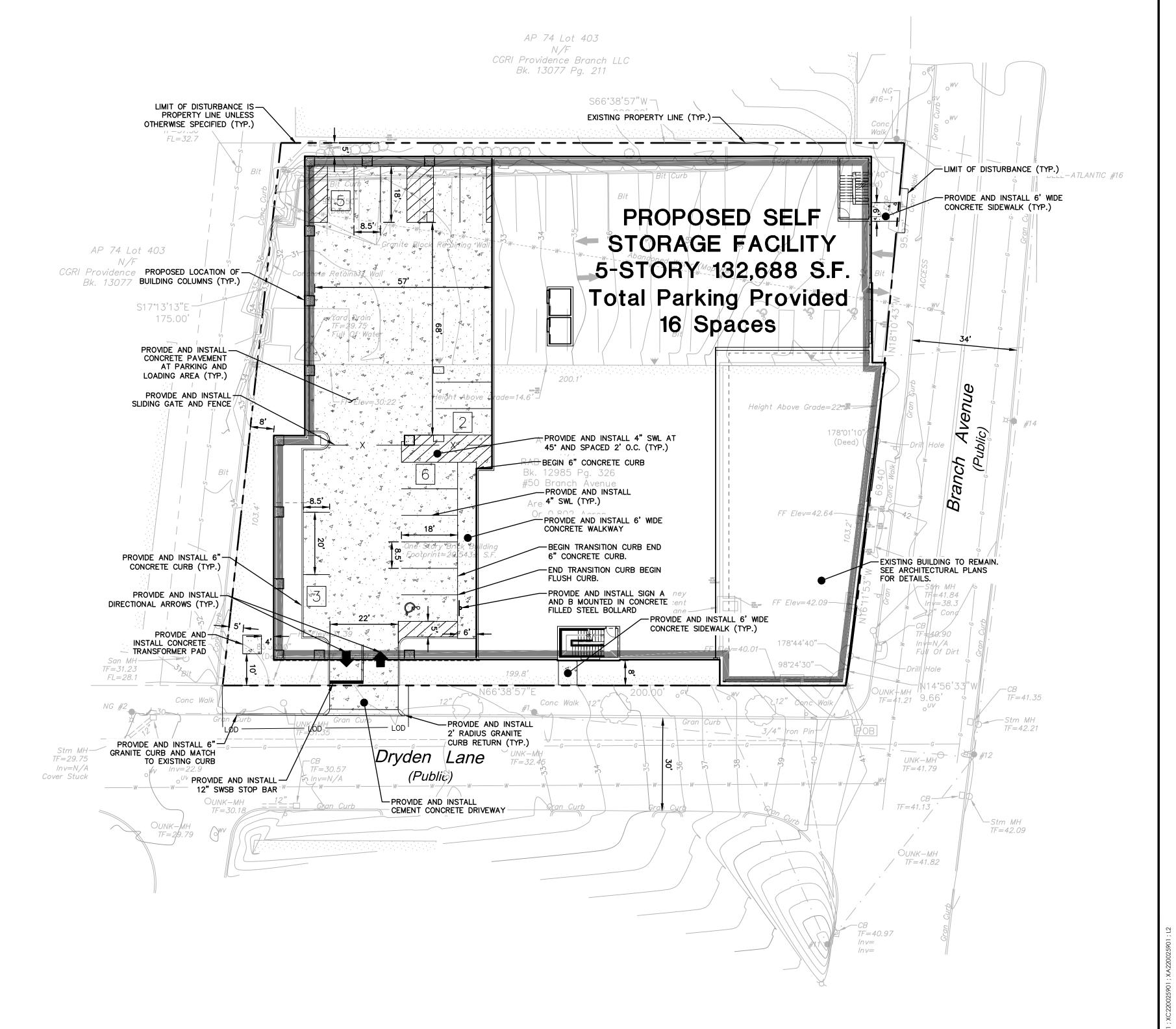
SIGN NO.	MUTCD NO.	LEGEND
A	R7–8	WILLIAMS WILL  WE FORD  ACCESSIBLE  PARCING  STATE (RIGHT)  RIGHLINED
A	R7-8P	VAN ACCESSIBLE

NOTE: ADA SIGNS TO BE INSTALLED IN PIPE BOLLARDS (SEE DETAIL). ALL ADA SIGNAGE TO CONFORM TO LATEST BUILDING CODE.

