

Applicant/Owner: Siobhan Callahan & Jeff Corey, 7 Gilbert Street, Providence, RI 02909

Architect: Jonathan Bell, Architect, 426 Washington Street, Providence, RI 02903

Proposal: The scope of work proposed consists of Major Alterations and includes:

- the construction of a two-story addition (approx. 12'x21', 234 sf) to the rear (North) elevation.

Issues: The following issues are relevant to this application:

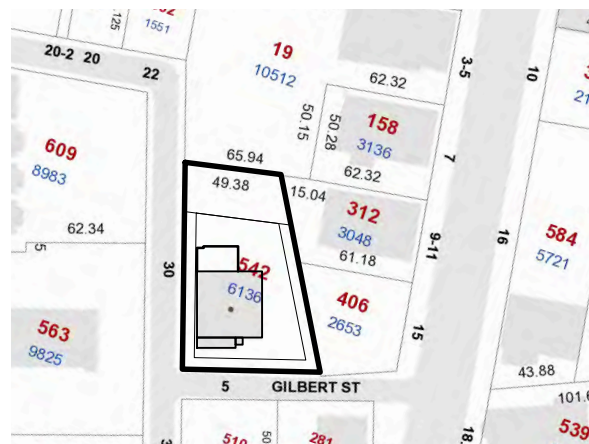
- Plans and photos have been submitted.

Recommendations: The staff recommends the PHDC make the following findings of fact:

- a) 7 Gilbert Street is a structure of potential historical and architectural significance that contributes to the significance of the Armory local historic district, and may eventually contribute to the Broadway/Armory National Register Historic District;
- b) The application for Major Alterations is considered complete; and,
- c) The work as proposed is in accord with PHDC Standard 8 as follows: as the proposed alterations are appropriate having determined that the proposed alterations are architecturally and historically compatible with the property and district having an appropriate size, scale and form that will not have an adverse effect on the property or district.

Staff recommends a motion be made stating that: The application is considered complete. 7 Gilbert Street is a structure of potential historical and architectural significance that contributes to the significance of the Armory local historic district, and may eventually contribute to the Broadway/Armory National Register Historic District. The Commission grants Final Approval of the proposal as submitted having determined that the proposed alterations are appropriate as the proposed alterations are architecturally and historically compatible with the property and district having an appropriate size, scale and form that will not have an adverse effect on the property or district, citing and agreeing to the recommendations in the staff report, with staff to review any additional required details.

PROJECT INFORMATION	GENERAL REQUIREMENTS	GENERAL CONSTRUCTION NOTES																		
<p>Owners: Jeffrey Corey, Siobhan Callahan</p> <p>Address: 7 Gilbert St. Providence, RI 02909</p> <p>PLAT/LOT: 32/542 Zone: R3 Historic Overlay District: Armory</p>	<ol style="list-style-type: none"> All work performed shall comply with the contract documents, drawings and specifications, including these general notes. No deviation from contract documents, drawings and specifications shall be made without written approval of the owners. The organization of the drawings and specifications shall not control the contractor in dividing the work among Subcontractors or in establishing the extent of the work to be performed by any trade unless specifically required. Contractor shall carefully study and compare documents with existing conditions at job site. Contractor shall report to Architect at once, errors, discrepancies, products, systems, procedures, and construction methods shown or specified which are incorrect, inadequate, obsolete, or unsuitable for actual field conditions, or which the contractor would not warrant as required by contract documents. Do not proceed with work in areas where errors, discrepancies, inconsistencies, or omissions are found without architect's or owners' instructions. The architectural drawings show principal areas where work must be accomplished under this contract. Incidental work may also be necessary in areas not shown on architectural drawings in order to properly install or execute the work as shown or to accommodate structural, mechanical, electrical, plumbing, or other systems. Such incidental work shall be considered a part of the contract requirements, at no additional cost. In addition to any warranties or guarantees required by various sections of the specifications, the contractor guarantees by his or her acceptance of the contract, that all work installed will be free from any and all defects in workmanship and/or materials, and all apparatus will develop capacities and characteristics specified, and if, during the period of one year, or as otherwise specified, and if, from date of certificate of completion and acceptance of the work, any such defects in workmanship, materials, or performance appear, the contractor will, without cost to the owner, remedy such defects within a reasonable time to be specified in notice from the architect. In default thereof, the owner may have such work done and charge cost to the contractor. Contractor shall properly and legally dispose of all waste materials. The contractor shall maintain the building and site in an acceptable standard of cleanliness. Construction debris and food and beverage containers shall be removed on a regular basis. Do not scale drawings. Dimensions shall take precedence over scales depicted on drawings. The contractor shall verify all dimensions, grades and conditions at the site prior to commencing with the work, and report any discrepancies to the Architect or owners in writing. 	<ol style="list-style-type: none"> Floor elevations are to finish floor, unless otherwise noted. All dimensions are to face of finish, unless otherwise noted. Ceiling height dimensions are to finished surfaces, unless otherwise noted. Where a typical condition is detailed, it shall be understood that all like or similar conditions are the same unless specifically noted or detailed otherwise. Typical door frame installation: face of door jambs to be located 4" from adjacent face of finish of perpendicular wall, unless noted otherwise. Typical GWB wall construction is to match existing: 2x4 nom. framing at 16" o.c., with 1/2" wallboard both sides, level 4 finish. Acoustic batt or mineral wool insulation to be used in new interior partitions on 2nd floor, typical. Contractor shall fit GWB tight around all pipe, duct, conduit, etc. penetrations. Seal all joints around penetrations and at ceiling deck or structural elements with acoustic sealant. The contractor shall provide and install all stiffeners, braces, blocking, back-up plates, and supporting brackets required for the installation of all casework, toilet room accessories, handrails, chair rails, fixtures and partitions, and all wall mounted or suspended mechanical, electrical, or miscellaneous equipment and furnishings. The contractor shall perform all cutting and patching work as required to execute the work shown on the drawings. Where cutting of existing surfaces or removal of existing finishes is required to perform work under this contract, and new finish is not indicated, fill resulting openings and patch the surface after doing the work and finish to match adjacent existing surfaces. Patches and repairs shall exactly match existing adjacent work in all respects and shall not be obvious as patching. The contractor shall review locations and mounting heights of toilet room accessories with the architect or owner prior to installation. All materials noted in the documents are to be new, unless specifically noted otherwise. 																		
<p>CODE APPLIED</p>			<p>RISBC-2 RHODE ISLAND ONE AND TWO FAMILY DWELLINGS (IRC 2018 WITH RI AMENDMENTS)</p>	<p>LIST OF DRAWINGS</p>																
<p>PROJECT DESCRIPTION</p>			<p>This proposed project is a two-story gable-roofed addition with a footprint of approximately 12'D x 21'W (234sf) on the lower floor, and 12'D x 15'W (180sf) on the upper floor. There is a section of low-slope roof covering the new rear entry and landing. The total addition adds 414 gross square feet of living area to the house.</p> <p>On the interior, the addition provides a new kitchen and reconfigured dining area, improved access to the back yard, a primary bedroom suite, and a renovated bathroom.</p> <p>The site is a corner lot. The addition extends to the north of the existing house into the rear yard, and is sited fully within zoning setbacks for side, corner, and rear yards. The addition will probably require the removal of one coniferous tree nearest the house.</p> <p>The proposed addition is invisible from the Gilbert Street (front) elevation, and partially visible from the side street (Powhatan Street).</p>	<table border="0"> <tr> <td>PHDC.0</td> <td>COVER SHEET</td> </tr> <tr> <td>PHDC.1</td> <td>EXISTING CONDITION PHOTOGRAPHS</td> </tr> <tr> <td>PHDC.2</td> <td>EXISTING CONDITION ELEVATIONS</td> </tr> <tr> <td>PHDC.3</td> <td>PROPOSED ELEVATIONS</td> </tr> <tr> <td>PHDC.4</td> <td>EXISTING AND DEMOLITION PLANS</td> </tr> <tr> <td>PHDC.5</td> <td>PROPOSED PLANS</td> </tr> <tr> <td>PHDC.6</td> <td>SECTION OF NEW ADDITION</td> </tr> <tr> <td>PHDC.7</td> <td>MISC MATERIALS AND DETAILS</td> </tr> <tr> <td>PHDC.8</td> <td>WINDOW AND DOOR SCHEDULES</td> </tr> </table>	PHDC.0	COVER SHEET	PHDC.1	EXISTING CONDITION PHOTOGRAPHS	PHDC.2	EXISTING CONDITION ELEVATIONS	PHDC.3	PROPOSED ELEVATIONS	PHDC.4	EXISTING AND DEMOLITION PLANS	PHDC.5	PROPOSED PLANS	PHDC.6	SECTION OF NEW ADDITION	PHDC.7	MISC MATERIALS AND DETAILS
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1 LOCUS PLAN: 7 Gilbert St.
NOT TO SCALE



