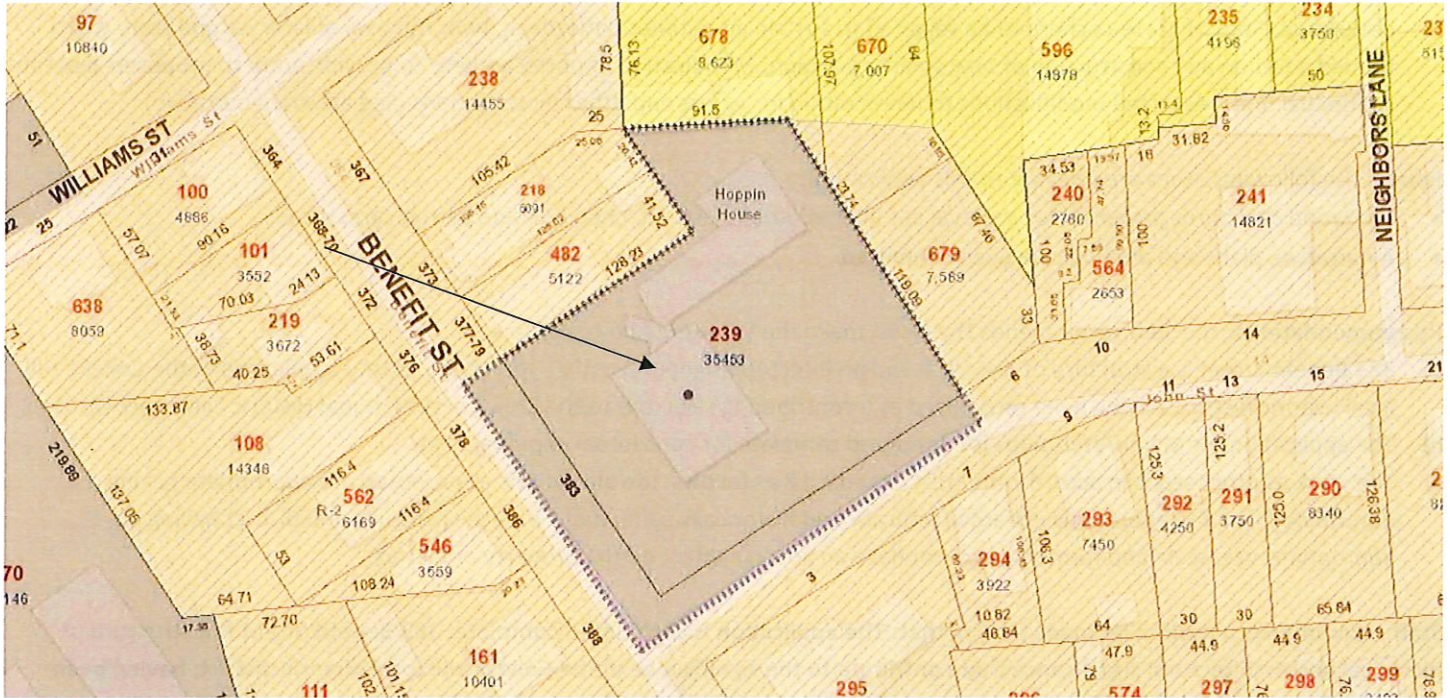
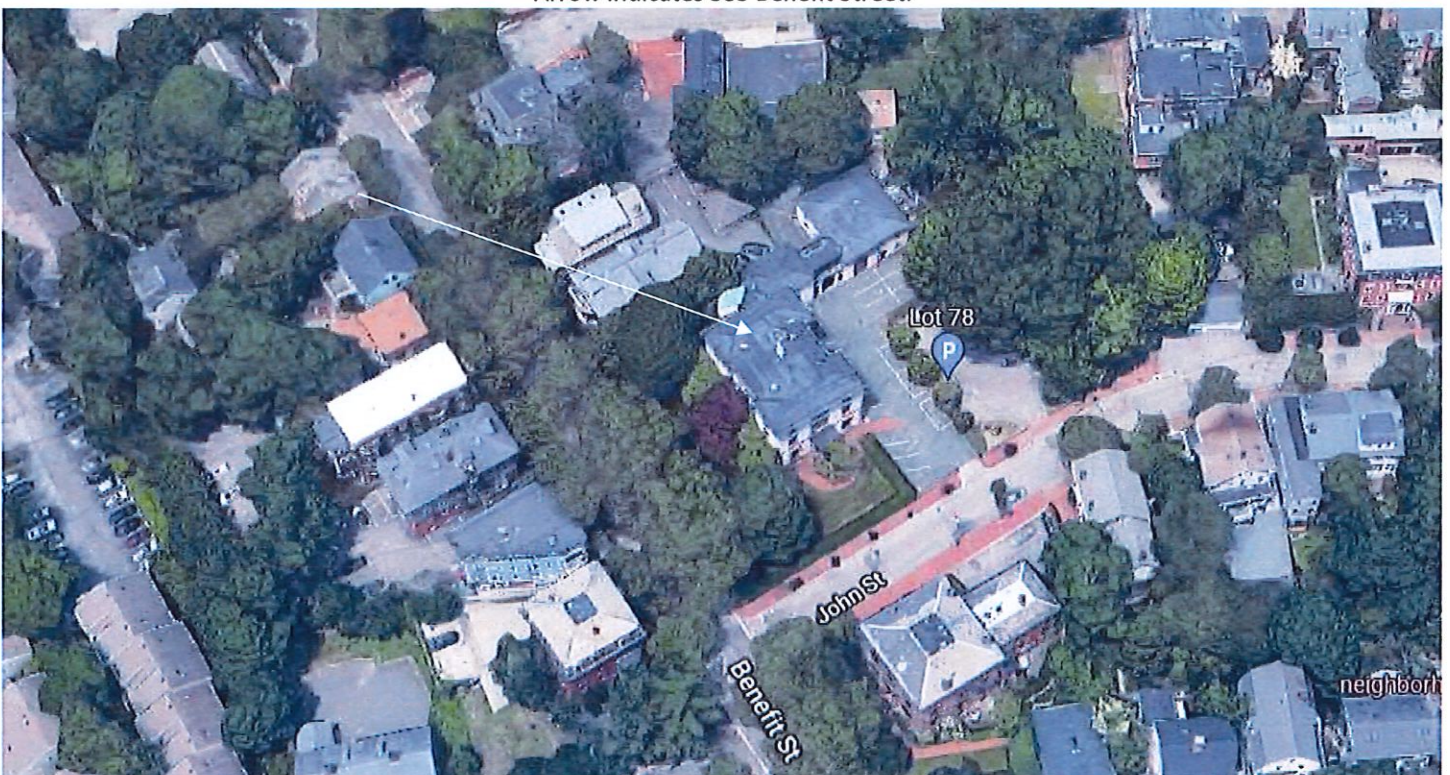


