



CITY OF PROVIDENCE, RHODE ISLAND

Department: Public Property

RFP Title: General Contractor for Phase 1 of PPSD 21st Century Media Center Renovations

Opening Date: 03/27/2023

Addendum #: 4

Issue Date: 3/22/2023

The purpose of this addendum is The purpose of this addendum is to provide modified and or supplemented documents that should be included in the contractors proposal.



ADDENDUM #04
TO

REQUEST FOR PROPOSAL

**General Contractor for
Phase 1 of
PPSD 21st Century Media Center Renovations
Providence, RI**

March 22, 2023

The Documents for this Request for Proposal are modified and/or supplemented as follows and should be included in the Contractor’s proposal:

QUESTIONS

Please see the attached RFI log for answers to all questions submitted on this RFP.

FIRE ALARM VENDOR

The fire alarm vendor for Providence Public Schools is Encore Fire Protection and their contact is Mason Palmieri at 401.721.4619 or mpalmieri@encorefireprotection.com.

ACOUSTICAL WALL PANELS

For the acoustical wall panels (AWP) shown on the drawings, please include the allowance shown below for each school:

School	Acoustic Panel SF	Allowance
Young Woods	153 SF (AWP-1)	\$5,000
Bailey	480 SF (AWP-1)	\$15,000
Carnevale	345 SF (AWP-1)	\$11,000
Leviton	144 SF (AWP-1)	\$5,000
Messer	0 SF	\$0
Vartan Gregorian	733 SF (AWP-1 & ACP-1)	\$23,000

PLAN & SCOPE OF WORK CHANGES

Please see the attached drawings for changes to the plans and scope of work for the following schools:

Robert L. Bailey, IV Elementary School
Leviton Dual Language School
Vartan Gregorian Elementary School
Asa Messer Elementary School

YOUNG WOODS ELEMENTARY SCHOOL

Please see attached photos of the existing conditions at Young Woods Elementary School.

As a reminder, bids are due by March 27, 2023 at 2:15 pm.

END ADDENDUM #04

PPSD 21st Century Media Centers
RFP for Phase 1 Renovations
QUESTIONS/RFI/COMMENTS
DATE: 3/22/2023

No.	Discipline	Initiated By	Entered	RFI delivery	Question/Comment/Needs Further Research	Addendum	Answer Responsibility	Answer	Answer Date
1	General Contractor	Maron Construction	3/7/2023	email	At Leviton School: 1. Demolition keynote 3 is too vague. Is the flooring asbestos containing. If so, is it within the project scope? If not, is the flooring supposed to be completely removed under this contract?	1	DCC	There are no known ACMs on this project and the intent is for the new flooring to be installed directly over the existing whenever possible.	3/15/2023
2	General Contractor	Maron Construction	3/7/2023	email	At Leviton School: 2. There appears to be AWP-1 on two complete walls, however under the material list, it states that the material is supposed to be 1" thick – 6 inches wide by 10.39 inches wide, which makes no sense. We need to know the quantity and sizes of these panels at both of these walls.	1	TA	Please carry the allowance specified in Addendum #4 for the acoustical wall panels at each school.	3/22/2023
3	General Contractor	Maron Construction	3/7/2023	email	At Young Woods: 1. Is there supposed to be a plastic laminate backplash for the entire height and length of the area where the cabinets are located?	1	TA	No, just the 4" solid surface counter backplash as shown.	3/16/2023
4	General Contractor	Maron Construction	3/7/2023	email	At Young Woods: Please confirm that the flooring removed as part of this scope does not contain asbestos containing material?	1	DCC	There are no known ACMs on this project and the intent is for the new flooring to be installed directly over the existing whenever possible.	3/15/2023
5	General Contractor	Maron Construction	3/7/2023	email	At Young Woods: 3. There appears to be AWP-1 on three walls, however under the material list, it states that the material is supposed to be 1" thick – 6 inches wide by 10.39 inches wide, which makes no sense. We need to know the quantity and sizes of these panels at all of these walls.	1	TA	Please carry the allowance specified in Addendum #4 for the acoustical wall panels at each school.	3/22/2023
6	General Contractor	Maron Construction	3/7/2023	email	At Asa Messer: 1. Are all the new Writable Magnetic Boards to be supplied and installed by the contractor or are they furnished by the owner and installed by the contractor?	1	DCC	All writable magnetic boards are to be furnished and installed by the contractor.	3/15/2023
7	General Contractor	Maron Construction	3/7/2023	email	At Asa Messer: 2. Please confirm there are no AWP-1 to be supplied or installed at this school?	1	TA	Correct.	3/16/2023
8	General Contractor	Maron Construction	3/7/2023	email	At Gregorian School: 1. Are all the new Writable Magnetic Boards to be supplied and installed by the contractor or are they furnished by the owner and installed by the contractor?	1	DCC	All writable magnetic boards are to be furnished by the owner and installed by the contractor.	3/15/2023
9	General Contractor	Maron Construction	3/7/2023	email	At Gregorian School: 2. Please confirm that the flooring removed as part of this scope does not contain asbestos containing material? Also please confirm that note 3 of the demolition keynotes only applies to the corridor off the media center and that all other flooring is supposed to be removed as part of the proposal?	1	TA	The existing carpet in the main floor media center and office will need to be removed. Main level demolition keynote # 3 applies only to the corridor which is the only location on the main floor with VCT. There are no known ACMs on this project and the intent is for the new flooring to be installed directly over the existing whenever possible.	3/16/2023
10	General Contractor	Maron Construction	3/7/2023	email	At Carnevale School: 1. There is a conflict with the demolition of the flooring. Keynote 11 of the demolition keynotes discusses possibly keeping the VCT flooring, while General Demolition note 4 states to remove. In order for all contractors to bid the same scope, please clarify which one we are to follow? Also confirm no asbestos material is contained in the flooring?	1	TA	General demolition note 4 says "unless otherwise noted", so demolition keynote 11 takes precedence. There are no known ACMs on this project and the intent is for the new flooring to be installed directly over the existing in this space.	3/16/2023
11	General Contractor	Maron Construction	3/7/2023	email	At Carnevale School: 2. There appears to be AWP-1 on several walls, however under the material list, it states that the material is supposed to be 1" thick – 6 inches wide by 10.39 inches wide, which makes no sense. We need to know the quantity and sizes of these panels at all of these walls.	1	TA	Please carry the allowance specified in Addendum #4 for the acoustical wall panels at each school.	3/22/2023
12	General Contractor	Maron Construction	3/7/2023	email	At Carnevale School: 3. Are all the new Writable Magnetic Boards to be supplied and installed by the contractor or are they furnished by the owner and installed by the contractor?	1	DCC	All writable magnetic boards are to be furnished by the owner and installed by the contractor.	3/15/2023
13	General Contractor	Maron Construction	3/7/2023	email	At Bailey School: 1. Please confirm that the flooring removed as part of this scope does not contain asbestos containing material?	1	DCC	There are no known ACMs on this project and the intent is for the new flooring to be installed directly over the existing whenever possible.	3/15/2023
14	General Contractor	Maron Construction	3/7/2023	email	At Bailey School: 2. Are all the new Writable Magnetic Boards to be supplied and installed by the contractor or are they furnished by the owner and installed by the contractor?	1	DCC	All writable magnetic boards are to be furnished by the owner and installed by the contractor.	3/15/2023

ADDENDUM 1

Robert L. Bailey IV Elementary School Media Center

65 Gordon Avenue

Providence, RI 02905

Project No. PRV03AR

Page 1

TO: Plan Holders

Project: **Robert L. Bailey IV Elementary School**

Project #: PRV03AR

Owner: Providence Public Schools

Date: March 20, 2023

Notice is hereby given that this Addendum forms a part of the Contract Documents and modifies the original Contract Documents as noted below.

Description of Work

A. GENERAL:

1. **All changes have been clouded and dated 03/20/2023.**

B. DRAWINGS:

1. **Revised Architectural Drawings:**
 - a. **Include into your contract documents the attached revised drawings, dated 03/20/2023.**
 - b. **Drawing A2.10**
 - 1) Media Center – Construction Plan
 - **MODIFIED** scope of Maker Space door replacement.
(Demolition/Construction Keynote 3)
 - **ADDED** new walls to enclose air duct in Maker Space.
 - 2) Media Center – Reflected Ceiling Plan:
 - **ADDED** new walls to enclose air duct in Maker Space.
 - 3) CDS #211 – Base Cabinet 1 Door, 1 Drawer
 - **ADDED** detail based off revisions.
 - 4) Partition - Type C
 - **ADDED** detail.

Robert L. Bailey IV Elementary School Media Center
65 Gordon Avenue
Providence, RI 02905
Project No. PRV03AR

- 5) General Notes - Construction
 - **ADDED** notes regarding new wall construction.
- c. **Drawing I1.10**
 - 1) Media Center – Finish Plan:
 - **ADDED** New walls to enclose air duct in Maker Space.
 - 2) Media Center – Finish Plan:
 - **UPDATED** finish flooring plan in Maker Space to reflect addition of new wall.
 - 3) Maker Millwork Elevation
 - **MODIFIED** base cabinetry and countertop length.
 - **MODIFIED** adjustable shelving length.
 - **MODIFIED** approximate location of GFCI outlets.
 - **ADDED** new walls to enclose air duct in Maker Space.
 - **ADDED** note to wall base.

Attachments:

- *23 0320_Bailey_Addendum 1_.pdf*

END OF ADDENDUM 1

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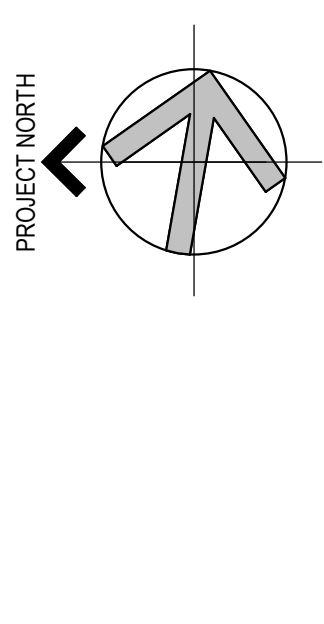
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Client/ Contractor
PROVIDENCE PUBLIC SCHOOLS

797 WESTMINSTER STREET
PROVIDENCE, RI 02903

Project
ROBERT L. BAILEY IV
ELEMENTARY SCHOOL

65 GORDON AVENUE
PROVIDENCE, RI 02905



Seals
RFP SET

Issues / Revisions	Date	Description
1	02/20/23	ADD COLUMN 1

Drawing Title
MEDIA CENTER
CONSTRUCTION & DEMOLITION PLANS

Project Manager:	JH	Project No.:	PRV03AR
Project Architect:	LB	Production Leader:	ZF
Project Designer:	AP	Peer Reviewer:	

Drawing Number
A2.10

DEMOLITION & CONSTRUCTION LEGEND

EXISTING ITEMS	ITEMS TO BE DEMOLISHED
EXISTING ACUSTICAL CEILING TO REMAIN	EXISTING GYPSUM BOARD CEILING TO REMAIN
EXISTING RECESSED LIGHT FIXTURES	EXISTING RECESSED LIGHT FIXTURES
OUT OF SCOPE HATCH	HATCH DEVICES NEW MILLWORK
DEMOLITION KEYNOTE	NEW CONSTRUCTION KEYNOTE
FINISH MATERIAL CALLOUT	RCP KEYNOTE
WALL TAG	

GENERAL NOTES - DEMOLITION

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND REMOVAL NECESSARY TO COMPLETE THE WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE REMOVAL AND PROPER DISPOSAL, INCLUDING ALL COSTS FOR CARRYING AND DUMPING, OF ALL MATERIAL DEMOLISHED FROM THE PROJECT. THE CONTRACTOR SHALL PROVIDE OWNER WITH FIRST RIGHTS TO ALL MATERIALS, INCLUDING DOORS, HARDWARE, WINDOWS, PLUMBING FIXTURES, ETC., BEFORE REMOVING FROM SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH AND REPAIR ALL EXISTING TO REMAIN AREAS AND SURFACES AS NOTED AND/OR SHOWN. THIS INCLUDES ALL WORK NECESSARY TO READY SURFACES FOR NEW FINISH (I.C.) TO FOLLOW IN CONSTRUCTION PHASE. MATCH ALL ADJACENT MATERIALS WHERE PATCHING OCCURS.
- ALL WALLS SHOWN DASHED ARE TO BE REMOVED AND DISCARDED, UNLESS OTHERWISE NOTED. ANY WALL OR SURFACE BEING WORKED ON SHALL BE PATCHED AND REPAIRED WITH A COMPLETE FINISH TO THE NEAREST CORNER, CHANGE OF PLANE OR OTHER JUNCTURE WHICH ALLOWS FOR A SMOOTH AND CLEAN TRANSITION FROM THE NEWLY FINISHED SURFACE TO THE SURROUNDING EXISTING SURFACES (INTENT IS TO AVOID APPEARANCE OF PATCHED CONDITION).
- UNLESS NOTED OTHERWISE, ALL FLOOR SURFACES/ FINISHES AND FLOORING BASE TRIM ARE TO BE REMOVED AND DISCARDED, CLEAN / PREPARE CONCRETE AS NECESSARY FOR REFINISHING.
- IT IS NOT THE INTENT TO SHOW EVERY PIECE OR ITEM TO BE REMOVED IN DEMOLITION WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE SCOPE OF WORK AND THE LOCATION OF DEMOLITION AND REMOVAL SHALL BE PERFORMED WHETHER SO NOTED OR NOT. PROTECT ALL ITEMS INTENDED FOR SALVAGE AND REUSE OR SCHEDULED TO REMAIN.
- PRESERVE AND PROTECT ALL WALL AND CEILING FINISHES TO REMAIN WHERE POSSIBLE IN AREAS OF DEMO. THIS INCLUDES DOOR / WINDOW FRAMES. PATCH TO MATCH AS REQUIRED.
- REPAIR ALL REMAINING WALLS, CEILINGS AND FLOOR SURFACES WHERE DEMOLITION OCCURS. THIS INCLUDES MEP AND OTHER NECESSARY WORK IN CEILINGS AND WALLS AT FLOOR BELOW.
- DUST POLY WALL TO BE INSTALLED AROUND SCOPE OF WORK TO TRAP ANY DUST / DEBRIS.
- ALL EXISTING WINDOW SHADES TO BE REMOVED BY OWNER AND STORED FOR REINSTALLATION PRIOR TO ANY DEMOLITION OCCURRING. COORDINATE WITH OWNER IF EXISTING SHADES ARE STILL IN PLACE.

GENERAL NOTES - CONSTRUCTION

- FIRE SAFE ALL PENETRATIONS IN RATED WALL ASSEMBLIES. SEE TYPICAL RATED WALL PENETRATION DETAIL.
- ALIGN FACE OF NEW FINISH WITH FACE OF EXISTING FINISH AT ALL GYPSUM BOARD INFL. CONSTRUCTION UNLESS OTHERWISE NOTED.
- VERIFY LOCATION OF ALL ACCESS PANELS WITH MEP EQUIPMENT.
- ALL DIMENSIONS SHALL BE FIELD, VERIFIED BY THE CONTRACTOR AND ANY DISCREPANCIES SHALL BE PROMPTLY REPORTED TO THE ARCHITECT.
- PATCH, REPAIR, AND REFINISH ALL SURFACES EXPOSED BY DEMOLITION WORK OR CUTTING TO ALIGN WITH EXISTING SURFACES SCHEDULED TO REMAIN OR NEW FINISHES SPECIFIED. REPAIR AND REFINISH ALL SURFACES TO MATCH EXISTING FINISHES AND MANUFACTURERS REQUIREMENTS.
- ALL EXISTING FINISHES REMAINING IN PLACE (I.E. CEILINGS, ETC.) SHALL BE CLEANED UTILIZING EFFECTIVE CLEANING METHODS TO PRODUCE THE MOST DESIRABLE RESULTS POSSIBLE.
- CALLK ALL JOINT OR CRACKS WHICH OCCUR WHERE DISSIMILAR MATERIALS INTERSECT PERPENDICULAR TO EACH OTHER AND THE INTERSECTION IS EXPOSED TO VIEW UNLESS INDICATED OTHERWISE ON THE DRAWINGS.
- ALL NEW WALLS ARE TYPE C50. PARTITION TYPES CONTINUE AROUND CORNERS UNLESS INDICATED OTHERWISE.
- WHERE TWO DETOURED WALL TYPES COINCIDE, THE MOST STRINGENT OF BOTH WALL CONSTRUCTION DEFINITIONS APPLIES TO THAT WALL (i.e. FIRE CODE GYPSUM, BATT INSULATION). WHERE A RATED CONSTRUCTION BEGINS! TERMINATES AT AN EXISTING COLUMN ENCLOSURE OR OTHER RATED CONSTRUCTION, THE RATED CONSTRUCTION SHALL BE PROVIDED. THE INTENT IS TO PROVIDE A COMPLETE ENVELOPE OF INTERED DESIGNATIONS.

GENERAL NOTES - CEILING

- UNLESS OTHERWISE NOTED, ALL EXISTING CEILING GRID, CEILING TILE, GYP. BOARD CEILINGS AND LIGHT FIXTURES ARE TO REMAIN.
- ALL CEILING ITEMS ARE TO BE CENTERED IN 24" X 24" OR IMPLIED 24" X 24" CEILING TILE WITH BALANCED CUTS, WHOEVER APPLIES. THIS PLAN IS INTENDED FOR COORDINATION AND LOCATION PURPOSES ONLY. SEE MEP FOR SPECIFIC CEILING MOUNTED ITEMS.
- ALL NEW AND EXISTING TO REMAIN GYPSUM BOARD CEILINGS / SOFFITS / HEADERS ARE TO BE PAINTED PT.1. REFER TO MATERIALS LIST.
- LIGHTING LAYOUT SHOWN FOR REFERENCE AND COORDINATION ONLY. COORDINATE WITH OWNER FOR WHICH FIXTURES ARE TO BE RELOCATED OR NEW.

KEYNOTES - DEMOLITION

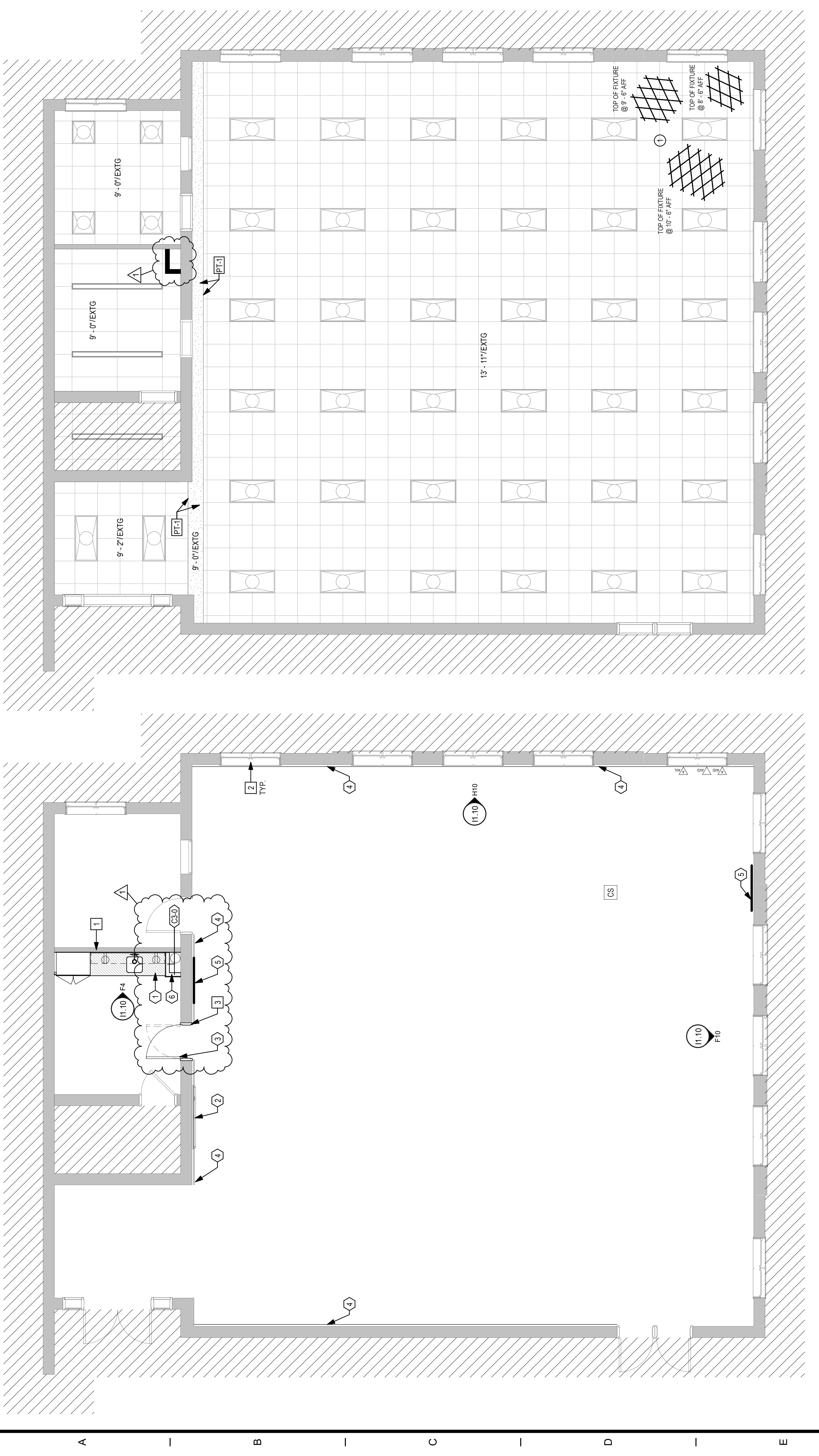
- DEMOLISH WALLS REQUIRED TO TIE IN PLUMBING FOR NEW SINK TO EXISTING ADJACENT TOILETS.
- WINDOW SHADES TO BE REMOVED AND STORED BY OWNER FOR REINSTALLATION.
- REMOVE EXISTING HOLLOW METAL DOOR AND FRAME AND TURN OVER TO OWNER.

KEYNOTES - CONSTRUCTION

- NEW MILLWORK AND SINK TO BE INSTALLED. REFER TO ELEVATIONS.
- REMOVE EXISTING MILLWORK TO REMAIN. TO BE REMOVED PRIOR TO PAINTING AND REINSTALLED. REFER TO FINISH NOTES.
- PROVIDE NEW HALF-GLASS HOLLOW METAL DOOR AND FRAME PAINTED PT.2 TO MATCH EXISTING. CONFIRM EXISTING SIZE PRIOR TO PURCHASE AND INSTALLATION. EXISTING HARDWARE TO BE SALVAGED AND RE-USED OR TURNED OVER TO OWNER. PROVIDE NEW CLASSROOM LOCKSET MATCHING DISTRICT STANDARDS.
- NEW BASEBOARD RACEWAY WITH TAMPER RESISTANT RECEPTACLES. CONFIRM EXISTING WIREMOLD ACCESS POINTS.
- LOCATION OF NEW AIR WRITABLE MAGNETIC PANELS MOUNTED VERTICALLY TO WALL (2 TOTAL). BASIS OF DESIGN IS MAGNETIC WHITE WALLS MAGNETIC WHITEBOARD WALL PANEL SYSTEM. COORDINATE MOUNTING METHOD WITH G.C. IN THE FIELD.
- FURR OUT WALL TO ENCLOSE EXPOSED AIR DUCT. WALL TO EXTEND AT MINIMUM 2" FROM EAST WALL TO RECEIVE SOLID SURFACE COUNTERTOP. SEE MILLWORK ELEVATION.

