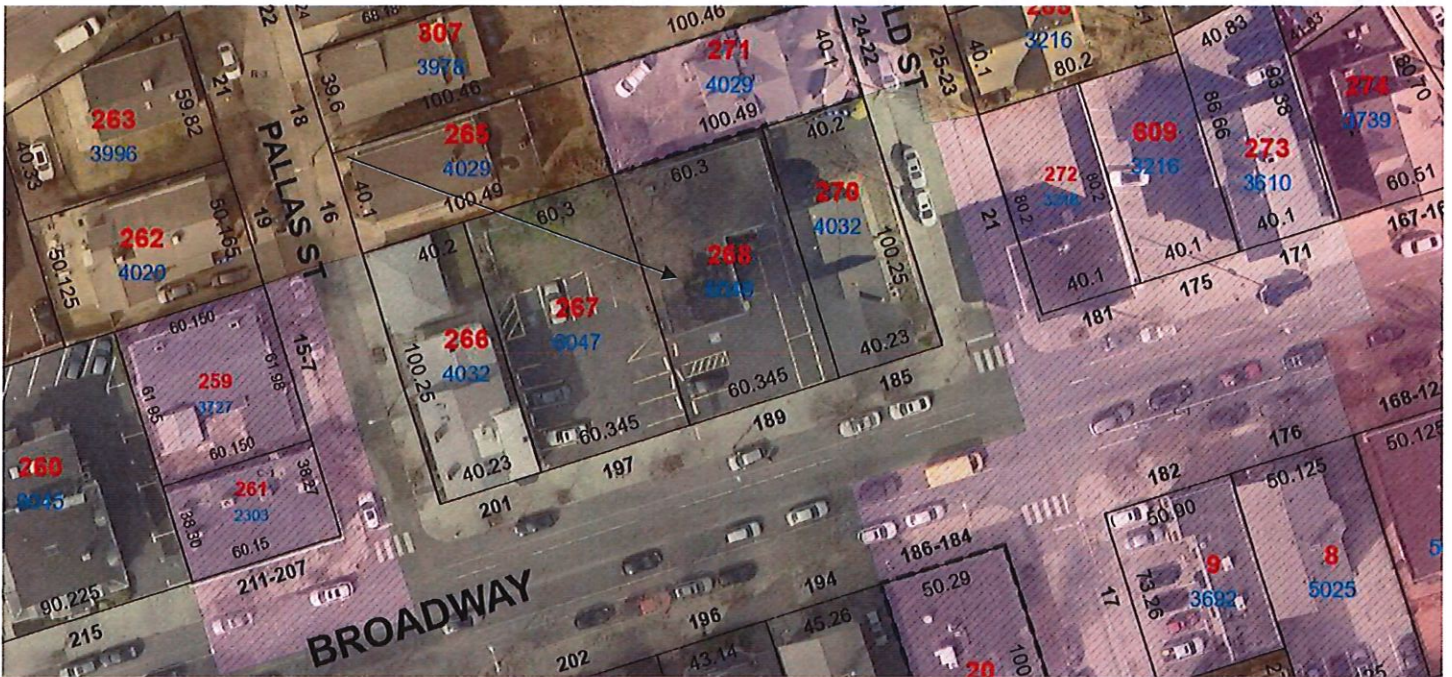
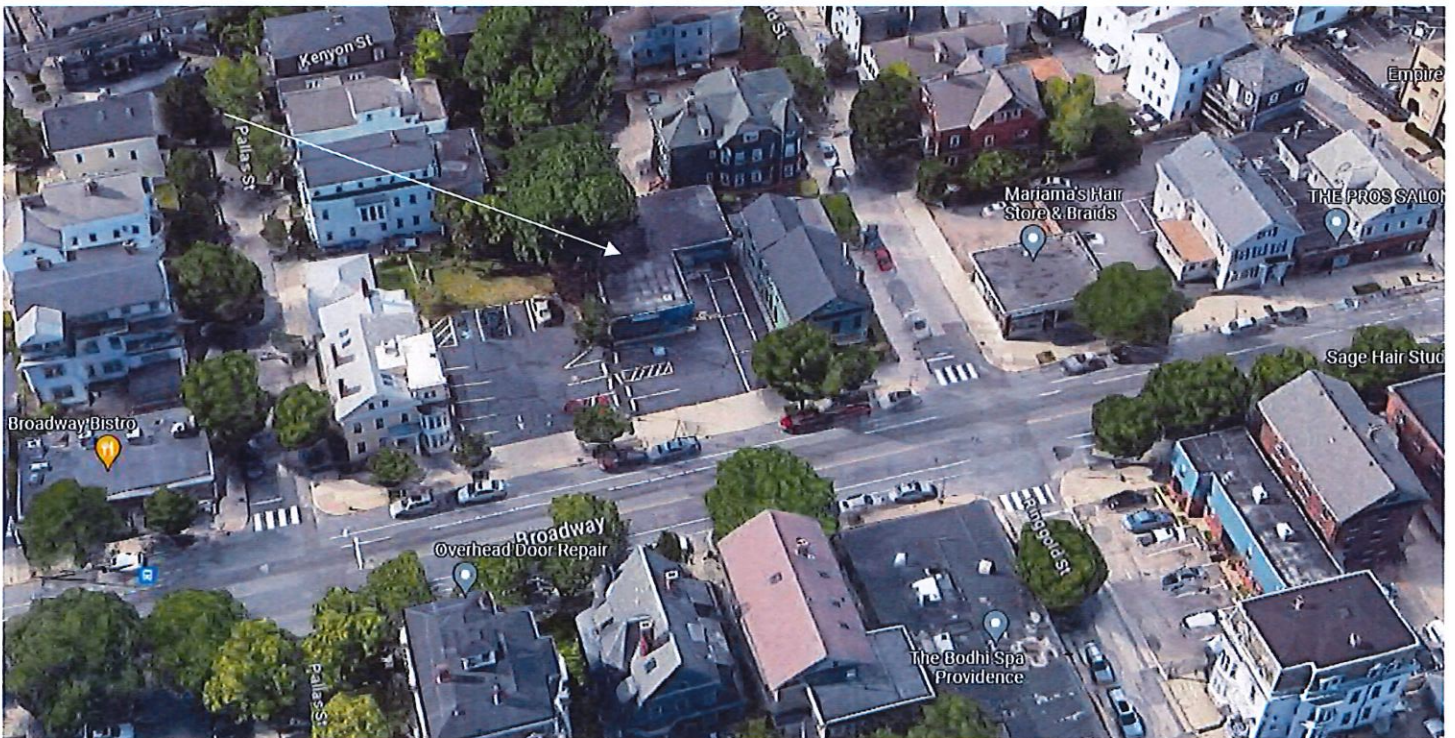


4. CASE 23.073, 189 BROADWAY, Commercial Building, 1950s (BROADWAY)
One-story; flat; concrete block commercial building; with storefront windows and entry.
NON-CONTRIBUTING to Broadway/Armory NRHD



Arrow indicates 189 Broadway.



Arrow indicates project location, looking north.

Applicant/Architect: CBH Architect LLC, Charlotte Breed Handy, 165 Williams Street, Providence, RI 02906

Owner: Broadway Buildings LLC, 118 Manton Ave, Box 10, Providence, RI 02909

Proposal: The scope of work proposed consists of Major Alterations and includes:

- the construction of a second-floor addition with solar panels on flat roof and changes to fenestration & doors with construction of an ADA-accessible ramp.

Issues: The following issues are relevant to this application:

- The plans as submitted are zoning compliant; and,
- Plans, renderings and photos have been submitted.

Recommendations: The staff recommends the PHDC make the following findings of fact:

- a) 189 Broadway is a secondary structure of minimal historical and architectural significance that minimally contributes to the significance of the Broadway local historic district, having been recognized as a non-contributing structure to the Broadway/Armory National Register Historic District;
- b) The application for Major Alterations is considered complete; and,
- c) The work as proposed is in accord with PHDC Standard 8 as follows: as the proposed alterations are appropriate having determined that the proposed alterations are architecturally and historically compatible with the property and district having an appropriate size, scale and form that will not have an adverse effect on the property or district as the property is considered secondary and non-contributing.

Staff recommends a motion be made stating that: The application is considered complete. 189 Broadway is a secondary structure of minimal historical and architectural significance that minimally contributes to the significance of the Broadway local historic district, having been recognized as a non-contributing structure to the Broadway/Armory National Register Historic District. The Commission grants Final Approval of the proposal as submitted having determined that the proposed alterations are appropriate as the proposed alterations are architecturally and historically compatible with the property and district having an appropriate size, scale and form that will not have an adverse effect on the property or district, as the property is considered secondary and non-contributing, citing and agreeing to the recommendations in the staff report, with staff to review any additional required details.

Providence Historic District Commission

Review Application

189 Broadway

Providence RI 02903

Plat 028, Lot 268

Exhibit 1

Part II-Description of Work

Purpose-

Add a second floor and exterior terrace to an existing "L" Shaped concrete block masonry building.

General Scope of Work-New second story to be added to an existing single-story concrete block masonry building. First story concrete block masonry to remain, but painted, at lower level. Stucco on upper level to match color of newly painted masonry on lower level. Exterior terrace at rear North-West corner of second story.