### TRUCK TURNING PLAN







FOR PERMITTING PURPOSES ONLY NOT RELEASED FOR CONSTRUCTION

355 Research Parkway Meriden, CT 06450 (203) 630-1406



D SELF-S 50 BRANCH VIDENCE, F SED **PROPO** 

Designed Drawn Reviewed Scale Project No. 12/15/2022

R.M.D.

R.M.D.

S.M.K.

1"=20' 2200259

Date CAD File: SP220025901

SITE PLAN

Sheet No.

SCALE IN FEET

PLANT SCHI	<u>EDULE</u>	<u>-</u> - 			
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
<b>#</b>	АМ	11	AZALEA X 'MOTHER'S DAY'	MOTHER'S DAY AZALEA	3 GAL.
<b>②</b>	IH	6	ILEX CRENATA 'HELLERI'	HELER JAPANESE HOLLY	3 GAL.
$\bigcirc$	IS	19	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	24-30" HT. AND SPREAD
(Action of the control of the contro	IB	5	ILEX X MESERVEAE 'BLUE PRINCESS'	BLUE PRINCESS HOLLY	3.5-4' HT.
$\odot$	JT	3	JUNIPERUS CHINENSIS 'TORULOSA'	HOLLYWOOD JUNIPER	5'-6' HT.
£	RE	8	RHODODENDRON X 'ENGLISH ROSEUM'	ENGLISH ROSEUM RHODODENDRON	7 GAL.
	SS	4	SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS JAPANESE SPIREA	3 GAL.
AND CONTROL OF THE CO	TS	13	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	5'-6' HT.
	VS	6	VIBURNUM PLICATUM TOMENTOSUM 'SHASTA'	SHASTA DOUBLEFILE VIBURNUM	3-4' HT.
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	НН	66	HEMEROCALLIS X 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	1 GAL.
	LV	70	LIRIOPE MUSCARI 'VARIEGATA'	VARIEGATED LILYTURF	1 GAL.
	NN	84	NEPETA X FAASSENII 'NOVANEPJUN'	JUNIOR WALKER™ CATMINT	1 GAL.

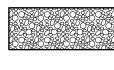
NOTES:

1) ALL SUBSTITUTIONS MUST RECEIVE APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO DELIVERY TO SITE.

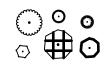
2) PROVIDE AND INSTALL ALL PLANTS SHOWN ON THE PLANTING PLAN DRAWINGS; THE QUANTITIES IN THE PLANT LIST ARE PROVIDED FOR THE CONTRACTOR'S CONVENIENCE ONLY. IF DISCREPANCIES OCCUR, THE LARGER QUANTITY SHALL APPLY.

3) IF THERE IS A DISCREPANCY BETWEEN BOTANICAL AND COMMON NAME, BOTANICAL NAME PREVAILS.