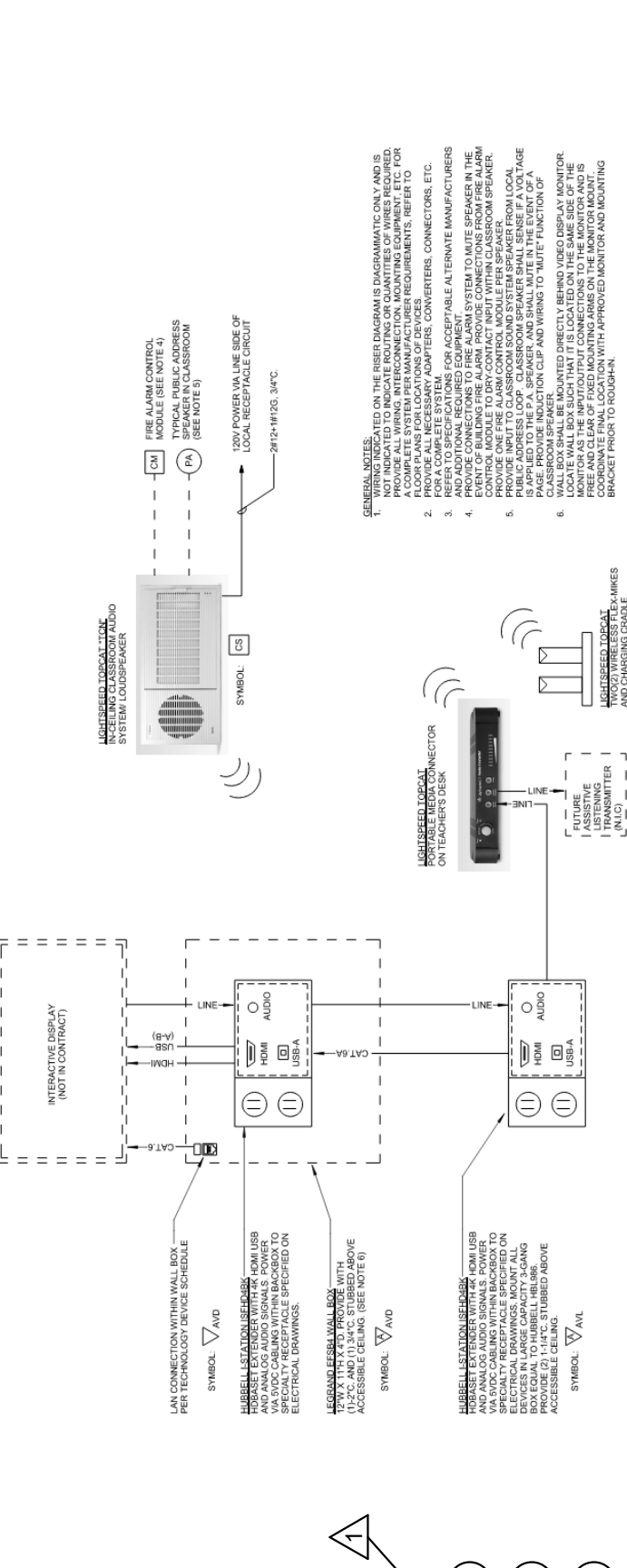
KEYNOTES -RCP

- MOUNTING ACUSTIC CLOUDS. BASIS OF DESIGN TO BE ACQUIFECT SOLUS. SIZES AND MOUNTING HEIGHTS OF INDIVIDUAL CLOUDS VARY. BASIS OF DESIGN IS (1) 48" W X 40" (1) 48" W X 24" AND (1) 48" W X 64". COLOR IS TBD. PROVIDE MAXIMUM OF 3 ASSUME MOUNTING METHOD IS TO BE DECID.

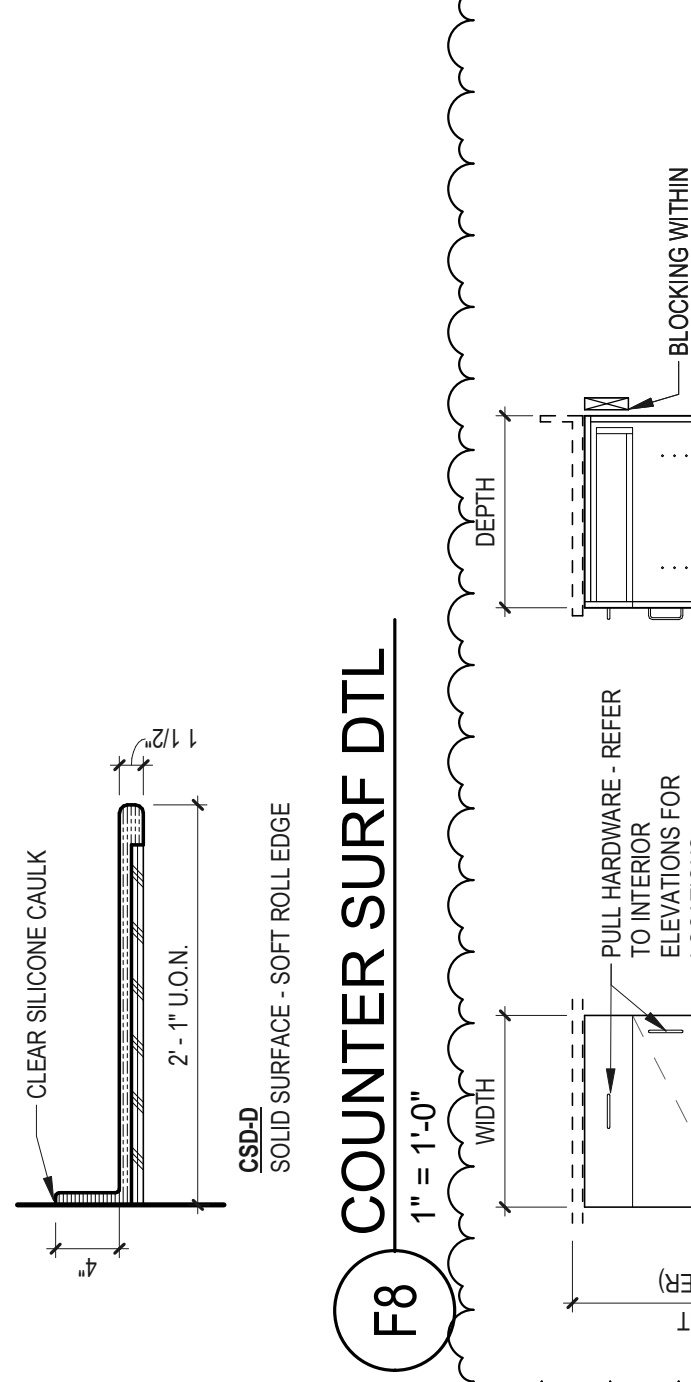


E6 MEDIA CENTER - REFLECTED CEILING PLAN
 3/16" = 1'-0"

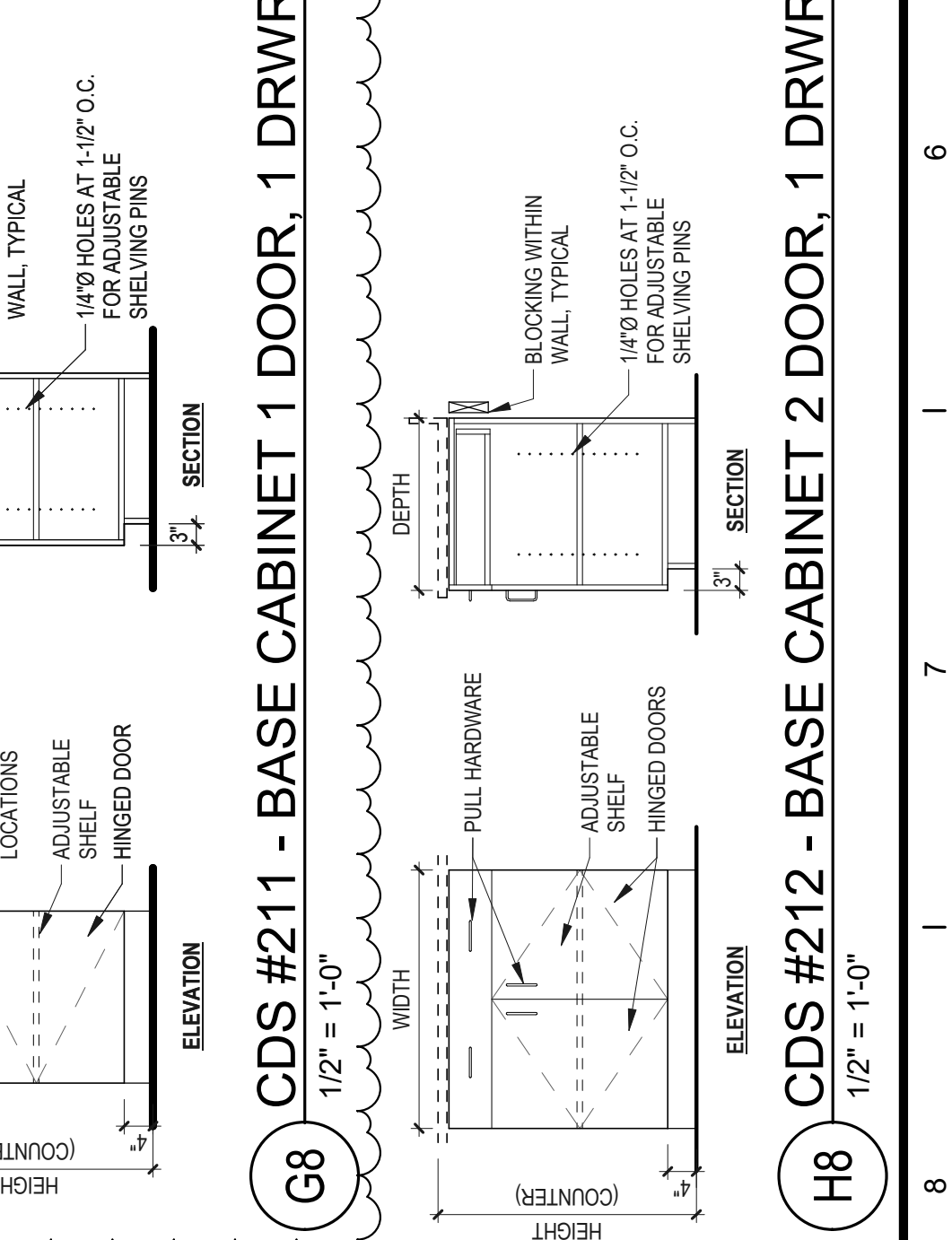
E10 MEDIA CENTER - CONSTRUCTION PLAN
 3/16" = 1'-0"



G5 AV SYSTEM DETAIL
 NOT TO SCALE

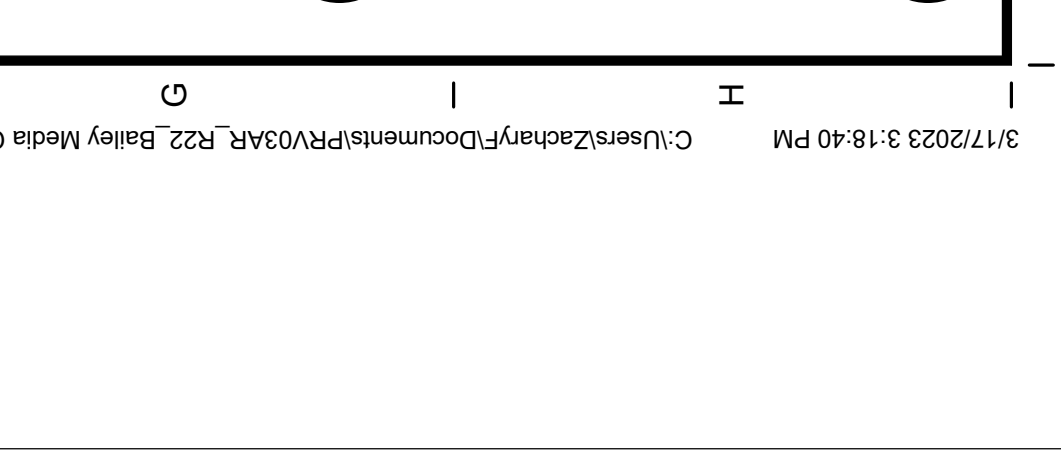


F8 COUNTER SURF DTL
 1" = 1'-0"



G8 CDS #211 - BASE CABINET 1 DOOR, 1 DRWR
 1/2" = 1'-0"

H8 CDS #212 - BASE CABINET 2 DOOR, 1 DRWR
 1/2" = 1'-0"



G10 CDS #402 - TALL CABINET 2 DOOR
 1/2" = 1'-0"

H10 CDS #001 - ADA SINK VALANCE
 1/2" = 1'-0"

TYPE C

FULL HEIGHT SINGLE SIDED GYPSUM BOARD PARTITION

PARTITION TYPE	WALL THICKNESS	STUD SIZE	SIC RATING	UL DESIGN	DESCRIPTION
C3-0	4 1/4"	3 5/8"			

TYPE C

FULL HEIGHT SINGLE SIDED GYPSUM BOARD PARTITION

PARTITION TYPE	WALL THICKNESS	STUD SIZE	SIC RATING	UL DESIGN	DESCRIPTION
C3-0	4 1/4"	3 5/8"			

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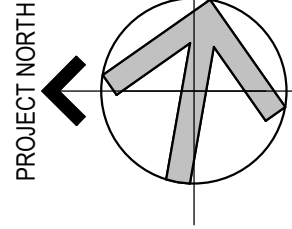
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Client/ Contractor
PROVIDENCE PUBLIC SCHOOLS

797 WESTMINSTER STREET
PROVIDENCE, RI 02903

Project
ROBERT L. BAILEY IV ELEMENTARY SCHOOL

65 GORDON AVENUE
PROVIDENCE, RI 02905



Seals
RFP SET

Issues / Revisions	Date	Description
1	02/20/2023	ADDendum 1

MATERIALS LIST AND FINISH PLANS

Project Manager:	JH	Project No:	PROJ03AR
Project Architect:	LB	Production Leader:	ZP
Project Designer:	AP	Peer Reviewer:	

Drawing Number
11.10

FINISH LEGEND

EXISTING ITEMS

- HATCH DENOTES MILLWORK
- ACCENT WALL TAG - INDICATES LOCATION OF ACCENT WALL (WHEN MULTIPLE COLORS IDENTIFIED IN ONE ROOM)
- DIRECTION OF PLANKS
- OUT OF SCOPE HATCH

ROOM NAME

- WALL FINISH MATERIAL
- BASE
- FLOORING MATERIAL

FLOORING MATERIAL TRANSITION

- FLOORING MATERIAL TRANSITION
- FINISH KEYNOTE

GENERAL NOTES - FINISHES

- FOR ROOMS WITH MULTIPLE WALL FINISHES CALLED OUT REFER TO INTERIOR ELEVATIONS. FOR ROOMS WITH MULTIPLE FLOORING FINISHES CALLED OUT REFER TO FINISH DETAIL PLANS.
- FOR INTERIOR PAINT FINISHES:
 - ALL GYPSUM BOARD CEILINGS TO BE PAINTED TO BE FLAT FINISH.
 - ALL PAINTED METAL TO BE SEMI-GLOSS FINISH, UNLESS EPOXY FINISH IS NOTED.
 - ALL INTERIOR WALLS TO BE EGGSHELL FINISH, UNLESS EPOXY FINISH IS NOTED.
- ALL EXPOSED COLUMNS THAT ARE NOT INCORPORATED IN A WALL ARE TO BE PAINTED PT-1, UNLESS OTHERWISE NOTED. EXPOSED STRUCTURE THAT IS INCORPORATED IN A WALL IS TO BE PAINTED TO MATCH ADJACENT WALL.
- FLOOR FINISHES TO EXTEND UNDER CASEWORK.
- ALL WINDOW FRAMES ARE EXISTING TO REMAIN. DO NOT PAINT / RE-FINISH. COORDINATE EXISTING FRAME PAINT COLOR / FINISH WITH OWNER. TOUCH-UP ANY DAMAGE DONE DURING CONSTRUCTION.
- ALL EXISTING DOORS AND FRAMES ARE TO BE PAINTED PT-2. REFER TO MATERIALS LIST.
- ALL EXISTING WALL-MOUNTED TECHNOLOGY, EQUIPMENT AND SIGNAGE IS TO BE REMOVED PRIOR TO PAINTING AND RE-INSTALLED AFTER PAINTING IS COMPLETE.
- ALL FINISHES IN 'OUT OF SCOPE' REGION ARE EXISTING TO REMAIN.

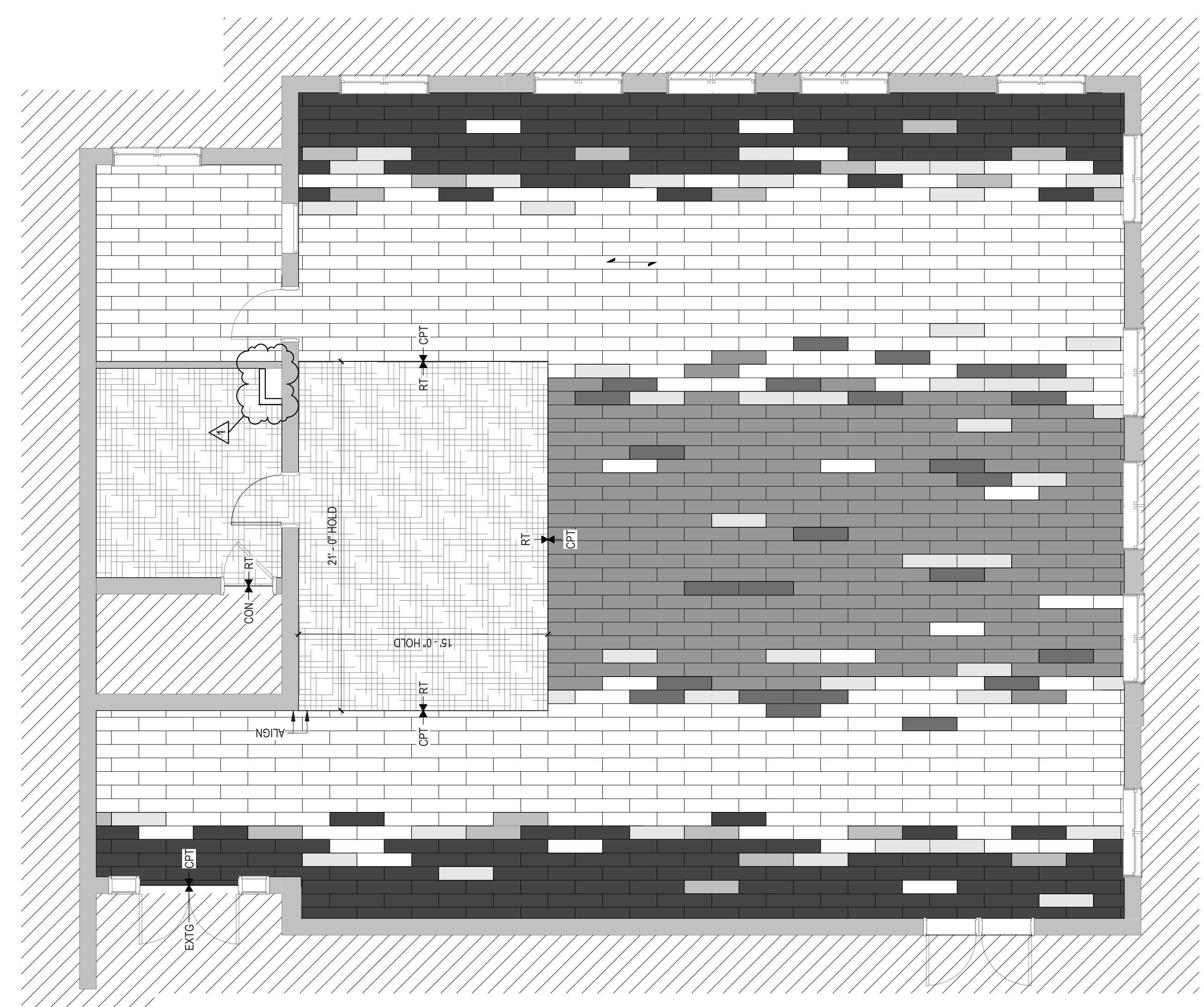
FLOORING INSTALL LEGEND

CARPET

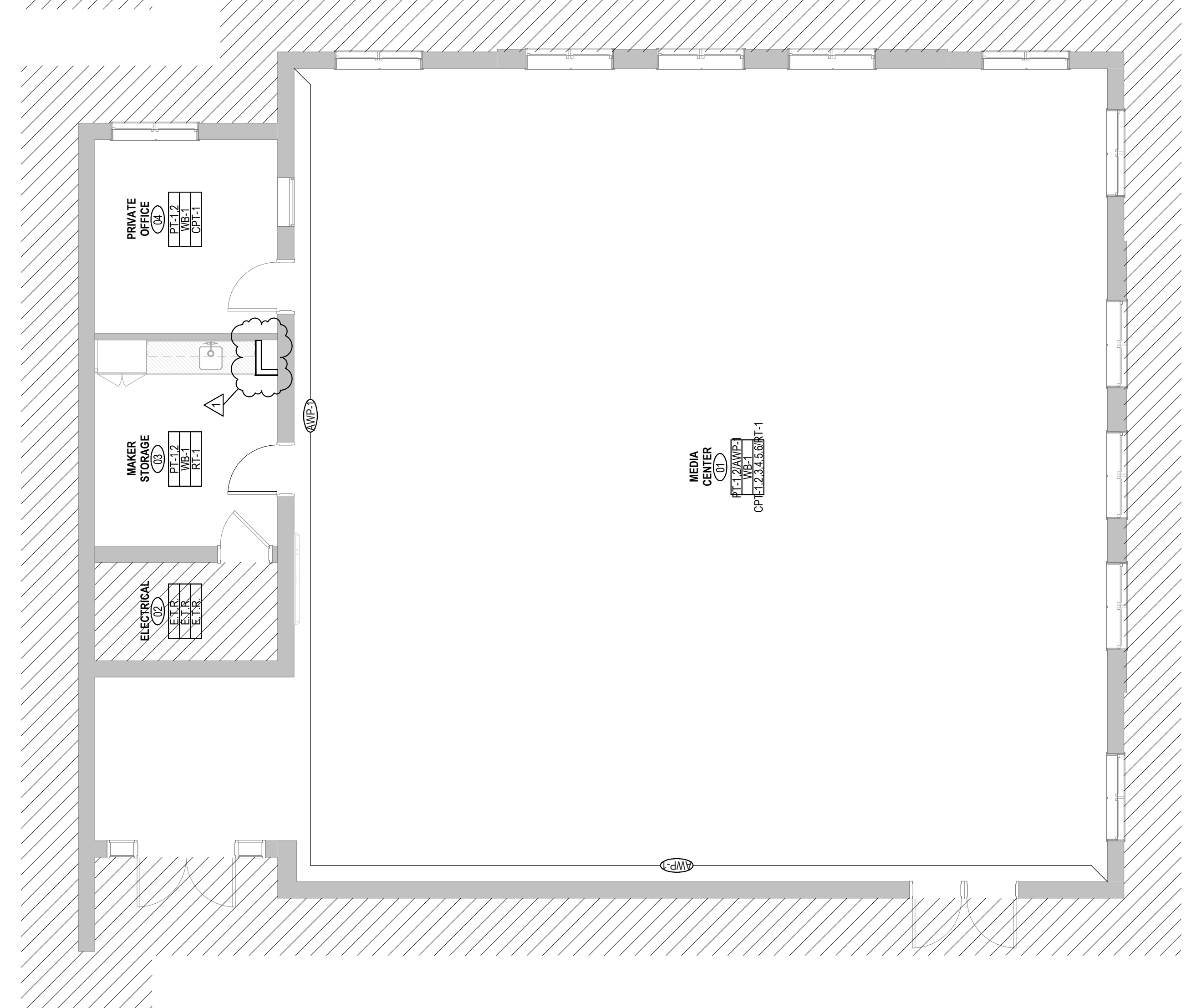
- CPT-1
- CPT-2
- CPT-3
- CPT-4
- CPT-5
- CPT-6
- RT-1