Building Roof-Membrane roofing. Color to be determined. Roof to extend 16" beyond face of wall below on West, South and East facades.

Note: Elevator Mechanical Override to Extrude above roof .

Note: Solar panels to be incorporated onto the roof; set back from edge limiting view of them from the street.

Note: Skylights to be incorporated onto the roof, not visible from street.

Building South Elevation- The South Elevation has two facades set back different depths from the property line.

The façade closer to the street has the main entrance, which will have a new inset storefront entry door with a sidelight. To the left of the entry, there will be a full height window with divided lights. The existing planter area is to remain, with repairs as necessary. A new metal and glass porch roof will extend over the platform in front of the entrance. There will be a cabinet for announcements to the left of the entry, affixed to the building. An analog clock will be mounted on the corner of the building.

On the Upper level, stucco matching painted concrete masonry below in color. (3) French Door style windows, with a metal balustrade .

The Façade that is set further into the site the façade is comprised of the following: Lower level is to be painted existing concrete block masonry. (1)new Access door with a fixed divided light window to replace existing; (1) Casement window to replace existing. Upper level to be stucco matching painted concrete masonry below in color. (3) French Door style windows, with a metal balustrade. There will be a porch roof cantilevered over the side entry, which will be a solid roof, similar to the one existing.

On the Upper level, stucco matching painted concrete masonry below in color. (3) French Door style windows, with a metal balustrade .

Building East Elevation-Similar to the Southern façade, the Eastern side of the Building has two facades; one that is set near the property line and neighboring building and one that is back from the property line.

For the elevation Nearest the Neighboring structure; Lower level to be painted concrete masonry. Upper level to be stucco matching painted concrete masonry. No windows to be added to this facade.

For the Elevation Set further from the Property line; Lower level to be painted concrete masonry. Upper level to be stucco matching painted concrete masonry. (2) French Door style windows, with a metal balustrade .

Building North Elevation-Lower level to be painted concrete masonry. Upper level to be stucco matching painted concrete masonry. Outdoor Roof Terrace on western side of the façade with solid 42" high stucco walls and a lattice partition at North side of Terrace ; with a pergola system and bi-folding glass doors opening onto the Terrace.

Building West Elevation-Lower level to be painted existing concrete masonry, (1) access door, existing to remain. (1) fixed window with divided lights to replace existing.

Upper level to be stucco matching painted concrete masonry. Outdoor Roof Terrace to be created on the Northern side of the facade; with a pergola system and (2)bifolding glass doors, one with an operable swing door, on facade opening to terrace. No new openings on upper level at façade closer to the lot line.



Southern Elevation - Facing the Street



Main Entry Door (For Replacement)



Existing sign near Street



Front Window (For Replacement)



Front Door (For Replacement)



Adjacent Building - Facing Eastern Elevation



Adjacent Building - Facing Northern Elevation



Adjacent Building - Facing Western Elevation



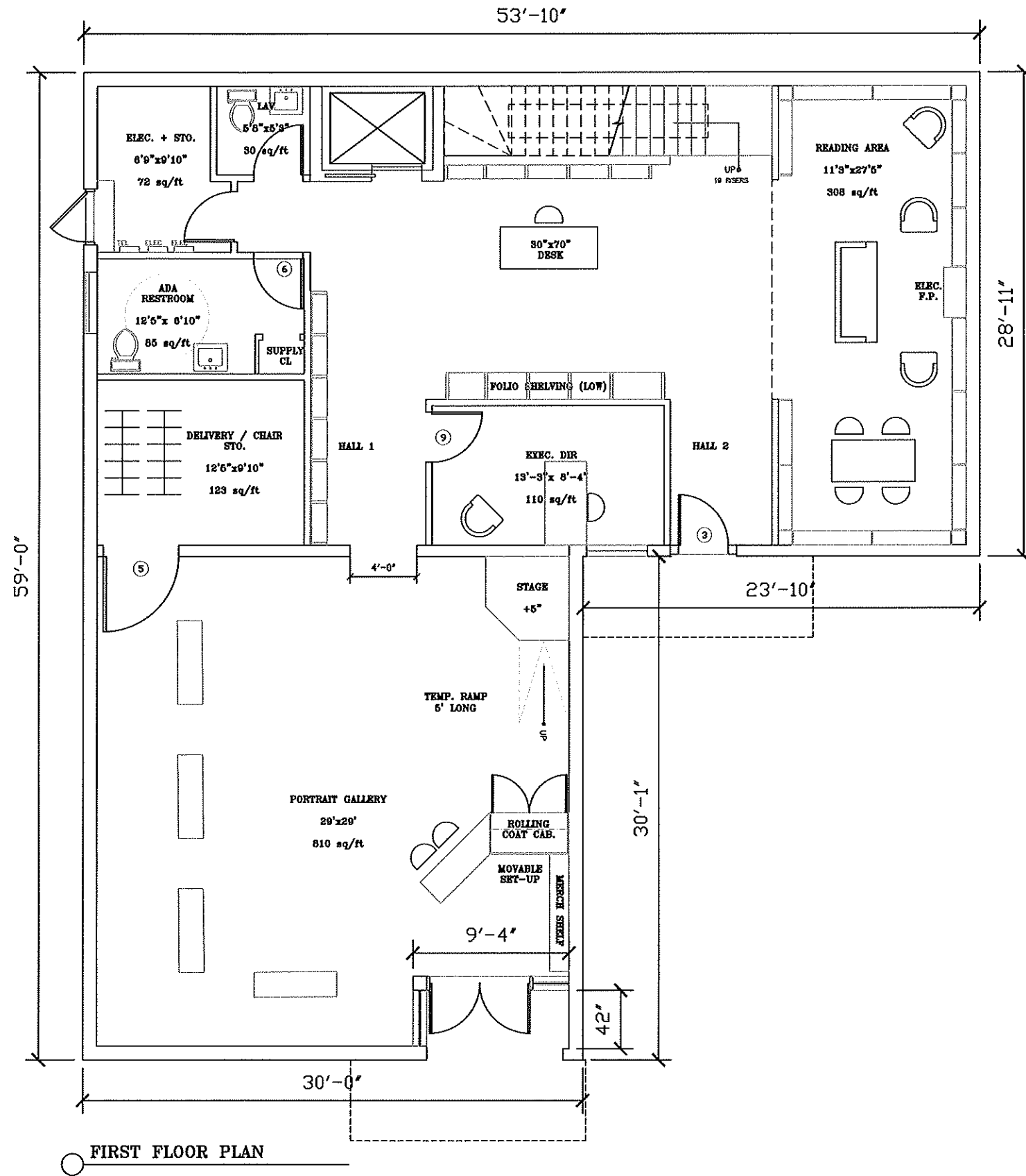
Existing Buildings on the opposite side of the street



Western Elevation Window (For Replacement)



Western Elevation Door (For Replacement)



FIRST FLOOR PLAN

Gross Area

1st Floor: 2457 sq/ft

Front Entry 35 sq/ft

10'-6" CLG

REV.

DATE 6/6/23

SCALE 1/8"=1'-0"