1 SOUTH Photograph: 7 Gilbert St., Existing
NOT TO SCALE



2 WEST Photograph (Powhatan Street): 7 Gilbert St., Existing
NOT TO SCALE



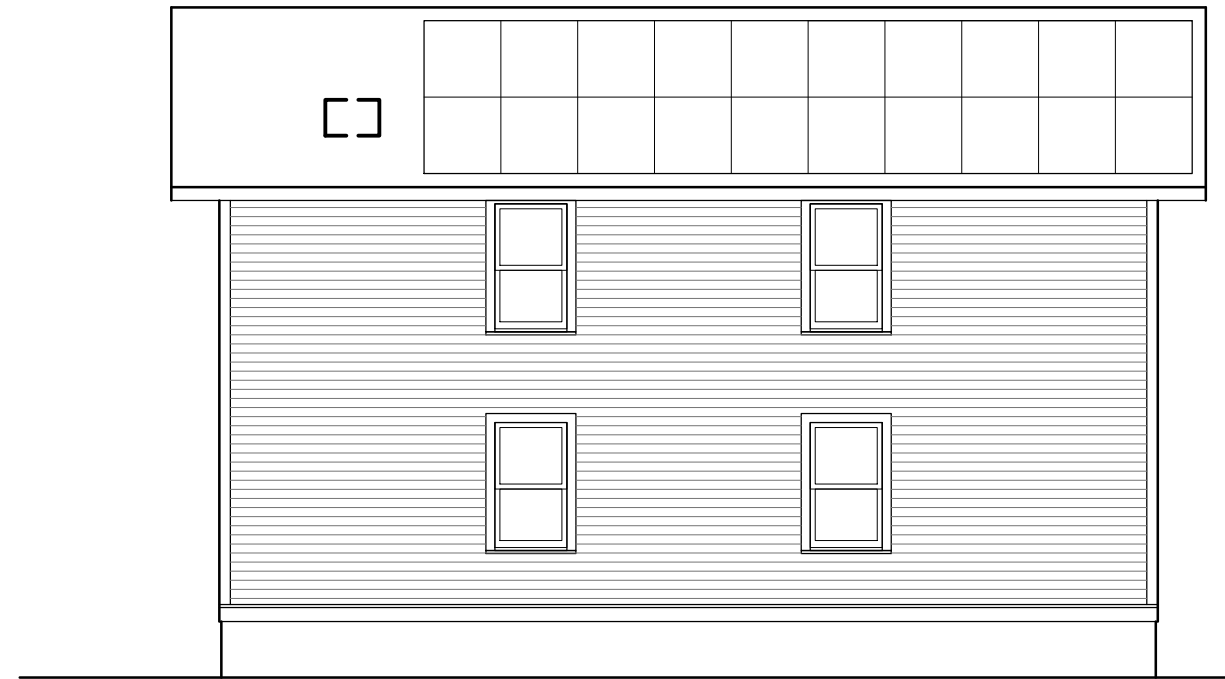
3 NORTH Photograph: 7 Gilbert St., Existing
NOT TO SCALE