MATERIALS LIST

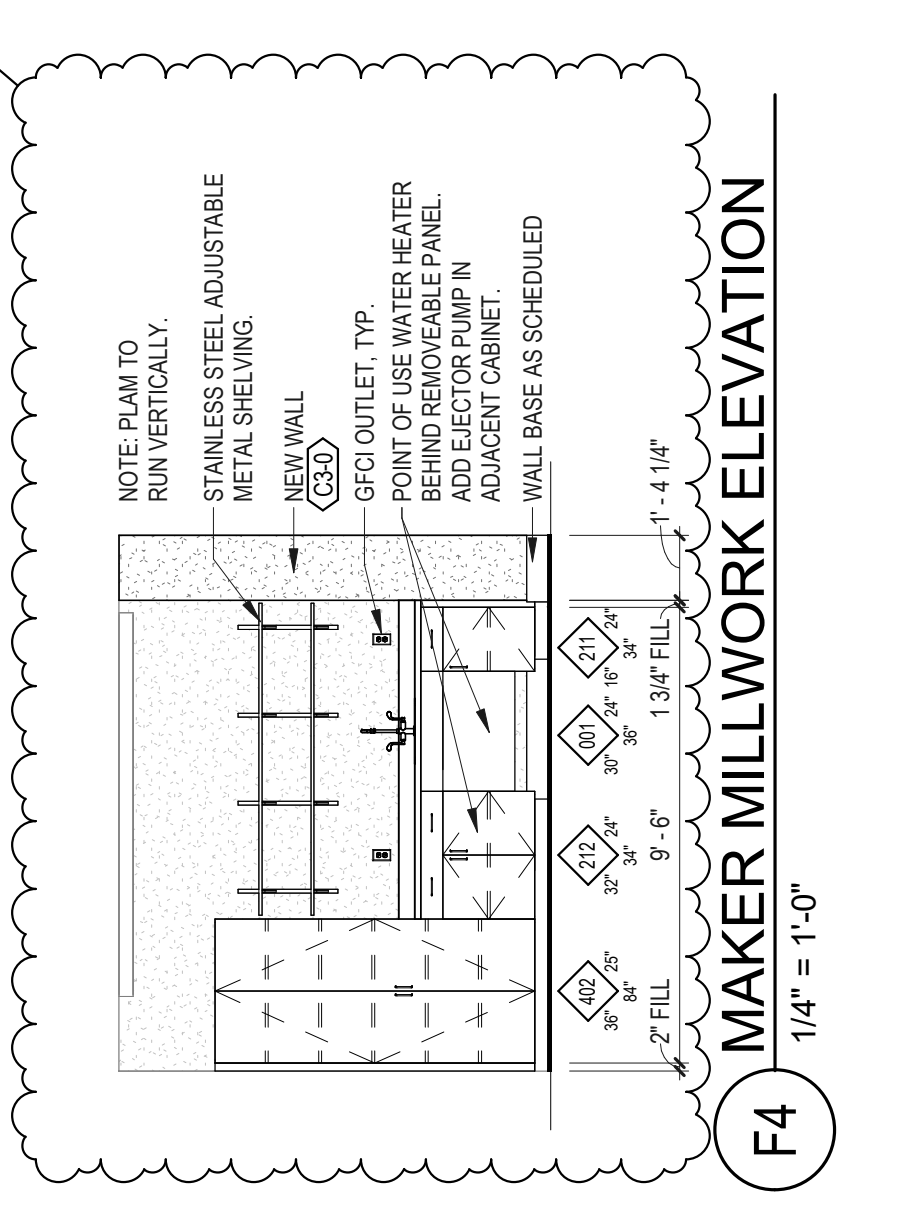
ITEM	MFR	PRODUCT	LOCATION
CARPET			
CPT-1	FORBID	FLOTEX COLOUR	
	BEIJAMIN MOORE	ULTRA SPEC SOUFF-X	
	EGGSHELL #485		
	CHANTILLY LACE Z12170		
	ALL WALLS, U.O.N.		
CPT-2	FORBID	FLOTEX COLOUR	
	BEIJAMIN MOORE	ULTRA SPEC SOUFF-X	
	ADVANCE W.B. INTERIOR		
	ALYD SEMI-GLOSS FINISH		
	TBD TO MATCH EXISTING.		
	DOOR FRAMES (AS NOTED)		
	ALL EXISTING DOORS AND FRAMES TO BE PAINTED PT-2.		
CPT-3	FORBID	FLOTEX COLOUR	
	BEIJAMIN MOORE	ULTRA SPEC SOUFF-X	
	FLAT # NS36		
	TBD (WHITE)		
	ALL GYP. BOARD CEILINGS		
WALL BASE			
WB-1	TARGETT	RUBBER WALL BASE	
	TRADITIONAL DUBACOVE		
	RUBBER (TYPE TP)		
	COOL METAL LV4		
	6PH COVE, 120' ROLL		
	THROUGHOUT, U.O.N.		
RUBBER TILE			
RT-1	NORA	RUBBER TILE	
	NOGRAPLAN		
	BRK RIDE 7040		
	24" x 24"		
	2MM		
	RANDOM		
	IMAKER SPACE		
ACOUSTIC WALL PANELS			
AMP-1	ACOUSTIC WALL PANEL		
	ACOUSTIC WALL PANELS		
	DIAMOND		
	1" THICK, 67W x 10.39"W		
	MINIMUM OF 8		
	TBD, COORDINATE W/ MFR		
	92" AFF TO 151" (CEILING)		
	AFF IN LOCATIONS IDENTIFIED.		
WINDOW FILM			
WF-1	SUN SHADE WINDOW FILM		
	3M		
	3M SUN CONTROL WINDOW FILM PRESTIGE SERIES		
	FINISH		
	ALL UPPER EXTERIOR ELEVATIONS.		
	WINDOWS AS NOTED IN ELEVATIONS.		
MILLWORK			
ML-1	PLASTIC LAMINATE		
	WILSONART		
	1075840		
	INDIGO PK6001		
	9.48" x 38.37"		
	ASHLAR		
	AS NOTED		
SS-1	SOLID SURFACE		
	CORIAN		
	AGGREGATE		
	ALL COUNTERTOPS		



E6 MEDIA CENTER - FINISH FLOORING PLAN
3/16" = 1'-0"



E10 MEDIA CENTER - FINISH PLAN
3/16" = 1'-0"



MAKER MILLWORK ELEVATION

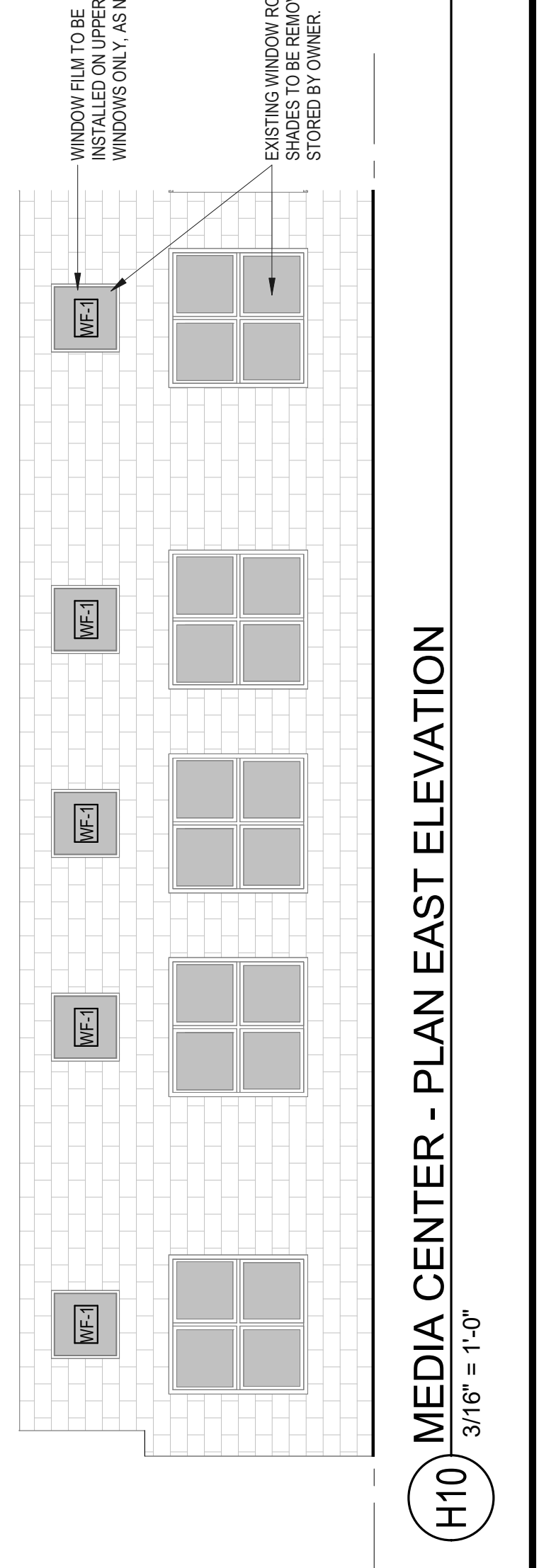
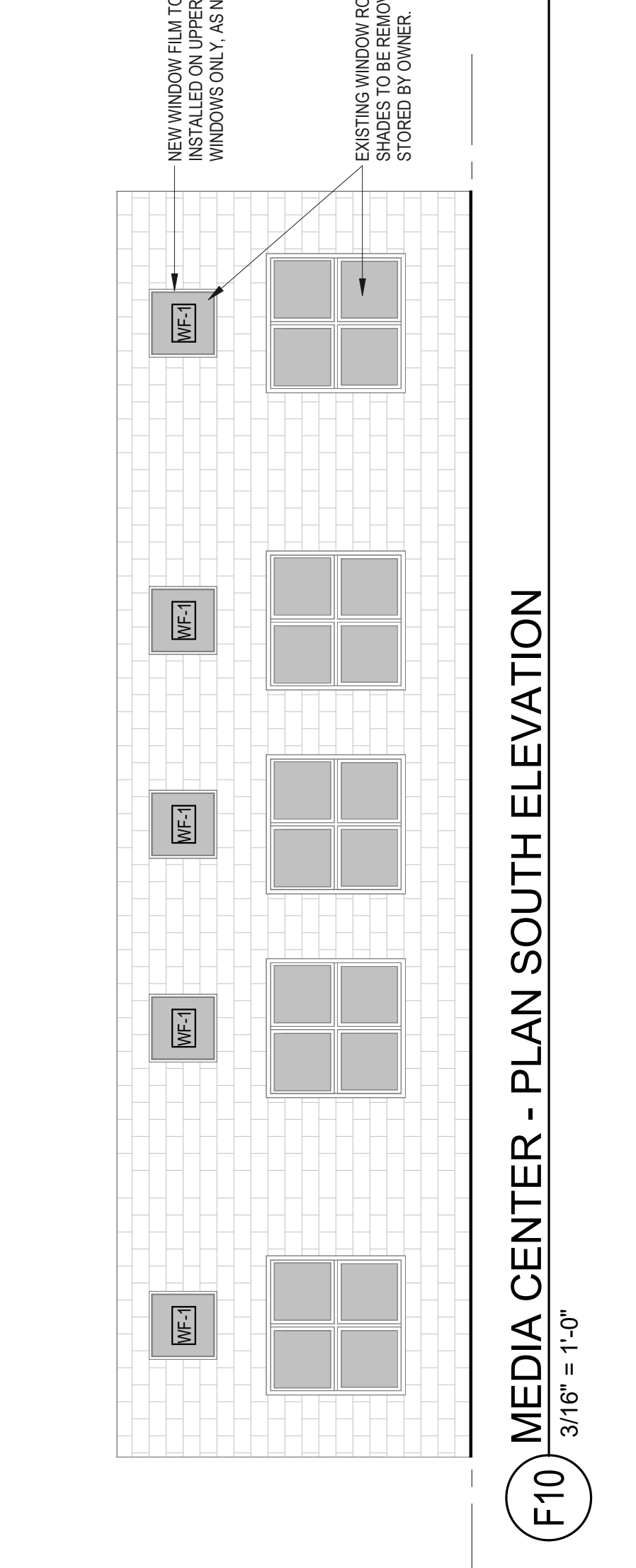
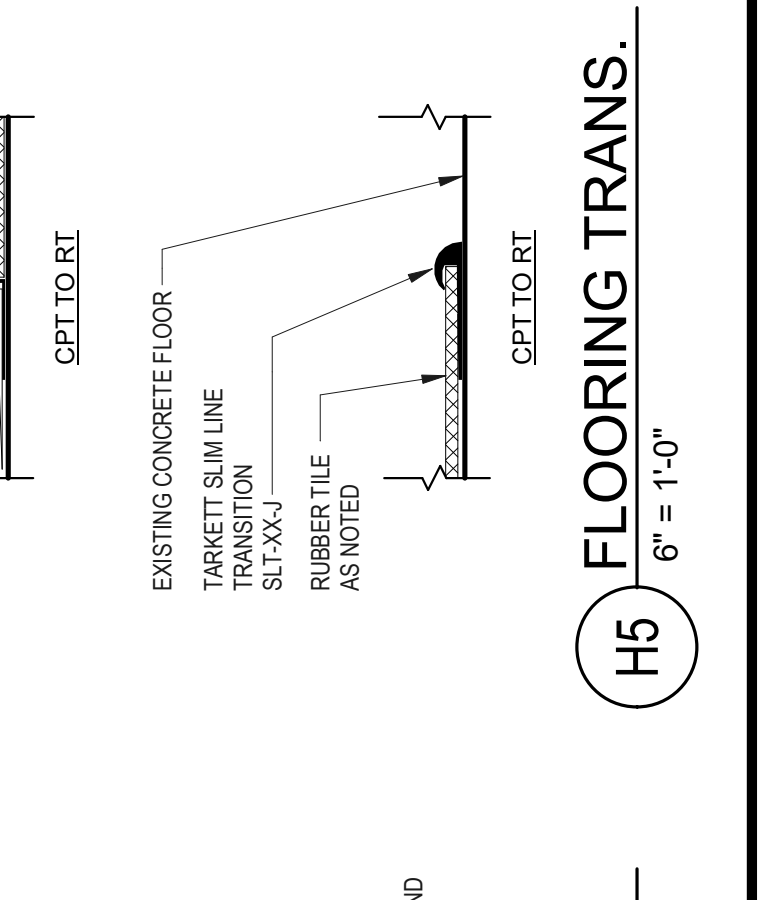
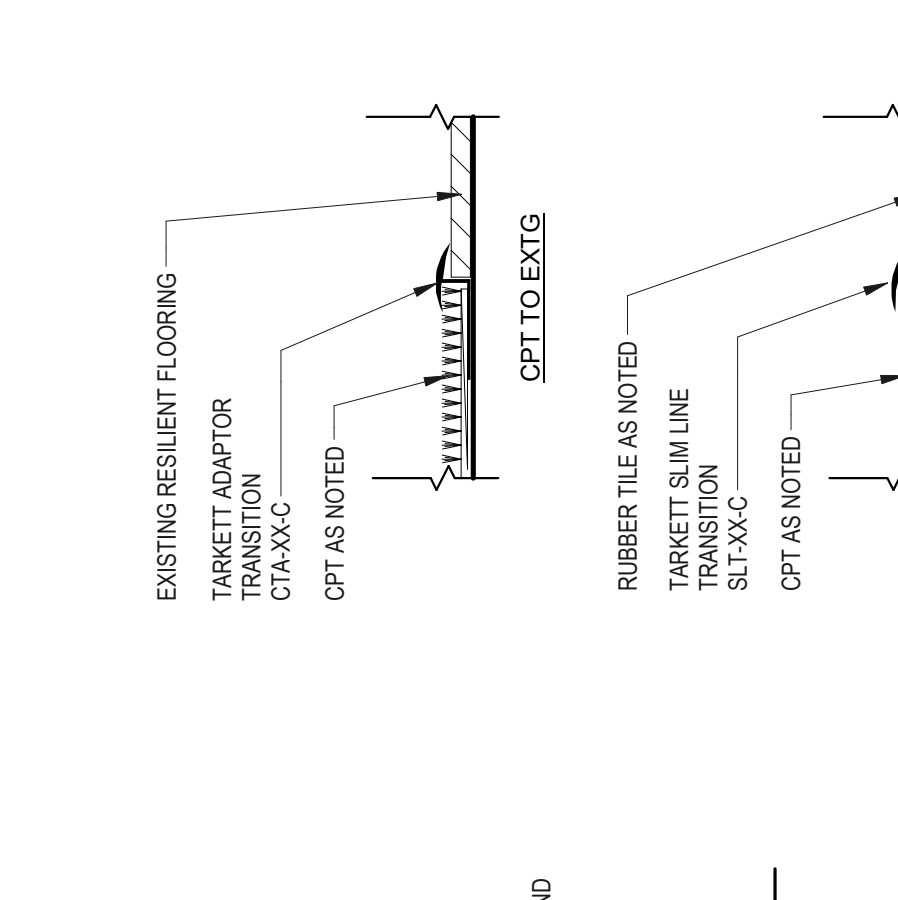
1/4" = 1'-0"

CASEWORK DESIGN SERIES KEY

- XX - FINISH NOTATION
- 301 - CASEWORK DESIGN SERIES NUMBER (CDS #)
- 30" - CABINET DEPTH (IN INCHES)
- 24" - COUNTER / UPPER CABINET HEIGHT (IN INCHES)
- 36" - COUNTER / UPPER CABINET HEIGHT (IN INCHES)
- NOTE - MODIFIER NOTATION
- 30" - CABINET WIDTH (IN INCHES)

CSD-A - COUNTER SURFACE DETAIL

NOTE: ALL MILLWORK TO BE MADE OF MARINE-GRADE PLYWOOD.



F10 MEDIA CENTER - PLAN SOUTH ELEVATION
3/16" = 1'-0"

H10 MEDIA CENTER - PLAN EAST ELEVATION
3/16" = 1'-0"

ADDENDUM 1

Leviton Dual Language School Media Center
65 Greenwich Street
Providence, RI 02907
Project No. PRV03AR

Page 1

TO: Plan Holders
Project: **Leviton Dual Language School**
Project #: PRV03AR
Owner: Providence Public Schools
Date: March 20, 2023

Notice is hereby given that this Addendum forms a part of the Contract Documents and modifies the original Contract Documents as noted below.

Description of Work

A. GENERAL:

1. All changes have been clouded and dated 03/20/2023.

B. DRAWINGS:

1. Revised Architectural Drawings:
 - a. Include into your contract documents the attached revised drawings, dated 03/20/2023.
 - b. Drawing A2.10
 - **MODIFIED** All contents of A2.10 due to scope changes.
 - c. Drawing I1.10
 - **MODIFIED** All contents of I1.10 due to scope changes.

Attachments:

- 23 0320_Leviton_Addendum 1.pdf

END OF ADDENDUM 1

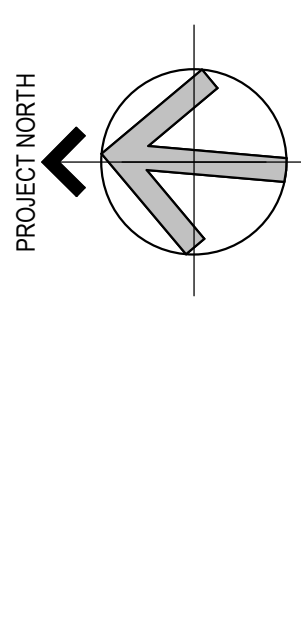
Notice:
This drawing is the property of Tecton Architects | PC. The use, reuse or reproduction of this drawing for any purpose without the written consent of Tecton Architects | PC is prohibited. Rights to use the information on this sheet are not transferred. Any rights so granted are non-transferable to other parties without the prior expressed written consent of Tecton Architects | PC.
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Client/ Contractor
PROVIDENCE PUBLIC SCHOOLS

797 WESTMINSTER STREET
PROVIDENCE, RI 02903

Project
LEVITON DUAL LANGUAGE SCHOOL

65 GREENWICH STREET
PROVIDENCE, RI 02907



Seals
RFP SET

Issues / Revisions	Date	Description
1	02/20/23	REVISED
2	02/20/23	ADDENDUM 1

Drawing Title
DEMOLITION / CONSTRUCTION ANNOTATION PLAN

Project Manager: JH Project No: PRV03AR
Project Architect: LB Production Leader: ZF

Project Designer: AP
Drawing Number: **A2.10**

DEMOLITION & CONSTRUCTION LEGEND

	HATCH DENOTES DEMOLITION
	HATCH DENOTES NEW MILLWORK
	EXISTING ACOUSTICAL CEILING
	EXISTING RECESSED CEILING
	EXISTING RECESSED 24 LIGHT FIXTURE
	NEW CONSTRUCTION KEYNOTE
	DEMOLITION KEYNOTE
	NEW WINDOW SHADES
	NEW WINDOW SHADES FURNISHED/INSTALLED BY OWNER
	NEW 4x8 WHITEBOARD
	BASEBOARD RACEWAY
	SEE CONST. KEYNOTE 7

GENERAL NOTES - DEMOLITION

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND REMOVAL NECESSARY TO COMPLETE THE WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE REMOVAL AND PROPER DISPOSAL, INCLUDING ALL COSTS FOR CARRYING AND DUMPING, OF ALL MATERIAL DEMOLISHED FROM THE PROJECT. THE CONTRACTOR SHALL PROVIDE OWNER WITH FIRST RIGHTS TO ALL MATERIALS INCLUDING DOORS, HARDWARE, WINDOWS, PLUMBING FIXTURES, ETC., BEFORE REMOVING FROM SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH AND REPAIR ALL EXISTING, TO REMAIN AREAS AND SURFACES AS NOTED AND/OR SHOWN. THIS INCLUDES ALL WORK NECESSARY TO READY SURFACES FOR NEW FINISH (N.F.C.) TO FOLLOW IN CONSTRUCTION PHASE. MATCH ALL ADJACENT MATERIALS WHERE PATCHING OCCURS.
- ANY AND ALL PLUMBING FIXTURES/ACCESSORIES SHOWN DASHED ARE TO BE REMOVED AND DISCARDED, UNLESS OTHERWISE NOTED. ANY RELATED PIPING WHICH IS BEING ABANDONED SHALL BE REMOVED AND CAPPED TO NEAREST TERMINATION POINT. ALL RELATED WORK REQUIRED IN ADJACENT WALLS, FLOORS BELOW, FLOORS ABOVE OR ON THE EFFECTED FLOOR ITSELF SHALL BE PATCHED AND PREPARED FOR NEW FINISH.
- ALL WALLS SHOWN DASHED ARE TO BE REMOVED AND DISCARDED, UNLESS OTHERWISE NOTED. ANY WALL OR SURFACE BEING WORKED ON SHALL BE PATCHED AND REPAIRED WITH A COMPLETE FINISH TO THE NEAREST CORNER, CHANGE OF PLANE OR OTHER JUNCTURE WHICH ALLOWS FOR PATCHING TO BE PATCHED AND PREPARED FOR NEW FINISH.
- UNLESS NOTED OTHERWISE, ALL FLOOR SURFACES FINISHES AND FLOORING BASE TRIM ARE TO BE REMOVED TO FLOOR SLAB AND DISCARDED CLEAN AND PREPARE CONCRETE AS NECESSARY FOR REFINISHING. THIS DEMO AND PREP PERTAINS TO ELEVATOR LOBBY SPACES AS WELL.
- IT IS NOT THE INTENT TO SHOW EVERY PIECE OR ITEM TO BE REMOVED IN DEMOLITION WORK. MECHANICAL, ELECTRICAL AND OTHER WORK RELATED TO A WALL OR AREA SCHEDULED FOR DEMOLITION AND REMOVAL SHALL BE PERFORMED WHETHER SO NOTED OR NOT. PROTECT ALL ITEMS INTENDED FOR SALVAGE AND REUSE OR SCHEDULED TO REMAIN.
- PRESERVE AND PROTECT ALL FLOOR, WALL, AND CEILING FINISHES TO REMAIN WHERE POSSIBLE IN AREAS OF DEMOLITION. PATCH TO MATCH AS REQUIRED.
- REPAIR ALL REMAINING WALLS, CEILINGS AND FLOOR SURFACES WHERE DEMOLITION OCCURS. THIS INCLUDES MEP AND OTHER NECESSARY WORK IN CEILINGS AND WALLS AT FLOOR BELOW.
- DUST POLY WALL TO BE INSTALLED AROUND DEMO AREAS TO TRAP DUST/DEBRIS.
- OWNER TO REMOVE EXISTING WINDOW SHADES PRIOR TO CONSTRUCTION.

GENERAL NOTES - CONSTRUCTION

- FIRE SAFE ALL PENETRATIONS IN RATED WALL ASSEMBLIES. SEE TYPICAL RATED WALL PENETRATION DETAIL.
- ALIGN FACE OF NEW FINISH WITH FACE OF EXISTING FINISH AT ALL GYPSUM BOARD INFILL CONSTRUCTION UNLESS OTHER WISE NOTED.
- PROVIDE SOLID WOOD BLOCKING FOR ALL INDICATED WALL HUNG EQUIPMENT.
- VERIFY LOCATION OF ALL ACCESS PANELS WITH MEP EQUIPMENT.
- ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND ANY DISCREPANCIES SHALL BE PROMPTLY REPORTED TO THE ARCHITECT.
- PATCH, REPAIR AND REFINISH ALL SURFACES EXPOSED BY DEMOLITION WORK OR CUTTING TO ALIGN WITH EXISTING SURFACES SCHEDULED TO REMAIN OR NEW FINISHES SPECIFIED HEREON. PATCH AND REFINISH ALL EXISTING SURFACES TO MATCH EXISTING FLOOR-FLOOR, FLOOR-TO-NEW FLOOR FINISH, COORDINATE WITH FINISH PLAN AND MANUFACTURERS REQUIREMENTS.
- ALL EXISTING FINISHES REMAINING IN PLACE (I.E. CEILINGS, ETC.) SHALL BE CLEANED UTILIZING EFFECTIVE CLEANING METHODS WHICH WILL PRODUCE THE MOST DESIRABLE RESULTS POSSIBLE.
- CAULK ALL JOINT OR CRACKS WHICH OCCUR WHERE DISSIMILAR MATERIALS INTERSECT PERPENDICULAR TO EACH OTHER AND THE INTERSECTION IS EXPOSED TO VIEW UNLESS INDICATED OTHERWISE ON THE DRAWINGS.