2. CASE 22.115, 383 BENEFIT STREET, Thomas F. Hoppin House, 1853-55, 1982-83 (COLLEGE HILL)

Italianate palazzo type; 3 stories; brick originally stuccoed with brownstone trim; low hip roof, bracketed cornice; three-part side elevation, center recessed and originally with balustraded balcony; similar treatment on courtyard side but with arcaded ground-floor entrance loggia; fine service wing and stable composition with arch between. Originally had cast iron fence on retaining wall around grounds. Remodeled for office use; modern semi-cylindrical stair tower on north side. 1853-5 Alpheus Morse; 1982-3 Robinson Green Beretta.
CONTRIBUTING



Arrow indicates 383 Benefit Street.



Arrow indicates project location, looking north.

Applicant/Architect: Jon-Paul Couture Architect, 26 Arnold Street, Providence, RI 02906

Owner: M. Holt Massey, 85 Merrimac Street, Ste. 501, Boston, MA 02114

Proposal: The scope of work proposed consists of Major Alterations and includes:

- the removal of two, later wood structures: **one:** second-story of the porte-cochere roof and installation of an outdoor patio/deck. Roof of porte-cochere to be repaired to sustain an outdoor patio/deck; **two:** removal of later second story wood framed addition and construction of new smaller addition; Modification of porte-cochere to provide entry to proposed separate residential units; Assorted modifications to fenestration for egress and other modifications (See attached narrative).