DRW CBH/MK/JH

CK

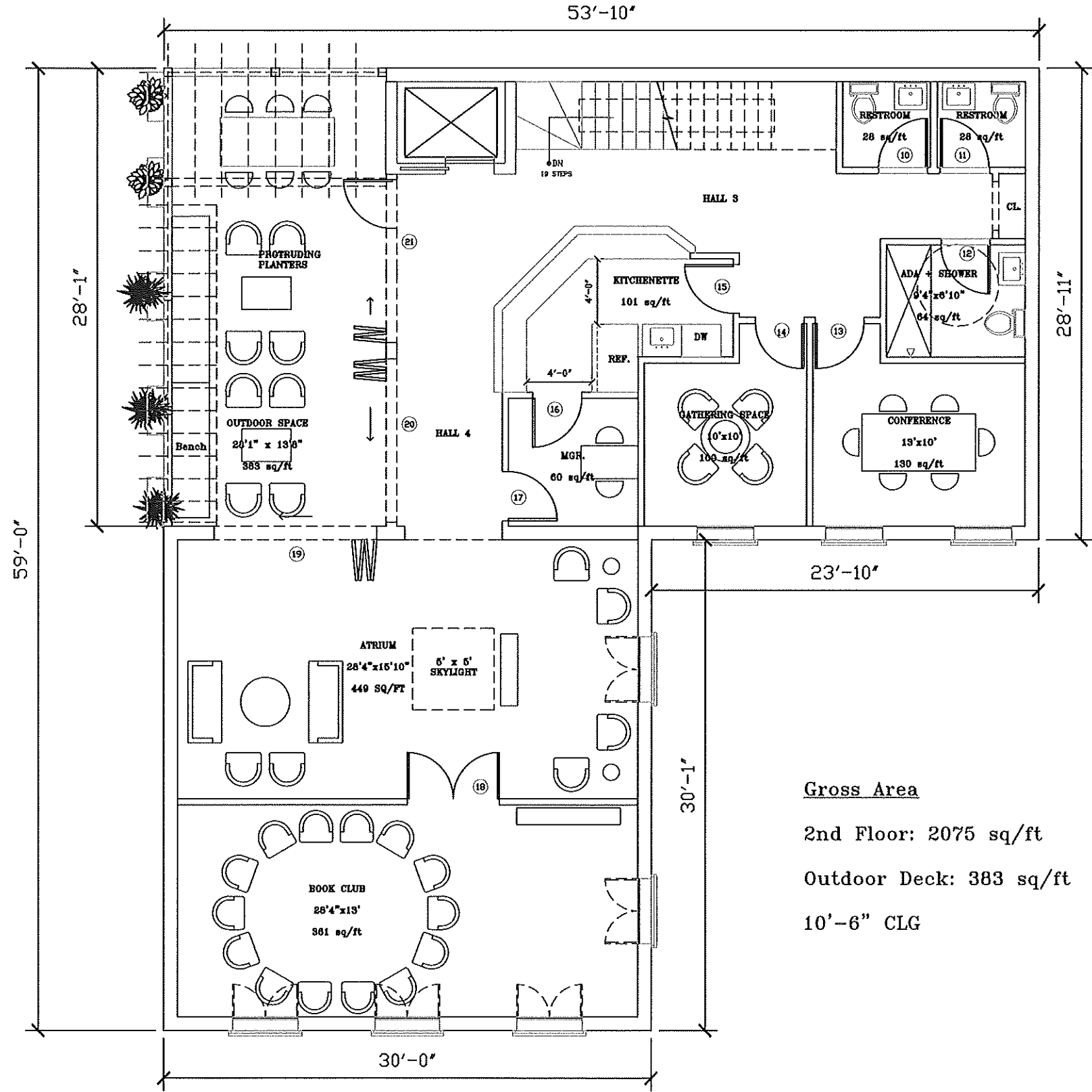
PROPOSED FIRST FLOOR PLAN

BROADWAY BUILDING LLC
189 BROADWAY
PROVIDENCE, RI 02903

For: HISTORIC DISTRICT COMMISSION

CBH Architect LLC
165 Williams Street
Providence, RI 02906
401 368 9963

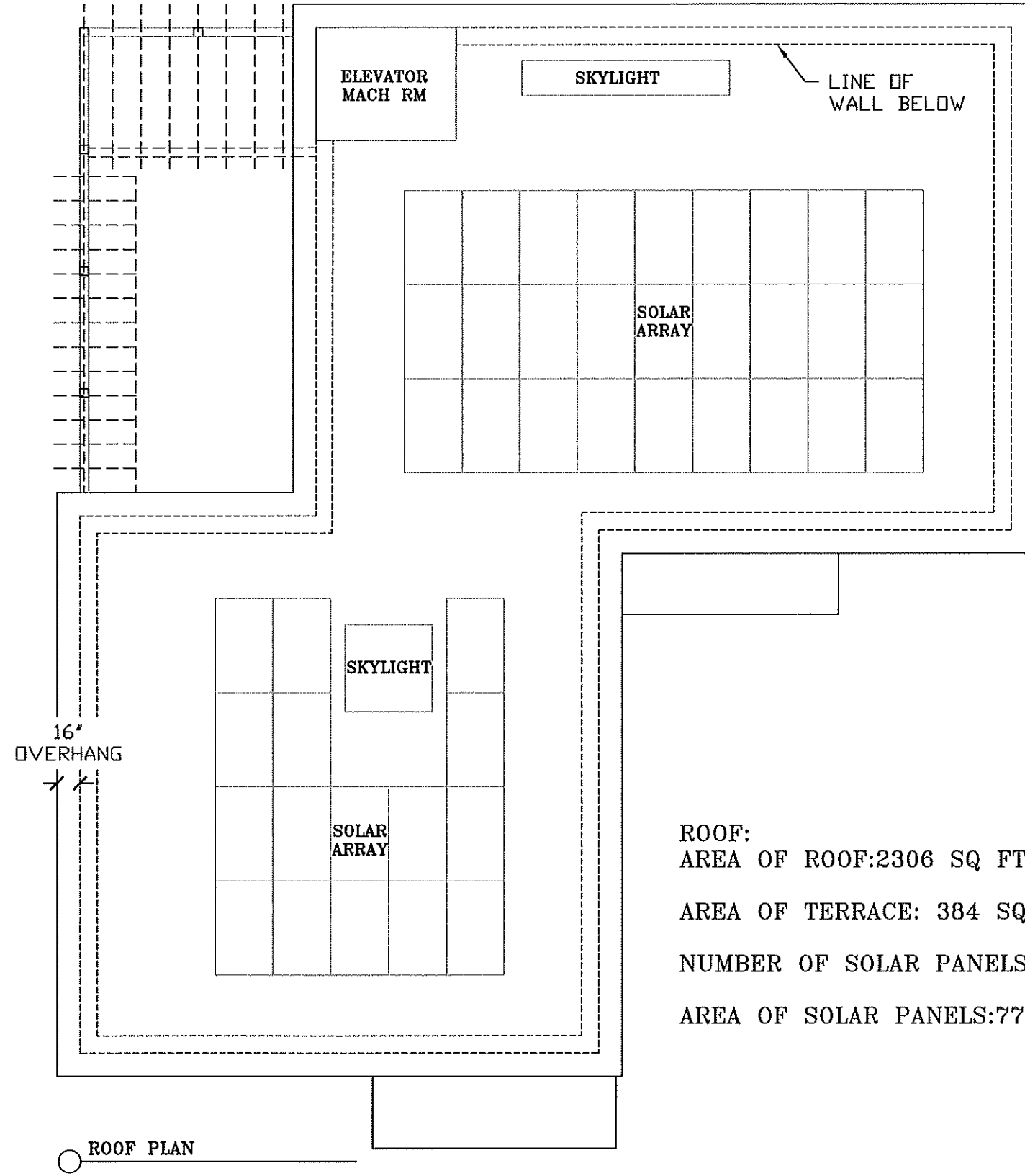
EXHIBIT
3A



○ SECOND FLOOR PLAN

Gross Area
 2nd Floor: 2075 sq/ft
 Outdoor Deck: 383 sq/ft
 10'-6" CLG

CBH Architect LLC 165 Williams Street Providence, RI 02906 401 368 9963	BROADWAY BUILDING LLC 189 BROADWAY PROVIDENCE, RI 02903 For: HISTORIC DISTRICT COMMISSION	REV.	
		DATE 6/6/23	EXHIBIT 3B
PROPOSED SECOND FLOOR PLAN		SCALE 1/8" = 1'-0"	DRW CBH/MK/JH
		CK	



ROOF:
 AREA OF ROOF: 2306 SQ FT
 AREA OF TERRACE: 384 SQ FT
 NUMBER OF SOLAR PANELS: 43
 AREA OF SOLAR PANELS: 775 SQ FT

REV.