GENERAL NOTES - CEILING

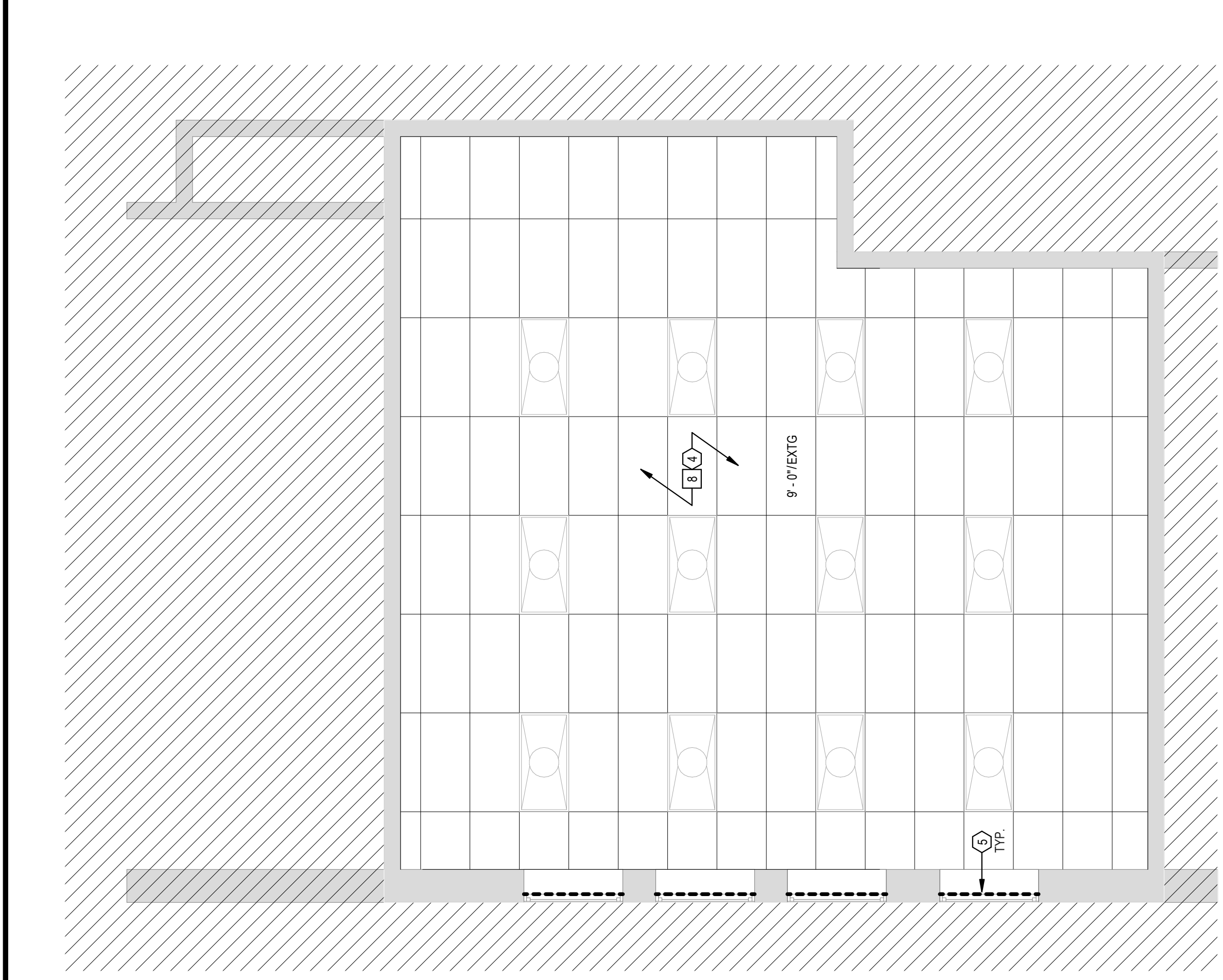
- UNLESS SPECIFICALLY NOTED OTHERWISE, ALL CEILING GRIDS AND LIGHTING SHALL BE CENTERED, WITH BALANCED CUTS.
- ALL CEILING ITEMS ARE TO BE CENTERED IN 2x4 OR 2x6 OR 4x8 CEILING TILE HATCH/EHER APPLIES. THIS PLAN IS INTENDED FOR COORDINATION AND LOCATION PURPOSES ONLY. LIGHTING LAYOUT SHOWN FOR REFERENCE AND COORDINATION ONLY. COORDINATE WITH OWNER FOR WHICH FIXTURES ARE TO BE RELOCATED OR NEW.

KEYNOTES - DEMOLITION

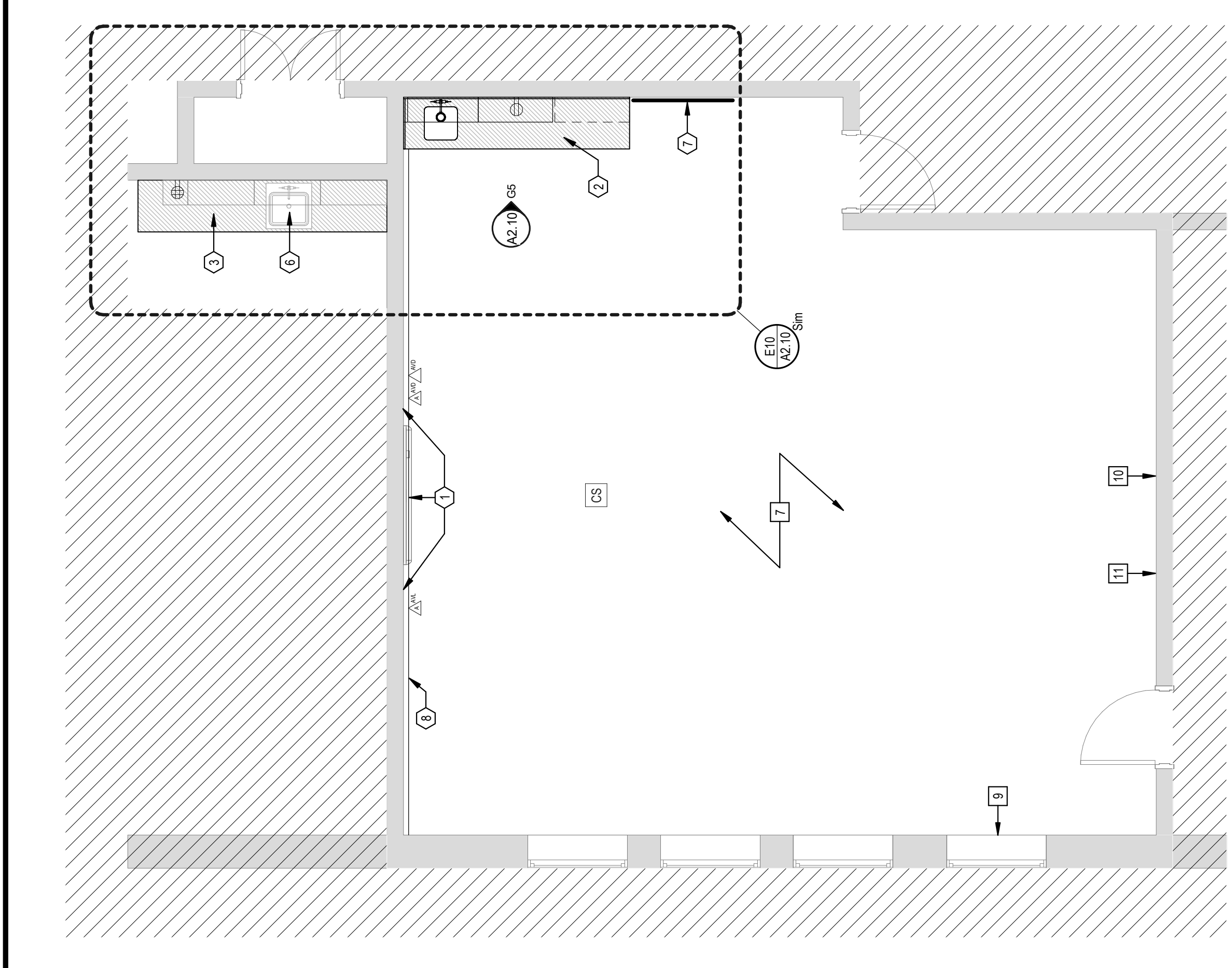
- EXISTING CLOSET WALLS TO BE DEMOLISHED. PATCH TO MATCH AS REQUIRED.
- EXISTING MILLWORK WITHIN CLOSET TO BE DEMOLISHED.
- EXISTING CASEWORK TO BE DEMOLISHED. PATCH TO MATCH AS REQUIRED.
- EXISTING CASEWORK TO BE DEMOLISHED. PATCH TO MATCH AS REQUIRED. CASEWORK IS EXISTING TO REMAIN. WRAP AND PROTECT CASEWORK DURING CONSTRUCTION. PREP FOR INSTALLATION OF NEW SOLID SURFACE COUNTERTOP AND BACKSPLASH.
- EXISTING SURFACE TO BE REMOVED FROM CASEWORK. CAP OFF PLUMBING AS REQUIRED FOR ADJACENT SINK TO FUNCTION PROPERLY.
- CAREFULLY REMOVE EXISTING ACCESSIBLE SINK PRIOR TO COUNTERTOP DEMOLITION. STORE FOR REINSTALLATION.
- GENERAL CONTRACTOR TO CONFIRM PROBABILITY AND EXTENT OF FLOOR TILE DEMOLITION AND COORDINATE WITH ARCHITECT TO COORDINATE FLOORING INSTALLATION.
- EXISTING CEILING GRID TO BE REMOVED. PATCH TO MATCH AS REQUIRED. CEILING GRID IS TO REMAIN WHERE REQUIRED FOR REINSTALLATION IN SAME LOCATION. TECHNOLOGY AND MEP EQUIPMENT FOR REINSTALLATION IN SAME LOCATION.
- CAREFULLY REMOVE WALL MOUNTED PROJECTOR SCREEN AND TURN OVER TO OWNER.
- CAREFULLY REMOVE EXISTING WALL-MOUNTED WHITEBOARD AND TURN OVER TO OWNER.
- DEMO EXISTING WALL MOUNTED POWER STRIP, CAP AND MAKE SAFE.
- REMOVE EXISTING OUTLET AND USE TO TIE IN NEW SURFACE MOUNTED WIREMOLD CONDUIT EXTENDING TO UPPER END OF COUNTER. HOLD WIREMOLD TIGHT TO UNDERSIDE OF UPPER COUNTER. REMOVE EXISTING WIREMOLD CONDUIT AS SHOWN IN CONSTRUCTION PLAN. VERIFY LOCATION IN FIELD WITH OWNER/ARCHITECT.
- SINKS IS EXISTING TO REMAIN. DEMO AS REQUIRED TO TIE IN PLUMBING FOR NEW KAPERS SINK.

KEYNOTES - CONSTRUCTION

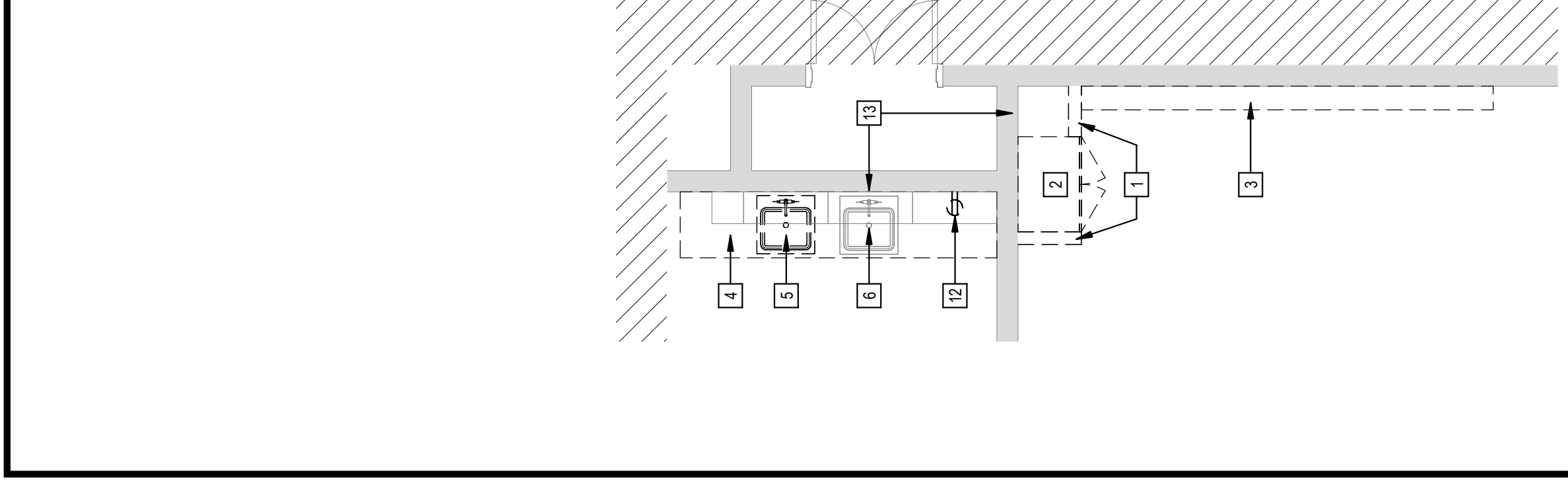
- EXISTING SMARTBOARD AND WALL MOUNTED WHITEBOARD/CACKBOARDS TO REMAIN. TO BE REMOVED PRIOR TO PAINTING AND REINSTALLED. REFER TO MILLWORK NOTES.
- NEW MILLWORK AND SINK TO BE INSTALLED. REFER TO MILLWORK ELEVATION.
- NEW SOLID SURFACE COUNTERTOP INSTALLED TO EXISTING CASEWORK. SEE MATERIALS LIST.
- GENERAL CONTRACTOR TO INSTALL NEW GROSS TEES TO EXISTING 2x4 GRID TO 2x2 NEW GRID AND TILES PROVIDED BY OWNER. ROCKFON EDUCATION PLUS CEILING PANELS WITH NEW GRID METALLIC GRID. REINSTALL EXISTING LIGHTING, TECHNOLOGY AND MEP EQUIPMENT IN EXISTING LOCATIONS AS REQUIRED.
- NEW WINDOW SHADES FURNISHED AND INSTALLED BY OWNER.
- REINSTALL ACCESSIBLE SINK IN NEW COUNTERTOP.
- DESIGN MAGNATAG WHITEWALLS MAGNETIC WHITEBOARD WALL PANEL SYSTEM. COORDINATE MOUNTING METHOD WITH G.C. IN FIELD.
- NEW BASEBOARD RACEWAY WITH TAMPER RESISTANT RECEPTACLES. CONFIRM EXISTING PANEL LOADS AND CONNECTION TO ADJACENT WIRING. BASIS OF DESIGN: LEGRAND WIREMOLD ACCESS 5000 SERIES.



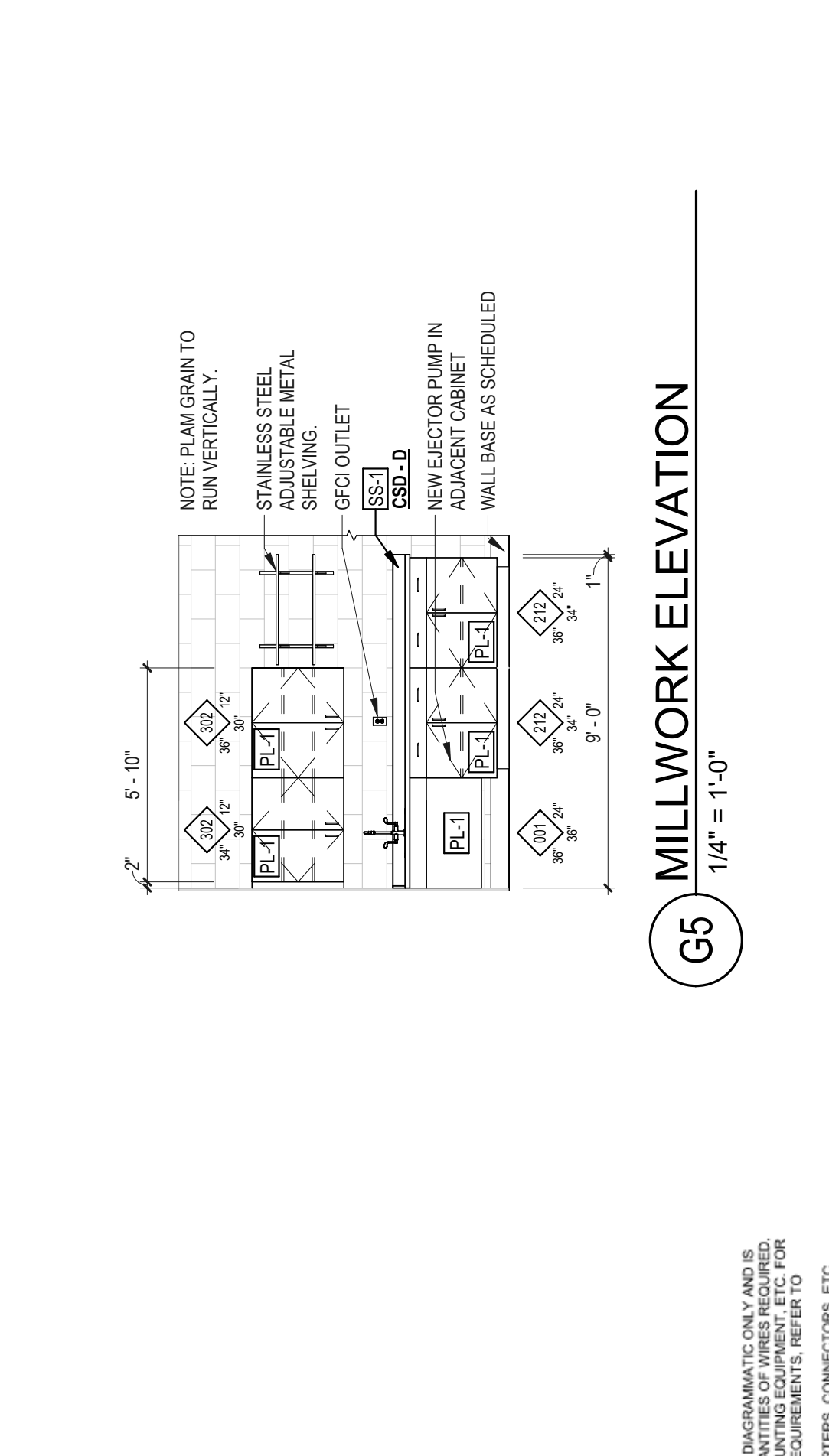
E6 MEDIA CENTER - RCP
1/4" = 1'-0"



E9 MEDIA CENTER - CONSTRUCTION PLAN
1/4" = 1'-0"



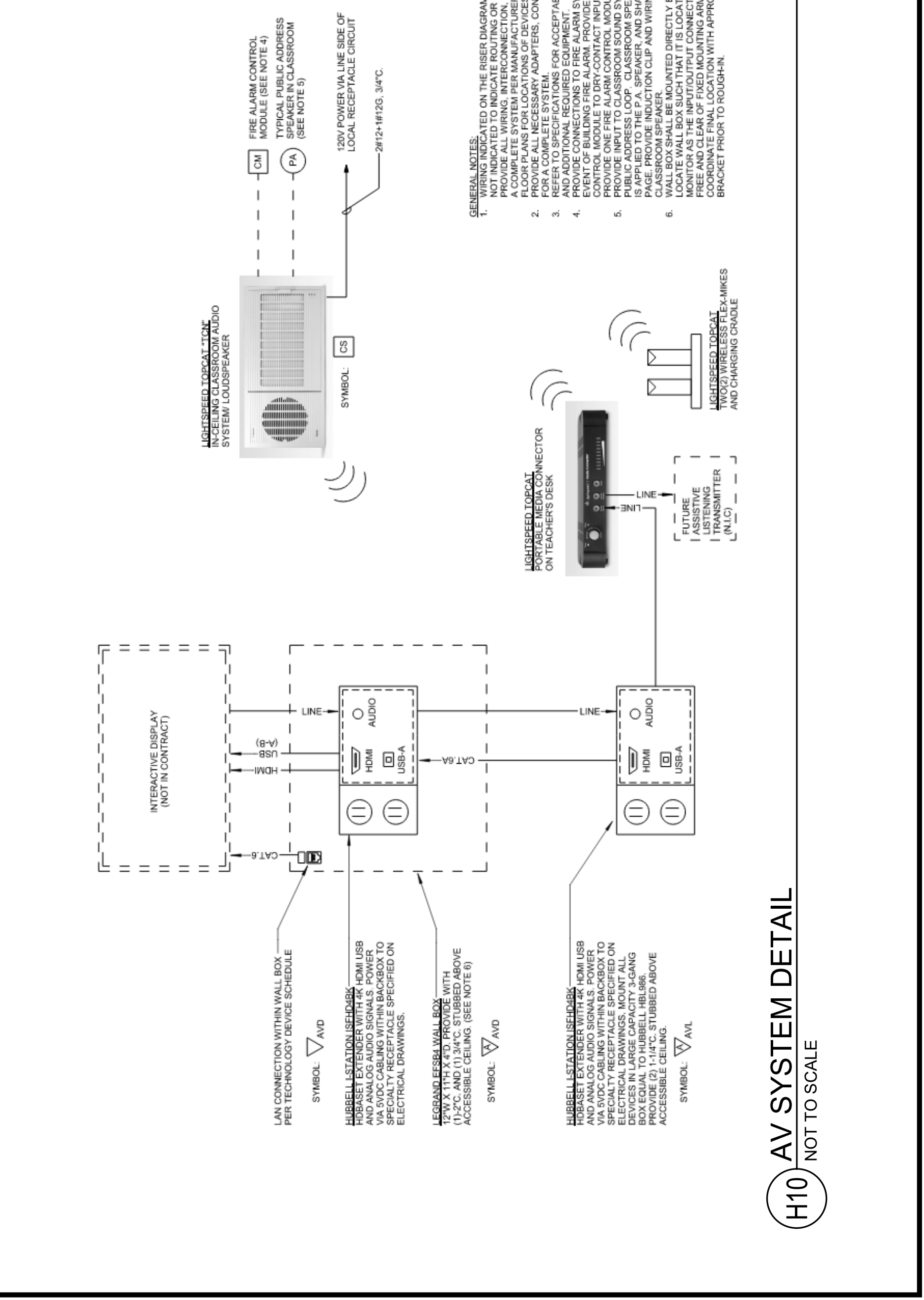
E10 DEMO PLAN
1/4" = 1'-0"

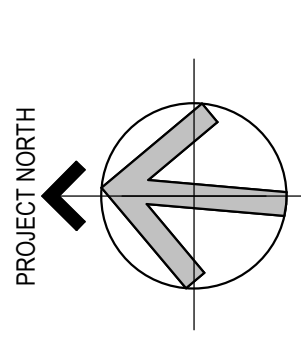


G5 MILLWORK ELEVATION
1/4" = 1'-0"

XX ← FINISH NOTATION
301 ← CABINET DESIGN SERIES NUMBER (CDS #)
30" ← CABINET DEPTH (IN INCHES)
36" ← COUNTER / UPPER CABINET HEIGHT (IN INCHES)
NOTE → MODIFIER NOTATION
← CABINET WIDTH (IN INCHES)
CSD-A ← COUNTER SURFACE DETAIL

CASEWORK DESIGN SERIES KEY
NOTE: ALL MILLWORK IS TO BE MADE OF MARINE GRADE PLYWOOD.





