



Johnson & Wales University Amendment “A” to Institutional Master Plan

January 11, 2023

On November 15, 2022, Johnson & Wales University’s 5-year update to the institutional master plan (IMP) was approved at the City Plan Commission’s regular meeting. Since that time, there have been two opportunities presented to the University, which, if acted upon, would necessitate a change to the IMP. The University submits the two modifications below for consideration as an amendment to the current IMP.

1. The University owns a 13+/- acre undeveloped portion of a parcel on the Harborside campus that is designated in the existing IMP (page 49) as a parking area (see figure 1), and is currently under a land lease. There is a provision in this lease which allows the University to “take back” approximately 6 acres of the undeveloped area for the purposes of entering into an alternate superseding land lease for the construction of a soccer training facility (see figure 2). This facility would contain two soccer fields: one grass and one turf. The turf field would primarily serve the university for both men’s and women’s varsity sports activities of soccer, field hockey, and lacrosse. The grass field would be for the exclusive use of the lessee. Also, proposed in a future phase is an administrative building, including athletic support programming such as physical therapy and a fitness center. These facilities would also be shared by the university’s athletic department and student athletes, as well as used for academic opportunities, to be more formally determined. The location of this facility would be adjacent to, and across Harborside Boulevard from, the University’s existing athletic complex, enhancing the current athletic + recreation activity zone of the campus (see figure 3). This modification would reduce the University’s existing parking inventory by 145 spaces. Currently, the University has a surplus of 1,723 parking space as supported by the calculations in the IMP (page 70). Therefore, the reduction would not negatively impact the parking requirements nor the actual parking experience for current visitors, students, faculty and staff. Further, the remaining surplus will allow for any parking required as a result of the new facility.



Figure 1 – existing use plan

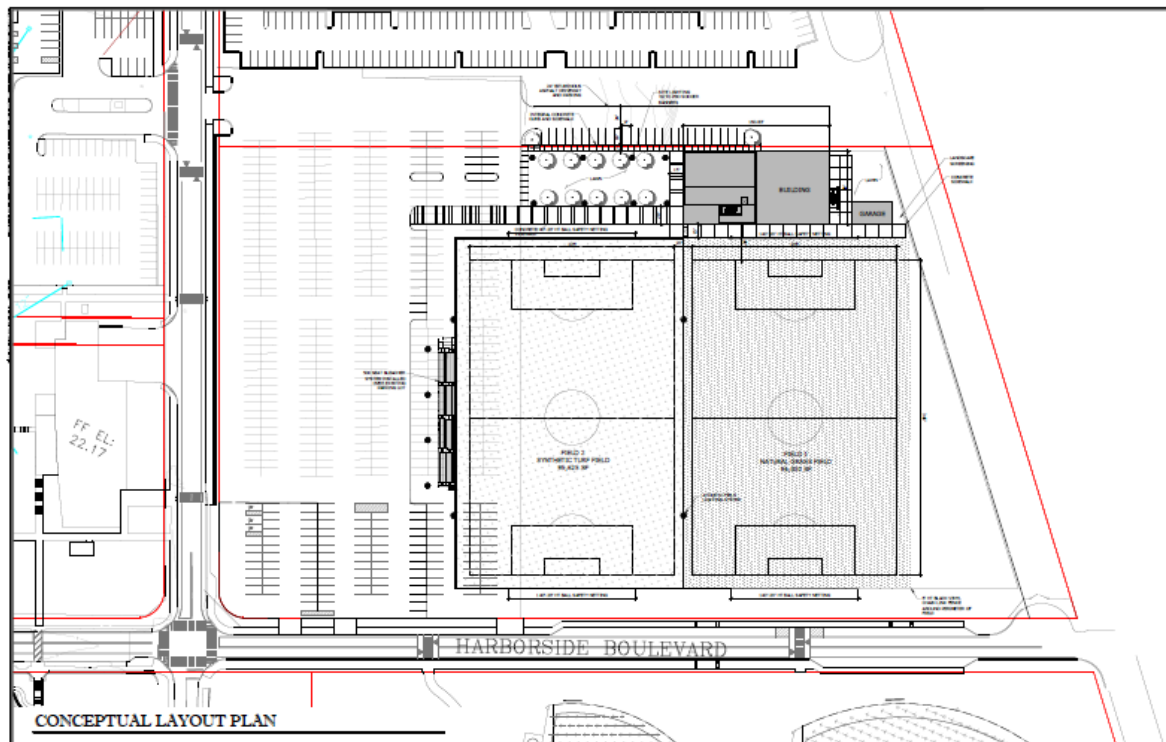


Figure 2 – proposed soccer facility location



Figure 3 – artist's rendering of soccer facility across Harborside Blvd. from existing athletic complex