### LEGEND



PROVIDE AND INSTALL CRUSHED STONE



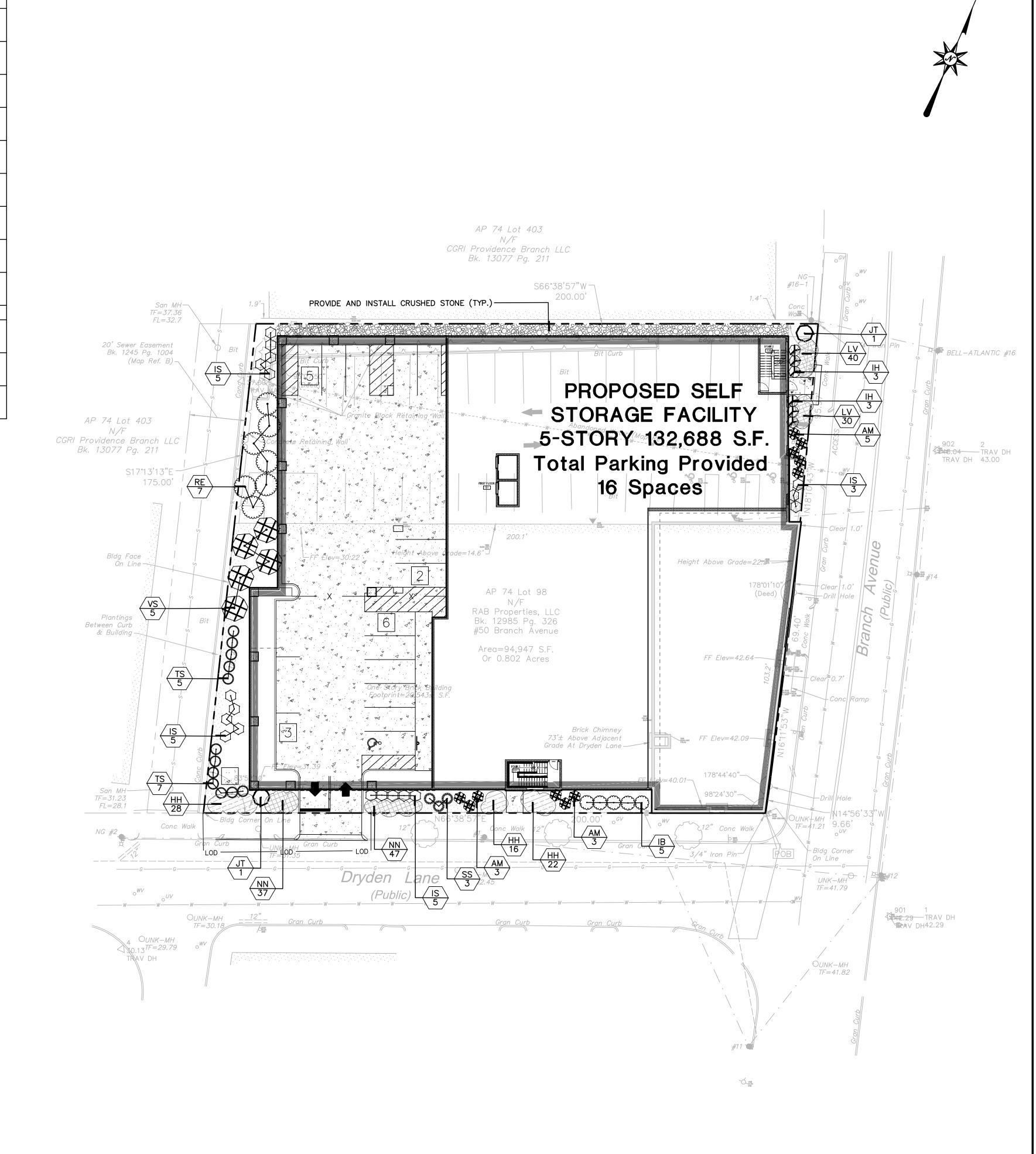
PROVIDE AND INSTALL SHRUBS (REFER TO PLANT SCHEDULE)



PROVIDE AND INSTALL GROUNDCOVER (REFER TO PLANT SCHEDULE)

FOR PERMITTING PURPOSES ONLY NOT RELEASED FOR CONSTRUCTION

SEE SHEET LL-2 FOR LANDSCAPE NOTES AND DETAILS



355 Research Parkway Meriden, CT 06450 (203) 630-1406

SED **PROPO** 

Designed Drawn Reviewed Scale Project No.

2200259 12/15/2022 Date CAD File: LL220025901

LANDSCAPE PLAN

Sheet No. LL-1

### LANDSCAPE NOTES

THE LANDSCAPE PLAN AND DETAIL SHEET ARE FOR LANDSCAPING INFORMATION ONLY. REFER TO THE SITE PLAN, GRADING AND DRAINAGE PLAN, SITE UTILITIES PLAN, LIGHTING PLAN AND DEMOLITION PLAN FOR ALL OTHER INFORMATION.

