



**BOARD OF CONTRACT AND SUPPLY  
CITY OF PROVIDENCE, RHODE ISLAND**

# REQUEST FOR PROPOSALS

**Item Description: General Contractor for Phase 1 of PPSD 21<sup>st</sup> Century Media Center  
Renovations**

**Bids Due: 2:15 PM, March 27, 2023**

**Issuing Department: Department of Public Property**

## QUESTIONS

- Please direct questions relative to the bidding process, how to fill out forms, and how to submit a bid (Pages 1-8) to the Purchasing Department.
  - Email: [purchasing@providenceri.gov](mailto:purchasing@providenceri.gov)
    - Please use the subject line “**RFP Question**”
- Please direct questions relative to the Minority and Women’s Business Enterprise Program and the corresponding forms (Pages 9-13) to the MBE/WBE Outreach Director for the City of Providence, Grace Diaz Phone: (401) 680-5766 or Email: [gdiaz@providenceri.gov](mailto:gdiaz@providenceri.gov)
  - Please use subject line “**MBE WBE Forms**”

Please direct questions relative to the specifications outlined (beginning on page 14) to the issuing department’s subject matter experts: Joseph DeSanti, Program Director, Downes Construction, Owners Project Representative [jdesanti@downesco.com](mailto:jdesanti@downesco.com) and Deb Reading, Project Manager, Downes Construction, Owners Project Representative [dreading@downesco.com](mailto:dreading@downesco.com). Questions must be submitted in writing and answers will be issued as an addendum. Questions are due no later than Friday, March 17, 2023 by 4:00Pm.

## MANDATORY PRE-BID CONFERENCES

Interested bidders are invited to attend the mandatory pre-bid meetings to be held on three consecutive days to review the existing spaces and learn more about the scope of work, the included projects, and the City’s needs and expectations.

**Date: Tuesday, March 7, 2023**

**Time: 3:30 PM to 5:00 PM**

**Location: ~~Edgington Regional Elementary School, 67415 Main Street~~**





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**Date:** Wednesday, March 8, 2023  
**Time:** 3:30 PM to 5:00 PM  
**Location:** Starting at Anthony Carnevale Elementary School, 50 Springfield Street  
Followed by Asa Messer Elementary School, 1655 Westminster Street

**Date:** Thursday, March 9, 2023  
**Time:** 3:30 PM to 5:00 PM  
**Location:** Starting at Robert L. Bailey, IV Elementary School, 65 Gordon Avenue  
Followed by Leviton Dual Language School, 65 Greenwich Street

**INSTRUCTIONS FOR SUBMISSION**

Bids may be submitted up to **2:15 P.M.** on the above meeting date at the **Department of the City Clerk, Room 311, City Hall, 25 Dorrance Street, Providence, RI 02903.** At 2:15 P.M. all bids will be publicly opened and read at the Board of Contract Meeting in the City Council Chambers, on the 3<sup>rd</sup> floor of City Hall.

- Bidders must submit **HARD COPY (one (1) original and three (3) copies)** format of their bid in sealed envelopes or packages labeled with the captioned **Item Description** and the **City Department to which the RFP and bid are related and must include the company name and address on the envelope** (On page 1). A single PDF file on a thumb drive must also be submitted.
- If required by the Department, please keep the original bid bond and check in only one of the envelopes.
- Communications to the Board of Contract and Supply that are not competitive sealed bids (i.e., product information/samples) should have "**NOT A BID**" written on the envelope or wrapper.
- Only use form versions and templates included in this RFP. If you have an old version of a form, do not recycle it for use in this bid.
- The bid envelope and information relative to the bid must be addressed to:

**Board of Contract and Supply  
Department of the City Clerk – City Hall, Room 311  
25 Dorrance Street  
Providence, RI 02903**

**\*\*PLEASE NOTE:** This bid may include details regarding information that you will need to provide (such as proof of licenses) to the issuing department before the formalization of an award.

*This information is **NOT** requested to be provided in your initial bid by design.*

**All bids submitted to the City Clerk become public record.** Failure to follow instructions could result in





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information considered private being posted to the city's Open Meetings Portal and made available as a public record. The City has made a conscious effort to avoid the posting of sensitive information on the City's Open Meetings Portal, by requesting that such sensitive information be submitted to the issuing department only at their request.

**BID PACKAGE CHECKLIST**

Digital forms are available in the City of Providence Purchasing Department Office or online at <http://www.providenceri.gov/purchasing/how-to-submit-a-bid/>

The bid package **MUST** include the following, in this order:

- Bid Form 1: Bidder's Blank as the cover page/ 1<sup>st</sup> page (*see page 6 of this document*)
- Bid Form 2: Certification of Bidder as 2<sup>nd</sup> page (*see page 7 of this document*)
- Bid Form 3: Certificate Regarding Public Records (*see page 8 of this document*)
- Forms from the Minority and Women Business Enterprise Program: Based on Bidder Category. *See forms and instructions enclosed (pages 9-13) or on: <https://www.providenceri.gov/purchasing/minority-women-owned-business-mbewbe-procurement-program/>*

**\*Please note: MBE/WBE forms must be completed for EVERY bid submitted and must be inclusive of ALL required signatures. Forms without all required signatures will be considered incomplete.**

- Bidder's Proposal/Packet: Formal response to the specifications outlined in this RFP, including pricing information and details related to the good(s) or service(s) being provided. Please be mindful of formatting responses as requested to ensure clarity.
- Financial Assurance, *if requested* (as indicated on page 5 of this document under "Bid Terms")

**All of the above listed documents are REQUIRED.** (With the exception of financial assurances, which are only required if specified on page 5.)

**\*\*\*Failure to meet specified deadlines, follow specific submission instructions, or enclose all required documents with all applicable signatures will result in disqualification, or in an inability to appropriately evaluate bids.**





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**NOTICE TO VENDORS**

1. The Board of Contract and Supply will make the award to the responsible offeror whose proposal is determined, in writing, to be the most advantageous to the City taking into consideration price and the evaluation factors stated in the request for proposals 1.
2. In determining the most advantageous proposer, cash discounts based on preferable payment terms will not be considered.
3. Where prices are the same, the Board of Contract and Supply reserves the right to award to one bidder, or to split the award.
4. No proposal will be accepted if the bid is made in collusion with any other bidder.
5. Bids may be submitted on an "equal in quality" basis. The City reserves the right to decide equality. Bidders must indicate brand or the make being offered and submit detailed specifications if other than brand requested.
6. A bidder who is an out-of-state corporation shall qualify or register to transact business in this State, in accordance with the Rhode Island Business Corporation Act, RIGL Sec. 7-1.2-1401, et seq.
7. The Board of Contract and Supply reserves the right to reject any and all bids.
8. Competing bids may be viewed in person at the Department of the City Clerk, City Hall, Providence, RI immediately upon the conclusion of the formal Board of Contract and Supply meeting during which the bids were unsealed/opened. Bids may also be accessed electronically on the internet via the City's [Open Meetings Portal](#).
9. As the City of Providence is exempt from the payment of Federal Excise Taxes and Rhode Island Sales Tax, prices quoted are not to include these taxes.
10. In case of error in the extension of prices quoted, the unit price will govern.
11. The contractor will **NOT** be permitted to: a) assign or underlet the contract, or b) assign either legally or equitably any monies or any claim thereto without the previous written consent of the City Purchasing Director.
12. Delivery dates must be shown in the bid. If no delivery date is specified, it will be assumed that an immediate delivery from stock will be made.
13. A certificate of insurance will be required of a successful vendor.
14. For many contracts involving construction, alteration and/or repair work, State law provisions concerning payment of prevailing wage rates apply ([RIGL Sec. 37-13-1 et seq.](#))
15. No goods should be delivered or work started without a Purchase Order.
16. Bidder must certify that it does not unlawfully discriminate on the basis of race, color, national origin, gender, gender identity or expression, sexual orientation and/or religion in its business and hiring practices and that all of its employees are lawfully employed under all applicable federal, state and local laws, rules and regulations. (See Bid Form 2.)
17. Payment Terms are Net 30 upon receipt and approval of invoice.





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**BID TERMS**

1. Financial assurances may be required in order to be a successful bidder for Commodity or Construction and Service contracts. If either of the first two checkboxes below is checked, the specified assurance must accompany a bid, or the bid will not be considered by the Board of Contract and Supply. The third checkbox indicates the lowest responsible bidder will be contacted and required to post a bond to be awarded the contract.
  - a) ☐ A certified check for \$\_\_\_\_\_ must be deposited with the City Clerk as a guarantee that the Contract will be signed and delivered by the bidder.
  - b) ☒ A bid bond in the amount of 5 per centum (%) of the proposed total price, must be deposited with the City Clerk as a guarantee that the contract will be signed and delivered by the bidder; and the amount of such bid bond shall be retained for the use of the City as liquidated damages in case of default.
  - c) ☒ A performance and payment bond with a satisfactory surety company will be posted by the bidder in a sum equal to one hundred per centum (100%) of the awarded contract.
  - d) ☐ No financial assurance is necessary for this item.
2. Awards will be made within **sixty (60) days of bid opening**. All bid prices will be considered firm, unless qualified otherwise. Requests for price increases will not be honored.
3. Failure to deliver within the time quoted or failure to meet specifications may result in default in accordance with the general specifications. It is agreed that deliveries and/or completion are subject to strikes, lockouts, accidents and Acts of God.

**The following entry applies only for COMMODITY BID TERMS:**

4. Payment for partial delivery will not be allowed except when provided for in blanket or term contracts.

**The following entries apply only for CONSTRUCTION AND SERVICE BID TERMS:**

5. Only one shipping charge will be applied in the event of partial deliveries for blanket or term contracts.
6. Prior to commencing performance under the contract, the successful bidder shall attest to compliance with the provisions of the Rhode Island Worker's Compensation Act, RIGL 28-29-1, et seq. If exempt from compliance, the successful bidder shall submit a sworn Affidavit by a corporate officer to that effect, which shall accompany the signed contract.
7. Prior to commencing performance under the contract, the successful bidder shall, submit a certificate of insurance, in a form and in an amount satisfactory to the City.





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**BID FORM 1: Bidders Blank**

1. Bids must meet the attached specifications. Any exceptions or modifications must be noted and fully explained.
2. Bidder's responses must be in ink or typewritten, and all blanks on the bid form should be completed.
3. The price or prices proposed should be stated both in **WRITING** and in **FIGURES**, and any proposal not so stated may be rejected. **Contracts exceeding twelve months must specify annual costs for each year.**
4. Bids **SHOULD BE TOTALED** so that the final cost is clearly stated (unless submitting a unit price bid), however **each item should be priced individually**. Do not group items. Awards may be made, in part, on the basis of **total** bid or by **individual items** (although all other criteria set forth in this request will also be considered).
5. All bids **MUST BE SIGNED IN INK.**

Name of Bidder (Firm or Individual): \_\_\_\_\_

Contact Name: \_\_\_\_\_

Business Address: \_\_\_\_\_

Business Phone #: \_\_\_\_\_

Contact Email Address: \_\_\_\_\_

Agrees to bid on (Items(s) to be bid): \_\_\_\_\_

If the bidder's company is based in a state other than Rhode Island, list name and contact information for a local agent for service of process that **is located within Rhode Island** \_\_\_\_\_

Please visit <http://www.naics.com/search/> and identify the NAICS Code(s) for items being bid on. Enter the NAICS code(s) here or in parentheses next to each item listed immediately above: \_\_\_\_\_

Delivery Date (if applicable): \_\_\_\_\_

Total Amount in Writing\*: \_\_\_\_\_

Total Amount in Figures\*: \_\_\_\_\_

**CONTENTS OF FEE PROPOSAL (separate sealed envelope)**

Respondents shall state the following on letterhead:

1. Lump sum price for cost of work
2. List all included allowances that are included within the lump sum pricing
3. Provide a schedule of values with trade breakdown per school
4. Provide an estimated completion schedule
5. Provide alternate price to provide a "Builder's Risk" policy for the project

*Use additional pages, if necessary, for additional bidding details.*

\_\_\_\_\_  
Signature of Authorized Representative

\_\_\_\_\_  
Title





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**BID FORM 2: Certification of Bidder**

(Non-Discrimination/Hiring)

Upon behalf of \_\_\_\_\_ (Firm or Individual Bidding),

I, \_\_\_\_\_ (Name of Person Making Certification),

being its \_\_\_\_\_ (Title or "Self"), hereby certify that:

1. Bidder does not unlawfully discriminate on the basis of race, color, national origin, gender, sexual orientation and/or religion in its business and hiring practices.
2. All of Bidder's employees have been hired in compliance with all applicable federal, state and local laws, rules and regulations.

I affirm by signing below that I am duly authorized on behalf of Bidder, on

this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_.

\_\_\_\_\_  
Signature of Representation

\_\_\_\_\_  
Printed Name





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**BID FORM 3: Certificate Regarding Public Records**

Upon behalf of \_\_\_\_\_ (Firm or Individual Bidding),

I, \_\_\_\_\_ (Name of Person Making Certification),

being its \_\_\_\_\_ (Title or "Self"), hereby certify an

understanding that:

1. All bids submitted in response to Requests for Proposals (RFP's) and Requests for Qualification (RFQ's), documents contained within, and the details outlined on those documents become public record upon receipt by the City Clerk's office and opening at the corresponding Board of Contract and Supply (BOCS) meeting.
2. The Purchasing Department and the issuing department for this RFP/RFQ have made a conscious effort to request that sensitive/personal information be submitted directly to the issuing department and only at request if verification of specific details is critical the evaluation of a vendor's bid.
3. The requested supplemental information may be crucial to evaluating bids. Failure to provide such details may result in disqualification, or an inability to appropriately evaluate bids.
4. If sensitive information that has not been requested is enclosed or if a bidder opts to enclose the defined supplemental information prior to the issuing department's request in the bidding packet submitted to the City Clerk, the City of Providence has no obligation to redact those details and bears no liability associated with the information becoming public record.
5. The City of Providence observes a public and transparent bidding process. Information required in the bidding packet may not be submitted directly to the issuing department at the discretion of the bidder in order to protect other information, such as pricing terms, from becoming public. Bidders who make such an attempt will be disqualified.

I affirm by signing below that I am duly authorized on behalf of Bidder, on

this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_\_.

\_\_\_\_\_  
Signature of Representation

\_\_\_\_\_  
Printed Name





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**WBE/MBE Form Instructions**

The City of Providence actively seeks Minority and Women business enterprises to participate in bids to meet the City's procurement needs. Pursuant to the City of Providence Code of Ordinances, Chapter 21, Article II, Sec. 21-52 (Minority and Women's Business Enterprise) and Rhode Island General Laws (as amended), Chapter 31-14, et seq. (Minority Business Enterprise), Minority Business Enterprise (MBE) and Women's Business Enterprise (WBE) participation goals apply to contracts.

The goal for Minority Business Enterprise (MBE) participation is **10%** of the total bid value.

The goal for Women's Business Enterprise (WBE) participation is **10%** of the total bid value.

The goal for combined MBE/WBE participation is **20%** of the total bid value.

Only businesses certified with the State of Rhode Island as minority and/or women business enterprises are counted towards the City's goals. Eligible minority- or women-owned businesses are encouraged to seek certification from the State of Rhode Island Minority Business Enterprise Compliance Office at: <http://odeo.ri.gov/offices/mbeco/>

**Note:** MBE certification with the State of Rhode Island on the basis of Portuguese heritage is not currently recognized by the City of Providence's MBE program.

Bidders shall certify that the WBE/MBE requirement will be achieved at the time of procurement of the subcontractor/vendor trades.

**Bid Requirements:**

**All Bidders:** All bidders must complete and submit the **MBE/WBE Participation Affidavit** indicating whether or not they are a state certified MBE/WBE and acknowledging the City's participation goals. Submission of this form is required with **every bid**. Your bid will not be accepted without an affidavit.

**Bidders who will be subcontracting:** Bidders who will be subcontracting must submit the **Subcontractor Disclosure Form** as part of their bid submission. All subcontractors, regardless of MBE/WBE status, must be listed on this form. Business NAICS codes can be found at <https://www.naics.com/search/>. Awarded bidders are required to submit **Subcontractor Utilization and Payment Reports** with each invoice.

**Waiver Requests:**

If the percentage of the total amount of the bid being awarded to MBE or WBE vendors is less than 20% (Box F on the Subcontractor Disclosure Form) and the prime contractor is not a Rhode Island State-certified MBE or WBE, the Bidder must complete the **MBE/WBE Waiver Request Form** for review. Waivers will be considered on a case by case basis.

No waiver will be granted unless the waiver request includes documentation that demonstrates that the Bidder has made good faith efforts to achieve the City's stated participation goals. Waivers must be reviewed and signed by the City of Providence's MBE/WBE Outreach Director, Grace Diaz, or her designee. Department Directors cannot recommend a bidder for award if this form is applicable and absent. If the bid does not meet the participation goals of the City of Providence and a waiver is not filed with the signature of the MBE/WBE Outreach Director or her designee, the bid will not be accepted.

**Verifying MBE/WBE Certification**

It is the responsibility of the bidder to confirm that every MBE/WBE named in a proposal and included in a contract is certified by the Rhode Island Minority Business Enterprise Compliance office. The current MBE/WBE directory is available at the State of RI MBE Office, One Capitol Hill, 2nd Floor, Providence, RI, or online at <http://odeo.ri.gov/offices/mbeco/mbe-wbe.php>. You can also call (401) 574-8670 to verify certification, expiration dates, and services that the MBE/WBE is certified to provide. Note: MBE certification with the State of Rhode Island on the basis of Portuguese heritage is not currently recognized by the City of Providence's MBE program.





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**Form Instructions:**

Access all bid forms from <http://www.providenceri.gov/oeo/> or <http://www.providenceri.gov/purchasing/minority-women-owned-business-mbewbe-procurement-program/>. **Download** the forms as blank PDFs. Once saved on your computer, fill them out using the Adobe program. The fillable PDFs must be completed in Adobe in order to be saved properly. Google Chrome and similar platforms do not allow for the forms to be saved as filled PDFs. Therefore, please download the blank forms to your computer, then fill them out and save.

**Assistance with Form Requirements**

Examples of completed forms can be found on the City of Providence website at <http://www.providenceri.gov/oeo/> or <http://www.providenceri.gov/purchasing/minority-women-owned-business-mbewbe-procurement-program/>.

**Contract Requirements:**

Prime contractors engaging subcontractors must submit the *Subcontractor Utilization and Payment Report* to the City Department's Fiscal Agent with every invoice and with request for final payment. This form is not submitted as a part of the initial bid package.

For contracts with duration of less than 3 months, this form must be submitted along with the contractor's request for final payment. The form must include all subcontractors utilized on the contract, both MBE/WBE and non- MBE/WBE, and the total amount paid to each subcontractor for the given period and to date. During the term of the contract, any unjustified failure to comply with the MBE/WBE participation requirements is a material breach of contract.

**Questions?**

For more information or for assistance with MBE/WBE Forms, contact the City of Providence MBE/WBE Outreach Director, Grace Diaz, at [mbe-wbe@providenceri.com](mailto:mbe-wbe@providenceri.com)





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**MBE/WBE PARTICIPATION AFFIDAVIT**

Item Discussion (as seen on RFP):

Prime Bidder: \_\_\_\_\_  
Prime Bidder (Company) Phone Number: \_\_\_\_\_  
Prime Bidder (Company) Zip Code: \_\_\_\_\_

Which one of the following describes your business' status in terms of Minority and/or Woman-Owned Business Enterprise certification with the State of Rhode Island? \_\_\_\_\_ MBE \_\_\_\_\_ WBE \_\_\_\_\_ Neither MBE nor WBE

**By initialing the following sections and signing the bottom of this document in my capacity as the contractor or an authorized representative of contractor, I make this Affidavit:**

It is the policy of the City of Providence that minority business enterprises (MBEs) and women business enterprises (WBEs) should have the maximum opportunity to participate in procurements and projects as prime contractors and vendors. Pursuant to Sec. 21-52 of the Providence Code of Ordinances and Chapter 31-14 *et seq.* of the Rhode Island General Laws (as amended), MBE and WBE participation goals apply to contracts. The goal for Minority Business Enterprise (MBE) participation is 10% of the total bid value. The goal for Women's Business Enterprise (WBE) participation is 10% of the total bid value. The goal for combined MBE/WBE participation is 20% of the total bid value.

**I acknowledge the City of Providence's goals of supporting MBE/WBE certified businesses.** Initial \_\_\_\_\_

If awarded the contract, I understand that my company must submit to the Minority and Women's Business Coordinator at the City of Providence (MBE/WBE Office), copies of all executed agreements with the subcontractor(s) being utilized to achieve the participation goals and other requirements of the Providence Code of Ordinances and RI General Laws. **I understand that these documents must be submitted prior to the issuance of a notice to proceed.** Initial \_\_\_\_\_

**I understand that, if awarded the contract, my firm must submit to the MBE/WBE Office canceled checks and reports required by the MBE/WBE Office on a quarterly basis verifying payments to the subcontractors(s) utilized on the contract.** Initial \_\_\_\_\_

If I am awarded this contract and find that I am unable to utilize the subcontractor(s) identified in my submission materials I understand that I must substitute another certified MBE and WBE firm(s) to meet the participation goals. **I understand that I may not make a substitution until I have obtained the written approval of the MBE/WBE Office.** Initial \_\_\_\_\_

**If awarded this contract, I understand that authorized representatives of the City of Providence may examine the books, records and files of my firm from time to time, to the extent that such material is relevant to a determination of whether my firm is complying with the City's MBE/WBE participation requirements.**  
Initial \_\_\_\_\_

**I do solemnly declare and affirm under the penalty of perjury that the contents of the foregoing Affidavit are true and correct to the best of my knowledge, information and belief.**

\_\_\_\_\_  
Signature of Bidder

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Company Name

\_\_\_\_\_  
Date





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**SUBCONTRACTOR DISCLOSURE FORM**

Fill out this form only if you WILL SUBCONTRACT with other parties. If you will not subcontract any portion of the proposed bid, do not fill out this form.

Prime Bidder: \_\_\_\_\_ Primary NAICS \_\_\_\_\_

Code: \_\_\_\_\_

Item Description (as seen on RFP): \_\_\_\_\_

Please list all Subcontractors below. Include the total dollar value that you propose to share with each subcontractor and the dollar amount to be subcontracted. Please check off MBE and WBE where applicable. The directory of all state-certified MBE/WBE firms is located at [www.mbe.ri.gov](http://www.mbe.ri.gov). Business NAICS codes can be found at <https://www.naics.com/search/>

Proposed Subcontractor	MBE	WBE	Primary NAICS Code	Date of Mobilization	\$ Value of Subcontract
					\$
					\$
					\$
					\$
					\$
					\$
A. MBE SUBCONTRACTED AMOUNT:					\$
B. WBE SUBCONTRACTED AMOUNT:					\$
C. NON-MBE WBE SUBCONTRACTED AMOUNT:					\$
D. DOLLAR AMOUNT OF WORK DONE BY THE PRIME CONTRACTOR:					\$
E. TOTAL AMOUNT OF BID (SUM OF A, B, C, & D):					\$
F. PERCENTAGE OF BID SUBCONTRACTED TO MBEs AND WBEs. (Divide the sum of A and B by E and multiply result by 100).					%

Please read and initial the following statement acknowledging you understand. If the percentage of the total amount of the bid being awarded to MBE or WBE vendors is less than 20% (Box F) and the prime contractor is NOT a Rhode Island State-certified MBE or WBE, you must fill out the MBE/WBE WAIVER REQUEST FORM for consideration by City of Providence MBE/WBE Outreach Director. Initial \_\_\_\_\_

\_\_\_\_\_  
Signature of Bidder

\_\_\_\_\_  
Printed Name





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**MBE/WBE Waiver Request Form**

**Fill out this form only if you are subcontracting and did not meet the 20% MBE/WBE participation goal.  
State-certified MBE or WBE Prime Bidders are NOT REQUIRED to fill out this form.**

Submit this form to the City of Providence MBE/WBE Outreach Director, Grace Diaz, at [mbe-wbe@providenceri.gov](mailto:mbe-wbe@providenceri.gov), for review **prior to bid submission**. This waiver applies only to the current bid which you are submitting to the City of Providence and does not apply to other bids your company may submit in the future.

Prime Bidder: \_\_\_\_\_  
Company Trade: \_\_\_\_\_  
Item Discussion (as seen on RFP): \_\_\_\_\_

To receive a waiver, you must list the certified MBE and/or WBE companies you contacted, the name of the primary individual with whom you interacted, and the reason the MBE/WBE company could not participate on this project.

MBE/WBE Company Name	Individual's Name	Company Trade	Why did you choose not to work with this company?

I acknowledge the City of Providence's goal of a combined MBE/WBE participation is 20% of the total bid value. I am requesting a waiver of \_\_\_\_\_ % MBE/WBE (20% minus the value of **Box F** on the Subcontractor Disclosure Form). If an opportunity is identified to subcontract any task associated with the fulfillment of this contract, a good faith effort will be made to select MBE/WBE certified businesses as partners.

\_\_\_\_\_  
Signature of Prime Contractor

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Date Signed

\_\_\_\_\_  
Signature of City of Providence  
MBE/WBE Outreach Director

\_\_\_\_\_  
Printed Name of City of Providence  
MBE/WBE Outreach Director

\_\_\_\_\_  
Date Signed





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**BID PACKAGE SPECIFICATIONS**

The City of Providence is embarking upon a significant investment in our School buildings. This investment will enable the children of Providence to learn in safe, state of the art facilities. Given this large investment in the City's future, and the importance of ensuring these projects are completed on-time, on/under budget and constructed as designed, the city would like to procure the services of an experienced **General Contractor** (GC) for this media center renovation project.

**Introduction**

The City of Providence is embarking on a capital program to create 21<sup>st</sup> century media centers throughout the Providence Public School District (PPSD) for occupancy by September 2023. This RFP is for Phase 1 of the renovations which includes the renovation of the existing elementary school libraries and transformation into 21<sup>st</sup> century media. The existing libraries and adjacent spaces in the six schools included in this RFP; Young Woods, Messer, Leviton, Vartan Gregorian, Bailey, and Carnevale, are to be renovated according to PPSD's media center standards and ready for occupancy for the 23-24 school year.

The construction drawings prepared for this project include the work required for these new media centers and adjacent maker spaces at each of the schools. Young Woods will be the prototype for these media centers and since the school has swing space to move the existing library, work will begin as soon as possible after the contract award.

There will be subsequent phases of renovation for additional schools to be released in upcoming RFPs.

**RFP MILESTONE DATES**

Solicitation Released	<b>February 28, 2023</b>
Mandatory Pre-Bid Meeting	<b>March 7, 8 &amp; 9, 2023, 3:30 PM</b>
Questions due	<b>March 10, 2023, 4:00 PM</b>
Bids Due	<b>March 17, 2023, 2:15 PM</b>

**SCOPE OF SERVICES**

The City is requesting proposals using the scope of work outlined in the bid solicitation documents (included herein) for General Contracting services to renovate the existing libraries at the six schools included in Phase 1 into 21<sup>st</sup> century media centers with maker spaces. The renovation shall include but is not limited to demolition, drywall patching, ACT, painting, flooring, window film, manufactured casework, plumbing, electrical and communications.

- By performing all necessary or advisable construction work, complete the Project and assist the City of Providence, Providence Public School District, and the Owners Project Manager (Downes Construction) and their consultants as required to obtain project completions as follows:
  - Notice to proceed      March 24, 2023
  - Construction start      April 7, 2023 (Spring vacation April 7 – 14)
  - Substantial completion      June 30, 2023
  - Final completion      August 15, 2023





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- The Proposal will be administered to enable the fast-track construction of the project.
- The basis of the proposal is the submission of the STATEMENTS OF QUALIFICATION and separate Order of Magnitude FEE PROPOSALS from the General Contractor.
- The Statements of Qualifications and Fee Proposals will be evaluated as delineated herein and the highest rated of those firms that have met the criteria as established by the prescribed process, cost and all other factors considered, may be invited to a personal interview.
- It is critical to know that this Project will include the following criteria at the appropriate period of the process, all of which shall fully comply with all rules, regulations and laws:
  - All work will be in accordance with the Rhode Island School Building Authority deadlines and conform with RIDE School Construction Regulations.
  - Conformance to the Bid Documents herein referenced and accessed via the ShareFile link including the bid documents and RFP drawing set.
  - Prevailing Wage Rates and all Applicable Standards shall apply.
  - Provide the NAME OF EACH COMPANY and COMPANY STRUCTURE comprising the GC Team, including Sub-Contractors and any proposed MBE and WBE Firms, identifying the indicated role of each participant included in the RFP response. Include the identity of the Primary Contractor, which shall be responsible for guaranteeing the delivery of the PROJECT on time and within the Guaranteed Maximum Cost in accordance with the contract provisions.
  - Provide the name, title, address, telephone and facsimile numbers, and electronic mail address of the GC Team PRINCIPAL CONTACT(S). The GC Team principal contact(s) must remain constant throughout the life of the PROJECT.
  - Identify the team members who will undertake financial responsibility for the Project and describe any liability limitations. If the GC Team is a Joint Venture, Limited Liability Company, Corporation or partnership, describe the bonding approach that will be used and the members of such organizations who will have joint and several liabilities for the performance of the work required for the Project. If the GC Team is a limited liability company, joint venture, corporation or any form of partnership, provide complete copies of the organizational documents that allow, or would allow by the time of contract award, the Respondent to do business in the State of Rhode Island.
  - MBE Goal is Ten Percent (10%) and the WBE Goal is Ten Percent (10%) per State regulations and applicable law. The City encourages the engagement and hiring of local residents and businesses at the company, trade worker, vendor, and supplier levels.
  - All Rhode Island Department of Education (RIDE) requirements related to the State funding grant and their standards for the construction of school projects.
  - Firms, entities, joint ventures, and other business associations participating in this project shall have been incorporated or otherwise legally established as a business in the State of Rhode Island.





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- Work is not allowed in the building while school is in session.
  - When school is in session, the work hours are from 3:30 pm to 12:00 am on weekdays and 8:00 am to 4:30 pm on weekends
  - Whenever school is not in session, the work hours are 7:00 AM to 3:30 pm on weekdays
- All workers on site must provide a B.C.I. background check from the State of Rhode Island, Office of the Attorney General before the start of work.
- For upper level locations, the elevators can be used to move material in or out of the building when school is not in session.
- For electrical or water shut downs, this work must be coordinated with the school staff with a minimum of 48 hours notice.
- Project Specific Scope of work
  - **Young Woods Elementary School**
    - Demolition to include removal of existing interior walls and door, wall base, flooring and to open walls as required for MEP work
    - Walls to be patched to match existing
    - All penetrations to be fireproofed as required
    - ACT ceiling to be reconfigured where walls are removed, grid and tile to match existing
    - All walls and doors to be finished with two coats of scrubbable enamel paint
    - New flooring and base to be installed throughout
    - Casework to be supplied and installed with marine grade plywood and laminate finish, color: Gull Grey with solid surface countertop, color: Carbon Aggregate. Adjustable stainless steel shelving to be supplied and installed above the sink
    - Install owner supplied display boards as shown on drawings
    - Plumbing work to include:
      - Single bowl stainless steel undermount sink; 22" wide, 10" deep, 16 gauge
      - ADA gooseneck faucet with wrist blade handles; 4" hole spread, chrome finish
      - Point of use water heater mounted under the sink
      - Water supply and waste to be connected to drinking fountain in adjacent corridor
    - Electrical work to include:
      - Disconnect and make safe for demolition of walls
      - Remove floor outlets
      - Supply and install GFCI outlet above new countertop
      - Supply and install outlet for new point of use water heater
      - Supply and install new lighting
      - Supply and install new baseboard raceway
    - Communications work to include:
      - AV system with I-stations for interactive displays and portable media connector for teacher's desk and two wireless microphones with charging cradle





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○ **Asa Messer Elementary School**

- Demolition to include removal of existing millwork and sink, wall base, and flooring
- Walls to be patched to match existing
- All penetrations to be fireproofed as required
- All walls and doors to be finished with two coats of scrubbable enamel paint
- New flooring and base to be installed throughout
- Acoustical panels supplied and installed as shown
- Supply and install window film as shown; 3M Prestige Series
- Casework to be supplied and installed with marine grade plywood and laminate finish, color: Gull Grey with solid surface countertop, color: Carbon Aggregate. Adjustable stainless steel shelving to be supplied and installed above the sink
- Plumbing work to include:
  - Disconnect and make safe for removal of existing sink
  - Single bowl stainless steel undermount sink; 22" wide, 10" deep, 16 gauge
  - ADA gooseneck faucet with wrist blade handles; 4" hole spread, chrome finish
  - Point of use water heater mounted under the sink
- Electrical work to include:
  - Disconnect and remove existing lighting as shown
  - Supply and install new lighting
  - Supply and install new baseboard raceway
- Communications work to include:
  - AV system with I-stations for interactive displays and portable media connector for teacher's desk and two wireless microphones with charging cradle

○ **Leviton Dual Language School**

- Demolition to include removal of existing wall base, flooring and to open walls as required for MEP work
- Walls to be patched to match existing
- All walls and doors to be finished with two coats of scrubbable enamel paint
- New flooring and base to be installed throughout
- Supply and install window film as shown; 3M Prestige Series
- Casework to be supplied and installed with marine grade plywood and laminate finish, color: Gull Grey with solid surface countertop, color: Carbon Aggregate. Adjustable stainless steel shelving to be supplied and installed above the sink
- Plumbing work to include:
  - Single bowl stainless steel undermount sink; 22" wide, 10" deep, 16 gauge
  - ADA gooseneck faucet with wrist blade handles; 4" hole spread, chrome finish
  - Point of use water heater mounted under the sink
  - Ejector pump mounted in base cabinet; ½ hp
  - Water supply and waste to be connected at adjacent janitor's closet
- Electrical work to include:
  - Supply and install GFCI outlet above new countertop
  - Supply and install outlet for new point of use water heater
  - Supply and install outlet for new ejector pump
  - Supply and install new baseboard raceway





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- Communications work to include:
  - AV system with I-stations for interactive displays and portable media connector for teacher's desk and two wireless microphones with charging cradle
- **Vartan Gregorian Elementary School**
  - Demolition to include removal of existing circulation desk, wall base, and flooring
  - Subfloor to be patched to match existing
  - Change swing of hallway door
  - All walls and doors to be finished with two coats of scrubbable enamel paint
  - New flooring and base to be installed throughout
  - Electrical work to include:
    - Remove power/data floor outlets
    - Supply and install new tamperproof outlets at existing bookshelf raceway
  - Communications work to include:
    - AV system with I-stations for interactive displays and portable media connector for teacher's desk and two wireless microphones with charging cradle
- **Robert L. Bailey, IV Elementary School**
  - Demolition to include removal of existing wall base, flooring and to open walls as required for MEP work
  - Walls to be patched to match existing
  - New door to maker space to be installed with half glass with classroom function lockset; to match existing
  - All walls and doors to be finished with two coats of scrubbable enamel paint
  - New flooring and base to be installed throughout
  - Acoustical panels supplied and installed as shown
  - Supply and install window film as shown; 3M Prestige Series
  - Casework to be supplied and installed with marine grade plywood and laminate finish, color: Gull Grey with solid surface countertop, color: Carbon Aggregate. Adjustable stainless steel shelving to be supplied and installed above the sink
  - Install owner supplied display boards as shown on drawings
  - Plumbing work to include:
    - Single bowl stainless steel undermount sink; 22" wide, 10" deep, 16 gauge
    - ADA gooseneck faucet with wrist blade handles; 4" hole spread, chrome finish
    - Point of use water heater mounted under the sink
    - Ejector pump mounted in base cabinet; ½ hp
    - Water supply and waste to be connected at adjacent faculty lounge/restroom
  - Electrical work to include:
    - Supply and install GFCI outlet above new countertop
    - Supply and install outlet for new point of use water heater
    - Supply and install outlet for new ejector pump
    - Supply and install new baseboard raceway
  - Communications work to include:
    - AV system with I-stations for interactive displays and portable media connector for teacher's desk and two wireless microphones with charging cradle





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○ **Anthony Carnevale Elementary School**

- Demolition to include:
  - removal of existing circulation desk and casework
  - removal of existing wall base and flooring
  - removal of CMU walls and door at existing storage room
  - as required for plumbing access
  - remove existing window sills
  - remove existing window film
- Walls and subfloor to be patched to match existing
- ACT ceiling to be reconfigured where walls are removed, grid and tiles to match existing
- All walls and doors to be finished with two coats of scrubbable enamel paint
- New flooring and base to be installed throughout
- Casework to be supplied and installed with marine grade plywood and laminate finish, color: Gull Grey with solid surface countertop, color: Carbon Aggregate. Adjustable stainless-steel shelving to be supplied and installed above the sink
- Replace existing window sills with solid surface material, color: Carbon Aggregate
- Plumbing work to include:
  - Single bowl stainless steel undermount sink; 22" wide, 10" deep, 16 gauge
  - ADA gooseneck faucet with wrist blade handles; 4" hole spread, chrome finish
  - Point of use water heater mounted under the sink
  - Supply and install outlet for new ejector pump
  - Water supply and waste to be connected at adjacent restrooms
- Electrical work to include:
  - Disconnect and make safe for demolition of walls
  - Relocate existing thermostat
  - Supply and install GFCI outlet above new countertop
  - Supply and install outlet for new point of use water heater
  - Supply and install new lighting in maker space
  - Supply and install new baseboard raceway
- Communications work to include:
  - AV system with I-stations for interactive displays and portable media connector for teacher's desk and two wireless microphones with charging cradle

**CURRENT STATUS**

The renovation of the existing elementary school libraries and transformation into 21<sup>st</sup> century media center is part of the Providence Public Schools \$500 million plan to rebuild schools. The existing libraries and adjacent spaces in the six schools included in this RFP; Young Woods, Messer, Leviton, Vartan Gregorian, Bailey, and Carnevale, are to be removed according to PPSD's media center standards and ready for occupancy for the 23-24 school year.

The construction drawings prepared for this project include the work required for these new media centers and adjacent maker spaces at some of the schools. Young Woods will be the prototype for these media centers and since the school has swing space to move the existing library, work will begin as soon as possible after the contract award. The renovation at the rest of the schools is scheduled to be completed over the summer break.





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**FORM OF AGREEMENT**

The City of Providence, Rhode Island will award the project under AIA Document A101-2017 Entitled "Standard Form of Agreement Between Owner and Contractor where the basis of payment is Stipulated Sum" and as will be modified by the Owner. This contract, along with the general specifications referenced herein, will be issued by way of an addendum to his RFP.

**SUBMISSION REQUIREMENTS**

- **Letter of Transmittal:** A Letter of Transmittal must accompany each response signed by an owner, officer, or other authorized agent of the GC Team. The Letter of Transmittal must acknowledge that the respondent has fully reviewed, understands and agrees to all provisions of this RFP, and must further state that: (i) all information submitted with the response is true, accurate, and is not misleading; (ii) no material information has been omitted; (iii) the response is provided fairly and without collusion or fraud; and (iv) the respondent will, if selected, perform the scope of work and all other services as set forth in this RFP.
- **Statement of Qualifications**
- **Fee Proposal**
- Other required information as detailed herein
- **The Proposer shall submit their completed response in HARD COPY (1 original, 5 copies) format plus a single PDF file on thumb drive.**

**CONTENTS OF STATEMENTS OF QUALIFICATIONS**

- **General**
- Provide the **NAME OF EACH COMPANY and COMPANY STRUCTURE comprising the General Contractor's Team, including Sub-Consultants and any proposed MBE and WBE Firms.** identifying the indicated role of each participant included in the RFP response. Include the identity of the Primary GC, who shall be responsible for guaranteeing the delivery of the PROJECT on time and within the bid amount Cost in accordance with the contract provisions.
- Provide the name, title, address, telephone and facsimile numbers, and electronic mail address of the GC **PRINCIPAL CONTACT(S)**. The GC Team principal contact(s) must remain constant throughout the life of the PROJECT.

City of Providence must be informed of any changes in personnel *at any time* during the contract term. The City of Providence reserves the right to reject personnel and/or if in the event key personnel are no longer available, The City of Providence reserves the right to terminate the agreement.

Identify the team members who will undertake **financial responsibility** for the Project and describe any liability limitations. If the General Contractor is a Joint Venture, Limited Liability Company, Corporation or partnership, describe the **liability approach** that will be used and the members of such organizations who will have joint and several liabilities for the performance of the work required for the Project. If the GC Team is a limited liability company, joint venture, corporation or any form of





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partnership, provide complete copies of the **organizational documents** that allow, or would allow by the time of contract award, the Respondent to do business in the State of Rhode.

- Give names and detailed addresses of all affiliated and/or subsidiary companies. Indicate which companies are subsidiaries. If a situation arises in responding to this questionnaire where you are unsure whether another firm is or is not an affiliate, doubt should be resolved in favor of affiliation and the firm should be listed accordingly. An affiliate shall be considered as any business entity which is closely associated with another business entity so that one entity controls or has power to control the other entity either directly or indirectly; or, when a third party has the power to control or controls both; or where one business entity has been so closely allied with another business entity through an established course of dealings, including but not limited to the lending of financial wherewithal, engaging in Joint Ventures, etc. as to cause a public perception that the two firms are one entity. Firms which are owned by a holding company or a third party, but otherwise meet the above conditions and do not have interlocking directorships or joint officers serving, are not considered to be affiliates.
- If a GC Team has no affiliated and/or subsidiary companies other than the Respondent's legal business entity, the Respondent should include a statement in the submittal indicating the same.
- Provide a description of EACH GC team Member's experience and qualifications, particularly with respect to:
  1. Public Educational Facility Construction
  2. Related work with a particular focus on the ability to deliver such projects on time and on budget. Identify and describe all relevant projects with a construction value of a minimum of \$1 million completed by EACH company in the past TEN (10) YEARS which demonstrates adequate experience in General Contractor's projects and in public school construction, including project safety on school construction projects, similar in scope and/or complexity to the PROJECTS defined herein.
- Respondent should provide relevant and verifiable evidence of good performance or lessons learned from previous experience and give convincing ways in which lessons learned or past good performance will be used for the benefit of the PROJECT defined herein.
- With respect to EACH project identified, include the following information: project name and contract number; owner's name, address, principal contact, and current phone and e-mail addresses; dates of construction; project description; description of work and percentage actually performed by each company; and the initial bid price and final contract price (including the number and value of contract modifications and claims) and an explanation regarding the causes (whether upward or downward) of contract value adjustments.

Identify the Key Firms you would be anticipating as part of your overall GC Team as follows:  
Construction Team

Additionally, provide separate **resumes** for all key management staff of the General Contractor, including the Principal in Charge, Project Executive, Project Manager, Superintendent and all other key individuals.

In addition, include the **approximate percentage** of each employee's time to be expended on this project.

Key management resumes will indicate where roles, if any, may overlap and will include the proposed role and experience in the area of responsibility, history of employment, experience in construction or maintenance of similar projects, and other relevant





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background information.

THREE (3) references shall be provided for the Project Principal, Project Executive, Project Manager, and Superintendent.

At least ONE (1) reference shall be provided for all other key personnel.

References shall be previous owners or clients with whom the key personnel have worked within the past FIVE (5) YEARS and should include the name, position, company or agency, current phone and fax numbers and e-mail addresses for each reference.

Discuss the current construction backlog of EACH team Member and the capacity to perform the scope of work and perform the Project to achieve substantial completion by August 15, 2022.

Provide Key Primary and Subcontractors you would be considering as part of your overall Construction Team based on the disciplines defined above in the construction category.

Additionally Include Scheduling resources and the ability to deliver Fast Track Construction with the resources available to the team.

**OTHER REQUIRED INFORMATION**

**Resources & Financials.** The GC shall possess sufficient resources, staff and operational personnel necessary to provide all of the services associated with completion of the Project. The respondent shall provide a detailed summary of its financial strength and the availability of resources to support permitting, construction, and all other obligations of the GC in completion of the Project, including a discussion of accessibility of resources. The respondent shall provide independently audited financial statements for itself and any and all of its subsidiaries and affiliates prepared in accordance with generally accepted accounting principles, including, at a minimum, income statements, balance sheets and statements of cash flow for at least the last three (3) fiscal years. Neither the GC, nor any predecessor entity, nor any of its subsidiaries, affiliates or principals shall have been subject to any voluntary or involuntary bankruptcy or other insolvency proceedings in the last five (5) years.

**Limitations.** The GC's ability to undertake or perform the obligations required by the Project shall not be limited in any way by any pending, threatened or current litigation, merger or acquisitions, corporate restructuring or financial oversight which could materially affect the GC's resources, staff and/or personnel or otherwise limit the GC's ability to construct the facility. The respondent shall provide a statement itemizing any liabilities, financial commitments, contractual commitments, guarantees, and other limitations that will or may affect its ability to meet its obligations to the City in connection with the Project.

**Permitting and Approvals.** The proposers shall provide a permitting plan identifying all federal, state and local permits and other approvals needed for completion of the Project, including time required for obtaining such approvals, key issues to be addressed, and the approach that will be taken to satisfy all such requirements. The GC will be responsible for preparing applications and obtaining all necessary and advisable permits, approvals and authorizations to complete the Project. Permit fees shall be waived by the City of Providence, however the cost of the State ADA fees shall be borne by the GC. The GC will obtain all of the same in a timely manner in accordance with the Project schedule.





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**Safety Record.** Respondents shall discuss their overall safety program including any violations cited by governmental safety agencies or Occupational Safety and Health Administration (OSHA), recognized safety awards, and the respondent's lost-time accident record compared with industry standards, all within the past three (3) years.

