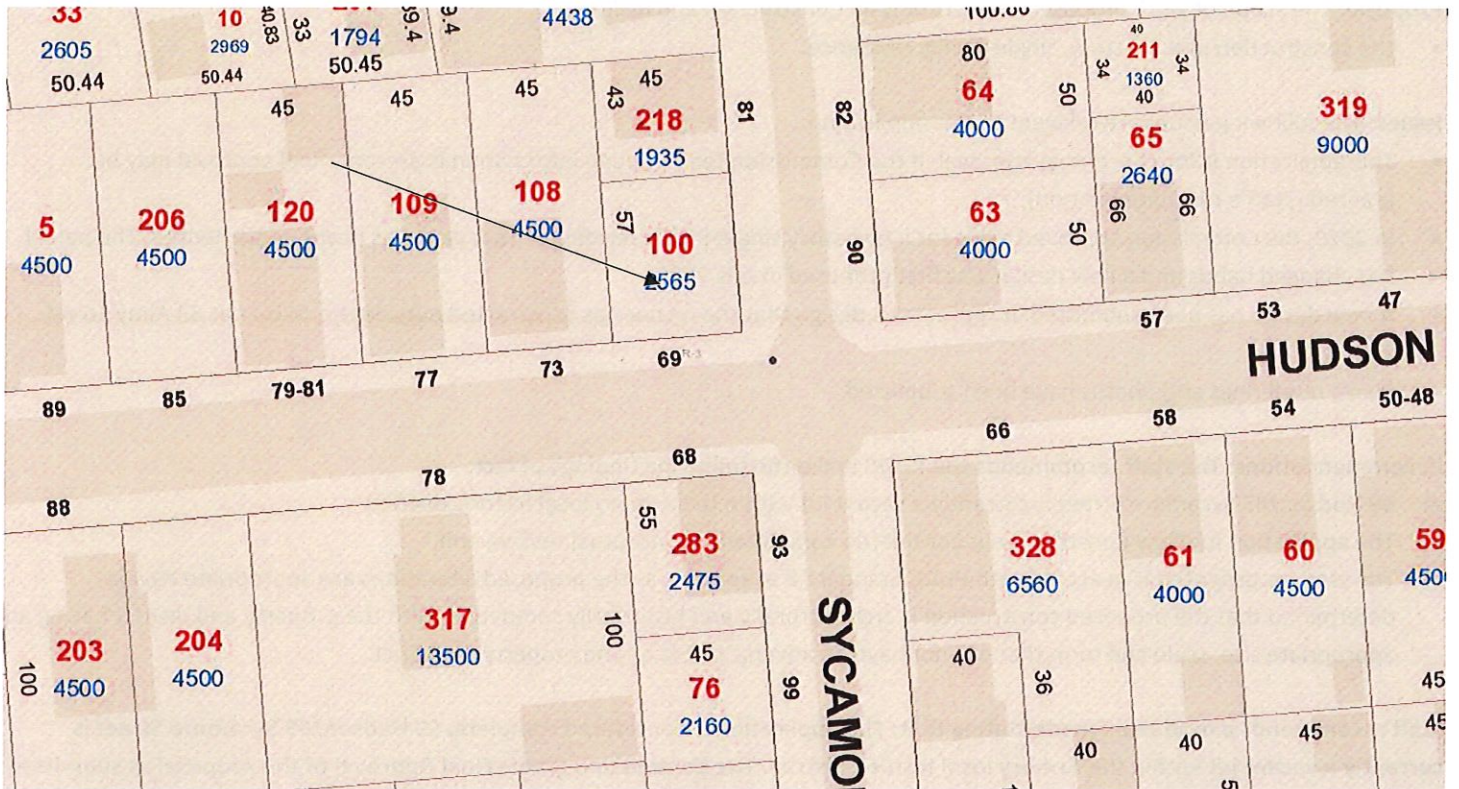
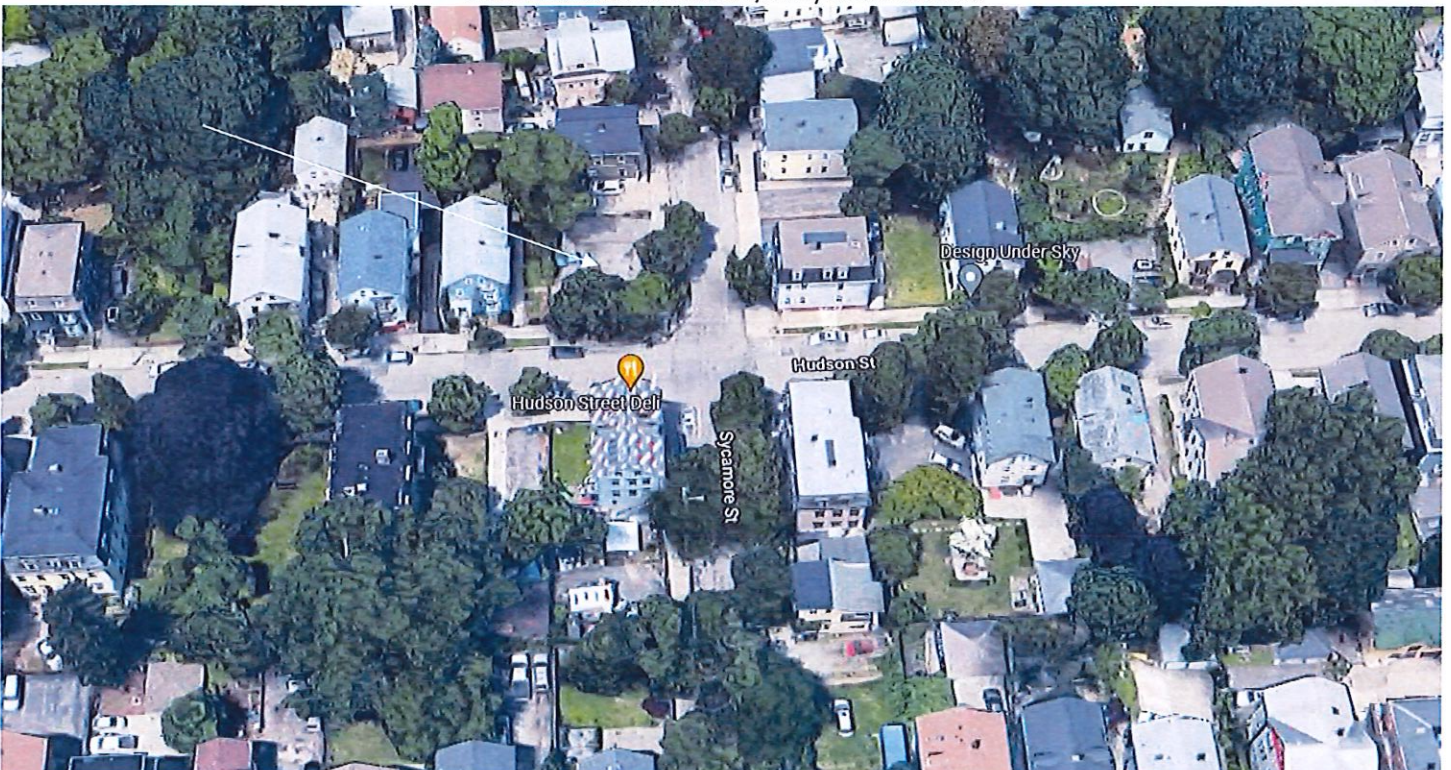


**PROJECT REVIEW**

- 1. **CASE 22. 089, 69 HUDSON/85 SYCAMORE STREET, Vacant lot (Armory)**  
Currently a Vacant lot within the Broadway/Armory NRHD



Arrow indicates 69 Hudson/85 Sycamore Street.



Arrow indicates project location, looking north.

**Applicant:** Peter J Casale Code Consultant, 44 Landmark Road, Warwick, RI 02886

**Owner:** 133 Courtland Street, LLC, 133 Courtland Street, Providence, RI 02909

**Proposal:** The scope of work proposed consists of New Construction and includes:

- the construction of a 2½-story, single-family residence.

**Issues:** The following issues are relevant to this application:

- This application is for conceptual approval; if the Commission feels enough information is present, final approval may be granted (Staff's recommendation);
- In 2020, the Commission approved plans for a two-story single-family residence. That plan was never implemented. The parcel has changed hands and a new design was first proposed in July 2022;
- A new design has been submitted. It replicates a design that the owner has constructed outside the district at 33 Almy Street; and,
- Plans, renderings and photos have been submitted.

**Recommendations:** The staff recommends the PHDC make the following findings of fact:

- a) 69 Hudson/85 Sycamore Street is currently a vacant lot within the Armory local historic district;
- b) The application for New Construction is considered complete for conceptual review; and,
- c) The work as proposed is in accord with PHDC Standard 8 as follows: as the proposed alterations are appropriate having determined that the proposed construction is architecturally and historically compatible with the property and district having an appropriate size, scale and form that will not have an adverse effect on the property or district.

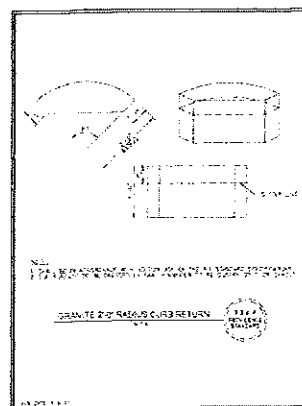
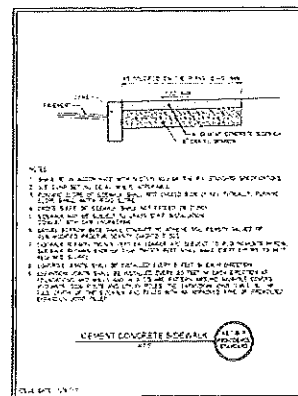
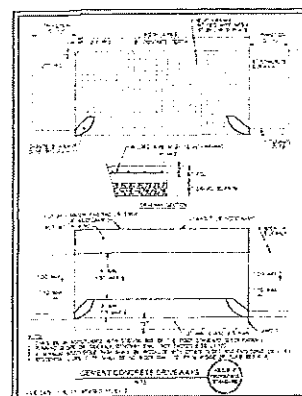
**Staff recommends a motion be made stating that:** The application is considered complete. 69 Hudson/85 Sycamore Street is currently a vacant lot within the Armory local historic district. The Commission grants Final Approval of the proposal as submitted having determined that the proposed new construction is appropriate as it is architecturally and historically compatible with the property and district having an appropriate size, scale and form that will not have an adverse effect on the property or district, citing and agreeing to the recommendations in the staff report, with staff or a sub-committee to review construction details as they become available.