4 SOUTHEAST Photograph: 7 Gilbert St., Existing
NOT TO SCALE



1 EXISTING NORTH ELEVATION
SCALE: 1/8" = 1'-0"

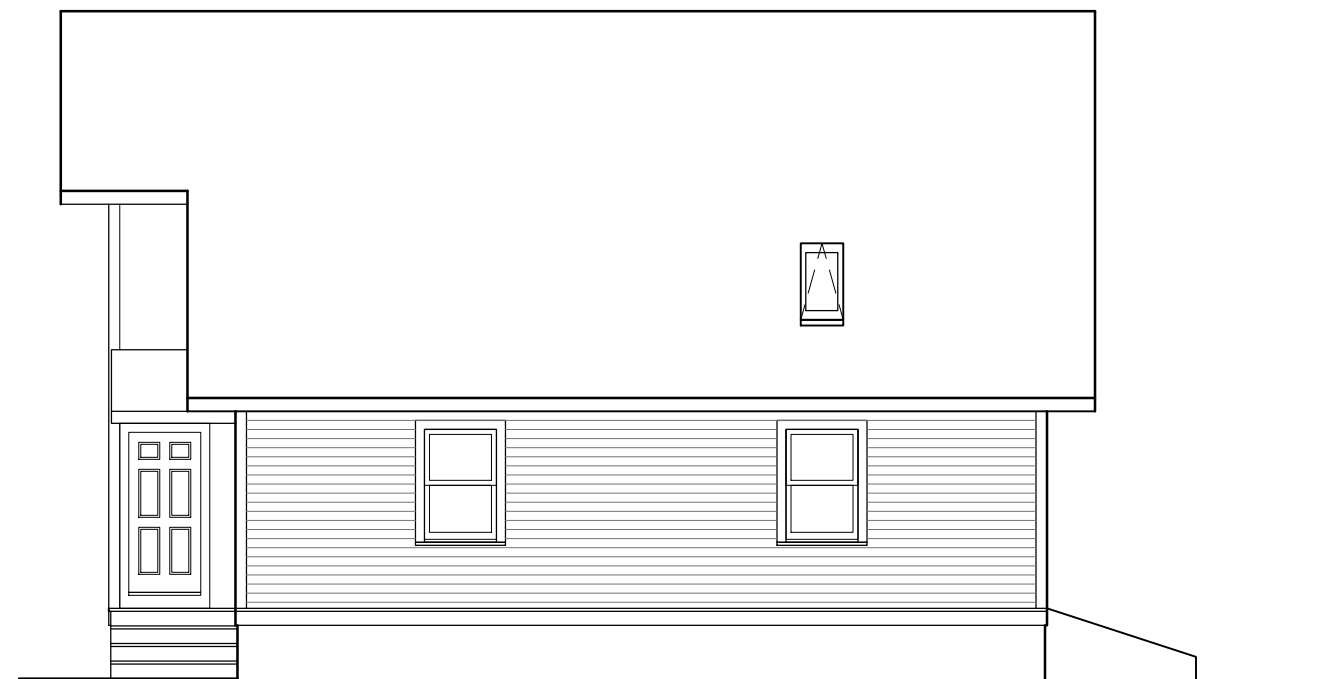


2 EXISTING WEST ELEVATION
SCALE: 1/8" = 1'-0"

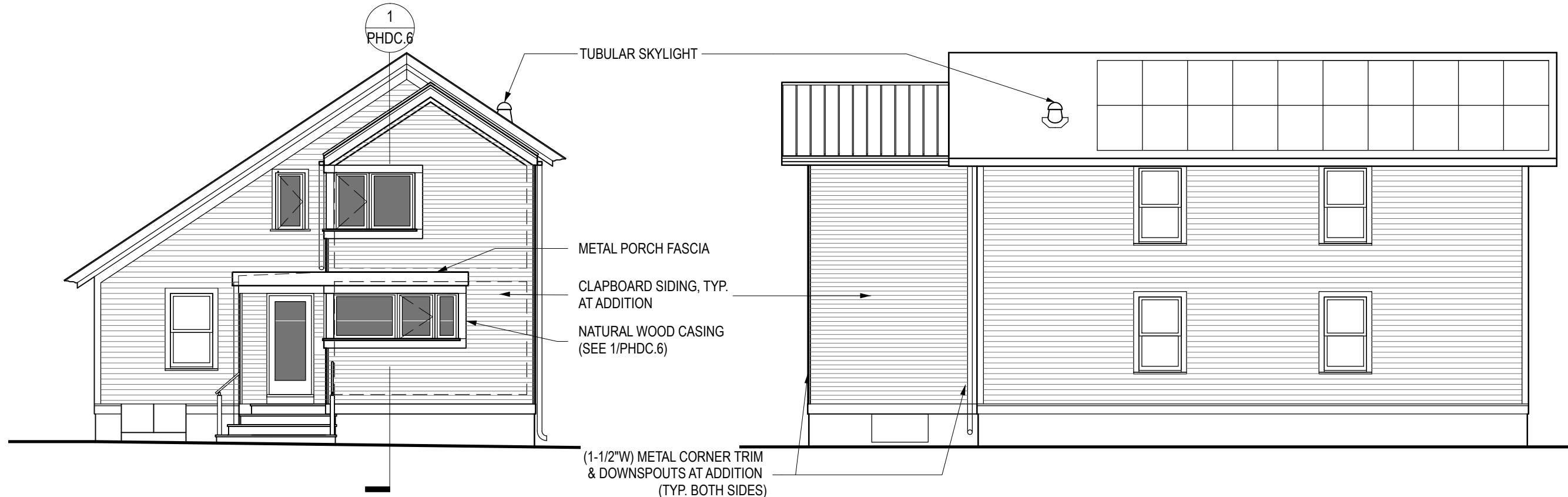
(NOTE: South Elevation not drawn.
It is unchanged.)



3 NORTH ELEVATION SHOWING DEMOLITION
SCALE: 1/8" = 1'-0"



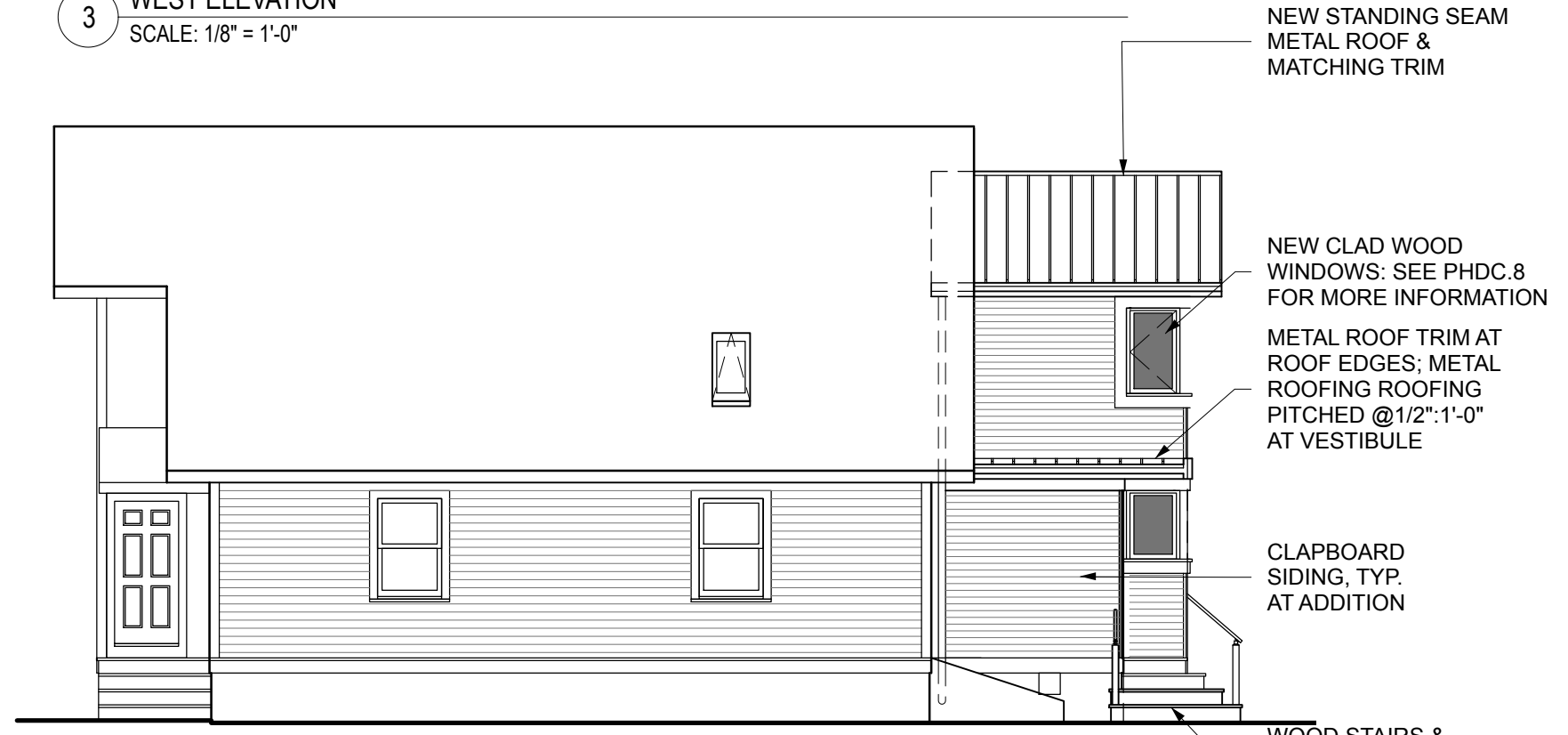
4 EXISTING EAST ELEVATION
SCALE: 1/8" = 1'-0"



1 PROPOSED NORTH ELEVATION
SCALE: 1/8" = 1'-0"

3 WEST ELEVATION
SCALE: 1/8" = 1'-0"

NOTE:
SEE PHDC.6 FOR CONSTRUCTION ASSEMBLY WITH MORE MATERIAL INFORMATION
SEE PHDC.7 FOR MATERIAL IMAGES
SEE PHDC.8 FOR WINDOW & DOOR INFORMATION