**Additional Information.** The Bid shall contain all information which may be of importance to the Board of Contract and Supply in selecting a contractor, including all information specifically requested by this RFP and any information not specifically requested by this RFP, including favorable and unfavorable information which may have a reasonable bearing on the Board of Contract and Supply's selection. Without limiting the generality of this paragraph, as the same relates to the GC entity, any subsidiaries and affiliates, any subcontractor, any key management staff of the GC Team, the Principal in Charge, , Project Executive, Project Manager, Superintendent and/or any other key individual, the respondent will submit any and all information relating to criminal conviction, debarment from entering into contracts, regulatory violations, bankruptcies and other forms of insolvency, and contract disputes. Provide any additional qualifications and other information that could further assist the Board of Contract and Supply in evaluating qualifications, including any additional information related to construction similar to that required in connection with the Project.

**Proposal Evaluations**

In addition to cost, proposals shall be evaluated on the following criteria and point system:

- Demonstrated experience in the type of work required.
  - Professional background, experience, and expertise of the principals and staff of the Bidder. Record of Bidder in accomplishing work on other similar projects in required timeframe.
  - Quality of work performed previously by the Bidder for the Providence Public School Department, if any.
  - References provided by the Bidder will be reviewed and evaluated.
  - Possible Personal Interview. If required, in a presentation interview, the proposed Bidder will provide specific plans for completion of the project. Information and results from existing projects may be used to illustrate the proposed plan.
  - High degree of qualifications and experience on similar projects.
  - Thorough knowledge of applicable Rhode Island construction laws, City of Providence local codes and all other pertinent laws, codes and regulations related to successful completion of the project.
  - Experience with similar school building projects that include fast track school renovations, occupied buildings, and suitable school projects that may relate to this project.
  - Successful track record of working with architects, contractors, subcontractors, consultants, school officials, municipal officials, state officials, and committee members on behalf of the Owner in providing relevant information and facilitating decisions and actions of the various participants with the goal of advancing the progress of the Project on a timely basis.
  - Ability to commit the resources necessary to complete the services outlined in this RFP and the ability to sustain that commitment for the entire duration of the project.
- 
- (a) Primary Firm Workload and Size (Maximum 20 points)
  - (b) Primary Qualifications (Maximum 20 points)
  - (c) Other Considerations (Maximum 10 points)
  - (d) Overall Team Experience (Maximum 20 points)
  - (e) Bid price (Maximum 30 points)





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**ADDITIONAL FACTORS FOR AWARD:** The City, PPSD and Downes (OPM) will evaluate each written Proposal, determine whether interviews are necessary, then based on the content of the written proposal and interviews, select the vendor best qualified for selection and which is most advantageous to the City and PPSD, cost and all other factors considered.

**Authority Granted.** By submission of its Bid, the respondent authorizes the City and any of its subdivisions and its/their respective employees and agents to contact all references and other persons mentioned in the Bid and to visit and inspect any project or site mentioned in the Bid, which includes contacting any person who is or was associated with any such project or site, all for purposes of evaluating the respondent's performance and validating the information provided in the Bid. By submission of its Bid, the respondent represents and warrants that it has the fully authority to so authorize the City.

The City may reject any and/or all proposals and reserves the right to waive any informalities relating to the bids if it is in the public interest to do so.

Any award is subject to entering into a contract acceptable to the City and its legal counsel.

**ADDITIONAL REQUIREMENTS, TERMS, AND CONDITIONS**

***Insurance:***

**Commercial General Liability Insurance:** covering bodily injury and property damage in a form and with coverage that are satisfactory to the City, including personal and advertising injury liability, MPA #575, Revised 7/5/16 Page 3 of 4 independent contractors, products completed operations, contractual liability and broad form property damage coverage. Coverage shall be written on an occurrence basis. A combined single limit of \$1,000,000.00 per occurrence and aggregate is required.

**Errors and Omissions Insurance:** covering any damages caused by an error, omission or any negligent acts of contractor, its subcontractors, agents, officers or employees under this Contract. Combined single limit per occurrence shall not be less than \$1,000,000.00. Annual aggregate limit shall not be less than \$1,000,000.00.

**Auto Liability Insurance:** covering all owned, non-owned, or hired vehicles. A combined single limit per occurrence of \$1,000,000.00 will be obtained.

**Workers Compensation and Employers Liability:** in compliance with the compensation laws of the State of Rhode Island. Coverage shall include Employers Liability Insurance with minimum limits of \$100,000.00 each accident, \$500,000.00 disease or policy limit, \$100,000.00 each employee.

**Please note:** A certificate of Insurance listing the City of Providence as an "Additional Insured" on a primary, but not contributing basis is required. This will need to be provided prior to work commencing for the City. The full policy binder may also need to be provided if requested by the City, its Law Department or the Department of Public Property.

***Other:***

**Statement of Litigation.** Please confirm whether or not your firm is involved in any threatened, pending or current litigation





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or other proceedings which may impact your ability to meet the City's requirements under this RFP.

**References.** Please provide us within your response a minimum of three (3) professional, municipal references related to major, school related Construction Projects.

**Qualifications & Disclosures.** Respondent and each member of the GC Team shall complete the Respondent Qualifications & Disclosures form attached hereto as Exhibit \_C\_ and shall provide the same, fully executed and notarized, with Respondent's submission.

**Location of Staff.** The selected vendor will perform a majority of the work in the City of Providence, Rhode Island. The selected vendor must have a physical office within 50 miles of Providence and manage the program from that location during the entire period of performance. Furthermore, the selected vendor will meet weekly at a designated time with applicable City & School officials to provide an in-progress review (IPR) of the program's execution. The City will arrange for meeting space within its facilities for all required meetings. The Proposers must provide a summary of how it will meet the requirements set forth in this Location of Staff paragraph.

**Termination/Violation.** The GC shall not have been terminated for cause on any contract for construction unless the City determines, in its sole discretion, that the reason for termination is not material to obligations under this RFP. The GC shall not be in violation of any Consent Order, Consent Decree or other judgement arising out of its construction of any facility or system.

**Warranties.** The GC will be required to deliver to the City certain warranties to the City in connection with the Project, which warranties will be expressly set forth in the contract to be appended hereto by way of addendum to this RFP and shall be in addition to (and are not exclusive of) any applicable implied warranties.

**Labor Relations.** The GC will be responsible for handling all labor relations for the Project, including any issues arising during the Project, in compliance with applicable laws.

**Bond/Surety.** As of the effective date of the contract and throughout the term thereof, the GC shall furnish to the City, with the City as beneficiary, a bond for the faithful performance of the GC's obligations under the contract, as well as a payment bond, effective for the full duration of the performance period of the contract. Each such bond shall be in an amount equal to 100% of the awarded contract price, securing the performance of all contract services, in a form acceptable to the City. Such bonds shall be issued by a surety company or companies rated 'A' or better per current A.M. Best Company ratings and properly registered and licensed to conduct business in the State of Rhode Island. The City reserves the right to approve, prior to issuance, the form and substance of all bonds required in connection with the Project.

**Guaranty.** The City may require all or some, at its discretion, of the principals of the GC to execute a Guaranty Agreement pursuant to which such principals will irrevocably, absolutely and unconditionally guarantee all of the GC's obligations under the contract, which Guaranty Agreement shall be appended to the contract and issued along therewith as an addendum to this RFP. For all such principals, independently audited financial statements prepared in accordance with generally accepted accounting principles will be required and satisfaction with such principals' financial strength will be determined by the City in its sole discretion. The liability of all guarantors shall be joint and several.

**Additional Terms and Conditions.** The City reserves, holds without limitation, and may exercise, at its sole discretion, the following rights and conditions with regard to this RFP. By responding to this RFP, the respondent acknowledges, consents and agrees to the following terms and conditions:





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1. This document is not, nor is it intended as, an offering for the award of a contract or for participation in any future solicitation. The contents of and information provided in this RFP is meant to provide general information to interested parties and to request proposals from responders interested in the Project described herein. This document is not intended as a formal offering for the award of a contract. The City may or may not enter into negotiations with the respondents or a party that has not submitted a response to this RFP. **THE TERMS AND PROVISIONS SET FORTH IN THIS RFP DO NOT CONSTITUTE ANY CONTRACT OR OFFER OF CONTRACT BETWEEN THE CITY AND ANY OTHER PARTY. THE CITY ACCEPTS NO LIABILITY WHATSOEVER FOR ANY MATERIAL OR INFORMATION SUBMITTED BY RESPONDENTS BEING DISCLOSED OR BECOMING PUBLIC INFORMATION, WHETHER INADVERTENTLY OR OTHERWISE.**
2. The City reserves the right, at its sole discretion, to withdraw this RFP; to choose to discuss various approaches with one or more parties; to use the ideas submitted in any manner deemed to be in the best interests of the City, including, but not limited to, soliciting competitive submissions relating to such ideas; and/or to undertake the prescribed Work in a manner other than that which is set forth in this RFP.
3. The City reserves the right, at any time, to change any components, concepts, or approaches of this RFP and to modify or terminate this RFP at any point if it determines any such action is in its best interest.
4. The City reserves the right to approve all subcontractors engaged by the GC. The City further reserves the right to withdraw approval of subcontractors at any time during the course of the Project if the City determines it is in its best interest to do so.
5. All costs associated with responding to this RFP and any subsequent procurement are the sole responsibility of the respondents, and the City shall not reimburse respondents for any such costs.
6. The receipt of submissions during this RFP process will not obligate the City to enter into any contract at any time with any party.
7. The City may reject non-compliant submissions without evaluation but also has the right, in its sole discretion, to waive any noncompliance.
8. The City may conduct broad investigations with respect to the qualifications of respondents.
9. The City may conduct discussions, at any time, with one or more respondents, request additional information, receive questions from respondents, and provide answers as it deems appropriate.
10. They City may modify the schedule set forth herein in the City's sole discretion.
11. The City reserves the right to revise this RFP by issuing addenda to this RFP at any time before the deadline for submissions.
12. No contract awarded by the City shall be binding nor valid until fully executed by the parties and subject to any require legislative or other approval(s).





**BOARD OF CONTRACT AND SUPPLY  
CITY OF PROVIDENCE, RHODE ISLAND**

**Submission Details**

**Please Note:** Late proposals will not be accepted. Also, a W-9 Federal Tax Form and Certificate of Insurance will be requested from the awarded vendor.

**PRICING**

**Vendors are requested to provide pricing in the following format:**

1. Provide a *lump-sum fixed price* for the work described above:

\$ \_\_\_\_\_

**Breakdown per school:**

Young Woods Elementary School	\$ _____
Asa Messer Elementary School	\$ _____
Vartan Gregorian Elementary School	\$ _____
Anthony Carnevale Elementary School	\$ _____
Robert L. Bailey, IV Elementary School	\$ _____
Leviton Dual Language School	\$ _____

2. Alternate #1: Provide a cost to provide builder's risk insurance for Phase 1

\$ \_\_\_\_\_





**BOARD OF CONTRACT AND SUPPLY**  
**CITY OF PROVIDENCE, RHODE ISLAND**

3. To aid with analysis of proposals, provide hourly breakdown of the above lump-sum fixed fee for all personnel roles associated with the project (including primary and secondary). \*\*\**Hourly rates may only increase by the inflation rate associated with Core CPI (Consumer Price Index), which is calculated and published by the United States Bureau of Labor Statistics.*

Personnel	Hourly Rate	Number of Hours

4. Supplemental Pricing Information

\*\*Rates for services performed outside the scope of the aforementioned Project. Include any consultants in the section below \*\*

<u>Title</u>	<u>Hourly Rate</u>	<u>Daily Rate</u>	<u>Weekly Rate</u>	<u>Yearly Rate</u>	<u>Overtime Rate   Hour</u>





**BOARD OF CONTRACT AND SUPPLY  
CITY OF PROVIDENCE, RHODE ISLAND**

## **SUPPLEMENTAL INFORMATION**

### **Exhibit A: Qualifications & Disclosures**

### **Exhibit B: RFP Drawing Sets for Phase 1 schools as prepared by Tecton Architects**

### **Exhibit C: PPSD 2022-2023 Academic Calendar**

If the issuing department for this RFP determines that your firm's bid is best suited to accommodate its need, you will be asked to provide proof of the following prior to formalizing an award.

An inability to provide the outlined items at the request of the department may lead to the disqualification of your bid.

*This information is **NOT** requested to be provided in your initial bid that you will submit to the City Clerk's office by the "date to be opened" noted on page 1. This list only serves as a list of items that your firm should be ready to provide on request.*

**All bids submitted to the City Clerk become public record.** Failure to follow instructions could result in information considered private being posted to the City's Open Meetings Portal and made available as a public record.

### **You must be able to provide:**

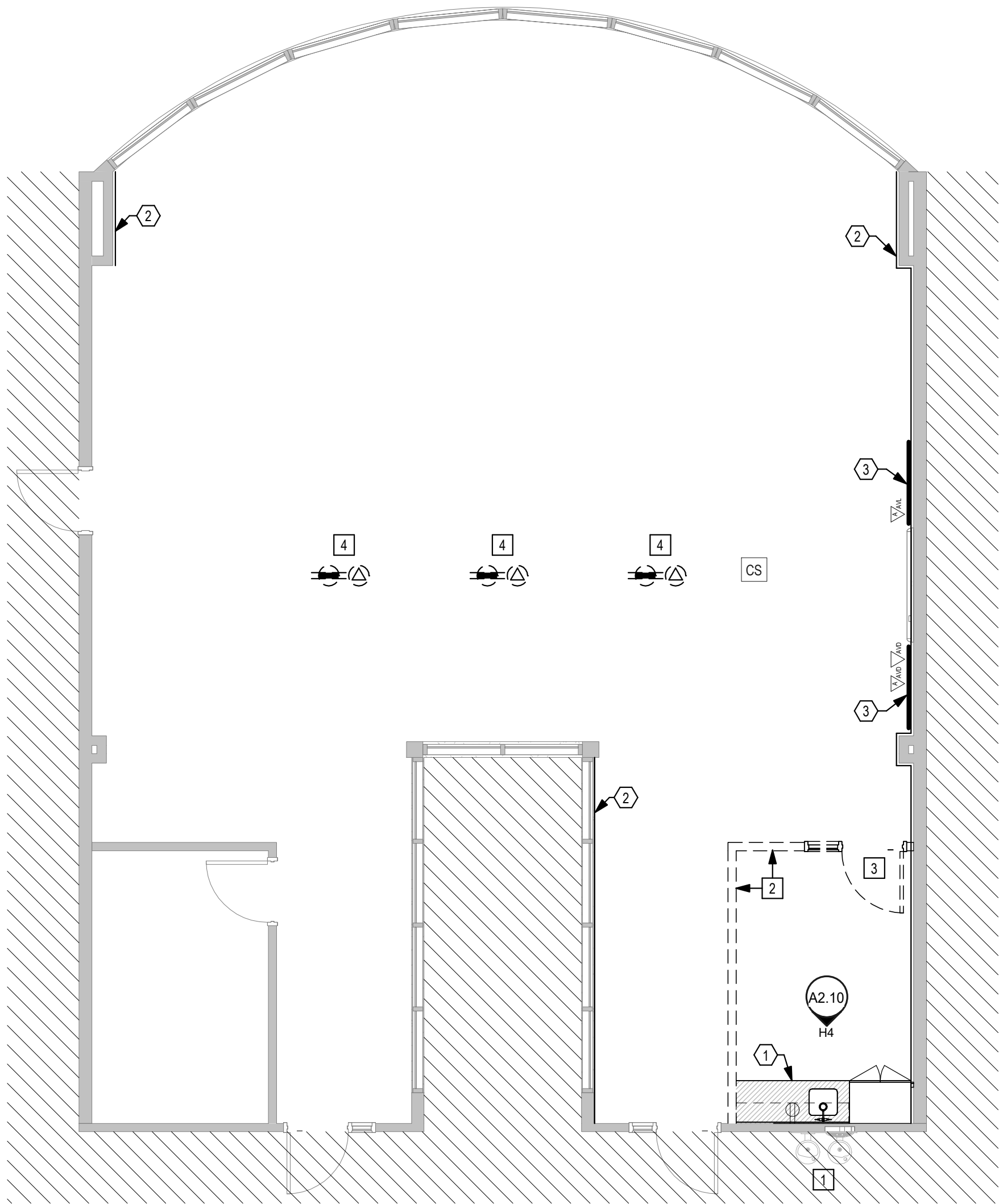
- Business Tax ID will be requested after an award is approved by the Board of Contract and Supply.
- A certificate of insurance listing the City of Providence as an Additional Insured on a Primary, but not contributing basis.

Proposals received must be in strict accordance with guidelines as outlined in this request and the City's General Conditions of Purchase which are included herein.

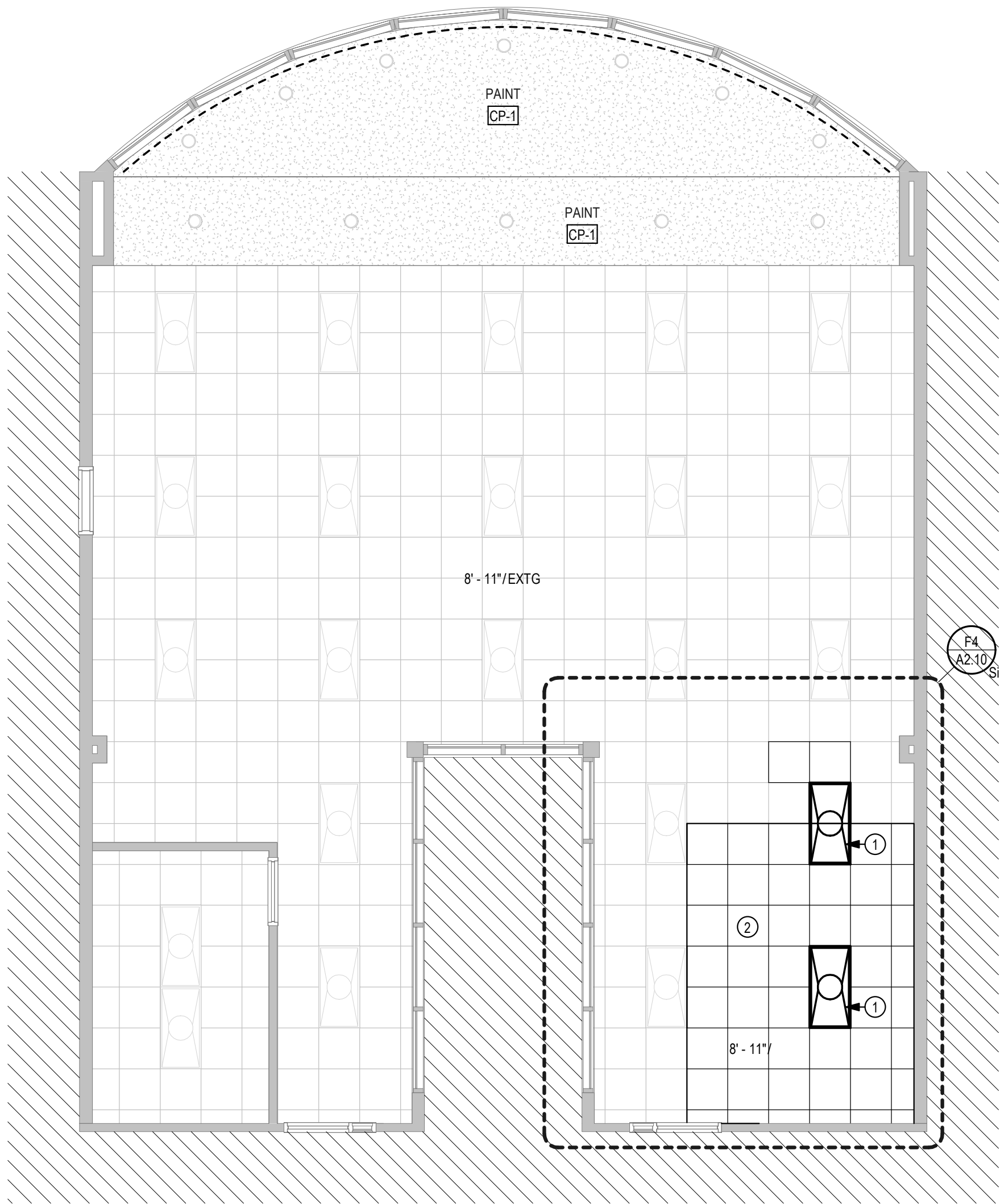
All Respondents are advised to review all sections of this request thoroughly and to follow the instructions carefully. Failure to make a complete submission as described elsewhere herein may result in rejection of the proposal.



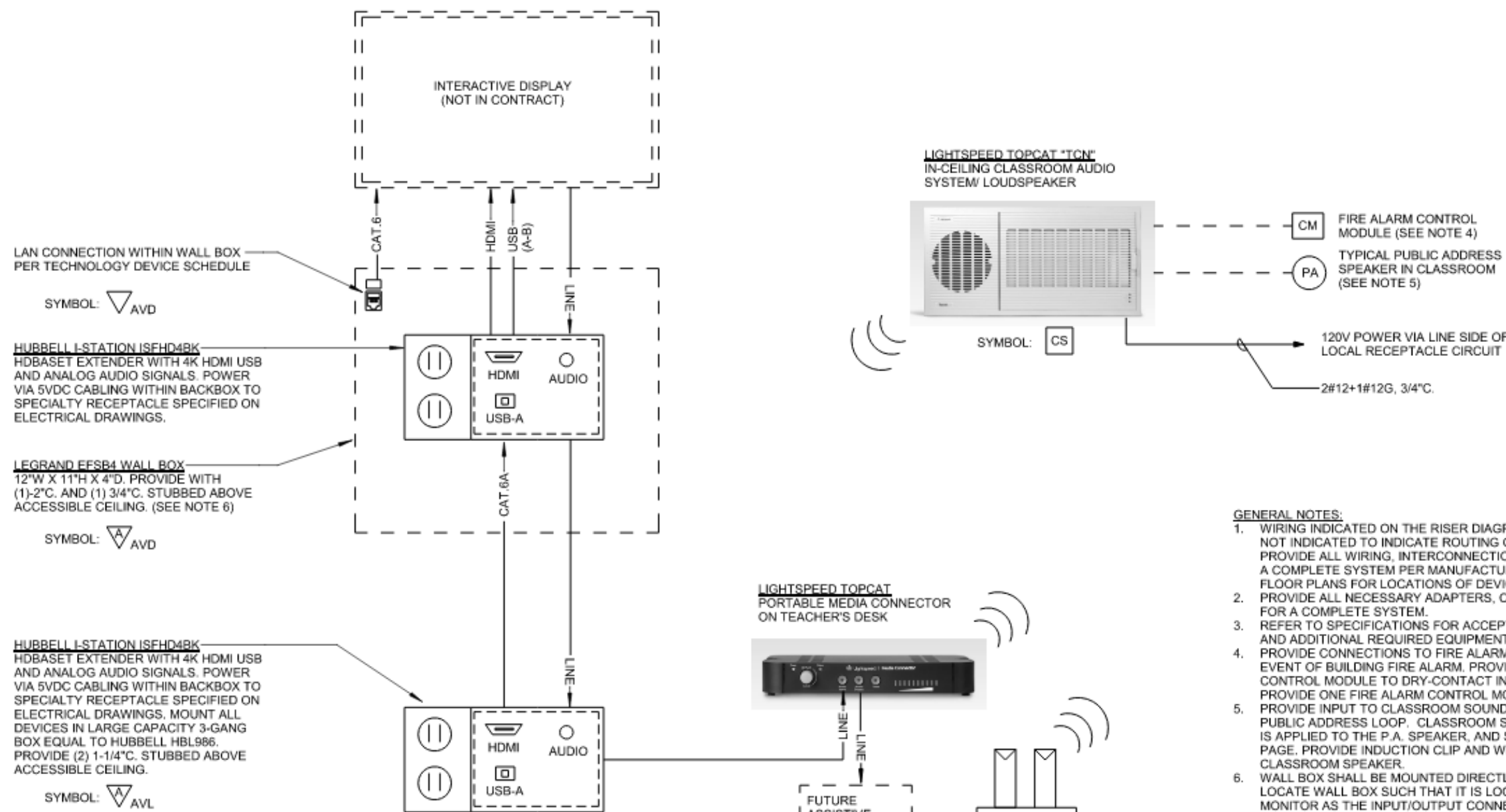
C:\Users\LaurelB\Documents\PRV03AR\_F22\_Young & Woods Media Center\_laurelB5K5FF.nt  
2/14/2023 8:14:50 PM



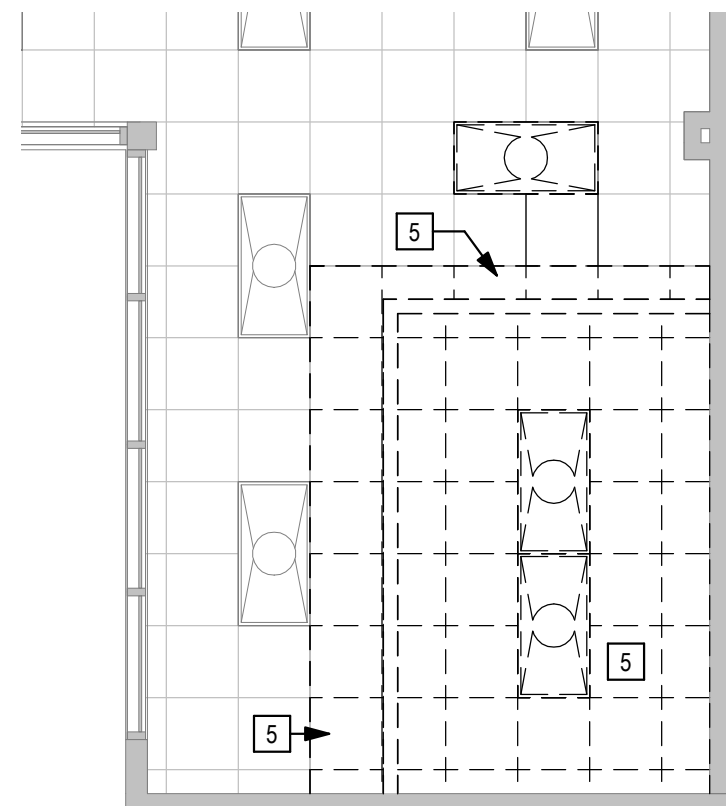
**D9** MEDIA CENTER - DEMO/CONSTRUCTION PLAN  
3/16" = 1'-0"



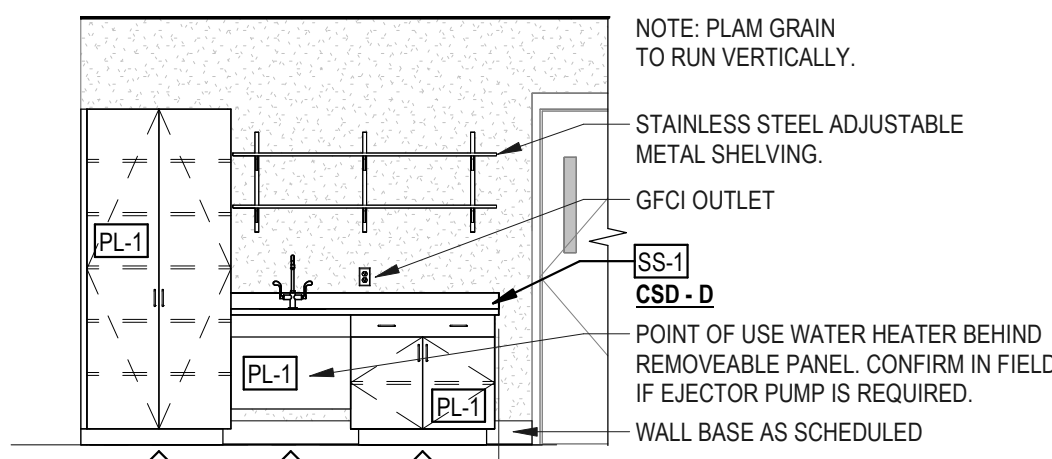
**D5** MEDIA CENTER - CONSTRUCTION REFLECTED CEILING PLAN  
3/16" = 1'-0"



**H9** AV SYSTEM DETAIL  
NOT TO SCALE



**F4** MEDIA DEMOLITION RCP  
3/16" = 1'-0"



**H4** MILLWORK ELEVATION  
1/4" = 1'-0"

## DEMOLITION & CONSTRUCTION LEGEND

EXISTING ITEMS	ITEMS TO BE DEMOLISHED
EXISTING ACOUSTICAL CEILING TO REMAIN	NEW ACOUSTICAL CEILING
EXISTING GYPSUM BOARD CEILING TO REMAIN	EXISTING RECESSED CAN LIGHT FIXTURE
EXISTING RECESSED 2x4 LIGHT FIXTURE	NEW RECESSED 2x4 LIGHT FIXTURE
CEILING HEIGHT CEILING TYPE	HATCH DENOTES NEW MILLWORK
DEMOLITION KEYNOTE	NEW CONSTRUCTION KEYNOTE
CEILING KEYNOTE	OUT OF SCOPE HATCH
EXTENT OF WINDOW SHADES FURNISHED AND INSTALLED BY OWNER	EXTENT OF NEW BASEBOARD RACEWAY
	NEW 4' X 8' WHITEBOARDS. SEE CONST. KEYNOTE 3

## GENERAL NOTES - DEMOLITION

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND REMOVAL NECESSARY TO COMPLETE THE WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE REMOVAL AND PROPER DISPOSAL, INCLUDING ALL COSTS FOR CARRYING AND DUMPING, OF ALL MATERIAL DEMOLISHED FROM THE PROJECT. THE CONTRACTOR SHALL PROVIDE OWNER WITH FIRST RIGHTS TO ALL MATERIALS, INCLUDING DOORS, HARDWARE, WINDOWS, PLUMBING FIXTURES, ETC., BEFORE REMOVING FROM SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH AND REPAIR ALL EXISTING, TO REMAIN AREAS AND SURFACES AS NOTED AND/OR SHOWN. THIS INCLUDES ALL WORK NECESSARY TO READY SURFACES FOR NEW FINISH (N.I.C.) TO FOLLOW IN CONSTRUCTION PHASE. MATCH ALL ADJACENT MATERIALS WHERE PATCHING OCCURS.
- ALL WALLS SHOWN DASHED ARE TO BE REMOVED AND DISCARDED, UNLESS OTHERWISE NOTED. ANY WALL OR SURFACE BEING WORKED ON SHALL BE PATCHED AND REPAIRED WITH A COMPLETE FINISH TO THE NEAREST CORNER, CHANGE OF PLANE OR OTHER JUNCTURE WHICH ALLOWS FOR A SMOOTH AND CLEAN TRANSITION FROM THE NEWLY FINISHED SURFACE TO THE SURROUNDING EXISTING SURFACES (INTENT IS TO AVOID APPEARANCE OF PATCHED CONDITION).
- UNLESS NOTED OTHERWISE, ALL FLOOR SURFACES/ FINISHES AND FLOORING BASE TRIM ARE TO BE REMOVED AND DISCARDED. CLEAN / PREPARE CONCRETE AS NECESSARY FOR REFINISHING.
- IT IS NOT THE INTENT TO SHOW EVERY PIECE OR ITEM TO BE REMOVED IN DEMOLITION WORK. MECHANICAL, ELECTRICAL AND OR OTHER WORK RELATED TO A WALL OR AREA SCHEDULED FOR DEMOLITION AND REMOVAL SHALL BE PERFORMED WHETHER SO NOTED OR NOT. PROTECT ALL ITEMS INTENDED FOR SALVAGE AND REUSE OR SCHEDULED TO REMAIN.
- PRESERVE AND PROTECT ALL WALL AND CEILING FINISHES TO REMAIN WHERE POSSIBLE IN AREAS OF DEMO. THIS INCLUDES DOOR / WINDOW FRAMES. PATCH TO MATCH AS REQUIRED.
- REPAIR ALL REMAINING WALLS, CEILINGS AND FLOOR SURFACES WHERE DEMOLITION OCCURS. THIS INCLUDES MEP AND OTHER NECESSARY WORK IN CEILINGS AND WALLS AT FLOOR BELOW.
- DOORS SHOWN DASHED ARE TO BE REMOVED AND DISCARDED, INCLUDING FRAMES AND HARDWARE, EXCEPT WHERE NOTED OTHERWISE.
- DUST POLY WALL TO BE INSTALLED AROUND DEMO AREAS TO TRAP DUST/DEBRIS.
- WHEREVER A WALL IS BEING DEMOLISHED ADJACENT TO AN EXISTING WALL, GENERAL CONTRACTOR IS TO PATCH AND REPAIR ADJACENT SURFACE TO PROVIDE "LIKE NEW" CONDITION.
- FLOOR-MOUNTED COMPONENTS, INCLUDING BUT NOT LIMITED TO, FURNITURE WHIP, DATA AND VOICE, TO BE REMOVED BACK TO PANEL WHERE SHOWN DEMOLISHED. CAP AND MAKE SAFE. DEMO AND REMOVE ALL CORES THROUGHOUT FLOOR. FILL EXISTING CORE DRILL AS REQUIRED TO MEET ALL LOCAL AND STATE BUILDING / FIRE CODES.

## GENERAL NOTES - CONSTRUCTION

- FIRE SAFE ALL PENETRATIONS IN RATED WALL ASSEMBLIES. SEE TYPICAL RATED WALL PENETRATION DETAIL.
- ALIGN FACE OF NEW FINISH WITH FACE OF EXISTING FINISH AT ALL GYPSUM BOARD INFILL CONSTRUCTION UNLESS OTHERWISE NOTED.
- VERIFY LOCATION OF ALL ACCESS PANELS WITH MEP EQUIPMENT.
- ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND ANY DISCREPANCIES SHALL BE PROMPTLY REPORTED TO THE ARCHITECT.
- PATCH, REPAIR, AND REFINISH ALL SURFACES EXPOSED BY DEMOLITION WORK OR CUTTING TO ALIGN WITH EXISTING SURFACES SCHEDULED TO REMAIN OR NEW FINISHES SPECIFIED. REPAIR AND SKIM COAT EXISTING SUB FLOOR AS REQUIRED TO PREPARE FLOOR FOR INSTALLATION OF NEW FLOOR FINISH. COORDINATE WITH FINISH PLAN AND MANUFACTURER'S REQUIREMENTS.
- ALL EXISTING FINISHES REMAINING IN PLACE (I.E. CEILINGS, ETC.) SHALL BE CLEANED UTILIZING EFFECTIVE CLEANING METHODS TO PRODUCE THE MOST DESIRABLE RESULTS POSSIBLE.
- CAULK ALL JOINT OR CRACKS WHICH OCCUR WHERE DISSIMILAR MATERIALS INTERSECT PERPENDICULAR TO EACH OTHER AND THE INTERSECTION IS EXPOSED TO VIEW UNLESS INDICATED OTHERWISE ON THE DRAWINGS.

## GENERAL NOTES - CEILING

- UNLESS OTHERWISE NOTED, ALL EXISTING CEILING GRID, CEILING TILE, GYP. BOARD CEILINGS AND LIGHT FIXTURES ARE TO REMAIN.
- UNLESS SPECIFICALLY NOTED OTHERWISE, ALL CEILING GRIDS AND LIGHTING SHALL BE CENTERED, WITH BALANCED CUTS.
- ALL CEILING ITEMS ARE TO BE CENTERED IN 2x4, 2x2 OR IMPLIED 2x2 CEILING TILE WITH BALANCED CUTS, WHICHEVER APPLIES. THIS PLAN IS INTENDED FOR COORDINATION AND LOCATION PURPOSES ONLY. SEE MEP FOR SPECIFIC CEILING MOUNTED ITEMS.
- ALL NEW AND EXISTING TO REMAIN GYPSUM BOARD CEILINGS / SOFFITS / HEADERS ARE TO BE PAINTED CP-1. REFER TO MATERIALS LIST.
- LIGHTING LAYOUT SHOWN FOR REFERENCE AND COORDINATION ONLY. COORDINATE WITH OWNER FOR WHICH FIXTURES ARE TO BE RELOCATED OR NEW.

## KEYNOTES - DEMOLITION

No.	Description
1	DRINKING FOUNTAIN ETR. DEMO WALL AS REQUIRED TO TIE IN PLUMBING FOR NEW SINK.
2	EXISTING WALLS TO BE DEMOLISHED.
3	ALL DOORS SHOWN DASHED ARE TO BE REMOVED AND RETURNED TO OWNER, INCLUDING FRAMES AND HARDWARE EXCEPT WHERE NOTED OTHERWISE.
4	REMOVE POWER / DATA FLOOR BOXES AS NOTED.
5	DEMOLISH EXISTING 2x4 CEILING GRID BACK TO NEXT FULL TILE TO PREPARE FOR CONTINUATION OF NEW 2x4 CEILING GRID.

## KEYNOTES - CONSTRUCTION

No.	Description
1	NEW MILLWORK AND SINK TO BE INSTALLED. REFER TO ELEVATIONS.
2	NEW BASEBOARD RACEWAY WITH TAMPER-RESISTANT RECEPTACLES. CONFIRM EXISTING PANEL LOADS AND CONNECTION TO CLOSEST ADJACENT WIRING. BASIS OF DESIGN: LEGRAND WIREMOLD ACCESS 5000 SERIES.
3	LOCATION OF (2) NEW 4'X8' WRITABLE MAGNETIC PANELS MOUNTED VERTICALLY TO WALL. BASIS OF DESIGN IS MAGNATAG WHITEWALLS MAGNETIC WHITEBOARD WALL PANEL SYSTEM. COORDINATE MOUNTING METHOD WITH G.C. IN THE FIELD.

## KEYNOTES - CEILINGS

No.	Description
1	RELOCATE EXISTING 2x4 LIGHT FIXTURES IN LOCATIONS SPECIFIED.
2	INSTALLATION OF NEW 2x4 CEILING GRID TO MATCH EXISTING. NEW GRID TO MEET EXISTING AT THE FIRST FULL TILE. REFER TO DEMO RCP FOR MORE INFORMATION.

**Tecton**  
ARCHITECTS

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Client/ Contractor

**PROVIDENCE PUBLIC SCHOOLS**

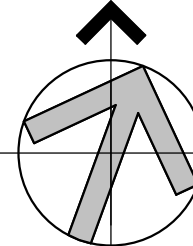
797 WESTMINSTER STREET  
PROVIDENCE, RI 02903

Project

**YOUNG & WOODS ELEMENTARY SCHOOL**

674 PRAIRIE AVENUE  
PROVIDENCE, RI 02905

PROJECT NORTH



Seals

**RFP SET**

Issues / Revisions

No.	Date	Description
	02/14/2023	RFP SET

Drawing Title

**CONSTRUCTION ANNOTATION PLANS**

Project Manager:	JH	Project No:	PRV03AR
Project Architect:	LB	Production Leader:	ZF
Project Designer:	AP	Peer Reviewer:	

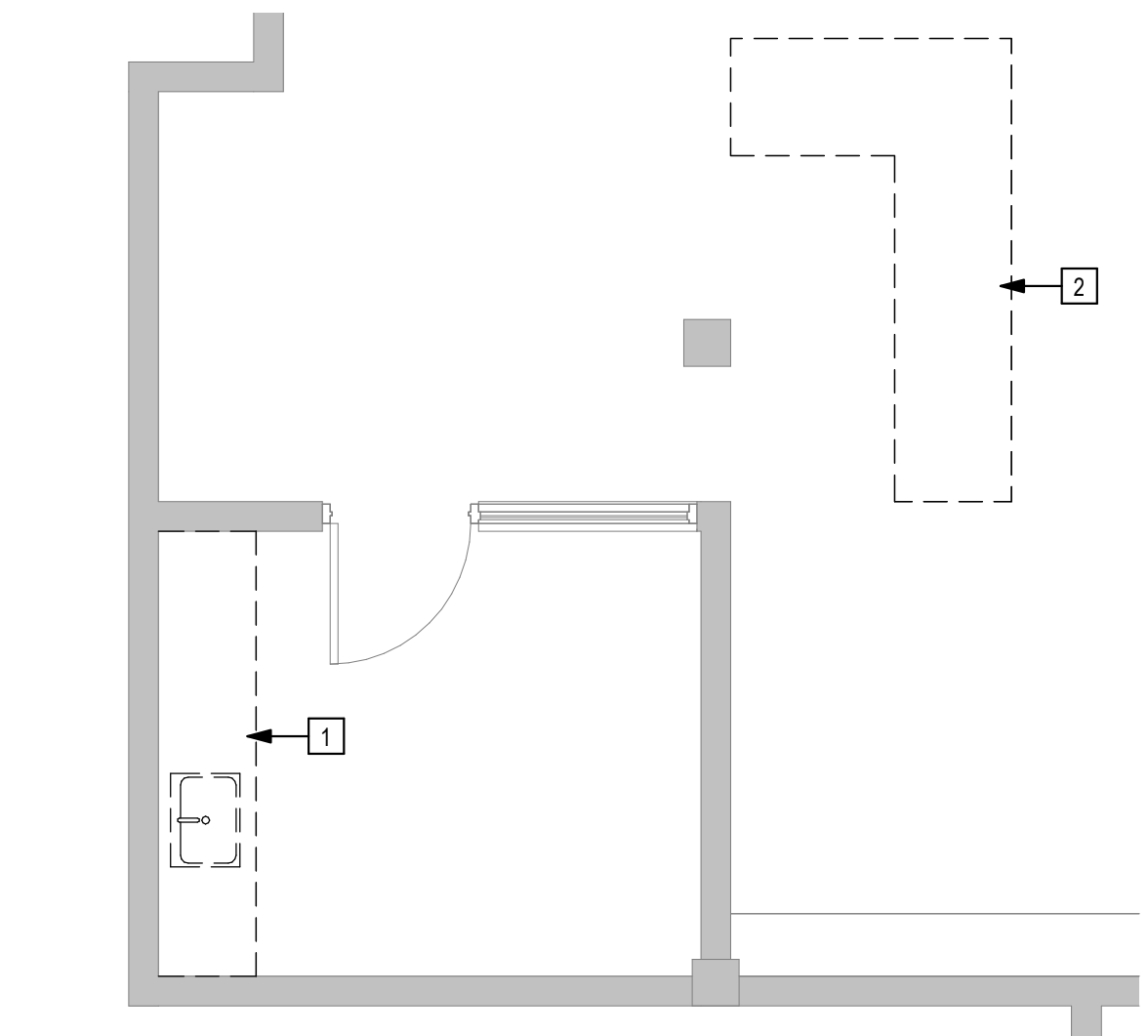
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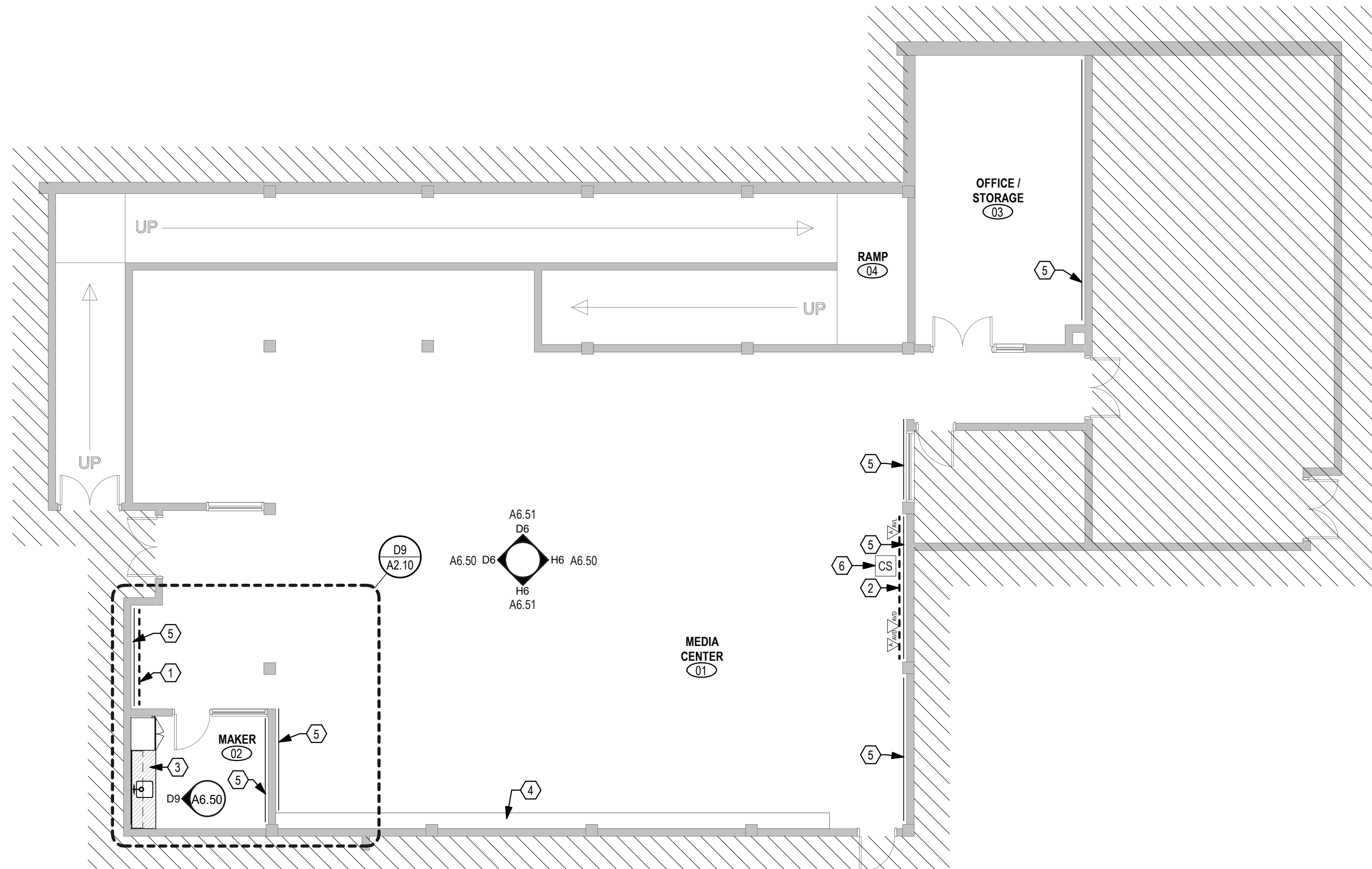