COORDINATE PLANT MATERIAL LOCATIONS WITH SITE UTILITIES. UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE. EXERCISE CARE WHEN DIGGING IN AREAS OF POTENTIAL CONFLICT WITH UNDERGROUND OR OVERHEAD UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONTRACTOR'S NEGLIGENCE AND SHALL REPLACE OR REPAIR ANY DAMAGE AT CONTRACTOR'S EXPENSE. PRIOR TO DIGGING AND INSTALLATION OF PLANT MATERIAL, THE CONTRACTOR SHALL CONTACT 72 HOURS BEFORE COMMENCEMENT OF WORK AT AND VERIFY ALL UTILITY SYSTEM LOCATIONS.

THE LOCATIONS FOR PLANT MATERIAL ARE APPROXIMATE AND ARE SUBJECT TO FIELD ADJUSTMENT DUE TO UTILITY LOCATIONS AND SITE CONDITIONS. THE CONTRACTOR SHALL ACCURATELY STAKE OUT THE LOCATIONS FOR ALL PLANTS FOR THE REVIEW, ADJUSTMENT, AND APPROVAL BY

4. THE CONTRACTOR SHALL GUARANTEE THAT ALL PLANTS SHALL BE HEALTHY AND FREE OF DISEASE FOR A PERIOD OF <u>ONE YEAR OR JUNE 1ST</u> <u>OF THE YEAR FOLLOWING INSTALLATION. WHICHEVER IS LONGER.</u> AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE BY OWNER OR LANDSCAPE ARCHITECT, CONTRACTOR SHALL REPLACE ANY DEAD OR UNHEALTHY PLANTS AT CONTRACTOR'S EXPENSE, PLANT MATERIAL REPLACEMENTS SHALL BE GUARANTEED FOR ONE FULL YEAR FROM DATE OF REPLACEMENT. REPLACEMENT PLANTS SHALL BE THE SAME AS SPECIFIED FOR THE ORIGINAL PLANTING. REPLACEMENTS SHALL BE MADE AS MANY TIMES AS NECESSARY TO ENSURE HEALTHY PLANTS. FINAL ACCEPTANCE SHALL BE MADE IF ALL PLANTS MEET THE GUARANTEE REQUIREMENTS INCLUDING MAINTENANCE. MAINTENANCE RESPONSIBILITIES INCLUDE CULTIVATING, SPRAYING, WEEDING, WATERING, TIGHTENING GUYS, PRUNING, FERTILIZING, MULCHING, AND ANY OTHER OPERATIONS NECESSARY TO MAINTAIN PLANT VIABILITY. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING AND CONTINUE UNTIL THE END OF THE GUARANTEE PERIOD. DURING THE LANDSCAPE MAINTENANCE PERIOD (GUARANTEE) THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF ANY SITE CONSTRAINTS (PHYSICAL, ENVIRONMENT, ETC.) OR MAINTENANCE DEFICIENCIES THAT MAY AFFECT LANDSCAPE VEGETATION ESTABLISHMENT.

5. THE CONTRACTOR SHALL SUPPLY ALL LABOR, PLANTS, AND MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT SCHEDULE. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT SCHEDULE AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER SHALL APPLY. ALL PLANTS SHALL BE ACCLIMATED BY THE SUPPLY NURSERY TO THE LOCAL HARDINESS ZONE AND BE CERTIFIED THAT THE PLANTING MATERIAL HAS BEEN GROWN FOR A MINIMUM OF TWO YEARS AT THE SOURCE AND OBTAINED WITHIN 200 MILES OF PROJECT SITE UNLESS OTHERWISE APPROVED BY OWNER OR LANDSCAPE ARCHITECT.

5. PLANTS SHALL HAVE TAGS THAT IDENTIFY PLANT GENUS, SPECIES, CULTIVAR (IF APPLICABLE), PLANT COMMON NAME, NAME OF SOURCE NURSERY, AND SIZE OF PLANT FOR REVIEW OF OWNER OR LANDSCAPE ARCHITECT.