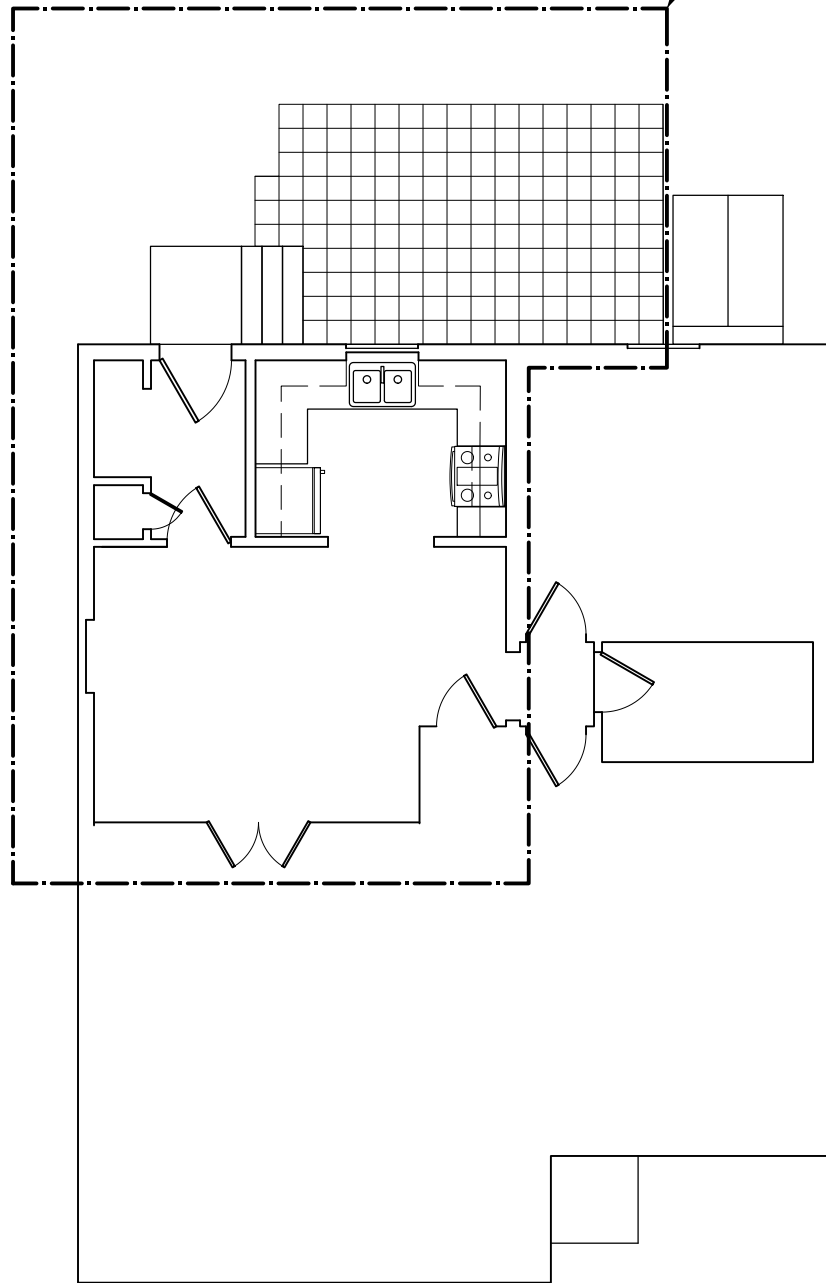
4 PROPOSED EAST ELEVATION
SCALE: 1/8" = 1'-0"

APPROX. EXISTING KITCHEN LAYOUT:

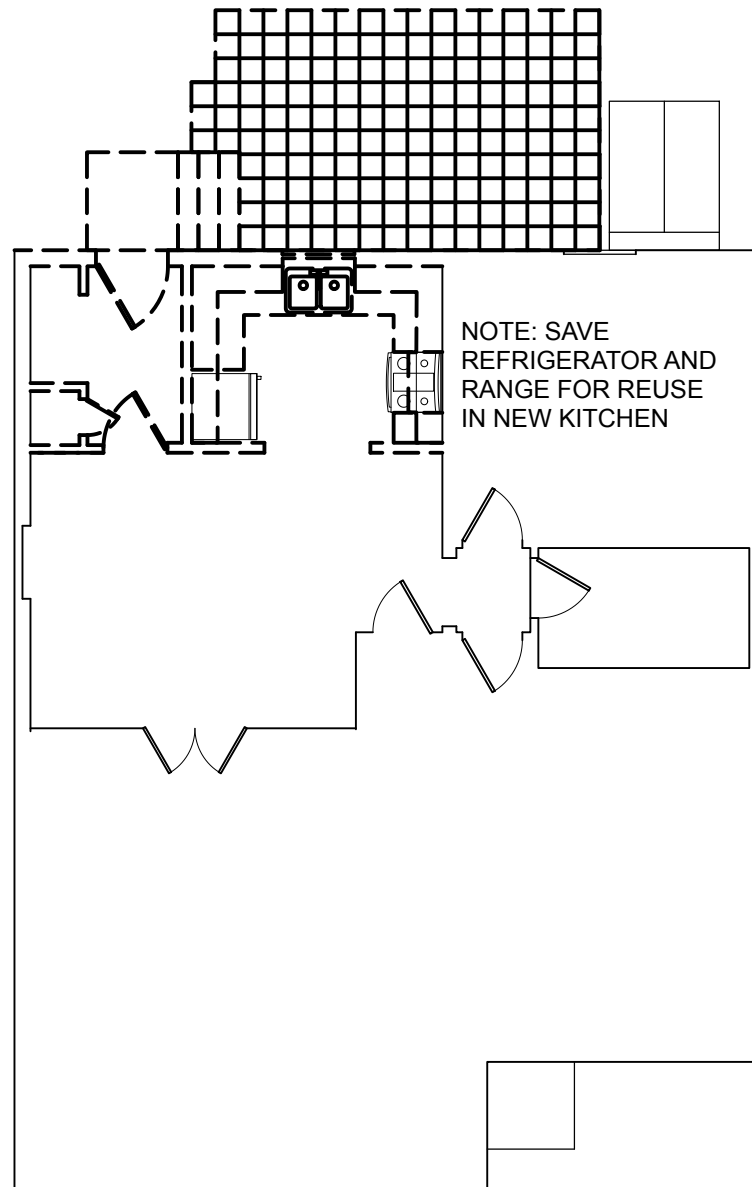
77 sf (30 sf standing room)

- 12'-6" lf counter
- 19'-6" lf upper cabs
- 13'-3" lower cabs
- 5'-0" pantry
- 2'-3" broom/storage closet