FINISHES LEGEND

EXISTING ITEMS	HATCH DENOTES MILLWORK
ROOM NAME	ACCENT WALL TAG - INDICATES LOCATION OF ACCENT WALL WHEN IDENTIFIED IN ONE ROOM
WALL FINISH / MATERIAL	DIRECTION OF PLANKS
FLOOR FINISH / MATERIAL	OUT OF SCOPE HATCH
FLOORING MATERIAL TRANSITION	
FINISH KEYNOTE	

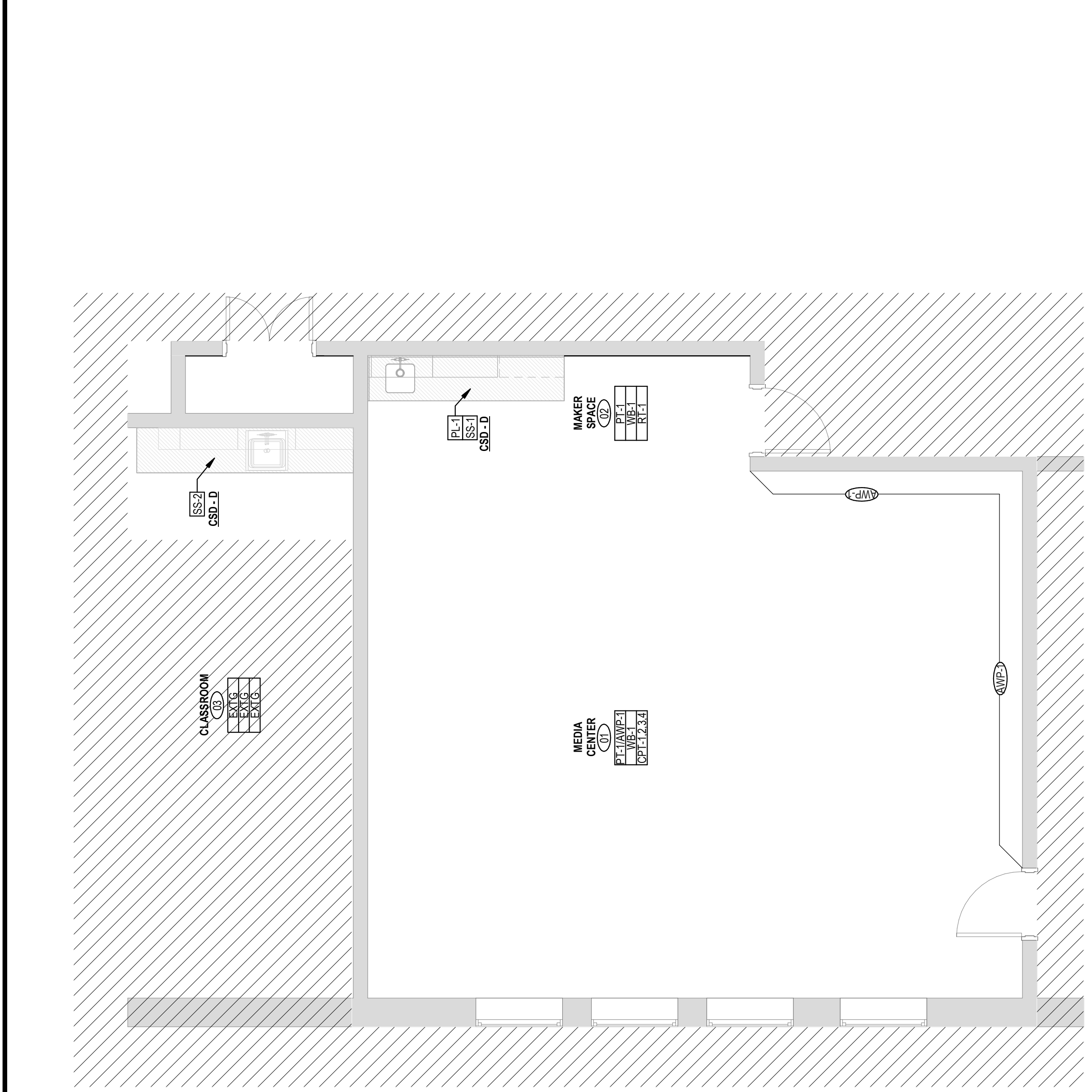
- ### GENERAL NOTES - FINISHES
- FOR ROOMS WITH MULTIPLE WALL FINISHES CALLED OUT REFER TO INTERIOR ELEVATIONS. FOR ROOMS WITH MULTIPLE FLOORING FINISHES CALLED OUT REFER TO FINISH DETAIL PLANS.
 - FOR INTERIOR PAINT FINISHES:
 - ALL INTERIOR WALLS TO BE EGGSHELL FINISH, UNLESS EPOXY FINISH IS NOTED.
 - ALL PAINTED METAL TO BE SEMI-GLOSS FINISH, UNLESS EPOXY FINISH IS NOTED.
 - ALL EXPOSED COLUMNS THAT ARE NOT INCORPORATED IN A WALL ARE TO BE PAINTED PT-1, UNLESS OTHERWISE NOTED. EXPOSED STRUCTURE THAT IS INCORPORATED IN A WALL IS TO BE PAINTED TO MATCH ADJACENT WALL.
 - FLOOR FINISHES TO EXTEND UNDER CASEWORK.
 - ALL WINDOW FRAMES ARE EXISTING TO REMAIN. DO NOT PAINT / REF-FINISH. COORDINATE EXISTING FRAME PAINT COLOR / FINISH WITH OWNER. TOUCH-UP ANY DAMAGE CAUSED DURING CONSTRUCTION.
 - ALL EXISTING DOORS/FRAMES ARE TO BE PAINTED PT-2. REFER TO MATERIALS LIST.
 - ALL EXISTING WALL-MOUNTED TECHNOLOGY IS TO BE REMOVED PRIOR TO PAINTING AND RE-INSTALLED AFTER PAINTING IS COMPLETE.
 - ALL FINISHES 'OUT OF SCOPE' REGION ARE EXISTING TO REMAIN.
 - NEW WALL BASE TO BE INSTALLED AS SPECIFIED THROUGHOUT. INSTALL BASE AS EVEN AS POSSIBLE. WHERE UNEVEN, SKIM AND MAKE LEVEL. ALL WALLS, COLUMNS, CASEWORK, OR ANY PERMANENT SURFACE/FIXTURES RECEIVE WALL BASE. OUTSIDE CORNERS TO BE PRE-FORMED.

FLOORING INSTALL LEGEND

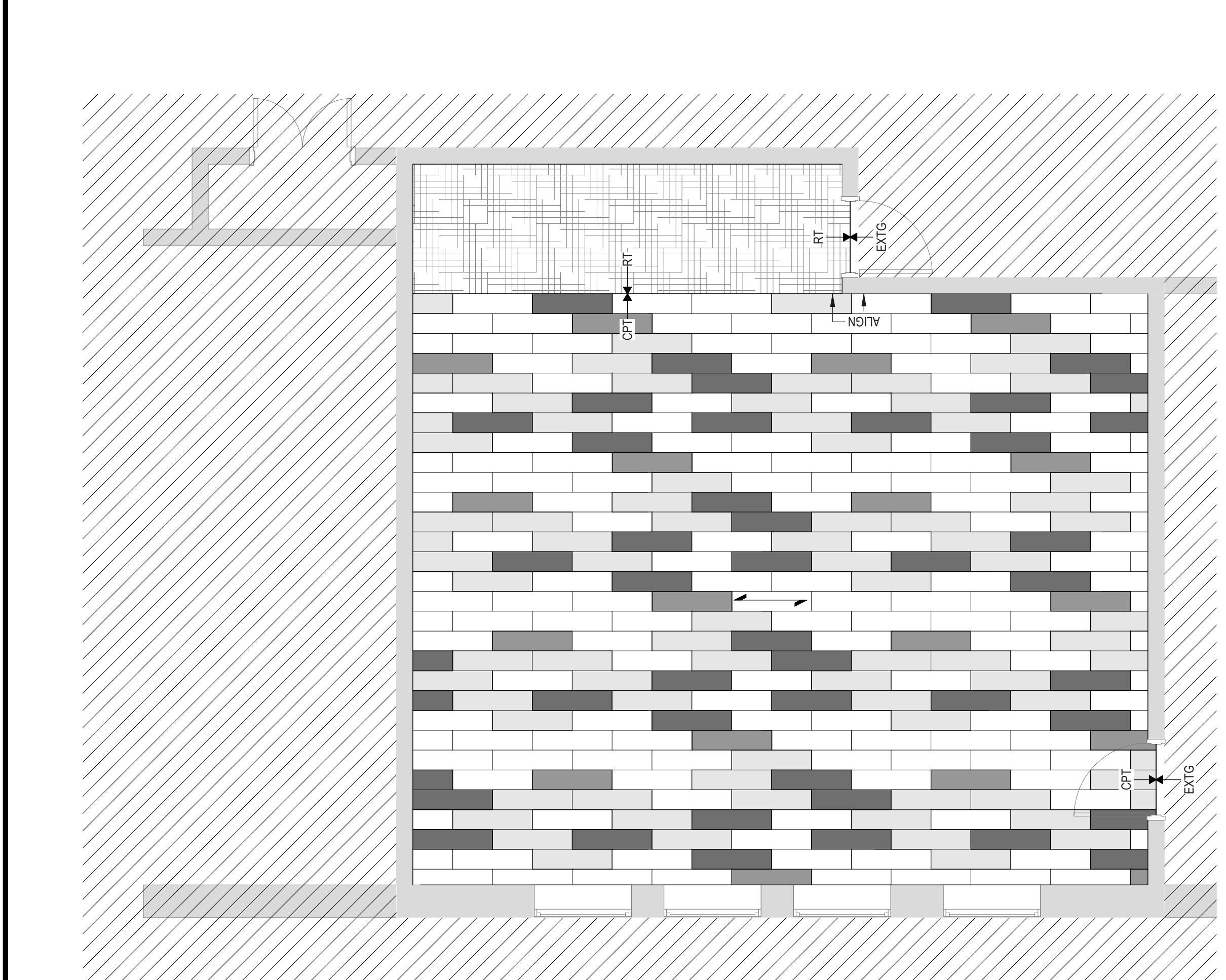
CPT-1	CPT-2	CPT-3	CPT-4
RT-1			

MATERIALS LIST

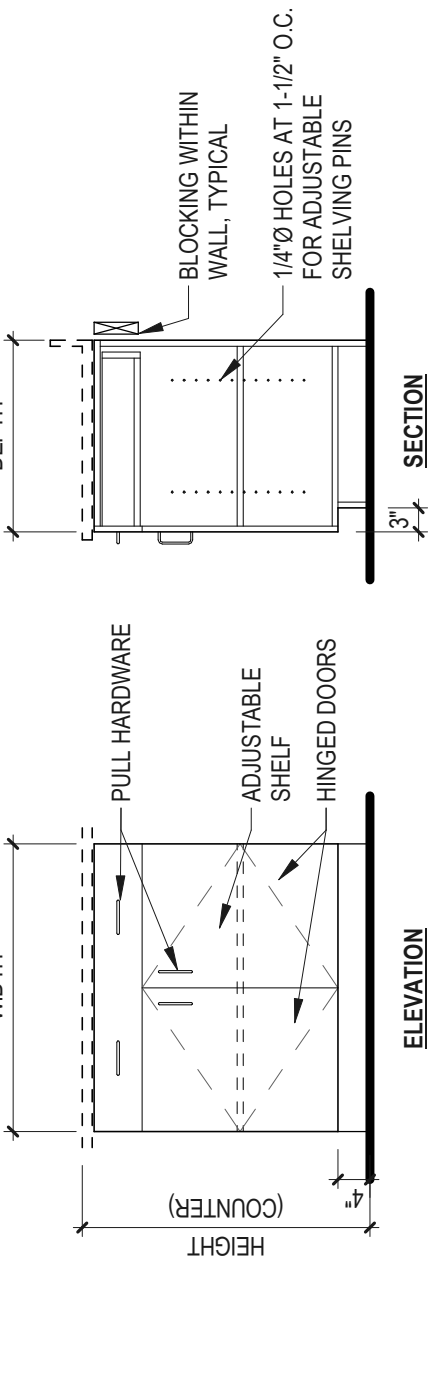
CARPET	PAINT
CPT-1 ITEM: CARPET TILE MFR: FORBO COLLECTION: FLOTEX COLOUR PRODUCT: METRO PLANK COLOR: GREY P946006 SIZE: 9.48' x 39.37' INSTALL: AS NOTED LOCATION: AS NOTED	PT-1 MFR: BENJAMIN MOORE PRODUCT: ULTRA SPEC COLLECTION: EGG SHELL #485 COLOR: CHANTILLY LACE 2121-70 LOCATION: ALL WALLS, U.O.N.
CPT-2 ITEM: CARPET TILE MFR: FORBO COLLECTION: FLOTEX COLOUR PRODUCT: METRO PLANK COLOR: GREY P946007 SIZE: 9.48' x 39.37' INSTALL: AS NOTED LOCATION: AS NOTED	PT-2 MFR: BENJAMIN MOORE PRODUCT: ADVANCE WB COLLECTION: ALKYD SEMI-GLOSS FINISH COLOR: TBD TO MATCH EXISTING, COORDINATE IN FIELD LOCATION: DOORS/FRAMES AS NOTED NOTE: ALL FINISHES TO BE PAINTED PT-2.
CPT-3 ITEM: CARPET TILE MFR: FORBO COLLECTION: FLOTEX COLOUR PRODUCT: METRO PLANK COLOR: GREY P946020 SIZE: 9.48' x 39.37' INSTALL: AS NOTED LOCATION: AS NOTED	WALL BASE WB-1 ITEM: RUBBER WALL BASE MFR: TARKETT PRODUCT: TRADITIONAL DURACOVE COLLECTION: 18" THERMOPLASTIC RUBBER (TYPE 17) COLOR: 6" CH COVE, 120" ROLL SIZE: THROUGHOUT, U.O.N.
CPT-4 ITEM: CARPET TILE MFR: FORBO COLLECTION: FLOTEX COLOUR PRODUCT: METRO PLANK COLOR: INDIGO P946001 SIZE: 9.48' x 39.37' INSTALL: AS NOTED LOCATION: AS NOTED	ACOUSTIC WALL PANELS AWP-1 ITEM: ACOUSTIC WALL PANEL MFR: ACOUFELT PRODUCT: SOLID WALL PANELS COLLECTION: DIAMOND SHAPE: SQUARE SIZE: 18" x 18" x 10.39" W COLOR: MINERAL PATTERN: TBD, COORDINATE W/ MFR TO BE INSTALLED FROM 5'-6" AFF TO 8'-6" AFF IN LOCATIONS IDENTIFIED.
RUBBER TILE RT-1 ITEM: RUBBER TILE MFR: NORPLAN COLLECTION: ENVIRONCARE PRODUCT: BIKE RIDE 7040 COLOR: 24" x 24" x 2" SIZE: RANDOM INSTALL: MAKER SPACE AREA LOCATION:	MILLWORK PL-1 ITEM: PLASTIC LAMINATE MFR: WILSONART COLLECTION: KENSINGTON MAPLE PRODUCT: 48" x 96" x 1/8" LOCATION: ALL VERTICAL MILLWORK
	SS-1 ITEM: SOLID SURFACE MFR: CORIAN COLLECTION: NEW MESSAGES PRODUCT: NEW MESSAGES LOCATION: COUNTERTOP
	SS-2 ITEM: SOLID SURFACE MFR: CORIAN COLLECTION: NEW MESSAGES PRODUCT: NEW MESSAGES LOCATION: REPLACEMENT IN CLASSROOM ADJACENT



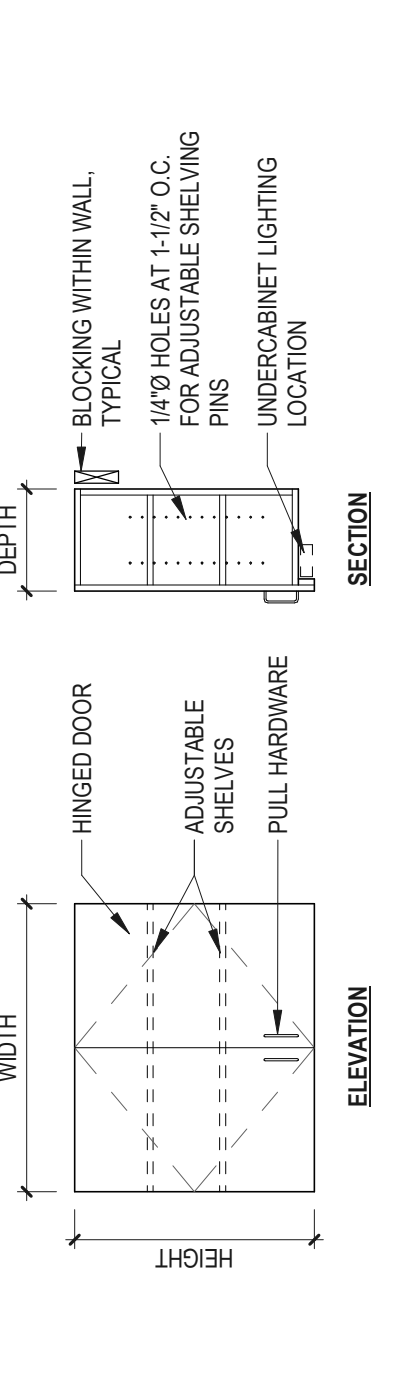
E6 MEDIA CENTER - FINISH PLAN
 1/4" = 1'-0"



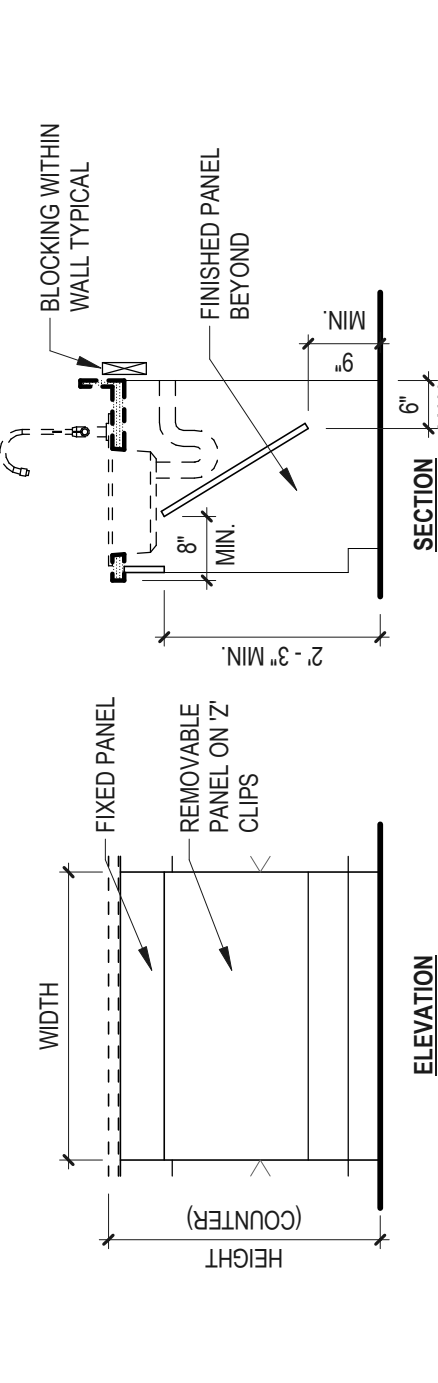
E10 MEDIA CENTER - FINISH FLOORING DETAIL
 1/4" = 1'-0"



F10 CDS #212 - BASE CABINET 2 DOOR, 1 DRWR.
 1/2" = 1'-0"



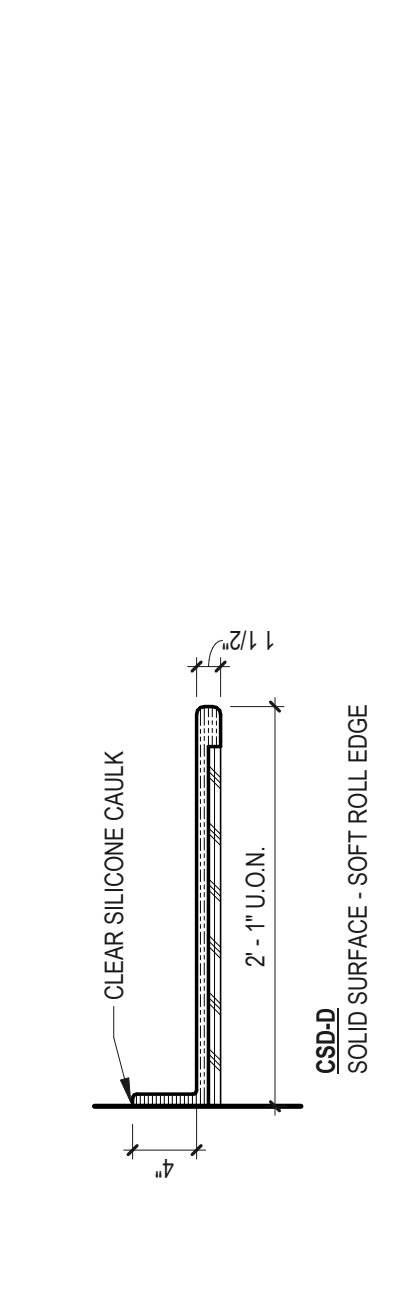
G10 CDS #302 - WALL CABINET 2-DOOR
 1/2" = 1'-0"



H10 CDS #001 - ADA SINK VALANCE
 1/2" = 1'-0"



G6 COUNTER SURF. DETAIL
 1" = 1'-0"



H6 FLOORING TRANSITION DETAILS
 6" = 1'-0"

ADDENDUM 1

Vartan Gregorian Elementary School Media Center

455 Wickenden Street

Providence, RI 02903

Project No. PRV03AR

Page 1

TO: Plan Holders
Project: Vartan Gregorian Elementary School
Project #: PRV03AR
Owner: Providence Public Schools
Date: March 20, 2023

Notice is hereby given that this Addendum forms a part of the Contract Documents and modifies the original Contract Documents as noted below.

Description of Work

A. GENERAL:

1. **All changes have been clouded and dated 03/20/2023.**

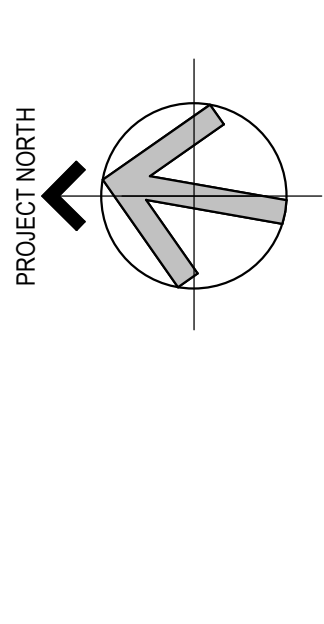
B. DRAWINGS:

1. **Revised Architectural Drawings:**
 - a. **Include into your contract documents the attached revised drawings, dated 03/20/2023.**
 - b. **Drawing A2.10**
 - 1) **Media Center – Main Level Demo/Construction Plan**
 - **MODIFIED** scope of corridor door renovations.
 - 2) **General Notes - Demolition**
 - **ADDED** demolition keynote 4 to reflect revisions.
 - 3) **General Notes - Construction**
 - **MODIFIED** construction keynote 3 to reflect revisions.

Attachments:

- *23 0320_Vartan Gregorian_Addendum 1.pdf*

END OF ADDENDUM 1



Issues / Revisions	Date	Description
1	02/20/2023	ADDendum 11

MAIN LEVEL CONSTRUCTION / DEMOLITION PLANS AND DETAILS

Project Manager:	JH	Project No:	PRV03AR
Project Architect:	LB	Production Leader:	ZF
Project Designer:	AP	Peer Reviewer:	

MAIN LEVEL DEMOLITION & CONSTRUCTION LEGEND

	ITEMS TO BE DEMOLISHED		HATCH DEMOTES MILLWORK
	EXISTING ACQUSTICAL CEILING		OUT OF SCOPE HATCH
	EXISTING GYPSUM CEILING		DEMOLITION KEYNOTE
	EXISTING RECESSED CAN LIGHTING FIXTURE		NEW CONSTRUCTION KEYNOTE
	EXISTING RECESSED LIGHTING FIXTURE		CEILING KEYNOTE
	EXISTING RECESSED LIGHTING FIXTURE		EXTENT OF NEW BASEBOARD RACEWAY
	EXISTING PERIMETER CASEWORK TO REMAIN		CEILING HEIGHT 1'-0" (11)

GENERAL NOTES - MAIN LEVEL DEMOLITION

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND REMOVAL NECESSARY TO COMPLETE THE WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE REMOVAL AND PROPER DISPOSAL, INCLUDING ALL COSTS FOR CARRYING AND DUMPING, OF ALL MATERIALS TO BE DEMOLISHED OR REMOVED. THIS INCLUDES, BUT IS NOT LIMITED TO, ALL MATERIALS, INCLUDING DOORS, HARDWARE, WINDOWS, PLUMBING FIXTURES, ETC., BEFORE REMOVING FROM SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH AND REPAIR ALL EXISTING TO REMAIN INTERIORS AND EXTERIORS. THIS WORK SHALL BE COMPLETED PRIOR TO THE START OF READY SURFACES FOR NEW FINISHES TO FOLLOW IN CONSTRUCTION PHASE. MATCH ALL ADJACENT MATERIALS WHERE PATCHING OCCURS.
- UNLESS NOTED OTHERWISE, ALL FLOOR SURFACES/ FINISHES AND FLOORING BASE TRIM ARE TO BE REMOVED TO FLOOR SLAB AND DISCARDED. CLEAN AND PREPARE CONCRETE AS NECESSARY FOR REFINISHING.
- IT IS NOT THE INTENT TO SHOW EVERY PIECE OR ITEM TO BE REMOVED IN DEMOLITION WORK. DEMOLITION AND REMOVAL SHALL BE PERFORMED WHETHER SO NOTED OR NOT. PROTECT ALL ITEMS INTENDED FOR SALVAGE AND REUSE OR SCHEDULED TO REMAIN.
- PRESERVE AND PROTECT ALL FLOOR, WALL, AND CEILING FINISHES TO REMAIN WHERE POSSIBLE IN AREAS OF DEMOLITION. PATCH TO MATCH AS REQUIRED.
- REPAIR ALL REMAINING WALLS, CEILINGS AND FLOOR SURFACES WHERE DEMOLITION OCCURS. THIS INCLUDES MEP AND OTHER NECESSARY WORK IN CEILINGS AND WALLS AT FLOOR BELOW. DUST POLY WALL TO BE INSTALLED AROUND DEMO AREAS TO TRAP DUST/DEBRIS.
- OWNER TO REMOVE, WRAP, AND STORE EXISTING WINDOW SHADES FOR RE-INSTALLATION.
- FLOOR-MOUNTED COMPONENTS, INCLUDING BUT NOT LIMITED TO, FURNITURE, WHP, DATA AND VOICE, TO BE REMOVED BACK TO PANEL WHERE SHOWN DEMOLISHED. CAP AND MAKE SAFE. DEMO AND REMOVE ALL CORES THROUGHOUT FLOOR. FILL EXISTING CORE DRILL AS REQUIRED TO MEET ALL LOCAL AND STATE BUILDING / FIRE CODES.
- ALL EXISTING TO REMAIN CASEWORK TO BE WRAPPED TO PROTECT DURING CONSTRUCTION. UNLESS OTHERWISE NOTED, GENERAL CONTRACTOR TO EVALUATE FLOORING CONDITION BELOW CASEWORK AND COMMUNICATE AND COORDINATE WITH OWNER PRIOR TO INSTALLING NEW FLOORING.