DATE	6/6/23
SCALE	1/8" = 1'-0"
DRW	CBH/MK/JH
CK	CK

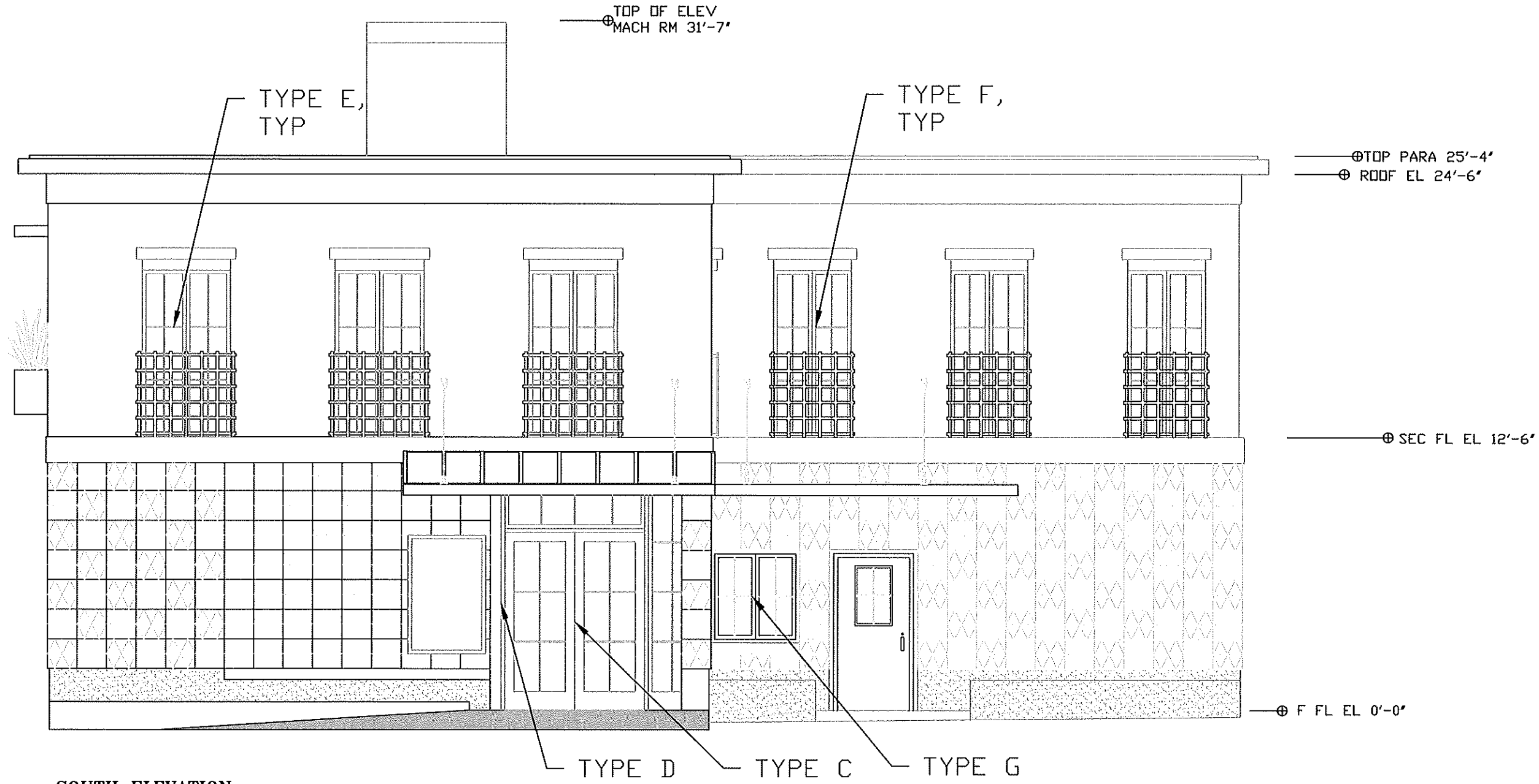
PROPOSED ROOF
 PLAN

BROADWAY BUILDING LLC
 189 BROADWAY
 PROVIDENCE, RI 02903

For: HISTORIC DISTRICT COMMISSION

CBH Architect LLC
 165 Williams Street
 Providence, RI 02906
 401 368 9963

EXHIBIT
 3C



○ SOUTH ELEVATION
FACING STREET

REV.

DATE 6/6/23

SCALE 3/16"=1'-0"

DRW CBH/MK/JH

CK

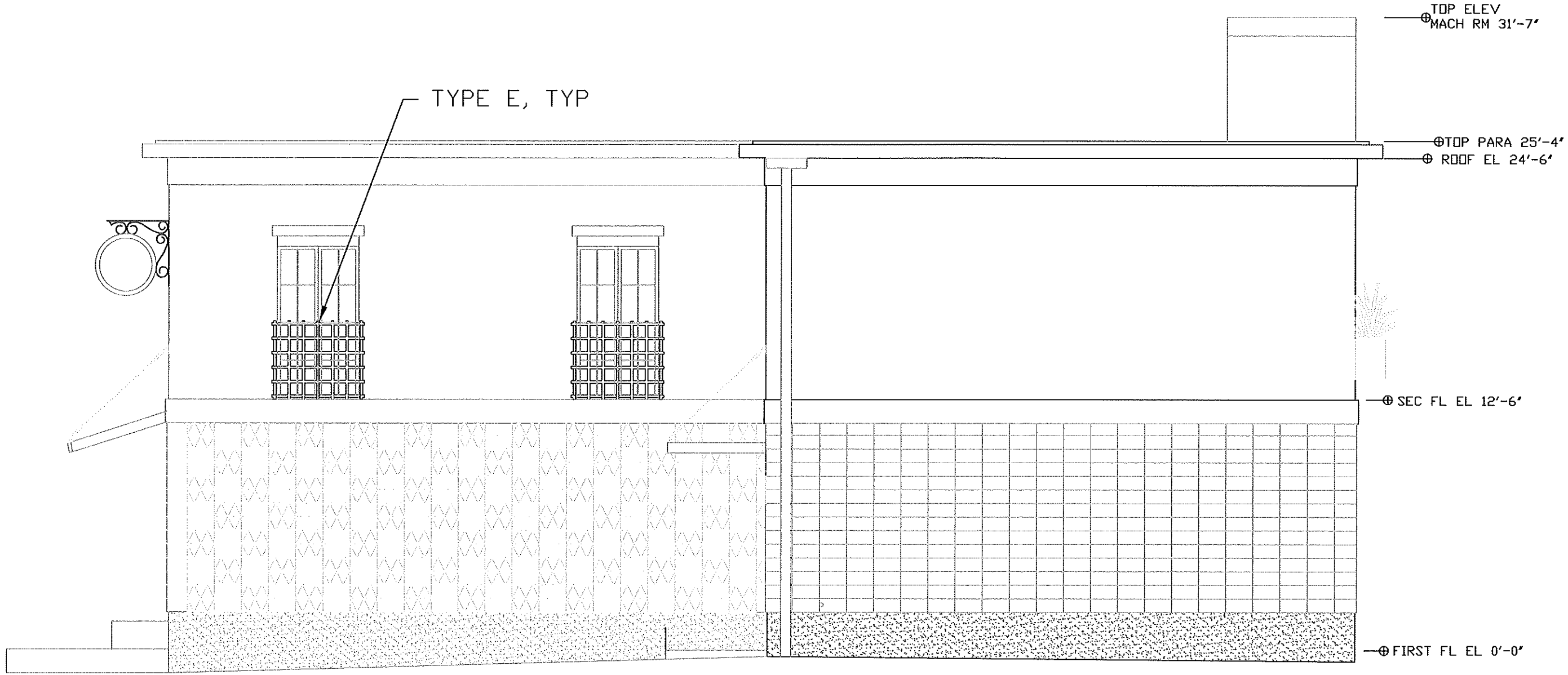
SOUTH ELEVATION

BROADWAY BUILDING LLC
189 BROADWAY
PROVIDENCE, RI 02903

For: HISTORIC DISTRICT COMMISSION

CBH Architect LLC
165 Williams Street
Providence, RI 02906
401 368 9963

EXHIBIT
3D



○ EAST ELEVATION
 FACING ADJACENT BUILDING

REV.

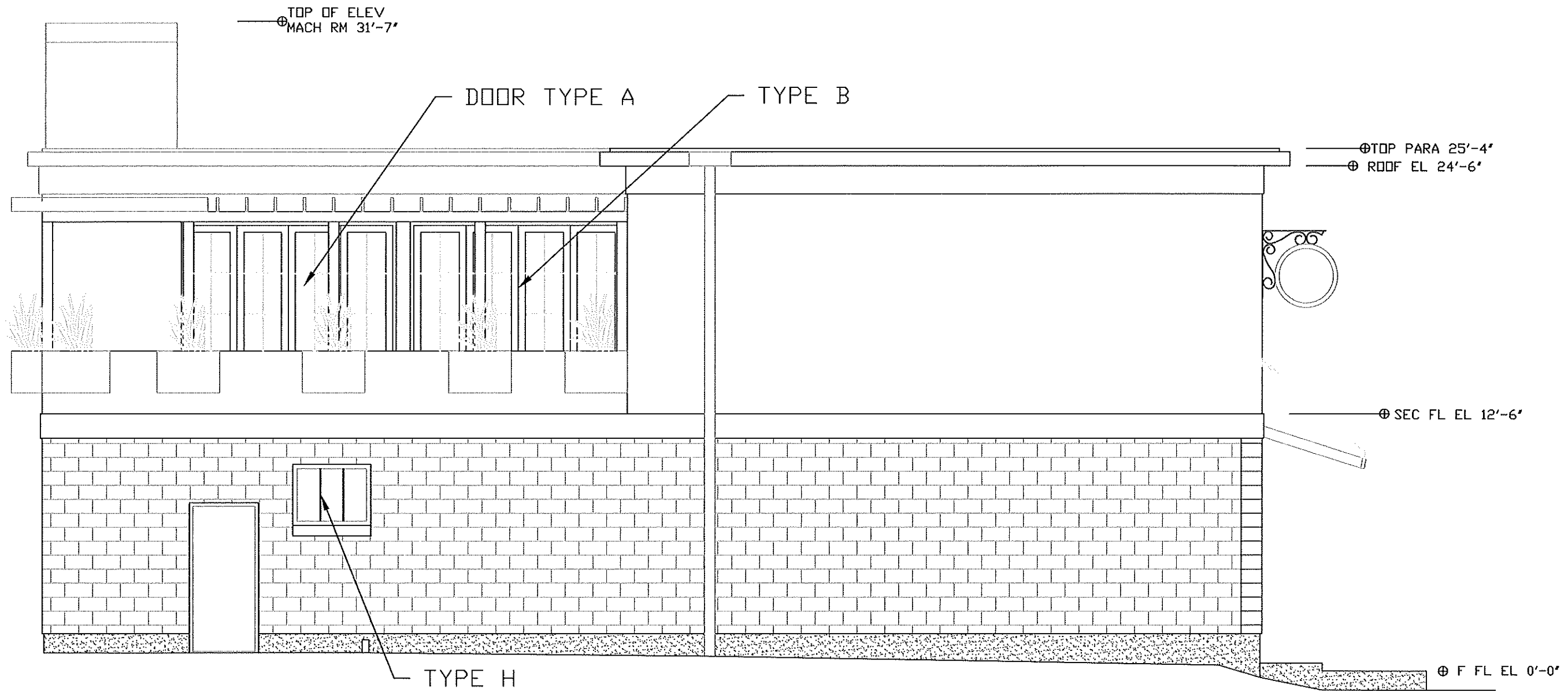
DATE	6/6/23
SCALE	3/16"=1'-0"
DRW	CBH/MK/JH
CK	

EAST ELEVATION

BROADWAY BUILDING LLC
 189 BROADWAY
 PROVIDENCE, RI 02903
 For: HISTORIC DISTRICT COMMISSION

CBH Architect LLC
 165 Williams Street
 Providence, RI 02906
 401 368 9963

EXHIBIT
 3E



○ WEST ELEVATION
 FACING ADJACENT LOT/YARD

REV.