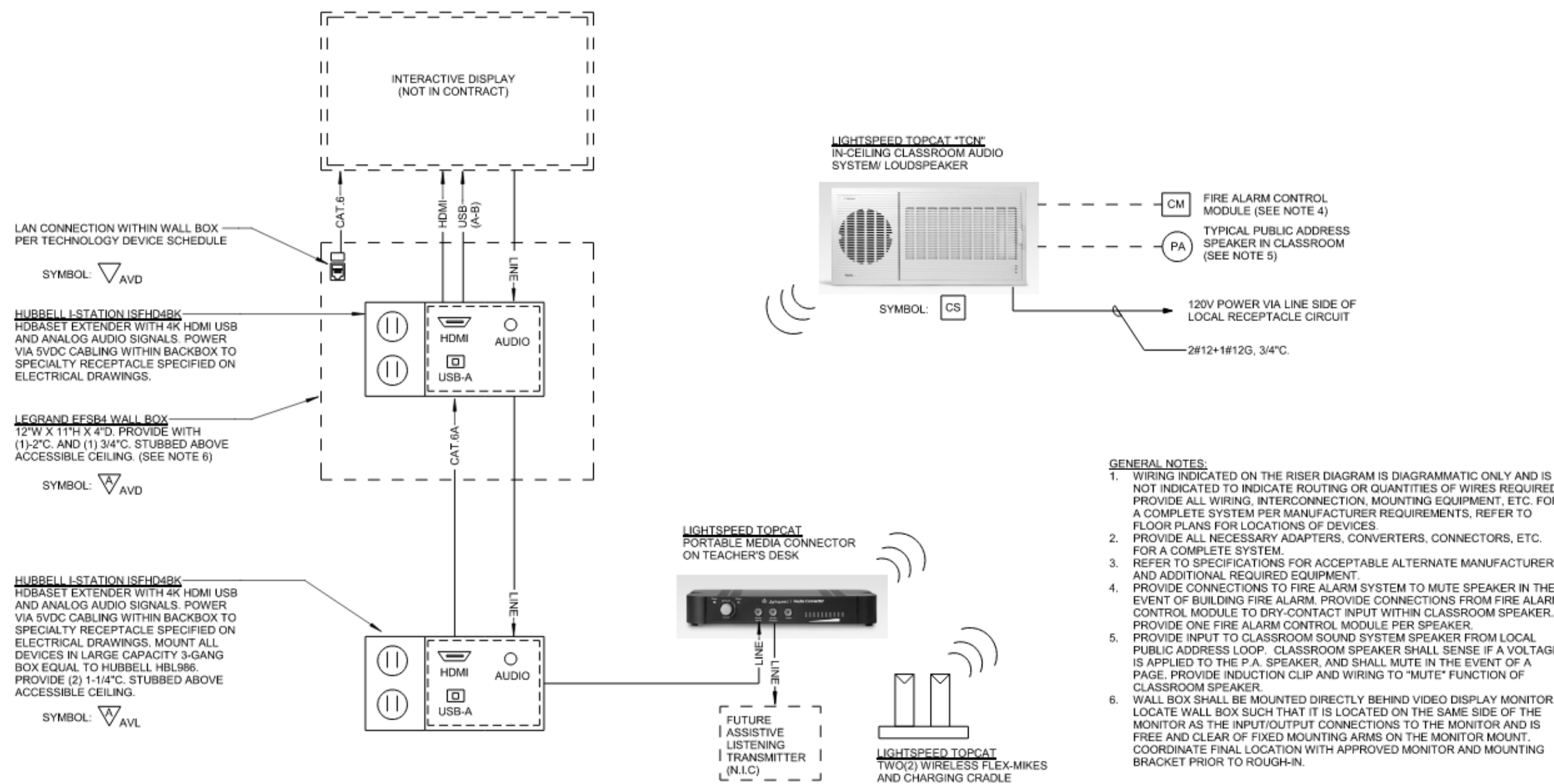




D9 DEMOLITION PLAN  
1/4" = 1'-0"

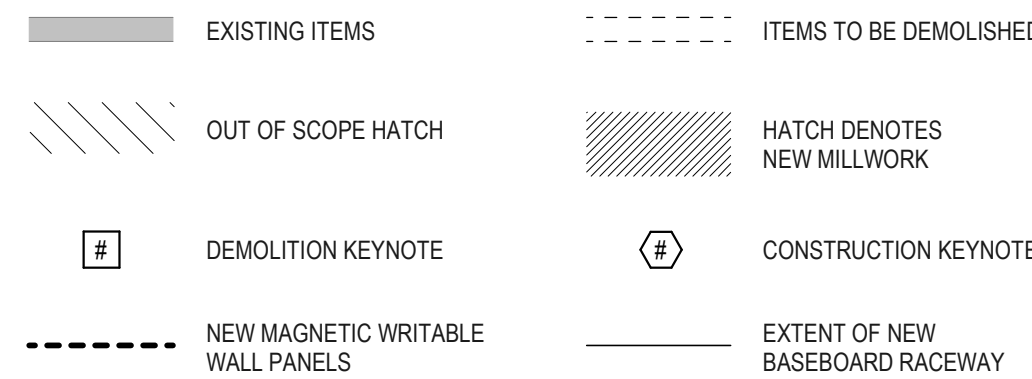


**D7 MEDIA CENTER - CONSTRUCTION PLAN**  
1/8" = 1'-0"



**G7 AV SYSTEM DETAIL**  
1" = 1'-0"

### DEMOLITION & CONSTRUCTION LEGEND



### GENERAL NOTES - DEMOLITION

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND REMOVAL NECESSARY TO COMPLETE THE WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE REMOVAL AND PROPER DISPOSAL, INCLUDING ALL COSTS FOR CARRYING AND DUMPING, OF ALL MATERIAL DEMOLISHED FROM THE PROJECT. THE CONTRACTOR SHALL PROVIDE OWNER WITH FIRST RIGHTS TO ALL MATERIALS, INCLUDING DOORS, HARDWARE, WINDOWS, PLUMBING FIXTURES, ETC., BEFORE REMOVING FROM SITE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH AND REPAIR ALL EXISTING, TO REMAIN AREAS AND SURFACES AS NOTED AND/OR SHOWN. THIS INCLUDES ALL WORK NECESSARY TO READY SURFACES FOR NEW FINISH (H.N.C.) TO FOLLOW IN CONSTRUCTION PHASE. MATCH ALL ADJACENT MATERIALS WHERE PATCHING OCCURS.
3. ALL ITEMS SHOWN DASHED ARE TO BE REMOVED AND DISCARDED, UNLESS OTHERWISE NOTED. ANY WALL OR SURFACE BEING WORKED ON SHALL BE PATCHED AND REPAIRED WITH A COMPLETE FINISH TO THE NEAREST CORNER, CHANGE OF PLANE OR OTHER JUNCTURE WHICH ALLOWS FOR A SMOOTH AND CLEAN TRANSITION FROM THE NEWLY FINISHED SURFACE TO THE SURROUNDING EXISTING SURFACES (INTENT IS AVOID APPEARANCE OF PATCHED CONDITION).
4. EXISTING VCT FLOORING TO REMAIN. FLOORING BASE TRIM IS TO BE REMOVED AND DISCARDED.
5. ALL EXISTING TECTUM ACOUSTIC PANELS ON WALLS AND CEILINGS ARE EXISTING TO REMAIN. NEW FINISHES ARE TO BE APPLIED TO TECTUM AS NOTED. REFER TO FINISH PLAN.
6. IT IS NOT THE INTENT TO SHOW EVERY PIECE OR ITEM TO BE REMOVED IN DEMOLITION WORK. MECHANICAL, ELECTRICAL AND OR OTHER WORK RELATED TO A WALL OR AREA SCHEDULED FOR DEMOLITION AND REMOVAL SHALL BE PERFORMED WHETHER SO NOTED OR NOT. PROTECT ALL ITEMS INTENDED FOR SALVAGE AND REUSE OR SCHEDULED TO REMAIN.
7. PRESERVE AND PROTECT ALL WALL AND CEILING FINISHES TO REMAIN WHERE POSSIBLE IN AREAS OF DEMO. THIS INCLUDES DOOR / WINDOW FRAMES. PATCH TO MATCH AS REQUIRED.
8. REPAIR ALL REMAINING WALLS, CEILINGS AND FLOOR SURFACES WHERE DEMOLITION OCCURS. THIS INCLUDES MEW AND OTHER NECESSARY WORK IN CEILINGS AND WALLS AT FLOOR BELOW.
9. DUST POLY WALL TO BE INSTALLED AROUND DEMO AREAS TO TRAP DUST/DEBRIS.
10. WHEREVER A WALL IS BEING DEMOLISHED ADJACENT TO AN EXISTING WALL, GENERAL CONTRACTOR IS TO PATCH AND REPAIR ADJACENT SURFACE TO PROVIDE "LIKE NEW" CONDITION

### GENERAL NOTES - CONSTRUCTION

1. FIRE SAFE ALL PENETRATIONS IN RATED WALL ASSEMBLIES. SEE TYPICAL RATED WALL PENETRATION DETAIL.
2. ALIGN FACE OF NEW FINISH WITH FACE OF EXISTING FINISH AT ALL GYPSUM BOARD INFILL CONSTRUCTION UNLESS OTHERWISE NOTED.
3. VERIFY LOCATION OF ALL ACCESS PANELS WITH MEP EQUIPMENT.
4. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND ANY DISCREPANCIES SHALL BE PROMPTLY REPORTED TO THE ARCHITECT.
5. PATCH, REPAIR, AND REFINISH ALL SURFACES EXPOSED BY DEMOLITION WORK OR CUTTING TO ALIGN WITH EXISTING SURFACES SCHEDULED TO REMAIN OR NEW FINISHES SPECIFIED. REPAIR AND SKIM COAT EXISTING SUB FLOOR AS REQUIRED TO PREPARE FLOOR FOR INSTALLATION OF NEW FLOOR FINISH. COORDINATE WITH FINISH PLANNING AND MANUFACTURER'S REQUIREMENTS.
6. ALL EXISTING FINISHES REMAINING IN PLACE (I.E. CEILINGS, ETC.) SHALL BE CLEANED UTILIZING EFFECTIVE CLEANING METHODS TO PRODUCE THE MOST DESIRABLE RESULTS POSSIBLE.
7. CALL OUT JOINT OR CRACKS WHICH OCCUR WHERE DISSIMILAR MATERIALS INTERSECT PERPENDICULAR TO EACH OTHER AND THE INTERSECTION IS EXPOSED TO VIEW UNLESS INDICATED OTHERWISE ON THE DRAWINGS.

## KEYNOTES - DEMOLITION

- |   |  |
|---|--|
| 1 | EXISTING MILLWORK AND SINK TO BE DEMOLISHED. PATCH AND PREPARE FOR INSTALLATION OF NEW MILLWORK AND SINK. REFER TO ELEVATIONS FOR MORE INFORMATION.                          |
| 2 | EXISTING MILLWORK CIRCULATION DESK TO BE DEMOLISHED. PATCH AND PREPARE EXISTING FLOOR FOR INSTALLATION OF NEW FLOORING FINISHES. REFER TO FINISH PLANS FOR MORE INFORMATION. |

## KEYNOTES - CONSTRUCTION

- |   |  |
|---|--|
| 1 | LOCATION OF (2) NEW 4"x8" WRITABLE MAGNETIC PANELS MOUNTED VERTICALLY TO WALL. BASIS OF DESIGN IS MAGNATAG WHITEWALLS MAGNETIC WHITEBOARD WALL PANEL SYSTEM. COORDINATE MOUNTING METHOD WITH G.C. IN THE FIELD.  |
| 2 | LOCATION OF (3) NEW 4"x8" WRITABLE MAGNETIC PANELS, MOUNTED VERTICALLY TO WALL. BASIS OF DESIGN IS MAGNATAG WHITEWALLS MAGNETIC WHITEBOARD WALL PANEL SYSTEM. COORDINATE MOUNTING METHOD WITH G.C. IN THE FIELD. |
| 3 | NEW MILLWORK AND SINK TO BE INSTALLED. THE PLUMBING IN WITH EXISTING SINK.   |
| 4 | EXISTING HEATERS TO REMAIN.  |
| 5 | NEW BASEBOARD RACEWAY WITH TAMPER-RESISTANT RECEPTACLES. CONFIRM EXISTING PANEL LOADS AND CONNECTION TO CLOSEST ADJACENT WIRING. BASIS OF DESIGN: LEGRAND WIREMOLD ACCESS 5000 SERIES.                           |
| 6 | LOCATION AND MOUNTING OF LOUDSPEAKER TO BE COORDINATED IN THE FIELD PER MANUFACTURER RECOMMENDATIONS.  |

**Tecton**  
ARCHITECTS

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Client/ Contractor

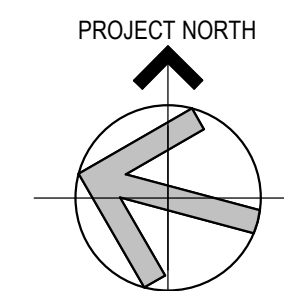
**PROVIDENCE PUBLIC  
SCHOOLS**

797 WESTMINSTER STREET  
PROVIDENCE, RI 02903

Project

**ASA MESSER  
ELEMENTARY SCHOOL**

1655 WESTMINSTER STREET  
PROVIDENCE, RI 02903



Seals

## RFP SET

[illegible]

Drawing Title

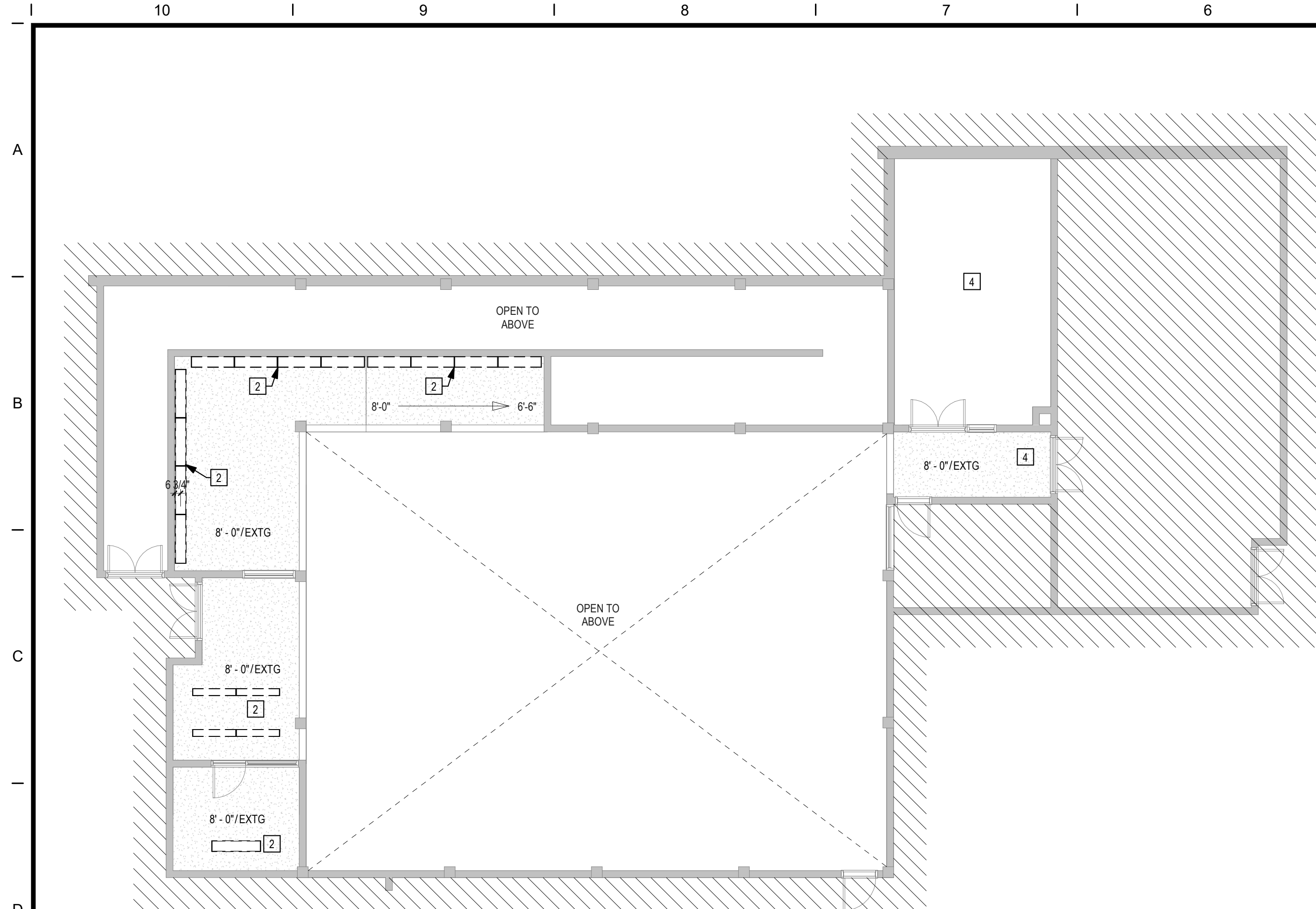
# MEDIA CENTER CONSTRUCTION AND DEMOLITION PLANS

Project Manager:	JH	Project No:	PRV03AR
Project Architect:	LB	Production Leader:	ZF
Project Designer:	AP	Peer Reviewer:	

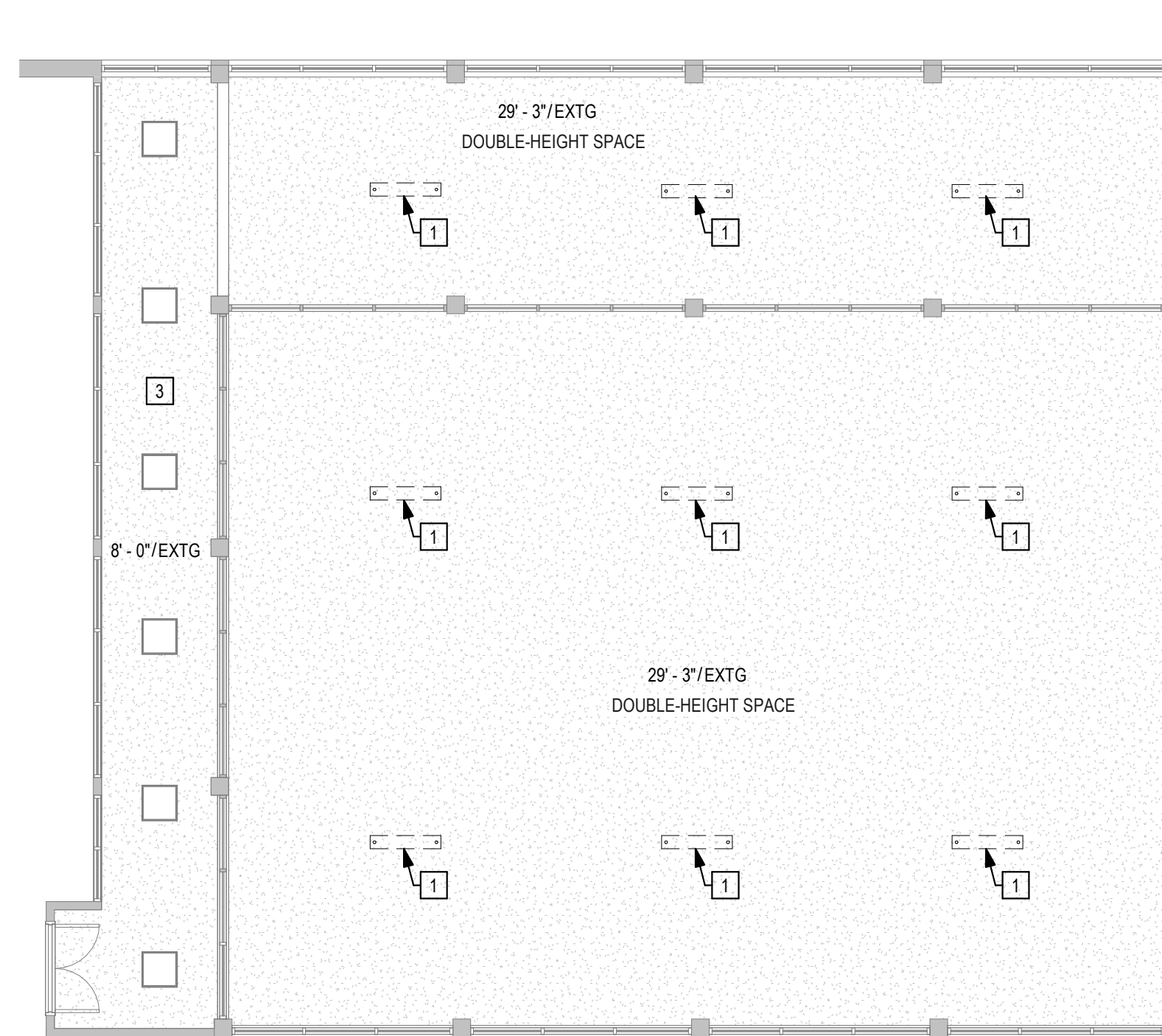
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## A2.10

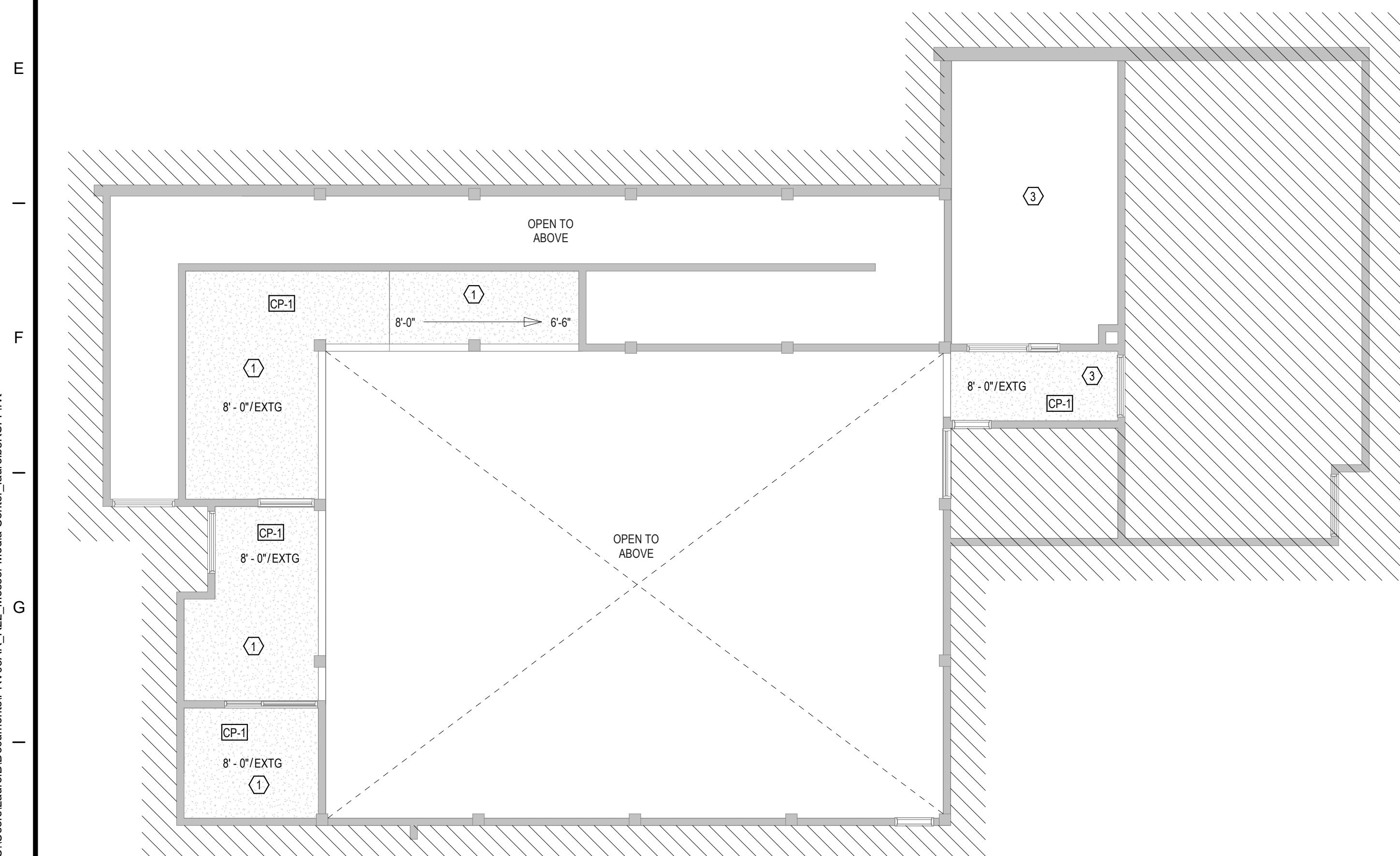




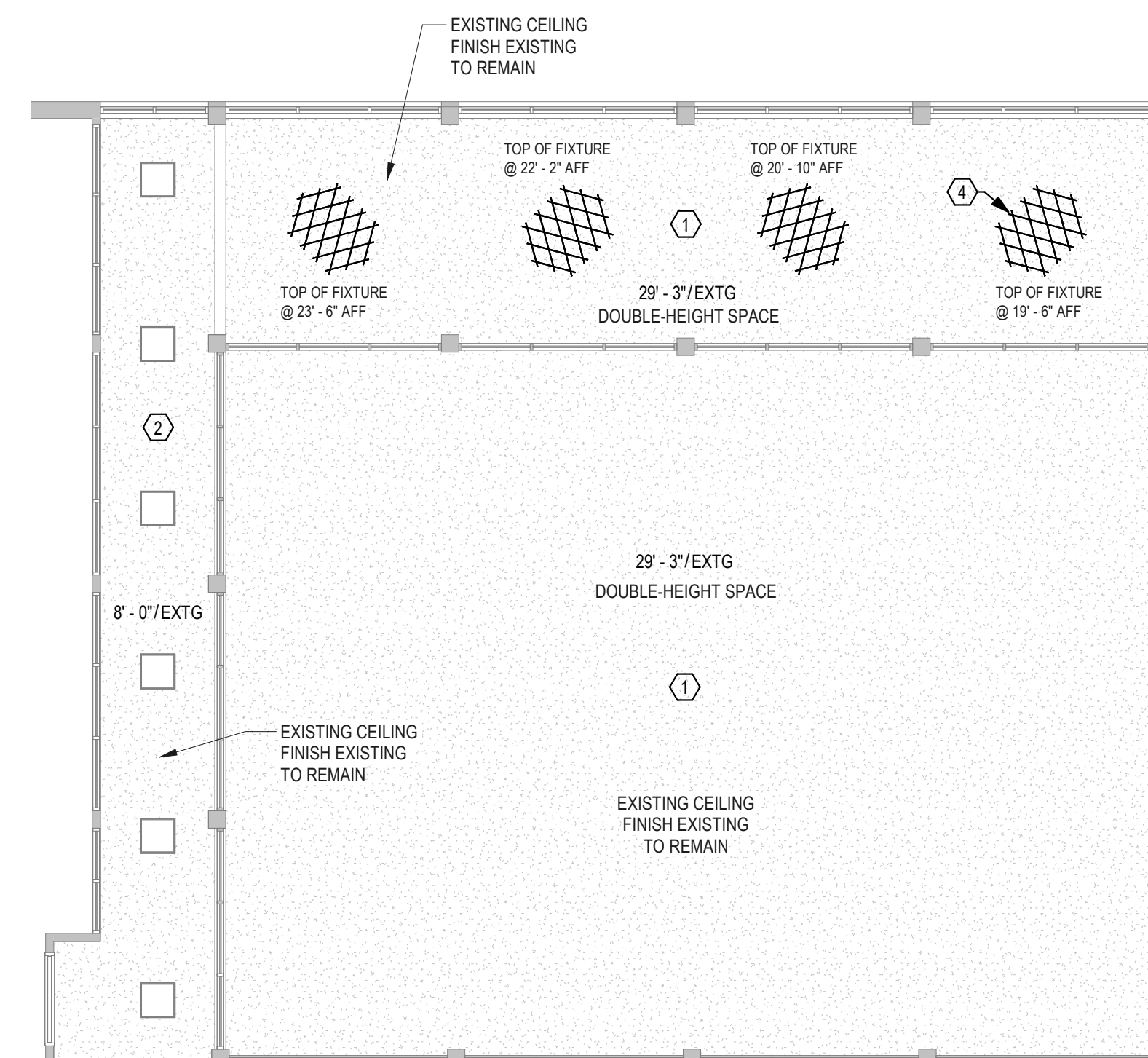
D10 MEDIA CENTER - LOWER LEVEL DEMO RCP  
1/8" = 1'-0"



D5 MEDIA CENTER - UPPER LEVEL DEMO RCP  
1/8" = 1'-0"

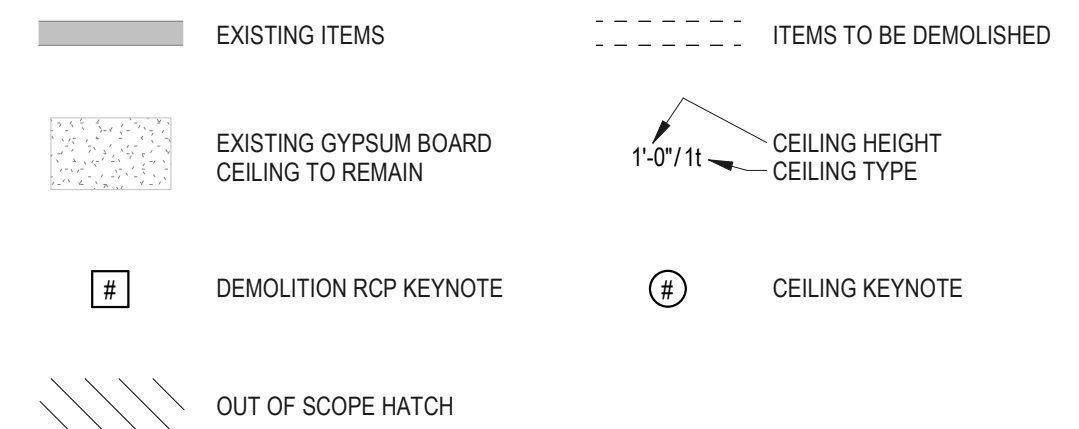


H10 MEDIA CENTER - REFLECTED CEILING PLAN  
1/8" = 1'-0"



H5 MEDIA CENTER - UPPER LEVEL CEILING PLAN  
1/8" = 1'-0"

### DEMOLITION & CONSTRUCTION RCP LEGEND



### GENERAL NOTES - DEMOLITION

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND REMOVAL NECESSARY TO COMPLETE THE WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE REMOVAL AND PROPER DISPOSAL, INCLUDING ALL COSTS FOR CARRYING AND DUMPING, OF ALL MATERIAL DEMOLISHED FROM THE PROJECT. THE CONTRACTOR SHALL PROVIDE OWNER WITH FIRST RIGHTS TO ALL MATERIALS, INCLUDING DOORS, HARDWARE, WINDOWS, PLUMBING FIXTURES, ETC., BEFORE REMOVING FROM SITE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH AND REPAIR ALL EXISTING, TO REMAIN AREAS AND SURFACES AS NOTED AND/OR SHOWN. THIS INCLUDES ALL WORK NECESSARY TO READY SURFACES FOR NEW FINISH (N.I.C.) TO FOLLOW IN CONSTRUCTION PHASE. MATCH ALL ADJACENT MATERIALS WHERE PATCHING OCCURS.
3. ALL ITEMS SHOWN DASHED ARE TO BE REMOVED AND DISCARDED, UNLESS OTHERWISE NOTED. ANY WALL OR SURFACE BEING WORKED ON SHALL BE PATCHED AND REPAIRED WITH A COMPLETE FINISH TO THE NEAREST CORNER, CHANGE OF PLANE OR OTHER JUNCTURE WHICH ALLOWS FOR A SMOOTH AND CLEAN TRANSITION FROM THE NEWLY FINISHED SURFACE TO THE SURROUNDING EXISTING SURFACES (INTENT IS AVOID APPEARANCE OF PATCHED CONDITION).
4. EXISTING VCT FLOORING TO REMAIN. FLOORING BASE TRIM IS TO BE REMOVED AND DISCARDED.
5. ALL EXISTING TECTUM ACOUSTIC PANELS ON WALLS AND CEILINGS ARE EXISTING TO REMAIN. NEW FINISHES ARE TO BE APPLIED TO TECTUM AS NOTED. REFER TO FINISH PLAN.
6. IT IS NOT THE INTENT TO SHOW EVERY PIECE OR ITEM TO BE REMOVED IN DEMOLITION WORK. MECHANICAL, ELECTRICAL, AND OR OTHER WORK RELATED TO A WALL OR AREA SCHEDULED FOR DEMOLITION AND REMOVAL SHALL BE PERFORMED WHETHER SO NOTED OR NOT. PROTECT ALL ITEMS INTENDED FOR SALVAGE AND REUSE OR SCHEDULED TO REMAIN.
7. PRESERVE AND PROTECT ALL WALL AND CEILING FINISHES TO REMAIN WHERE POSSIBLE IN AREAS OF DEMO. THIS INCLUDES DOOR / WINDOW FRAMES. PATCH TO MATCH AS REQUIRED.
8. REPAIR ALL REMAINING WALLS, CEILINGS AND FLOOR SURFACES WHERE DEMOLITION OCCURS. THIS INCLUDES MEP AND OTHER NECESSARY WORK IN CEILINGS AND WALLS AT FLOOR BELOW.
9. DUST POLY WALL TO BE INSTALLED AROUND DEMO AREAS TO TRAP DUST/DEBRIS.
10. WHEREVER A WALL IS BEING DEMOLISHED ADJACENT TO AN EXISTING WALL, GENERAL CONTRACTOR IS TO PATCH AND REPAIR ADJACENT SURFACE TO PROVIDE "LIKE NEW" CONDITION

### GENERAL NOTES - CEILING

1. UNLESS OTHERWISE NOTED, ALL EXISTING CEILING GRID, CEILING TILE, GYP. BOARD CEILINGS AND LIGHT FIXTURES ARE TO REMAIN.
2. UNLESS SPECIFICALLY NOTED OTHERWISE, ALL CEILING GRIDS AND LIGHTING SHALL BE CENTERED, WITH BALANCED CUTS.
3. ALL CEILING ITEMS ARE TO BE CENTERED IN 2x4, 2x2 OR IMPLIED 2x2 CEILING TILE WITH BALANCED CUTS, WHICHEVER APPLIES. THIS PLAN IS INTENDED FOR COORDINATION AND LOCATION PURPOSES ONLY. SEE MEP FOR SPECIFIC CEILING MOUNTED ITEMS.
4. NEW AND EXISTING TO REMAIN GYPSUM BOARD CEILINGS / SOFFITS / HEADERS ARE TO BE PAINTED CP-1. REFER TO MATERIALS LIST.
5. LIGHTING LAYOUT SHOWN FOR REFERENCE AND COORDINATION ONLY. COORDINATE WITH OWNER FOR WHICH FIXTURES ARE TO BE RELOCATED OR NEW.

## KEYNOTES - DEMOLITION RCP

1	DEMOLISH AND REMOVE EXISTING SUSPENDED PENDANT LINEAR LIGHTING.
2	DEMOLISH AND REMOVE EXISTING CEILING-MOUNTED LIGHTING.
3	EXISTING CEILING-MOUNTED LIGHTING IN THIS LOCATION TO REMAIN.
4	LIGHTING IN THIS LOCATION EXISTING TO REMAIN. VERIFY EXISTING CONDITIONS IN THE FIELD.

## KEYNOTES - RCP

1	NEW LIGHTING TO BE PROVIDED IN THESE LOCATIONS. LIGHTING TYPES, MOUNTING HEIGHTS AND FIXTURE QUANTITIES VARY BY LOCATION AND ARE TO BE COORDINATED IN THE FIELD. LIGHTING CALCULATIONS MUST BE DONE TO ENSURE THAT APPROPRIATE LIGHTING LEVELS ARE MET.
2	EXISTING CEILING-MOUNTED LIGHTING TO REMAIN IN THESE LOCATIONS.
3	LIGHTING IN THIS LOCATION EXISTING TO REMAIN. VERIFY EXISTING CONDITIONS IN THE FIELD.
4	HANGING ACOUSTIC CLOUDS. BASIS OF DESIGN TO BE PROVIDE SOLID. SIZE OF INDIVIDUAL CLOUD IS: 4'11" x 6'1" DESIRED TO BE 6-12". COLOR IS TBD. PROVIDE MAXIMUM OF 4. ASSUME MOUNTING METHOD IS CABLE TO CEILING.

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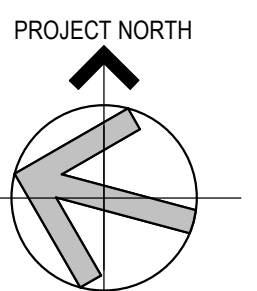
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Drawing Title

# REFLECTED CEILING DEMO & CONSTRUCTION PLAN

Project Manager:	JH	Project No:	PRV03AR
Project Architect:	LB	Production Leader:	ZF
Project Designer:	AP	Peer Reviewer:	

Drawing Number

### A3.10



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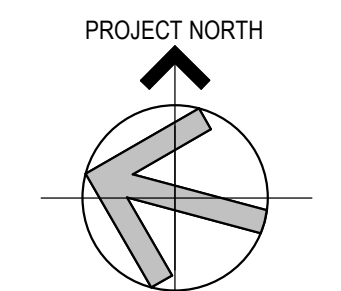
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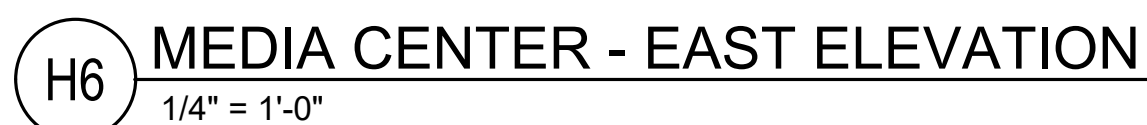
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# INTERIOR ELEVATIONS AND DETAILS

Project Manager:	JH	Project No:	PRV03AR
Project Architect:	LB	Production Leader:	ZF
Project Designer:	AP	Peer Reviewer:	

Drawing Number

A6.50



**CASEWORK DESIGN SERIES KEY**

Diagram illustrating the components of the Casework Design Series Key:

- XX**: FINISH NOTATION
- 301**: CASEWORK DESIGN SERIES NUMBER (CDS #)
- 24"**: CABINET DEPTH (IN INCHES)
- 36"**: COUNTER / UPPER CABINET HEIGHT (IN INCHES)
- NOTE**: MODIFIER NOTATION
- 30"**: CABINET WIDTH (IN INCHES)
- CSD-A**: COUNTER SURFACE DETAIL

NOTE: CASEWORK TO BE MADE OF MARINE-GRADE PLYWOOD.