GENERAL NOTES - MAIN LEVEL CONSTRUCTION

- FIRE SAFE ALL PENETRATIONS IN RATED WALL ASSEMBLIES. SEE TYPICAL RATED WALL PENETRATION DETAIL.
- ALIGN EDGE OF NEW FINISH WITH EDGE OF EXISTING FINISH AT ALL GYPSUM BOARD INFILL CONSTRUCTION UNLESS OTHERWISE NOTED.
- VERIFY LOCATION OF ALL ACCESS PANELS WITH MEP EQUIPMENT.
- ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND ANY DISCREPANCIES SHALL BE PROMPTLY REPORTED TO THE ARCHITECT.
- PATCH, REPAIR, AND REFINISH ALL SURFACES EXPOSED BY DEMOLITION WORK OR CUTTING TO ALIGN WITH EXISTING SURFACES SCHEDULED TO REMAIN OR NEW FINISHES SPECIFIED. REPAIR AND SKIM COAT EXISTING SUBFLOOR AS REQUIRED TO PREPARE FLOOR INSTALLATION OF NEW FLOOR FINISH. COORDINATE WITH FINISH PLAN AND MANUFACTURER'S REQUIREMENTS.
- ALL EXISTING FINISHES REMAINING IN PLACE (I.E. VCT, CEILINGS, ETC.) SHALL BE CLEANED UTILIZING EFFECTIVE CLEANING METHODS WHICH WILL PRODUCE THE MOST DESIRABLE RESULTS POSSIBLE.
- CAULK ALL JOINT OR CRACKS WHICH OCCUR WHERE DISSIMILAR MATERIALS INTERSECT PERPENDICULAR TO EACH OTHER AND THE INTERSECTION IS EXPOSED TO VIEW UNLESS INDICATED OTHERWISE ON THE DRAWINGS.

GENERAL NOTES - MAIN LEVEL CEILING

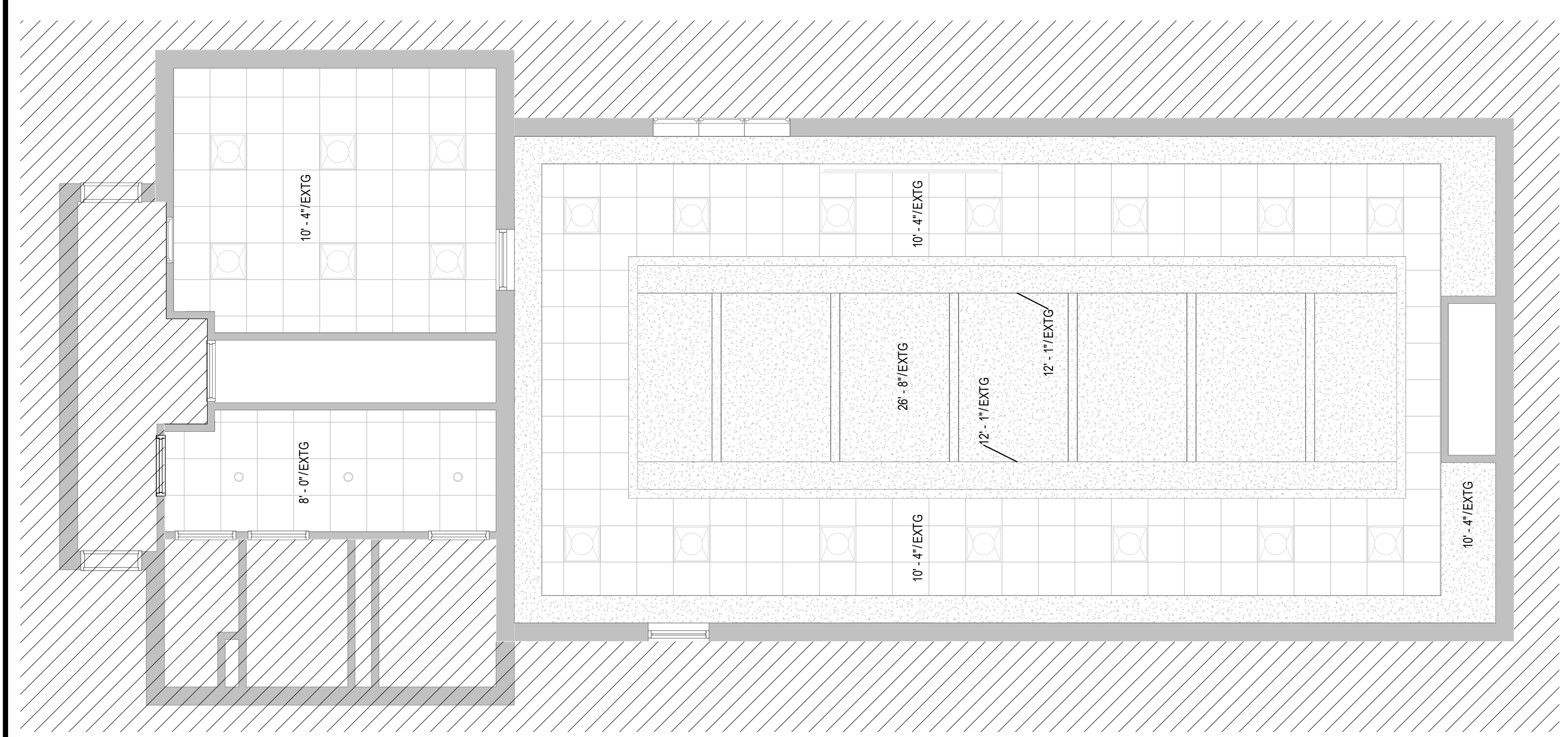
- UNLESS OTHERWISE NOTED, ALL EXISTING CEILING GRID, CEILING TILE, GYP BOARD, CEILINGS AND LIGHT FIXTURES ARE TO REMAIN. GENERAL CONTRACTOR TO VERIFY ANY CONDITIONS THAT REQUIRE PATCHING IN THE FIELD. PATCH AND PAINT TO MATCH AS REQUIRED.
- LIGHTING LAYOUT SHOWN FOR REFERENCE AND COORDINATION ONLY. COORDINATE WITH OWNER FOR WHICH FIXTURES ARE TO BE RELOCATED OR NEW.

KEYNOTES - MAIN LEVEL DEMOLITION

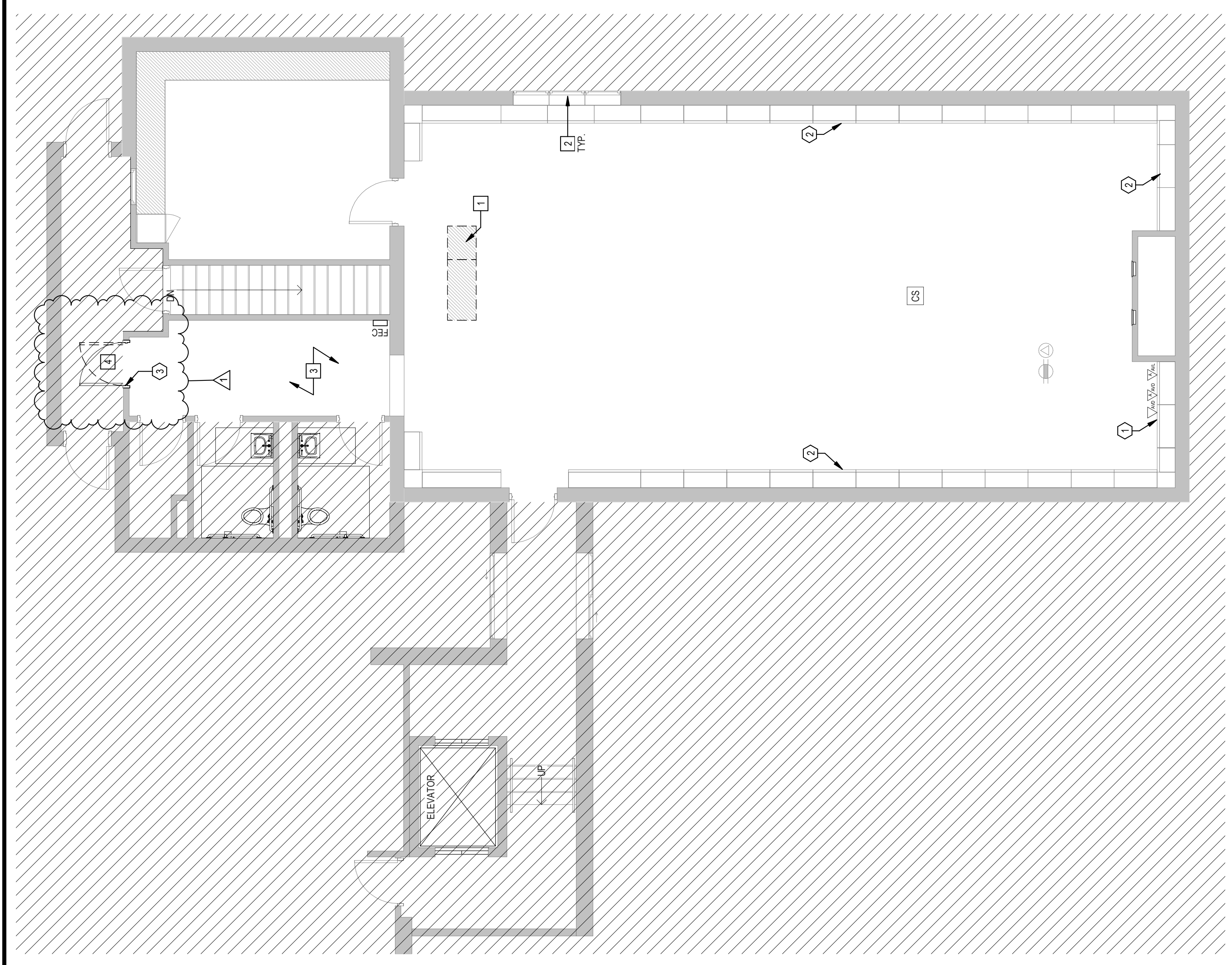
- EXISTING MILL WORK REGULATION DESK TO BE DEMOLISHED ENTIRELY. SLIP FLOOR PATCHED AND REPAIRED WHERE DAMAGED IN PREPARATION FOR NEW FLOORING.
- EXISTING WINDOW SHADES TO BE REMOVED AND STORED BY OWNER FOR RE-INSTALLATION. TYPICAL.
- GENERAL CONTRACTOR TO CONFIRM PROBABILITY AND EXTENT OF VCT FLOOR TILE DEMOLITION AND COMMUNICATE WITH ARCHITECT TO COORDINATE NEW FLOORING INSTALLATION.
- REMOVE EXISTING DOOR AND FRAME AND TURN OVER TO OWNER.

KEYNOTES - MAIN LEVEL CONSTRUCTION

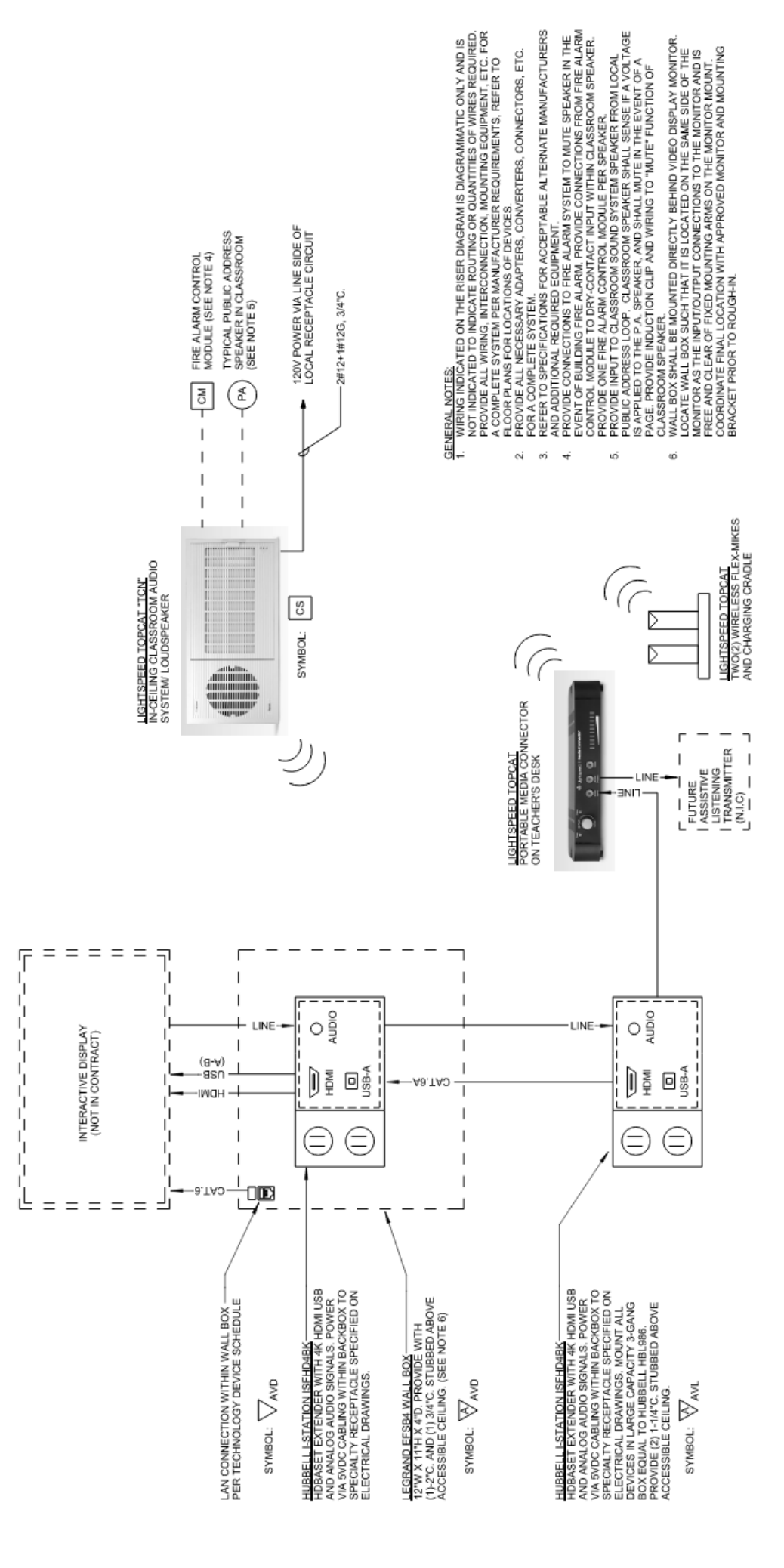
- GENERAL CONTRACTOR TO EVALUATE EXISTING ELECTRICAL SYSTEMS AND MAKE NECESSARY CORRECTIVE INSTALLATION OF NEW AV EQUIPMENT. DESIGN INTENT IS TO INTEGRATE NEW AV EQUIPMENT INTO PERIMETER POWER SUPPLY.
- ALL EXISTING BOOKSHELF RACEWAY OUTLETS TO BE UPDATED AND REPLACED WITH JAMB-RESISTANT JACKETS.
- PROVIDE NEW WOODEN DOOR WITH HOLLOW METAL FRAME MATCHING EXISTING STYLE. CONFIRM EXISTING SIZE PRIOR TO PURCHASE AND INSTALLATION. EXISTING DOOR FRAME TO BE SAVED AND TURNED OVER TO OWNER. PROVIDE NEW DOOR SCHEDULED TO MATCH EXISTING CONTRACTOR'S.



F6 MEDIA CENTER - MAIN LEVEL RCP
 3/16" = 1'-0"



F9 MEDIA CENTER - MAIN LEVEL DEMO/CONSTRUCTION PLAN
 3/16" = 1'-0"



H10 AV SYSTEM DETAIL
 NOT TO SCALE

ADDENDUM 1

Asa Messer Elementary School Media Center
1655 Westminster Street
Providence, RI 02903
Project No. PV03AR

Page 1

TO: Plan Holders
Project: **Asa Messer Elementary School**
Project #: **PRV03AR**
Owner: **Providence Public Schools**
Date: **March 20, 2023**

Notice is hereby given that this Addendum forms a part of the Contract Documents and modifies the original Contract Documents as noted below.

Description of Work

A. GENERAL:

1. **All changes have been clouded and dated 03/20/2023.**

B. DRAWINGS:

1. **Revised Architectural Drawings:**
 - a. **Include into your contract documents the attached revised drawings, dated 03/20/2023.**
 - b. **Drawing A2.10**
 - 1) **Media Center – Construction Plan:**
 - **MODIFIED** scope and extent of Office/Storage 03
 - **ADDED** new perimeter raceway into new Office/Storage 03 (Keynote 5)
 - c. **Drawing A3.10**
 - 1) **Media Center – Lower-Level Demo RCP**
 - **MODIFIED** scope and extent of Office/Storage 03
 - 2) **Media Center – Reflected Ceiling Plan**
 - **MODIFIED** scope and extent of Office/Storage 03
 - **ADDED** scope of new ceiling finishes in Office/Storage 03
 - d. **Drawing I0.10**

Asa Messer Elementary School Media Center
1655 Westminster Street
Providence, RI 02903
Project No. PV03AR

- 1) Media Center – Lower-Level Finish Plan:
 - **MODIFIED** scope and extent of finishes.
- 2) Media Center – Lower-Level Finish Flooring Plan:
 - **MODIFIED** scope and extent of finishes of carpet installation.
- 3) Materials List
 - **REMOVED** AWP-1

Attachments:

- *23 0320_Messer_Addendum 1.pdf*

END OF ADDENDUM 1

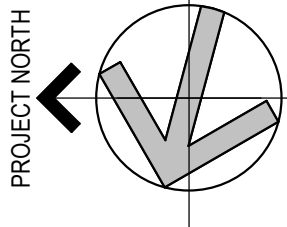
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Client/ Contractor PROVIDENCE PUBLIC SCHOOLS

797 WESTMINSTER STREET PROVIDENCE, RI 02903

Project ASA MESSER ELEMENTARY SCHOOL

1655 WESTMINSTER STREET PROVIDENCE, RI 02903



Seals RFP SET

Issues / Revisions table with columns for No., Date, Description, and Revisions.

Drawing Title MEDIA CENTER CONSTRUCTION AND DEMOLITION PLANS

Project Manager: JH Project No: PRV03AR
Project Architect: LB Production Leader: ZF
Project Designer: AP Peer Reviewer:

Drawing Number A2.10

DEMOLITION & CONSTRUCTION LEGEND

- EXISTING ITEMS
ITEMS TO BE DEMOLISHED
HATCH DEVOTES NEW MILLWORK
DEMOLITION KEYNOTE
CONSTRUCTION KEYNOTE
NEW MAGNETIC WRITABLE WALL PANELS
EXTENT OF NEW BASEBOARD RACEWAY

GENERAL NOTES - DEMOLITION

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND REMOVAL NECESSARY TO...
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH AND REPAIR ALL EXISTING TO REMAIN AREAS...
3. ALL ITEMS SUSPENDED ARE TO BE REMOVED AND DISCARDED...
4. EXISTING VOT FLOORING TO REMAIN...
5. ALL EXISTING TECTUM ACOUSTIC PANELS ON WALLS AND CEILING ARE TO REMAIN...
6. IT IS NOT THE INTENT TO SHOW EVERY PIECE OR ITEM TO BE DEMOLISHED...
7. PRESERVE AND PROTECT ALL WALL AND CEILING FINISHES...
8. REPAIR ALL REMAINING WALLS, CEILING AND FLOOR SURFACES...
9. DUST POLY WALL TO BE INSTALLED AROUND DEMO AREAS...
10. WHEREVER A WALL IS BEING DEMOLISHED ADJACENT TO AN EXISTING WALL...

GENERAL NOTES - CONSTRUCTION

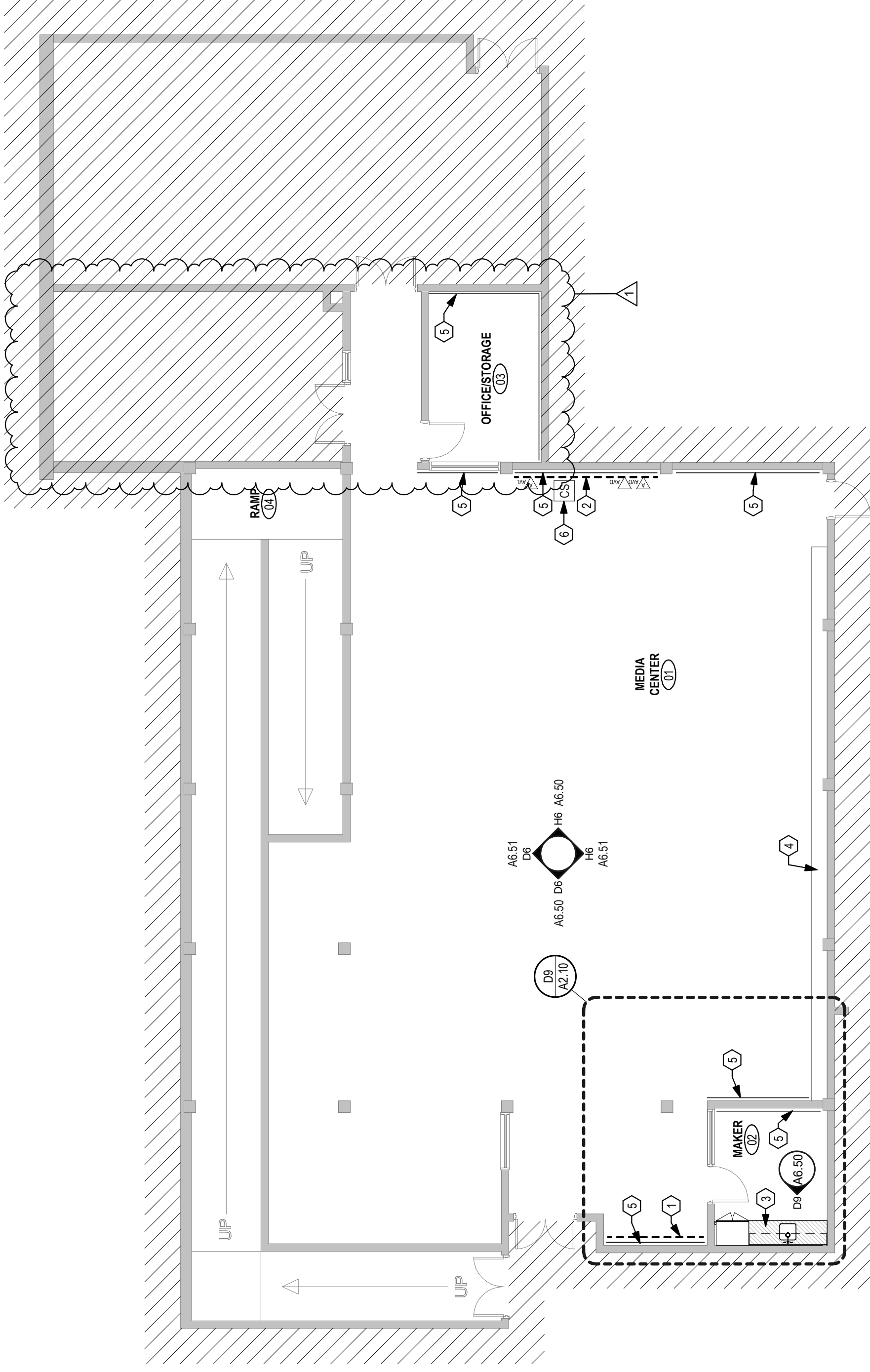
- 1. FIRE SAFE ALL PENETRATIONS IN RATED WALL ASSEMBLIES...
2. ALIGN FACE OF NEW FINISH WITH FACE OF EXISTING FINISH...
3. VERIFY LOCATION OF ALL ACCESS PANELS...
4. ALL DIMENSIONS SHALL BE FIELD VERIFIED...
5. PATCH, REPAIR, AND REFINISH ALL SURFACES EXPOSED...
6. ALL EXISTING FINISHES REMAINING IN PLACE...
7. CAULK ALL JOINT OR CRACKS WHICH OCCUR...