**REFERENCE:**

- DEED BK. 12599 / PG. 314
- "THE TRAINING GROUND PLAT, SURVEYED & PLATTED, CUSHING & DEWITT, 1868." PLAT CARD 219

**NOTE:**

- UTILITY LOCATIONS ARE BASED ON AVAILABLE RESEARCH AND OBSERVED FIELD EVIDENCE.
- STORMWATER MUST BE CONTROLLED ON THE SITE TO THE EXTENT POSSIBLE.
- STORMWATER RUNOFF FROM ROOF DRAINS MAY NOT BE TIED INTO THE SANITARY SEWER CONNECTION.
- ALL CONSTRUCTION IN THE PUBLIC R.O.W. MUST BE IN ACCORDANCE WITH THE CITY'S STANDARD DETAILS AVAILABLE AT [HTTPS://WWW.PROVIDENCERI.GOV/PUBLIC-WORKS/FORMS/](https://www.providenceri.gov/public-works/forms/) UNDER "REPORTS + PUBLICATIONS" OR AT [HTTPS://WWW.PROVIDENCERI.GOV/WP-CONTENT/UPLOADS/2019/06/PROVIDENCE-DPW-STANDARD-DETAILS.PDF](https://www.providenceri.gov/wp-content/uploads/2019/06/PROVIDENCE-DPW-STANDARD-DETAILS.PDF)



THIS PLAN DOES NOT GUARANTEE THE EXISTENCE OR NON-EXISTENCE OF UNDERGROUND UTILITIES. THE LOCATION OF EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND MAY NOT BE ACCURATE. THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY "DIGSAFE" AT 1-888-344-7233.

**SURVEY CLASSIFICATION:**

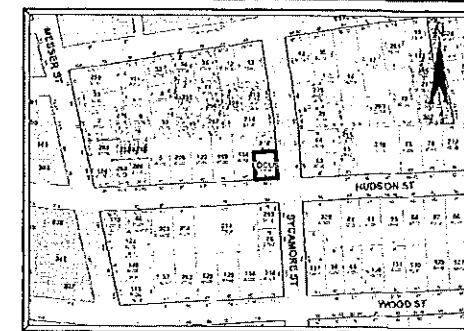
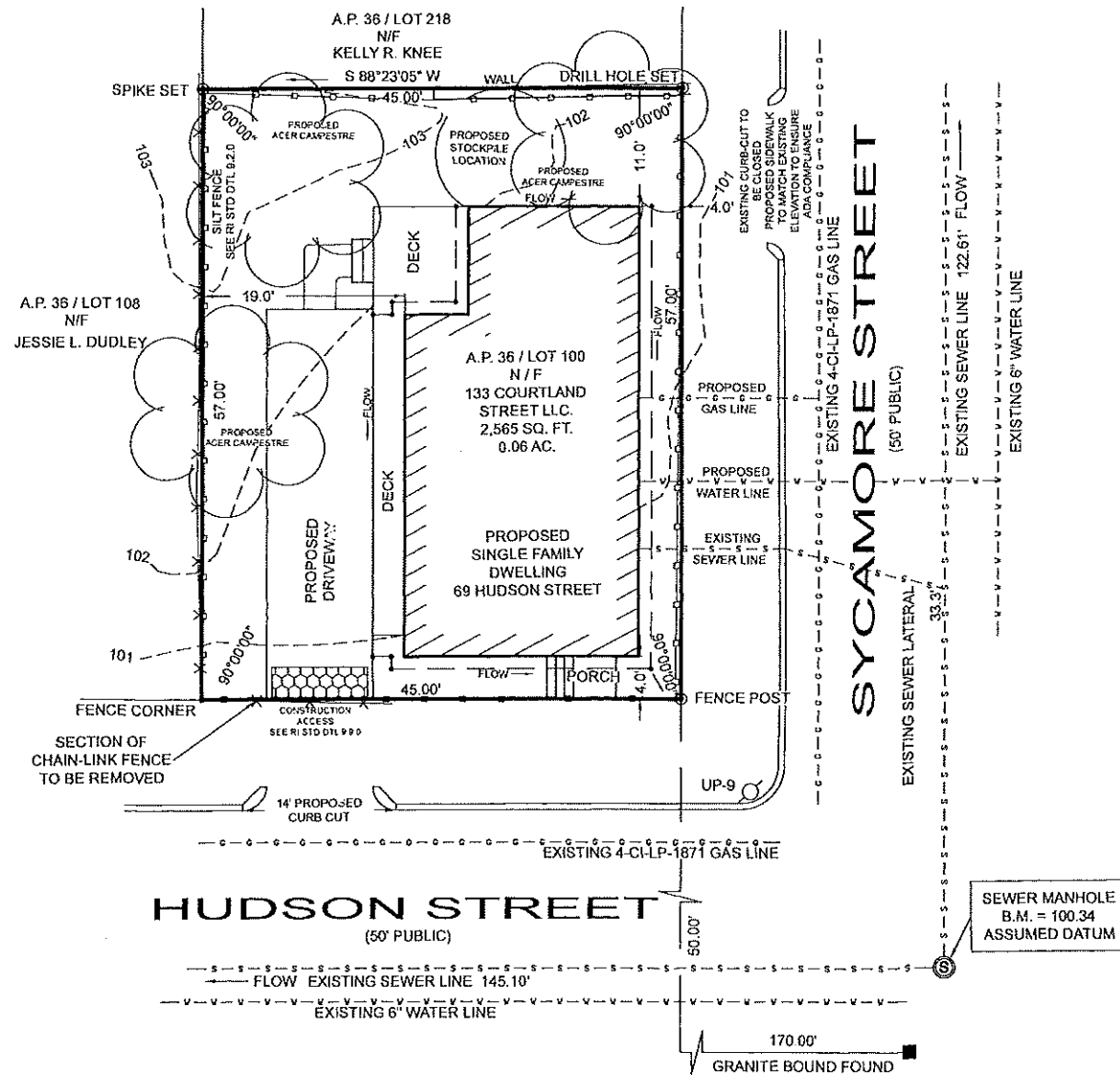
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY:	MEASUREMENT SPECIFICATION:
LIMITED CONTENT BOUNDARY SURVEY	CLASS I
DATA ACCUMULATION SURVEY	CLASS III

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:  
TO ESTABLISH AND STAKE RECORD BOUNDARY LINES FOR PROPOSED SINGLE FAMILY DWELLING.

BY: *[Signature]* DATE: 7/21/23  
RICHARD T. BZYRA, PLS. LICENSE #1768; COA # LS-460

THE FOLLOWING TYPES OF EVIDENCE WERE USED TO CONSTRUCT THIS SURVEY: RECORDED FOUND MONUMENTS IF ANY, NON RECORDED MONUMENTS, LINES OF POSSESSION, AND OTHER EVIDENCE RELATIVE TO THE DEED OR PLAT. THE BOUNDARY SOLUTION IS THE COMPILATION OF INFORMATION TO DETERMINE THE MOST PROBABLE LOCATION OF THE SURVEYED PARCEL.



**LOCUS MAP**  
NOT TO SCALE

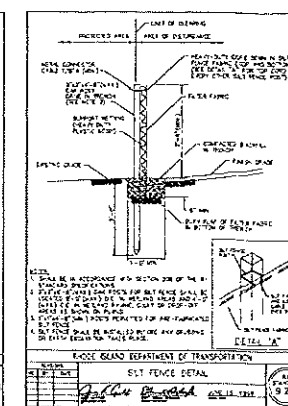
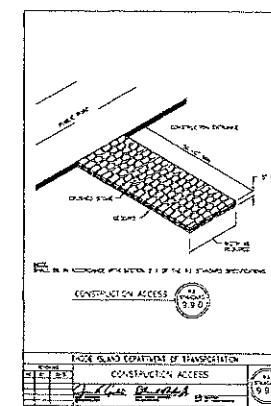
**ZONING DISTRICT R-3**

MINIMUM LOT AREA:	NONE
MINIMUM LOT FRONTAGE:	NONE
MINIMUM SETBACKS: FRONT:	AVERAGE ALIGNMENT
SIDE:	6 FT.
CORNER SIDE: AVERAGE ALIGNMENT	
REAR:	14.25 FT.
MAXIMUM IMPERVIOUS SURFACE COVERAGE:	65%
PROPOSED IMPERVIOUS SURFACE COVERAGE:	57%
MAXIMUM REAR IMPERVIOUS SURFACE COVERAGE:	50%
PROPOSED REAR IMPERVIOUS SURFACE COVERAGE:	48%
MAXIMUM FRONT IMPERVIOUS SURFACE COVERAGE:	33%
PROPOSED FRONT IMPERVIOUS SURFACE COVERAGE:	25%
ARTICLE 15-1 TREE CANOPY COVERAGE:	30%
PROPOSED TREE CANOPY COVERAGE:	36%

**AVERAGE ALIGNMENT BY STREET**

**HUDSON STREET:**  
LOT 120 / #79 = 3.5'  
LOT 109 / #77 = 3.5'  
LOT 108 / #73 = 6.6'  
TOTAL 13.6' / 3 = 4.5'

**SYCAMORE STREET:**  
LOT 218 / #81 = 4.2'  
LOT 214 / #77 = 0'  
TOTAL 4.2' / 2 = 4.2'  
4' + 5' = 9'



**DIMENSIONAL CONFORMANCE SURVEY**  
**LAND DEVELOPMENT PLAN**

**OWNER (N/F):**  
DANIEL HORNBY  
133 COURTLAND STREET  
PROVIDENCE, R.I. 02909  
PHONE: (401) 488-2210  
EMAIL: dan@elmrealestatedesign.com

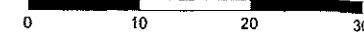
A.P. 36 / LOT 100  
69 HUDSON STREET  
PROVIDENCE  
SCALE: 1"=10' DATE: JULY 17, 2023

PREPARED FOR:  
**133 COURTLAND STREET, LLC.**  
C/O 133 COURTLAND STREET  
PROVIDENCE, R.I. 02909

PREPARED BY:  
**OCEAN STATE PLANNERS, INC.**  
1255 OAKLAWN AVENUE, CRANSTON, R.I. 02920  
PHONE: (401) 463-9696 info@osplanners.com

JOB NO. 9594 / DWG. NO. 9594 - (ZTDS)

GRAPHIC SCALE: 1" = 10'



1  
R100

VIEW FROM HUDSON STREET  
1/4" = 1'-0"



81 HUDSON

77 HUDSON

73 HUDSON

69 HUDSON



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OFFICE@NDD.EMAIL

**HUDSON**  
RESIDENCE  
69 HUDSON STREET  
PROVIDENCE, RI 02909

**AREA SUMMARY**

AREA	GSF
<b>LIVABLE SPACE</b>	
FIRST FLOOR	664
SECOND FLOOR	704
TOTAL	1,558
<b>OTHER SPACES</b>	
COVERED PORCH	55
BASEMENT	664
DECK	69

1  
R100

VIEW FROM SYCAMORE STREET  
1/4" = 1'-0"



69 HUDSON

81 SYCAMORE

77 SYCAMORE

**GENERAL NOTES**

- + ALL EXTERIOR WALLS ARE NOMINAL 2x6 @ 16" O/C UNLESS OTHERWISE NOTED
- + ALL INTERIOR WALLS ARE NOMINAL 2x4 @ 16" O/C UNLESS OTHERWISE NOTED
- + INTERIOR WALL BETWEEN GARAGE AND BUILDING IS NOMINAL 2x6 @ 16" O/C
- + DIMENSIONS TO EXTERIOR WALLS ARE TO FACE OF FRAMING OR EXTERIOR FACE OF FOUNDATION WALL
- + DIMENSIONS TO INTERIOR WALLS ARE TO CENTER OF WALL FRAMING

USE OF THESE DRAWINGS CONSTITUTES AN AGREEMENT NOT TO HOLD NATIONAL DESIGN & DRAFTING LIABLE FOR PROBLEMS WHICH MAY ARISE BEFORE, DURING OR AFTER CONSTRUCTION. THE OWNER, GENERAL CONTRACTOR AND SUBCONTRACTORS MUST ENSURE THAT THE INFORMATION CONTAINED IN THESE DRAWINGS, AND THE WORK COMPLETED, MEETS ALL APPLICABLE CODES AND REGULATIONS.