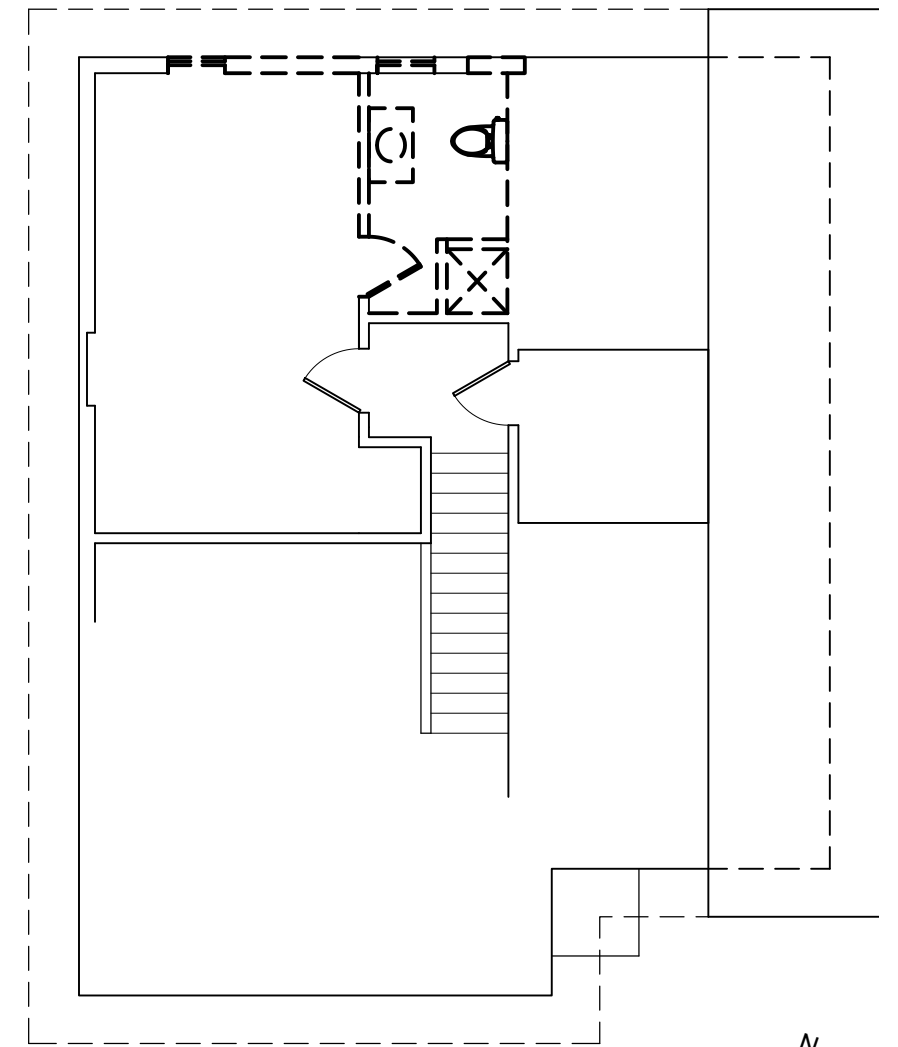
APPROX. LIMIT OF WORK



1 PARTIAL PLAN: EXISTING FIRST FLOOR
SCALE: 1/8" = 1'-0"



2 1st FLOOR DEMOLITION
SCALE: 1/8" = 1'-0"



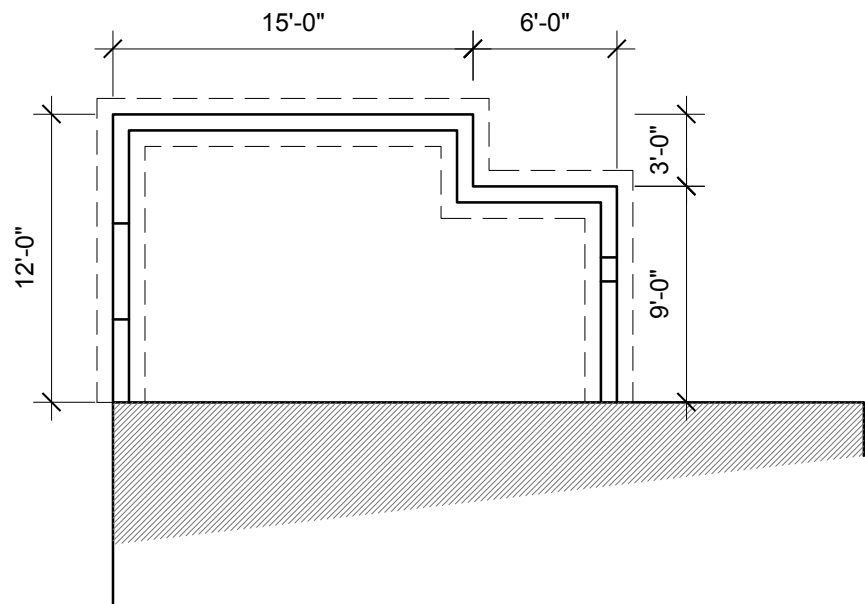
3 2nd FLOOR DEMOLITION
SCALE: 1/8" = 1'-0"



APPROX. NEW KITCHEN LAYOUT:

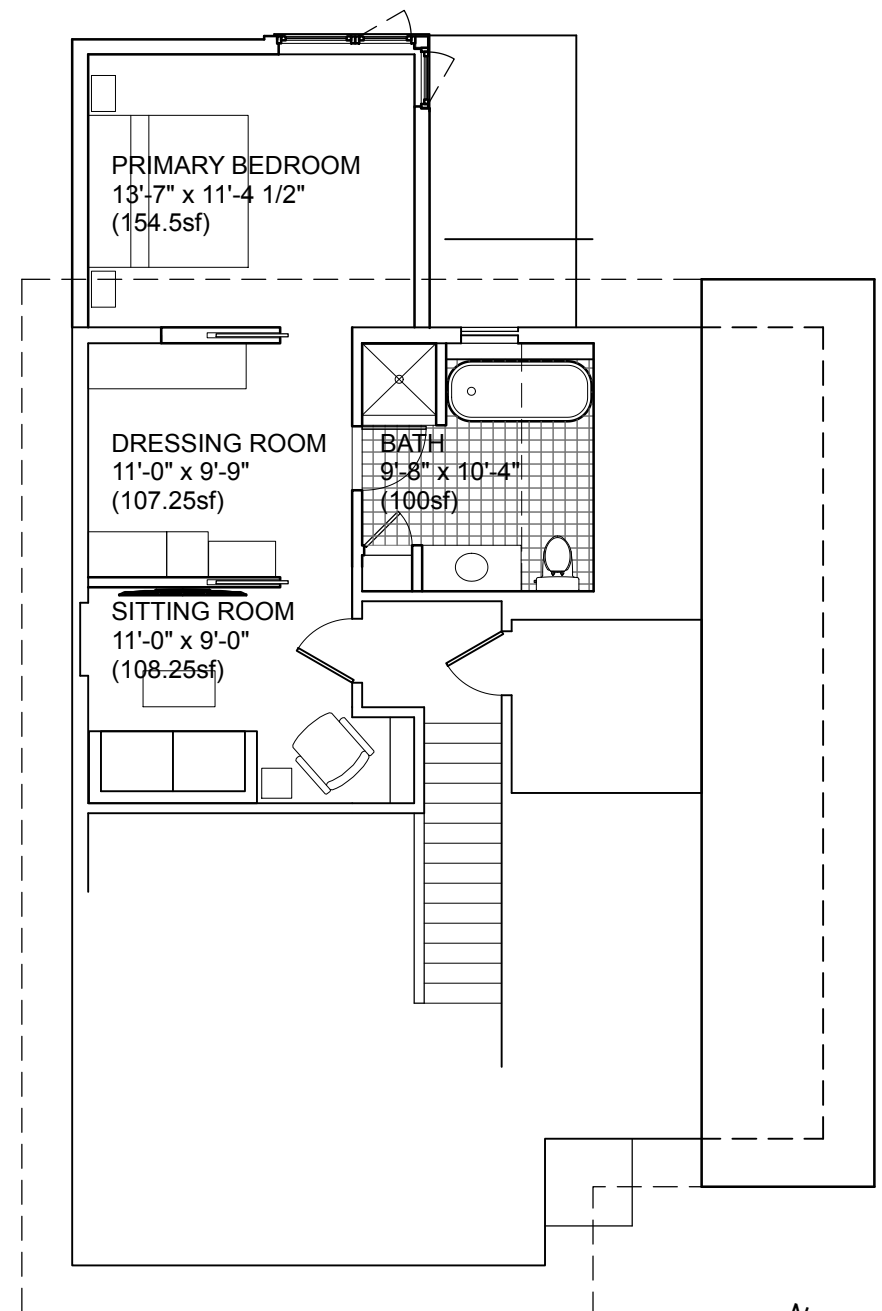
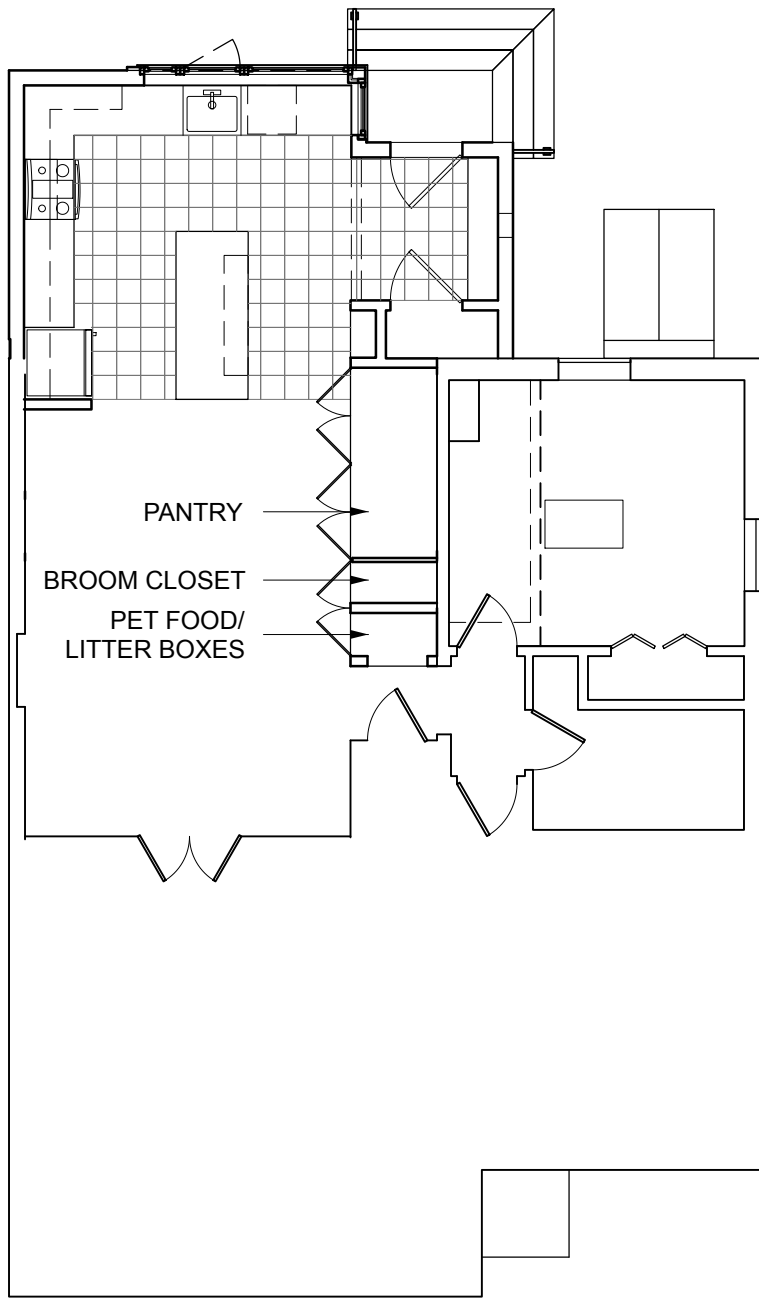
178 sf (104 sf standing room)