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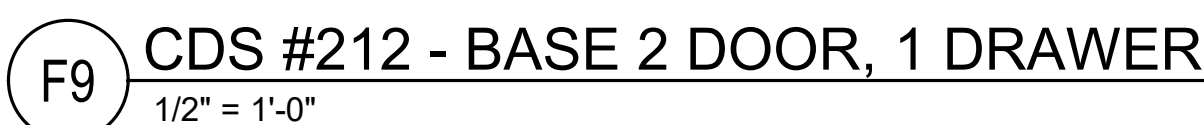
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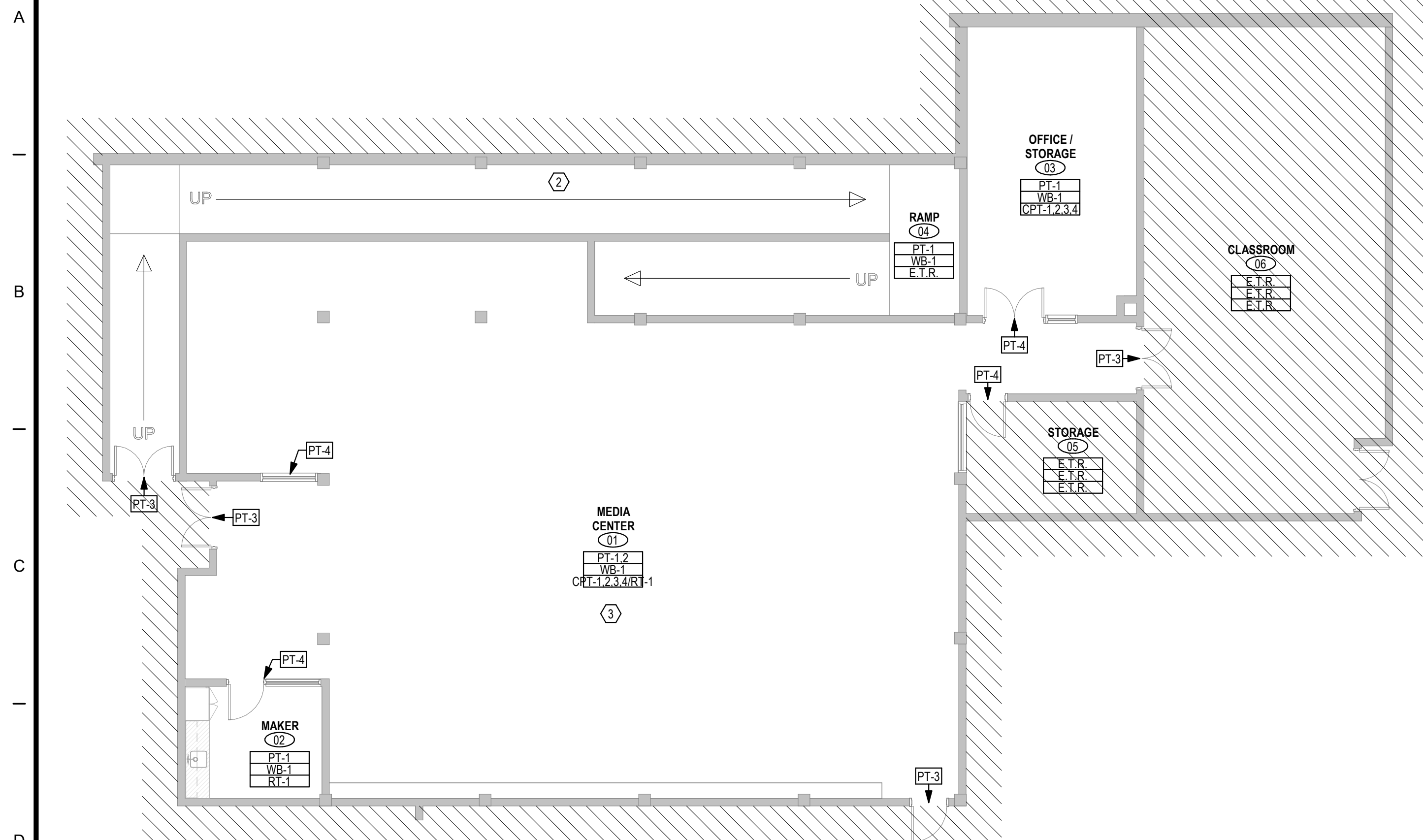
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Project Architect:	LB	Production Leader:	ZF
Project Designer:	AP	Peer Reviewer:	

Drawing Number

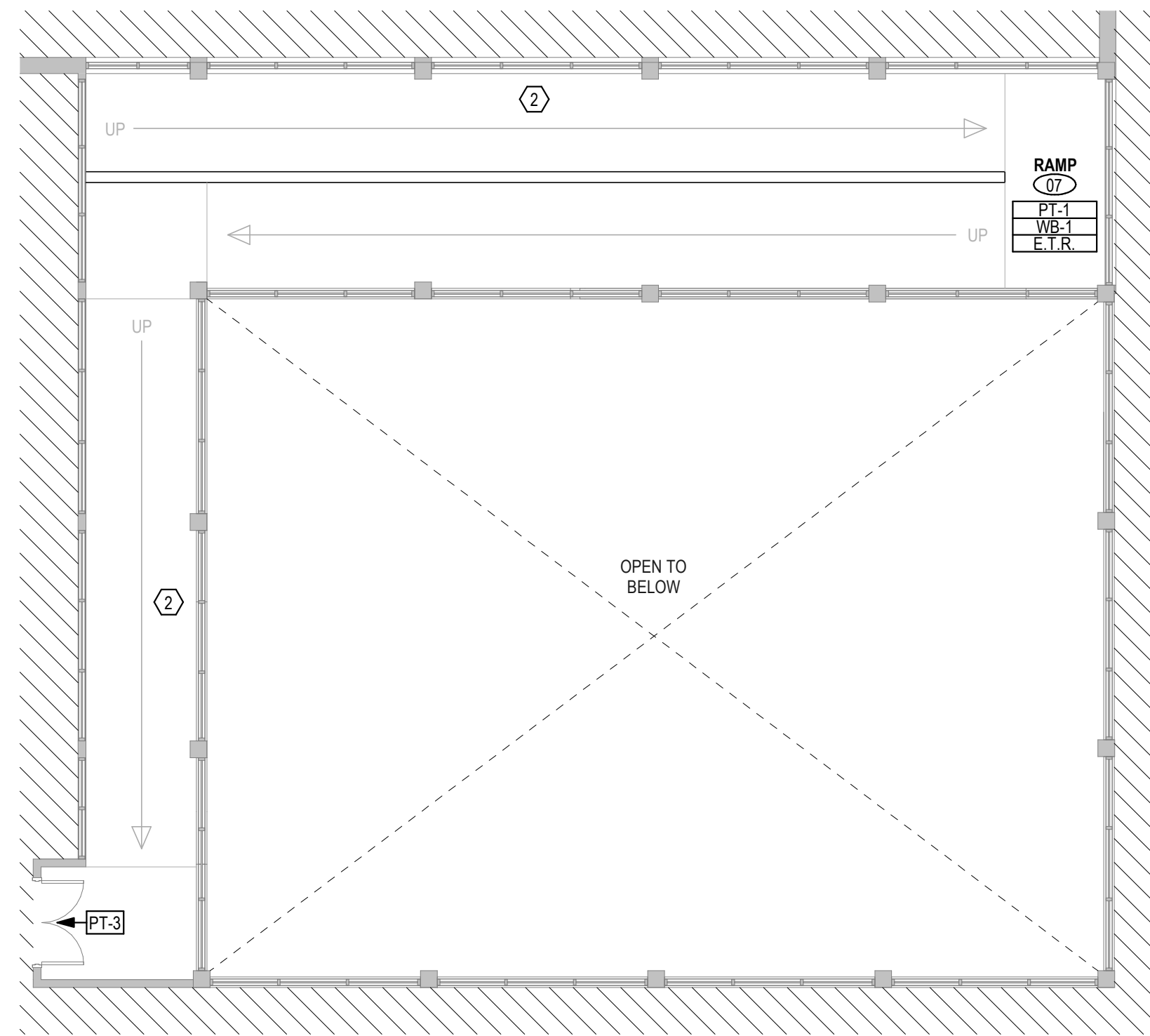
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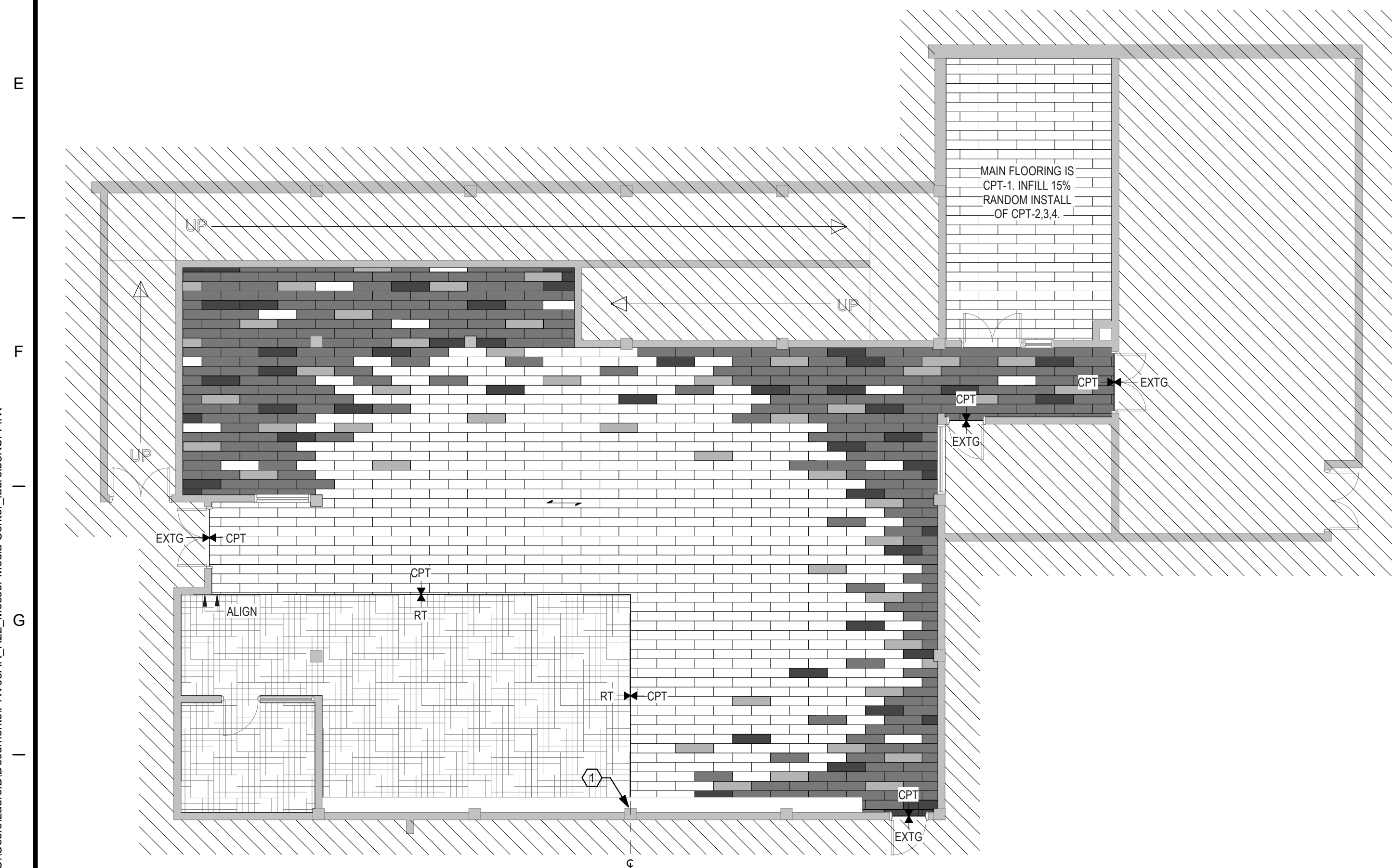




D9 MEDIA CENTER - LOWER LEVEL FINISH PLAN  
1/8" = 1'-0"

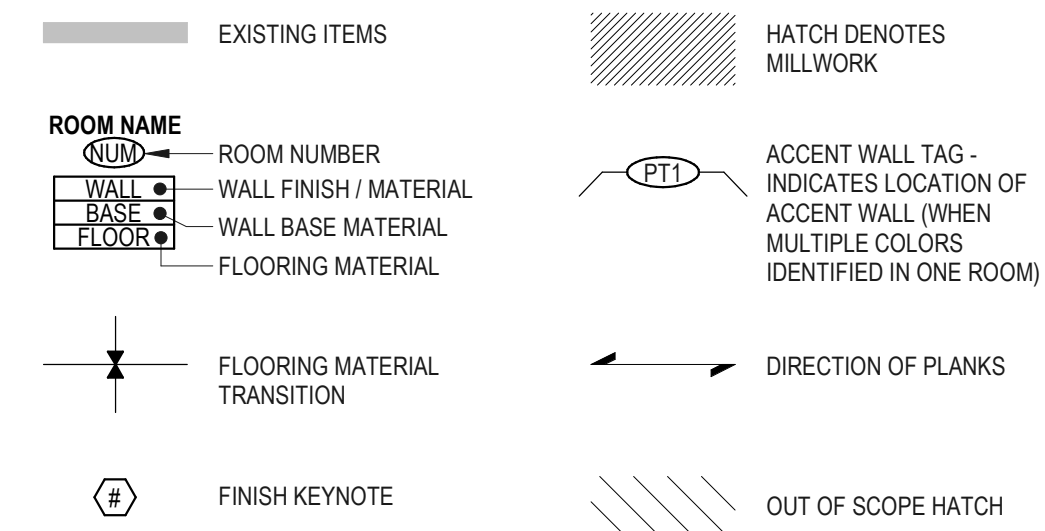


D5 MEDIA CENTER - UPPER LEVEL FINISH PLAN  
1/8" = 1'-0"



**G9 MEDIA CENTER - FINISH FLOORING PLAN**  
1/8" = 1'-0"

## FINISHES LEGEND



## GENERAL NOTES - FINISHES

1. FOR ROOMS WITH MULTIPLE WALL FINISHES CALLED OUT REFER TO INTERIOR ELEVATIONS. FOR ROOMS WITH MULTIPLE FLOORING FINISHES CALLED OUT REFER TO FINISH DETAIL PLANS.
2. FOR INTERIOR PAINT FINISHES:
  - ALL GYPSUM BOARD CEILINGS TO BE PAINTED TO BE FLAT FINISH.
  - ALL INTERIOR METAL TO BE SEMI-GLOSS FINISH, UNLESS EPOXY FINISH IS NOTED.
  - ALL INTERIOR WALLS TO BE EGGSHELL FINISH, UNLESS EPOXY FINISH IS NOTED.
3. ALL EXPOSED COLUMNS THAT ARE NOT INCORPORATED IN A WALL ARE TO BE PAINTED PT-1, UNLESS OTHERWISE NOTED. EXPOSED STRUCTURE THAT IS INCORPORATED IN A WALL IS TO BE PAINTED TO MATCH ADJACENT WALL.
4. FLOOR FINISHES TO EXTEND UNDER CASEWORK.
5. ALL DOOR FRAME FINISHES ARE EXISTING TO REMAIN. COORDINATE EXISTING FRAME PAINT COLOR / FINISH WITH OWNER TO TOUCH-UP ANY DAMAGE DONE DURING CONSTRUCTION. EXISTING CONDITIONS ARE TO BE EXAMINED IN THE FIELD TO DETERMINE IF RE-PAINTING IS REQUIRED AS A PART OF CONSTRUCTION.
6. ALL EXISTING WALL-MOUNTED TECHNOLOGY AND EQUIPMENT IS TO BE REMOVED PRIOR TO PAINTING AND RE-INSTALLED AFTER PAINTING IS COMPLETE.
7. ALL FINISHES IN "OUT OF SCOPE" REGION ARE EXISTING TO REMAIN.

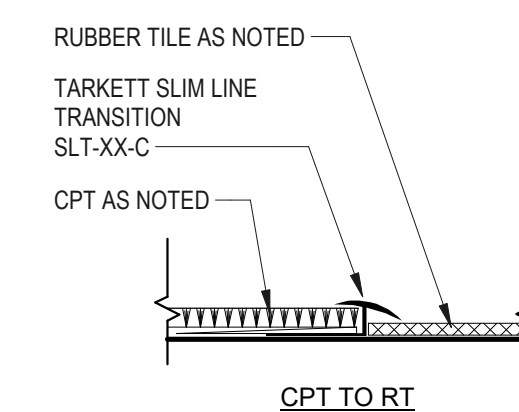
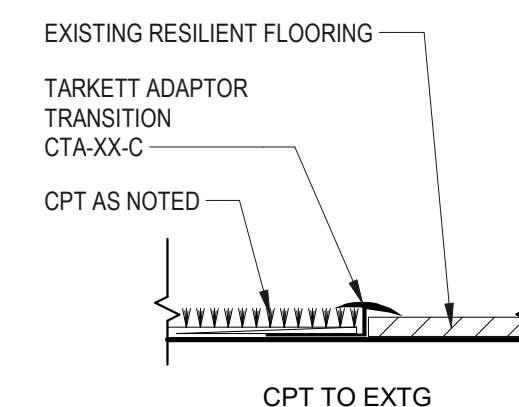
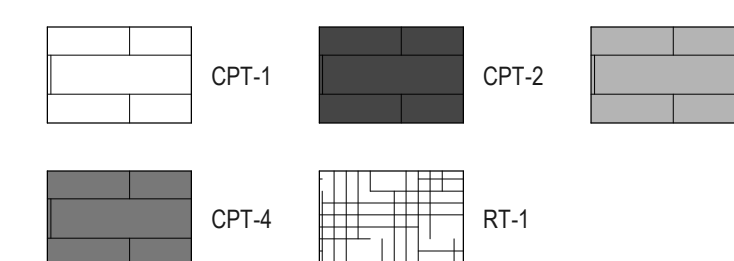
## KEYNOTES - FINISHES

1	TRANSITION FROM RUBBER TILE TO CARPET TO OCCUR AT CENTERLINE OF COLUMN.
2	INTERIOR OF RAMP TO RECEIVE NEW WALL FINISHES, AS NOTED. CLERESTORY FRAMES TO RECEIVE NEW PAINT PER FINISH TAG. FINISHES OUTSIDE OF SCOPE TO REMAIN AS EXISTING.
3	EXTENT OF CUSTOM GRAPHIC WINDOW FILM TO BE VERIFIED IN FIELD PRIOR TO PURCHASE AND INSTALLATION. DESIGN INTENT OF CUSTOM GRAPHIC WINDOW FILM IS TO PROVIDE PRIVACY INTO MEDIA CENTER. LOCATIONS SHOWN TO BE EXAMINED IN THE FIELD TO ENSURE ALL LOCATIONS ARE NECESSARY.

## MATERIALS LIST

CARPET			PAINT		
CPT-1	ITEM: MFR: CARPET TILE FORBO COLLECTION: FLOTEX COLOUR PRODUCT: METRO PLANK COLOR: GREY P946006 SIZE: 9.48" x 39.37" INSTALL: ASHLAR LOCATION: AS NOTED		PT-1	MFR: PRODUCT: BENJAMIN MOORE ULTRA SPEC SCUFF-X EGGSHELL #485 COLOR: CHANTILLY LAC2121-70 LOCATION: ALL WALLS AND WINDOW FRAMES, U.O.N.	
CPT-2	ITEM: MFR: CARPET TILE FORBO COLLECTION: FLOTEX COLOUR PRODUCT: METRO PLANK COLOR: ASH P946007 SIZE: 9.48" x 39.37" INSTALL: ASHLAR LOCATION: AS NOTED		PT-2	MFR: PRODUCT: BENJAMIN MOORE ULTRA SPEC SCUFF-X EGGSHELL #485 COLOR: TBD (LIGHT GRAY) LOCATION: UPPER WALLS, AS NOTED	
CPT-3	ITEM: MFR: CARPET SHEET FORBO COLLECTION: FLOTEX COLOUR PRODUCT: METRO SHEET COLOR: GOLD S246036 SIZE: 78.74" x 36.42" INSTALL: ASHLAR LOCATION: AS NOTED NOTE: CUT SHEET TO 9.48" x 39.37" SIZE IN FIELD TO MATCH PLANKS INSTALLED ADJACENT.		PT-3	MFR: PRODUCT: BENJAMIN MOORE ADVANCE W.B. INTERIOR ALKYD SEMI-GLOSS FINISH TBD (TO MATCH EXISTING, COORDINATE IN FIELD) LOCATION: EXISTING DOORS & FRAMES AROUND PERIMETER TO BE PT-3, AS NOTED.	
CPT-4	ITEM: MFR: CARPET TILE FORBO COLLECTION: FLOTEX COLOUR PRODUCT: METRO PLANK COLOR: INDIGO P946001 SIZE: 9.48" x 39.37" INSTALL: ASHLAR LOCATION: AS NOTED		PT-4	MFR: PRODUCT: BENJAMIN MOORE ADVANCE W.B. INTERIOR ALKYD SEMI-GLOSS FINISH CHANTILLY LACE 2121-70 COLOR: ALL EXISTING DOORS AND LOCATION: FRAMES WITHIN SCOPE OF WORK TO BE PAINTED PT-4.	
CP-1	MFR: PRODUCT: BENJAMIN MOORE ULTRA SPEC 500 INTERIOR FLAT # N536 COLOR: TBD (WHITE) LOCATION: ALL CEILINGS, U.O.N.				
<b>ACOUSTIC WALL PANELS</b>					
AWP-1			ITEM: ACOUSTIC WALL PANEL MFR: ACOUFEL PRODUCT: SOLID WALL PANELS SHAPE: DIAMOND SIZE: 1" THICK, 6"W x 10.39"W COLOR: MINIMUM OF 8 PATTERN: TBD, COORDINATE W/ MFR. INSTALL: TO BE INSTALLED FROM 5'-6" AFF TO 8'-5" AFF IN LOCATIONS IDENTIFIED.		
<b>WINDOW FILM</b>					
WF-1			ITEM: SUN SHADE WINDOW FILM MFR: 3M PRODUCT: 3M SUN CONTROL WINDOW FILM PRESTIGE SERIES FINISH: PRESTIGE 40 INSTALL: ALL UPPER CLERESTORY WINDOWS TO EXTERIOR, AS NOTED IN ELEVATIONS.  NOTE: THIS SPECIFICATION MUST BE APPROVED BY 3M MFR PRIOR TO PURCHASE / INSTALLATION TO ENSURE CORRECT PRODUCT IS USED.		
WF-2			ITEM: GRAPHIC WINDOW FILM MFR: LEVEL WALLCOVERING PRODUCT: CONFETTI - CARNIVAL FINISH: MAXIMUM OF 8 CUSTOM INSTALL: ALL UPPER CLERESTORY WINDOWS TO INTERIOR, AS NOTED IN ELEVATIONS.  NOTE: THE CUSTOM COLORS, SCALE AND INSTALLATION OF THIS WINDOW FILM IS TO BE DIRECTLY COORDINATED WITH THE MFR. ALL EXISTING CONDITIONS MUST BE CONFIRMED PRIOR TO INSTALLATION.		
<b>WALL BASE</b>					
WB-1	ITEM: RUBBER WALL BASE MFR: TARKETT PRODUCT: TRADITIONAL DURACOVE 1/8" THERMOPLASTIC RUBBER (TYPE TP) COLOR: COOL METAL LVC SIZE: 6" CHOVE, 12" ROLL LOCATION: THROUGHOUT, U.O.N.				

## FLOORING INSTALL LEGEND



**G4 FLOOR TRANSITION DTLS**  
6" = 1'-0"

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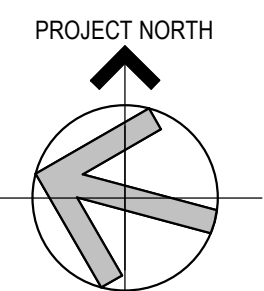
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Drawing Title

# MATERIALS LIST AND FINISH PLANS

Project Manager:	JH	Project No:	PRV03AR
Project Architect:	LB	Production Leader:	ZF
Project Designer:	AP	Peer Reviewer:	

Drawing Number

## 10.10



F9 MEDIA CENTER - MAIN LEVEL DEMO/CONSTRUCTION PLAN  
3/16" = 1'-0"

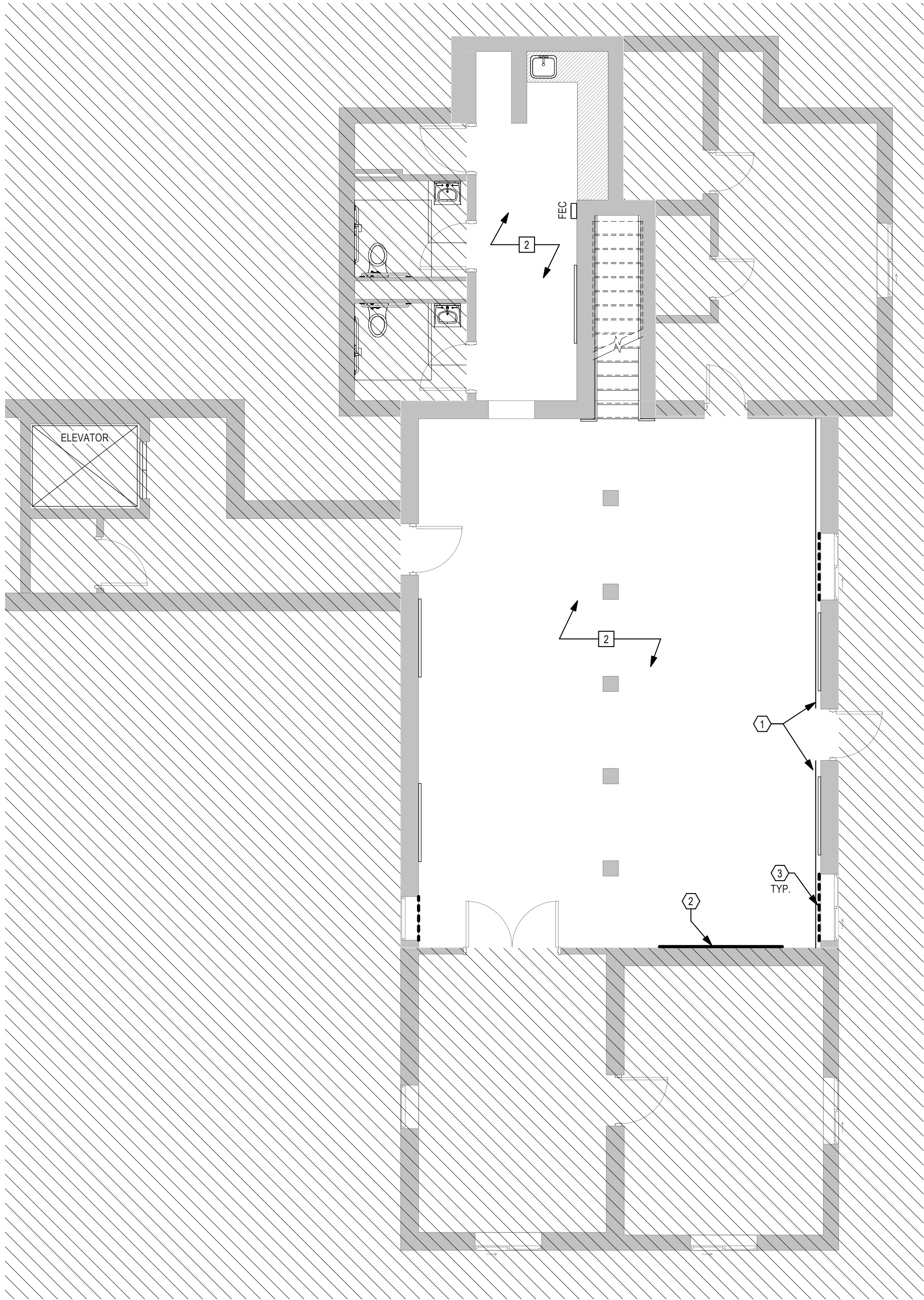
F6 MEDIA CENTER - MAIN LEVEL RCP  
3/16" = 1'-0"

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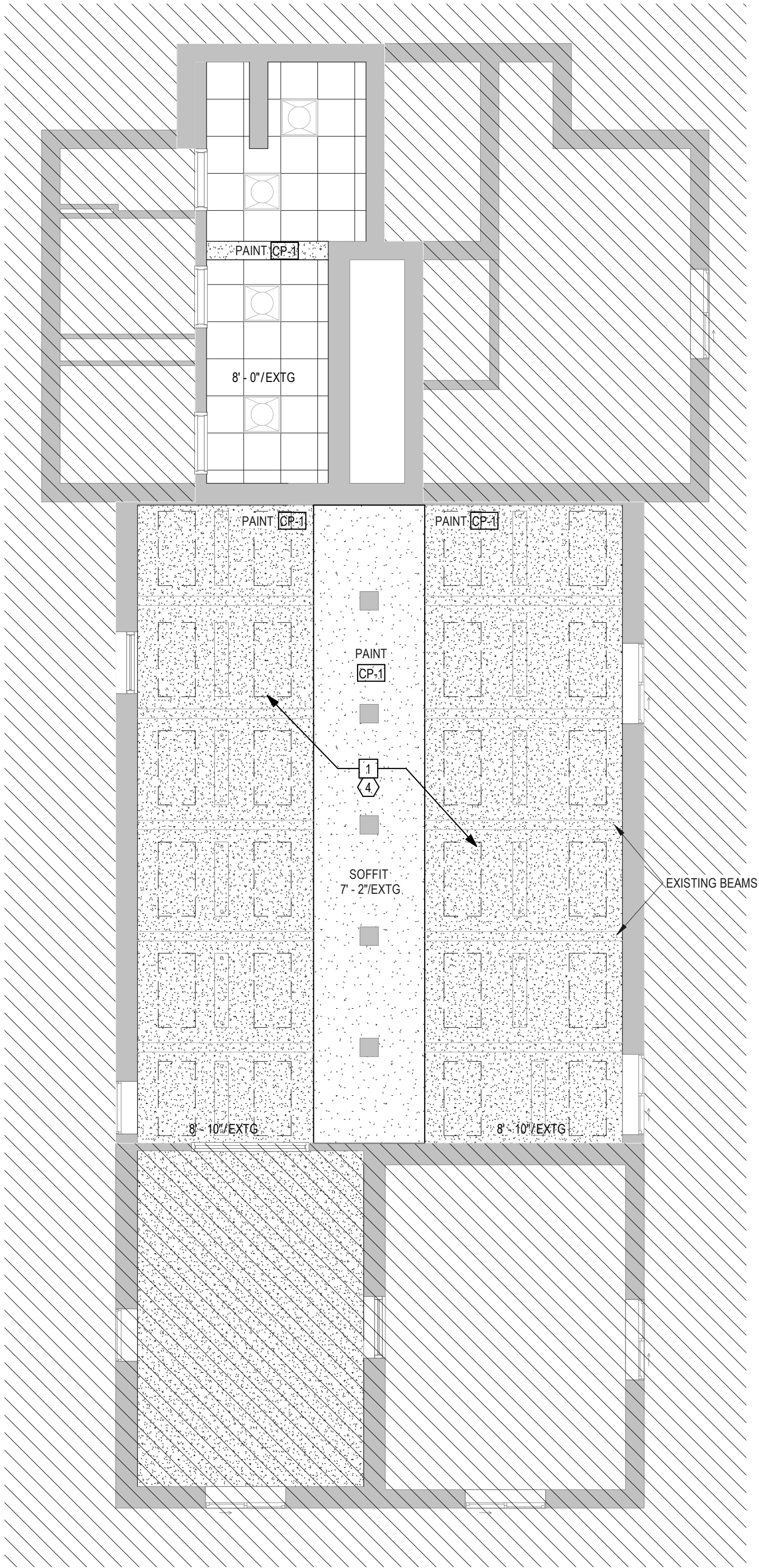
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# MAIN LEVEL CONSTRUCTION / DEMOLITION PLANS AND DETAILS




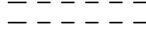
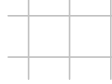
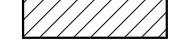

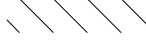








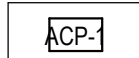

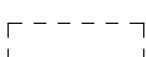
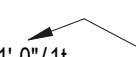


F9 MEDIA CENTER - BASEMENT DEMO/CONSTRUCTION PLAN  
3/16" = 1'-0"



F6 MEDIA CENTER - BASEMENT RCP  
3/16" = 1'-0"

## BASEMENT DEMOLITION & CONSTRUCTION LEGEND

 EXISTING ITEMS	 ITEMS TO BE DEMOLISHED
 EXISTING ACOUSTICAL CEILING	 HATCH DENOTES MILLWORK
 EXISTING GYPSUM CEILING	 OUT OF SCOPE HATCH
 EXISTING 2X2 RECESSED LIGHTING FIXTURE	 DEMOLITION KEYNOTE
 EXISTING 2X2 RECESSED LIGHTING FIXTURE	 NEW CONSTRUCTION KEYNOTE
 EXISTING SUSPENDED LINEAR FIXTURE	 FINISH TAG
 EXTENT OF NEW BASEBOARD RACEWAY	 EXTENT OF NEW WINDOW SHADES FURNISHED AND INSTALLED BY OWNER
 NEW TECTUM ACOUSTICAL PANELS	 NEW 4'X8' WHITEBOARDS, REFER TO CONST. NOTE 2
 EXISTING TECTUM PANELS TO BE REMOVED	 CEILING HEIGHT CEILING TYPE

## GENERAL NOTES - BASEMENT DEMOLITION

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND REMOVAL NECESSARY TO COMPLETE THE WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE REMOVAL AND PROPER DISPOSAL, INCLUDING ALL COSTS FOR CARRYING AND DUMPING, OF ALL MATERIAL DERIVED FROM THE PROJECT. THE CONTRACTOR SHALL PROVIDE OWNER WITH FIRST RIGHTS TO ALL MATERIALS, INCLUDING DOORS, HARDWARE, WINDOWS, PLUMBING FIXTURES, ETC., BEFORE REMOVING FROM SITE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH AND REPAIR ALL EXISTING, TO REMAIN AREAS AND SURFACES AS NOTED AND/OR SHOWN. THIS INCLUDES ALL WORK NECESSARY TO REPAIR SURFACES FROM THE PROJECT. THE CONTRACTOR SHALL FOLLOW IN CONSTRUCTION PHASE. MATCH ALL ADJACENT MATERIALS WHERE PATCHING OCCURS.
3. UNLESS NOTED OTHERWISE, ALL FLOOR SURFACES' FINISHES AND FLOORING BASE TRIM ARE TO BE REMOVED TO FLOOR SLAB AND DISCARDED. CLEAN AND PREPARE CONCRETE AS NECESSARY FOR REFINISHING.
4. IT IS NOT THE INTENT TO SHOW EVERY PIECE OR ITEM TO BE REMOVED IN DEMOLITION WORK. MECHANICAL, ELECTRICAL AND OR OTHER WORK RELATED TO A WALL OR AREA SCHEDULED FOR DEMOLITION AND REMOVAL SHALL BE PERFORMED WHETHER SO NOTED OR NOT. PROTECT ALL ITEMS INTENDED FOR SALVAGE AND REUSE OR SCHEDULED TO REMAIN.
5. PRESERVE AND PROTECT ALL FLOOR, WALL, AND CEILING FINISHES TO REMAIN WHERE POSSIBLE IN AREAS OF DEMOLITION. PATCH TO MATCH AS REQUIRED.
6. REPAIR ALL REMAINING WALLS, CEILINGS AND FLOOR SURFACES WHERE DEMOLITION OCCURS. THIS INCLUDES MEP AND OTHER NECESSARY WORK IN CEILINGS AND WALLS AT FLOOR BELOW.
7. DUST POLY WALL TO BE INSTALLED AROUND DEMO AREAS TO TRAP DUST/DEBRIS.
8. WALL-MOUNTED TACKBOARDS AND WHITEBOARDS ARE EXISTING TO REMAIN. WRAP AND PROTECT PRIOR TO CONSTRUCTION. DO NOT REMOVE FROM WALL IF FIXED.
9. ALL EXISTING TO REMAIN CASEWORK IS TO BE WRAPPED TO PROTECT DURING CONSTRUCTION, UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO EVALUATE FLOORING CONDITION BELOW CASEWORK AND COMMUNICATE AND COORDINATE WITH OWNER PRIOR TO INSTALLING NEW FLOORING.

## GENERAL NOTES - BASEMENT CONSTRUCTION

1. FIRE SAFE ALL PENETRATIONS IN RATED WALL ASSEMBLIES. SEE TYPICAL RATED WALL PENETRATION DETAIL.
2. ALIGN FACE OF NEW FINISH WITH FACE OF EXISTING FINISH AT ALL GYPSUM BOARD INFILL CONSTRUCTION UNLESS OTHER WISE NOTED.
3. VERIFY LOCATION OF ALL ACCESS PANELS WITH MEP EQUIPMENT.
4. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND ANY DISCREPANCIES SHALL BE PROMPTLY REPORTED TO THE ARCHITECT.
5. PATCH, REPAIR, AND REFINISH ALL SURFACES EXPOSED BY DEMOLITION WORK OR CUTTING TO ALIGN WITH EXISTING SURFACES SCHEDULED TO REMAIN OR NEW FINISHES SPECIFIED. REPAIR AND SKIM COAT EXISTING SUBFLOOR AS REQUIRED TO PREPARE FLOOR INSTALLATION OF NEW FLOOR FINISH. COORDINATE WITH FINISH PLAN AND MANUFACTURER'S REQUIREMENTS.
6. ALL EXISTING FINISHES REMAINING IN PLACE (CEILINGS, ETC.) SHALL BE CLEANED UTILIZING EFFECTIVE CLEANING METHODS WHICH WILL PRODUCE THE MOST DESIRABLE RESULTS POSSIBLE.
7. CAULK ALL JOINT OR CRACKS WHICH OCCUR WHERE DISSIMILAR MATERIALS INTERSECT PERPENDICULAR TO EACH OTHER AND THE INTERSECTION IS EXPOSED TO VIEW UNLESS INDICATED OTHERWISE ON THE DRAWINGS.

## GENERAL NOTES - BASEMENT CEILING

1. UNLESS OTHERWISE NOTED, ALL EXISTING CEILING GRID, CEILING TILE, AND LIGHT FIXTURES ARE TO REMAIN. GENERAL CONTRACTOR TO VERIFY ANY CONDITIONS THAT REQUIRE PATCHING IN THE FIELD. PATCH AND PAINT TO MATCH AS REQUIRED.
2. LIGHTING LAYOUT SHOWN FOR REFERENCE AND COORDINATION ONLY. COORDINATE WITH OWNER FOR WHICH FIXTURES ARE TO BE RELOCATED OR NEW.

## KEYNOTES - BASEMENT DEMOLITION

1.	REMOVE AND PROPERLY DISPOSE OF ALL EXISTING CEILING MOUNTED 2' x 4' TECTUM ACoustICAL PANELS. PATCH ANY DAMAGE TO CEILING THAT OCCURS DURING DEMO TO PREPARE FOR INSTALL OF NEW PANELS. SEE MATERIALS LIST FOR DETAILS.
2.	GENERAL CONTRACTOR TO CONFIRM PROBABILITY AND EXTENT OF VCT FLOOR TILE DEMOLITION AND COMMUNICATE WITH ARCHITECT TO COORDINATE NEW FLOORING INSTALLATION

## KEYNOTES - BASEMENT CONSTRUCTION

1.	NEW BASEBOARD RACEWAY WITH TAMPER RESISTANT RECEPTACLES. CONFIRM EXISTING PANEL LOADS AND CONNECTION TO ADJACENT WIRING. BASIS OF DESIGN: LEGRAND WIREMOLD ACCESS 5000 SERIES.
2.	LOCATION OF (2) NEW 4x6 WRITABLE MAGNETIC PANELS MOUNTED VERTICALLY TO WALL. BASIS OF DESIGN IS MAGNATAG WHITEWALLS MAGNETIC WHITEBOARD WALL PANEL SYSTEM. COORDINATED MOUNTING METHOD WITH G.C. IN THE FIELD.
3.	NEW WINDOW SHADES TO BE FURNISHED AND INSTALLED BY OWNER.
4.	INSTALL NEW ACOUSTIC CEILING PANELS TO MAXIMIZE COVERAGE OF HIGH CEILING BETWEEN BEAMS. REFER TO MATERIALS LIST.

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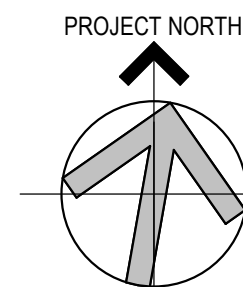
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[illegible]

Drawing Title

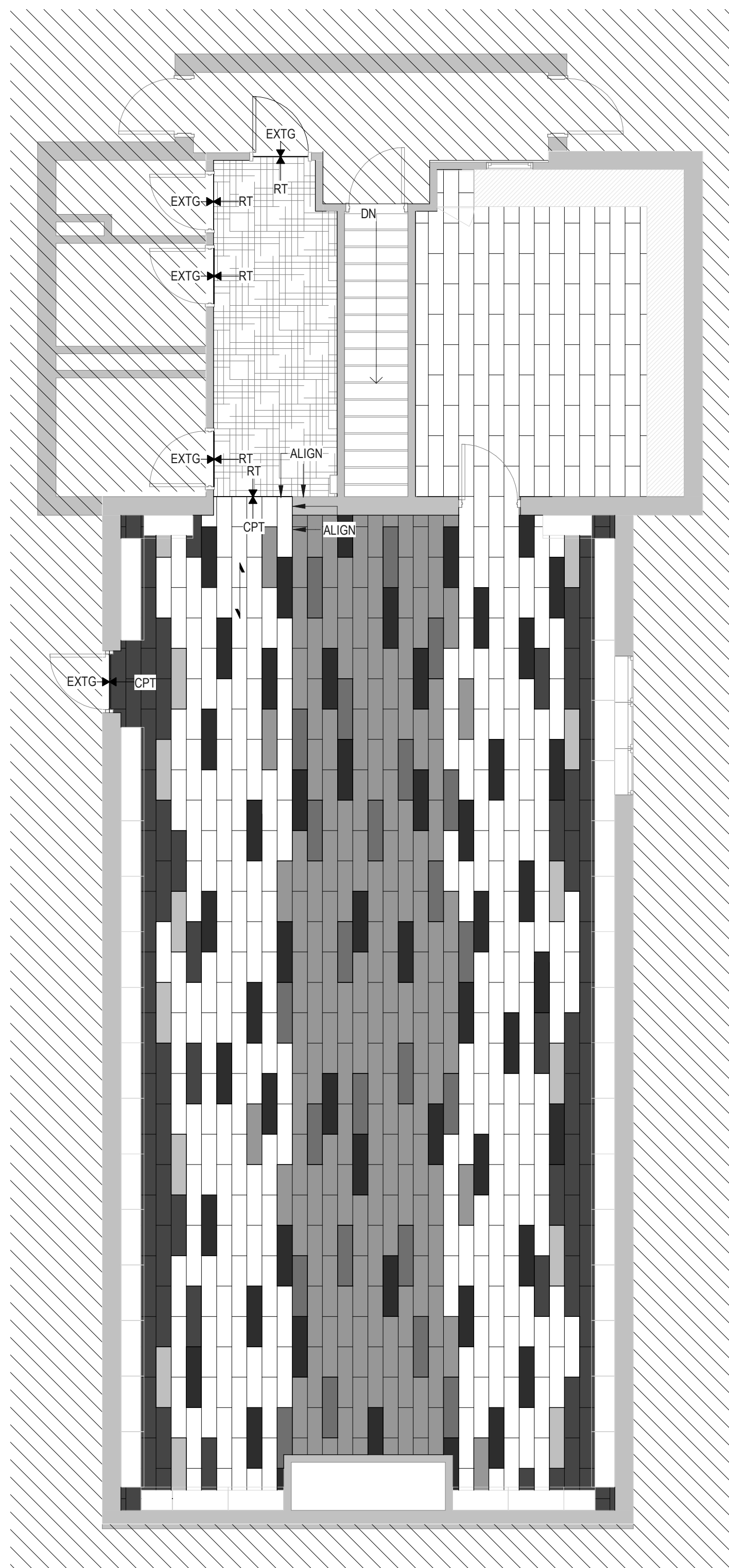
BASEMENT  
CONSTRUCTION  
/ DEMOLITION  
REFLECTED  
CEILING PLAN

Project Manager:	JH	Project No:	PRV03AR
Project Architect:	LB	Production Leader:	ZF
Project Designer:	AP	Peer Reviewer:	

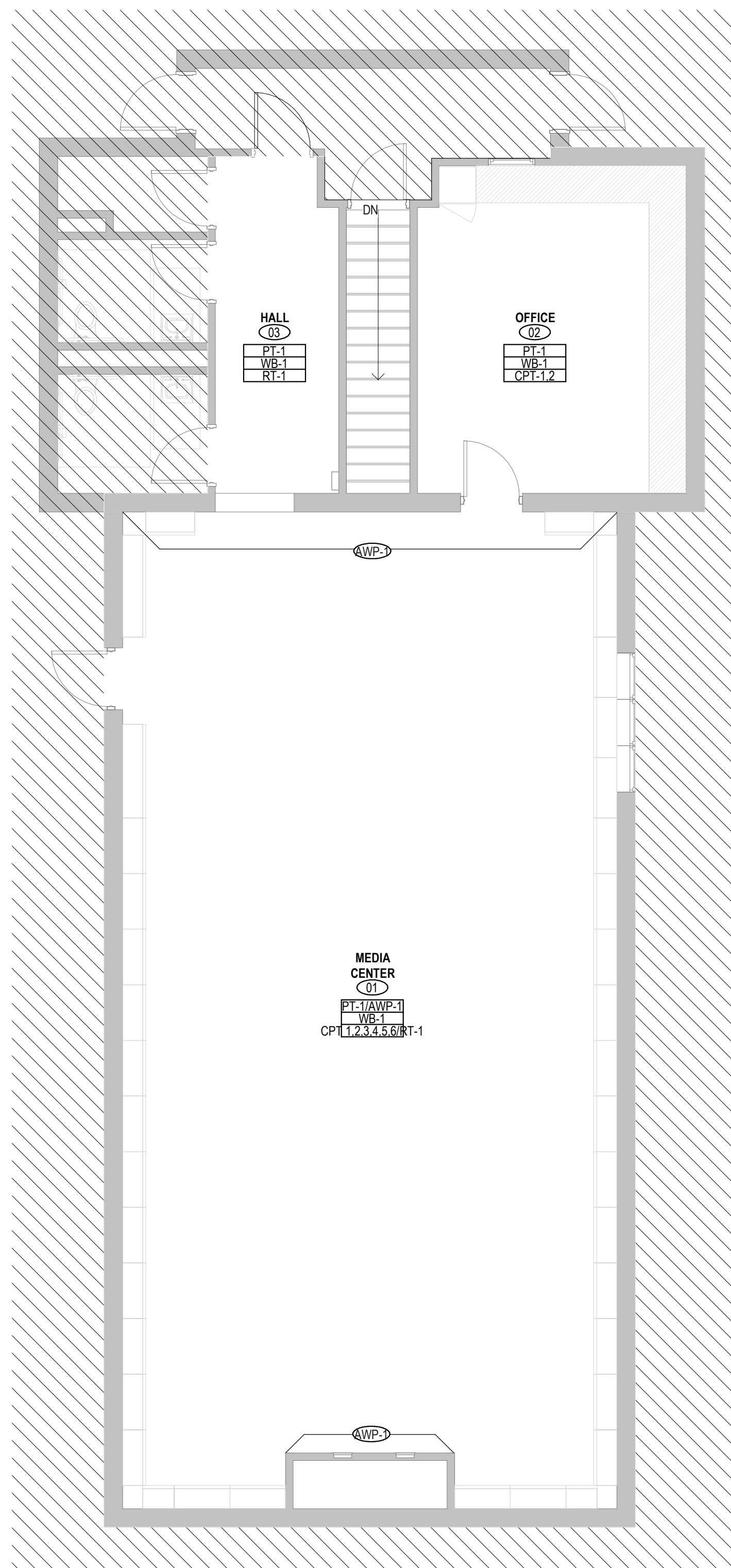
Drawing Number

## A2.11

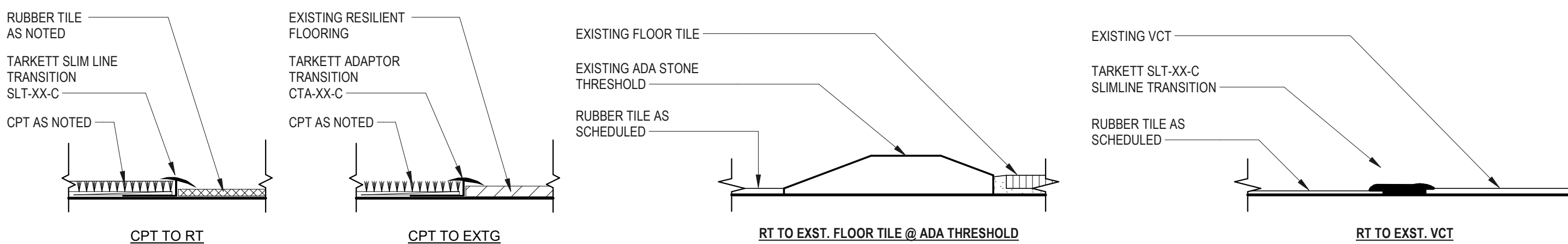




F9 MEDIA CENTER - MAIN LEVEL FINISH FLOORING DETAIL PLAN  
3/16" = 1'-0"




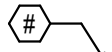
**F6 MEDIA CENTER - MAIN LEVEL FINISH PLAN**  
3/16" = 1'-0"



## H9 FLOORING TRANSITION DETAILS

## FINISHES LEGEND

 EXISTING ITEMS

 FINISH KEYNOTE

**ROOM NAME**


WALL
BASE
FLOOR


ROOM NUMBER


WALL FINISH / MATERIAL


WALL BASE MATERIAL


FLOORING MATERIAL

 FLOORING MATERIAL

 NEW CONSTRUCTION

 HATCH DENOTES MILLWORK

 ACCENT WALL TAG - INDICATES LOCATION OF ACCENT WALL (WHEN MULTIPLE COLORS IDENTIFIED IN ONE ROOM)

 DIRECTION OF PLANKS

### GENERAL NOTES - MAIN LEVEL FINISHES

1. FOR ROOMS WITH MULTIPLE WALL FINISHES CALLED OUT REFER TO INTERIOR ELEVATIONS. FOR ROOMS WITH MULTIPLE FLOORING FINISHES CALLED OUT REFER TO FINISH DETAIL PLANS.
2. FOR INTERIOR PAINT FINISHES
  - ALL INTERIOR WALLS TO BE EGGSHELL FINISH, UNLESS EPOXY FINISH IS NOTED.
  - ALL PAINTED METAL TO BE SEMI-GLOSS FINISH, UNLESS EPOXY FINISH IS NOTED.
3. FLOOR FINISHES TO EXTEND UNDER CASEWORK.
4. ALL EXISTING WOOD DOOR FINISHES ARE EXISTING TO REMAIN.
5. ALL EXISTING DOOR FRAMES ONLY ARE TO BE PAINTED PT-3. REFER TO MATERIALS LIST.
6. ALL WINDOW FRAMES ARE EXISTING TO REMAIN. DO NOT PAINT / RE-FINISH. COORDINATE EXISTING FRAME PAINT COLOR / FINISH WITH OWNER. TOUCH-UP ANY DAMAGE CAUSED DURING CONSTRUCTION.
7. ALL FINISHES IN "OUT OF SCOPE" REGION ARE EXISTING TO REMAIN.