KEYNOTES - DEMOLITION

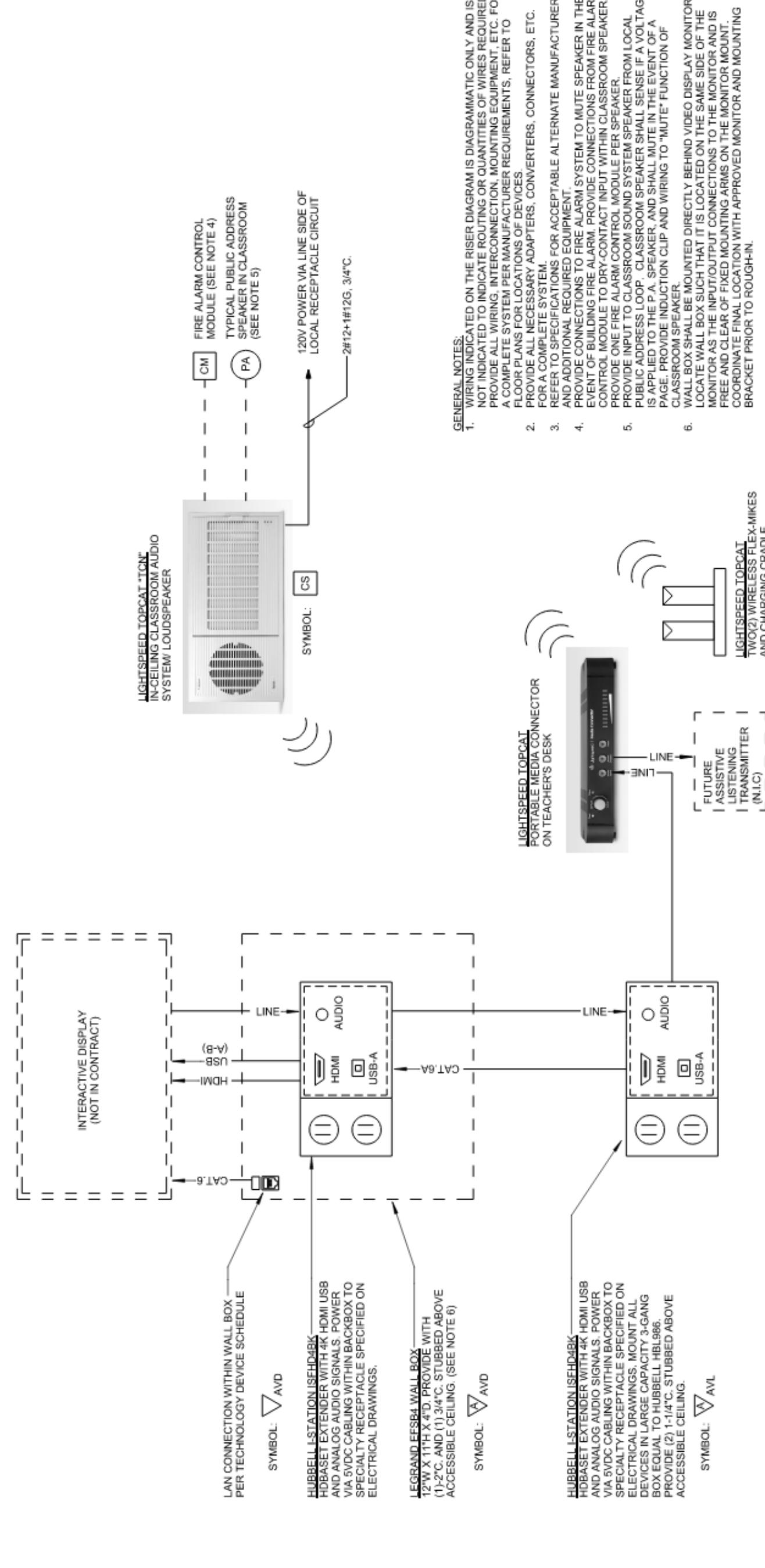
- 1 EXISTING MILLWORK AND SINK TO BE DEMOLISHED...
2 EXISTING MILLWORK AND SINK TO BE DEMOLISHED...
3 EXISTING MILLWORK AND SINK TO BE DEMOLISHED...

KEYNOTES - CONSTRUCTION

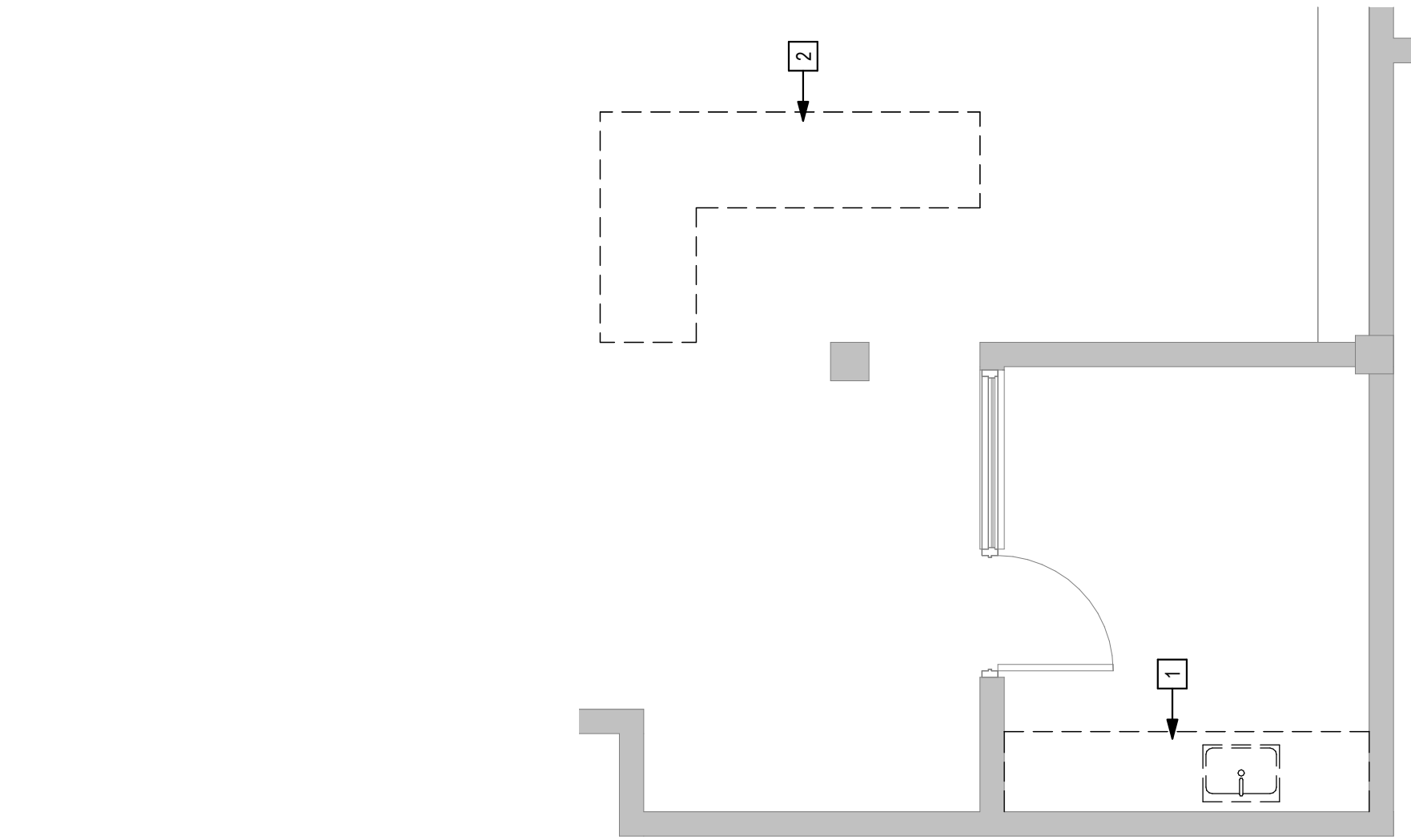
- 1 LOCATION OF 12 NEW 4x8 WRITABLE MAGNETIC PANELS...
2 LOCATION OF 12 NEW 4x8 WRITABLE MAGNETIC PANELS...
3 BASIS OF DESIGN IS MAGNETIC WALLS...
4 NEW MILLWORK AND SINK TO BE INSTALLED...
5 NEW BASEBOARD RACEWAY WITH TAMPER-RESISTANT...
6 WIREBOLDS ACCESS 5000 SERIES...
7 LOCAL RECEPTACLES...
8 MANUFACTURER RECOMMENDATIONS



D7 MEDIA CENTER - CONSTRUCTION PLAN 1/8" = 1'-0"



G7 AV SYSTEM DETAIL 1" = 1'-0"



D9 DEMOLITION PLAN 1/4" = 1'-0"

- GENERAL NOTES:
1. WIRING INDICATED ON THE RISE/DIAGRAM IS DIAGRAMMATIC ONLY AND IS...
2. PROVIDE ALL WIRING, INTERCONNECTION, MOUNTING EQUIPMENT, ETC. FOR...
3. PROVIDE ALL NECESSARY ADAPTERS, CONVERTERS, CONNECTORS, ETC.
4. REFER TO SPECIFICATIONS FOR ACCEPTABLE ALTERNATE MANUFACTURERS...
5. PROVIDE CONNECTIONS TO FIRE ALARM SYSTEM TO MATE SPEAKERS IN THE...
6. PROVIDE ONE FIRE ALARM CONTROL MODULE PER SPEAKER...
7. PROVIDE ONE FIRE ALARM CONTROL MODULE PER SPEAKER...
8. PROVIDE ONE FIRE ALARM CONTROL MODULE PER SPEAKER...
9. PROVIDE ONE FIRE ALARM CONTROL MODULE PER SPEAKER...
10. PROVIDE ONE FIRE ALARM CONTROL MODULE PER SPEAKER...

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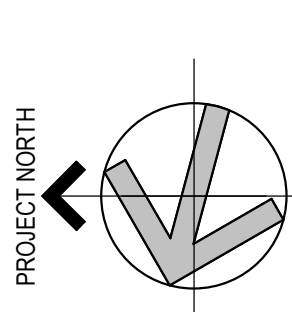
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797 WESTMINSTER STREET
PROVIDENCE, RI 02903

Project
ASA MESSER ELEMENTARY SCHOOL

1655 WESTMINSTER STREET
PROVIDENCE, RI 02903

Seats
RFP SET



Issues / Revisions		Description
No.	Date	By
1	02/20/2023	ADDENDUM 11

Drawing Title
REFLECTED CEILING DEMO & CONSTRUCTION PLAN

Project Manager:	JH	Project No.:	PRV03AR
Project Architect:	LB	Production Leader:	ZF
Project Designer:	AP	Peer Reviewer:	

Drawing Number
A3.10

DEMOLITION & CONSTRUCTION RCP LEGEND

	ITEMS TO BE DEMOLISHED
	EXISTING GYPSUM BOARD CEILING TO REMAIN
	CEILING HEIGHT
	CEILING TYPE
	DEMOLITION RCP KEYNOTE
	CEILING KEYNOTE
	OUT OF SCOPE HATCH

GENERAL NOTES - DEMOLITION

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND REMOVAL NECESSARY TO COMPLETE THE PROJECT. THIS INCLUDES THE REMOVAL OF ALL MATERIALS, INCLUDING GYPSUM BOARD, CEILING, AND OTHER MATERIALS. THE CONTRACTOR SHALL PROVIDE OWNER WITH FIRST RIGHTS TO ALL MATERIALS, INCLUDING DOORS, HARDWARE, WINDOWS, PLUMBING FIXTURES, ETC., BEFORE REMOVING FROM SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH AND REPAIR ALL EXISTING TO REMAIN AREAS AND SURFACES AS NOTED AND/OR SHOWN. THIS INCLUDES ALL WORK NECESSARY TO PREPARE SURFACES FOR NEW FINISH (I.C.) TO FOLLOW IN CONSTRUCTION PHASE. MATCH ALL ADJACENT MATERIALS WHERE PATCHING OCCURS.
- ALL ITEMS SHOWN DASHED ARE TO BE REMOVED AND DISCARDED, UNLESS OTHERWISE NOTED. COMPLETE FINISH TO THE NEAREST CORNER, CHANGE OF PLANE OR OTHER JUNCTURE WHICH ALLOWS FOR A SMOOTH AND CLEAN TRANSITION FROM THE NEWLY FINISHED SURFACE TO THE SURROUNDING EXISTING SURFACES (INTENT IS TO AVOID APPEARANCE OF PATCHED CONDITION).
- EXISTING VCT FLOORING TO REMAIN. FLOORING BASE TRIM IS TO BE REMOVED AND DISCARDED.
- ALL EXISTING TECTUM ACOUSTIC PANELS ON WALLS AND CEILINGS ARE EXISTING TO REMAIN. NEW FINISHES ARE TO BE APPLIED TO TECTUM AS NOTED. REFER TO FINISH PLAN.
- IT IS NOT THE INTENT TO SHOW EVERY PIECE OR ITEM TO BE REMOVED IN DEMOLITION WORK. MECHANICAL, ELECTRICAL AND OTHER WORK RELATED TO A WALL OR AREA SCHEDULED FOR DEMOLITION AND REMOVAL SHALL BE PERFORMED WHETHER SO NOTED OR NOT. PROTECT ALL ITEMS INTENDED FOR SALVAGE AND REUSE OR SCHEDULED TO REMAIN.
- PRESERVE AND PROTECT ALL WALL AND CEILING FINISHES TO REMAIN WHERE POSSIBLE IN AREAS OF DEMO. THIS INCLUDES DOOR WINDOW FRAMES. PATCH TO MATCH AS REQUIRED.
- REPAIR ALL REMAINING WALLS, CEILINGS AND FLOOR SURFACES WHERE DEMOLITION OCCURS. THIS INCLUDES MEP AND OTHER NECESSARY WORK IN CEILINGS AND WALLS AT FLOOR BELOW.
- DUST POLY WALL TO BE INSTALLED AROUND DEMO AREAS TO TRAP DUST/DEBRIS.
- WHEREVER A WALL IS BEING DEMOLISHED ADJACENT TO AN EXISTING WALL, GENERAL CONTRACTOR IS TO PATCH AND REPAIR ADJACENT SURFACE TO PROVIDE "LIKE NEW" CONDITION.

GENERAL NOTES - CEILING

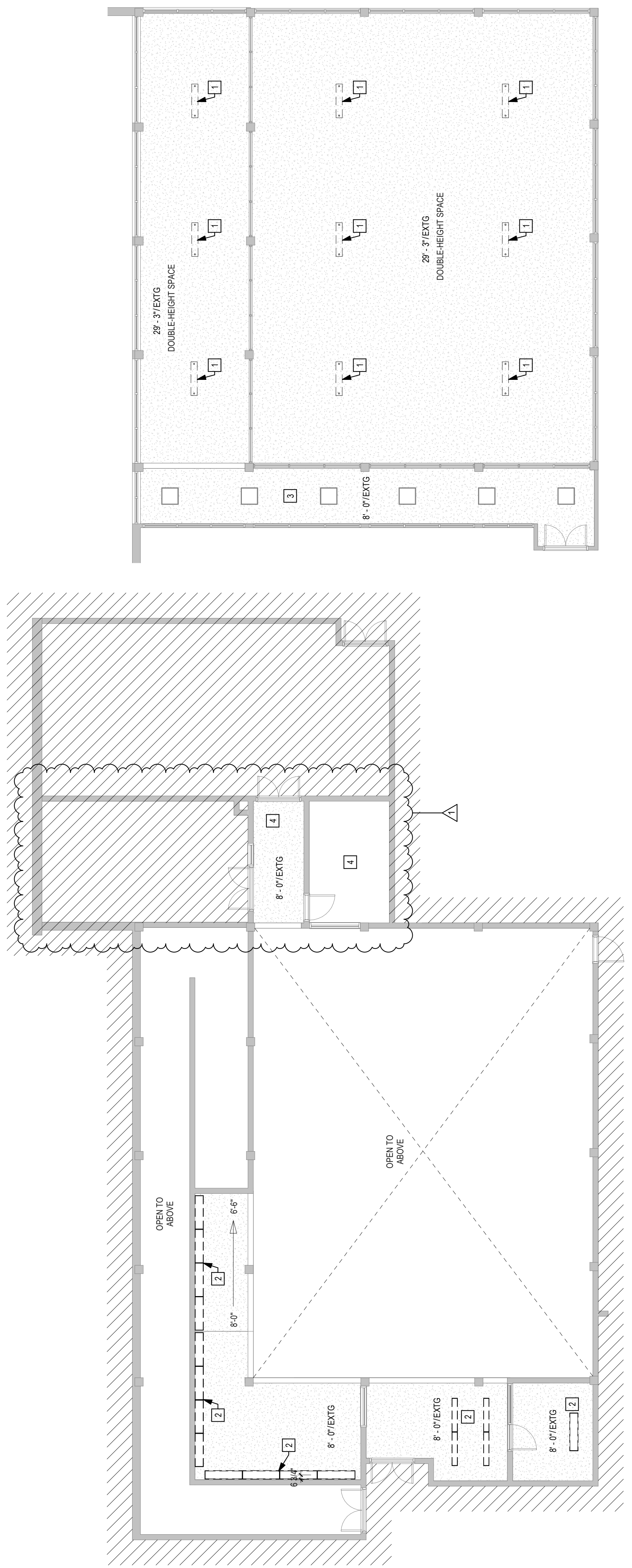
- UNLESS OTHERWISE NOTED, ALL EXISTING CEILING GRID, CEILING TILE, GYP. BOARD CEILINGS AND LIGHT FIXTURES ARE TO REMAIN.
- UNLESS SPECIFICALLY NOTED OTHERWISE, ALL CEILING GRIDS AND LIGHTING SHALL BE CENTERED, WITH BALANCED CUTS.
- ALL CEILING ITEMS ARE TO BE CENTERED IN 24, 222 OR IMPLIED 222 CEILING TILE WITH BALANCED CUTS. THIS INCLUDES ALL EXISTING CEILING LIGHTING, INCLUDING PENDANT AND LOCATION PURPOSES ONLY. SEE MEP FOR SPECIFIC CEILING MOUNTED ITEMS.
- ALL NEW AND EXISTING TO REMAIN GYPSUM BOARD CEILINGS / SOFFITS / HEADERS ARE TO BE PAINTED CP-1. REFER TO MATERIALS LIST.
- LIGHTING LAYOUT SHOW FOR REFERENCE AND COORDINATION ONLY. COORDINATE WITH OWNER FOR WHICH FIXTURES ARE TO BE RELOCATED OR NEW.

KEYNOTES - DEMOLITION RCP

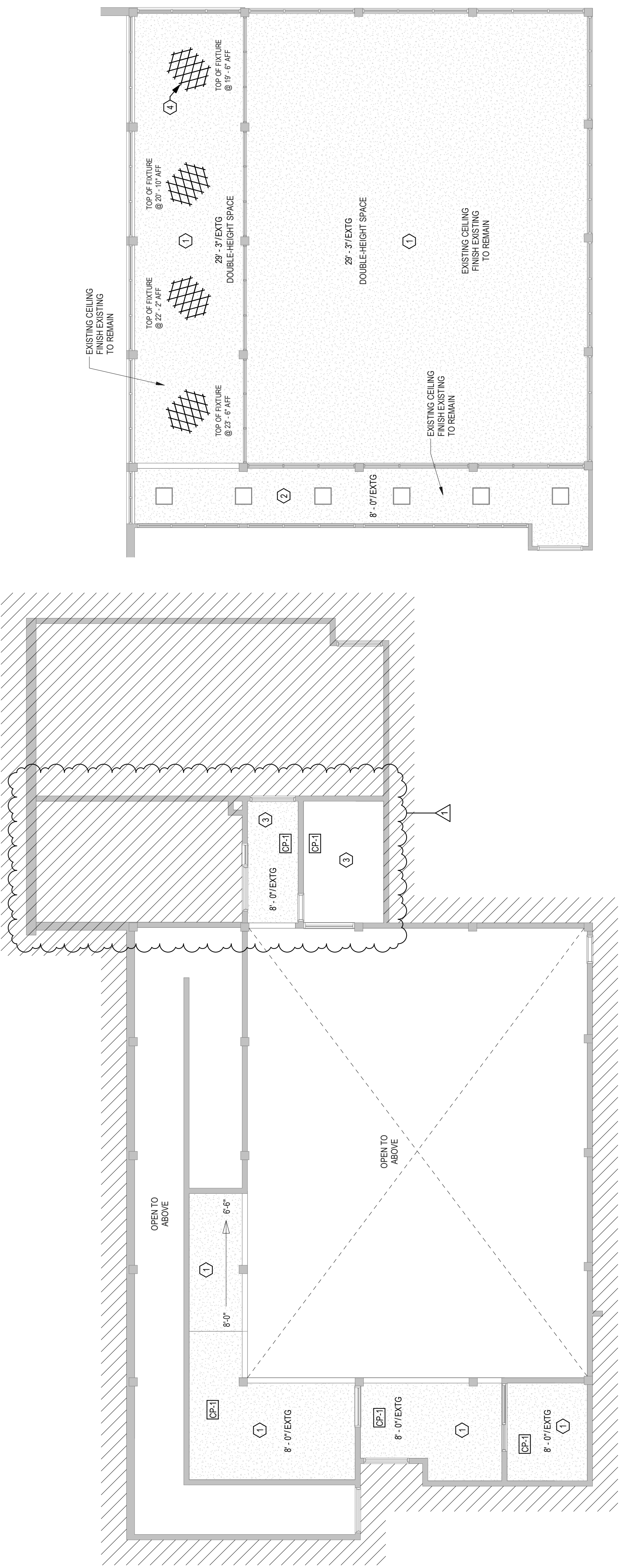
- DEMOLISH AND REMOVE EXISTING SUSPENDED PENDANT LINEAR LIGHTING.
- DEMOLISH AND REMOVE EXISTING CEILING MOUNTED LIGHTING.
- EXISTING CEILING MOUNTED LIGHTING IN THIS LOCATION TO REMAIN.
- LIGHTING IN THIS LOCATION EXISTING TO REMAIN. VERIFY EXISTING CONDITIONS IN THE FIELD.

KEYNOTES - RCP

- NEW LIGHTING TO BE PROVIDED IN THESE LOCATIONS. LIGHTING TYPES, MOUNTING HEIGHTS AND SPACING SHALL BE DETERMINED BY THE CONTRACTOR. VERIFY EXISTING CONDITIONS IN THE FIELD. LIGHTING CALCULATIONS MUST BE DONE TO ENSURE THAT APPROPRIATE LIGHTING LEVELS ARE MET.
- EXISTING CEILING MOUNTED LIGHTING TO REMAIN IN THESE LOCATIONS.
- LIGHTING IN THIS LOCATION EXISTING TO REMAIN. VERIFY EXISTING CONDITIONS IN THE FIELD.
- HANGING ACOUSTIC CLOUDS: BASIS OF DESIGN TO BE ACQUAINT SOLUS. SIZE OF INDIVIDUAL CLOUDS IS 48"X14"X14" DEPTH TO BE 6-12". COLOR IS TBD. PROVIDE MAXIMUM OF 4. ASSUME MOUNTING METHOD IS CABLE TO DECK.