DATE 6/6/23

SCALE 3/16"=1'-0"

DRW CBH/MK/JH

CK

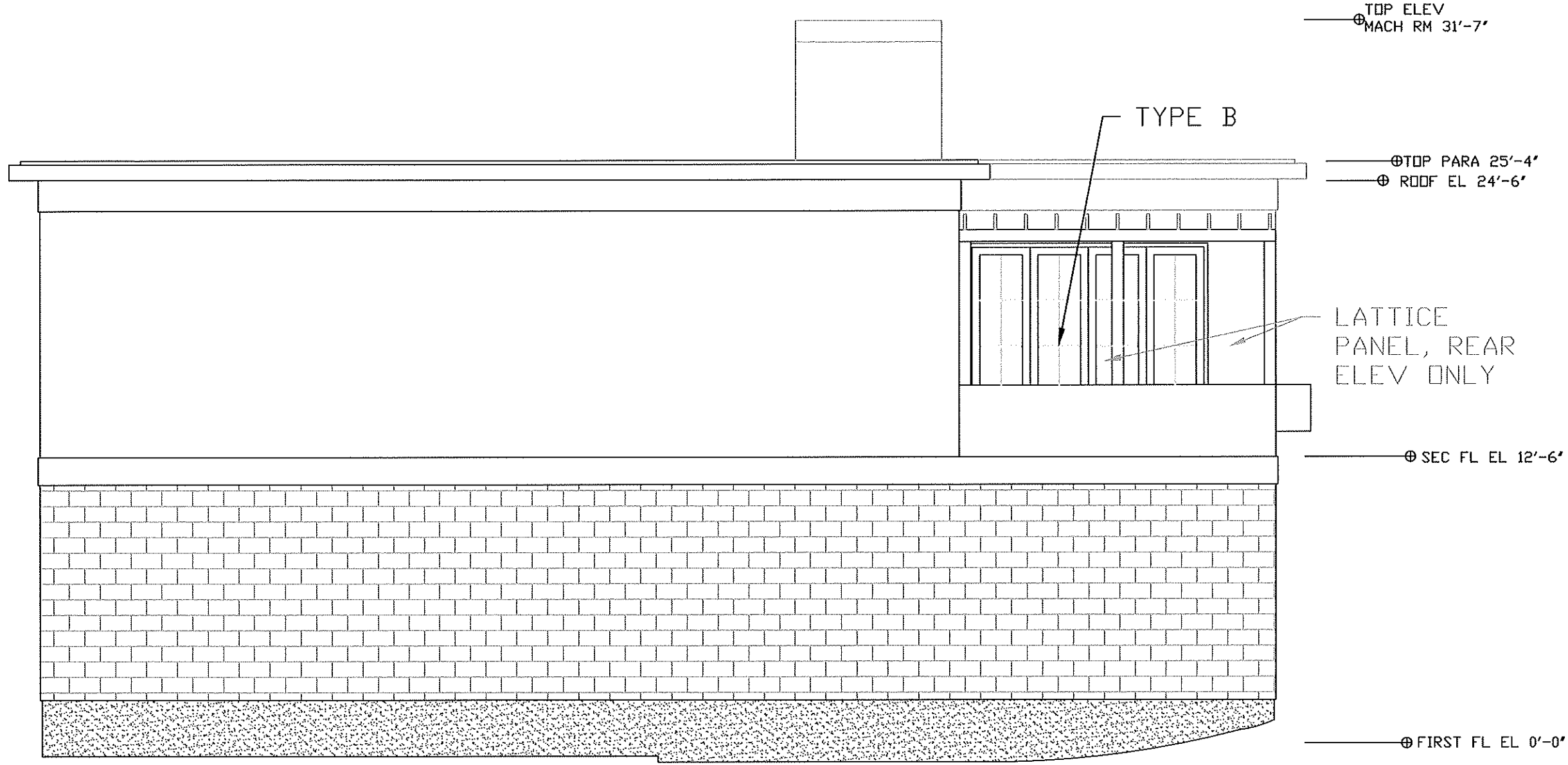
WEST ELEVATION

BROADWAY BUILDING LLC
 189 BROADWAY
 PROVIDENCE, RI 02903

For: HISTORIC DISTRICT COMMISSION

CBH Architect LLC
 165 Williams Street
 Providence, RI 02906
 401 368 9963

EXHIBIT
 3F



○ NORTH ELEVATION
REAR OF SITE

REV.

DATE 6/6/23

SCALE 3/16" = 1'-0"