### MAIN LEVEL FLOORING INSTALL LEGEND

Figure 1 displays seven schematic diagrams of CPT and RT test patterns. The patterns are arranged in two rows. The top row contains CPT-1 (2x2 grid), CPT-2 (2x3 grid), CPT-3 (3x3 grid), and CPT-4 (2x2 grid with darker shading). The bottom row contains CPT-5 (2x2 grid with darker shading), CPT-6 (3x3 grid with darker shading), and RT-1 (4x4 grid with a complex internal pattern).

## MAIN LEVEL MATERIALS LIST

<u>CARPET</u>		<u>PAINT</u>	
CPT-1	ITEM: CARPET TILE	PT-1	MFR: BENJAMIN MOORE
	MFR: FORBO		PRODUCT: ULTRA SPEC SCUFF-X
CPT-2	COLLECTION: FLOTEX COLOUR	PT-3	EGGSHELL #486
	PRODUCT: METRO PLANK		CHANTILLY LACE 2121-70
	COLOR: GREY P946006		ALL WALLS, U.O.N.
	SIZE: 9.48" x 39.37"		
	INSTALL: ASHLAR		
	LOCATION: AS NOTED		
CPT-3	ITEM: CARPET TILE	PT-4	MFR: BENJAMIN MOORE
	MFR: FORBO		PRODUCT: ADVANCE W.B. INTERIOR
	COLLECTION: FLOTEX COLOUR		ALLOY SEMI-GLOSS FINISH
	PRODUCT: METRO PLANK		TBD TO MATCH EXISTING
	COLOR: ASH P946007		COORDINATE (IN FIELD)
	SIZE: 9.48" x 39.37"		DOOR FRAMES, AS NOTED
CPT-4	INSTALL: ASHLAR	PT-5	NOTE: TO BE PAINTED
	LOCATION: AS NOTED		PT-2.
	NOTE: CUT TO 9.48" x 39.37" SIZE IN		
	FIELD TO MATCH PLANKS INSTALLED		
	ADJACENT.		
CPT-5	ITEM: CARPET SHEET	<u>WALL BASE</u>	
	MFR: FORBO	WB-1	ITEM: RUBBER WALL BASE
	COLLECTION: FLOTEX COLOUR		MFR: TARKETT
	PRODUCT: METRO SHEET	WB-2	PRODUCT: TRADITIONAL DURACOVE
	COLOR: EVERGREEN S246037		1/8" THERMOPLASTIC
	SIZE: 9.48" x 39.37"	WB-3	RUBBER (TYPE TP)
CPT-6	INSTALL: ASHLAR		COLOR: COOL METAL LVA
	LOCATION: AS NOTED	WB-4	SIZE: 6"X COVE, 120" ROLL
	NOTE: CUT TO 9.48" x 39.37" SIZE IN		LOCATION: THROUGHOUT, U.O.N.
	FIELD TO MATCH PLANKS INSTALLED	WB-5	
	ADJACENT.		
CPT-7	ITEM: CARPET SHEET	<u>RUBBER TILE</u>	
	MFR: FORBO	RT-1	ITEM: RUBBER TILE
	COLLECTION: FLOTEX COLOUR		MFR: NORA
	PRODUCT: METRO SHEET	RT-2	COLLECTION: NORAPLAN
	COLOR: EVERGREEN S246022		PRODUCT: ENVIRONCARE
	SIZE: 9.48" x 39.37"	RT-3	COLOR: BIKE RIDE 7040
CPT-8	INSTALL: ASHLAR		SIZE: 24" x 24"
	LOCATION: AS NOTED	RT-4	THICKNESS: 2MM
	NOTE: CUT TO 9.48" x 39.37" SIZE IN		INSTALL: RANDOM
	FIELD TO MATCH PLANKS INSTALLED	RT-5	LOCATION: MAKER SPACE
	ADJACENT.		
CPT-9	ITEM: CARPET TILE	<u>ACOUSTIC WALL PANELS</u>	
	MFR: FORBO	AWP-1	ITEM: ACOUSTIC WALL PANEL
	COLLECTION: FLOTEX COLOUR		MFR: PERFORMANCE
	PRODUCT: METRO PLANK	AWP-2	PRODUCT: SOLID WALL PANELS
	COLOR: LAGOON P946020		SHAPE: DIAMOND
	SIZE: 9.48" x 39.37"	AWP-3	SIZE: 1" THICK, 6"W x 10.39"W
CPT-10	INSTALL: ASHLAR		COLOR: MINIMUM OF 8
	LOCATION: AS NOTED	AWP-4	PATTERN: TBD, COORDINATE W/ MFR.
	NOTE: CUT TO 9.48" x 39.37" SIZE IN		INSTALL: TO BE INSTALLED FROM
	FIELD TO MATCH PLANKS INSTALLED	AWP-5	5'-6" AFF TO 8'-5" AFF IN
	ADJACENT.		LOCATIONS IDENTIFIED.

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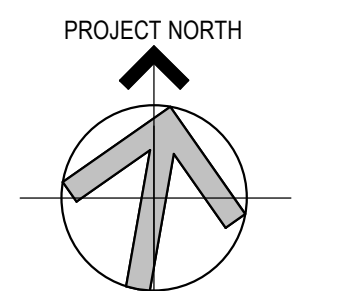
**PROVIDENCE PUBLIC  
SCHOOLS**

797 WESTMINSTER ST  
PROVIDENCE, RI 02903

Project

**VARTAN GREGORIAN  
ELEMENTARY SCHOOL**

455 WICKENDEN ST  
PROVIDENCE, RI  
02903



## Seals

## RFP SET

## Issues / Revisions

[illegible]

Drawing Title

# MAIN LEVEL MATERIALS LIST AND FINISH DETAILS

Project Manager:	JH	Project No:	PRV03AR
Project Architect:	LB	Production Leader:	ZF
Project Designer:	AP	Peer Reviewer:	

Drawing Number

## 11.10





BASEMENT MATERIALS LIST			
<b><u>RUBBER TILE (FIELD)</u></b>		<b><u>PAINT</u></b>	
RT-1	ITEM: RUBBER TILE MFR: NORA COLLECTION: NORAPLAN PRODUCT: ENVIRONCARE COLOR: BKE RIDE 7040 SIZE: 24" x 24" THICKNESS: 2MM INSTALL: RANDOM LOCATION: MAKER SPACE	PT-1	MFR: BENJAMIN MOORE PRODUCT: ULTRA SPEC SCUFF-X EGGSHELL #485 COLOR: CHANTILLY LACE 2121-70 LOCATION: ALL WALLS, U.O.N.
<b><u>RUBBER TILE (ACCENT)</u></b>		PT-2	
RT-2	ITEM: RUBBER TILE MFR: NORA COLLECTION: NORAPLAN PRODUCT: ENVIRONCARE COLOR: WATER PARK SIZE: 24" x 24" THICKNESS: 2MM INSTALL: RANDOM LOCATION: (10% INFILL) MAKER SPACE	MFR: BENJAMIN MOORE PRODUCT: ULTRA SPEC SCUFF-X EGGSHELL #485 COLOR: TBD (GREY) LOCATION: BASEMENT COLUMNS	
RT-3	ITEM: RUBBER TILE MFR: NORA COLLECTION: NORAPLAN PRODUCT: ENVIRONCARE COLOR: LEAP FROG SIZE: 24" x 24" THICKNESS: 2MM INSTALL: RANDOM LOCATION: (10% INFILL) MAKER SPACE	PT-3	
		MFR: BENJAMIN MOORE PRODUCT: ADVANCE W.B. INTERIOR ALKYD SEMI-GLOSS FINISH COLOR: TBD (TO MATCH EXISTING. COORDINATE IN FIELD) LOCATION: DOOR FRAMES, AS NOTED NOTE: ALL EXISTING DOOR FRAMES TO BE PAINTED PT-3.	
		CP-1	
		MFR: BENJAMIN MOORE PRODUCT: ULTRA SPEC 500 INTERIOR FLAT # N53E COLOR: TBD (WHITE) LOCATION: ALL GYP. BOARD CEILINGS	
		<b><u>WALL BASE</u></b>	
		WB-1	
		ITEM: RUBBER WALL BASE MFR: TARKETT	

[illegible]

Drawing Title

**BASEMENT  
MATERIALS LIST  
AND FINISH  
DETAILS**

Project Manager:	JH	Project No:	PRV03AR
Project Architect:	LB	Production Leader:	ZF
Project Designer:	AP	Peer Reviewer:	

Drawing Number

## 11.11

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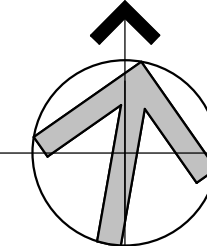
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PROVIDENCE, RI 02903

Project

**VARTAN GREGORIAN  
ELEMENTARY SCHOOL**

455 WICKENDEN ST  
PROVIDENCE, RI  
02903

PROJECT NORTH



## Seals

## RFP SET

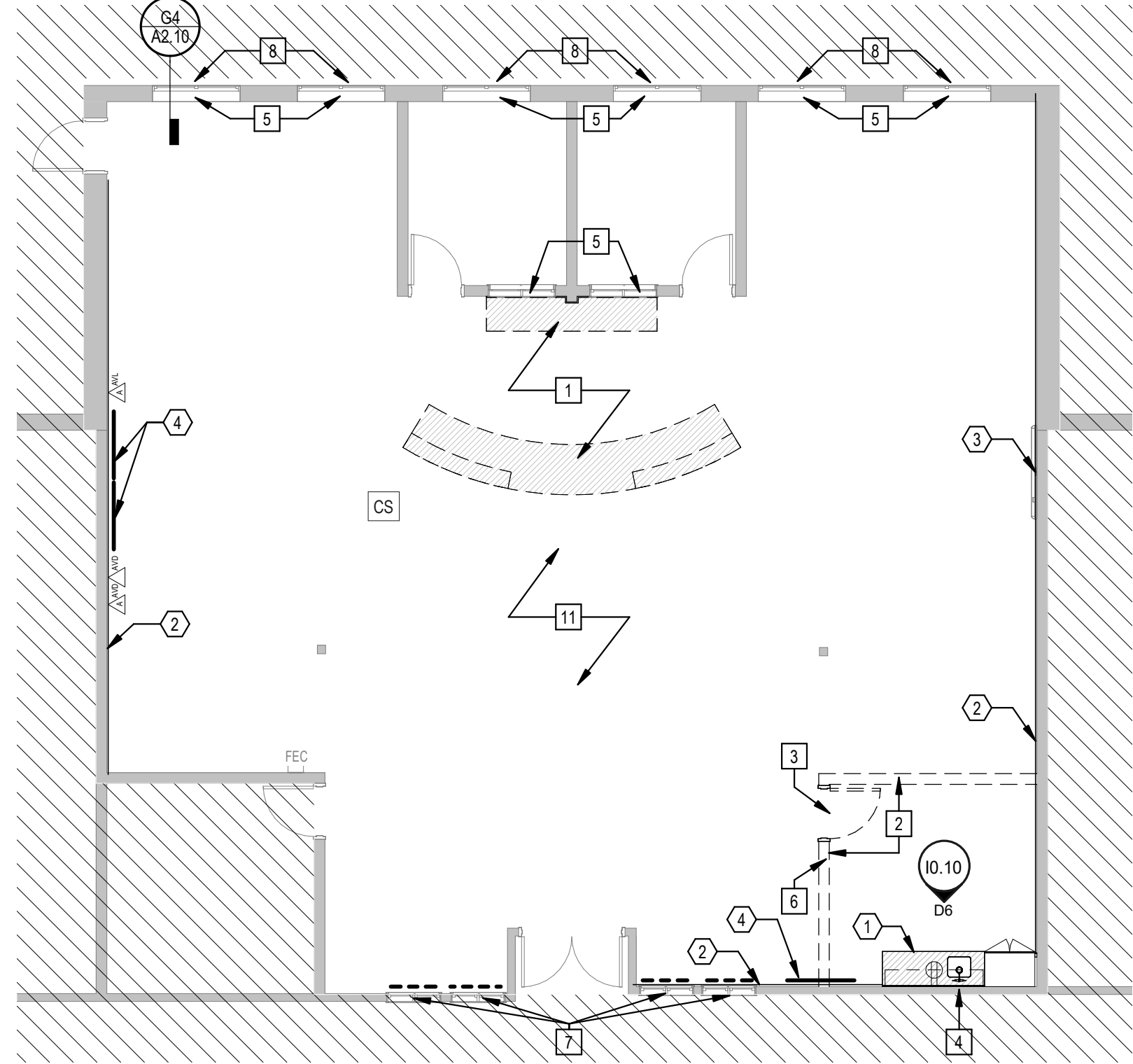
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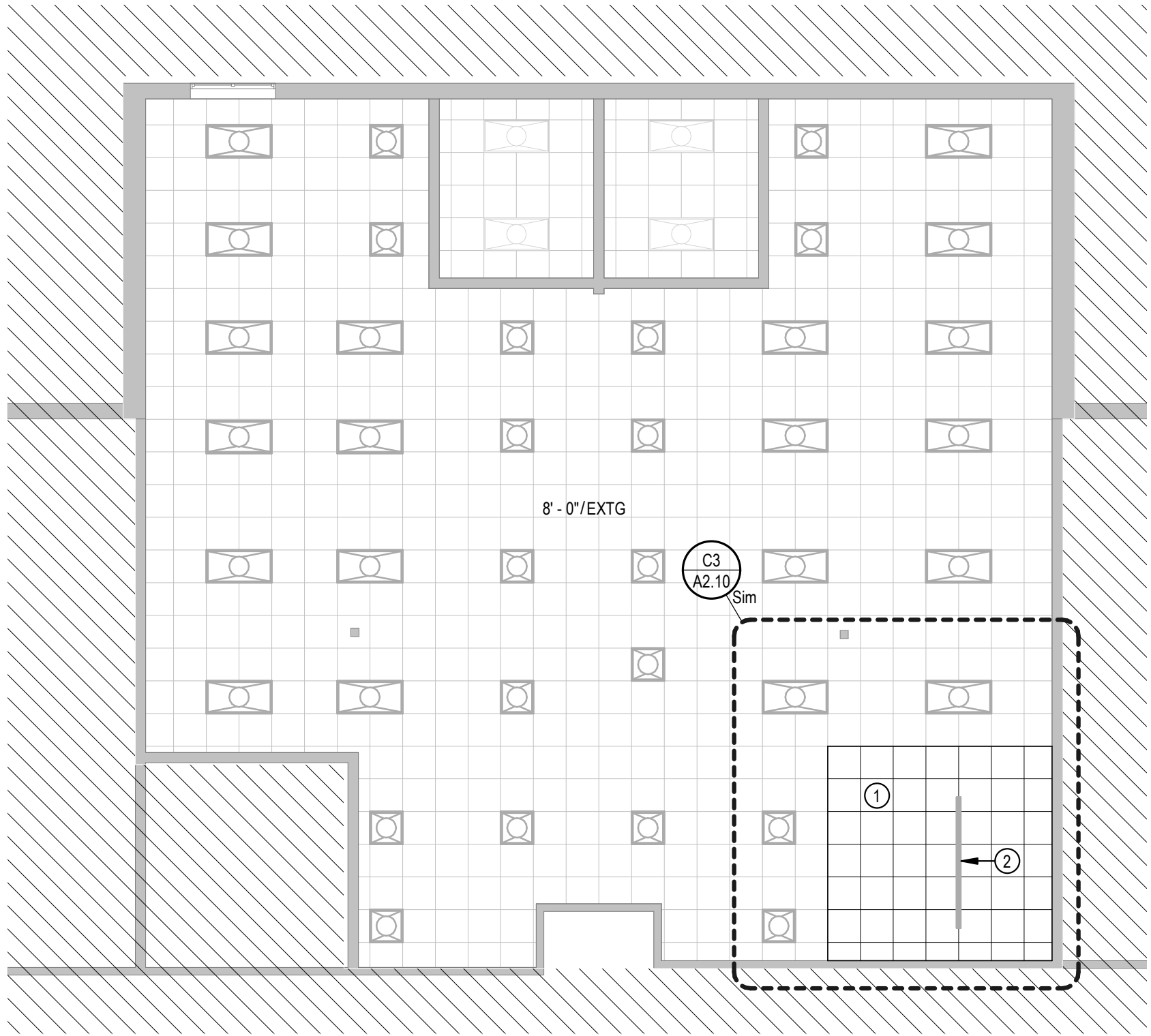


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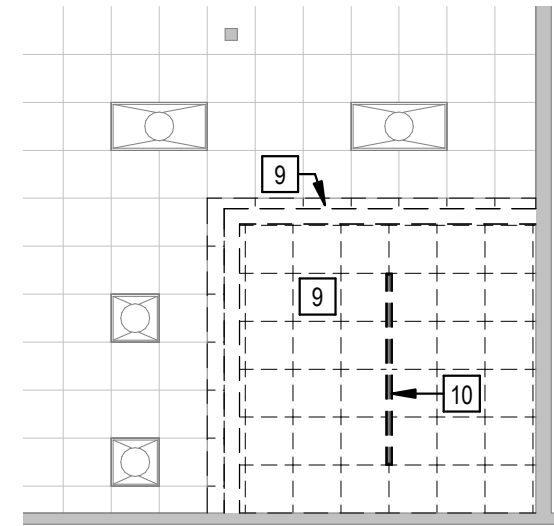
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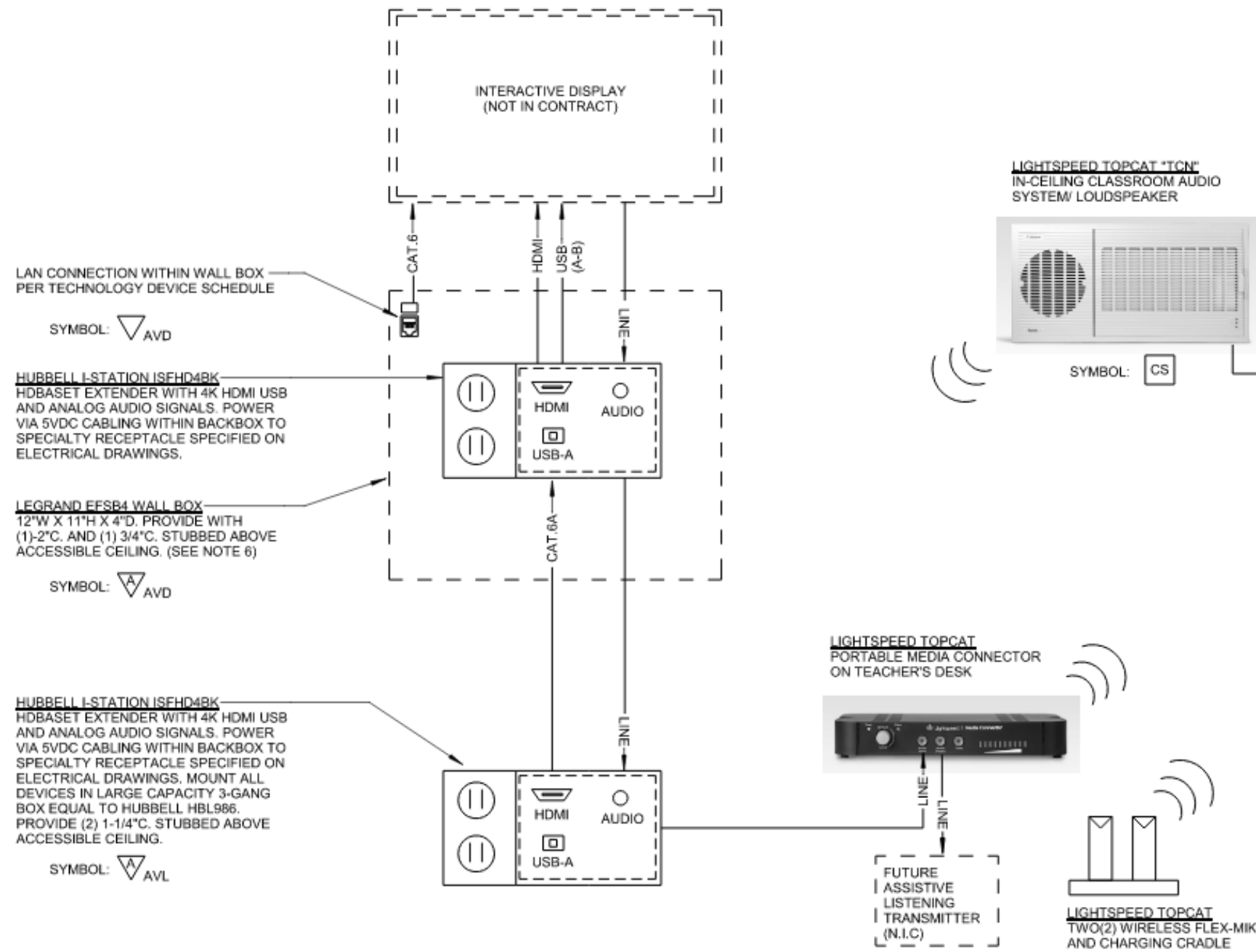
**C10** MEDIA CENTER DEMO/CONSTRUCTION PLAN  
1/8" = 1'-0"



**C6** MEDIA CENTER - RCP  
1/8" = 1'-0"



**C3** MEDIA DEMO RCP  
1/8" = 1'-0"



**G10** AV SYSTEM DETAIL  
NOT TO SCALE

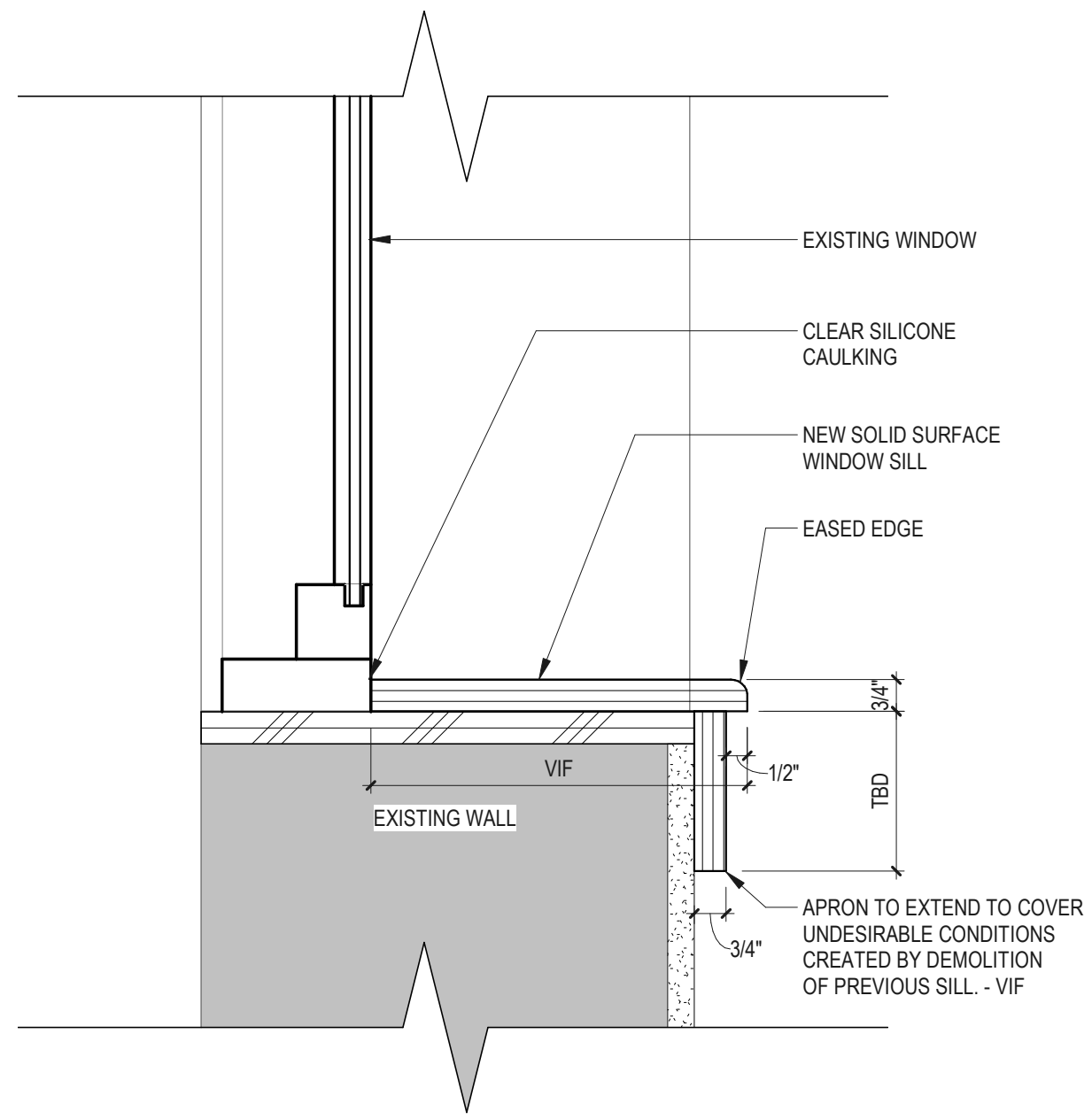
**GENERAL NOTES**  
1. WIRING INDICATED ON THE RISER DIAGRAM IS DIAGRAMMATIC ONLY AND IS NOT INDICATED TO INDICATE ROUTING OR QUANTITIES OF WIRES REQUIRED. PROVIDE ALL WIRING, INTERCONNECTION, MOUNTING EQUIPMENT, ETC. FOR A COMPLETE SYSTEM PER MANUFACTURER REQUIREMENTS. REFER TO FLOOR PLANS FOR LOCATIONS OF DEVICES.  
2. PROVIDE ALL NECESSARY ADAPTERS, CONVERTERS, CONNECTORS, ETC. FOR A COMPLETE SYSTEM.  
3. REFER TO SPECIFICATIONS FOR ACCEPTABLE ALTERNATE MANUFACTURERS AND ADDITIONAL REQUIRED EQUIPMENT.  
4. PROVIDE CONNECTIONS TO FIRE ALARM SYSTEM TO MUTE SPEAKER IN THE EVENT OF BUILDING FIRE ALARM. PROVIDE CONNECTIONS FROM FIRE ALARM CONTROL MODULE TO DRY-CONTACT INPUT WITHIN CLASSROOM SPEAKER.  
5. PROVIDE ONE FIRE ALARM CONTROL MODULE PER SPEAKER. PROVIDE INPUT TO CLASSROOM SOUND SYSTEM SPEAKER FROM LOCAL PUBLIC ADDRESS LOOP. CLASSROOM SPEAKER SHALL SENSE IF A VOLTAGE IS APPLIED TO THE P.A. SPEAKER, AND SHALL MUTE IN THE EVENT OF A PAGE. PROVIDE INDUCTION CLIP AND WIRING TO "MUTE" FUNCTION OF CLASSROOM SPEAKER.  
6. WALL BOX SHALL BE MOUNTED DIRECTLY BEHIND VIDEO DISPLAY MONITOR. LOCATE WALL BOX SUCH THAT IT IS LOCATED ON THE SAME SIDE OF THE MONITOR AS THE INPUT/OUTPUT CONNECTIONS TO THE MONITOR AND IS FREE AND CLEAR OF FIXED MOUNTING ARMS ON THE MONITOR MOUNT. COORDINATE FINAL LOCATION WITH APPROVED MONITOR AND MOUNTING BRACKET PRIOR TO ROUGH-IN.

**KEYNOTES - CEILINGS**

1	INSTALLATION OF NEW 2x4 CEILING GRID TO MATCH EXISTING. NEW GRID TO MEET EXISTING AT THE FIRST FULL TILE. REFER TO DEMO RCP FOR MORE INFORMATION.
2	RELOCATE EXISTING CEILING MOUNTED LINEAR FIXTURE IN LOCATION SPECIFIED BY OWNER.

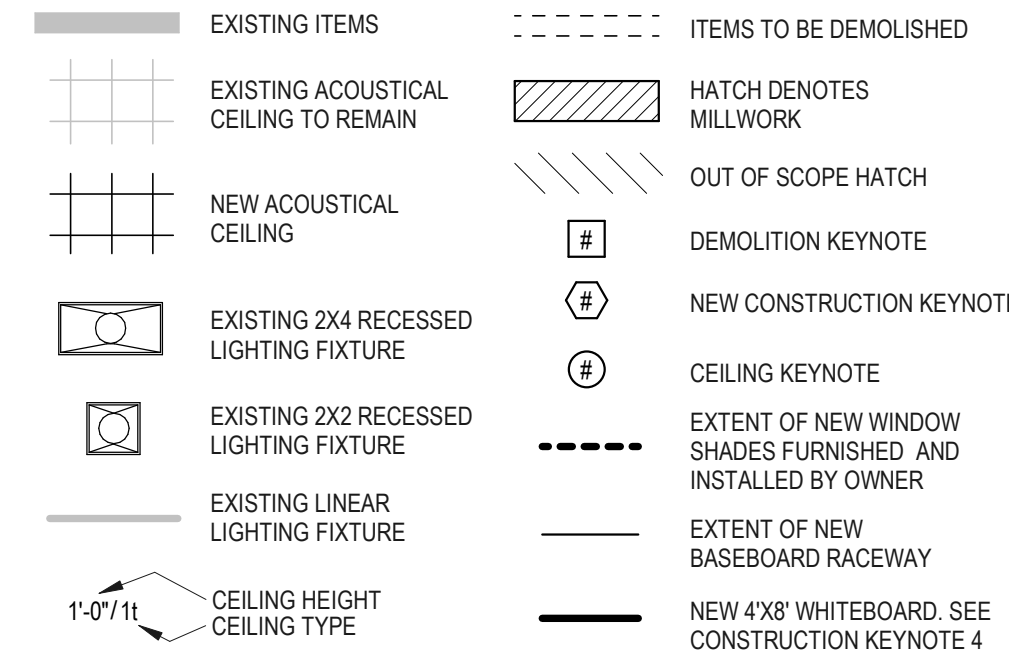
**KEYNOTES - CONSTRUCTION**

1	NEW MILLWORK AND SINK TO BE INSTALLED. REFER TO ELEVATIONS.
2	NEW BASEBOARD RACEWAY WITH TAMPER RESISTANT RECEPTACLES. CONFIRM EXISTING PANEL LOADS AND CONNECTION TO ADJACENT WIRING. BASIS OF DESIGN: LEGRAND WIREMOLD ACCESS 5000 SERIES.
3	EXISTING SMARTBOARD TO REMAIN. TO BE REMOVED PRIOR TO PAINTING AND REINSTALLED. REFER TO FINISH NOTES.
4	LOCATION OF NEW 4x8 WRITABLE MAGNETIC PANELS MOUNTED VERTICALLY TO WALL (3 TOTAL). BASIS OF DESIGN IS MAGNATAG WHITEWALLS MAGNETIC WHITEBOARD WALL PANEL SYSTEM. COORDINATE MOUNTING METHOD WITH G.C. IN THE FIELD.



**G4** NEW WINDOW SILL DETAIL  
3" = 1'-0"

**DEMOLITION & CONSTRUCTION LEGEND**



**GENERAL NOTES - DEMOLITION**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND REMOVAL NECESSARY TO COMPLETE THE WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE REMOVAL AND PROPER DISPOSAL, INCLUDING ALL COSTS FOR CARRYING AND DUMPING, OF ALL MATERIAL DEMOLISHED FROM THE PROJECT. THE CONTRACTOR SHALL PROVIDE OWNER WITH FIRST RIGHTS TO ALL MATERIALS, INCLUDING DOORS, HARDWARE, WINDOWS, PLUMBING FIXTURES, ETC., BEFORE REMOVING FROM SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH AND REPAIR ALL EXISTING, TO REMAIN AREAS AND SURFACES AS NOTED AND/OR SHOWN. THIS INCLUDES ALL WORK NECESSARY TO READY SURFACES FOR NEW FINISH (N.I.C.) TO FOLLOW IN CONSTRUCTION PHASE. MATCH ALL ADJACENT MATERIALS WHERE PATCHING OCCURS.
- ALL WALLS SHOWN DASHED ARE TO BE REMOVED AND DISCARDED, UNLESS OTHERWISE NOTED. ANY WALL OR SURFACE BEING WORKED ON SHALL BE PATCHED AND REPAIRED WITH A COMPLETE FINISH TO THE NEAREST CORNER, CHANGE OF PLANE OR OTHER JUNCTURE WHICH ALLOWS FOR A SMOOTH AND CLEAN TRANSITION FROM THE NEWLY FINISHED SURFACE TO THE SURROUNDING EXISTING SURFACES (THE INTENT IS TO AVOID THE APPEARANCE OF A PATCHED CONDITION).
- UNLESS NOTED OTHERWISE, ALL FLOOR SURFACES/ FINISHES AND FLOORING BASE TRIM ARE TO BE REMOVED TO FLOOR SLAB AND DISCARDED. CLEAN AND PREPARE CONCRETE AS NECESSARY FOR REFINISHING.
- IT IS NOT THE INTENT TO SHOW EVERY PIECE OR ITEM TO BE REMOVED IN DEMOLITION WORK. MECHANICAL, ELECTRICAL AND OR OTHER WORK RELATED TO A WALL OR AREA SCHEDULED FOR DEMOLITION AND REMOVAL SHALL BE PERFORMED WHETHER SO NOTED OR NOT. PROTECT ALL ITEMS INTENDED FOR SALVAGE AND REUSE OR SCHEDULED TO REMAIN.
- WHEN WALLS, COLUMNS, ROOF CONSTRUCTION, OR OTHER SUPPORTING AND / OR BRACING ELEMENTS ARE SCHEDULED FOR DEMOLITION, TEMPORARY STRUCTURAL SUPPORTS AND BRACING FOR THE ADJACENT CONSTRUCTION SHALL BE PROVIDED AND MAINTAINED UNTIL THE PERMANENT STRUCTURES ARE IN PLACE AND ABLE TO SUPPORT THE IMPOSED LOADS.
- PRESERVE AND PROTECT ALL WALL, AND CEILING FINISHES TO REMAIN WHERE POSSIBLE IN AREAS OF DEMOLITION. PATCH TO MATCH AS REQUIRED.
- REPAIR ALL REMAINING WALLS, CEILINGS AND FLOOR SURFACES WHERE DEMOLITION OCCURS. THIS INCLUDES MEP AND OTHER NECESSARY WORK IN CEILINGS AND WALLS AT FLOOR BELOW.
- DOORS SHOWN DASHED ARE TO BE REMOVED AND RETURNED TO OWNER, INCLUDING FRAMES AND HARDWARE, EXCEPT WHERE OTHERWISE NOTED.
- DUST POLY WALL TO BE INSTALLED AROUND DEMO AREAS TO TRAP DUST/DEBRIS.
- WHEREVER A WALL IS BEING DEMOLISHED ADJACENT TO AN EXISTING WALL, GENERAL CONTRACTOR IS TO PATCH AND REPAIR ADJACENT SURFACE TO PROVIDE "LIKE NEW" CONDITION.

**GENERAL NOTES - CONSTRUCTION**

- FIRE SAFE ALL PENETRATIONS IN RATED WALL ASSEMBLIES. SEE TYPICAL RATED WALL PENETRATION DETAIL.
- ALIGN FACE OF NEW FINISH WITH FACE OF EXISTING FINISH AT ALL GYPSUM BOARD INFILL CONSTRUCTION UNLESS OTHERWISE NOTED.
- VERIFY LOCATION OF ALL ACCESS PANELS WITH MEP EQUIPMENT.
- ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND ANY DISCREPANCIES SHALL BE PROMPTLY REPORTED TO THE ARCHITECT.
- PATCH, REPAIR, AND REFINISH ALL SURFACES EXPOSED BY DEMOLITION WORK OR CUTTING TO ALIGN WITH EXISTING SURFACES SCHEDULED TO REMAIN OR NEW FINISHES SPECIFIED. REPAIR AND SKIM COAT EXISTING SUB FLOOR AS REQUIRED TO PREPARE FLOOR FOR INSTALLATION OF NEW FLOOR FINISH. COORDINATE WITH FINISH PLAN AND MANUFACTURER'S REQUIREMENTS.
- ALL EXISTING FINISHES REMAINING IN PLACE (I.E. CEILINGS, ETC.) SHALL BE CLEANED UTILIZING EFFECTIVE CLEANING METHODS WHICH WILL PRODUCE THE MOST DESIRABLE RESULTS POSSIBLE.
- CAULK ALL JOINT OR CRACKS WHICH OCCUR WHERE DISSIMILAR MATERIALS INTERSECT PERPENDICULAR TO EACH OTHER AND THE INTERSECTION IS EXPOSED TO VIEW UNLESS INDICATED OTHERWISE ON THE DRAWINGS.

**GENERAL NOTES - CEILING**

- UNLESS OTHERWISE NOTED, ALL EXISTING CEILING GRID, CEILING TILE, AND LIGHT FIXTURES ARE TO REMAIN.
- UNLESS SPECIFICALLY NOTED OTHERWISE, ALL CEILING GRIDS AND LIGHTING SHALL BE CENTERED, WITH BALANCED CUTS.
- ALL CEILING ITEMS ARE TO BE CENTERED IN 2x4, 2x2 OR IMPLIED 2x2 CEILING TILE, WHICHEVER APPLIES. THIS PLAN IS INTENDED FOR COORDINATION AND LOCATION PURPOSES ONLY. SEE MEP FOR SPECIFIC CEILING MOUNTED ITEMS.
- LIGHTING LAYOUT SHOWN FOR REFERENCE AND COORDINATION ONLY. COORDINATE WITH OWNER FOR WHICH FIXTURES ARE TO BE RELOCATED OR NEW.
- LIGHTING LAYOUT SHOWN FOR REFERENCE AND COORDINATION ONLY. COORDINATE WITH OWNER FOR WHICH FIXTURES ARE TO BE RELOCATED OR NEW.

**KEYNOTES - DEMOLITION**

1	EXISTING MILLWORK CIRCULATION DESK AND STORAGE TO BE DEMOLISHED ENTIRELY. SUB FLOOR PATCHED AND REPAIRED WHERE DAMAGED IN PREPARATION FOR NEW FLOORING.
2	EXISTING CMU WALLS TO BE DEMOLISHED UP TO UNDERSIDE OF FLOOR ABOVE. REFER TO DEMO RCP FOR MORE INFORMATION ON CEILING TILE DEMOLITION.
3	ALL DOORS SHOWN DASHED ARE TO BE REMOVED AND RETURNED TO OWNER, INCLUDING FRAMES AND HARDWARE EXCEPT WHERE NOTED OTHERWISE.
4	DEMO WALL AS REQUIRED TO TIE IN PLUMBING FOR NEW SINK TO EXISTING TOILETS ACROSS THE HALL.
5	EXISTING WINDOW SHADES TO BE REMOVED AND STORED BY OWNER FOR REINSTALLATION.
6	CAREFULLY REMOVE & RELOCATE EXISTING THERMOSTAT TO CLOSEST WALL - NEAR NEW MILLWORK.
7	REMOVE AND DISCARD EXISTING WINDOW FILM.
8	DEMO EXISTING LAMINATE WINDOW SILLS AND PREP FOR INSTALLATION OF NEW SOLID SURFACE SILL. SEE DETAIL.
9	DEMOLISH EXISTING 2x2 CEILING GRID BACK TO NEXT FULL TILE TO PREPARE FOR CONTINUATION OF NEW 2x2 CEILING GRID.
10	REMOVE AND STORE EXISTING CEILING MOUNTED LINEAR FIXTURE BEFORE DEMOLITION. COORDINATE WITH OWNER FOR WHICH FIXTURES ARE TO BE RELOCATED OR NEW.
11	GENERAL CONTRACTOR TO CONFIRM PROBABILITY AND EXTENT OF EXISTING VCT FLOOR TILE DEMOLITION AND COMMUNICATE WITH ARCHITECTS TO COORDINATE NEW FLOORING INSTALLATION.