**R100**

DESIGN PLANS

07/17/2023

760917 | R.R. | 24x18 | 10



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OFFICE@NDDMAIL

**HUDSON  
RESIDENCE**  
69 HUDSON STREET  
PROVIDENCE, RI 02909

# HUDSON

## NEW SINGLE FAMILY RESIDENCE

AREA SUMMARY	
AREA	GSF
LIVABLE SPACE	
FIRST FLOOR	854
SECOND FLOOR	704
TOTAL	1,558
OTHER SPACES	
COVERED PORCH	69
BASEMENT	854
DECK	69

### Building Code Summary

State Building Code SBC-2 Rhode Island One and Two Family Dwelling Code	International Residential Code	R301.2(2) Seismic Design None	R301.2(4) Wind Design Speed 110 MPH	R301.5 Uninhab. Attic Live Load 20 PSF	R301.5 Guard/Handrail Live Load 200 PSF	R301.5 Stair Live Load 40 PSF	R302.5.1 Min. Garage Door Rating 20 Minute
International Residential Code for One- and Two-Family Dwellings, 2015 Edition	International Residential Code for One- and Two-Family Dwellings, 2015 Edition	R301.2(3) Weathering Severe	R301.2(5) Ground Snow Load 30 PSF	R301.5 Habitable Attic Live Load 30 PSF	R301.5 Habitable Room Live Load 40 PSF	R301.5 Sleeping Room Live Load 40 PSF	R302.5.1 Garage Separation 1/2'
		R301.2(6) Termite Infestation Moderate/Heavy	R301.2(6) Termite Infestation Moderate/Heavy	R301.5 Balcony/Deck Live Load 40 PSF	R308.4.1 Glazing in Windows (see below)	R310.1.1 Minimum opening area 4.4 SF (Net)	R310.1.2 Min. opening dims 24"x20"
R302.5.1 Garage Separation 5/8" Type X From all habitable rooms above the Garage.	R305.1 Minimum Height 7'-6" (50% of rm.) R305.1 Exception 1 For rooms with sloped ceilings 50% of floor area must have a ceiling height of at least 7'-0" and none of the floor area may have a ceiling height of less than 5'-0".	R305.1 Exception 2 Bathrooms shall have a minimum ceiling height of 6'-8" inches. A shower or tub equipped with a showerhead shall have a minimum ceiling height of 6'-8".	R305.1.1 Basements 6'-8" R305.1.1 Exception 1 Beams, girders, ducts or other obstructions may project to within 6'-4" of the finished floor.	R307.1 Space Required at Toilet 15" from side R307.1 Space Required at Toilet 21" from front R307.1 Space Required at Vanity 21" from front	R307.1 Minimum Shower Size 30" x 30" R307.1 Space Req. at Shower 24" at opening	R310.1.1 Minimum opening area 4.4 SF (Net) Exception 1 5.0 SF (Net) at grade floor. Exception 2 3.3 SF at double-hung window	R310.1.2 Min. opening dims 24"x20"
R311.2 Egress Doors Required 2	R311.2.1 Min. Interior Door Dims. 30" x 6'-6"	R311.6 Minimum Hallway Width 36"	R311.7.5.1 Max. Riser Height 8 1/4"	R312.1.1 Where Required 30" (height diff.) R312.1.2 Minimum Height 36"	R312.1.2 Exception 2 34" - 38" when used as handrail. R312.1.3 Maximum Opening 4" sphere	R314.3 Smoke Alarm Location (see below) Shall be installed... 1. In each bedroom. 2. Outside each sleeping area. 3. On each story, including basements and habitable attics. 4. at base of stairs. 5. For ea. 1,200 SF area.	R315.1 Location (see below) Shall be installed... 1. In any attached Garage. 2. Garage attached to existing. R314.5.1 Heat Det. Placement center in space
R311.2 Egress Door Width 32" (clear)	R311.2.1 Min. Bath Door Dims. 28" x 6'-6"	R311.7.1 Minimum Stair Width 36"	R311.7.5.2 Min. Tread Depth 9"	R312.1.2 Exception 1 34" at open sides of stairs.		R314.5 Heat Detector Location (see below) Shall be installed... 1. In any attached Garage. 2. Garage attached to existing. R314.5.1 Heat Det. Placement center in space	R315.1 Location (see below) Shall be installed... 1. On each story, including basements and cellars. 2. Within 10' of a bedroom door when on floor with bedrooms.
R311.2 Egress Door Height 78"	R311.3 Min. Egress Landing Width 36" (both sides)	R311.7.2 Min. Stair Headroom 6'-8"	R311.7.8.1 Handrail Height 34" - 38"	R403.1.6 Foundation Anchorage 7" embedment R403.1.6 Foundation Anchorage min. 2 per plate R403.1.6 Foundation Anchorage max. 12" from end	R403.3(1) Min. Footing Depth 12" R403.3(2) Air-Freezing Index 1,500	R806.2 Minimum Vent Area 1/150 R806.3 Min. Vent/Insul. Clearance 1"	
R401.3 Minimum Drainage Slope 6" in first 10'	R402.2 Min. Concrete Strength 2,500 PSI BSM walls, fDNs and other not exposed to weather. R402.2 Min. Concrete Strength 2,500 PSI Basement slabs and interior slabs on grade, except garage.	R402.2 Min. Concrete Strength 3,000 PSI Basement walls, foundations and other exposed to weather. R402.2 Min. Concrete Strength 3,000 PSI Porches, steps, garage flr and other exposed to weather.	R403.1.1 Min. Footing Width 12" R403.1.3.2 Slab w/ Footing Reinf. 1#4 top + bot. R403.1.6 Foundation Anchorage 1/2" @ 48" O.C.			R807.1 Min. Attic Access 22" x 30"	

DRAWING LIST	
SHEET	TITLE
G000	COVER CODE SUMMARY
S100	FOUNDATION PLAN
A100	BASEMENT FLOOR PLAN
A101	FIRST FLOOR PLAN
A102	SECOND FLOOR PLAN
A103	ROOF PLAN
A200	FRONT / LEFT ELEVATION
A201	REAR / RIGHT ELEVATION
A301	SECTION & DETAILS

LEGEND	
(SC)	SMOKE/CO DETECTOR
(CO)	CO DETECTOR
(SD)	SMOKE DETECTOR
(HD)	HEAT DETECTOR
(EF)	EXHAUST FAN
■	INSULATED 2x6 WALL
■	2x4 WALL
■	SHELF / COUNTER
---	EXISTING TO REMAIN
ID###	INTERIOR DOOR
XD###	EXTERIOR DOOR
SD###	SLIDING DOOR
PD###	POCKET DOOR
GD###	GARAGE DOOR
CO###	CASED OPENING
DH###	DBL HUNG WIN
###	DIM IN FEET/INCHES (2668 = 2'-6" x 6'-8")

### GENERAL NOTES

- + ALL EXTERIOR WALLS ARE NOMINAL 2x6 @ 16" O/C UNLESS OTHERWISE NOTED
- + ALL INTERIOR WALLS ARE NOMINAL 2x4 @ 16" O/C UNLESS OTHERWISE NOTED
- + INTERIOR WALL BETWEEN GARAGE AND BUILDING IS NOMINAL 2x6 @ 16" O/C
- + DIMENSIONS TO EXTERIOR WALLS ARE TO FACE OF FRAMING OR EXTERIOR FACE OF FOUNDATION WALL
- + DIMENSIONS TO INTERIOR WALLS ARE TO CENTER OF WALL FRAMING