Issues: The following issues are relevant to this application:

- The wood structures proposed for removal are later additions (see attached building permit cards); and,
- A narrative, plans and photos have been submitted.

Recommendations: The staff recommends the PHDC make the following findings of fact:

- a) 383 Benefit Street is a structure of historical and architectural significance that contribute to the significance of the College Hill local historic district, having been recognized as a contributing structure to the College Hill National Historic Landmark District;
- b) The application for Major Alterations is considered complete for conceptual approval; and,
- c) The work as proposed is in accord with PHDC Standard 8 as follows: the alterations as proposed are appropriate having determined that the alterations are architecturally and historically compatible with the property and district having an appropriate size, scale and form that will not have an adverse effect on the property or district.

Staff recommends a motion be made stating that: The application is considered complete. 383 Benefit Street is a structure of historical and architectural significance that contribute to the significance of the College Hill local historic district, having been recognized as a contributing structure to the College Hill National Historic Landmark District. The Commission grants final approval of the proposal as submitted having determined that the alterations as proposed are appropriate as the alterations are architecturally and historically compatible with the property and district having an appropriate size, scale and form that will not have an adverse effect on the property or district, citing and accepting the recommendations in the staff report, with staff to review any additional required details.

EXISTING CONDITIONS NOTES

- FLOOR PLANS SHOW PRE-DEMO LAYOUT

NOT FOR CONSTRUCTION

- GENERAL NOTES:
- DO NOT SCALE DRAWINGS.
 - VERIFY ALL DIMENSIONS IN FIELD.
 - REPORT ANY DISCREPANCIES TO JP COUTURE.