DRW CBH/MK/JH

CK

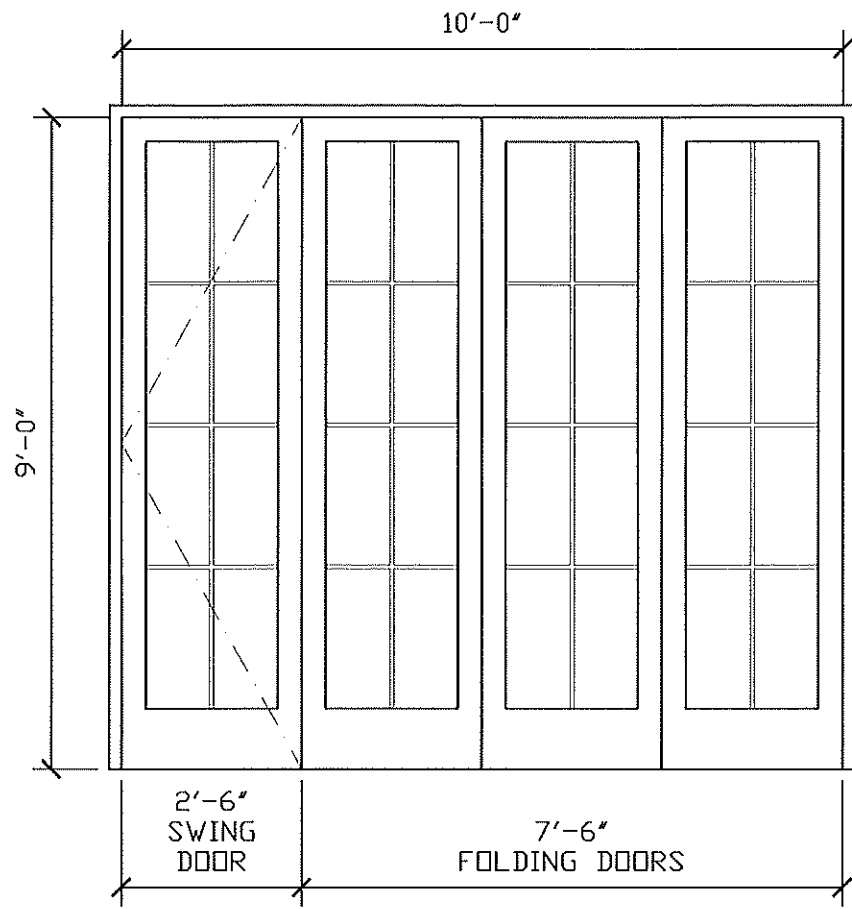
NORTH ELEVATION

BROADWAY BUILDING LLC
189 BROADWAY
PROVIDENCE, RI 02903

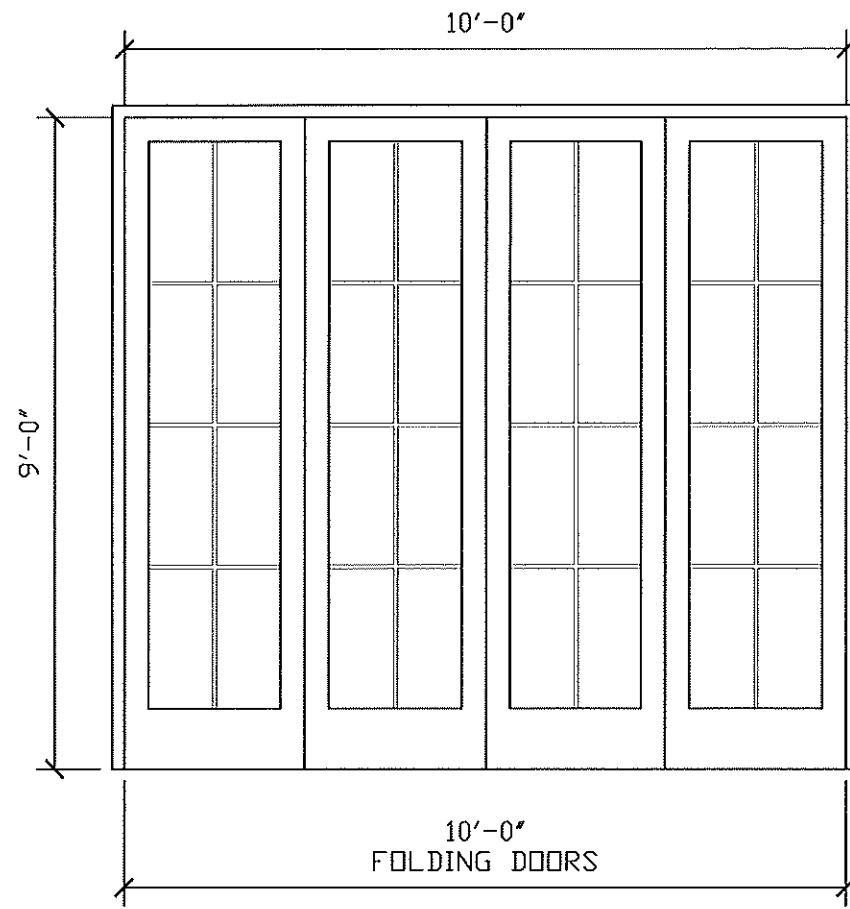
For: HISTORIC DISTRICT COMMISSION

CBH Architect LLC
165 Williams Street
Providence, RI 02906
401 368 9963

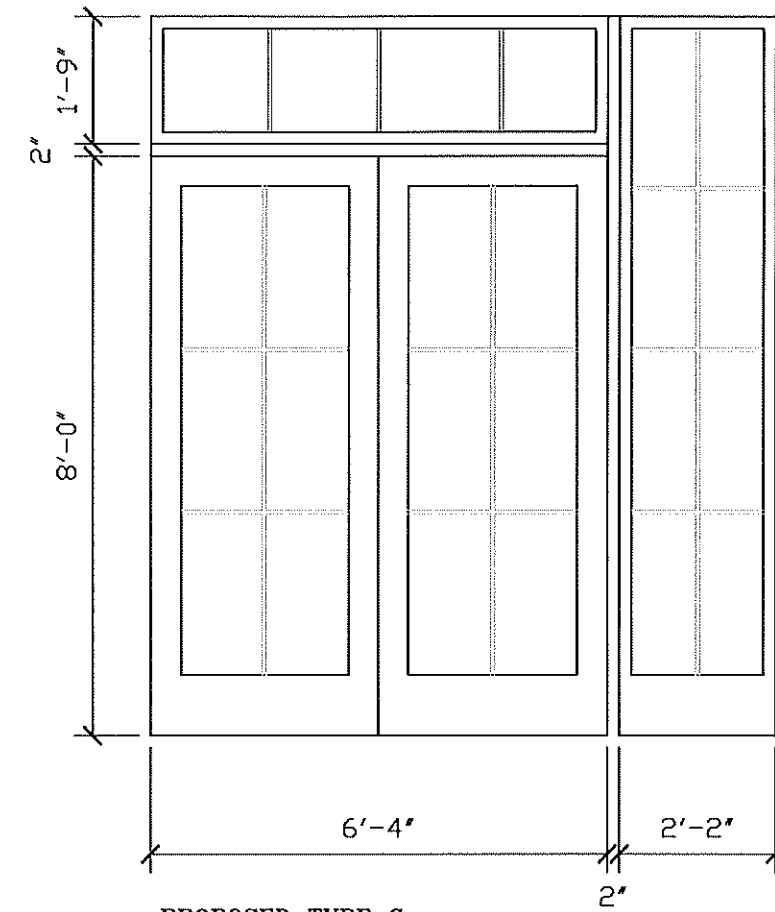
EXHIBIT
3G



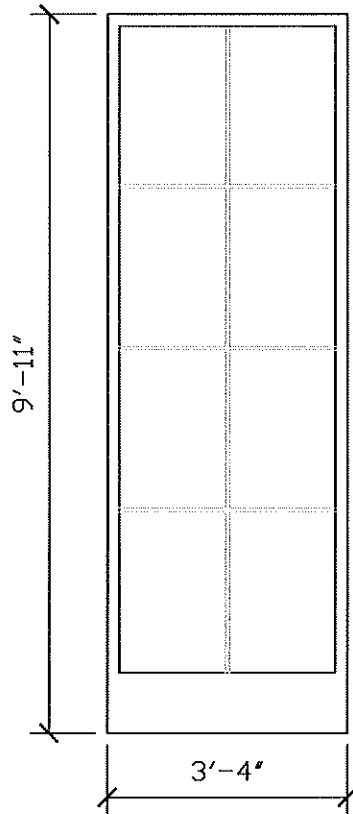
○ PROPOSED TYPE A
FOLDING DOOR; TOP HUNG



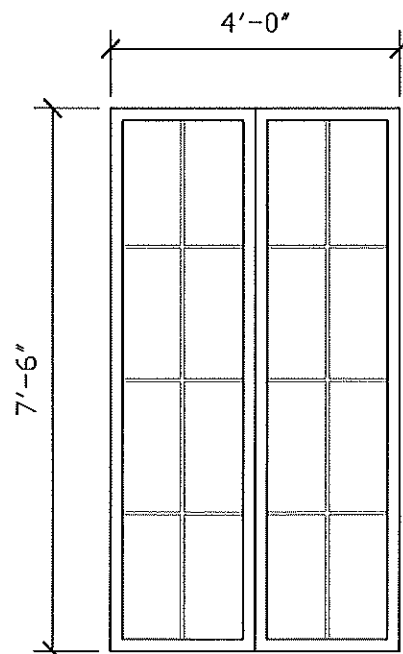
○ PROPOSED TYPE B
FOLDING DOOR; TOP HUNG



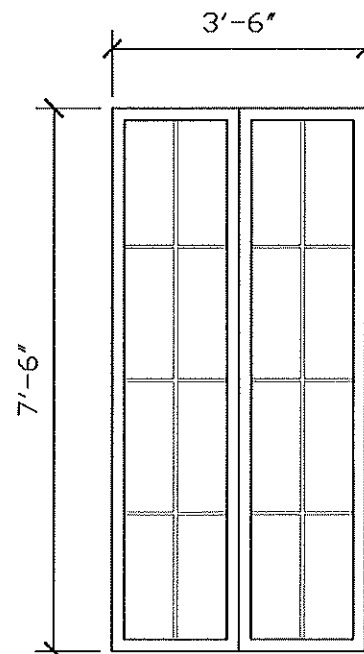
○ PROPOSED TYPE C
FRENCH DOOR W/ SIDELIGHT
& TRANSOM



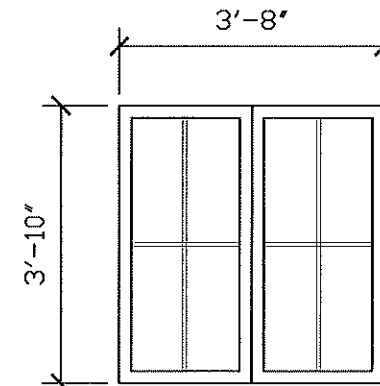
○ PROPOSED TYPE D
SIDELIGHT



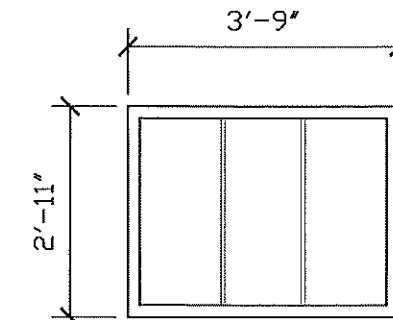
○ PROPOSED TYPE E
FRENCH DOOR



○ PROPOSED TYPE F
FRENCH DOOR



○ PROPOSED TYPE G
CASEMENT WINDOW



○ PROPOSED TYPE H
FIXED WINDOW

REV.

DATE 6/6/23

SCALE 3/8"=1'-0"