### Energy Code Summary

Energy Code SBC-8 Rhode Island State Energy Conservation Code	International Energy Code International Energy Conservation Code, 2015 Edition	R301.1 Climate Zone 5	R402.1.1 Max. Window U-Factor 0.32 R402.1.1 Max. Skylight U-Factor 0.55 R402.1.1 Max. Glazing SHGC NR	R402.1.1 Min. Ceiling R-Value 49 R402.1.1 Min. Wood Wall R-Value 20 or 13+5 R402.1.1 Min. Floor R-Value 30	R402.1.1 Min. Bsm't Wall R-Value 15/19 R402.1.1 Min. Slab R-Value/Depth 10, 2'-0" R402.1.1 Min. Crawl Space R-Value 15/19
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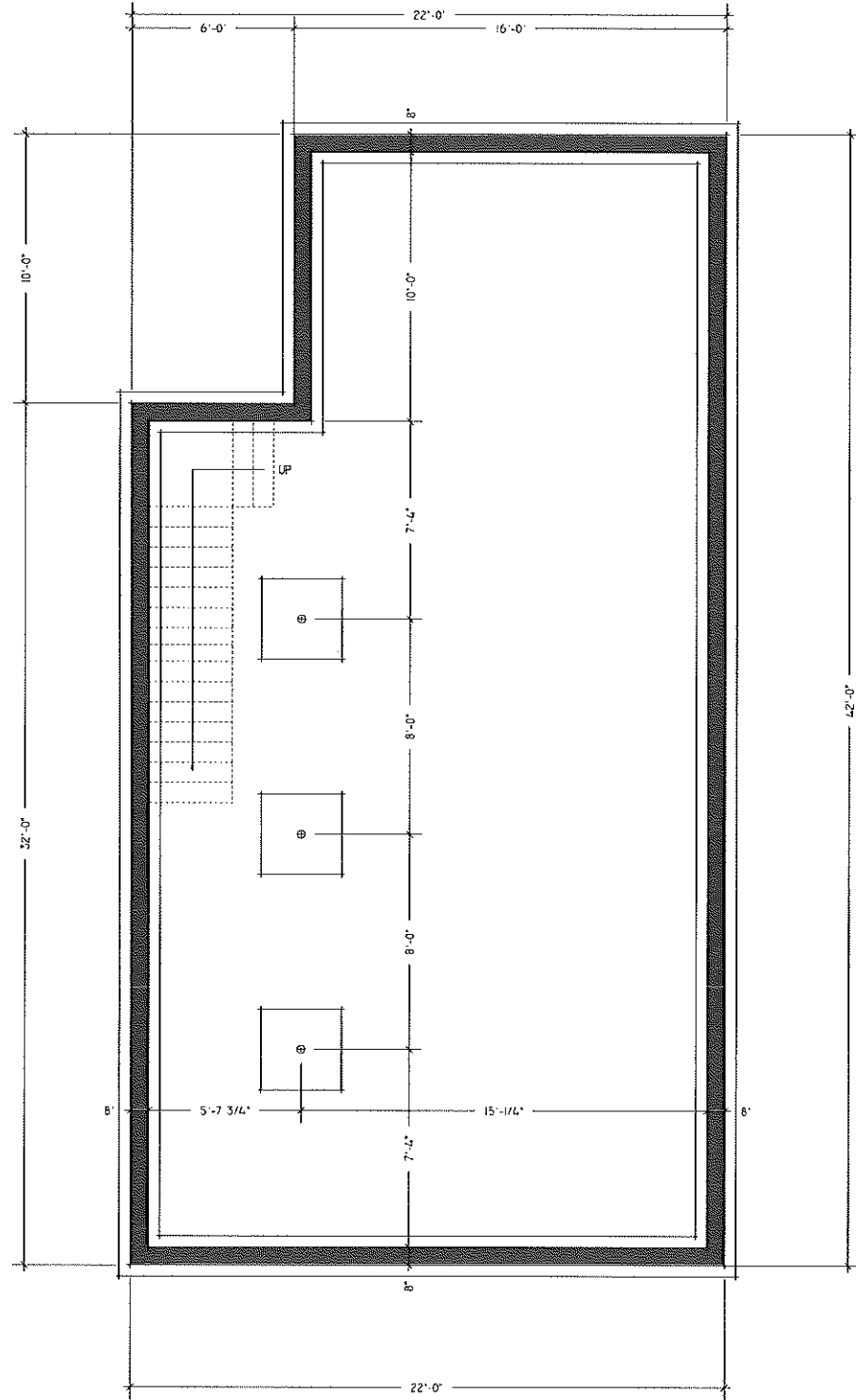
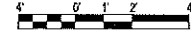
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# G000

DESIGN PLANS

07/12/2023

**1 BASEMENT PLAN**  
S100 1/4" = 1'-0"



**COLUMN CONSTRUCTION**  
 - PT 6-6 POST WITH GALVANIZED POST ANCHOR CAST INTO CONCRETE FOOTING  
 - 18" DIAMETER CONCRETE FOOTING WITH 35" BELL FOOTING BASE  
 - FOOTING MINIMUM 4'-0" BELOW GRADE  
 - MINIMUM 3000 PSI AIR-ENTRAINED  
 - FOOTING ON UNDISTURBED SOIL  
 - STEEL REINFORCING AS REQUIRED BY CODE  
 - REFER TO PLANS FOR EXACT LOCATIONS

**FOUNDATION DETAILS**  
 - FLOOR FRAMING, REFER TO FRAMING PLANS  
 - (2) P.T. 2x6 SILL PLATE  
 - FOAM SILL SEALER  
 - 1/2" DIAM. ANCHOR BOLT @ 32" O.C., MAX. 12" FROM CORNER  
 - 8" CAST-IN-PLACE CONCRETE WALL  
 - (1) #4 VERTICAL REBAR @ 18" O.C.  
 - (3) #4 HORIZONTAL REBAR @ 18" O.C.  
 - MAINTAIN 1" CLEAR FROM VERTICAL AND HORIZONTAL REBAR  
 - 10" x 20" CAST-IN-PLACE CONCRETE FOOTING  
 - (1) #4 VERTICAL REBAR DOWELS @ 48" O.C. BETWEEN FOOTING AT WALL, UP MINIMUM 35" RT O FOUNDATION WALL  
 - (3) #4 CONTINUOUS HORIZONTAL REBAR AT FOOTING, MIN. 3" FROM EDGE  
 - (1) #4 HORIZONTAL REBAR @ 12" O.C.  
 - (2) #4 HORIZONTAL REBAR @ 12" O.C. AT CORNER, MIN. 24" IN FROM CORNER ON EXTERIOR REBAR, MIN. 12" IN FROM CORNER AT INTERIOR REBAR



**NATIONAL**  
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(401) 714-2555  
OFFICE@NDD.EMAIL

**HUDSON**  
RESIDENCE  
69 HUDSON STREET  
PROVIDENCE, RI 02909

**AREA SUMMARY**

AREA	G.S.F.
<b>LIVABLE SPACE</b>	
FIRST FLOOR	934
SECOND FLOOR	704
TOTAL	1,568
<b>OTHER SPACES</b>	
COVERED PORCH	95
BASEMENT	854
DECK	89

**GENERAL NOTES**

- + ALL EXTERIOR WALLS ARE NOMINAL 2x8 @ 16" O/C UNLESS OTHERWISE NOTED
- + ALL INTERIOR WALLS ARE NOMINAL 2x4 @ 16" O/C UNLESS OTHERWISE NOTED
- + INTERIOR WALL BETWEEN GARAGE AND BUILDING IS NOMINAL 2x6 @ 16" O/C
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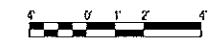
**S100**

DESIGN PLANS

07/12/2023

765917	KR	24x18	02
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**1**  
A100  
BASEMENT PLAN  
1/4" = 1'-0"



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(401) 714-2585  
OFFICE@NDD.EMAIL

**HUDSON**  
RESIDENCE  
69 HUDSON STREET  
PROVIDENCE, RI 02909

AREA SUMMARY	
AREA	GSF
<b>LIVABLE SPACE</b>	
FIRST FLOOR	654
SECOND FLOOR	704
TOTAL	1,358
<b>OTHER SPACES</b>	
COVERED PORCH	56
BASEMENT	664
DECK	89

**GENERAL NOTES**

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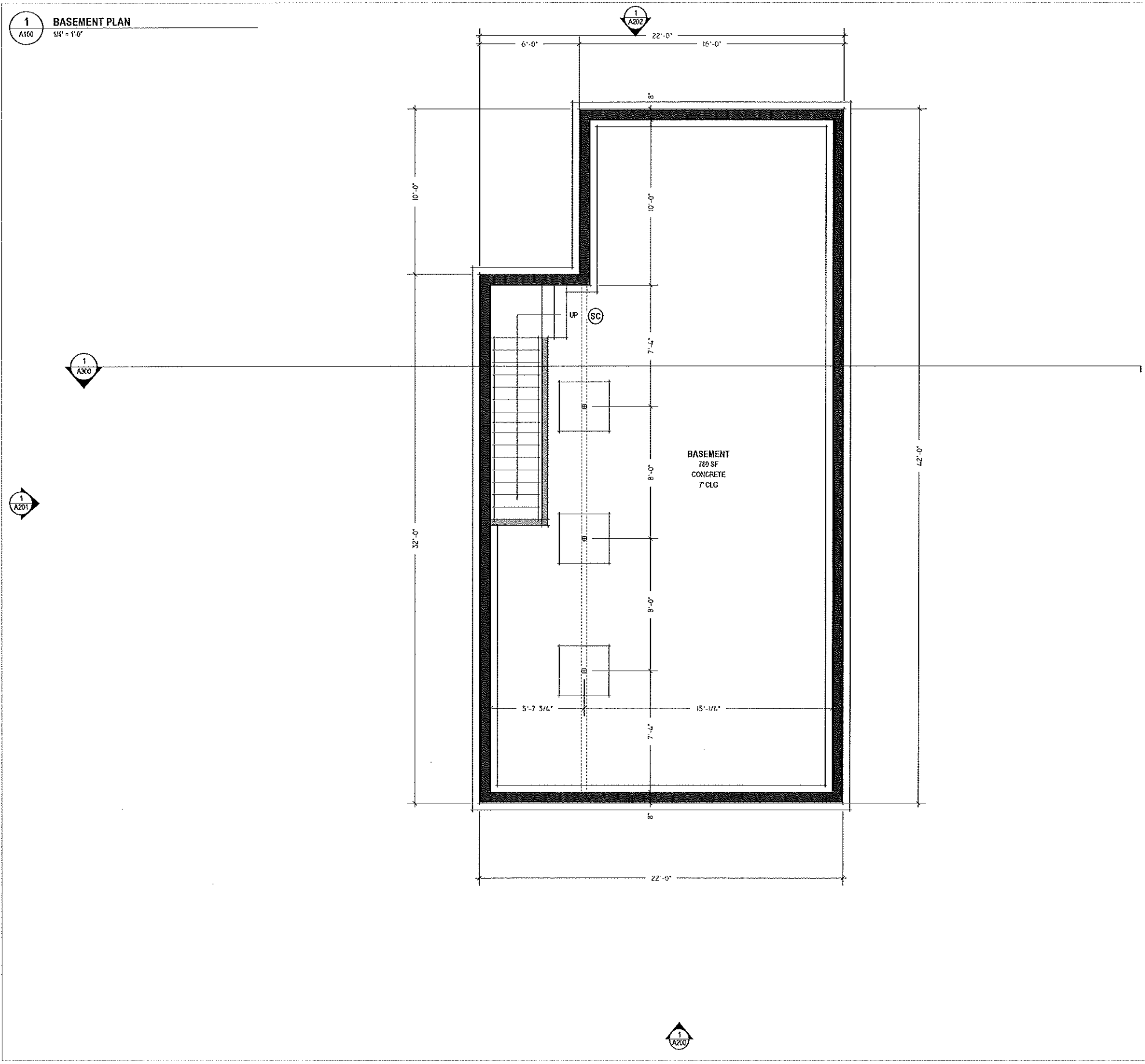
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**A100**

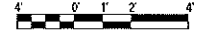
DESIGN PLANS

07/12/2023

7/23/17	KR	24/18	03
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**1**  
A101  
FIRST FLOOR PLAN  
1/4" = 1'-0"



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(401) 714-2588  
OFFICE@HDD.EMAIL

**HUDSON**  
RESIDENCE  
69 HUDSON STREET  
PROVIDENCE, RI 02909

AREA SUMMARY	
AREA	GSP
LIVABLE SPACE	
FIRST FLOOR	854
SECOND FLOOR	704
TOTAL	1,558
OTHER SPACES	
COVERED PORCH	95
BASEMENT	554
DECK	69