CUSTOM HOMES ■ RENOVATION RESTORATION

JP COUTURE, ARCHITECT

12 Arnold Street
Providence, RI 02906
Tel. 401.621.1861

JP@couturedesignassociates.com

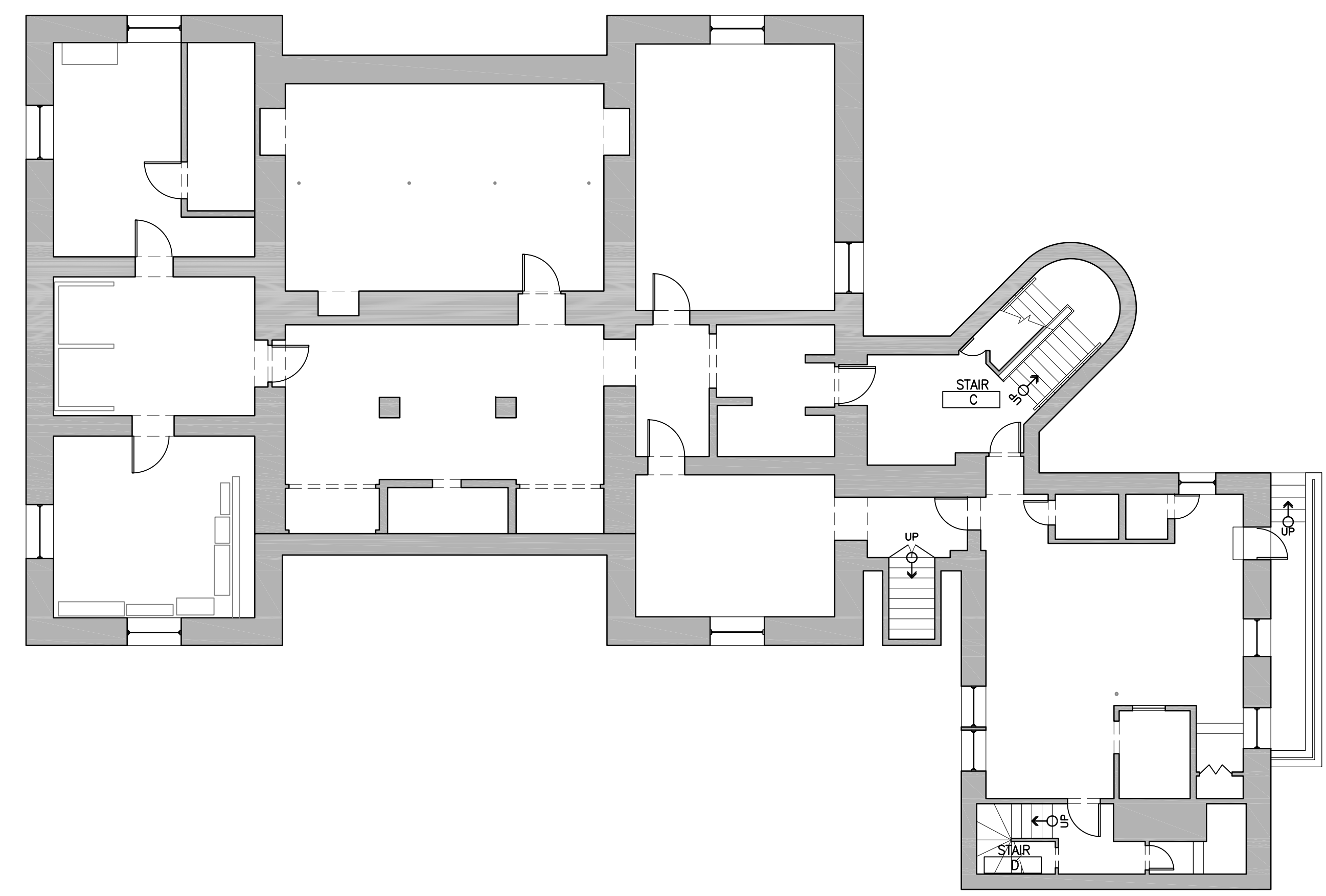
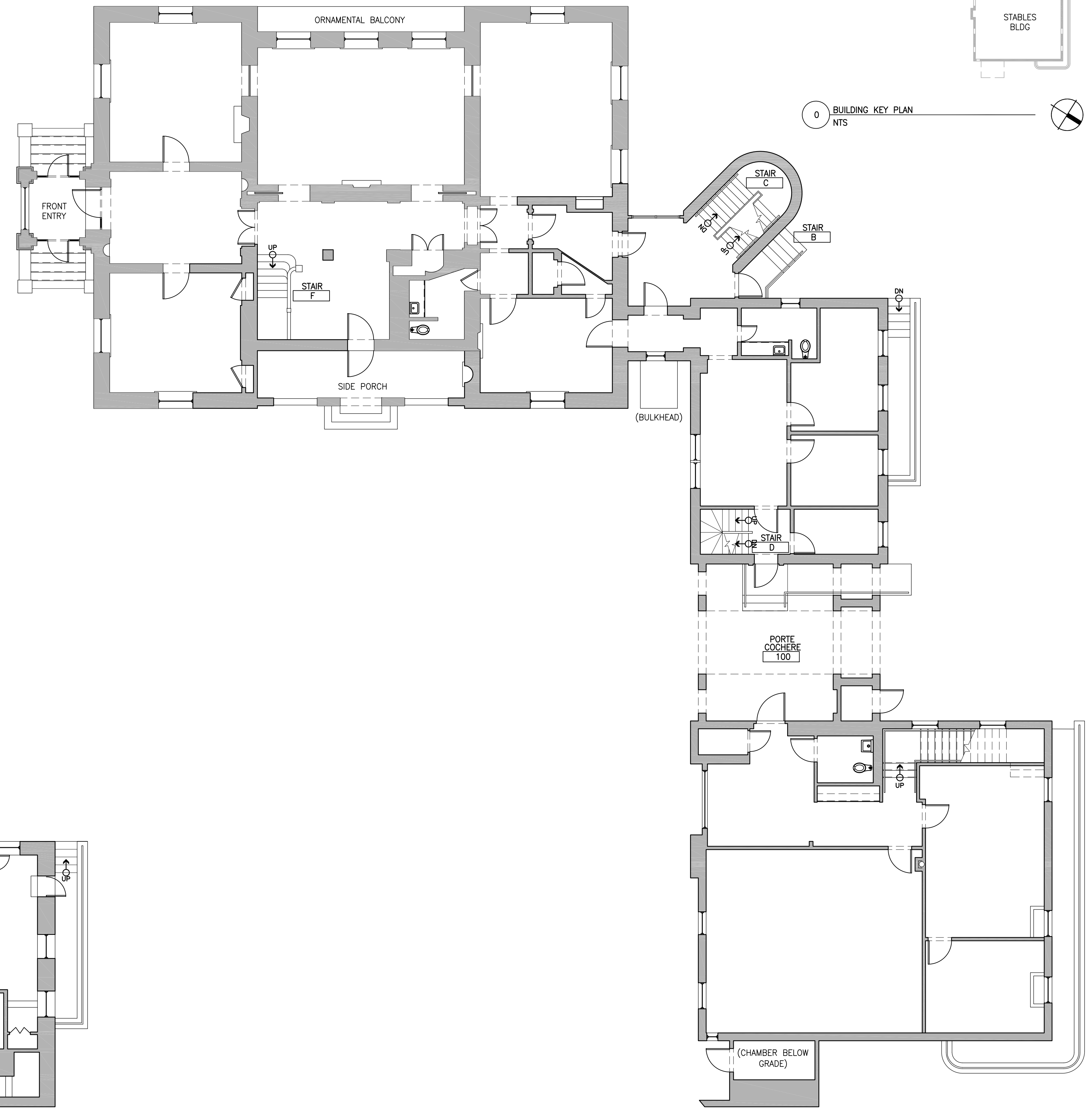
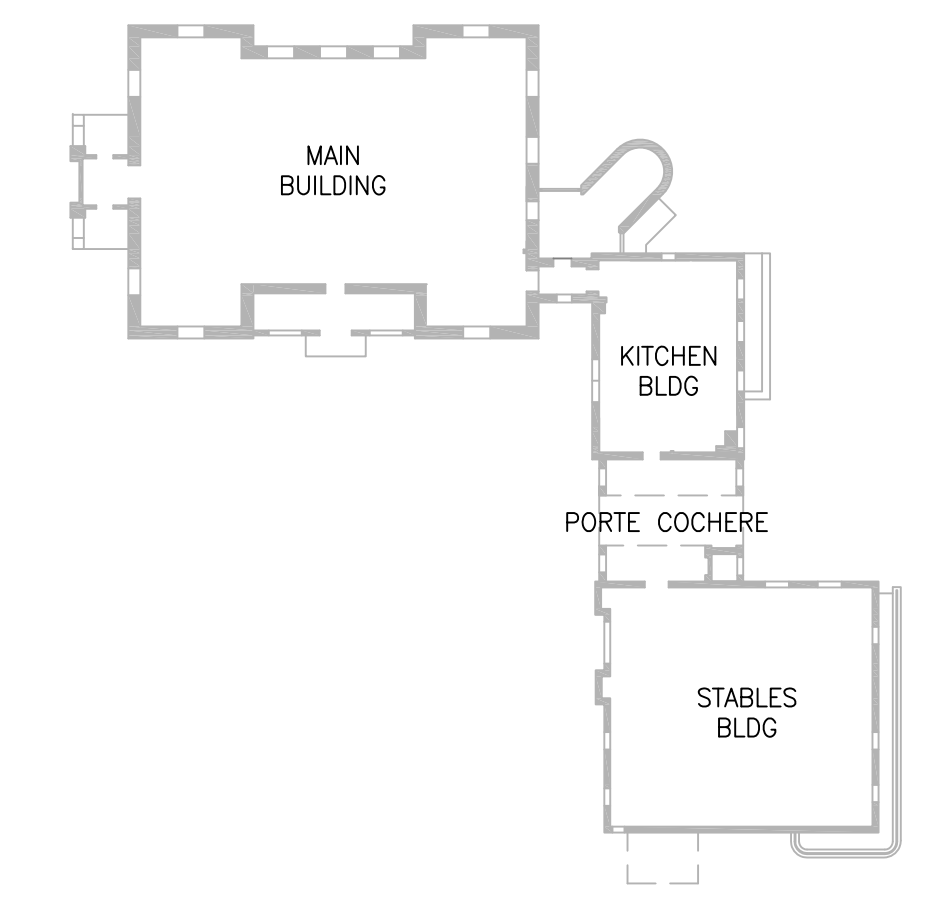
No.	Date	Revisions