23'-6" lf counter
 11'-6" lf upper cabs
 35'-6" lower cabs
 10'-0" pantry
 5'-6" broom/storage closets



NEW FOUNDATION WALL:

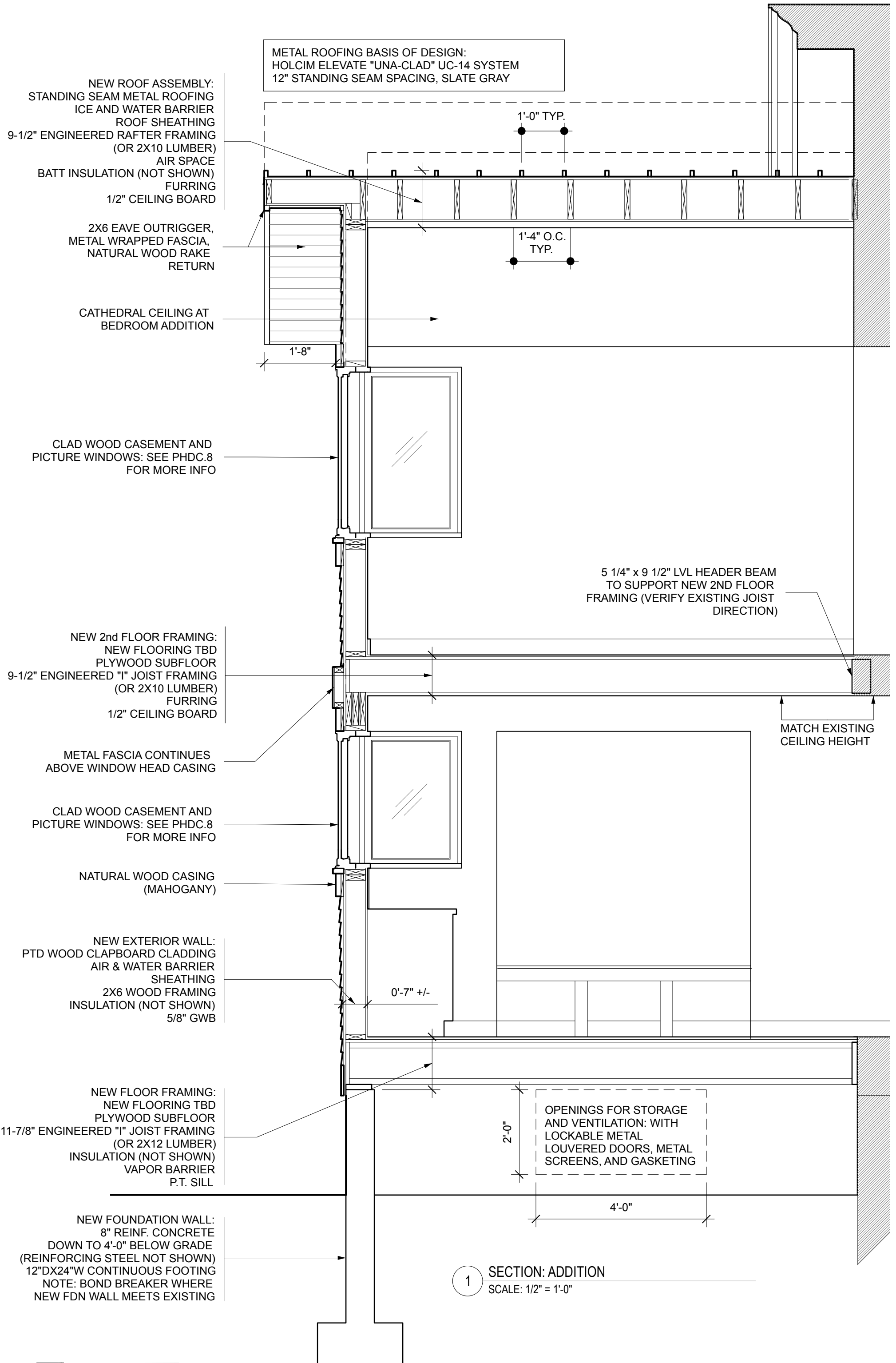
8" REINF. CONCRETE
 DOWN TO 4'-0" BELOW GRADE
 12"DX24"W CONTINUOUS FOOTING
 NOTE: BOND BREAKER WHERE
 NEW FDN WALL MEETS EXISTING