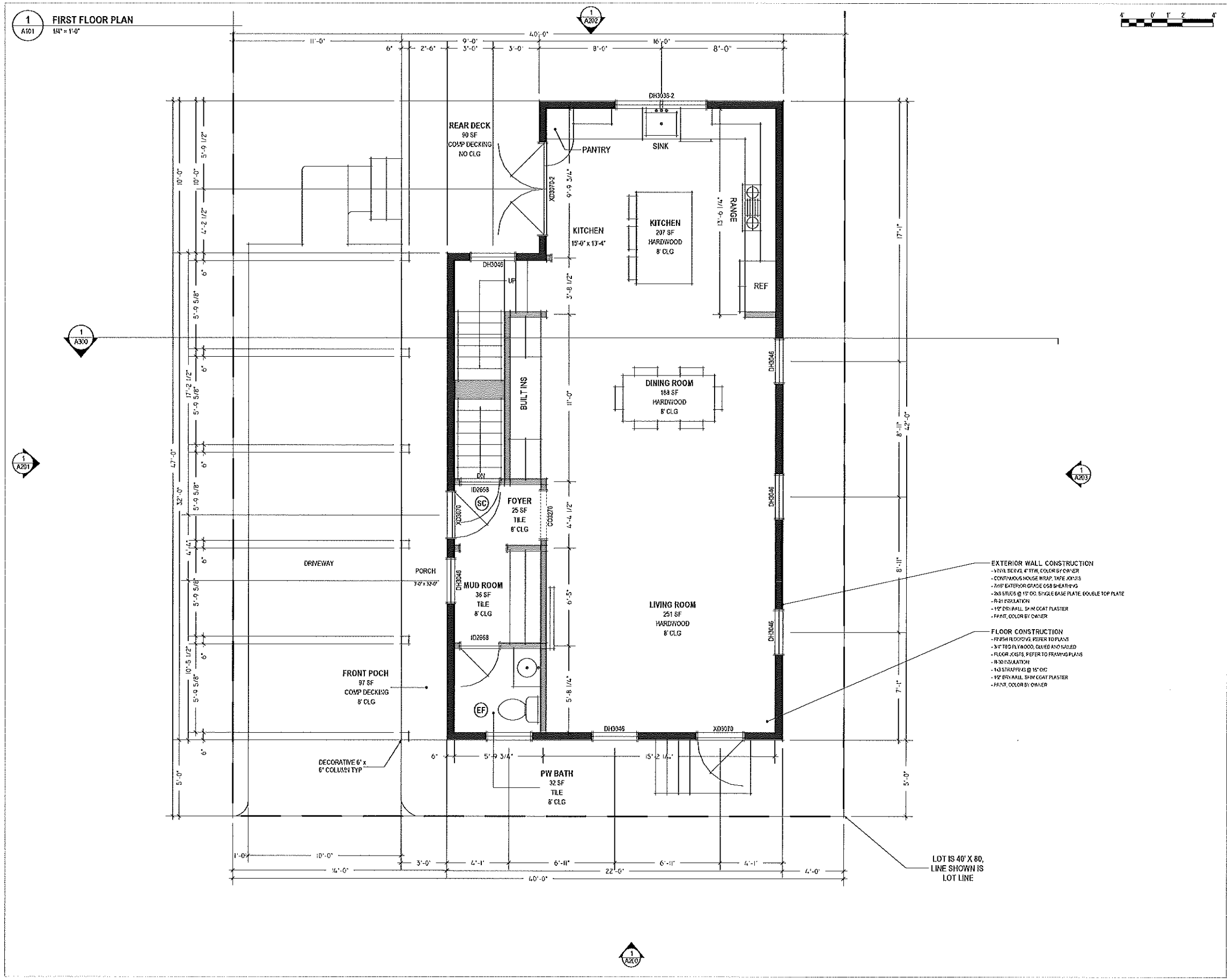
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- + DIMENSIONS TO INTERIOR WALLS ARE TO CENTER OF WALL FRAMING

- EXTERIOR WALL CONSTRUCTION**
- VINYL Siding 4" TYP. COLOR BY OWNER
  - CONTINUOUS HOUSE WRAP TAPE JOINTS
  - 7/16" EXTERIOR GRADE OSB SHEATHING
  - 2x6 STUDS @ 16" O/C SINGLE BASE PLATE DOUBLE TOP PLATE
  - R-13 INSULATION
  - 1/2" ENVMALL SHIM COAT PLASTER
  - PAINT, COLOR BY OWNER

- FLOOR CONSTRUCTION**
- FINISH FLOORING REFER TO PLANS
  - 3/4" T&G PLYWOOD, GRADED AND NAILED
  - FLOOR JOISTS, REFER TO FRAMING PLANS
  - R-30 INSULATION
  - 1-1/2" STRAPPIES @ 16" O/C
  - 1/2" ENVMALL SHIM COAT PLASTER
  - PAINT, COLOR BY OWNER

LOT IS 40' X 80,  
LINE SHOWN IS  
LOT LINE



**A101**

DESIGN PLANS

07/12/2023

767517 FR 24x18 04



**1** SECOND FLOOR PLAN  
A102 1/4" = 1'-0"



**NATIONAL**  
DESIGN & DRAFTING  
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OFFICE@NDD.EMAIL

**HUDSON**  
RESIDENCE  
69 HUDSON STREET  
PROVIDENCE, RI 02909

**AREA SUMMARY**

AREA	GSF
LIVABLE SPACE	
FIRST FLOOR	554
SECOND FLOOR	704
TOTAL	1,558
OTHER SPACES	
COVERED PORCH	96
BASEMENT	554
DECK	89

**GENERAL NOTES**

- + ALL EXTERIOR WALLS ARE NOMINAL 2x6 @ 16" O/C UNLESS OTHERWISE NOTED
- + ALL INTERIOR WALLS ARE NOMINAL 2x4 @ 16" O/C UNLESS OTHERWISE NOTED
- + INTERIOR WALL BETWEEN GARAGE AND BUILDING IS NOMINAL 2x6 @ 16" O/C
- + DIMENSIONS TO EXTERIOR WALLS ARE TO FACE OF FRAMING OR EXTERIOR FACE OF FOUNDATION WALL
- + DIMENSIONS TO INTERIOR WALLS ARE TO CENTER OF WALL FRAMING

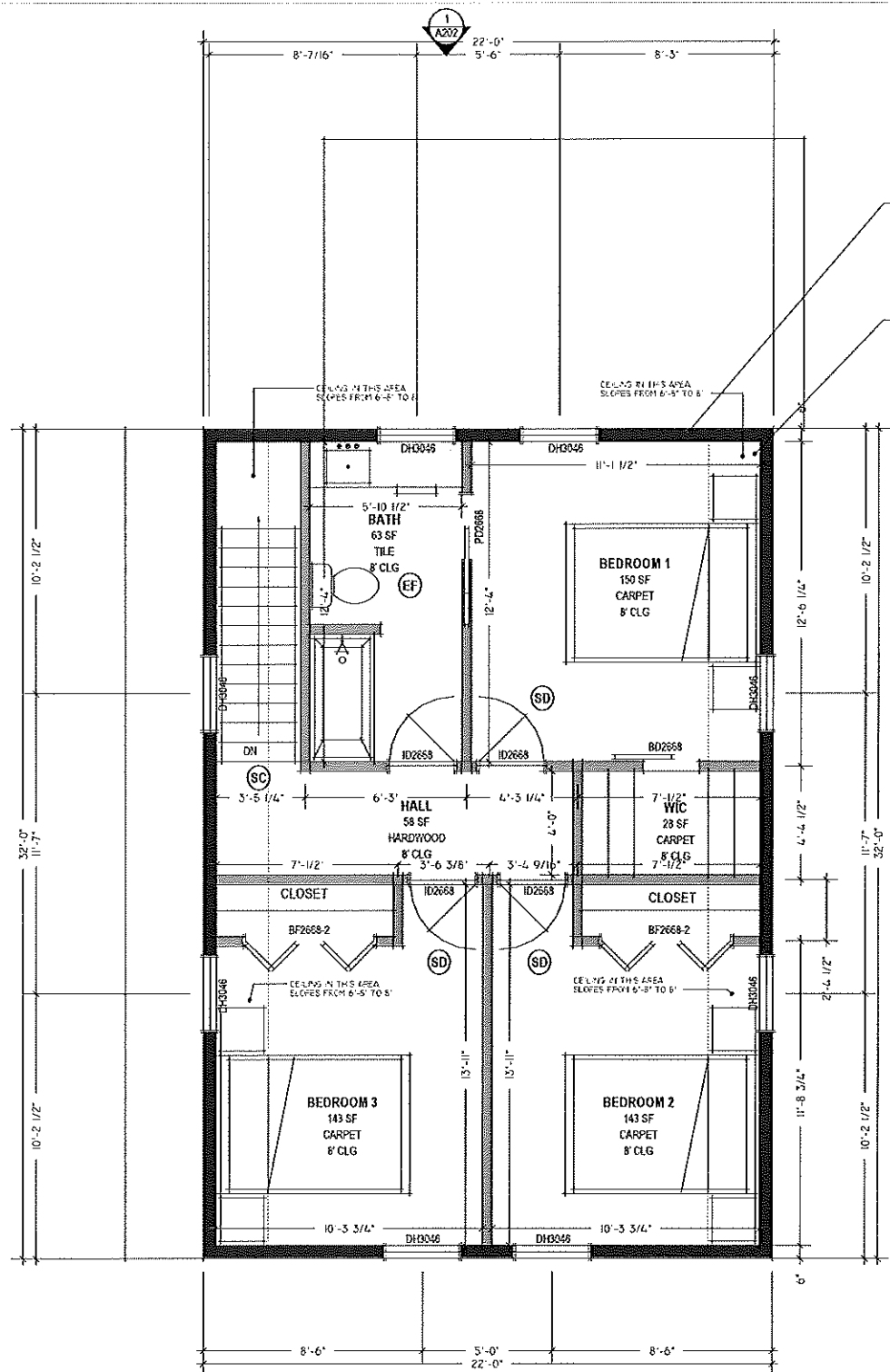
USE OF THESE DRAWINGS CONSTITUTES AN AGREEMENT NOT TO HOLD NATIONAL DESIGN & DRAFTING LIABLE FOR PROBLEMS WHICH MAY ARISE BEFORE, DURING OR AFTER CONSTRUCTION. THE OWNER, GENERAL CONTRACTOR AND SUBCONTRACTORS MUST ENSURE THAT THE INFORMATION CONTAINED IN THESE DRAWINGS, AND THE WORK COMPLETED, MEETS ALL APPLICABLE CODES AND REGULATIONS.