7. NO PLANT SHALL BE PLACED IN THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT. STAKING THE LOCATION OF ALL TREES AND SHRUBS SHALL BE COMPLETED PRIOR TO PLANTING FOR APPROVAL BY THE OWNER OR

- 8. FINAL GRADES SHALL BLEND SMOOTHLY WITH EXISTING GRADES, AND TOP AND BOTTOM OF SLOPES SHALL BE ROUNDED.
- 9. ALL TREE AND SHRUB MASSINGS SHALL BE MULCHED TO A DEPTH OF 3". ANNUAL AND PERENNIAL BEDS SHALL BE MULCHED TO A DEPTH OF 2". MULCH SHALL BE UNCOLORED TRIPLE-SHREDDED HARDWOOD BARK MULCH, AGED AT LEAST 6 MONTHS.
- 10. IF TREE STAKING IS PROPOSED, TREE STAKING MUST BE COMPLETED THE SAME DAY AS THE TREE IS INSTALLED. ALL TREES SHALL BE STAKED

11. LANDSCAPE PLANTING AREAS MUST BE FREE DRAINING. PAVEMENT, COMPACTED SUBGRADE, DEAD OR DYING PLANT MATERIAL, BLASTED ROCK, STONES GREATER THAN 1" IN DIAMETER, AND ANY OTHER MATERIAL HARMFUL TO PLANT GROWTH AND DEVELOPMENT SHALL BE REMOVED FROM AREAS TO BE LANDSCAPED AS REQUIRED BY PLANTING DETAILS OR SPECIFICATIONS.

### 12. PLANTING SOIL:

DEPTH: PLANTING SOIL SHALL BE INSTALLED AT A MINIMUM DEPTH OF 12" OR AS NOTED IN THE LANDSCAPE DETAILS. PLANTING SOIL SHALL BE UTILIZED IN ALL PLANTING AREAS INCLUDING SEEDED AREAS.

TESTING: CONTRACTOR SHALL SUBMIT (2) SOIL SAMPLES PER SOIL STOCKPILE TO A CERTIFIED TESTING LABORATORY TO DETERMINE ACIDITY, ORGANIC CONTENT, MECHANICAL ANALYSIS, AVAILABLE NUTRIENTS (N,P,K,Ca,Mg,S,Fe,Mn,Zn,Cu,B,AI,Pb) AND NECESSARY AMENDMENTS TO SOIL. THE CONTRACTOR SHALL SUBMIT THE TEST RESULTS TO THE OWNER OR LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. TEST RESULTS SHALL RECOMMEND AMENDMENTS THAT WILL ALTER THE SOIL CHARACTERISTICS SUCH THAT THE CHARACTERISTICS DESCRIBED BELOW ARE ACHIEVED AND THE SPECIFIED PLANTS (CONTRACTOR TO PROVIDE LIST TO TESTING LABORATORY) WILL ACHIEVE PROPER GROWTH THAT IS NEITHER DEFICIENT NOR EXCESSIVE. THE CONTRACTOR SHALL INCORPORATE THESE AMENDMENTS AT NO INCREASE IN CONTRACT PRICE.

CHARACTERISTICS: PLANTING SOIL MAY CONSIST OF EXISTING ON-SITE SOILS, AMENDED ON-SITE SOILS, OR IMPORTED SOILS MEETING THE FOLLOWING

- A. NOT TO CONTAIN MATERIALS HARMFUL TO PLANT LIFE, TO BE CLEAN, FERTILE, FRIABLE, AND WELL DRAINING. ALL PLANTING SOIL SHALL BE FREE OF ANY SUBSOIL EARTH CLODS, SODS, STONES OVER 1" IN ANY DIMENSION, STICKS, ROOTS, WEEDS, LITTER AND OTHER
- DELETERIOUS MATERIAL. PLANTING SOIL SHALL BE UNIFORM IN QUALITY AND TEXTURE. B. PLANTING SOIL SHALL HAVE THE FOLLOWING OPTIMUM RANGES UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE

3% - 6% FOR LAWN OR GRASS AREAS. 4% - 8% FOR TREE AND SHRUB PLANTERS. 8%-16% FOR RETENTION OR DETENTION BASINS. (BY LOSS OF IGNITION AT 375 C METHOD OF TESTING)