DRW CBH/MK/JH

CK

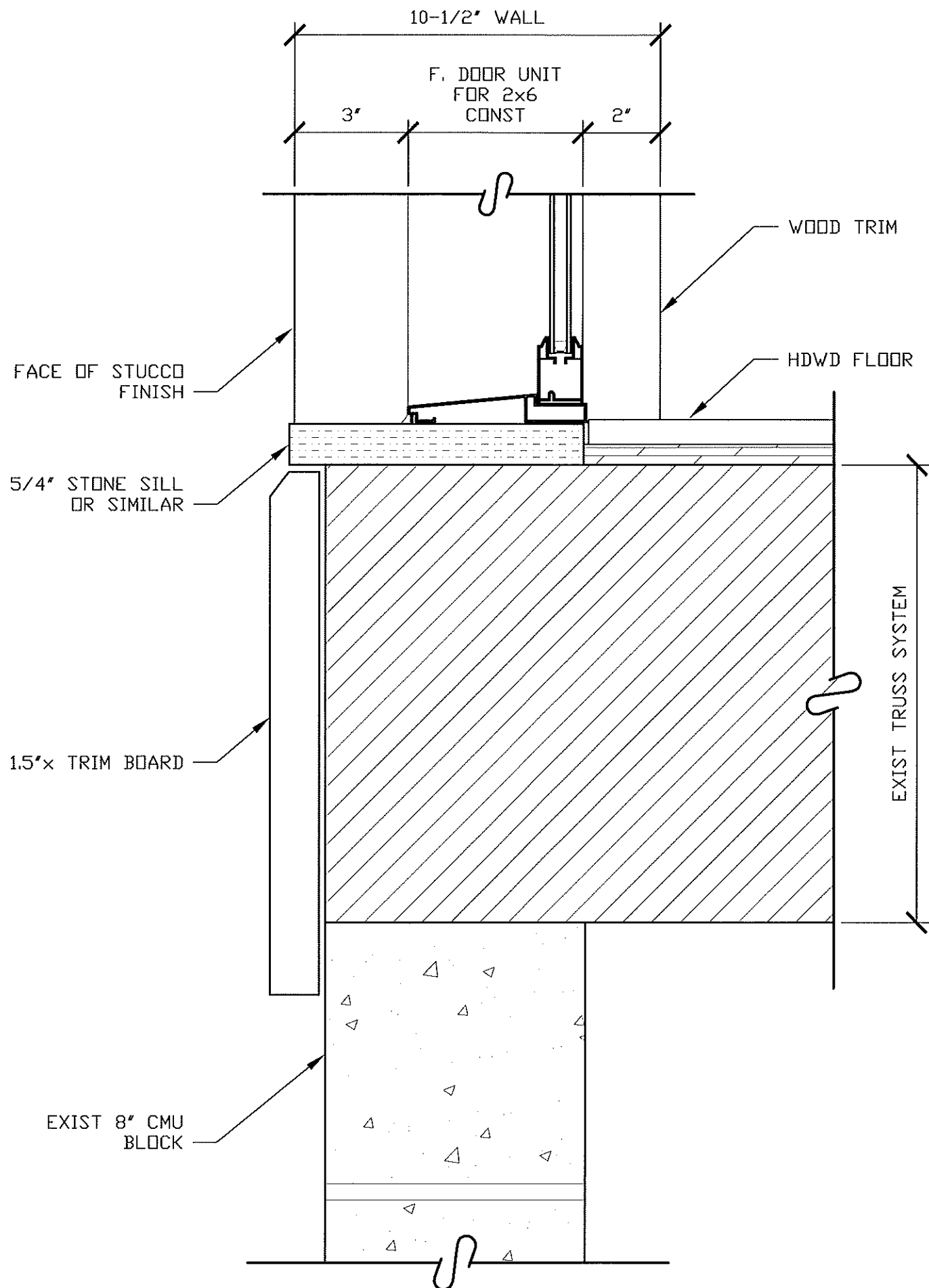
WINDOW & DOOR
ELEVATIONS

BROADWAY BUILDING LLC
189 BROADWAY
PROVIDENCE, RI 02903

For: HISTORIC DISTRICT COMMISSION

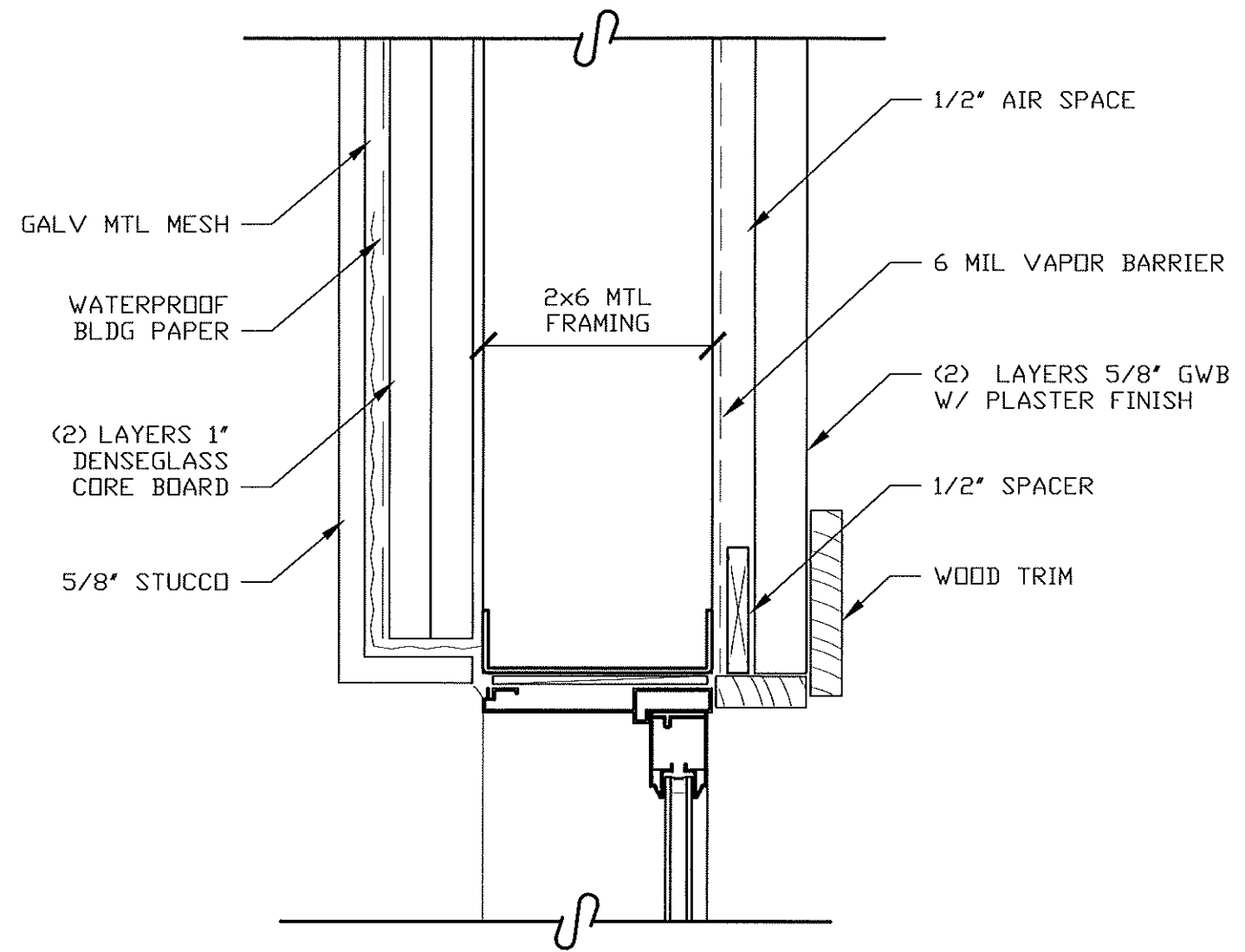
CBH Architect LLC
165 Williams Street
Providence, RI 02906
401 368 9963