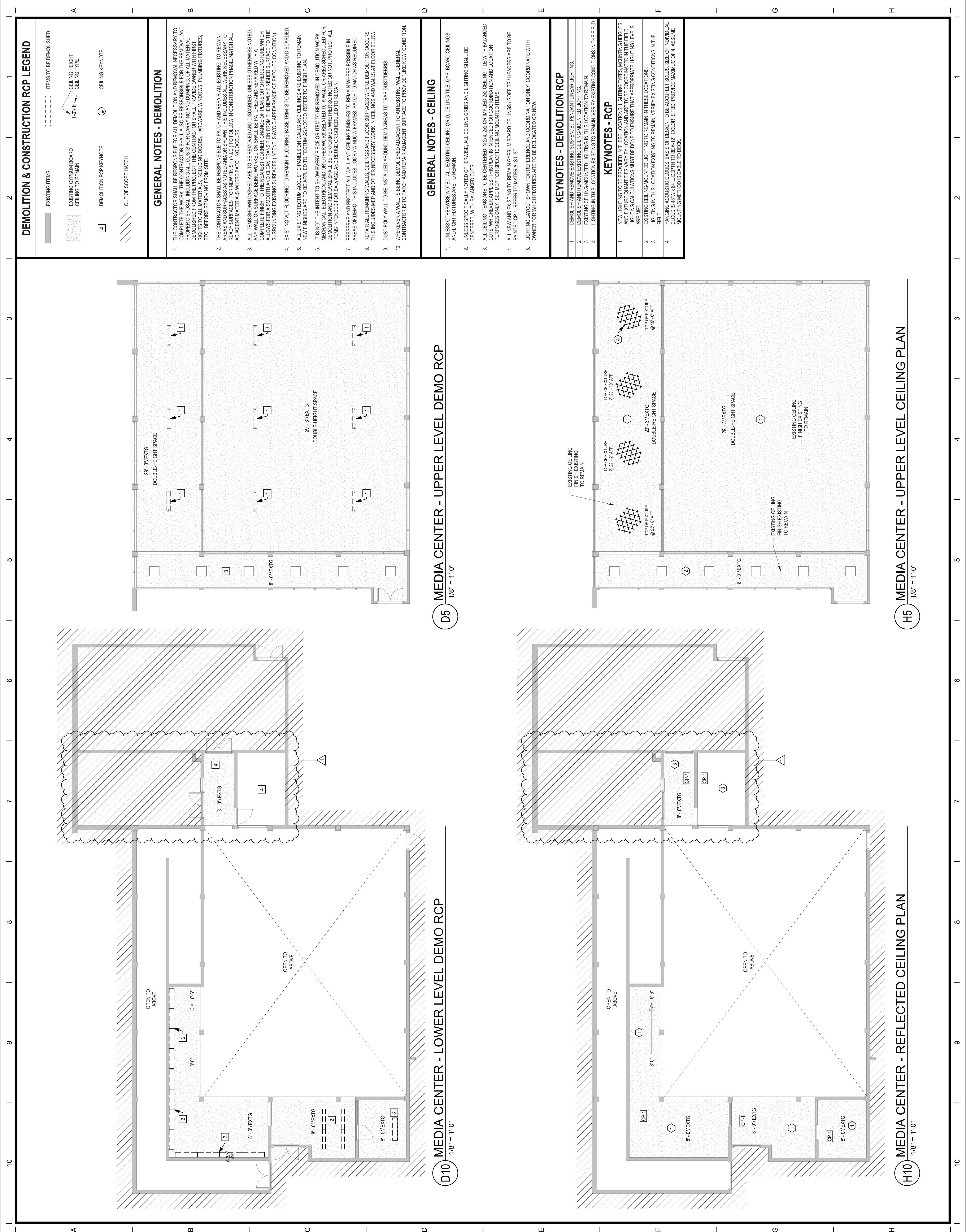
D10 MEDIA CENTER - LOWER LEVEL DEMO RCP
1/8" = 1'-0"



H5 MEDIA CENTER - UPPER LEVEL CEILING PLAN
1/8" = 1'-0"

D5 MEDIA CENTER - UPPER LEVEL DEMO RCP
1/8" = 1'-0"

H5 MEDIA CENTER - UPPER LEVEL CEILING PLAN
1/8" = 1'-0"

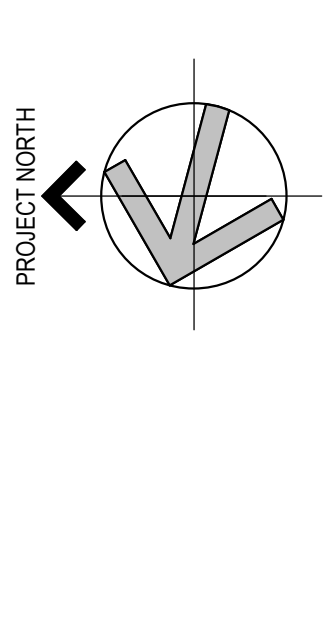


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Project
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Seats
RFP SET

Issues / Revisions	Date	Description
1	02/20/2023	ADD COLUMN 1

MATERIALS LIST AND FINISH PLANS

Project Manager: JH | Project No: PRV03AR
Project Architect: LB | Production Leader: ZF
Project Designer: AP | Peer Reviewer:
Drawing Number: **10.10**

FINISHES LEGEND

	EXISTING ITEMS
	MILLWORK
	ROOM NAME
	ROOM NUMBER
	WALL FINISH / MATERIAL
	WALL BASE MATERIAL
	FLOORING MATERIAL
	FLOORING MATERIAL TRANSITION
	FINISH KEYNOTE
	HATCH DENOTES
	ACCENT WALL TAG - INDICATES LOCATION OF ACCENT WALL (WHEN MULTIPLE COLORS IDENTIFIED IN ONE ROOM)
	DIRECTION OF PLANS
	OUT OF SCOPE HATCH

GENERAL NOTES - FINISHES

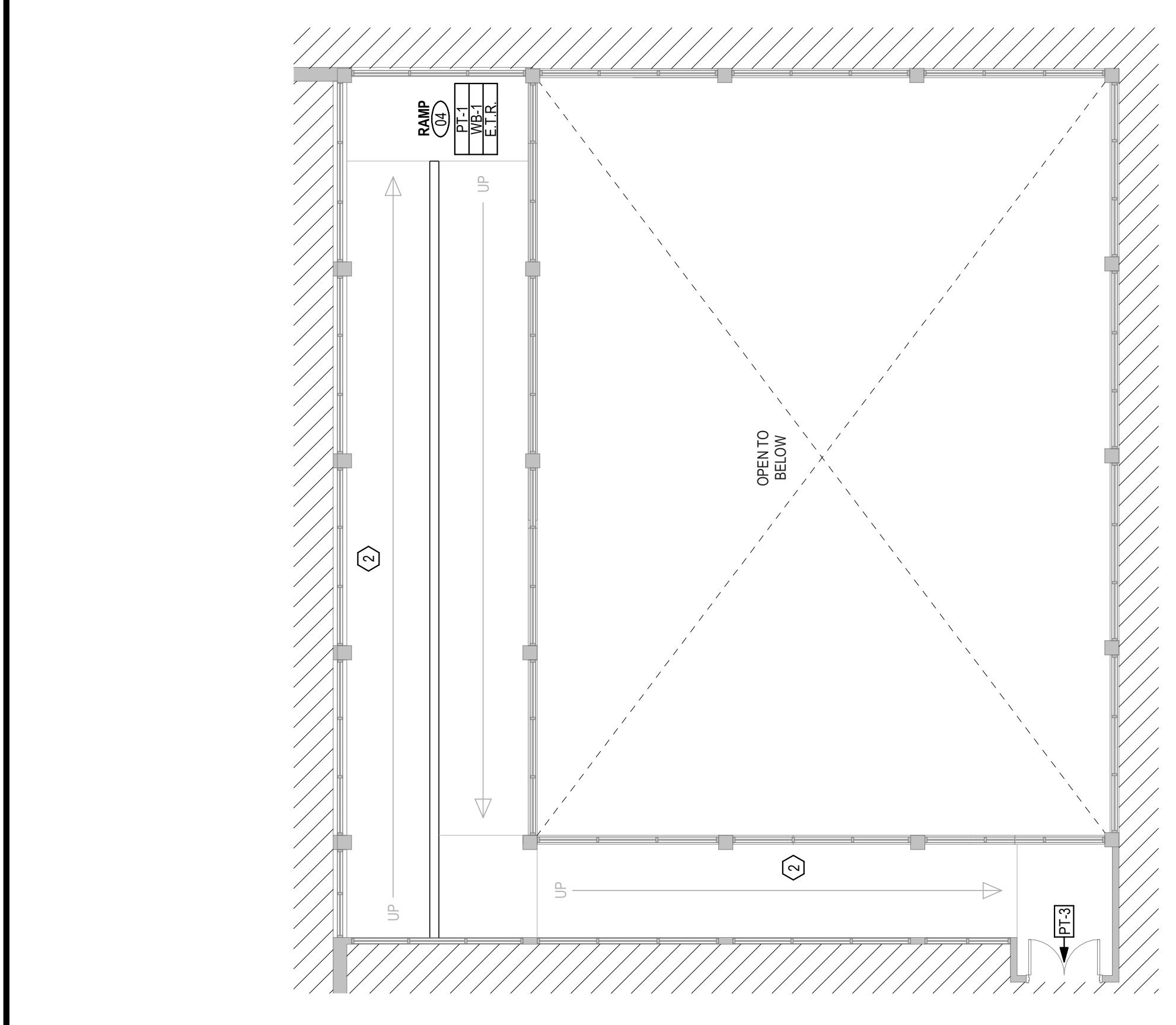
- FOR ROOMS WITH MULTIPLE WALL FINISHES CALLED OUT REFER TO INTERIOR ELEVATIONS. FOR ROOMS WITH MULTIPLE FLOORING FINISHES CALLED OUT REFER TO FINISH DETAIL PLANS.
- FOR INTERIOR PAINT FINISHES:
 - ALL GYPSUM BOARD CEILINGS TO BE PAINTED TO BE FLAT FINISH
 - ALL PAINTED METAL TO BE SEMI-GLOSS FINISH, UNLESS EPOXY FINISH IS NOTED.
 - ALL INTERIOR WALLS TO BE EGGSHELL FINISH, UNLESS EPOXY FINISH IS NOTED.
- ALL EXPOSED COLUMNS THAT ARE NOT INCORPORATED IN A WALL ARE TO BE PAINTED PT.1, UNLESS OTHERWISE NOTED. EXPOSED STRUCTURE THAT IS INCORPORATED IN A WALL IS TO BE PAINTED TO MATCH ADJACENT WALL.
- FLOOR FINISHES TO EXTEND UNDER CASEWORK.
- ALL DOOR FRAME FINISHES ARE EXISTING TO REMAIN. COORDINATE EXISTING FRAME PAINT COLOR / FINISH WITH OWNER TO TOUCH UP ANY DAMAGE DONE DURING CONSTRUCTION. EXISTING CONDITIONS ARE TO BE EXAMINED IN THE FIELD TO DETERMINE IF RE-PAINING IS REQUIRED AS A PART OF CONSTRUCTION.
- ALL EXISTING WALL MOUNTED TECHNOLOGY AND EQUIPMENT IS TO BE REMOVED PRIOR TO PAINTING AND RE-INSTALLED AFTER PAINTING IS COMPLETE.
- ALL FINISHES IN "OUT OF SCOPE" REGION ARE EXISTING TO REMAIN.

KEYNOTES - FINISHES

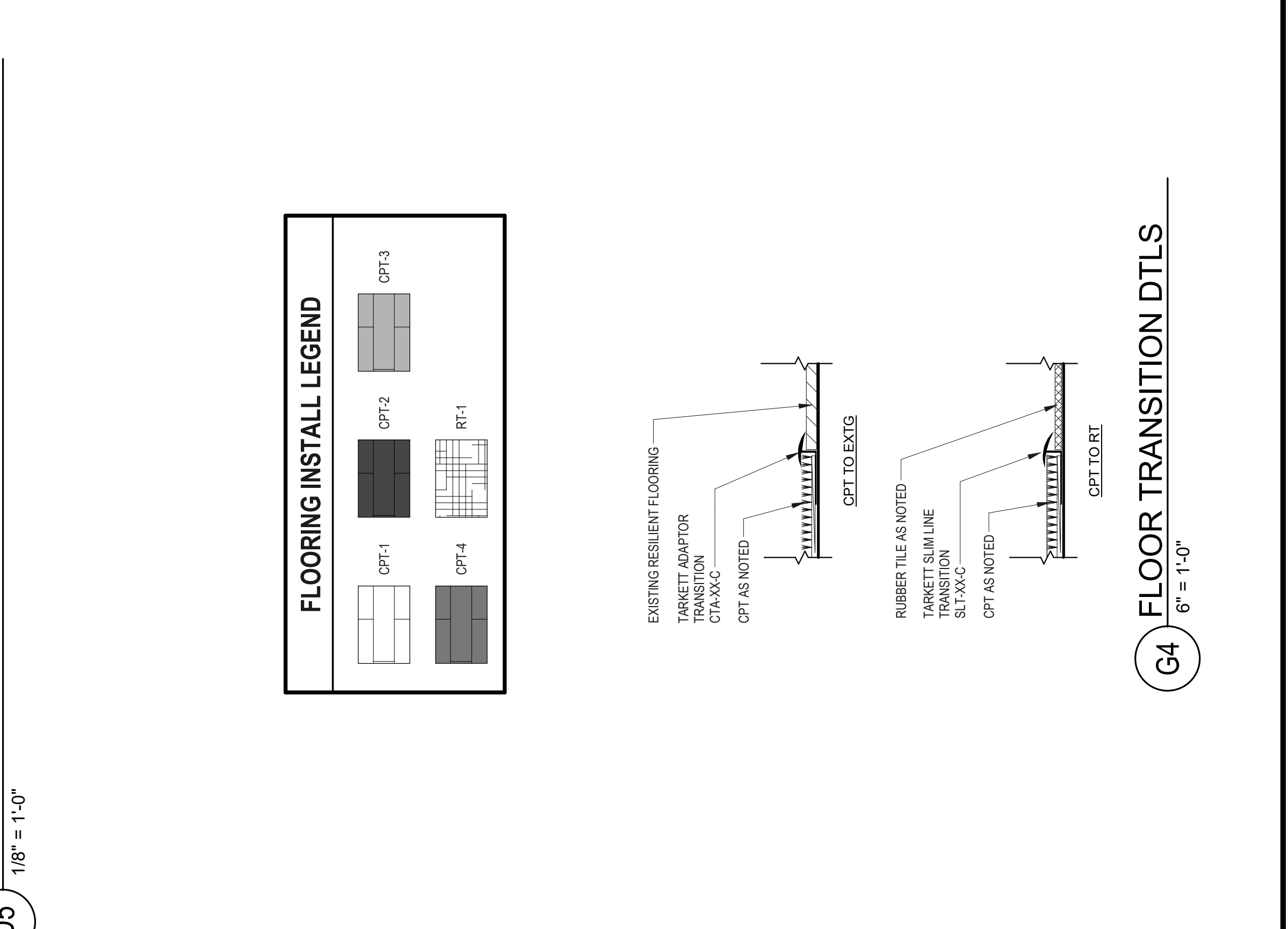
- TRANSITION FROM RUBBER TILE TO CARPET TO OCCUR AT CENTERLINE OF COLUMN.
- INTERIOR OF RAMP TO RECEIVE NEW WALL FINISHES. AS NOTED. CL RESTORY FRAMES TO RECEIVE NEW PAINT PER FINISH TAG. FINISHES OUTSIDE OF SCOPE TO REMAIN AS EXISTING.
- EXTENT OF CUSTOM GRAPHIC WINDOW FILM TO BE VERIFIED IN FIELD PRIOR TO PURCHASE AND INSTALLATION. DESIGN INTENT OF CUSTOM GRAPHIC WINDOW FILMS IS TO PROVIDE VISUAL PRIVACY AND LIGHT CONTROL. PHOTOGRAPHS SHOWN TO BE EXAMINED IN THE FIELD TO ENSURE ALL LOCATIONS ARE NECESSARY.

MATERIALS LIST

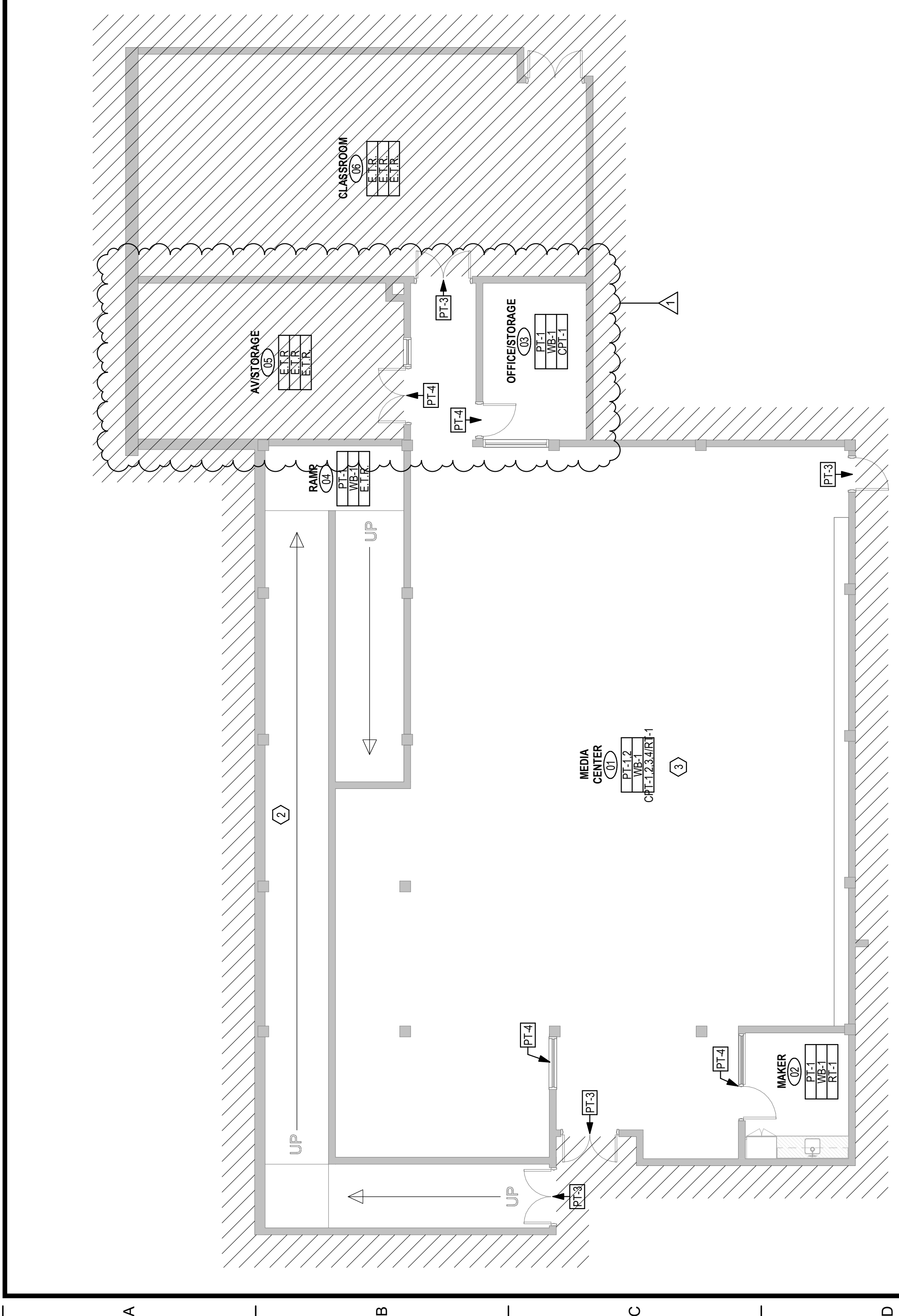
CARPET	PAINT	RUBBER TILE	MILLWORK	WALL BASE
CPT-1 ITEM: CARPET TILE MFR: FORBIO COLLECTION: FLOTEA COLOUR PRODUCT: METRO PLANK COLOR: GREY P966006 SIZE: 9'48" x 39.37" INSTALL: ASHLAR LOCATION: AS NOTED	PT-1 MFR: BENJAMIN MOORE PRODUCT: ULTRA SPEC SCUFF-X COLOR: EGGSHELL #485 LOCATION: ALL WALLS AND WINDOW FRAMES, U.O.N. PT-2 MFR: BENJAMIN MOORE PRODUCT: ULTRA SPEC SCUFF-X COLOR: EGG SHELL #485 LOCATION: UPPER WALLS, AS NOTED PT-3 MFR: BENJAMIN MOORE PRODUCT: ADVANCE M.B. INTERIOR COLOR: ALKOY SEMI-GLOSS FINISH LOCATION: COORDINATE IN FIELD. PT-4 MFR: BENJAMIN MOORE PRODUCT: ADVANCE M.B. INTERIOR COLOR: ALKOY SEMI-GLOSS FINISH LOCATION: ALL EXISTING DOORS AND FRAMES AROUND PERIMETER TO BE PT.3, AS NOTED.	RT-1 ITEM: RUBBER TILE MFR: NORA COLLECTION: ENVIROCARB PRODUCT: BIKE RIDE 7040 COLOR: 24" x 24" THICKNESS: 2MM INSTALL: RANDOM LOCATION: HALLWAY SPACE	PL-1 ITEM: PLASTIC LAMINATE MFR: WILSONART COLLECTION: KENSINGTON MAPLE PRODUCT: 10776-60 COLOR: 10776-60 LOCATION: ALL VERTICAL MILLWORK	WB-1 ITEM: RUBBER WALL BASE MFR: TARKETT PRODUCT: TARKETT WALL CURB/COVER COLOR: RUBBER (TYPE TP) SIZE: 6TH COVE, 120 ROLL THROUGHOUT, U.O.N.



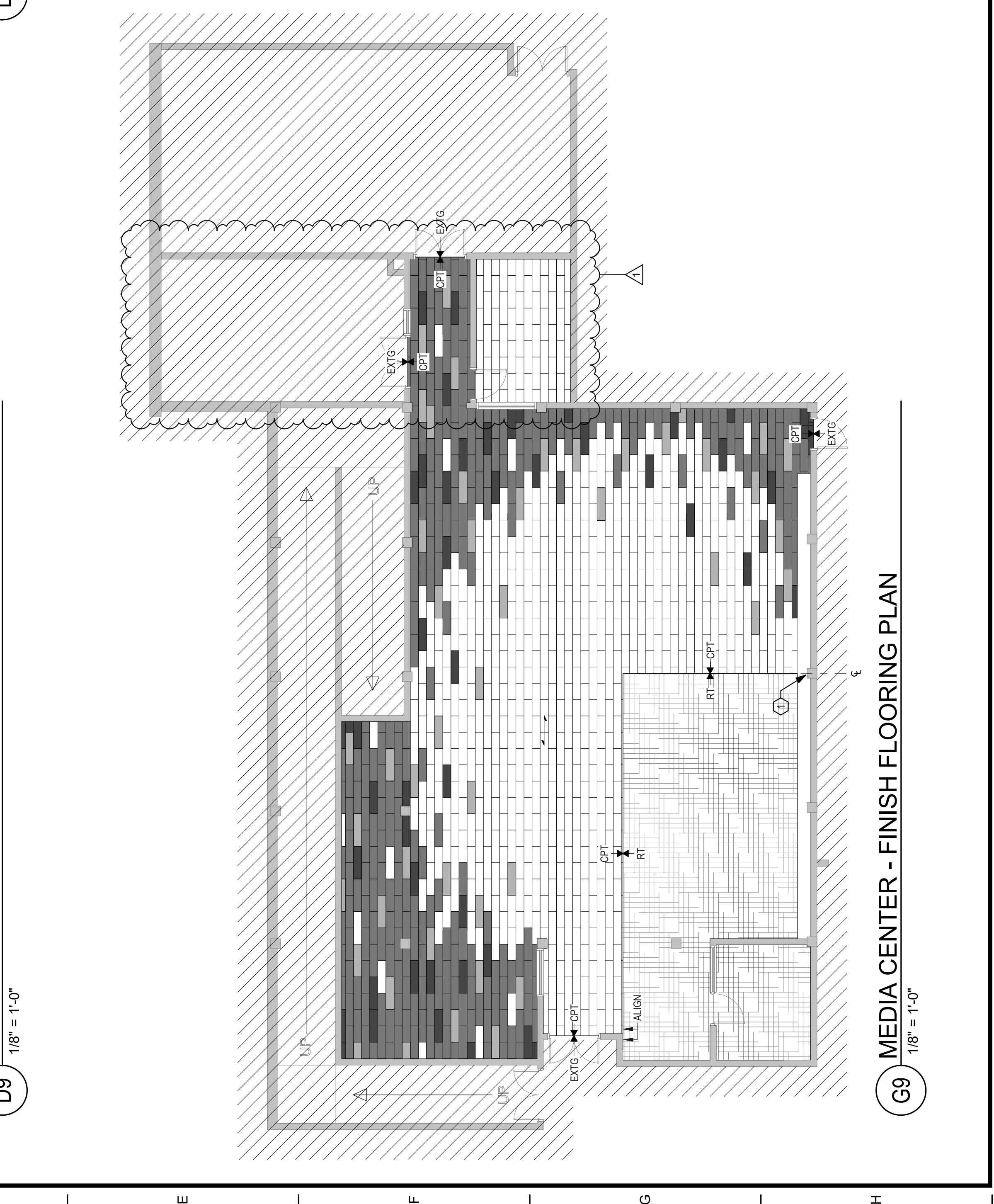
D5 MEDIA CENTER - UPPER LEVEL FINISH PLAN
1/8" = 1'-0"



G4 FLOOR TRANSITION DTLS
6" = 1'-0"



D9 MEDIA CENTER - LOWER LEVEL FINISH PLAN
1/8" = 1'-0"



G9 MEDIA CENTER - FINISH FLOORING PLAN
1/8" = 1'-0"

EXISTING LIBRARY AT YOUNG WOODS ELEMENTARY SCHOOL



EXISTING LIBRARY AT YOUNG WOODS ELEMENTARY SCHOOL



EXISTING LIBRARY AT YOUNG WOODS ELEMENTARY SCHOOL