**A102**

DESIGN PLANS

07/12/2023

769517 R.R. 24/15 65



- EXTERIOR WALL CONSTRUCTION**
- VINYL SIDING 4" THK, COLOR BY OWNER
  - CONTINUOUS HOUSE WRAP, TAPE JOINTS
  - 1/2" EXTERIOR GYPSUM SHEATHING
  - 2x6 STUDS @ 16" O/C, SINGLE BASE PLATE, DOUBLE TOP PLATE
  - R-13 INSULATION
  - 1/2" DRYWALL, SAND COAT PLASTER
  - PAINT, COLOR BY OWNER
- FLOOR CONSTRUCTION**
- FRESH FLOORING, REFER TO FRAMING
  - 3/4" T&G PLYWOOD, GLEUED AND NILED
  - FLOOR JOISTS, REFER TO FRAMING PLANS
  - R-13 INSULATION
  - 1x4 STRAPPING @ 16" O/C
  - 1/2" DRYWALL, SAND COAT PLASTER
  - PAINT, COLOR BY OWNER



1  
A103

SECOND FLOOR PLAN

1/8" = 1'-0"



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69 HUDSON STREET  
PROVIDENCE, RI 02909

**AREA SUMMARY**

AREA	GSF
<b>LIVABLE SPACE</b>	
FIRST FLOOR	884
SECOND FLOOR	704
<b>TOTAL</b>	<b>1,588</b>
<b>OTHER SPACES</b>	
COVERED PORCH	96
BASEMENT	864
DECK	69

**GENERAL NOTES**

- + ALL EXTERIOR WALLS ARE NOMINAL 2x6 @ 16" O/C UNLESS OTHERWISE NOTED
- + ALL INTERIOR WALLS ARE NOMINAL 2x4 @ 16" O/C UNLESS OTHERWISE NOTED
- + INTERIOR WALL BETWEEN GARAGE AND BUILDING IS NOMINAL 2x6 @ 16" O/C
- + DIMENSIONS TO EXTERIOR WALLS ARE TO FACE OF FRAMING OR EXTERIOR FACE OF FOUNDATION WALL
- + DIMENSIONS TO INTERIOR WALLS ARE TO CENTER OF WALL FRAMING

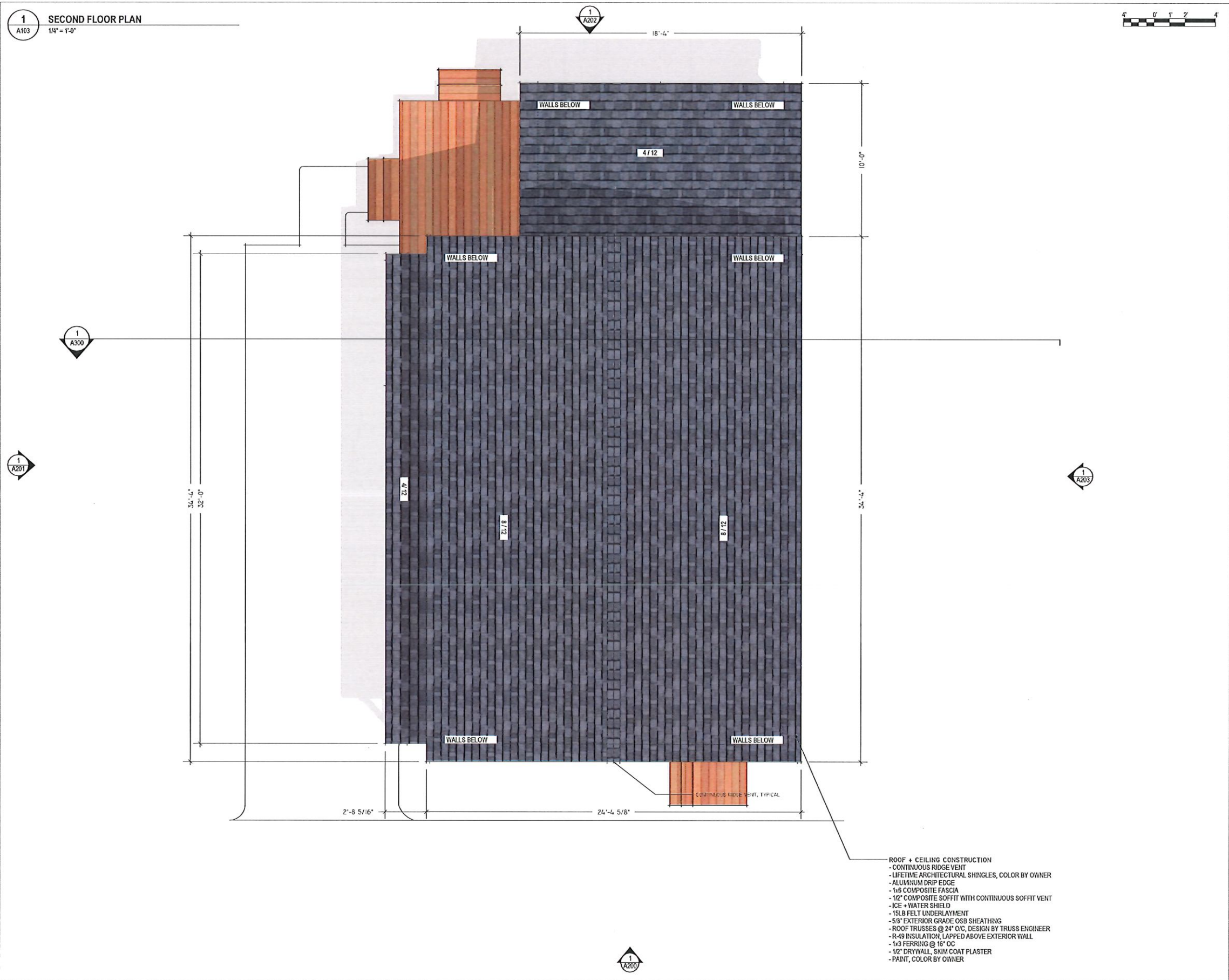
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**A103**

**DESIGN PLANS**

07/12/2023

760917 KR 24x18 CG



**1 FRONT ELEVATION**  
A200 1/4" = 1'-0"



TOP OF ROOF  
24" - 6" ABOVE  
FOUNDATION

CEILING HEIGHT  
8'-0" CEILING

TOP OF WINDOW  
ROUGH OPENING  
7'-0" ABOVE FLOOR

TOP OF FLOOR  
COORDINATE DEPTH  
WITH FRAMING PLANS

CEILING HEIGHT  
8'-0" CEILING

TOP OF WINDOW  
ROUGH OPENING  
7'-0" ABOVE FLOOR

TOP OF FLOOR  
COORDINATE DEPTH  
WITH FRAMING PLANS

TOP OF FOUNDATION  
MAINTAIN 12" FROM  
GRADE



**1 LEFT ELEVATION**  
A200 1/4" = 1'-0"

TOP OF ROOF  
24" - 6" ABOVE  
FOUNDATION

CEILING HEIGHT  
8'-0" CEILING

TOP OF WINDOW  
ROUGH OPENING  
7'-0" ABOVE FLOOR

TOP OF FLOOR  
COORDINATE DEPTH  
WITH FRAMING PLANS

CEILING HEIGHT  
8'-0" CEILING

TOP OF WINDOW  
ROUGH OPENING  
7'-0" ABOVE FLOOR

TOP OF FLOOR  
COORDINATE DEPTH  
WITH FRAMING PLANS

TOP OF FOUNDATION  
MAINTAIN 12" FROM  
GRADE



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**HUDSON  
RESIDENCE**  
69 HUDSON STREET  
PROVIDENCE, RI 02909

**AREA SUMMARY**

AREA	GSF
<b>LIVABLE SPACE</b>	
FIRST FLOOR	884
SECOND FLOOR	704
TOTAL	1,588
<b>OTHER SPACES</b>	
COVERED PORCH	96
BASEMENT	884
DECK	69

**GENERAL NOTES**

- + ALL EXTERIOR WALLS ARE NOMINAL 2x8 @ 16" O/C UNLESS OTHERWISE NOTED
- + ALL INTERIOR WALLS ARE NOMINAL 2x4 @ 16" O/C UNLESS OTHERWISE NOTED
- + INTERIOR WALL BETWEEN GARAGE AND BUILDING IS NOMINAL 2x8 @ 16" O/C
- + DIMENSIONS TO EXTERIOR WALLS ARE TO FACE OF FRAMING OR EXTERIOR FACE OF FOUNDATION WALL
- + DIMENSIONS TO INTERIOR WALLS ARE TO CENTER OF WALL FRAMING

USE OF THESE DRAWINGS CONSTITUTES AN AGREEMENT NOT TO HOLD NATIONAL DESIGN & DRAFTING LIABLE FOR PROBLEMS WHICH MAY ARISE BEFORE, DURING OR AFTER CONSTRUCTION. THE OWNER, GENERAL CONTRACTOR AND SUBCONTRACTORS MUST ENSURE THAT THE INFORMATION CONTAINED IN THESE DRAWINGS, AND THE WORK COMPLETED, MEETS ALL APPLICABLE CODES AND REGULATIONS.