- C. NUTRIENT LEVELS SHALL BE ACHIEVED BY THE CONTRACTOR'S ADDITION OF AMENDMENTS TO THE PLANTING SOIL TO MEET THE OPTIMUM
- NUTRIENT LEVELS SPECIFIED IN THE TESTING LABORATORY REPORT FOR EACH OF PLANTS TO BE INSTALLED. ). SOIL SHALL BE COMPACTED TO A SURFACE PENETRATION RESISTANCE OF 75-125 LBS/SQ.IN. E. SOIL MAY BE TREATED FOR WEEDS WITH PRE—EMERGENT OR POST—EMERGENT HERBIĆIDE, AS NEEDED AND AS APPROPRIATE FOR THE APPLICATION SEASON OR LOCATION, OR ELIMINATE GROWTH OF UNWANTED PLANT MATERIAL. APPLY HERBICIDES IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. HERBICIDE APPLICATOR MUST BE LICENSED IN THE STATE OF RHODE ISLAND, AND PERFORM APPLICATIONS IN ACCORDANCE WITH LOCAL REQUIREMENTS, PERMITTING STIPULATIONS, AND ANY OTHER RESTRICTIONS INCLUDING AND IN
- EXCESS OF STATE AND FEDERAL REGULATIONS. F. PROPOSED TOPSOIL SHALL MEET THE USDA SOILS TEXTURAL PERCENTAGES OF SAND, SILT, AND CLAY FOR FOLLOWING CLASSIFICATIONS:
- SANDY LOAM WHERE SAND DOES NOT EXCEED 70% AND CLAY IS NOT LESS THAN 5%. - SANDY CLAY LOAM WHERE SAND DOES NOT EXCEED 70% AND CLAY IS LESS THAN 28%.
- G. MODIFICATION TO THE PLANTING SOIL CHARACTERISTICS DESCRIBED ABOVE MAY BE SUBMITTED FOR APPROVAL BY THE LANDSCAPE ARCHITECT. CONTRACTOR MUST DEMONSTRATE PROPOSED CHARACTERISTICS ARE EQUAL TO OR SUPERIOR TO THE SPECIFIED CHARACTERISTICS WITH RESPECT TO SUPPORTING PLANT GROWTH, AND STORMWATER MANAGEMENT.

12. PLANTING AMENDMENTS: APPLY FERTILIZER AND OTHER AMENDMENTS AS RECOMMENDED FOR EACH PLANTING AREA BY SOIL ANALYSIS. APPLY AMENDMENTS IN A MANNER CONSISTENT WITH MANUFACTURER'S RECOMMENDATIONS. ANY ORGANIC AMENDMENTS SHALL HAVE A PH BETWEEN 4.5 AND 5.5 UNLESS OTHERWISE

13. PLANT REQUIREMENTS: ALL PLANTS SHALL CONFORM IN SIZE AND GRADE TO THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1 (LATEST EDITION). ALL PLANTS SHALL MEET THE ADDITIONAL REQUIREMENTS SET FORTH BELOW AND IN WRITTEN SPECIFICATIONS AS APPLICABLE. ALL TREES AND SHRUBS SHALL HAVE BEEN GROWN AT A COMMERCIAL NURSERY WITHIN 200 MILES OF THE PROJECT SITE UNLESS OTHERWISE APPROVED BY OWNER OR LANDSCAPE ARCHITECT. THEY SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY. THEY SHALL BE HEALTHY, SYMMETRICAL, EVENLY AND DENSELY BRANCHED, AND DENSELY FOLIATED WHEN IN LEAF. THEY SHALL BE FREE OF BARK INJURY, DISEASE, AND INSECT PESTS. ALL TREES SHALL HAVE A STRAIGHT TRUNK WITH A SINGLE MAIN LEADER UNLESS OTHERWISE CHARACTERISTIC OF THE SPECIES OR VARIETY. THE OWNER OR LANDSCAPE ARCHITECT WILL ALLOW SUBSTITUTIONS ONLY UPON WRITTEN APPROVAL. SIZES SHALL CONFORM TO THE MEASUREMENT SPECIFIED ON THE DRAWINGS. PLANTS LARGER THAN SPECIFIED MAY BE USED IF APPROVED, BUT THE USE OF SUCH PLANTS SHALL NOT INCREASE THE CONTRACT PRICE. ALL OVERSTORY TREES PLANTED ALONG PARKING AREAS, SIDEWALKS AND PEDESTRIAN ACCESSES SHALL NOT BRANCH BELOW 7' FEET IF THE TREE CALIPER IS 3" INCHES OR GREATER. ALL PLANT MATERIALS ARE SUBJECT TO INSPECTION AND ACCEPTANCE BY THE OWNER OR LANDSCAPE ARCHITECT AT THE NURSERY SOURCE. THE CONTRACTOR SHALL COORDINATE SOURCE VISITS WITH THE LANDSCAPE ARCHITECT AND SHALL ACCOMPANY THE OWNER AND/OR LANDSCAPE ARCHITECT FOR ALL INSPECTIONS. CERTIFICATES OF COMPLIANCE WITH SPECIFICATIONS ARE REQUIRED FOR ALL PLANTS.