1 ADDITION FOUNDATION
 SCALE: 1/8" = 1'-0"

2 1st FLOOR ADDITION AND RENOVATIONS
 SCALE: 1/8" = 1'-0"

3 2nd FLOOR ADDITION AND RENOVATIONS
 SCALE: 1/8" = 1'-0"



METAL ROOFING BASIS OF DESIGN:
 HOLCIM ELEVATE "UNA-CLAD" UC-14 SYSTEM
 12" STANDING SEAM SPACING, SLATE GRAY

NEW ROOF ASSEMBLY:
 STANDING SEAM METAL ROOFING
 ICE AND WATER BARRIER
 ROOF SHEATHING
 9-1/2" ENGINEERED RAFTER FRAMING
 (OR 2X10 LUMBER)
 AIR SPACE
 BATT INSULATION (NOT SHOWN)
 FURRING
 1/2" CEILING BOARD

2X6 EAVE OUTRIGGER,
 METAL WRAPPED FASCIA,
 NATURAL WOOD RAKE
 RETURN

CATHEDRAL CEILING AT
 BEDROOM ADDITION

CLAD WOOD CASEMENT AND
 PICTURE WINDOWS: SEE PHDC.8
 FOR MORE INFO

5 1/4" x 9 1/2" LVL HEADER BEAM
 TO SUPPORT NEW 2ND FLOOR
 FRAMING (VERIFY EXISTING JOIST
 DIRECTION)

NEW 2nd FLOOR FRAMING:
 NEW FLOORING TBD
 PLYWOOD SUBFLOOR
 9-1/2" ENGINEERED "I" JOIST FRAMING
 (OR 2X10 LUMBER)
 FURRING
 1/2" CEILING BOARD

METAL FASCIA CONTINUES
 ABOVE WINDOW HEAD CASING

CLAD WOOD CASEMENT AND
 PICTURE WINDOWS: SEE PHDC.8
 FOR MORE INFO

NATURAL WOOD CASING
 (MAHOGANY)

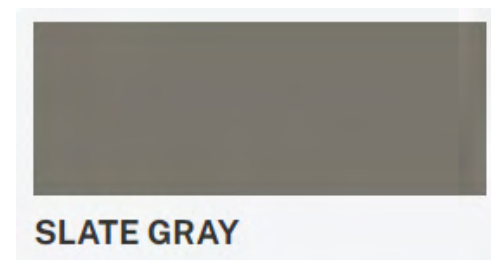
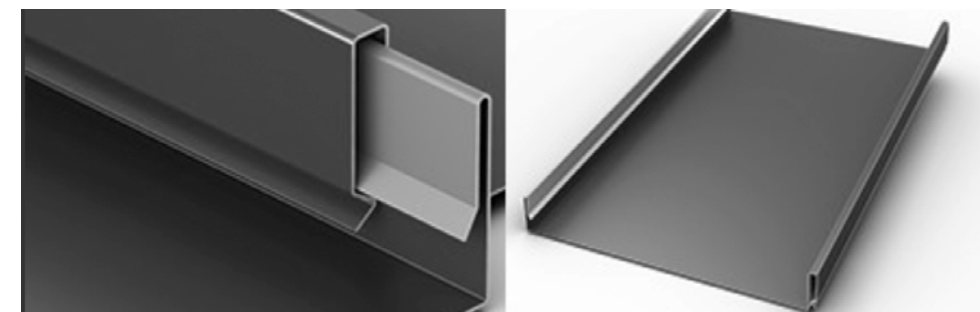
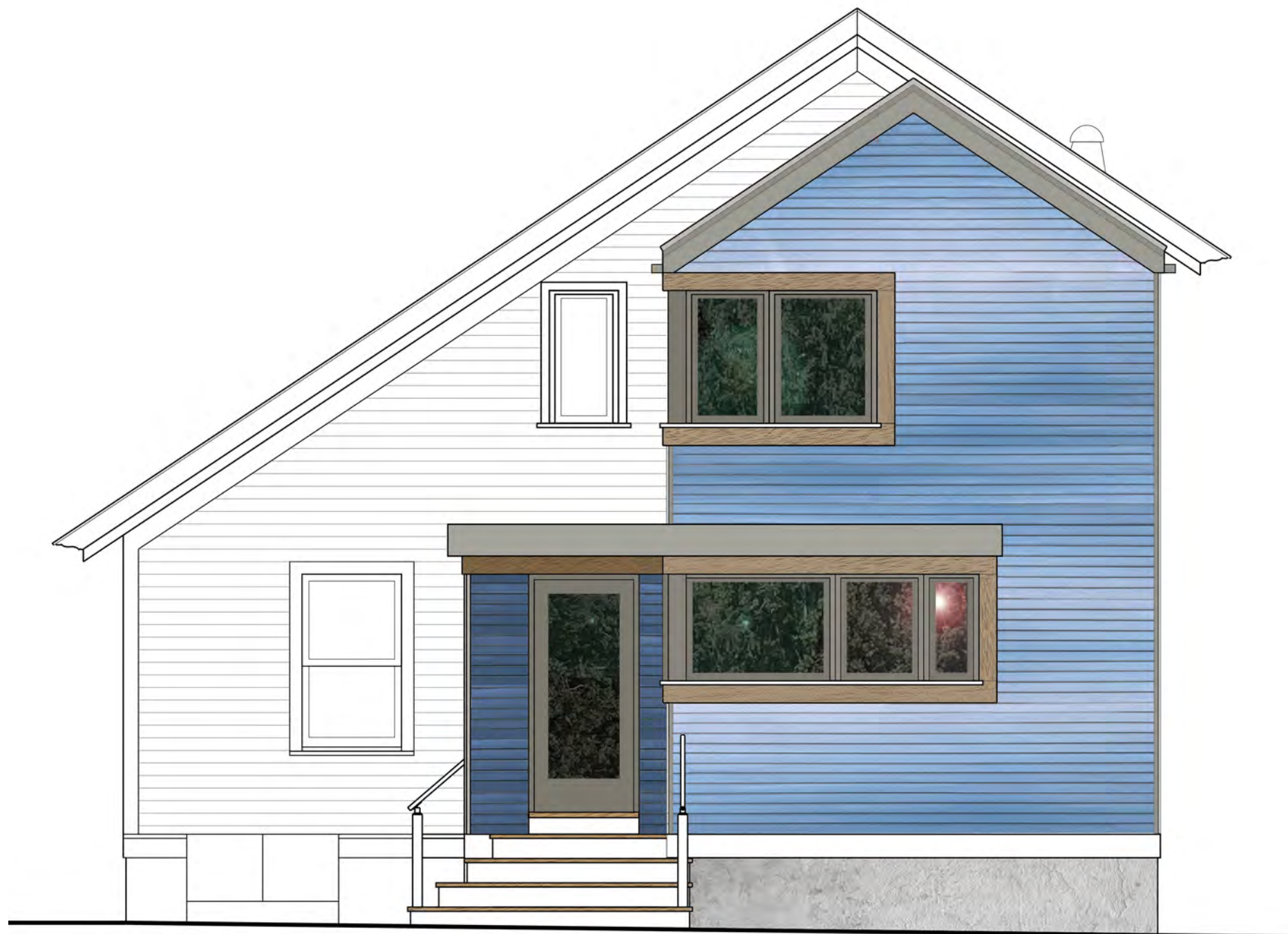
NEW EXTERIOR WALL:
 PTD WOOD CLAPBOARD CLADDING
 AIR & WATER BARRIER
 SHEATHING
 2X6 WOOD FRAMING
 INSULATION (NOT SHOWN)
 5/8" GWB