**A200**

DESIGN PLANS

07/12/2023

760617 K.R. 24x18 07

**1 FRONT ELEVATION**

A201 1/4" = 1'-0"



TOP OF ROOF  
24'-6" ABOVE  
FOUNDATION

CEILING HEIGHT  
8'-0" CEILING

TOP OF WINDOW  
ROUGH OPENING  
7'-0" ABOVE FLOOR

TOP OF FLOOR  
COORDINATE DEPTH  
WITH FRAMING PLANS

CEILING HEIGHT  
8'-0" CEILING

TOP OF WINDOW  
ROUGH OPENING  
7'-0" ABOVE FLOOR

TOP OF FLOOR  
COORDINATE DEPTH  
WITH FRAMING PLANS

TOP OF FOUNDATION  
MAINTAIN 12" FROM  
GRADE



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**HUDSON**

RESIDENCE  
69 HUDSON STREET  
PROVIDENCE, RI 02909

**AREA SUMMARY**

AREA	GSF
<b>LIVABLE SPACE</b>	
FIRST FLOOR	864
SECOND FLOOR	704
<b>TOTAL</b>	<b>1,568</b>
<b>OTHER SPACES</b>	
COVERED PORCH	96
BASEMENT	864
DECK	69

**GENERAL NOTES**

- + ALL EXTERIOR WALLS ARE NOMINAL 2x6 @ 16" O/C UNLESS OTHERWISE NOTED
- + ALL INTERIOR WALLS ARE NOMINAL 2x4 @ 16" O/C UNLESS OTHERWISE NOTED
- + INTERIOR WALL BETWEEN GARAGE AND BUILDING IS NOMINAL 2x6 @ 16" O/C
- + DIMENSIONS TO EXTERIOR WALLS ARE TO FACE OF FRAMING OR EXTERIOR FACE OF FOUNDATION WALL
- + DIMENSIONS TO INTERIOR WALLS ARE TO CENTER OF WALL FRAMING

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**A201**

DESIGN PLANS

07/12/2023

769917 F/R 24x18 08

**1 LEFT ELEVATION**

A201 1/4" = 1'-0"

TOP OF ROOF  
24'-6" ABOVE  
FOUNDATION

CEILING HEIGHT  
8'-0" CEILING

TOP OF WINDOW  
ROUGH OPENING  
7'-0" ABOVE FLOOR

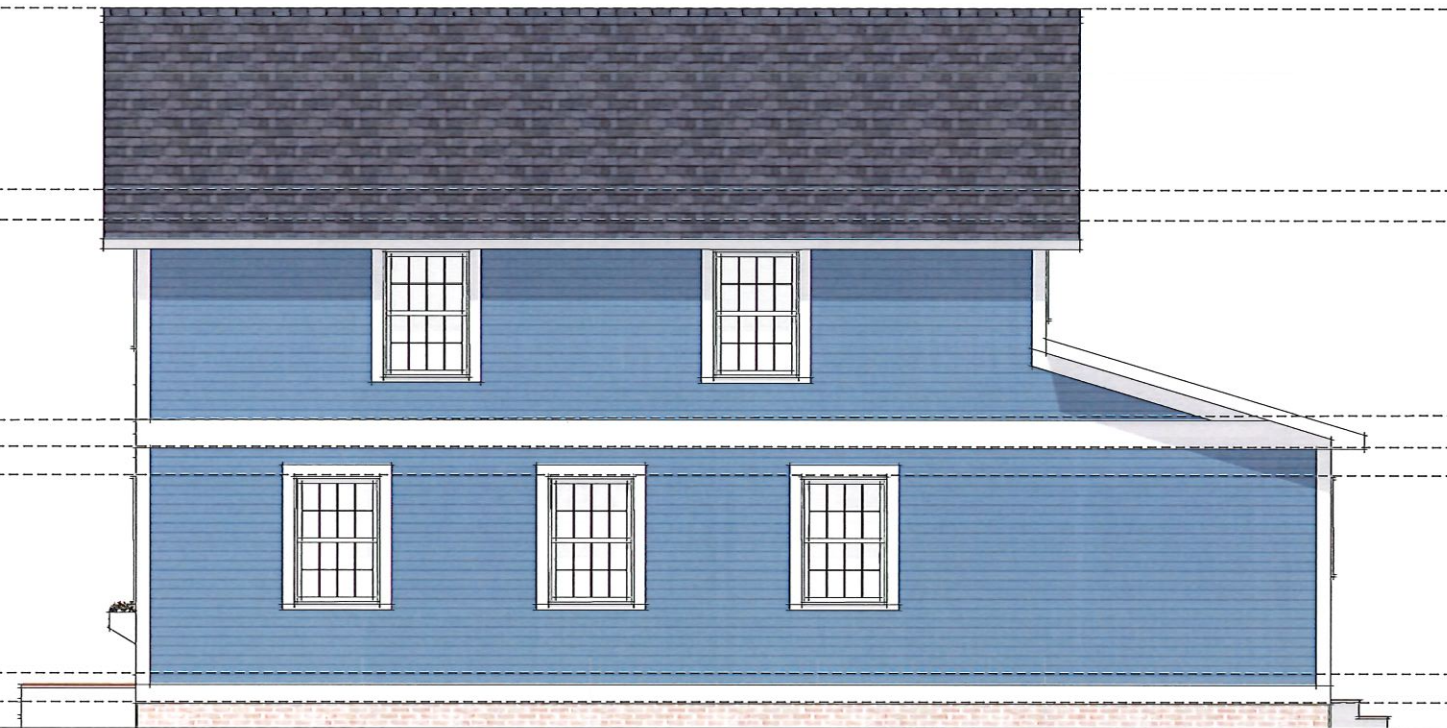
TOP OF FLOOR  
COORDINATE DEPTH  
WITH FRAMING PLANS

CEILING HEIGHT  
8'-0" CEILING

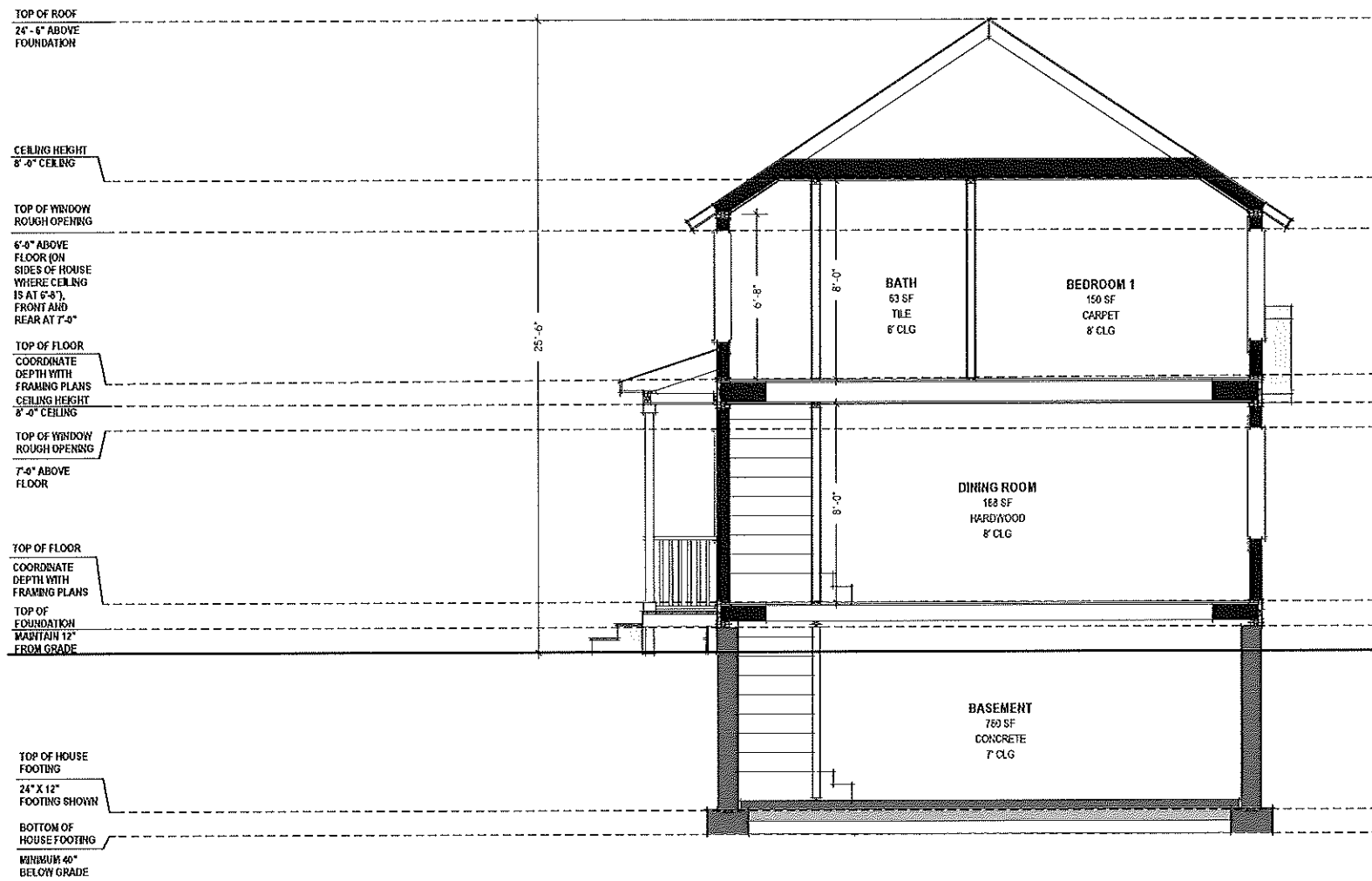
TOP OF WINDOW  
ROUGH OPENING  
7'-0" ABOVE FLOOR