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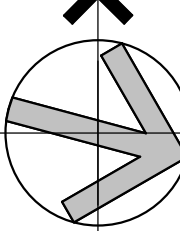
797 WESTMINSTER ST  
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Project

**ANTHONY CARNEVALE ELEMENTARY SCHOOL**

50 SPRINGFIELD STREET  
PROVIDENCE, RI 02909

PROJECT NORTH



Seals

**RFP PLAN**

**Issues / Revisions**

No.	Date	Description
	02/14/2023	RFP SET

Drawing Title

**DEMOLITION / CONSTRUCTION PLANS & DETAILS**

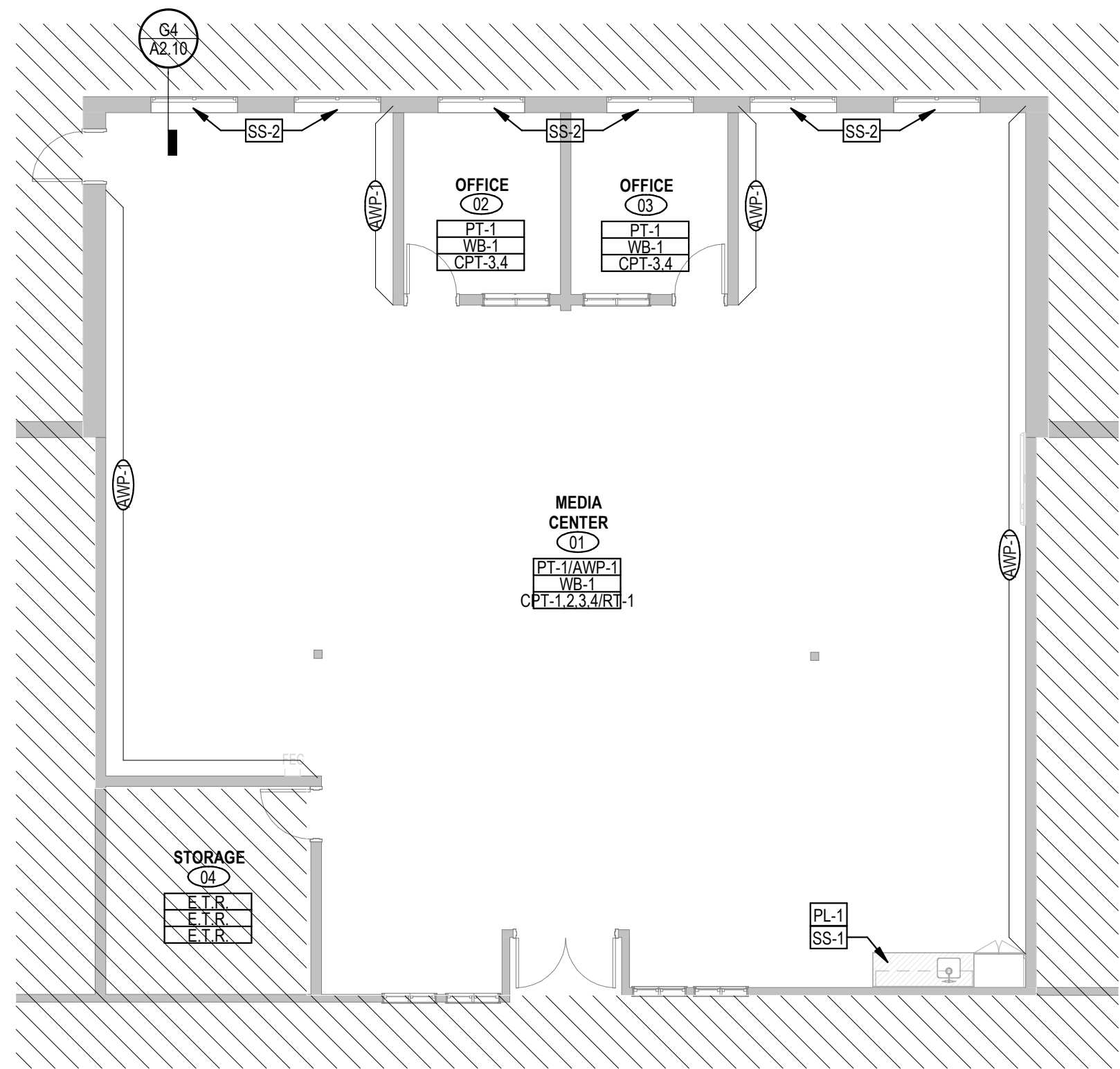
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Project Architect:	LB	Production Leader:	ZF
Project Designer:	AP	Peer Reviewer:	

Drawing Number

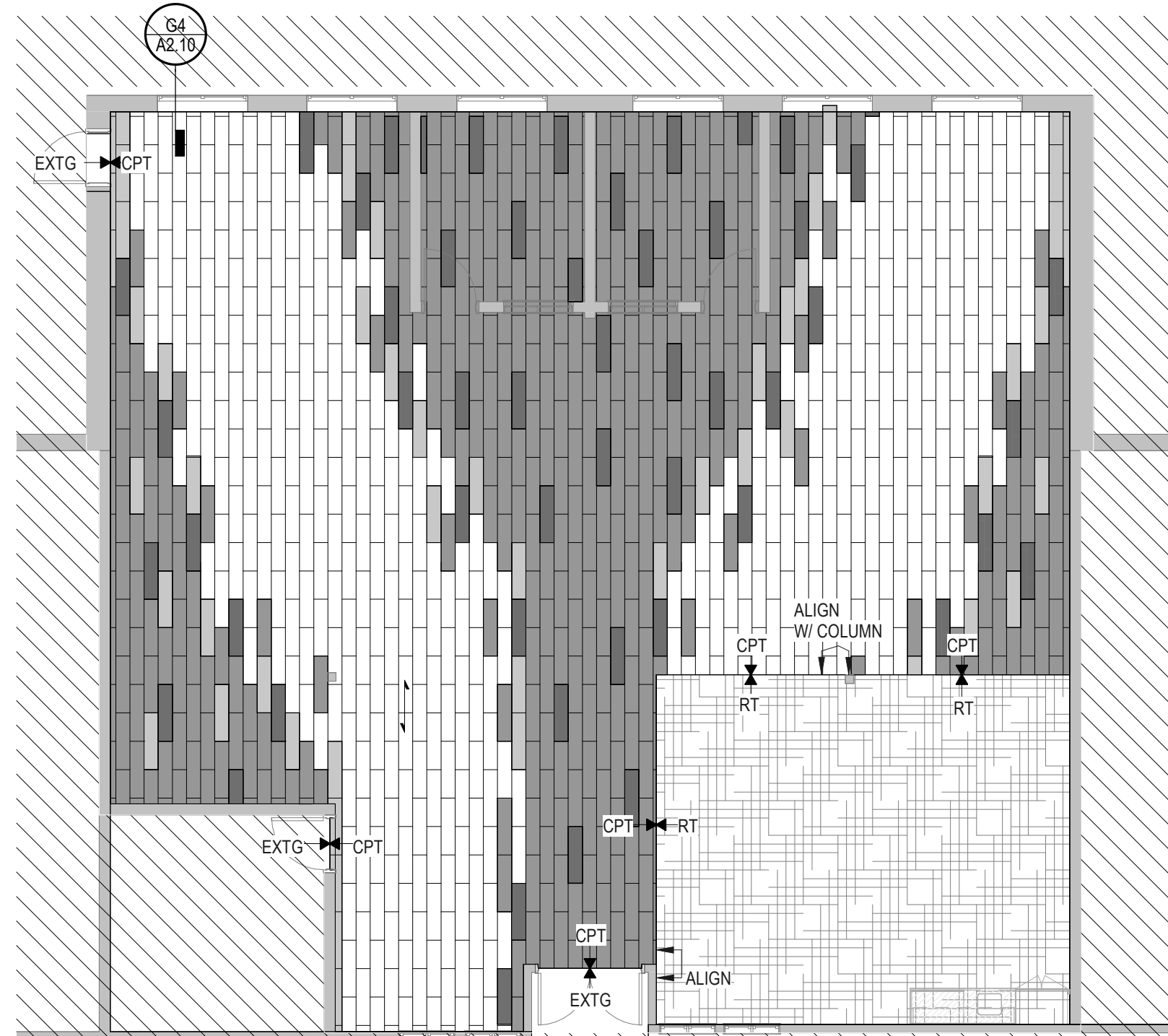
**A2.10**



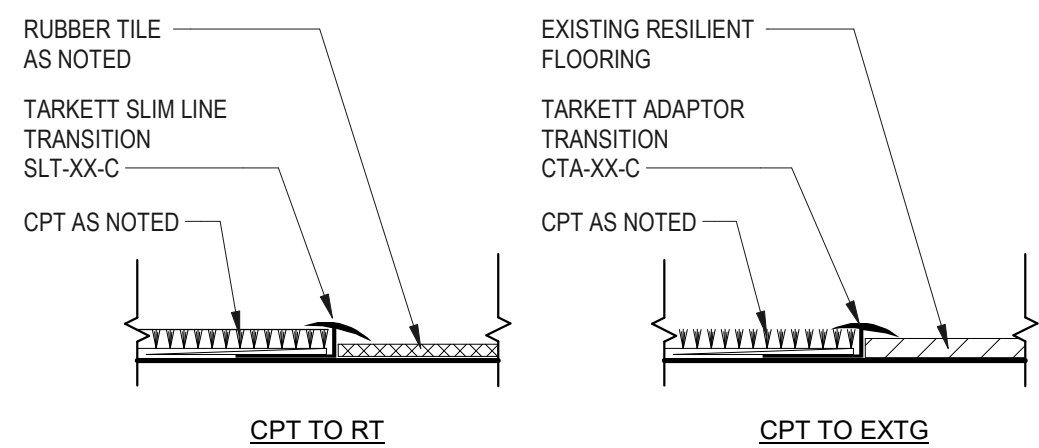
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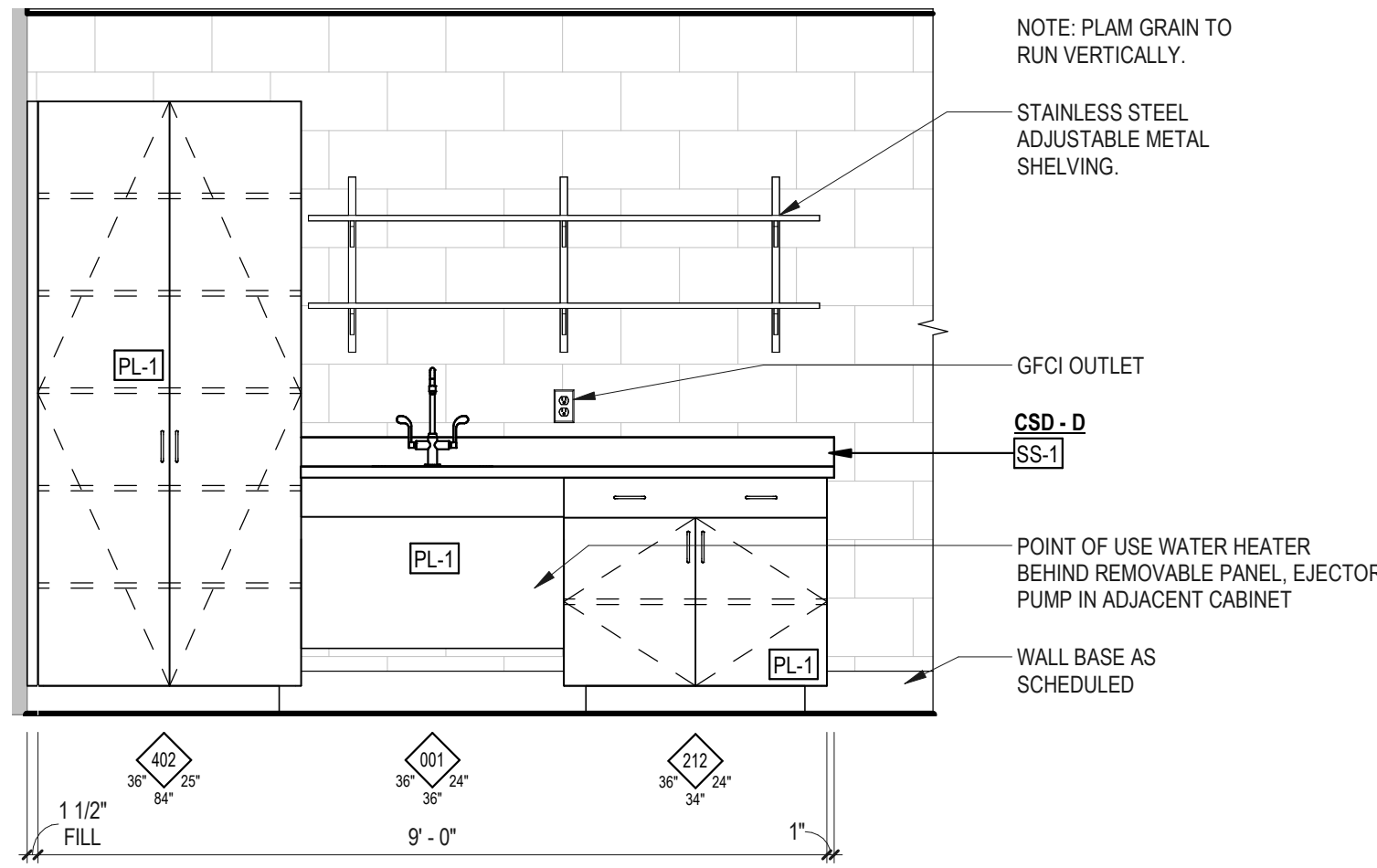
C9 MEDIA CENTER - FINISH PLAN  
1/8" = 1'-0"



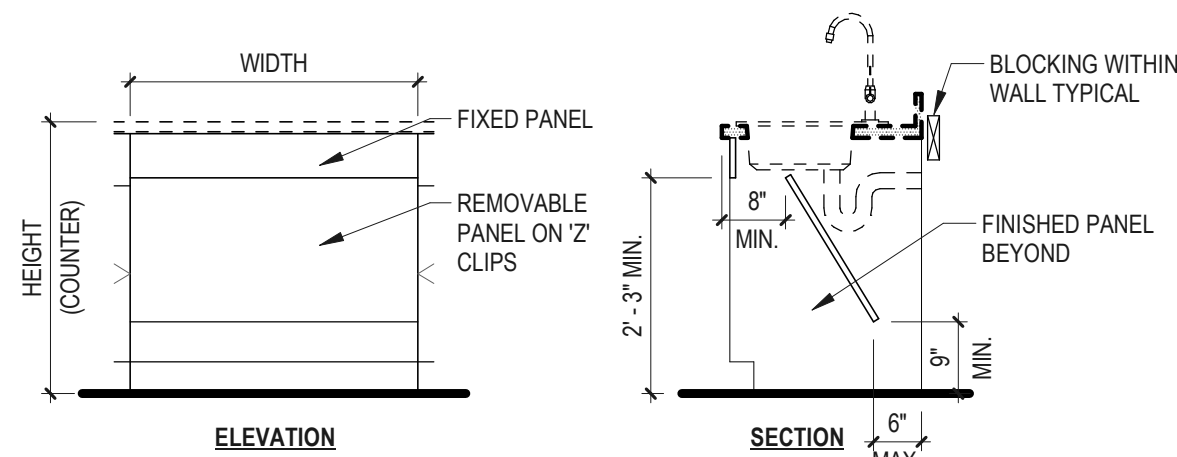
G9 MEDIA CENTER - FINISH FLOORING DETAIL PLAN  
1/8" = 1'-0"



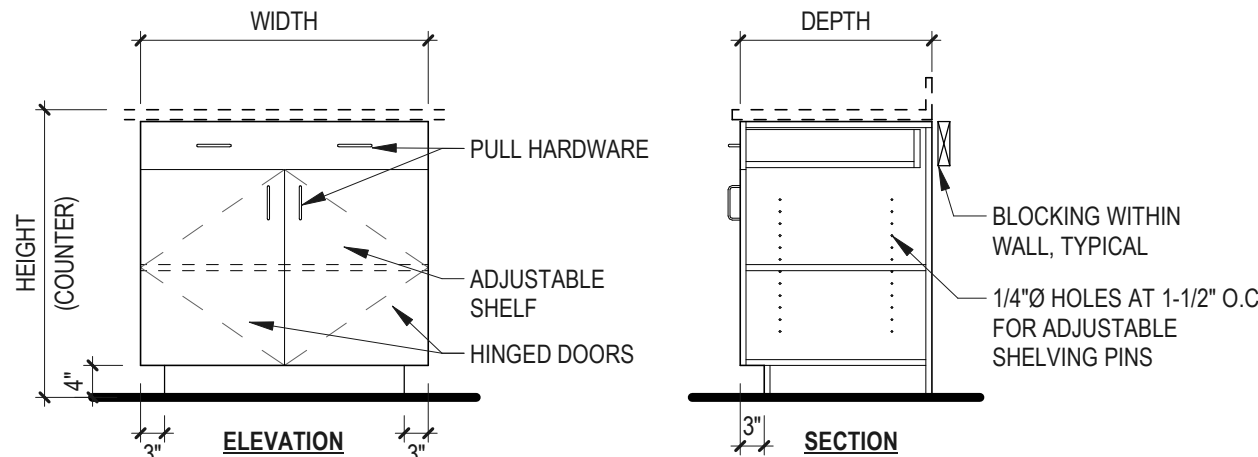
H9 FLOORING TRANSITION DETAILS  
6" = 1'-0"



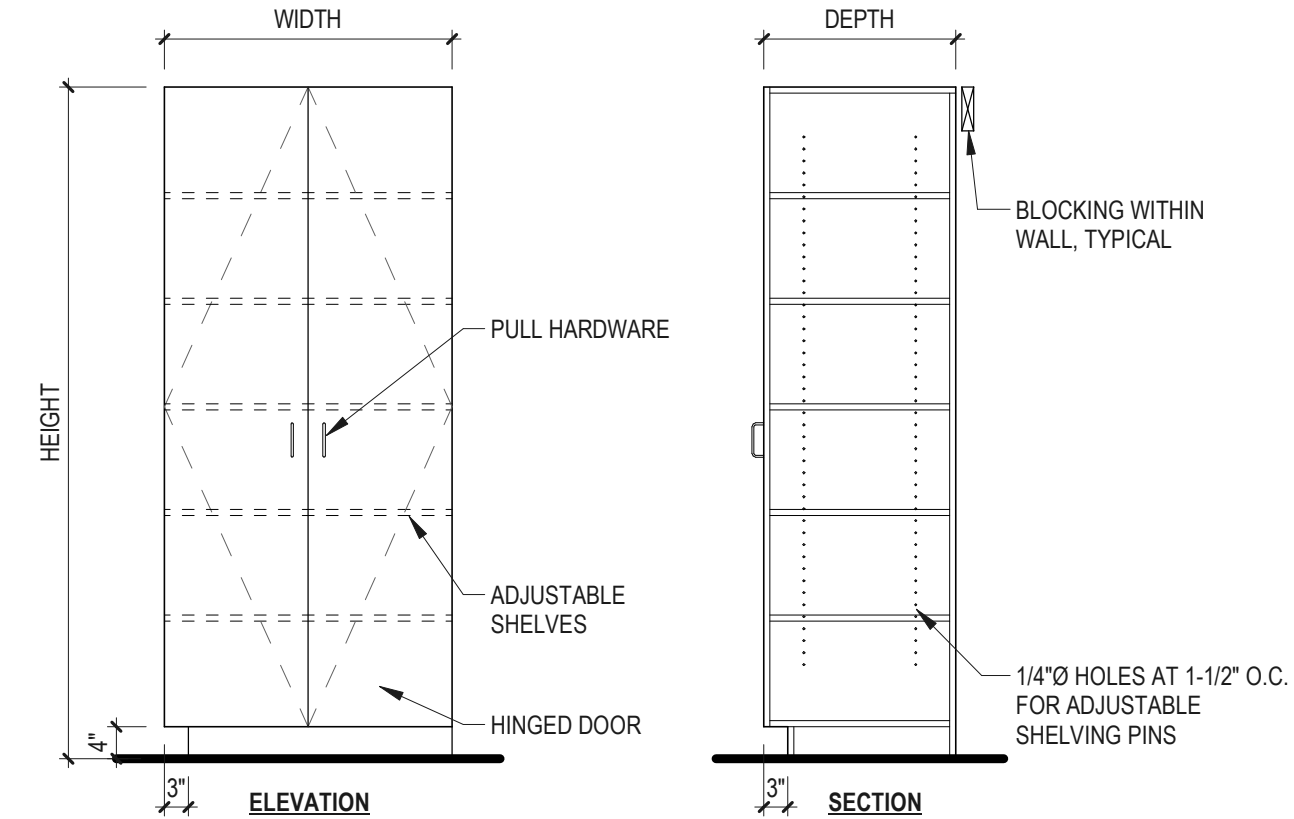
D6 MILLWORK ELEVATION  
1/2" = 1'-0"



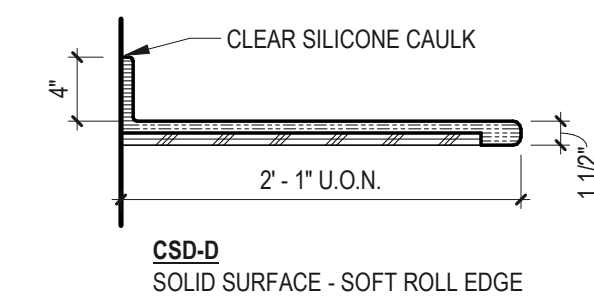
E6 CDS #001 - ADA SINK VALANCE  
1/2" = 1'-0"



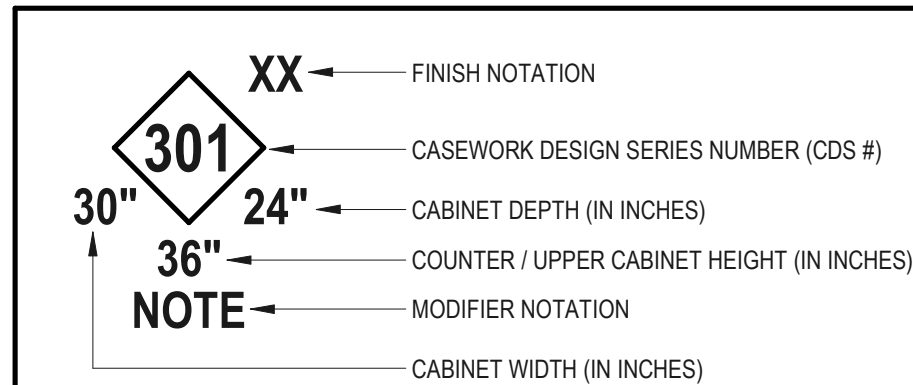
F6 CDS #212 - BASE CABINET 2 DOOR, 1 DRWR.  
1/2" = 1'-0"



H6 CDS #402 - TALL STORAGE CABINET DOUBLE DOOR  
1/2" = 1'-0"



F4 COUNTER SURF DTL  
1" = 1'-0"

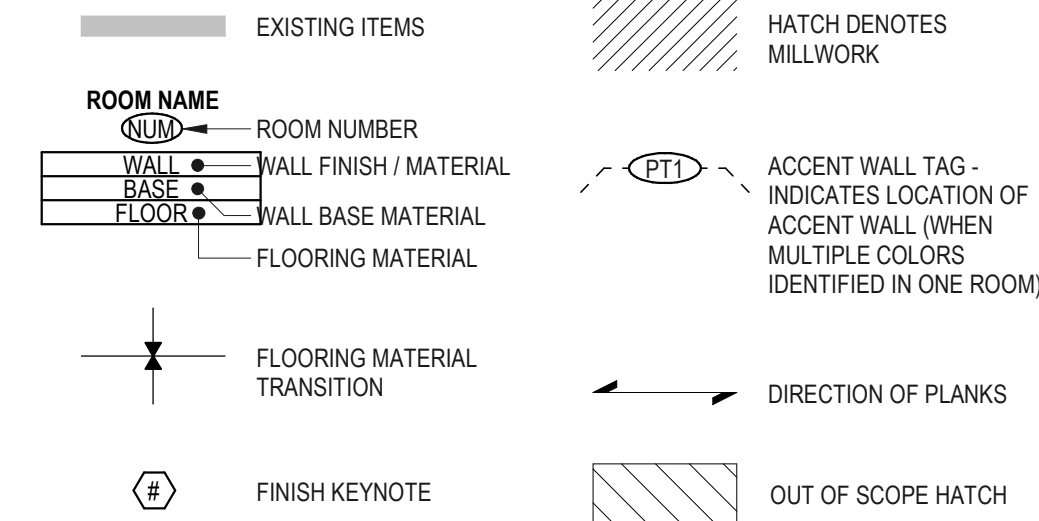


CSD-A COUNTER SURFACE DETAIL

CASEWORK DESIGN SERIES KEY

NOTE: ALL MILLWORK IS TO BE MADE OF MARINE GRADE PLYWOOD.

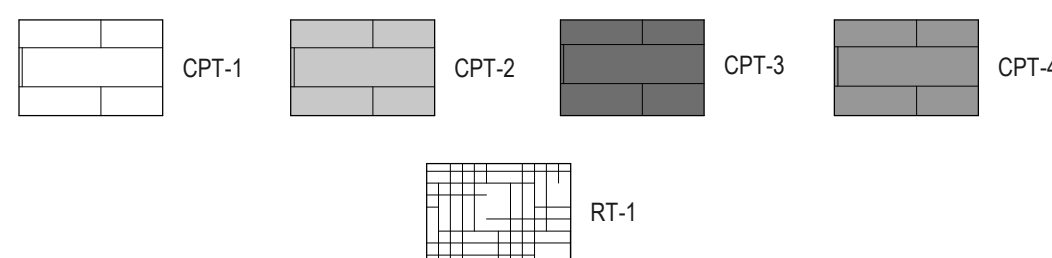
## FINISHES LEGEND



## GENERAL NOTES - FINISHES

- FOR ROOMS WITH MULTIPLE WALL FINISHES CALLED OUT REFER TO INTERIOR ELEVATIONS. FOR ROOMS WITH MULTIPLE FLOORING FINISHES CALLED OUT REFER TO FINISH DETAIL PLANS.
- FOR INTERIOR PAINT FINISHES:
  - ALL INTERIOR WALLS TO BE EGGSHELL FINISH, UNLESS EPOXY FINISH IS NOTED.
  - ALL PAINTED METAL TO BE SEMI-GLOSS FINISH, UNLESS EPOXY FINISH IS NOTED.
- ALL EXPOSED COLUMNS THAT ARE NOT INCORPORATED IN A WALL ARE TO BE PAINTED PT-1, UNLESS OTHERWISE NOTED. EXPOSED STRUCTURE THAT IS INCORPORATED IN A WALL IS TO BE PAINTED TO MATCH ADJACENT WALL.
- FLOOR FINISHES TO EXTEND UNDER CASEWORK.
- ALL WINDOW FRAMES ARE EXISTING TO REMAIN. DO NOT PAINT / RE-FINISH. COORDINATE EXISTING FRAME PAINT COLOR / FINISH WITH OWNER. TOUCH-UP ANY DAMAGE CAUSED DURING CONSTRUCTION.
- ALL EXISTING DOORS AND FRAMES ARE TO BE PAINTED PT-2. REFER TO MATERIALS LIST.
- ALL EXISTING WALL-MOUNTED TECHNOLOGY IS TO BE REMOVED PRIOR TO PAINTING AND RE-INSTALLED AFTER PAINTING IS COMPLETE.
- ALL FINISHES 'OUT OF SCOPE' REGION ARE EXISTING TO REMAIN.

## FLOORING INSTALL LEGEND



## MATERIALS LIST

CARPET		PAINT	
CPT-1	ITEM: CARPET TILE MFR: FORBO COLLECTION: FLOTEX COLOUR PRODUCT: METRO PLANK COLOR: GREY P946006 SIZE: 9'48" x 39'37" INSTALL: ASHLAR LOCATION: AS NOTED	PT-1	MFR: BENJAMIN MOORE PRODUCT: ULTRA SPEC SCUFF-X COLOR: EGGSHELL #485 LOCATION: CHANTILLY LACE 2121-70 ALL WALLS, U.O.N.
	ITEM: CARPET TILE MFR: FORBO COLLECTION: FLOTEX COLOUR PRODUCT: METRO PLANK COLOR: ASH P946007 SIZE: 9'48" x 39'37" INSTALL: ASHLAR LOCATION: AS NOTED		PT-2
CPT-3	ITEM: CARPET TILE MFR: FORBO COLLECTION: FLOTEX COLOUR PRODUCT: METRO PLANK COLOR: LAGOON P946020 SIZE: 9'48" x 39'37" INSTALL: ASHLAR LOCATION: AS NOTED	WALL BASE	
	ITEM: CARPET TILE MFR: FORBO COLLECTION: FLOTEX COLOUR PRODUCT: METRO PLANK COLOR: LAGOON P946020 SIZE: 9'48" x 39'37" INSTALL: ASHLAR LOCATION: AS NOTED	WB-1	ITEM: RUBBER WALL BASE MFR: TARKETT PRODUCT: TRADITIONAL DURACOVE COLOR: 18" THERMOPLASTIC RUBBER (TYPE TP) SIZE: COOL METAL LV4 LOCATION: 6" CH. 120' ROLL THROUGHOUT, U.O.N.
CPT-4	ITEM: CARPET TILE MFR: FORBO COLLECTION: FLOTEX COLOUR PRODUCT: METRO PLANK COLOR: INDIGO P946001 SIZE: 9'48" x 39'37" INSTALL: ASHLAR LOCATION: AS NOTED	ACOUSTIC WALL PANELS	
RT-1	ITEM: RUBBER TILE MFR: NORA COLLECTION: NORAPLAN PRODUCT: ENVIRONCORE COLOR: BIKE RIDE 7040 SIZE: 24" x 24" THICKNESS: 2MM INSTALL: RANDOM LOCATION: MAKER SPACE AREA	AWP-1	ITEM: ACOUSTIC WALL PANEL MFR: ACOUFELT PRODUCT: SOLID WALL PANELS SHAPE: DIAMOND SIZE: 1" THICK, 6"W x 10.39"W COLOR: MINIMUM OF 8 PATTERN: TBD, COORDINATE W/ MFR. INSTALL: TO BE INSTALLED FROM 5'-6" AFF TO 8'-0" AFF IN LOCATIONS IDENTIFIED.
	MILLWORK		
SS-1	SS-2	PL-1	ITEM: PLASTIC LAMINATE MFR: WILSONART COLOR: KENSINGTON MAPLE PRODUCT #: LOCATION: 10776-60 ALL VERTICAL MILLWORK
		SS-1	ITEM: SOLID SURFACE MFR: CORIAN COLOR: CARBON AGGREGATE LOCATION: ALL COUNTERTOPS
		SS-2	ITEM: SOLID SURFACE MFR: CORIAN COLOR: DOVE LOCATION: NEW WINDOW SILLS & APRONS. SEE DETAIL.

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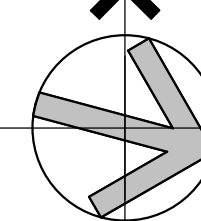
797 WESTMINSTER ST  
PROVIDENCE, RI 02903

Project

ANTHONY CARNEVALE  
ELEMENTARY SCHOOL

50 SPRINGFIELD STREET  
PROVIDENCE, RI  
02909

PROJECT NORTH



Seals

RFP PLAN

Issues / Revisions

No.	Date	Description
1	02/14/2023	RFP SET

Drawing Title

FINISH PLANS &  
MATERIALS LIST

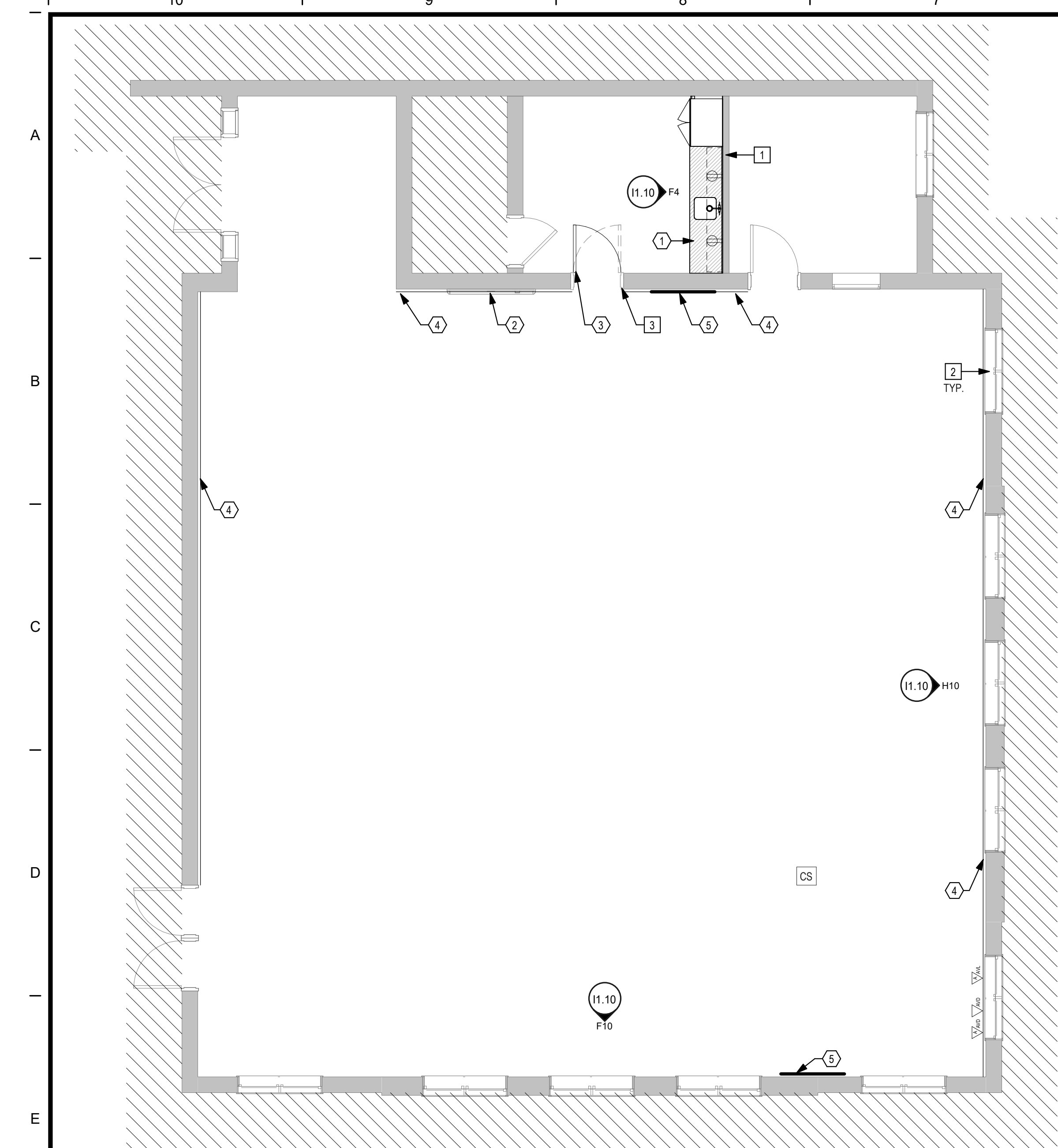
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Project Architect:	LB	Production Leader:	ZF
Project Designer:	AP	Peer Reviewer:	

Drawing Number

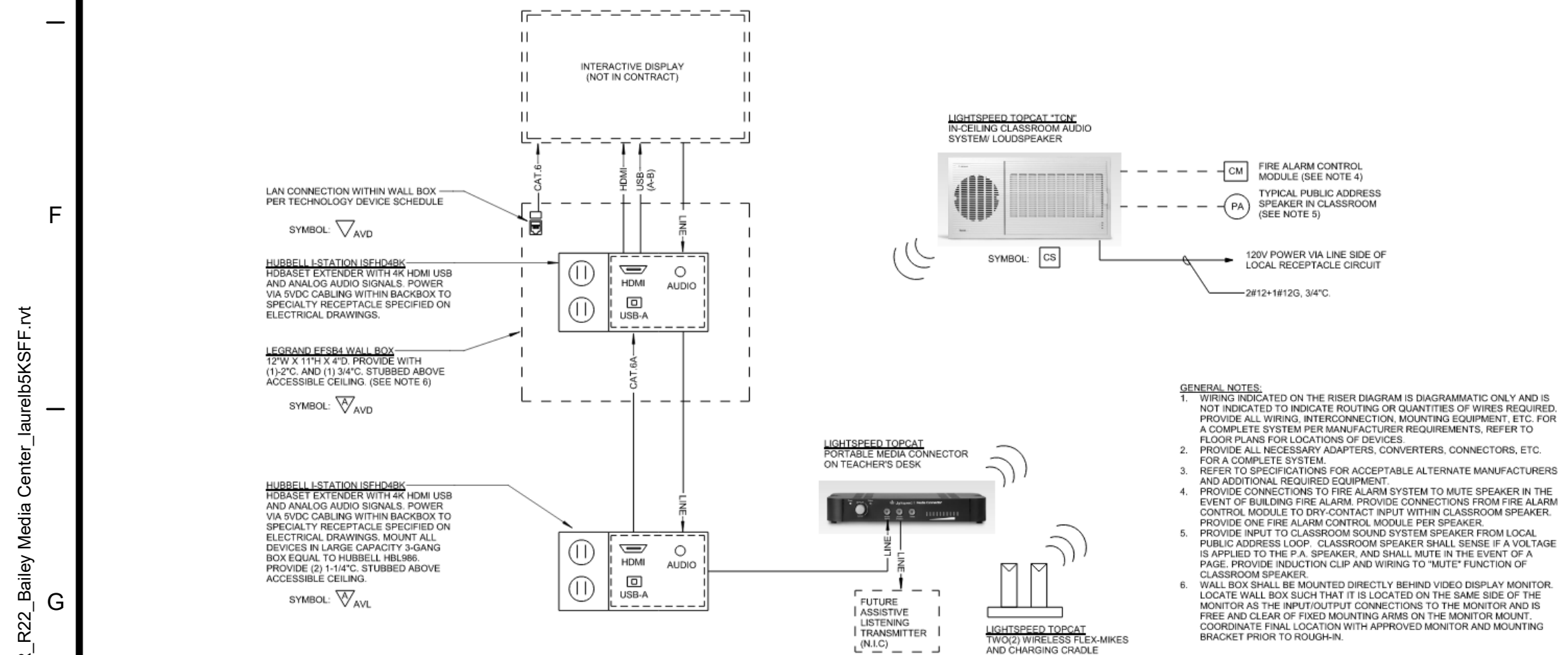
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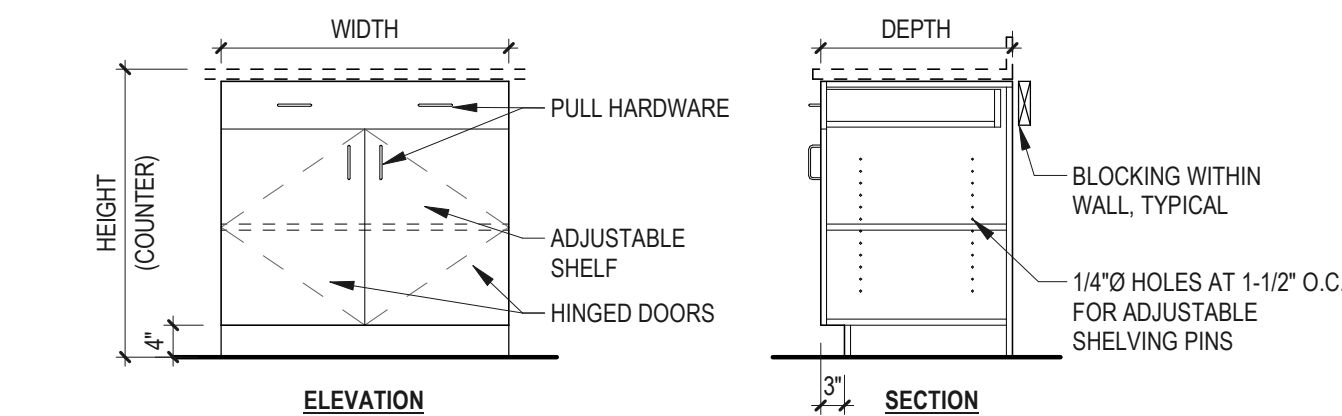
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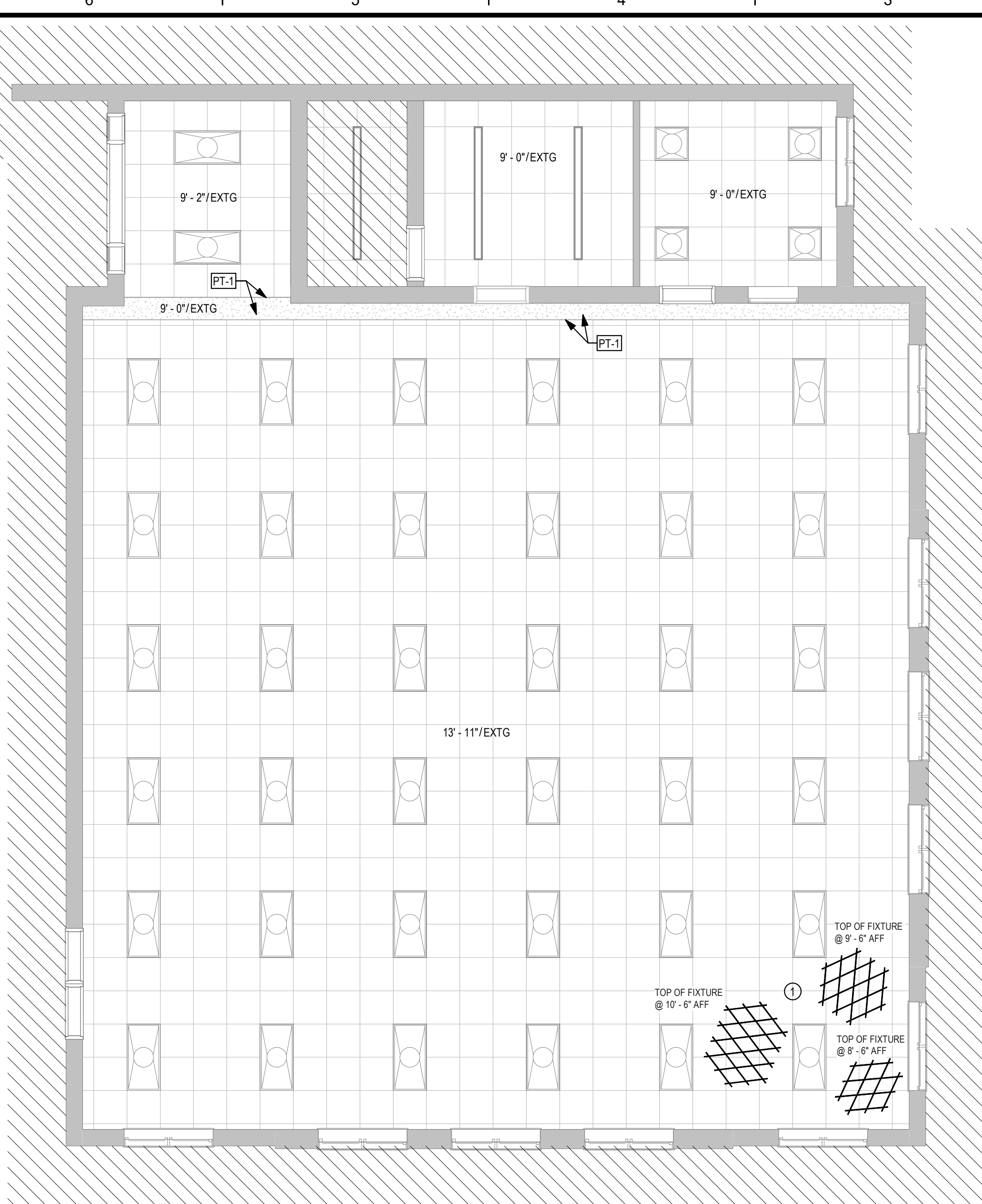
E10 MEDIA CENTER - CONSTRUCTION PLAN  
3/16" = 1'-0"



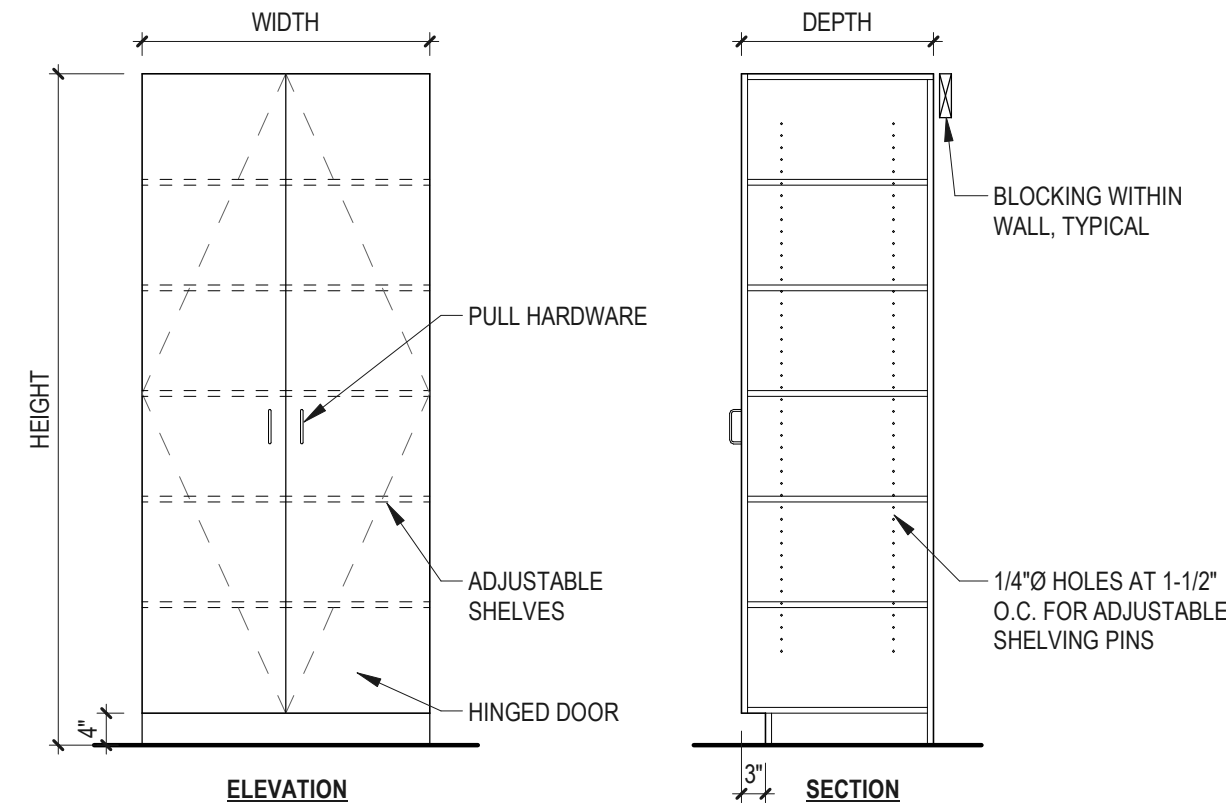
G10 AV SYSTEM DETAIL  
NOT TO SCALE



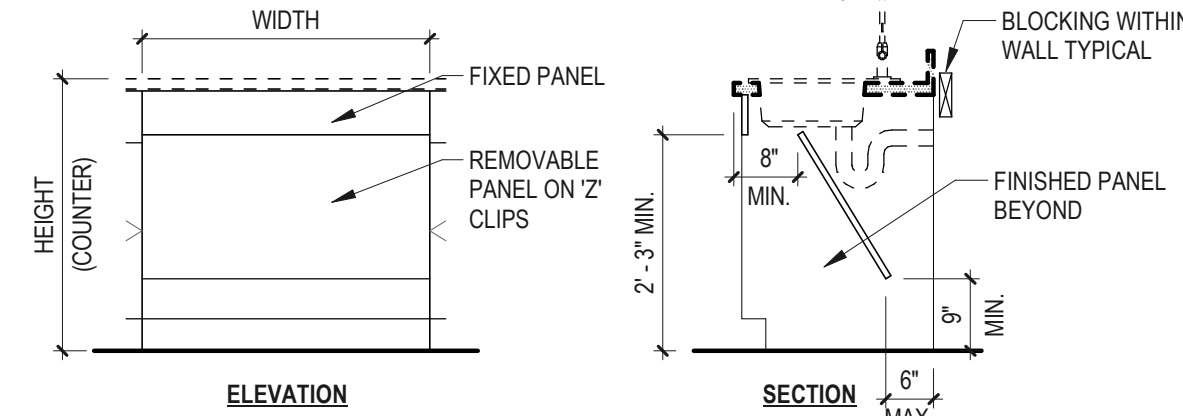
H10 CDS #212 - BASE CABINET 2 DOOR, 1 DRAWER  
1/2" = 1'-0"



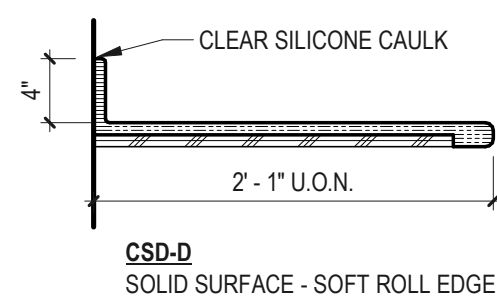
E6 MEDIA CENTER - REFLECTED CEILING PLAN  
3/16" = 1'-0"



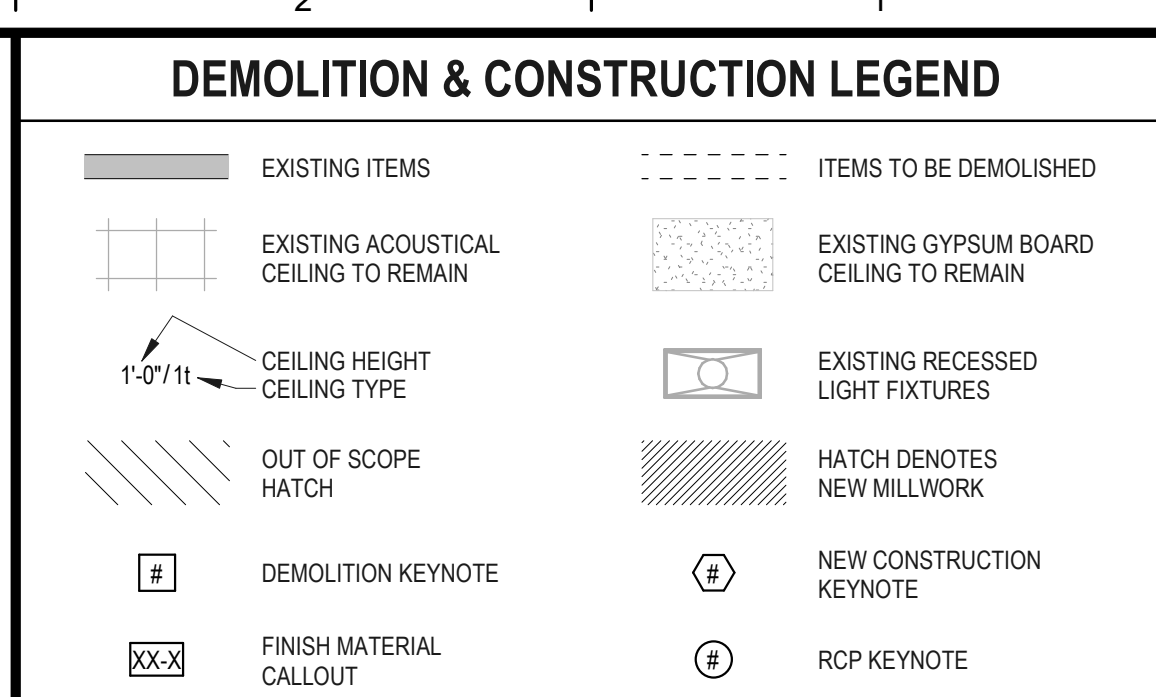
G6 CDS #402 - TALL CABINET 2 DOOR  
1/2" = 1'-0"



H6 CDS #001 - ADA SINK VALANCE  
1/2" = 1'-0"



H4 COUNTER SURF DTL  
1" = 1'-0"



## GENERAL NOTES - DEMOLITION

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND REMOVAL NECESSARY TO COMPLETE THE WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE REMOVAL AND PROPER DISPOSAL, INCLUDING ALL COSTS FOR CARRYING AND DUMPING, OF ALL MATERIAL DEMOLISHED FROM THE PROJECT. THE CONTRACTOR SHALL PROVIDE OWNER WITH FIRST RIGHTS TO ALL MATERIALS, INCLUDING DOORS, HARDWARE, WINDOWS, PLUMBING FIXTURES, ETC., BEFORE REMOVING FROM SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH AND REPAIR ALL EXISTING, TO REMAIN AREAS AND SURFACES AS NOTED AND/OR SHOWN. THIS INCLUDES ALL WORK NECESSARY TO READY SURFACES FOR NEW FINISH (N.I.C.) TO FOLLOW IN CONSTRUCTION PHASE. MATCH ALL ADJACENT MATERIALS WHERE PATCHING OCCURS.
- ALL WALLS SHOWN DASHED ARE TO BE REMOVED AND DISCARDED, UNLESS OTHERWISE NOTED. ANY WALL OR SURFACE BEING WORKED ON SHALL BE PATCHED AND REPAIRED WITH A COMPLETE FINISH TO THE NEAREST CORNER, CHANGE OF PLANE OR OTHER JUNCTURE WHICH ALLOWS FOR A SMOOTH AND CLEAN TRANSITION FROM THE NEWLY FINISHED SURFACE TO THE SURROUNDING EXISTING SURFACES (INTENT IS TO AVOID APPEARANCE OF PATCHED CONDITION).
- UNLESS NOTED OTHERWISE, ALL FLOOR SURFACES/ FINISHES AND FLOORING BASE TRIM ARE TO BE REMOVED AND DISCARDED. CLEAN / PREPARE CONCRETE AS NECESSARY FOR REFINISHING.
- IT IS NOT THE INTENT TO SHOW EVERY PIECE OR ITEM TO BE REMOVED IN DEMOLITION WORK. MECHANICAL, ELECTRICAL AND/OR OTHER WORK RELATED TO A WALL OR AREA SCHEDULED FOR DEMOLITION AND REMOVAL SHALL BE PERFORMED WHETHER SO NOTED OR NOT. PROTECT ALL ITEMS INTENDED FOR SALVAGE AND REUSE OR SCHEDULED TO REMAIN.
- PRESERVE AND PROTECT ALL WALL AND CEILING FINISHES TO REMAIN WHERE POSSIBLE IN AREAS OF DEMO. THIS INCLUDES DOOR / WINDOW FRAMES. PATCH TO MATCH AS REQUIRED.
- REPAIR ALL REMAINING WALLS, CEILINGS AND FLOOR SURFACES WHERE DEMOLITION OCCURS. THIS INCLUDES MEP AND OTHER NECESSARY WORK IN CEILINGS AND WALLS AT FLOOR BELOW.
- DUST POLY WALL TO BE INSTALLED AROUND SCOPE OF WORK TO TRAP ANY DUST / DEBRIS.
- ALL EXISTING WINDOW SHADES TO BE REMOVED BY OWNER AND STORED FOR REINSTALLATION PRIOR TO ANY DEMOLITION OCCURRING. COORDINATE WITH OWNER IF EXISTING SHADES ARE STILL IN PLACE.