2. The University's approved IMP (page 6) shows a proposed controlled environment agriculture (CEA) facility adjacent to the soccer facility described above and on the corner of Harborside Boulevard and Shipyard Street (see figure 4). Due to the existing conditions of this area being located in a floodplain, the construction of a CEA at this particular location is not feasible. Therefore, the University is considering an alternate location at an undeveloped downcity location. The current IMP (page 5) depicts a potential "academic or administrative building" (see figure 5) at this location. The University would like to modify this use and footprint to a potential CEA (see figure 6), which is allowed under the existing zone as "plant agriculture" use. Figure 7 depicts a rendered example of the architecture of a similar facility currently under construction in Westbrook, Maine for reference purposes.



Figure 4 – existing proposed location of CEA (see blue arrow)

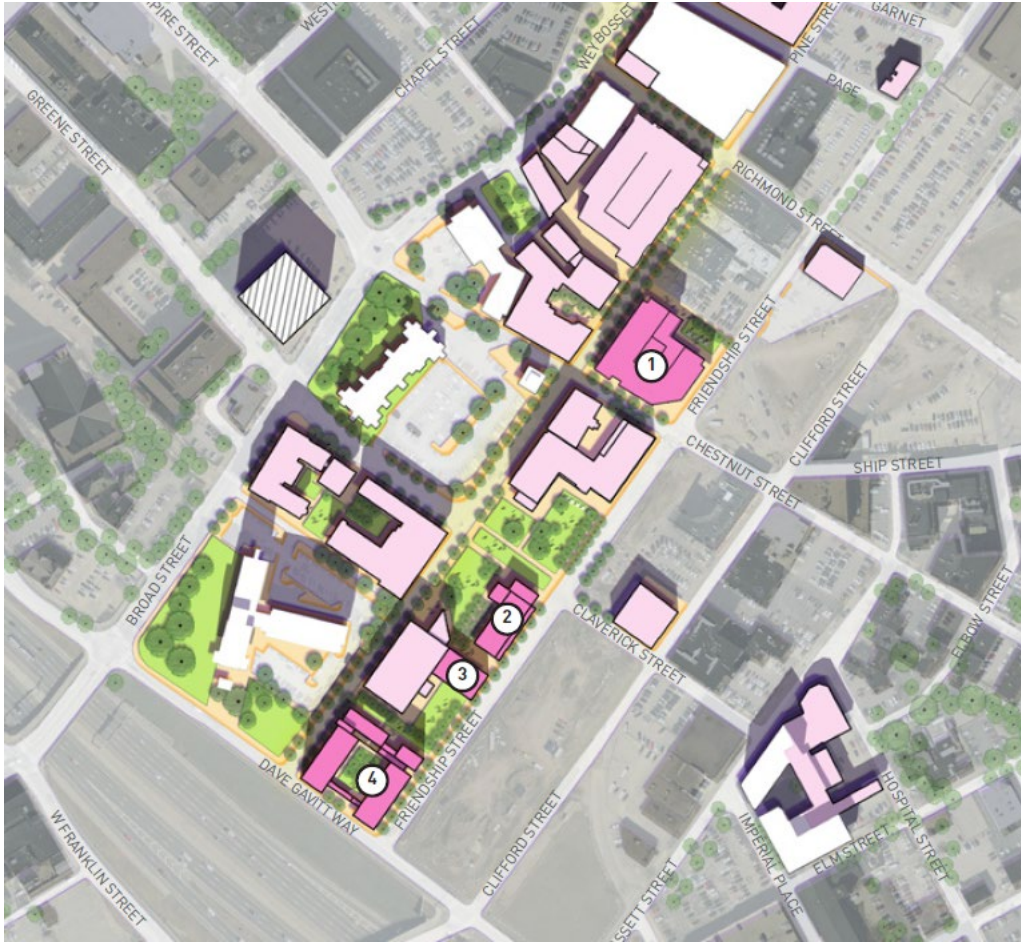


Figure 5 – proposed academic or administrative building shown as #4

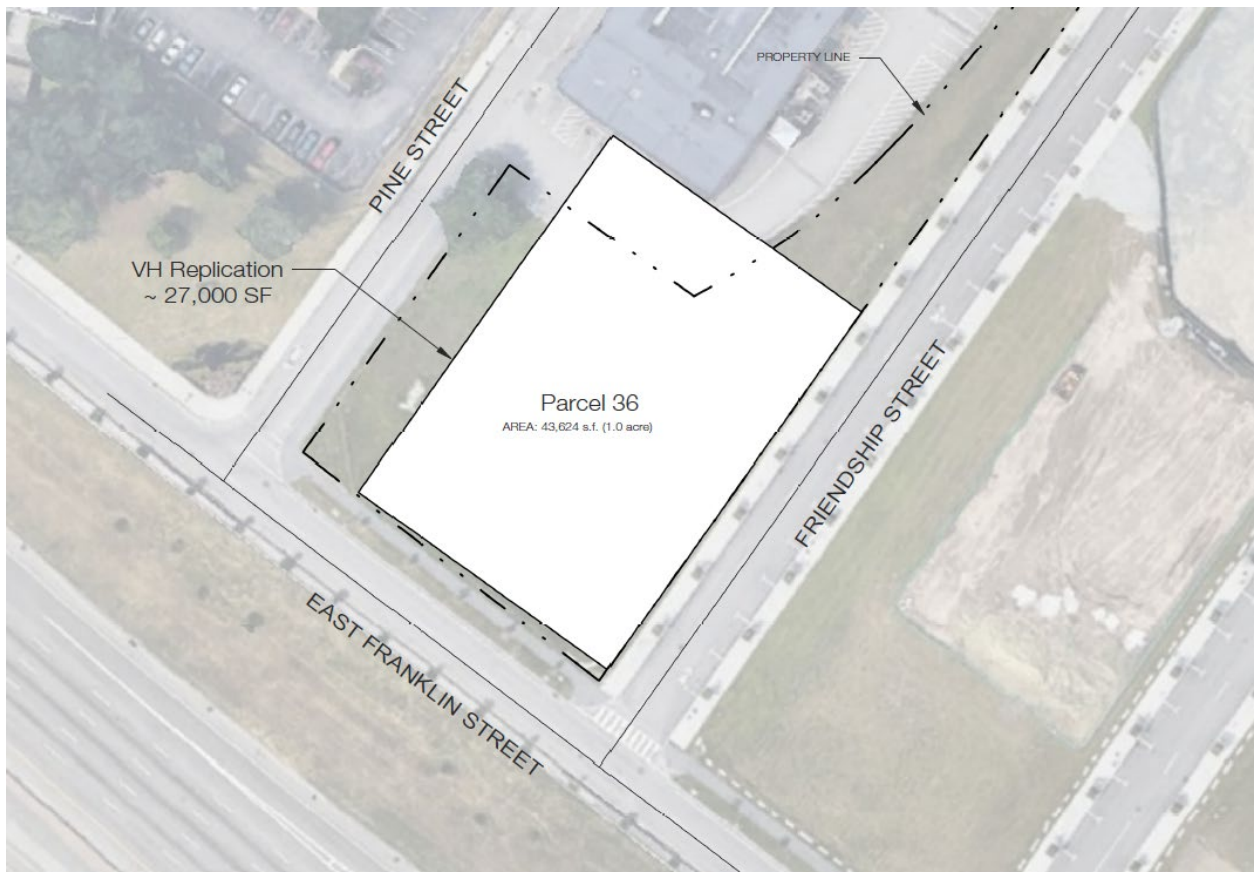


Figure 6 – new proposed and potential location of CEA use



Figure 7 – CEA reference rendering