TOP OF FLOOR  
COORDINATE DEPTH  
WITH FRAMING PLANS

TOP OF FOUNDATION  
MAINTAIN 12" FROM  
GRADE



**1 CROSS SECTION**  
A302  
1/4" = 1'-0"



- FRAMING NOTES**
- ALL FRAMING SHALL PRODUCE TRUE, TIGHT AND CONSISTENT JOINTS
  - FRAMING MEMBERS SHALL BE ASSEMBLED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS
  - INSTALL GALVANIZED METAL FRAMING CONNECTORS
  - GENERALLY SELECT FRAMING MEMBERS TO BE FREE FROM KNOTS AND DEFECTS
  - DO NOT SHIMMERS, JOISTS, STUDS, TRIMMERS, HEADERS, UNLESS OTHERWISE SPECIFIED
  - USE ONLY TREATED LUMBER FOR ALL LAYERS IN CONTACT WITH CONCRETE
  - INSTALL SOLID BLOTTING AND BRIDGING BELOW ALL BEARING PARTITIONS WHERE BEARING WALLS IS BOTH PARALLEL AND PERPENDICULAR TO JOISTS
  - INSTALL BLOTTINGS AS REQUESTED BY OTHER TRADES
- ROOF CONSTRUCTION**
- CONTINUOUS SOFFIT VENT
  - 30 YEAR ROOF SHINGLES, COLOR BY OWNER
  - KE + WATER SHIELD
  - 1/2" SUB FELL UNDERLAYMENT
  - 5/8" EXTERIOR GYPSEUM SHEATHING
  - ROOF TRUSSES @ 24" O.C. DESIGN BY TRUSS ENGINEER
  - R-49 INSULATION LAPPED ABOVE EXTERIOR WALL
  - 1/2" STRAPPING @ 18" O.C.
  - 1/2" DRY WALL WITH SHIM COAT PLASTER
  - PAINT, COLOR BY OWNER
  - ALUMINUM DROPPED EDGE
  - ALUMINUM GUTTERS AND DOWNSPOUTS
  - COMPOSITE FASCIA
- WALL CONSTRUCTION**
- 30 YEAR ROOF SHINGLES, COLOR BY OWNER
  - KE + WATER SHIELD
  - 1/2" SUB FELL UNDERLAYMENT
  - 5/8" EXTERIOR GYPSEUM SHEATHING
  - R-49 INSULATION LAPPED ABOVE EXTERIOR WALL
  - ALUMINUM DROPPED EDGE
  - ALUMINUM GUTTERS AND DOWNSPOUTS
  - COMPOSITE FASCIA
  - CONTINUOUS SOFFIT VENT
- CEILING CONSTRUCTION**
- CEILING JOISTS, SIZE AND SPACING BY ENGINEER
  - 1/2" STRAPPING @ 18" O.C.
  - 1/2" DRY WALL WITH SHIM COAT PLASTER
  - PAINT, COLOR BY OWNER
- EXTERIOR WALL CONSTRUCTION**
- REFER TO ELEVATIONS FOR SIZING
  - CONTINUOUS HOUSE WRAP, TAPE JOINTS
  - 1/2" EXTERIOR GYPSEUM SHEATHING
  - 2x6 WALL STUDS @ 16" O.C.
  - R-24 INSULATION
  - 1/2" STRAPPING @ 18" O.C.
  - 1/2" DRY WALL WITH SHIM COAT PLASTER
  - PAINT, COLOR BY OWNER
- FLOOR CONSTRUCTION**
- FINISH FLOORING BY OWNER
  - 3/4" 1-0 PLYWOOD GRADE CHANGES
  - FLOOR JOISTS, REFER TO FRAMING PLANS
  - R-30 INSULATION
  - 1/2" STRAPPING @ 18" O.C.
  - 1/2" DRY WALL WITH SHIM COAT PLASTER
  - PAINT, COLOR BY OWNER
- FOUNDATION CONSTRUCTION**
- 12" CONCRETE WALL
  - REINFORCING MINIMUM 4" BELOW GRADE
  - MINIMUM 3000 PSI AIR ENTRAINED CONCRETE
  - COMPACT ON UNCONSOLIDATED SOIL
  - STEEL REINFORCING AS REQUIRED BY CODE
  - DRAINAGE AT EXTERIOR FACE OF CONCRETE WALL UP TO GRADE
  - 2" RIGID INSULATION
  - FASCIATED PERFORATED PVC PERIMETER DRAIN TO DAYLIGHT OR DRYWELL
  - FOOTING SHALL SLOPE NO MORE THAN 1:3 WITH NO DEGREE STEPS AT BOTTOM OF FOOTING
- SLAB CONSTRUCTION**
- 4" CONCRETE SLAB
  - 6" WELDED WIRE FABRIC REINFORCING AT MIDPOINT OF SLAB
  - MINIMUM 3000 PSI AIR ENTRAINED CONCRETE
  - GEAR BOX WITH FIBER WAFER REINFORCING, JOINTS LAPPED MIN 1'
  - 3/4" CRUSHED STONE, MINIMUM 8" DEEP
- COLUMN CONSTRUCTION**
- 4" CONCRETE COLUMN
  - 1/2" DIA POST WITH GALVANIZED POST ANCHOR CAST INTO CONCRETE FOOTING
  - 12" DIAMETER CONCRETE FOOTING WITH 30" BELL FOOTING BASE
  - FOOTING MINIMUM 4" BELOW GRADE
  - MINIMUM 3000 PSI AIR ENTRAINED
  - FOOTING ON UNCONSOLIDATED SOIL
  - STEEL REINFORCING AS REQUIRED BY CODE
  - REFER TO PLANS FOR EXACT LOCATIONS



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**HUDSON RESIDENCE**  
69 HUDSON STREET  
PROVIDENCE, RI 02909

**AREA SUMMARY**

AREA	GSF
LIVABLE SPACE	554
FIRST FLOOR	704
SECOND FLOOR	1,568
TOTAL	1,568

**OTHER SPACES**

COVERED PORCH	66
BASEMENT	624
DECK	69

- GENERAL NOTES**
- ALL EXTERIOR WALLS ARE NOMINAL 2x6 @ 16" O.C. UNLESS OTHERWISE NOTED
  - ALL INTERIOR WALLS ARE NOMINAL 2x4 @ 16" O.C. UNLESS OTHERWISE NOTED
  - INTERIOR WALL BETWEEN GARAGE AND BUILDING IS NOMINAL 2x6 @ 16" O.C.
  - DIMENSIONS TO EXTERIOR WALLS ARE TO FACE OF FRAMING OR EXTERIOR FACE OF FOUNDATION WALL
  - DIMENSIONS TO INTERIOR WALLS ARE TO CENTER OF WALL FRAMING

USE OF THESE DRAWINGS CONSTITUTES AN AGREEMENT NOT TO HOLD NATIONAL DESIGN & DRAFTING LIABLE FOR PROBLEMS WHICH MAY ARISE BEFORE, DURING OR AFTER CONSTRUCTION OF THE OWNER, GENERAL CONTRACTOR AND SUBCONTRACTORS MUST ENSURE THAT THE INFORMATION CONTAINED IN THESE DRAWINGS, AND THE WORK COMPLETED, MEETS ALL APPLICABLE CODES AND REGULATIONS.

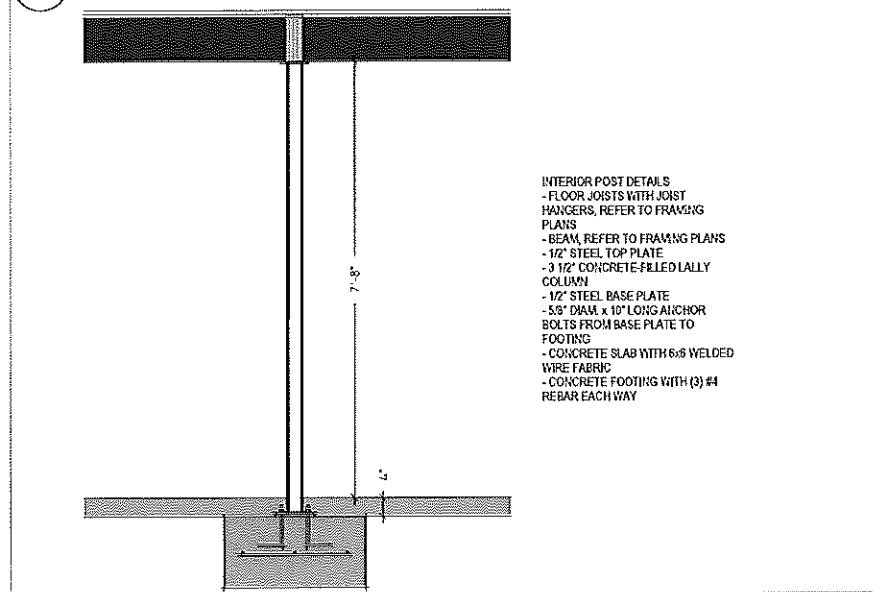
**A302**

DESIGN PLANS

07/12/2023

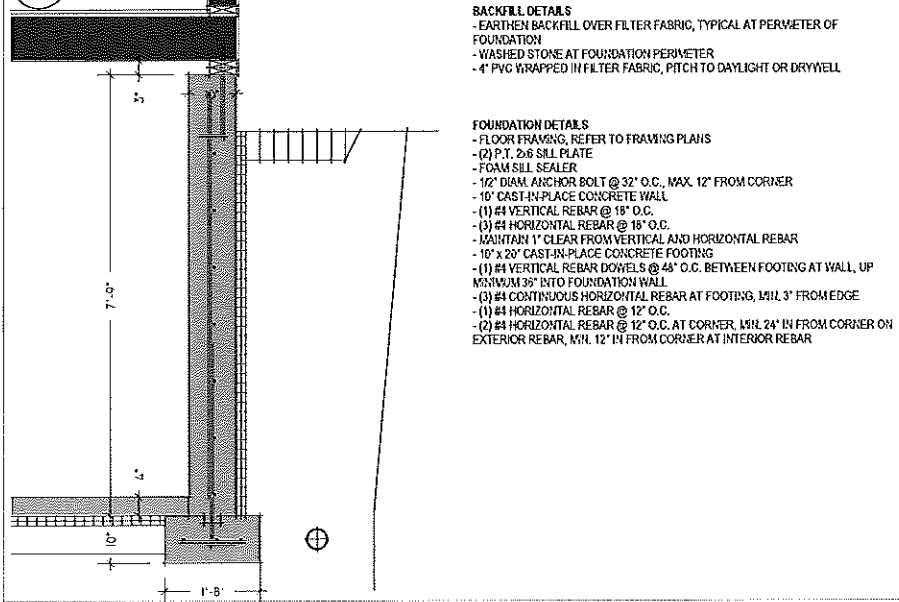
7/2/2023 R.R. 24/15 0/9

**2 INTERIOR POST DETAILS**  
A302  
NTS



- INTERIOR POST DETAILS**
- FLOOR JOISTS WITH JOIST HANGERS, REFER TO FRAMING PLANS
  - BEAM, REFER TO FRAMING PLANS
  - 1/2" STEEL TOP PLATE
  - 3 1/2" CONCRETE-FILLED LALLY COLUMN
  - 1/2" STEEL BASE PLATE
  - 5/8" DIA. x 10" LONG ANCHOR BOLTS FROM BASE PLATE TO FOOTING
  - CONCRETE SLAB WITH 6x6 WELDED WIRE FABRIC
  - CONCRETE FOOTING WITH (3) #4 REBAR EACH WAY

**3 FOUNDATION DETAILS**  
A302  
NTS



- BACKFILL DETAILS**
- EARTHEN BACKFILL OVER FILTER FABRIC, TYPICAL AT PERIMETER OF FOUNDATION
  - WASHED STONE AT FOUNDATION PERIMETER
  - 4" PVC WRAPPED IN FILTER FABRIC, PITCH TO DAYLIGHT OR DRYWELL
- FOUNDATION DETAILS**
- FLOOR FRAMING, REFER TO FRAMING PLANS
  - (2) P.T. 2x6 SILL PLATE
  - FOAM SILL SEALER
  - 1/2" DIA. ANCHOR BOLT @ 32" O.C., MAX. 12" FROM CORNER
  - 10" CAST-IN-PLACE CONCRETE WALL
  - (1) #4 VERTICAL REBAR @ 18" O.C.
  - (3) #4 HORIZONTAL REBAR @ 18" O.C.
  - MAINTAIN 1" CLEAR FROM VERTICAL AND HORIZONTAL REBAR
  - 10" x 20" CAST-IN-PLACE CONCRETE FOOTING
  - (1) #4 VERTICAL REBAR DOWELS @ 48" O.C. BETWEEN FOOTING AT WALL, UP MINIMUM 36" INTO FOUNDATION WALL
  - (3) #4 CONTINUOUS HORIZONTAL REBAR AT FOOTING, MIN. 3" FROM EDGE
  - (1) #4 HORIZONTAL REBAR @ 12" O.C.
  - (2) #4 HORIZONTAL REBAR @ 12" O.C. AT CORNER, MIN. 24" IN FROM CORNER ON EXTERIOR REBAR, MIN. 12" IN FROM CORNER AT INTERIOR REBAR

