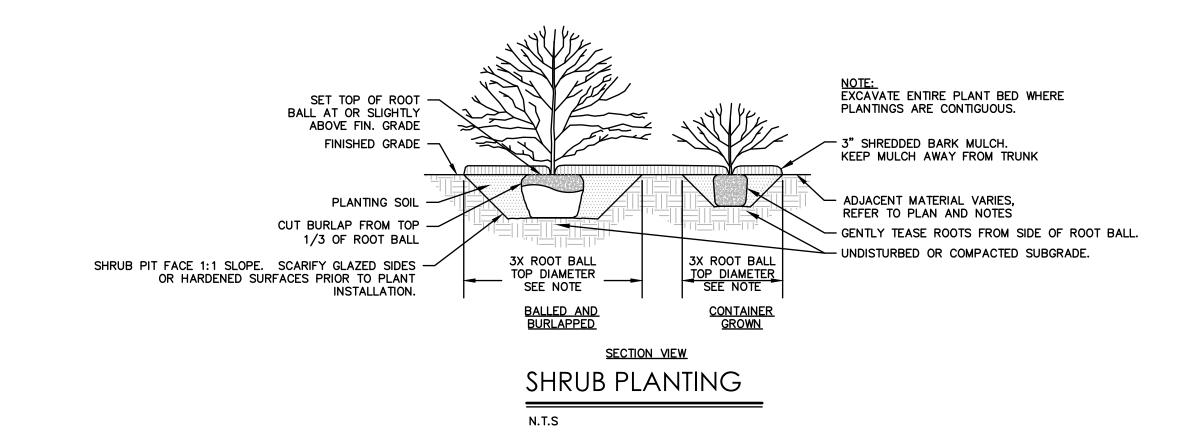
ALL PLANT MATERIAL SHALL BE SUBJECT TO INSPECTION AND ACCEPTANCE BY THE OWNER OR LANDSCAPE ARCHITECT AT THE NURSERY SOURCE OR PLACE OF GROWTH. THE CONTRACTOR SHALL COORDINATE WITH THE LANDSCAPE ARCHITECT ON A SCHEDULE FOR SOURCE VISITS AND ACCOMPANY THE OWNER OR LANDSCAPE ARCHITECT FOR ALL SOURCE INSPECTIONS. CERTIFICATES OF COMPLIANCE ARE REQUIRED FOR ALL PLANT MATERIALS. PHOTOGRAPHIC REVIEW OF PLANT MATERIAL IS ACCEPTABLE IF APPROVED BY LANDSCAPE ARCHITECT. PHOTOGRAPHS MUST BE PROVIDED IN QUANTITY AND VARIETY TO ALLOW LANDSCAPE ARCHITECT SUFFICIENT INFORMATION TO MAKE A REASONABLE DETERMINATION AS TO THE PLANTS' QUALITY. OWNER AND LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT PLANT MATERIAL DELIVERED TO THE SITE BUT PREVIOUSLY ACCEPTED IF DAMAGED OR NOT PROPERLY MAINTAINED DURING THE DELIVERY PROCESS.