## GENERAL NOTES - CONSTRUCTION

- FIRE SAFE ALL PENETRATIONS IN RATED WALL ASSEMBLIES. SEE TYPICAL RATED WALL PENETRATION DETAIL.
- ALIGN FACE OF NEW FINISH WITH FACE OF EXISTING FINISH AT ALL GYPSUM BOARD INFILL CONSTRUCTION UNLESS OTHERWISE NOTED.
- VERIFY LOCATION OF ALL ACCESS PANELS WITH MEP EQUIPMENT.
- ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND ANY DISCREPANCIES SHALL BE PROMPTLY REPORTED TO THE ARCHITECT.
- PATCH, REPAIR, AND REFINISH ALL SURFACES EXPOSED BY DEMOLITION WORK OR CUTTING TO ALIGN WITH EXISTING SURFACES SCHEDULED TO REMAIN OR NEW FINISHES SPECIFIED. REPAIR AND SKIM COAT EXISTING SUB FLOOR AS REQUIRED TO PREPARE FLOOR FOR INSTALLATION OF NEW FLOOR FINISH. COORDINATE WITH FINISH PLAN AND MANUFACTURER'S REQUIREMENTS.
- ALL EXISTING FINISHES REMAINING IN PLACE (I.E. CEILINGS, ETC.) SHALL BE CLEANED UTILIZING EFFECTIVE CLEANING METHODS TO PRODUCE THE MOST DESIRABLE RESULTS POSSIBLE.
- CAULK ALL JOINT OR CRACKS WHICH OCCUR WHERE DISSIMILAR MATERIALS INTERSECT PERPENDICULAR TO EACH OTHER AND THE INTERSECTION IS EXPOSED TO VIEW UNLESS INDICATED OTHERWISE ON THE DRAWINGS.

## GENERAL NOTES - CEILING

- UNLESS OTHERWISE NOTED, ALL EXISTING CEILING GRID, CEILING TILE, GYP. BOARD CEILINGS AND LIGHT FIXTURES ARE TO REMAIN.
- ALL CEILING ITEMS ARE TO BE CENTERED IN 2x4, 2x2 OR IMPLIED 2x2 CEILING TILE WITH BALANCED CUTS, WHICHEVER APPLIES. THIS PLAN IS INTENDED FOR COORDINATION AND LOCATION PURPOSES ONLY. SEE MEP FOR SPECIFIC CEILING MOUNTED ITEMS.
- ALL NEW AND EXISTING TO REMAIN GYPSUM BOARD CEILINGS / SOFFITS / HEADERS ARE TO BE PAINTED PT-1. REFER TO MATERIALS LIST.
- LIGHTING LAYOUT SHOWN FOR REFERENCE AND COORDINATION ONLY. COORDINATE WITH OWNER FOR WHICH FIXTURES ARE TO BE RELOCATED OR NEW.

## KEYNOTES - DEMOLITION

- |   |  |
|---|--|
| 1 | DEMOLISH WALL AS REQUIRED TO TIE IN PLUMBING FOR NEW SINK TO EXISTING ADJACENT TOILETS.                      |
| 2 | WINDOW SHADES TO BE REMOVED AND STORED BY OWNER FOR REINSTALLATION.  |
| 3 | REMOVE EXISTING HOLLOW METAL DOOR FROM FRAME AND TURN OVER TO OWNER. EXISTING DOOR FRAME TO REMAIN IN PLACE. |

## KEYNOTES - CONSTRUCTION

- |   |   |
|---|---|
| 1 | NEW MILLWORK AND SINK TO BE INSTALLED. REFER TO ELEVATIONS.   |
| 2 | EXISTING SMARTBOARD TO REMAIN. TO BE REMOVED PRIOR TO PAINTING AND REINSTALLED. REFER TO FINISH NOTES.  |
| 3 | PROVIDE NEW HALF-GLASS HOLLOW METAL DOOR PAINTED PT-2 TO MATCH EXISTING FRAME. CONFIRM EXISTING SIZE PRIOR TO PURCHASE AND INSTALLATION. EXISTING HARDWARE TO BE SALVAGED AND RE-USED OR TURNED OVER TO OWNER. PROVIDE NEW CLASSROOM LOCKSET MATCHING DISTRICT STANDARDS. |
| 4 | NEW BASEBOARD RACEWAY WITH TAMPER RESISTANT RECEPTACLES. CONFIRM EXISTING PANEL LOADS AND CONNECTION TO ADJACENT WIRING. BASIS OF DESIGN: LEGRAND WIRELOM ACCESS 5000 SERIES.   |
| 5 | LOCATION OF NEW 4x8 WRITABLE MAGNETIC PANELS MOUNTED VERTICALLY TO WALL (2 TOTAL). BASIS OF DESIGN IS MAGNATAG WHITEWALLS MAGNETIC WHITEBOARD WALL PANEL SYSTEM. COORDINATE MOUNTING METHOD WITH G.C. IN THE FIELD.   |

## KEYNOTES -RCP

- |   |   |
|---|---|
| 1 | HANGING ACOUSTICAL CLOUDS. BASIS OF DESIGN TO BE ACOUFEL SOLUS. SIZES AND MOUNTING HEIGHTS OF INDIVIDUAL CLOUDS VARY. BASIS OF DESIGN IS (1) 48\"/> |
|---|---|

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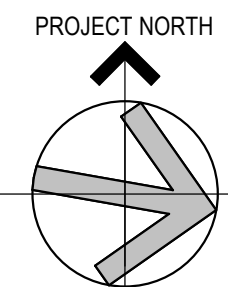
PROVIDENCE PUBLIC  
SCHOOLS

797 WESTMINSTER STREET  
PROVIDENCE, RI 02903

Project

ROBERT L. BAILEY IV  
ELEMENTARY SCHOOL

65 GORDON AVENUE  
PROVIDENCE, RI 02905



Seals

RFP SET

Issues / Revisions		
No.	Date	Description
	02/14/2023	RFP SET

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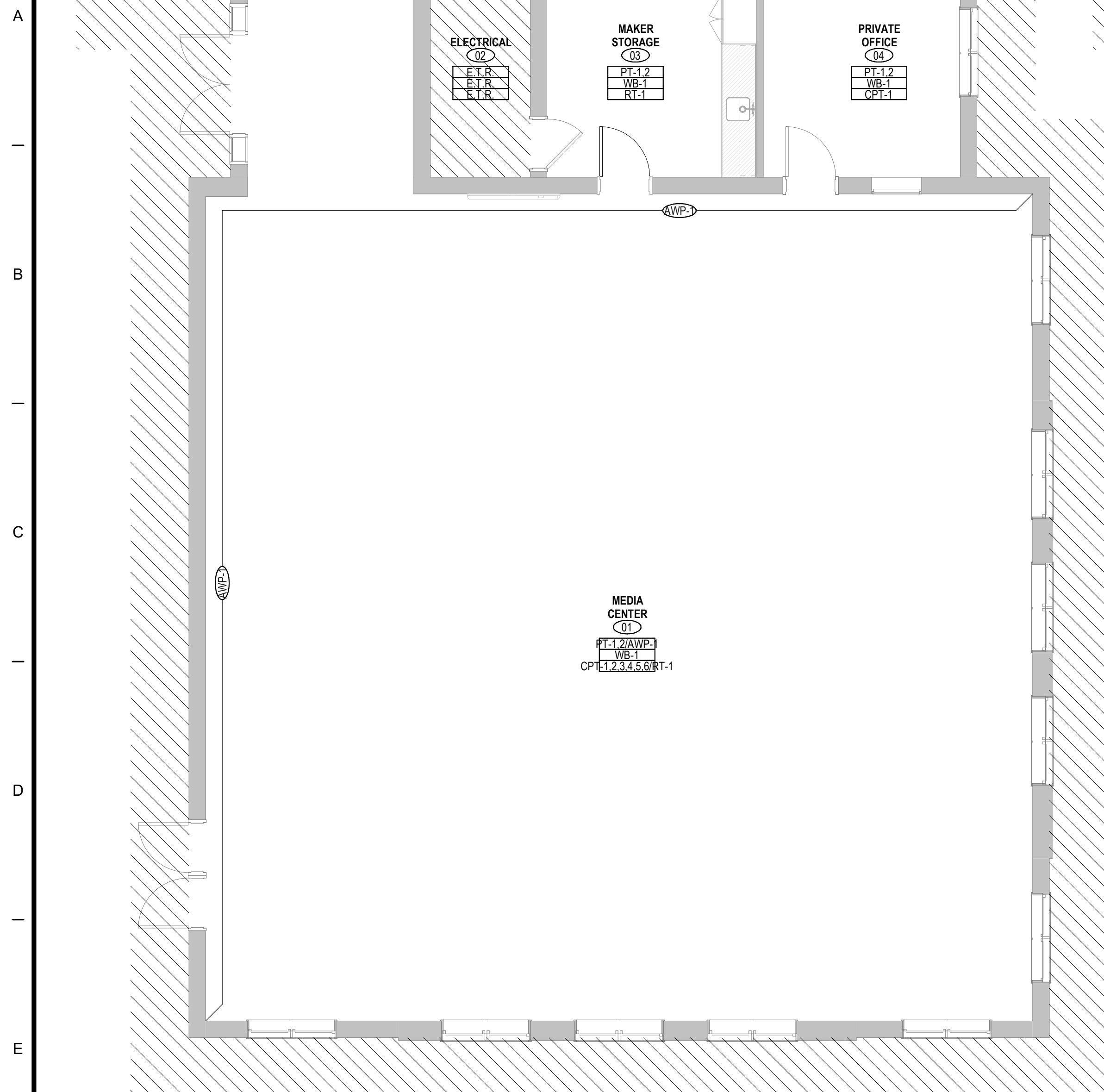
MEDIA CENTER  
CONSTRUCTION  
& DEMOLITION  
PLANS

Project Manager:	JH	Project No:	PRV03AR
Project Architect:	LB	Production Leader:	ZF
Project Designer:	AP	Peer Reviewer:	

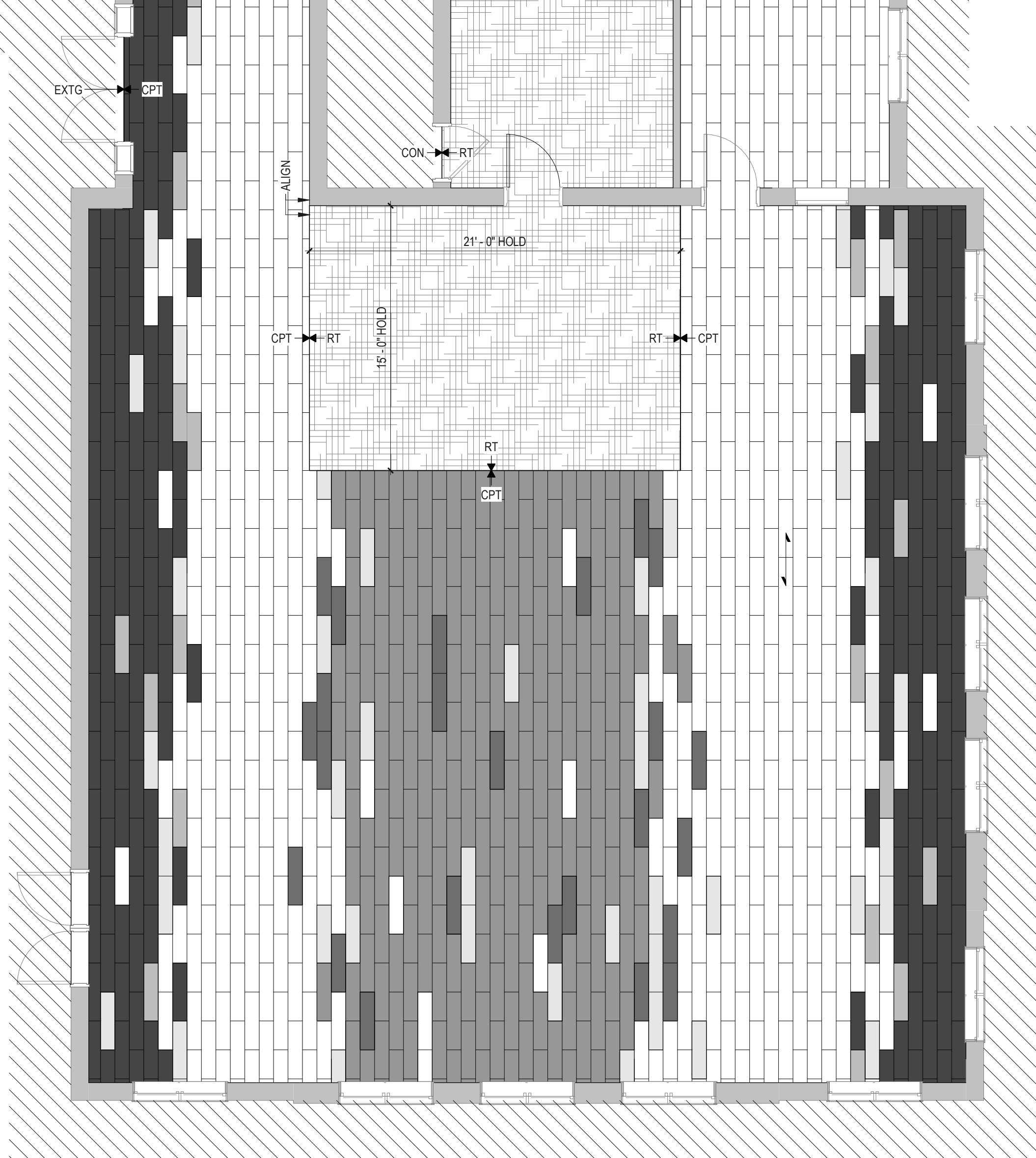
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A2.10

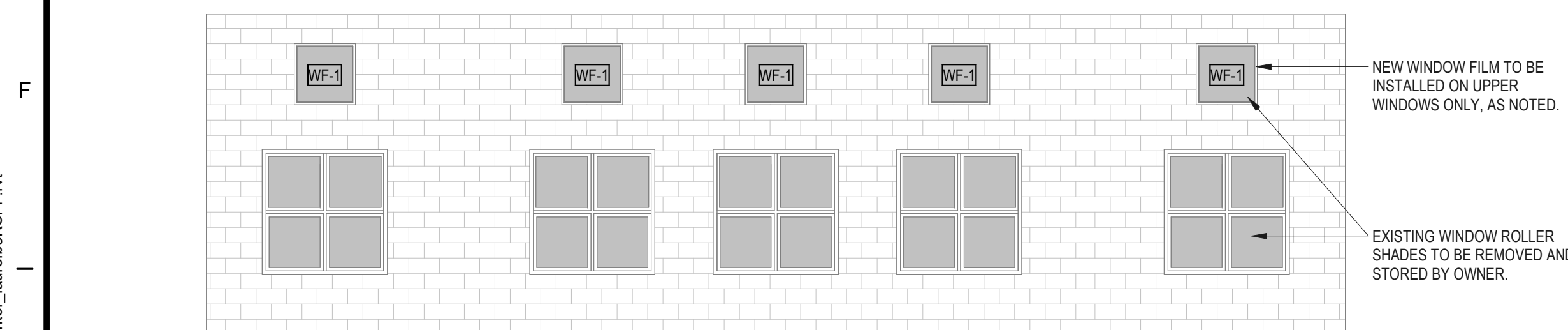




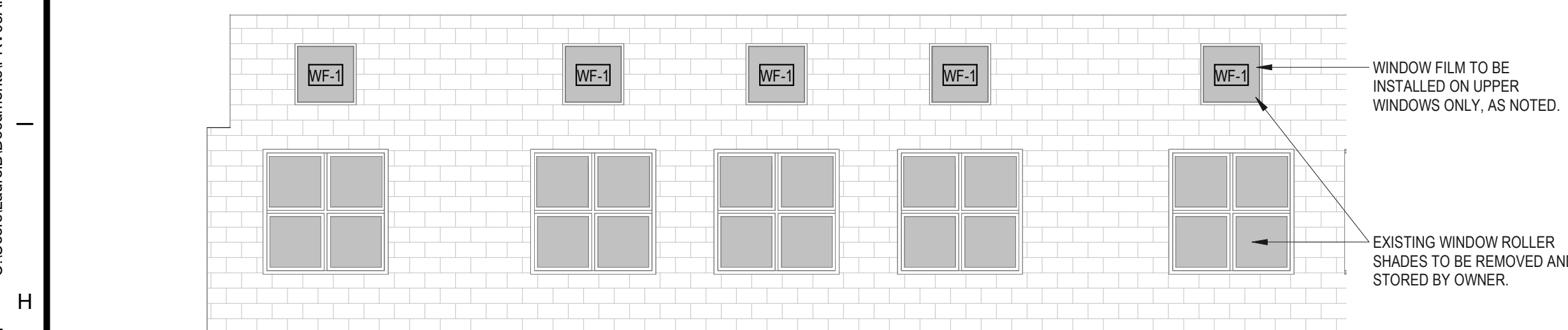
**E10 MEDIA CENTER - FINISH PLAN**  
3/16" = 1'-0"



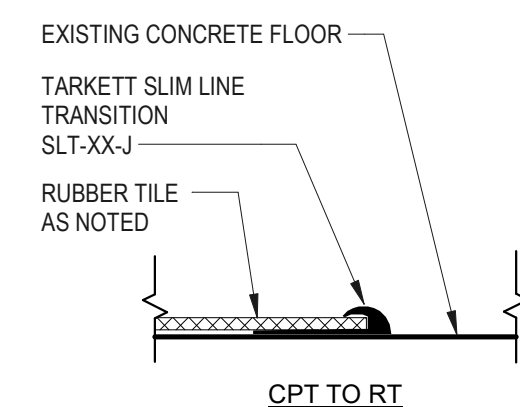
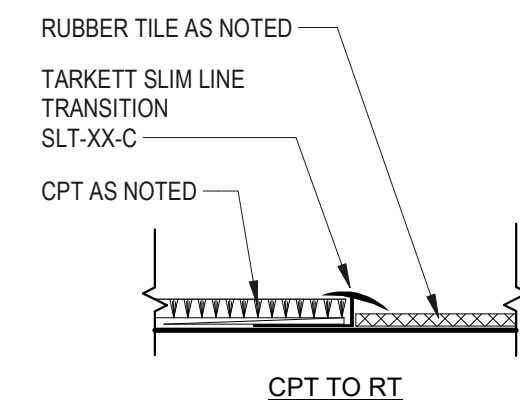
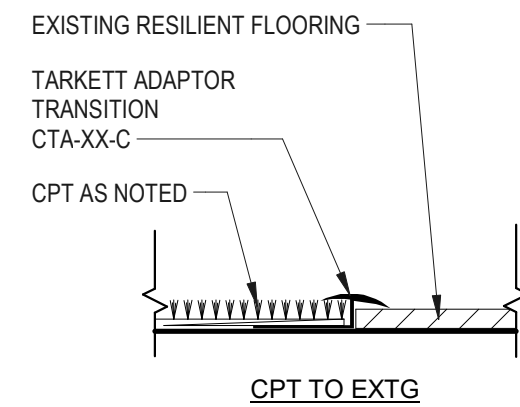
E6 MEDIA CENTER - FINISH FLOORING PLAN  
3/16" = 1'-0"



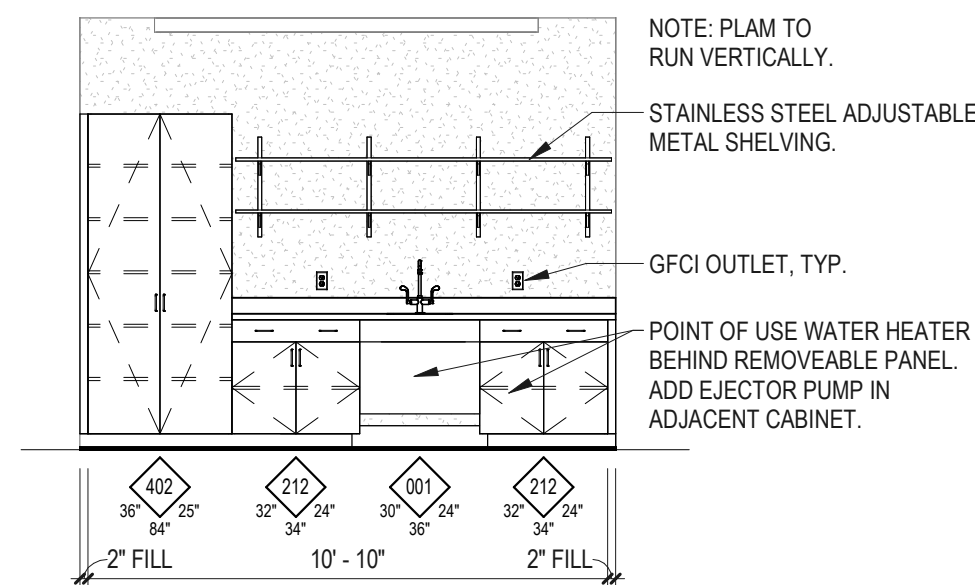
F10 MEDIA CENTER - PLAN SOUTH ELEVATION  
3/16" = 1'-0"



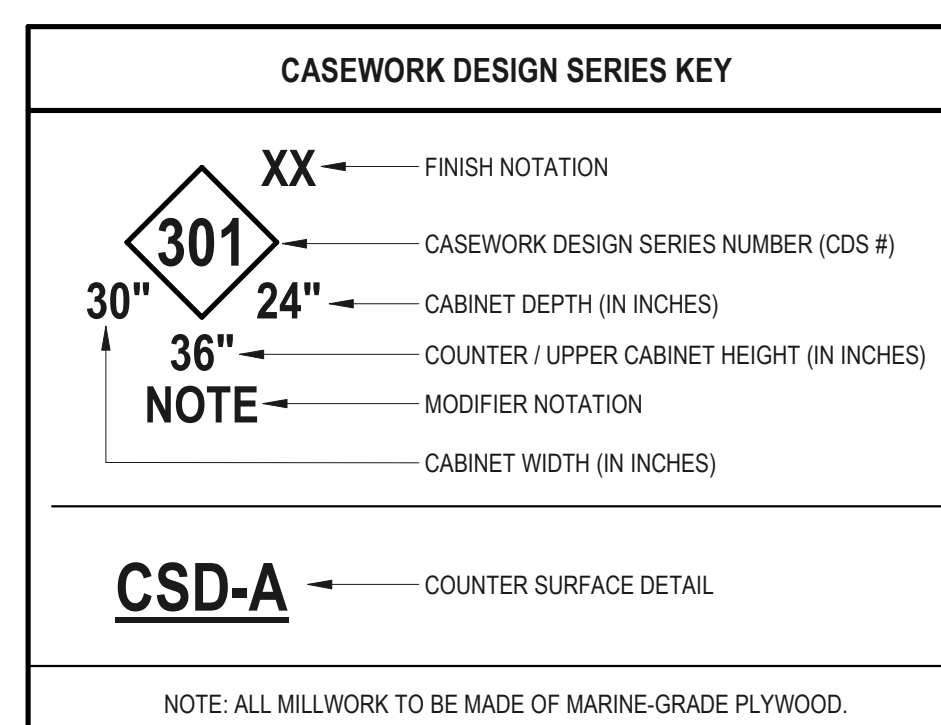
H10 MEDIA CENTER - PLAN EAST ELEVATION  
3/16" = 1'-0"




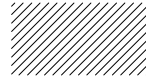
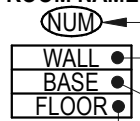
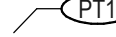




H5 FLOORING TRANS.  
6" = 1'-0"



**F4** **MAKER MILLWORK ELEVATION**  
1/4" = 1'-0"



## FINISH LEGEND

	EXISTING ITEMS		HATCH DENOTES MILLWORK
<b>ROOM NAME</b>			
	ROOM NUMBER WALL FINISH / MATERIAL WALL BASE MATERIAL FLOORING MATERIAL		ACCENT WALL TAG - INDICATES LOCATION OF ACCENT WALL WHEN MULTIPLE COLORS IDENTIFIED IN ONE ROOM)
	FLOORING MATERIAL TRANSITION		DIRECTION OF PLANKS
	FINISH KEYNOTE		OUT OF SCOPE HATCH

## GENERAL NOTES - FINISHES

1. FOR ROOMS WITH MULTIPLE WALL FINISHES CALLED OUT REFER TO INTERIOR ELEVATIONS. FOR ROOMS WITH MULTIPLE FLOORING FINISHES CALLED OUT REFER TO FINISH DETAIL PLANS.
2. FOR INTERIOR PAINT FINISHES:
  - ALL GYPSUM BOARD CEILINGS TO BE PAINTED TO BE FLAT FINISH.
  - ALL PAINTED METAL TO BE SEMI-GLOSS FINISH, UNLESS EPOXY FINISH IS NOTED.
  - ALL INTERIOR WALLS TO BE EGGSHELL FINISH, UNLESS EPOXY FINISH IS NOTED.
3. ALL EXPOSED COLUMNS THAT ARE NOT INCORPORATED IN A WALL ARE TO BE PAINTED PT-1, UNLESS OTHERWISE NOTED. EXPOSED STRUCTURE THAT IS INCORPORATED IN A WALL IS TO BE PAINTED TO MATCH ADJACENT WALL.
4. FLOOR FINISHES TO EXTEND UNDER CASEWORK.
5. ALL WINDOW FRAMES ARE EXISTING TO REMAIN. DO NOT PAINT / RE-FINISH. COORDINATE EXISTING FRAME PAINT COLOR / FINISH WITH OWNER. TOUCH-UP ANY DAMAGE DONE DURING CONSTRUCTION.
6. ALL EXISTING DOORS AND FRAMES ARE TO BE PAINTED PT-2. REFER TO MATERIALS LIST.
7. ALL EXISTING WALL-MOUNTED TECHNOLOGY, EQUIPMENT AND SIGNAGE IS TO BE REMOVED PRIOR TO PAINTING AND RE-INSTALLED AFTER PAINTING IS COMPLETE.
8. ALL FINISHES IN 'OUT OF SCOPE' REGION ARE EXISTING TO REMAIN.

## FLOORING INSTALL LEGEND

Figure 1 shows the schematic representation of the seven experimental conditions. The conditions are arranged in two rows. The top row contains CPT-1 (white), CPT-2 (light gray), CPT-3 (medium gray), and CPT-4 (dark gray). The bottom row contains CPT-5 (dark gray), CPT-6 (medium gray), and RT-1 (a grid pattern). Each condition is represented by a 2x2 grid of squares.

## MATERIALS LIST

<u>CARPET</u>			<u>PAINT</u>		
CPT-1	ITEM:	CARPET TILE	PT-1	MFR:	BENJAMIN MOORE
	MFR:	FORBO		PRODUCT:	ULTRA SPEC SCUFF-X
	COLLECTION:	FLOTEK COLOUR			EGGSHELL #48
	PRODUCT:	METRO PLANK		COLOR:	CHANTILLY LACE 2121-70
	SIZE:	GREY P946006		LOCATION:	ALL WALLS, U.O.N.
	INSTALL:	9.48" x 39.37"			
	LOCATION:	ASHLAR			
	LOCATION:	AS NOTED			
CPT-2	ITEM:	CARPET TILE	PT-2	MFR:	BENJAMIN MOORE
	MFR:	FORBO		PRODUCT:	ADVANCE W.B. INTERIOR
	COLLECTION:	FLOTEK COLOUR		COLOR:	ALUQU SEMI-GLOSS FINISH
	PRODUCT:	METRO PLANK		LOCATION:	TBD (TO MATCH EXISTING COORDINATE IN FIELD).
	SIZE:	ASH P946007		LOCATION:	DOORS/FRAMES, AS NOTED
	INSTALL:	9.48" x 39.37"			ALL EXISTING DOORS AND FRAMES TO BE PAINTED PT-2.
	LOCATION:	ASHLAR			
	LOCATION:	AS NOTED			
CPT-3	ITEM:	CARPET SHEET	CP-1	MFR:	BENJAMIN MOORE
	MFR:	FORBO		PRODUCT:	ULTRA SPEC 500 INTERIOR
	COLLECTION:	FLOTEK COLOUR		COLOR:	FLAT # 5038
	PRODUCT:	METRO SHEET		LOCATION:	TBD (WHITE)
	SIZE:	APPLE S246037		LOCATION:	ALL GYP. BOARD CEILINGS
	INSTALL:	9.48" x 39.37"			
	LOCATION:	ASHLAR			
	LOCATION:	AS NOTED			
	NOTE:	CUT TO 9.48" x 39.37" SIZE IN FIELD TO MATCH PLANKS INSTALLED ADJACENT.			
CPT-4	ITEM:	CARPET SHEET			
	MFR:	FORBO			

<p>PRODUCT: METRO SHEET          COLOR: EVERGREEN 246022          SIZE: 9'48" x 39'37"          ASH/LAR: AS NOTED          LOCATION: AS NOTED          NOTE: CUT TO 9'48" x 39'37" SIZE IN          FIELD TO MATCH PLANKS INSTALLED          ADJACENT.</p>	<p><b>RUBBER TILE</b></p>
<p>CPT-5 ITEM: CARPET TILE          MFR: FORBO</p>	<p>RT-1 ITEM: RUBBER TILE          MFR: NORA          COLLECTION: NORAPLAN          PRODUCT: ENVIRONCORE          COLOR: ECLIPSE 7040          SIZE: 24" x 24"          THICKNESS: 2MM          INSTALL: RANDOM          LOCATION: MAKER SPACE</p>

## ACOUSTIC WALL PANELS

<p> <b>SIZE:</b> 9'48" x 39'37"  <b>INSTALL:</b> ASHLAR  <b>LOCATION:</b> AS NOTED </p>	<p> <b>AWP-1</b> </p>	<p> <b>ITEM:</b> ACOUSTIC WALL PANEL  <b>MFR:</b> ACOUSTIC WALLS  <b>PRODUCT:</b> SOLID WALL PANELS  <b>SHAPE:</b> DIAMOND  <b>SIZE:</b> 1" THICK, 6"X10.39"W  <b>COLOR:</b> MINIMUM OF 8  <b>PATTERN:</b> TBD, COORDINATE W/ MFR.  <b>INSTALL:</b> TO BE INSTALLED FROM 9'-0" AFF TO 13'-11" (CEILING)  <b>AFF IN LOCATIONS:</b> IDENTIFIED. </p>
<p> <b>CPT-6</b> </p>	<p> <b>ITEM:</b> CARPET TILE  <b>MFR:</b> FORBEO  <b>PRODUCT:</b> METRO PLANK  <b>COLOR:</b> INDIGO P945601  <b>SIZE:</b> 9'48" x 39'37"  <b>INSTALL:</b> ASHLAR </p>	

WINDOW FILM

<b>MILLWORK</b>			<b>WF-1</b> ITEM: SUN SHADE WINDOW FILM 3M PRODUCT: 3M SUN CONTROL WINDOW FILM PRESTIGE SERIES FINISH: ALL UPPER EXTERIOR WINDOWS, AS NOTED IN ELEVATIONS. NOTE: THIS SPECIFICATION MUST BE APPROVED BY 3M MFR PRIOR TO PURCHASE/INSTALLATION TO ENSURE CORRECT PRODUCT IS USED.
PL-1	ITEM: PLASTIC LAMINATE MFR: WILSONART COLOR: KENSINGTON MAPLE PRODUCT #: 10776-60 LOCATION: ALL VERTICAL MILLWORK		
SS-1	ITEM: SOLID SURFACE MFR: CRYSTAL COLOR: CARBON AGGREGATE LOCATION: ALL COUNTERTOPS		

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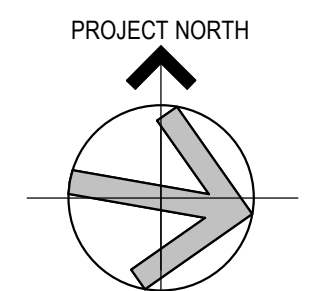
**PROVIDENCE PUBLIC  
SCHOOLS**

797 WESTMINSTER STREET  
PROVIDENCE, RI 02903

Project

**ROBERT L. BAILEY IV  
ELEMENTARY SCHOOL**

65 GORDON AVENUE  
PROVIDENCE, RI 02905



## Seals

## RFP SET

[illegible]

Drawing Title

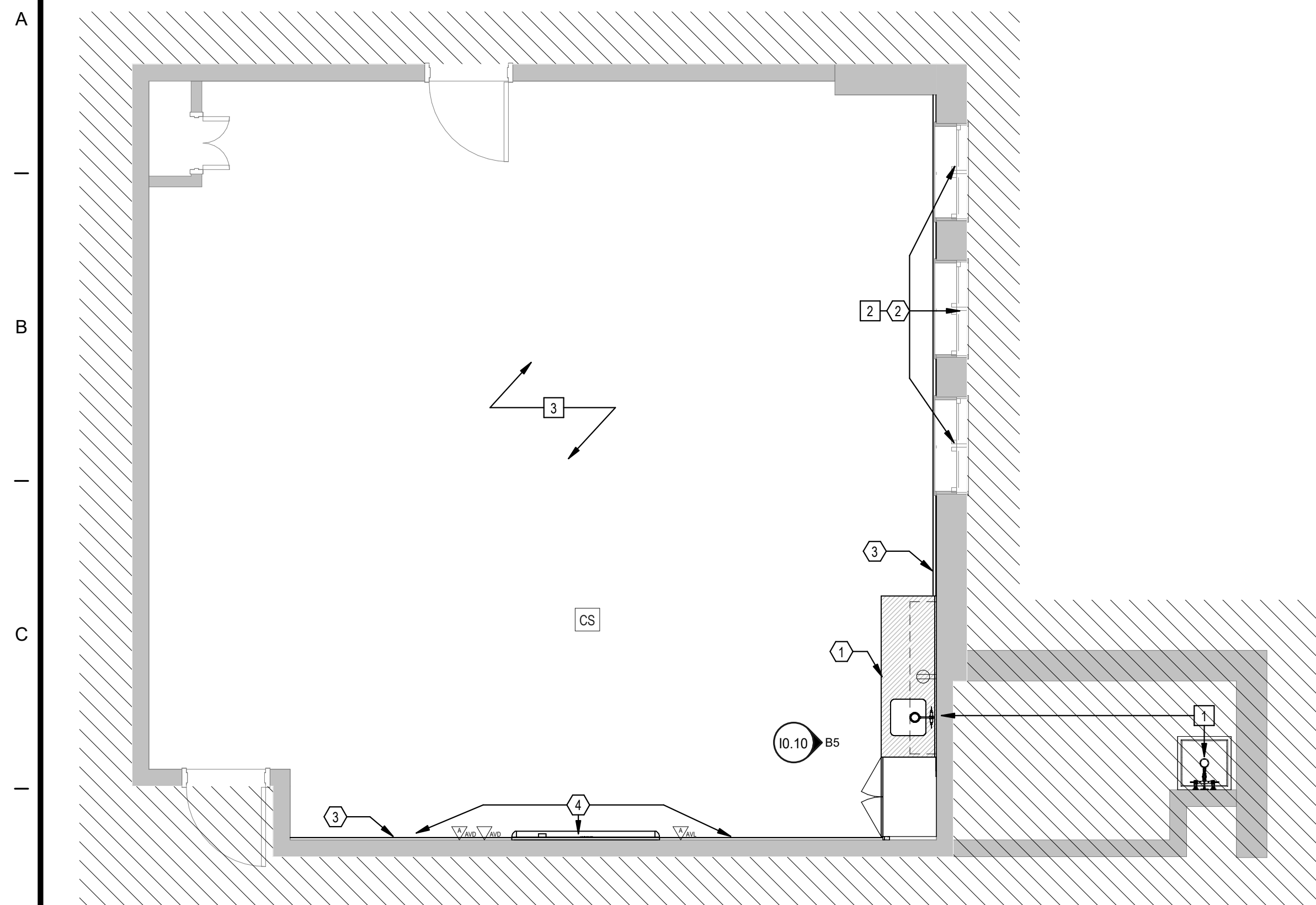
## MATERIALS LIST AND FINISH PLANS

Project Manager:	JH	Project No:	PRV03AR
Project Architect:	LB	Production Leader:	ZF
Project Designer:	AP	Peer Reviewer:	

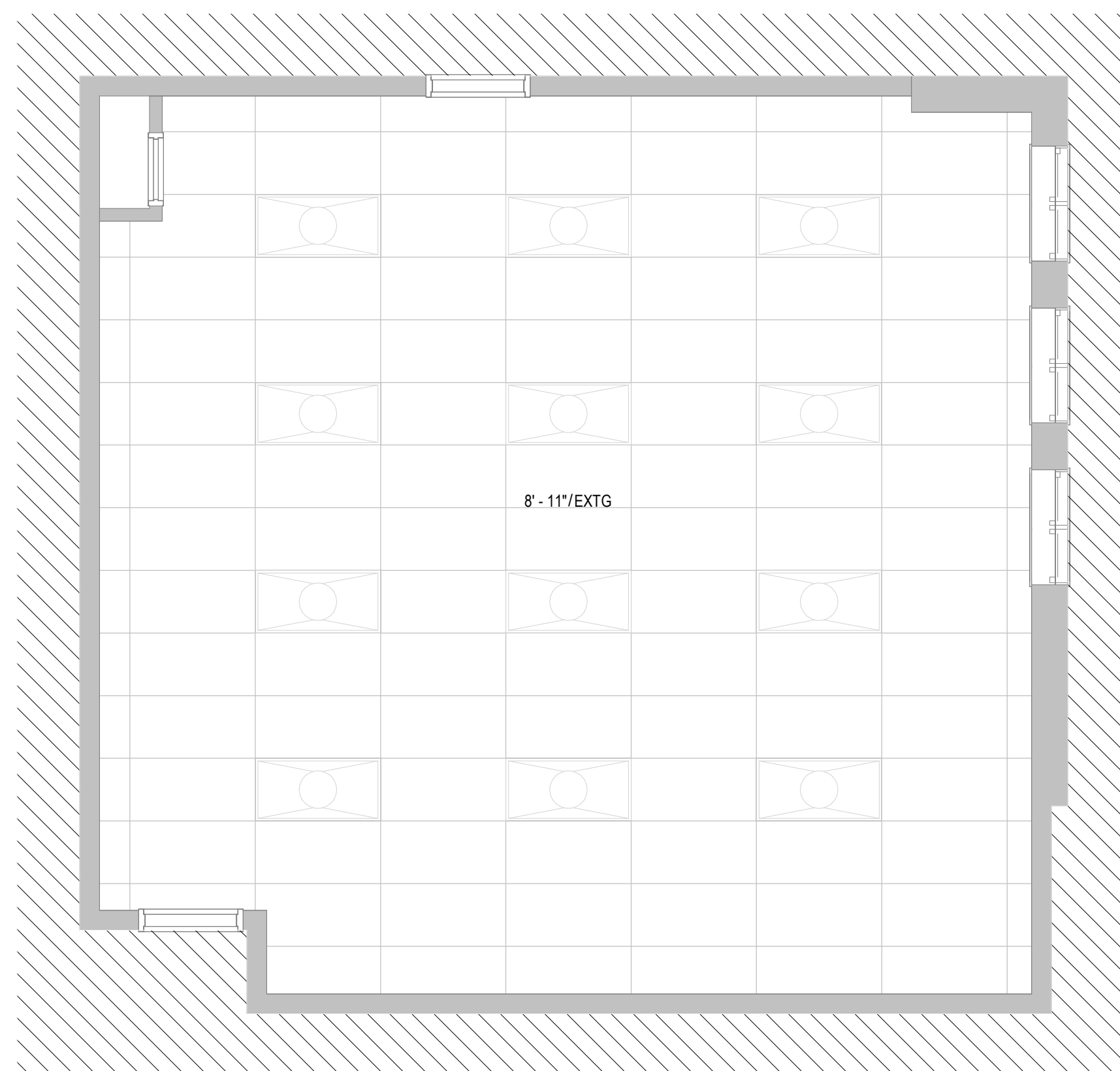
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## 11.10