NEW FLOOR FRAMING:
 NEW FLOORING TBD
 PLYWOOD SUBFLOOR
 11-7/8" ENGINEERED "I" JOIST FRAMING
 (OR 2X12 LUMBER)
 INSULATION (NOT SHOWN)
 VAPOR BARRIER
 P.T. SILL

NEW FOUNDATION WALL:
 8" REINF. CONCRETE
 DOWN TO 4'-0" BELOW GRADE
 (REINFORCING STEEL NOT SHOWN)
 12"DX24"W CONTINUOUS FOOTING
 NOTE: BOND BREAKER WHERE
 NEW FDN WALL MEETS EXISTING

OPENINGS FOR STORAGE
 AND VENTILATION: WITH
 LOCKABLE METAL
 LOUVERED DOORS, METAL
 SCREENS, AND GASKETING

1 SECTION: ADDITION
 SCALE: 1/2" = 1'-0"



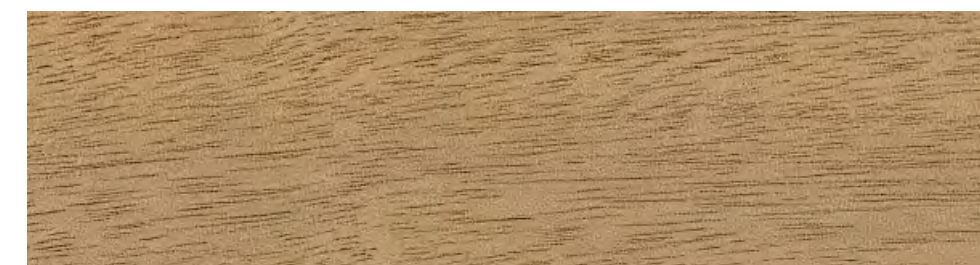
SLATE GRAY

(above and top)
 Holcim Elevate
 Una-Clad UC-14 standing seam metal roofing



(above and right)
 Harvey Majesty
 Wood Casement Windows

(below)
 Honduran Mahogany

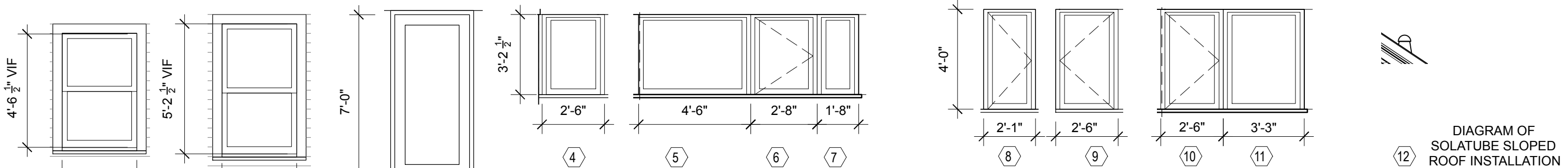


2 MATERIAL IMAGES AND COLORS
 NO SCALE

1 NORTH ELEVATION RENDERED TO SHOW MATERIAL INTENTION
 SCALE: 1/4" = 1'-0"

DOOR SCHEDULE

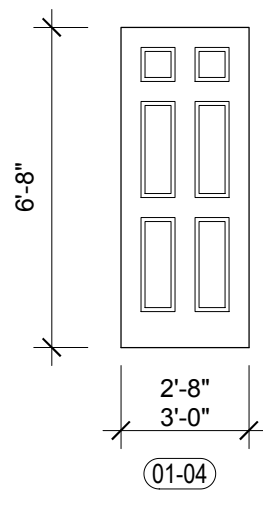
TAG	LOCATION	MFR	SERIES	FUNCTION/DESCRIPTION	OPENING SIZE (H X W)	FRAME	HARDWARE	NOTES
01	MUDROOM AREA CLOSET			RECLAIMED WOOD AND GLASS DOOR	3'-0" X 6'-8" (VIF)	WD	PASSAGE SET: KNOB; HINGES	PROVIDED BY OWNER
02	BATH			6-PANEL (RAISED PANEL) SOLID-CORE WOOD DOOR	2'-8" X 6'-8"	WD	PRIVACY SET: KNOB; HINGES	
03	DRESSING ROOM			6-PANEL (RAISED PANEL) SOLID CORE WOOD POCKET DOOR	3'-0" X 6'-8"	WD	POCKET DOOR SET W/SOFT-CLOSE	
04	DRESSING ROOM			6-PANEL (RAISED PANEL) SOLID CORE WOOD POCKET DOOR	3'-0" X 6'-8"	WD	POCKET DOOR SET W/SOFT-CLOSE	



NEW WINDOWS AND PATIO DOOR:
 HARVEY "MAJESTY" CLAD WOOD WINDOWS & DOOR.
 EXTERIOR: DARK BRONZE CLADDING; INTERIOR: WHITE

(1) PATIO DOOR, WITH SCREEN DOOR & HARDWARE
 (4) PICTURE WINDOWS
 (4) OUTSWING CASEMENT WINDOWS WITH SCREENS
 (2) REPLACEMENT DOUBLE HUNG WINDOWS IN EXISTING OPENINGS

NEW TUBULAR SKYLIGHT:
 (1) 10"Ø TUBULAR SKYLIGHT. "SOLATUBE" 160 DS



NEW WINDOW LOCATION KEY

WINDOW SCHEDULE

TAG	LOCATION	MFR	SERIES	FUNCTION/DESCRIPTION	QUANTITY	APPROX. UNIT SIZES: W X H	R.O. SIZE (H x W)	NOTES
1	BEDROOM 2	HARVEY	MAJESTY	REPLACEMENT DOUBLE HUNG	1	3'-0"W X 4'-6 1/2"H		
2	BEDROOM 2	HARVEY	MAJESTY	REPLACEMENT DOUBLE HUNG	1	3'-0"W X 5'-2 1/2"H		
3	MUDROOM AREA/BACK DOOR	HARVEY	MAJESTY	HINGED PATIO DOOR	1	3'-0"W X 7'-0"H		TEMPERED INSULATED GLASS, SINGLE LITE, NO DIVIDERS, SCREEN DOOR
4	KITCHEN	HARVEY	MAJESTY	PICTURE WINDOW	1	2'-6"W X 3'-2 1/2"H		
5	KITCHEN	HARVEY	MAJESTY	PICTURE WINDOW	1	4'-6"W X 3'-2 1/2"H		
6	KITCHEN	HARVEY	MAJESTY	OUTSWING CASEMENT	1	2'-8"W X 3'-2 1/2"H		SCREEN
7	KITCHEN	HARVEY	MAJESTY	PICTURE WINDOW	1	1'-8"W X 3'-2 1/2"H		
8	BATH	HARVEY	MAJESTY	OUTSWING CASEMENT	1	2'-1"W X 4'-0"H		SCREEN
9	BEDROOM 3	HARVEY	MAJESTY	OUTSWING CASEMENT	1	2'-6"W X 4'-0"H		EGRESS OPENING, SCREEN
10	BEDROOM 3	HARVEY	MAJESTY	OUTSWING CASEMENT	1	2'-6"W X 4'-0"H		EGRESS OPENING, SCREEN
11	BEDROOM 3	HARVEY	MAJESTY	PICTURE WINDOW	1	3'-3"W X 4'-0"H		
12	DRESSING ROOM	SOLATUBE	160 DS	TUBULAR SELF-FLASHING SKYLIGHT	1	12"Ø DOME, 10"Ø TUBE		