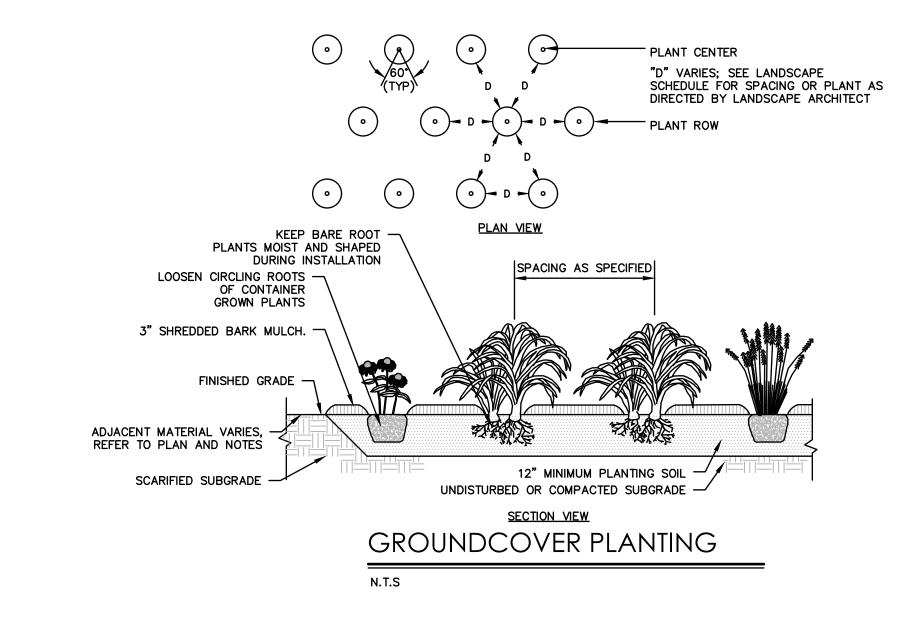
15. PLANTING SEASONS (UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT) FALL SEPTEMBER 1 TO OCTOBER 15 PER MANUFACTURERS RECOMMENDATIONS OR AS LISTED IN SEED MIX NOTES SEED MIXES

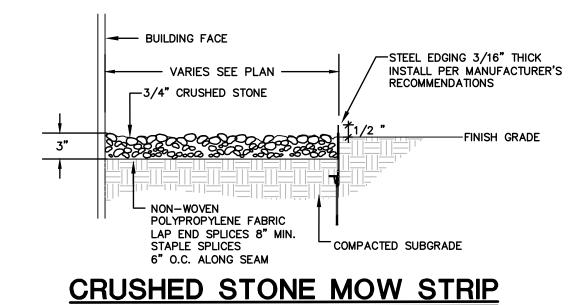
16. SEEDING MIXTURES: REFER TO SEED MIX NOTES. SEEDED AREA SHALL BE ACCEPTED WHEN SEED AREA ACHIEVES 90% COVERAGE.

17. ALL SLOPES STEEPER THAN 3:1 RECEIVING A SEED MIX SHALL BE COVERED WITH AN EROSION CONTROL BLANKET OF STRAW FIBER AND BIODEGRADABLE OR PHOTODEGRADABLE NETTING.

- 18. UNLESS OTHERWISE NOTED IN DRAWING SET, NEW TREELINES SHALL EQUAL CLEARING AND GRUBBING LIMIT FOR CONSTRUCTION.
- 19. ALL DISTURBED AREAS NOT OTHERWISE DEVELOPED SHALL BE SEEDED WITH THE LAWN SEED MIX.







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SUZANNE M. KING REGISTERED PROFESSIONAL ENGINEER CIVIL

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Designed N.Y.Y. Reviewed NONE Scale Project No. 2200259 12/15/2022 CAD File:

LL220025901 LANDSCAPE **NOTES AND** 

**DETAILS** Sheet No.

FOR PERMITTING PURPOSES ONLY NOT RELEASED FOR CONSTRUCTION