EXHIBIT
3H



FRENCH DOOR SILL DETAIL

TYPE F SIMILAR

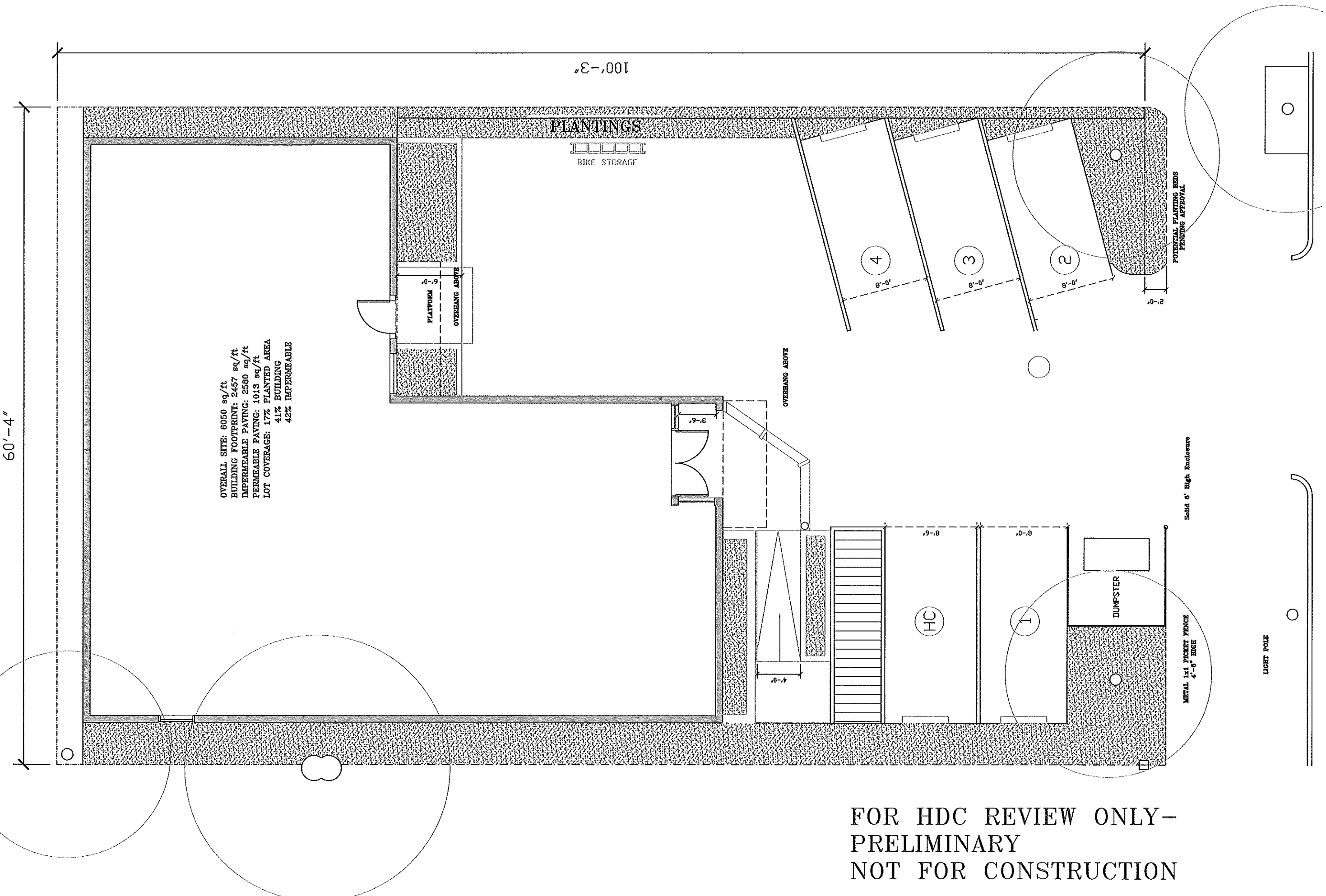


FRENCH DOOR HEAD DETAIL

TYPE F SIMILAR

CBH Architect LLC 165 Williams Street Providence, RI 02906 401 368 9963	BROADWAY BUILDING LLC 189 BROADWAY PROVIDENCE, RI 02903 For: HISTORIC DISTRICT COMMISSION	FRENCH DOOR HEAD & SILL DETAILS	DATE 6/6/23 SCALE 1-1/2"=1'-0" DRW CBH/MK/JH CK	EXHIBIT 3I
		REV.	DATE 6/6/23 SCALE 1-1/2"=1'-0" DRW CBH/MK/JH CK	EXHIBIT 3I

60'-4"



OVERALL SITE: 6050 sq/ft
 BUILDING FOOTPRINT: 2457 sq/ft
 IMPERMEABLE PAVING: 2580 sq/ft
 PERMEABLE PAVING: 1013 sq/ft
 LOT COVERAGE: 17% PLANTED AREA
 41% BUILDING
 42% IMPERMEABLE

100'-3"

PLANTINGS

BIKE STORAGE

PLATFORM
OVERHANG ABOVE

OVERHANG ABOVE

POTENTIAL PLANTING BEDS
PENDING APPROVAL

Solid 6' High Enclosure

METAL 1-1/2' PICKET FENCE
4'-6" HIGH

LIGHT POLE

FOR HDC REVIEW ONLY -
 PRELIMINARY
 NOT FOR CONSTRUCTION

REV.

DATE 6/6/23

SCALE 1/8" = 1'-0"

DRW CBH/MK/JH

CK

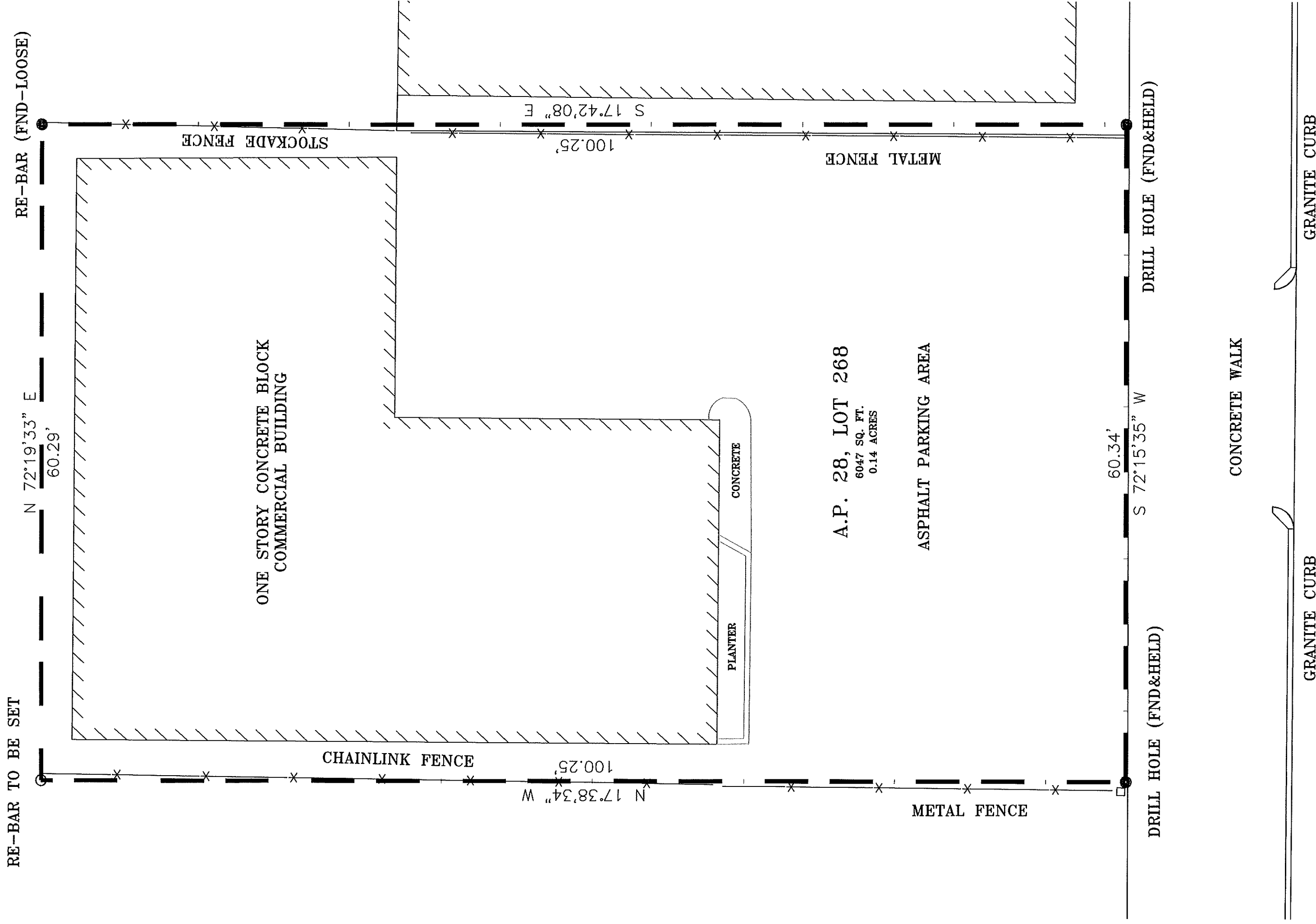
PROPOSED
SITE PLAN

BROADWAY BUILDING LLC
 189 BROADWAY
 PROVIDENCE, RI 02903

For: HISTORIC DISTRICT COMMISSION

CBH Architect LLC
 165 Williams Street
 Providence, RI 02906
 401 368 9963

EXHIBIT
3J



CBH Architect LLC 165 Williams Street Providence, RI 02906 401 368 9963	BROADWAY BUILDING LLC 189 BROADWAY PROVIDENCE, RI 02903 For: Renovation / Construction	SURVEY SITE PLAN	DATE 6/6/23 SCALE 1/8" = 1'-0" DRW CBH/JH CK	EXHIBIT 3K
	REV.			



CBH Architect LLC
 165 Williams Street
 Providence, RI 02906
 401 368 9963

BROADWAY BUILDING LLC
 189 BROADWAY
 PROVIDENCE, RI 02903

For: Renovation / Construction

PERSPECTIVE 1

REV.

DATE 6/8/23

SCALE

DRW CBH/MK

CK

EXHIBIT
 7A



REV.

CBH Architect LLC 165 Williams Street Providence, RI 02906 401 368 9963	BROADWAY BUILDING LLC 189 BROADWAY PROVIDENCE, RI 02903 For: Renovation / Construction	PERSPECTIVE 2		DATE 6/8/23 SCALE DRW CBH/MK CK	EXHIBIT 7B



REV.

DATE 6/8/23

SCALE

DRW CBH/MK

CK

PERSPECTIVE 3

BROADWAY BUILDING LLC
 189 BROADWAY
 PROVIDENCE, RI 02903

For: Renovation / Construction

CBH Architect LLC
 165 Williams Street
 Providence, RI 02906
 401 368 9963

EXHIBIT
 7C



REV.

CBH Architect LLC
 165 Williams Street
 Providence, RI 02906
 401 368 9963

BROADWAY BUILDING LLC
 189 BROADWAY
 PROVIDENCE, RI 02903

For: Renovation / Construction

PERSPECTIVE 4

DATE 6/8/23

SCALE

DRW CBH/MK

CK

EXHIBIT
 7D



REV.

<p>CBH Architect LLC 165 Williams Street Providence, RI 02906 401 368 9963</p>	<p>BROADWAY BUILDING LLC 189 BROADWAY PROVIDENCE, RI 02903 For: Renovation / Construction</p>	<p>PERSPECTIVE 5</p>	<p>DATE 6/8/23 SCALE DRW CBH/MK CK</p>	<p>EXHIBIT 7E</p>
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REV.

CBH Architect LLC 165 Williams Street Providence, RI 02906 401 368 9963	BROADWAY BUILDING LLC 189 BROADWAY PROVIDENCE, RI 02903 For: Renovation / Construction	PERSPECTIVE 6		DATE 6/8/23	EXHIBIT 7F
		SCALE		DRW CBH/MK	