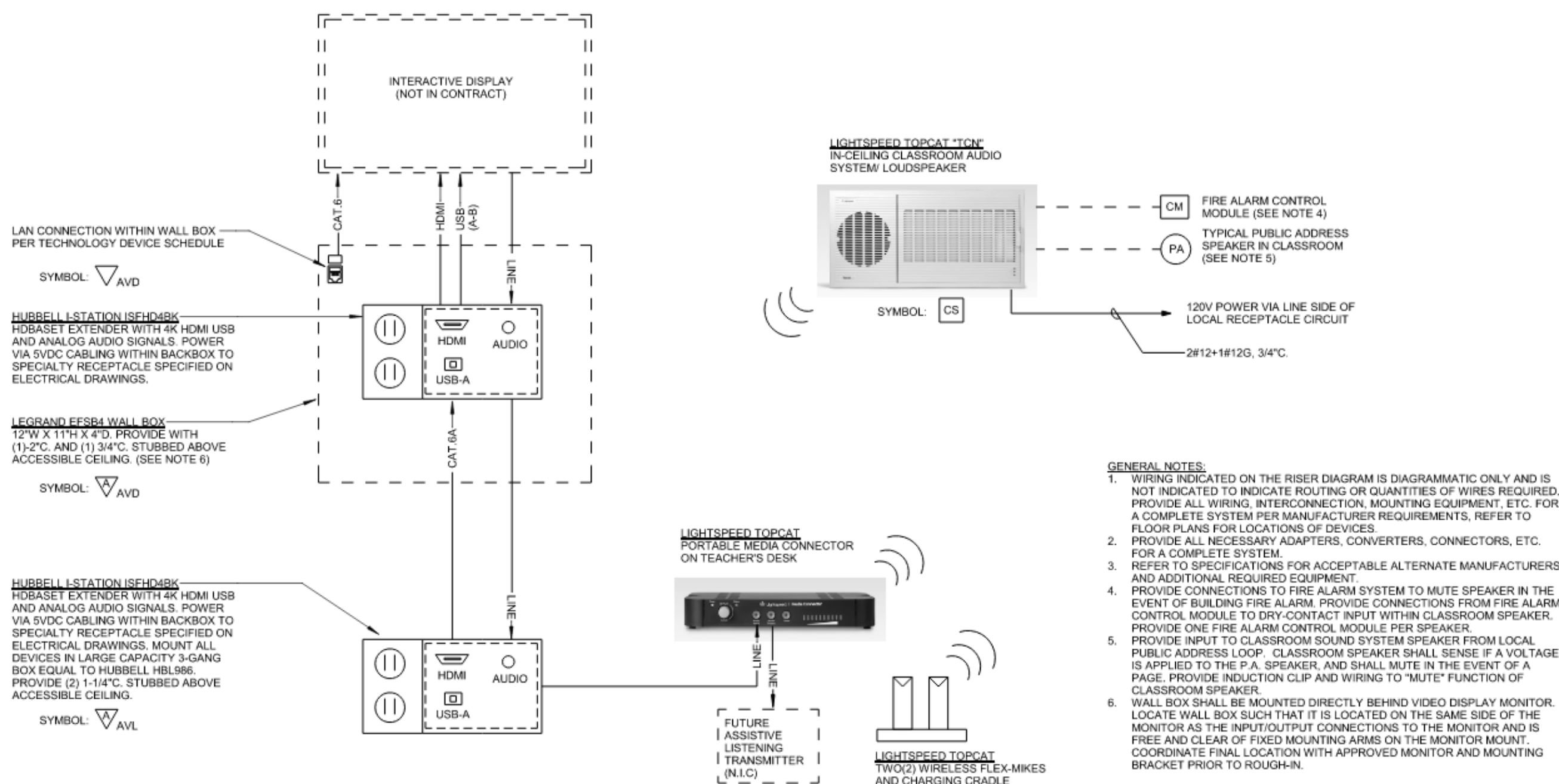




D9 MEDIA CENTER - DEMO/CONSTRUCTION PLAN  
1/4" = 1'-0"

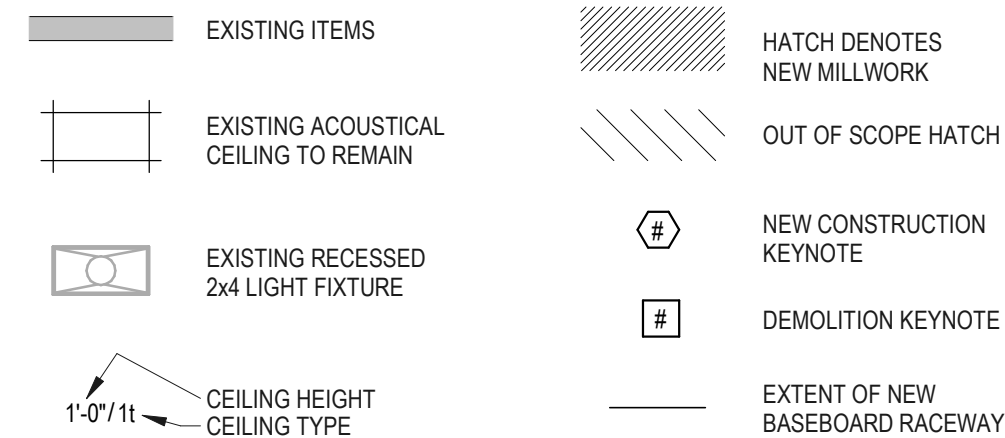


D5 MEDIA CENTER - REFLECTED CEILING PLAN  
1/4" = 1'-0"



**H9 AV SYSTEM DETAIL**  
NOT TO SCALE

### DEMOLITION & CONSTRUCTION LEGEND



### GENERAL NOTES - DEMOLITION

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND REMOVAL NECESSARY TO COMPLETE THE WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE REMOVAL AND PROPER DISPOSAL, INCLUDING ALL COSTS FOR CARRYING AND DUMPING, OF ALL MATERIAL DERIVED FROM THE PROJECT. THE CONTRACTOR SHALL PROVIDE OWNER WITH PROTECT ALL RIGHTS TO ALL MATERIALS, INCLUDING DOORS, HARDWARE, WINDOWS, PLUMBING FIXTURES, ETC., BEFORE REMOVING FROM SITE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH AND REPAIR ALL EXISTING, TO REMAIN AREAS AND SURFACES AS NOTED AND/OR SHOWN. THIS INCLUDES ALL WORK NECESSARY TO READY SURFACES FOR NEW FINISH (N.I.C.) TO FOLLOW IN CONSTRUCTION PHASE. MATCH ALL ADJACENT MATERIALS WHERE PATCHING OCCURS.
3. UNLESS NOTED OTHERWISE, ALL FLOOR SURFACES' FINISHES AND FLOORING BASE TRIM ARE TO BE REMOVED TO FLOOR SLAB AND DISCARDED. CLEAN AND PREPARE CONCRETE AS NECESSARY FOR REFINISHING.
4. IT IS NOT THE INTENT TO SHOW EVERY PIECE OR ITEM TO BE REMOVED IN DEMOLITION WORK. MECHANICAL, ELECTRICAL AND OR OTHER WORK RELATED TO A WALL OR AREA SCHEDULED FOR DEMOLITION AND REMOVAL SHALL BE PERFORMED WHETHER SO NOTED OR NOT. PROTECT ALL ITEMS INTENDED FOR SALVAGE AND REUSE OR SCHEDULED TO REMAIN.
5. PRESERVE AND PROTECT ALL FLOOR, WALL, AND CEILING FINISHES TO REMAIN WHERE POSSIBLE IN AREAS OF DEMOLITION. PATCH TO MATCH AS REQUIRED.
6. REPAIR ALL REMAINING WALLS, CEILINGS AND FLOOR SURFACES WHERE DEMOLITION OCCURS. THIS INCLUDES MEP AND OTHER NECESSARY WORK IN CEILINGS AND WALLS AT FLOOR BELOW.

### GENERAL NOTES - CONSTRUCTION

1. FIRE SAFE ALL PENETRATIONS IN RATED WALL ASSEMBLIES. SEE TYPICAL RATED WALL PENETRATION DETAIL.
2. ALIGN FACE OF NEW FINISH WITH FACE OF EXISTING FINISH AT ALL GYPSUM BOARD INFILL CONSTRUCTION UNLESS OTHERWISE NOTED.
3. VERIFY LOCATION OF ALL ACCESS PANELS WITH MEP EQUIPMENT.
4. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND ANY DISCREPANCIES SHALL BE PROMPTLY REPORTED TO THE ARCHITECT.
5. PATCH, REPAIR, AND REFINISH ALL SURFACES EXPOSED BY DEMOLITION WORK OR CUTTING TO ALIGN WITH EXISTING SURFACES SCHEDULED TO REMAIN OR NEW FINISHES SPECIFIED. REPAIR AND SKIN COAT EXISTING SUB FLOOR AS REQUIRED TO PREPARE FLOOR FOR INSTALLATION OF NEW FLOOR FINISH. COORDINATE WITH FINISH PLAN AND MANUFACTURERS REQUIREMENTS.
6. ALL EXISTING FINISHES REMAINING IN PLACE (I.E. CEILINGS, ETC.) SHALL BE CLEANED UTILIZING EFFECTIVE CLEANING METHODS WHICH WILL PRODUCE THE MOST DESIRABLE RESULTS POSSIBLE.
7. CAULK ALL JOINT OR CRACKS WHICH OCCUR WHERE DISSIMILAR MATERIALS INTERSECT PERPENDICULAR TO EACH OTHER AND THE INTERSECTION IS EXPOSED TO VIEW UNLESS INDICATED OTHERWISE ON THE DRAWINGS.

### GENERAL NOTES - CEILING

1. UNLESS OTHERWISE NOTED, ALL EXISTING CEILING GRID, CEILING TILE, AND LIGHT FIXTURES ARE TO REMAIN
2. UNLESS SPECIFICALLY NOTED OTHERWISE, ALL CEILING GRIDS AND LIGHTING SHALL BE CENTERED, WITH BALANCED CUTS.
3. ALL CEILING ITEMS ARE TO BE CENTERED IN 2x4, 2x2 OR IMPLIED 2x2 CEILING TILE, WHICHEVER APPLIES. THIS PLAN IS INTENDED FOR COORDINATION AND LOCATION PURPOSES ONLY.
4. LIGHTING LAYOUT SHOWN FOR REFERENCE AND COORDINATION ONLY. COORDINATE WITH OWNER FOR WHICH FIXTURES ARE TO BE RELOCATED OR NEW.

## KEYNOTES - DEMOLITION

1	JANITOR'S CLOSET MOP SINK EXISTING TO REMAIN. DEMOLISH WALL AS REQUIRED TO TIE IN PLUMBING FOR NEW SINK IN MEDIA CENTER.
2	EXISTING ROLLER WINDOW SHADES TO BE REMOVED BY OWNER PRIOR TO DEMOLITION.
3	GENERAL CONTRACTOR TO CONFIRM PROBABILITY AND EXTENT OF ACT FLOOR TILE DEMOLITION AND COMMUNICATE WITH ARCHITECT TO COORDINATE NEW FLOORING INSTALLATION.

## KEYNOTES - CONSTRUCTION

1	NEW MILLWORK AND SINK TO BE INSTALLED. REFER TO ELEVATIONS.
2	NEW WINDOW FILM TO BE INSTALLED ONTO EXISTING EXTERIOR WINDOWS AFTER ROLLER SHADES ARE REMOVED. REFER TO MATERIALS LIST AND FINISH PLANS.
3	NEW BASEBOARD RACEWAY WITH TAMPER RESISTANT RECEPTACLES. CONFIRM EXISTING PANEL LOADS AND CONNECTION TO ADJACENT WIRING. BASIS OF DESIGN: LEGRAND WIREMOLD ACCESS 5000 SERIES.
4	EXISTING SMARTBOARD AND WALL MOUNTED WHITEBOARDS TO REMAIN. TO BE REMOVED PRIOR TO PAINTING AND REINSTALLED. REFER TO FINISH NOTES.

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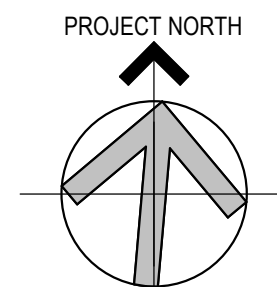
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Project

**LEVITON DUAL  
LANGUAGE SCHOOL**

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PROVIDENCE, RI  
02907



Seals

## RFP SET

[illegible]

Drawing Title

# CONSTRUCTION PLANS, RCP AND DETAILS

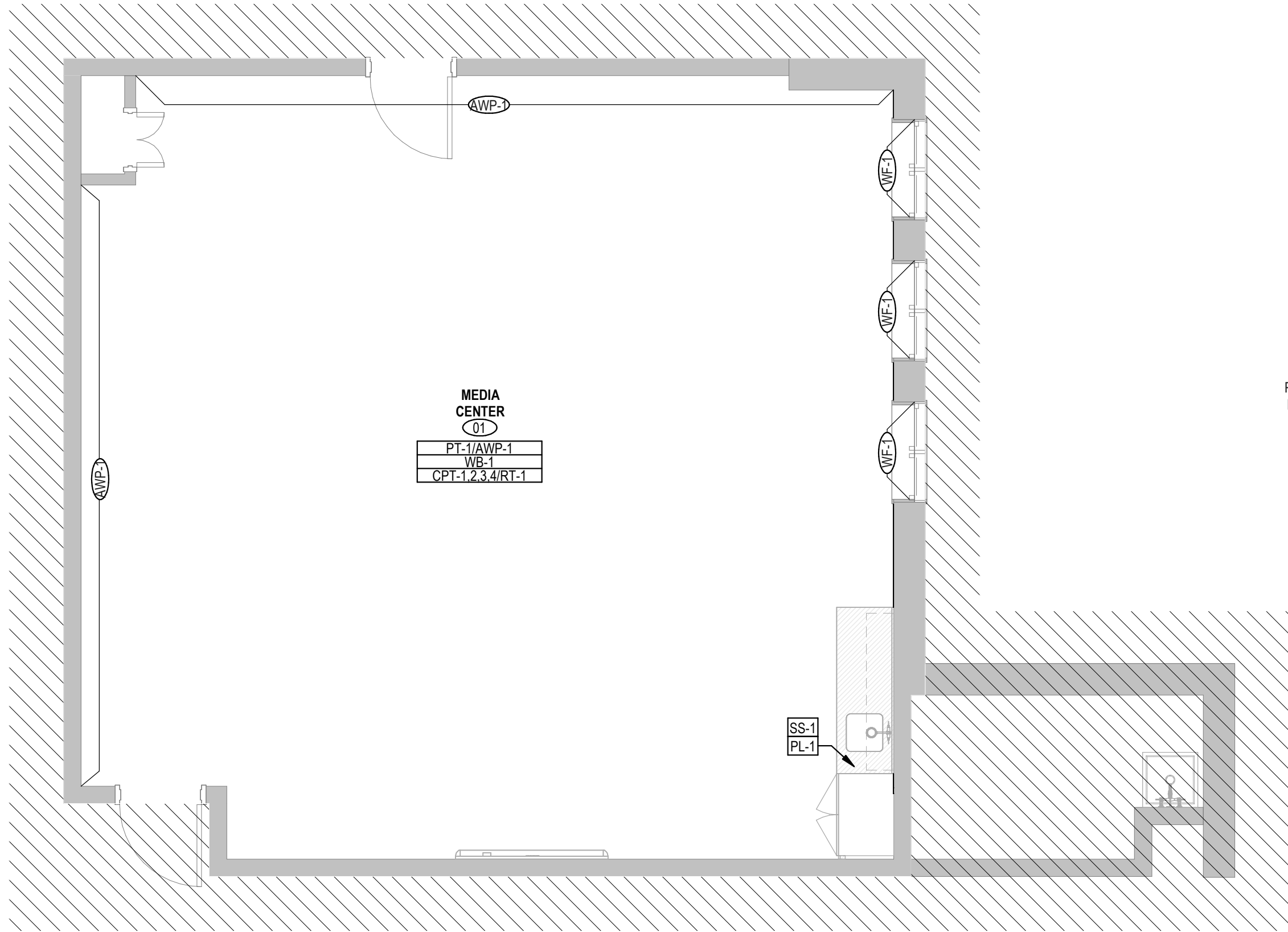
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Project Architect:	LB	Production Leader:	ZF
Project Designer:	AP	Peer Reviewer:	

Drawing Number

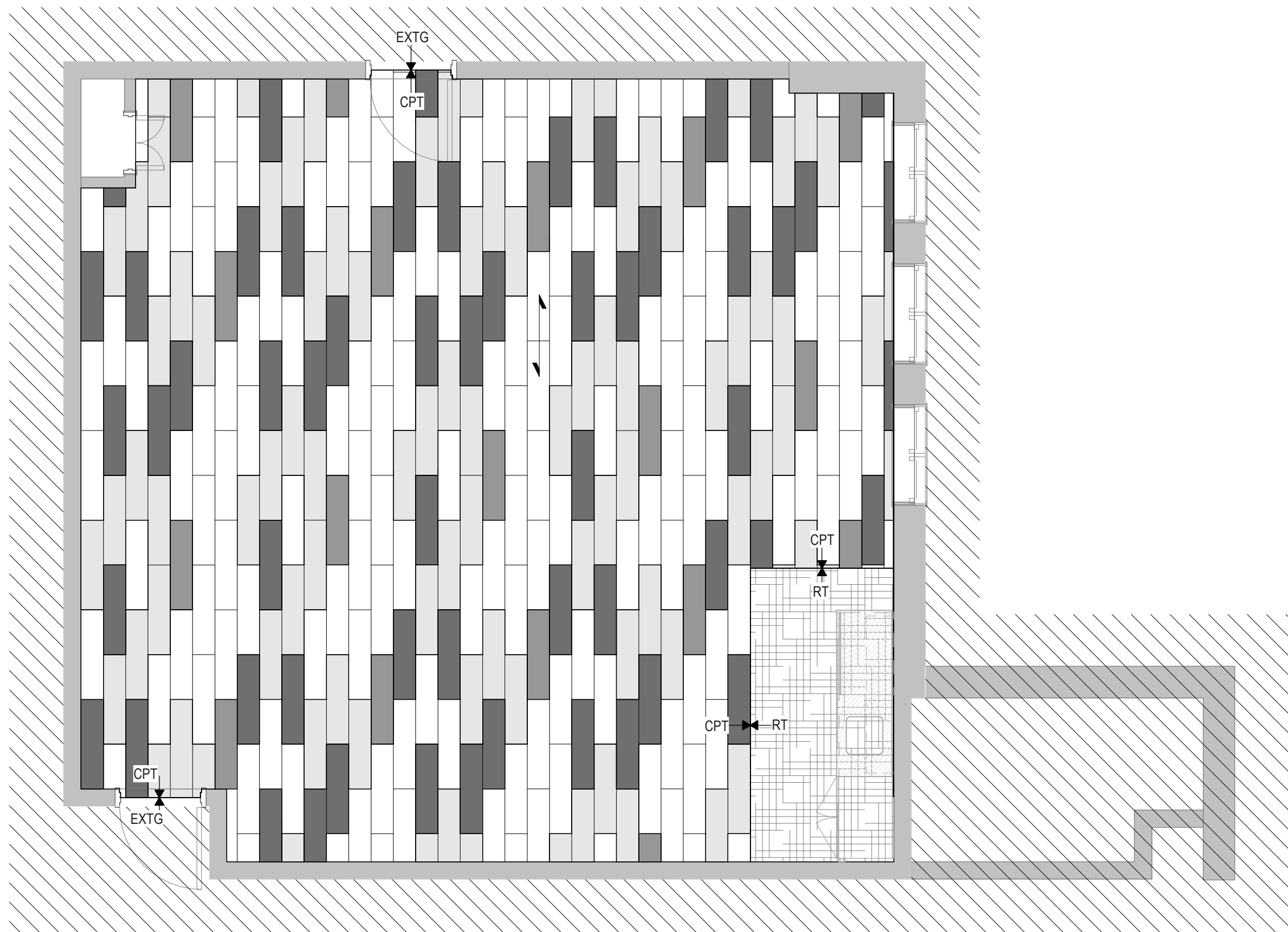
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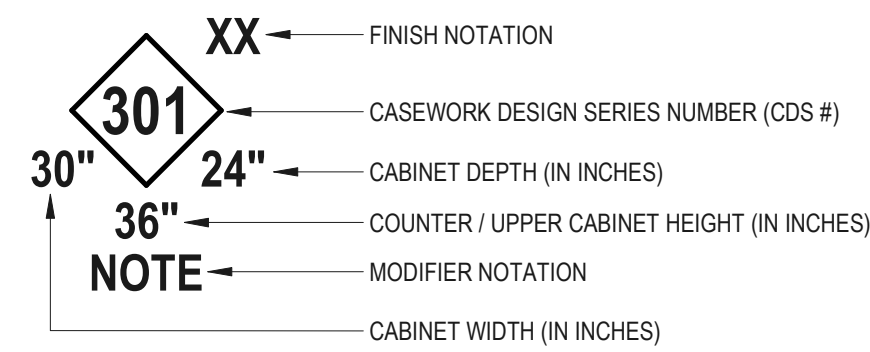
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D9 MEDIA CENTER - FINISH PLAN  
1/4" = 1'-0"



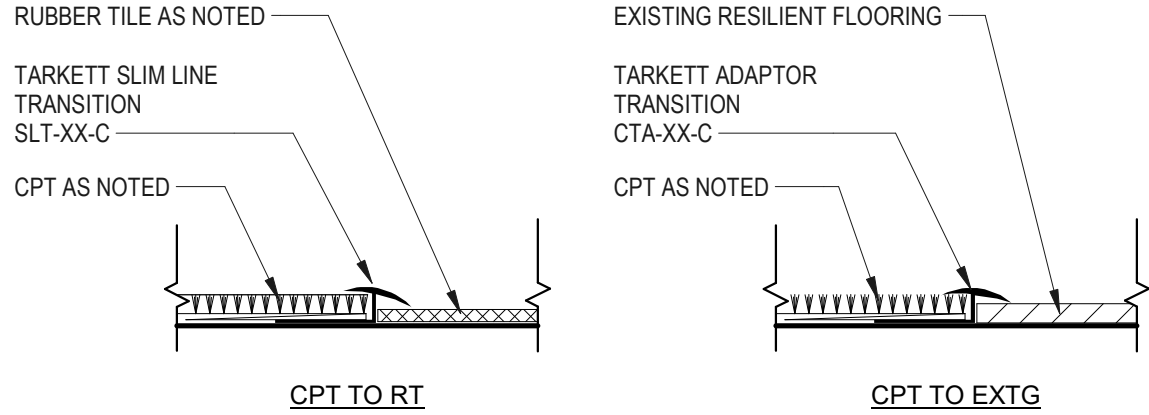
G9 MEDIA CENTER - FINISH FLOORING DETAIL PLAN  
1/4" = 1'-0"



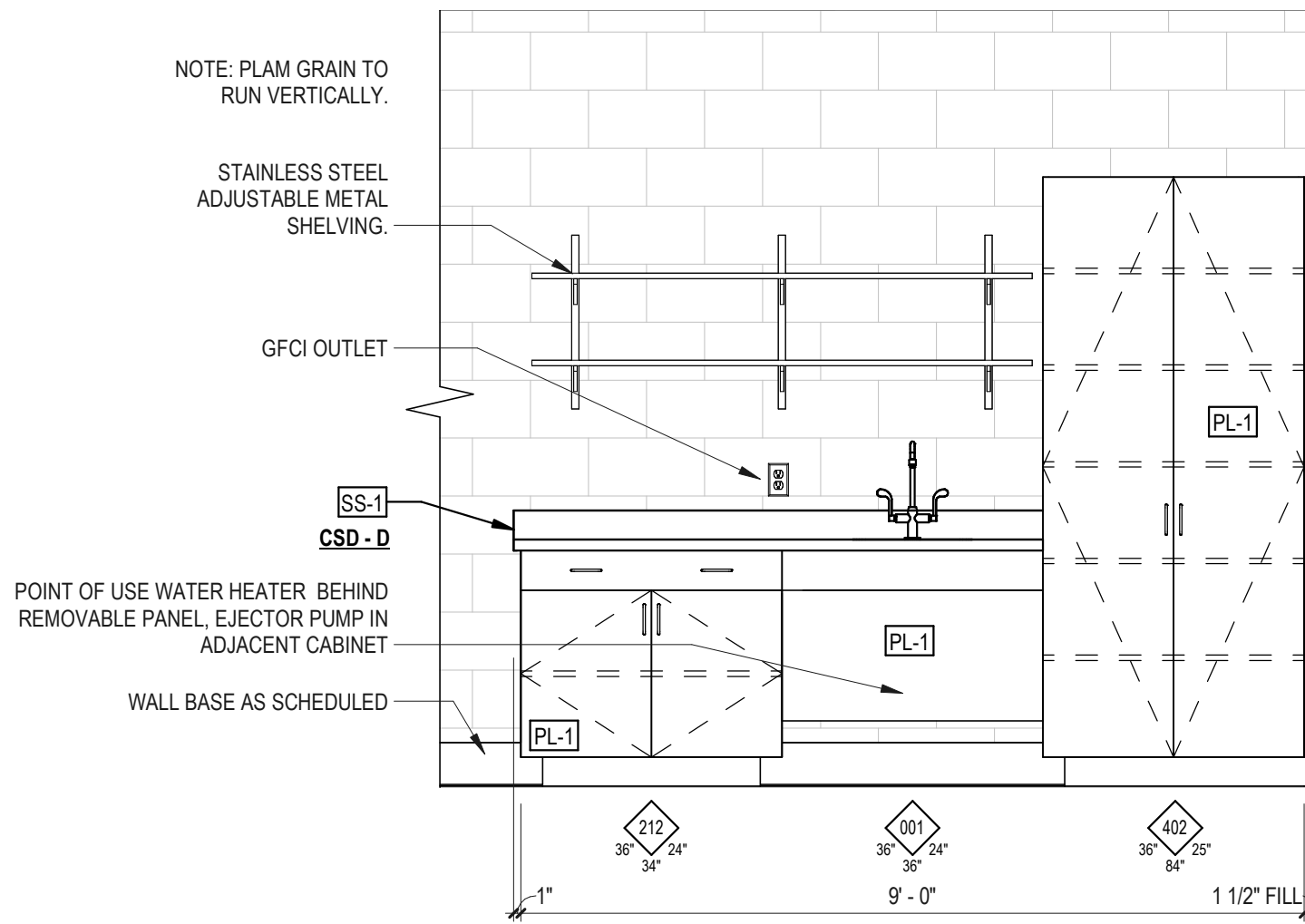
CSD-A COUNTER SURFACE DETAIL

CASEWORK DESIGN SERIES KEY

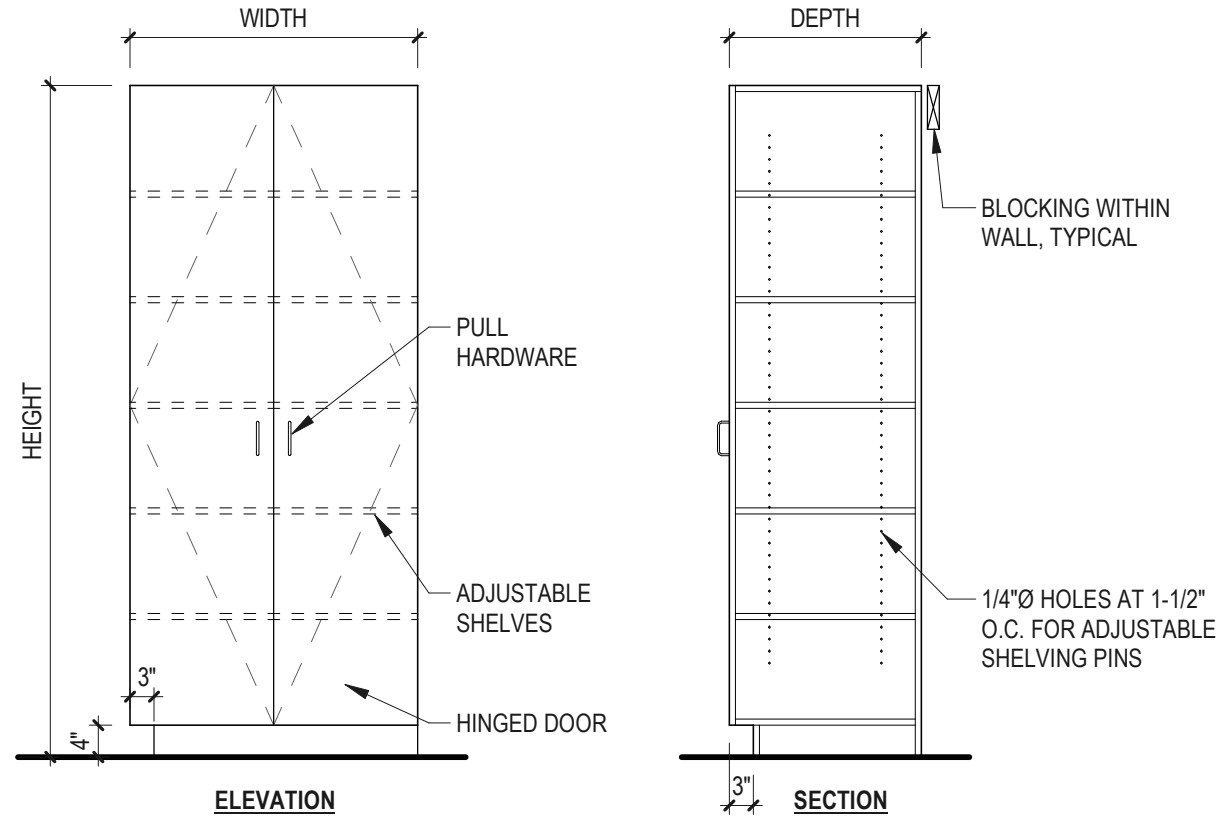
NOTE: ALL MILLWORK IS TO BE MADE OF MARINE GRADE PLYWOOD.



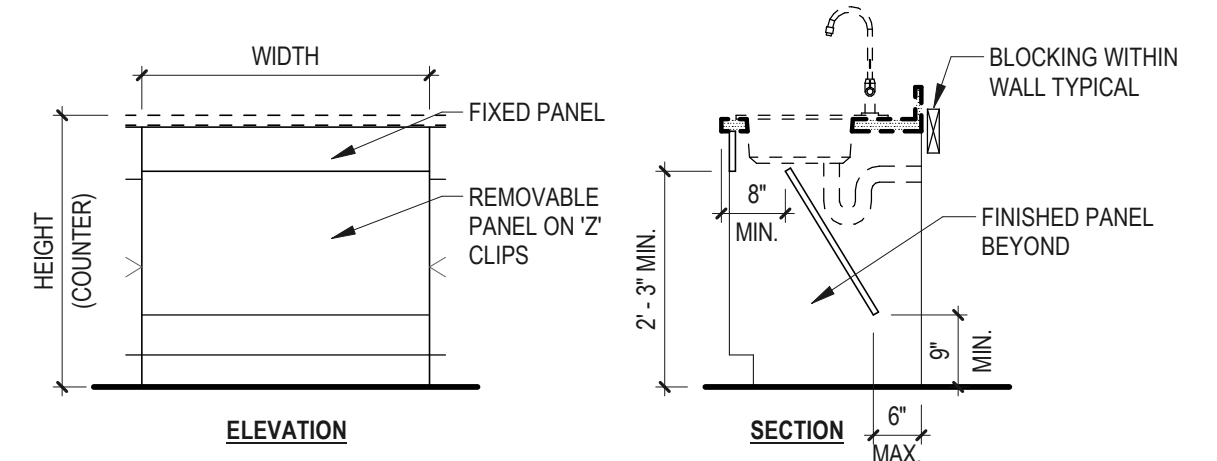
H8 FLOORING TRANSITION DETAILS  
6" = 1'-0"



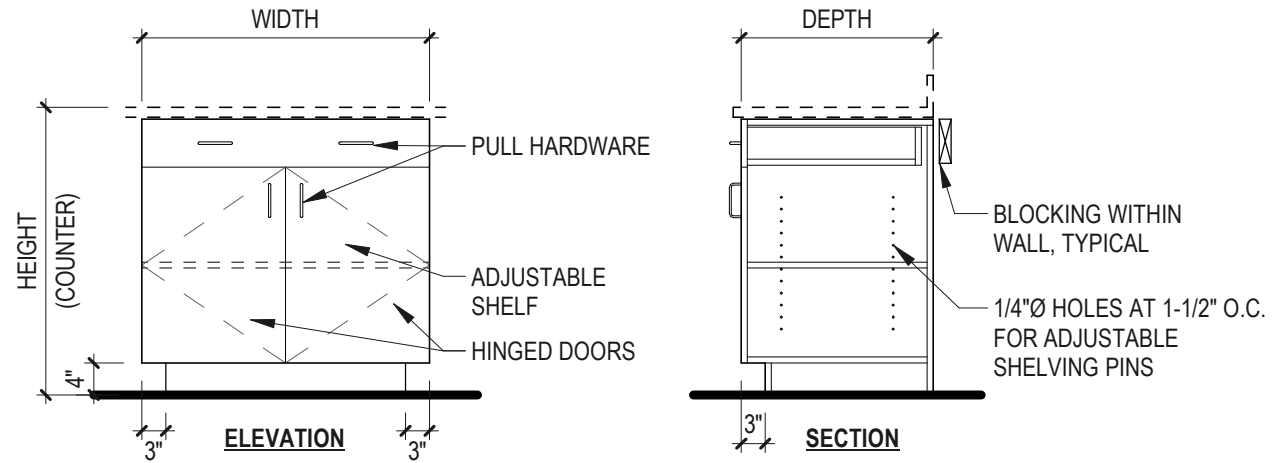
B5 MILLWORK ELEVATION  
1/2" = 1'-0"



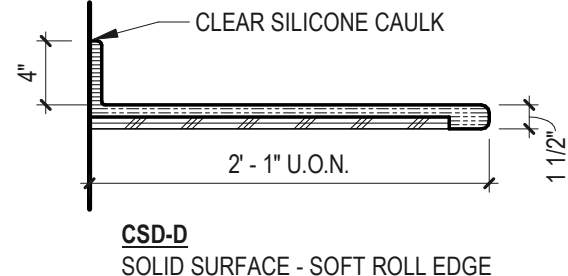
D5 CDS #402 TALL STORAGE 2-DOOR  
1/2" = 1'-0"



F5 CDS #001 - ADA SINK VALANCE  
1/2" = 1'-0"

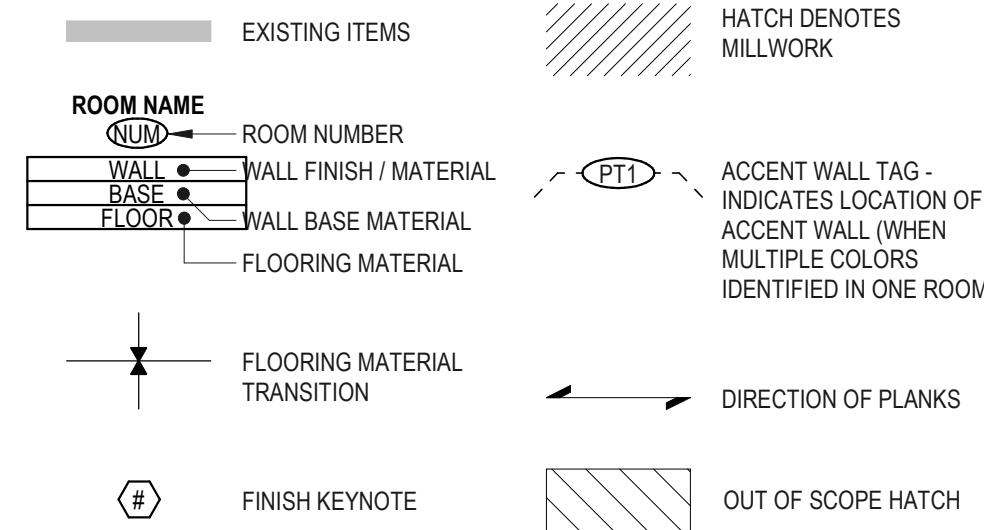


G5 CDS #212 - BASE CABINET 2 DOOR, 1 DRWR.  
1/2" = 1'-0"



H5 COUNTER SURF. DETAIL  
1" = 1'-0"

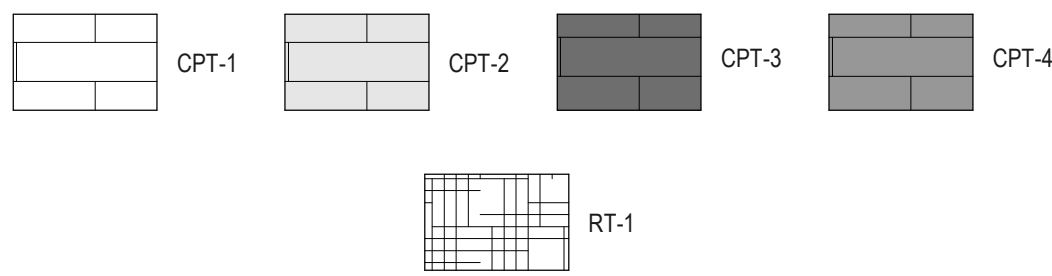
## FINISHES LEGEND



## GENERAL NOTES - FINISHES

- FOR ROOMS WITH MULTIPLE WALL FINISHES CALLED OUT REFER TO INTERIOR ELEVATIONS. FOR ROOMS WITH MULTIPLE FLOORING FINISHES CALLED OUT REFER TO FINISH DETAIL PLANS.
- FOR INTERIOR PAINT FINISHES:
  - ALL INTERIOR WALLS TO BE EGGSHELL FINISH, UNLESS EPOXY FINISH IS NOTED.
  - ALL PAINTED METAL TO BE SEMI-GLOSS FINISH, UNLESS EPOXY FINISH IS NOTED.
- ALL EXPOSED COLUMNS THAT ARE NOT INCORPORATED IN A WALL ARE TO BE PAINTED PT-1, UNLESS OTHERWISE NOTED. EXPOSED STRUCTURE THAT IS INCORPORATED IN A WALL IS TO BE PAINTED TO MATCH ADJACENT WALL.
- FLOOR FINISHES TO EXTEND UNDER CASEWORK.
- ALL WINDOW FRAMES ARE EXISTING TO REMAIN. DO NOT PAINT / RE-FINISH. COORDINATE EXISTING FRAME PAINT COLOR / FINISH WITH OWNER. TOUCH-UP ANY DAMAGE CAUSED DURING CONSTRUCTION.
- ALL EXISTING DOORS/FRAMES ARE TO BE PAINTED PT-2. REFER TO MATERIALS LIST
- ALL EXISTING WALL-MOUNTED TECHNOLOGY IS TO BE REMOVED PRIOR TO PAINTING AND RE-INSTALLED AFTER PAINTING IS COMPLETE.
- ALL FINISHES "OUT OF SCOPE" REGION ARE EXISTING TO REMAIN.

## FLOORING INSTALL LEGEND



## MATERIALS LIST

CARPET		PAINT	
CPT-1	ITEM: MFR: COLLECTION: PRODUCT: COLOR: SIZE: INSTALL: LOCATION:	CARPET TILE FORBO FLOTEX COLOUR METRO PLANK GREY P948006 9'48" x 39'37" ASHLAR AS NOTED	PT-1 MFR: PRODUCT: COLOR: LOCATION: BENJAMIN MOORE ULTRA SPEC SCUFF-X EGGSHELL #485 CHANTILLY LACE 2121-70 ALL WALLS, U.O.N.
CPT-2	ITEM: MFR: COLLECTION: PRODUCT: COLOR: SIZE: INSTALL: LOCATION:	CARPET TILE FORBO FLOTEX COLOUR METRO PLANK ASH P946007 9'48" x 39'37" ASHLAR AS NOTED	PT-2 MFR: PRODUCT: COLOR: LOCATION: NOTE: BENJAMIN MOORE ADVANCE W.B. INTERIOR ALKYD SEMI-GLOSS FINISH T80 (TO MATCH EXISTING. COORDINATE IN FIELD) DOORS/FRAMES, AS NOTED ALL EXISTING DOORS AND FRAMES TO BE PAINTED PT-2.
CPT-3	ITEM: MFR: COLLECTION: PRODUCT: COLOR: SIZE: INSTALL: LOCATION:	CARPET TILE FORBO FLOTEX COLOUR METRO PLANK LAGOON P946020 9'48" x 39'37" ASHLAR AS NOTED	WALL BASE WB-1 ITEM: MFR: PRODUCT: COLOR: SIZE: LOCATION: RUBBER WALL BASE TARKETT TRADITIONAL DURACOVE 1/8" THERMOPLASTIC RUBBER (TYPE TP) COOL METAL LV4 6TH COVE, 120" ROLL THROUGHOUT, U.O.N.
CPT-4	ITEM: MFR: COLLECTION: PRODUCT: COLOR: SIZE: INSTALL: LOCATION:	CARPET TILE FORBO FLOTEX COLOUR METRO PLANK INDIGO P946001 9'48" x 39'37" ASHLAR AS NOTED	ACOUSTIC WALL PANELS AWP-1 ITEM: MFR: PRODUCT: SHAPE: SIZE: COLOR: PATTERN: INSTALL: ACOUSTIC WALL PANEL ACOUFELT SOLID WALL PANELS DIAMOND 1" THICK, 6"W x 10.39"W MINIMUM OF 8 T80. COORDINATE W/ MFR. TO BE INSTALLED FROM 5'-6" AFF TO 8'-5" AFF IN LOCATIONS IDENTIFIED.
RT-1	ITEM: MFR: COLLECTION: PRODUCT: COLOR: SIZE: THICKNESS: INSTALL: LOCATION:	RUBBER TILE NORA NORAPLAN ENVIRONCARE BIKE RIDE 7040 24" x 24" 2MM RANDOM MAKER SPACE AREA	MILLWORK PL-1 ITEM: MFR: COLOR: LOCATION: PLASTIC LAMINATE WILSONART KENSINGTON MAPLE 10776-60 ALL VERTICAL MILLWORK SS-1 ITEM: MFR: COLOR: LOCATION: SOLID SURFACE CORIAN CARBON AGGREGATE ALL COUNTERTOPS
WF-1	ITEM: MFR: PRODUCT: FINISH: FINISH #: SIZE: LOCATION:	PRIVACY WINDOW FILM 3M 3M FASARA GLASS FINISHES MILKY WHITE SH2MAMM WIDTH/HEIGHT OF WINDOWS TO BE VERIFIED IN THE FIELD PRIOR TO INSTALLATION EXTERIOR WINDOWS, AS NOTED	

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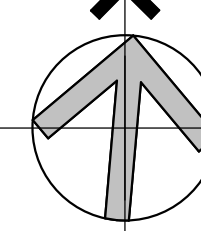
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PROJECT NORTH



Seals

RFP SET

Issues / Revisions

No.	Date	Description
02/14/2023		RFP SET

Drawing Title

FINISH PLANS,  
MATERIALS LIST  
AND DETAILS

Project Manager:	JH	Project No:	PRV03AR
Project Architect:	LB	Production Leader:	ZF
Project Designer:	AP	Peer Reviewer:	

Drawing Number

10.10



July 2022				
Mo	Tu	We	Th	Fr
				1
4	5	6	7	8
11	12	13	14	15
18	19	20	21	22
25	26	27	28	29

August 2022				
Mo	Tu	We	Th	Fr
1	2	3	4	5
8	9	10	11	12
15	16	17	18	19
22	23	24	25	26
29	30	31		

September 2022				
Mo	Tu	We	Th	Fr
			1	2
5	6	7	8	9
12	13	14	15	16
19	20	21	22	23
26	27	28	29	30

October 2022				
Mo	Tu	We	Th	Fr
3	4	5	6	7
10	11	12	13	14
17	18	19	20	21
24	25	26	27	28
31				

November 2022				
Mo	Tu	We	Th	Fr
	1	2	3	4
7	8	9	10	11
14	15	16	17	18
21	22	23	24	25
28	29	30		

December 2022				
Mo	Tu	We	Th	Fr
			1	2
5	6	7	8	9
12	13	14	15	16
19	20	21	22	23
26	27	28	29	30

January 2023				
Mo	Tu	We	Th	Fr
2	3	4	5	6
9	10	11	12	13
16	17	18	19	20
23	24	25	26	27
30	31			

February 2023				
Mo	Tu	We	Th	Fr
		1	2	3
6	7	8	9	10
13	14	15	16	17
20	21	22	23	24
27	28			

March 2023				
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6	7	8	9	10
13	14	15	16	17
20	21	22	23	24
27	28	29	30	31

April 2023				
Mo	Tu	We	Th	Fr
3	4	5	6	7
10	11	12	13	14
17	18	19	20	21
24	25	26	27	28

May 2023				
Mo	Tu	We	Th	Fr
1	2	3	4	5
8	9	10	11	12
15	16	17	18	19
22	23	24	25	26
29	30	31		

June 2023				
Mo	Tu	We	Th	Fr
			1	2
5	6	7	8	9
12	13	14	15	16
19	20	21	22	23
26	27	28	29	30



Staff Return/ Staff  
Professional Development



First / Last Day of School



No School



2-hour Early Dismissal + Staff  
Professional Development

## 2022 - 2023 School Calendar Overview

### August

22 - 25 Teacher PD (School year begins for staff)  
26 - Orientation Day  
29 - First Day of School

### November

8 - Election Day (No School)  
11 - Veteran's Day (No School)  
23 - 25 Thanksgiving Recess (No School)

### February

20 - President's Day (No School)  
21-24 Winter Recess (No School)

### June

19 - Juneteenth (No School)  
21 - Last Day of School

### September

5 - Labor Day (No School)  
13 - Primary Election Day (No School)  
26 - 27 Rosh Hashanah (No School)

### December

23 - 30 Holiday Recess (No School)

### April

7 - Good Friday (No School)  
10 - 14 Spring Recess (No School)  
21 - Eid al-Fitr (No School)

### October

5 - Yom Kippur (No School)  
10 - Indigenous Peoples Day (No School)

### January

2 - New Years Observed (No School)  
16 - MLK Day (No School)

### May

29 - Memorial Day (No School)

### End of Quarter Dates

November 4  
January 20  
April 6  
June 16