HOPPIN HOUSE
383 BENEFIT STREET
PROVIDENCE, RI 02906

Date: JULY 17, 2023

PHDC 
EX1.1

Project Number:

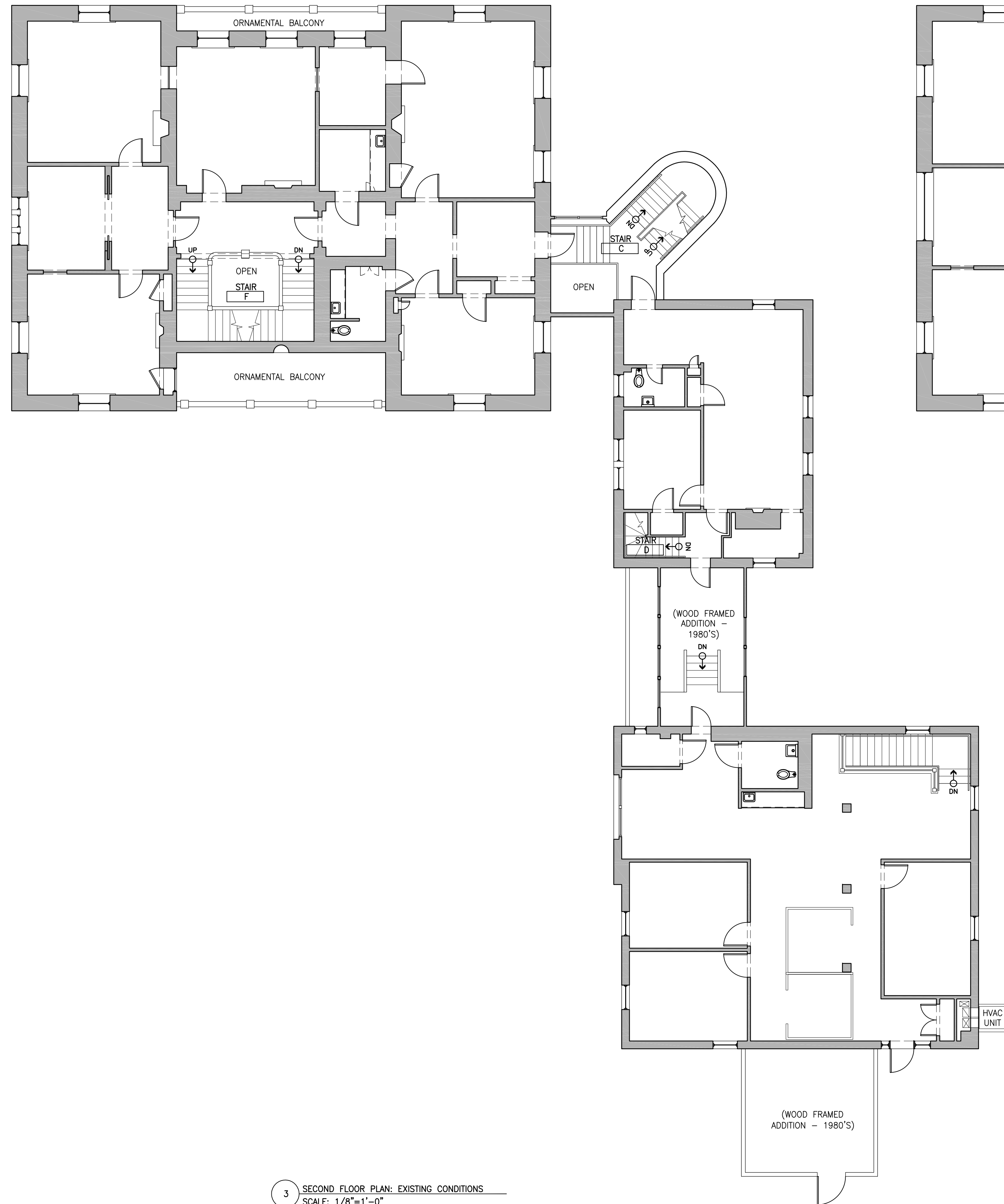


1 BASEMENT PLAN: EXISTING CONDITIONS
SCALE: 1/8"=1'-0"

2 FIRST FLOOR PLAN: EXISTING CONDITIONS
SCALE: 1/8"=1'-0"

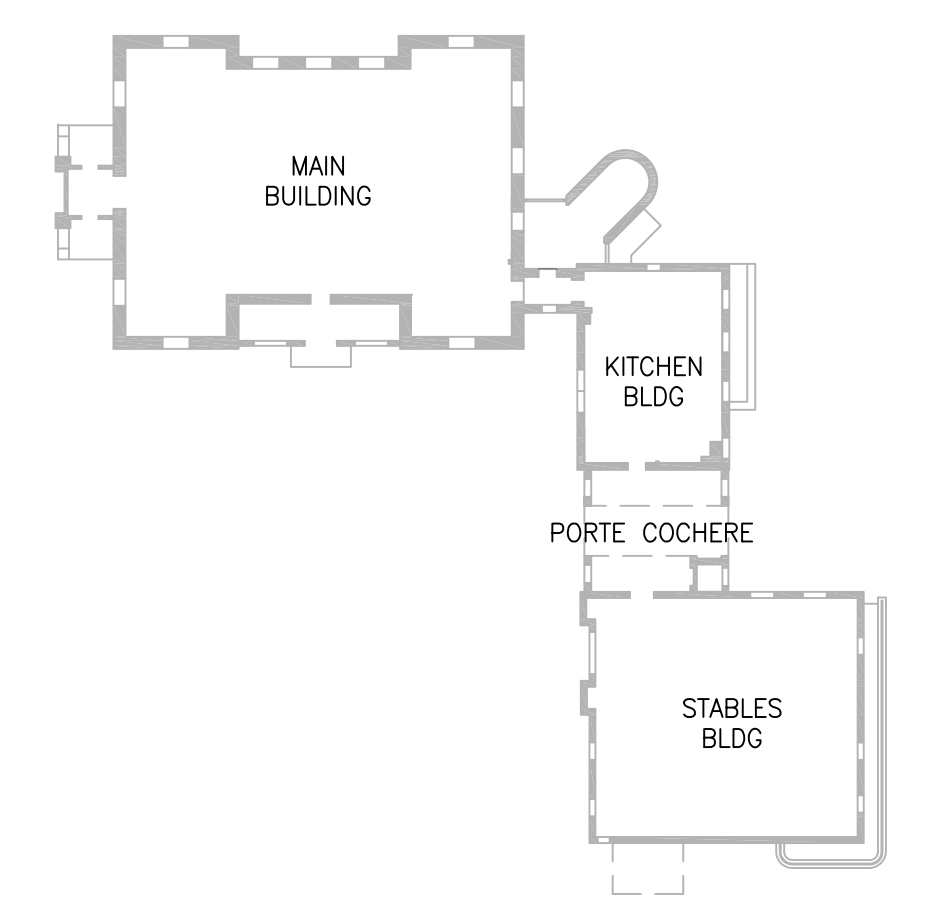
EXISTING CONDITIONS NOTES

- FLOOR PLANS SHOW PRE-DEMO LAYOUT



3 SECOND FLOOR PLAN: EXISTING CONDITIONS
SCALE: 1/8"=1'-0"

4 THIRD FLOOR PLAN: EXISTING CONDITIONS
SCALE: 1/8"=1'-0"



0 BUILDING KEY PLAN
NTS

NOT FOR CONSTRUCTION

- GENERAL NOTES:
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 - VERIFY ALL DIMENSIONS IN FIELD.
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CUSTOM HOMES ■ RENOVATION RESTORATION

JP COUTURE, ARCHITECT

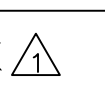
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No.	Date	Revisions

HOPPIN HOUSE
383 BENEFIT STREET
PROVIDENCE, RI 02906

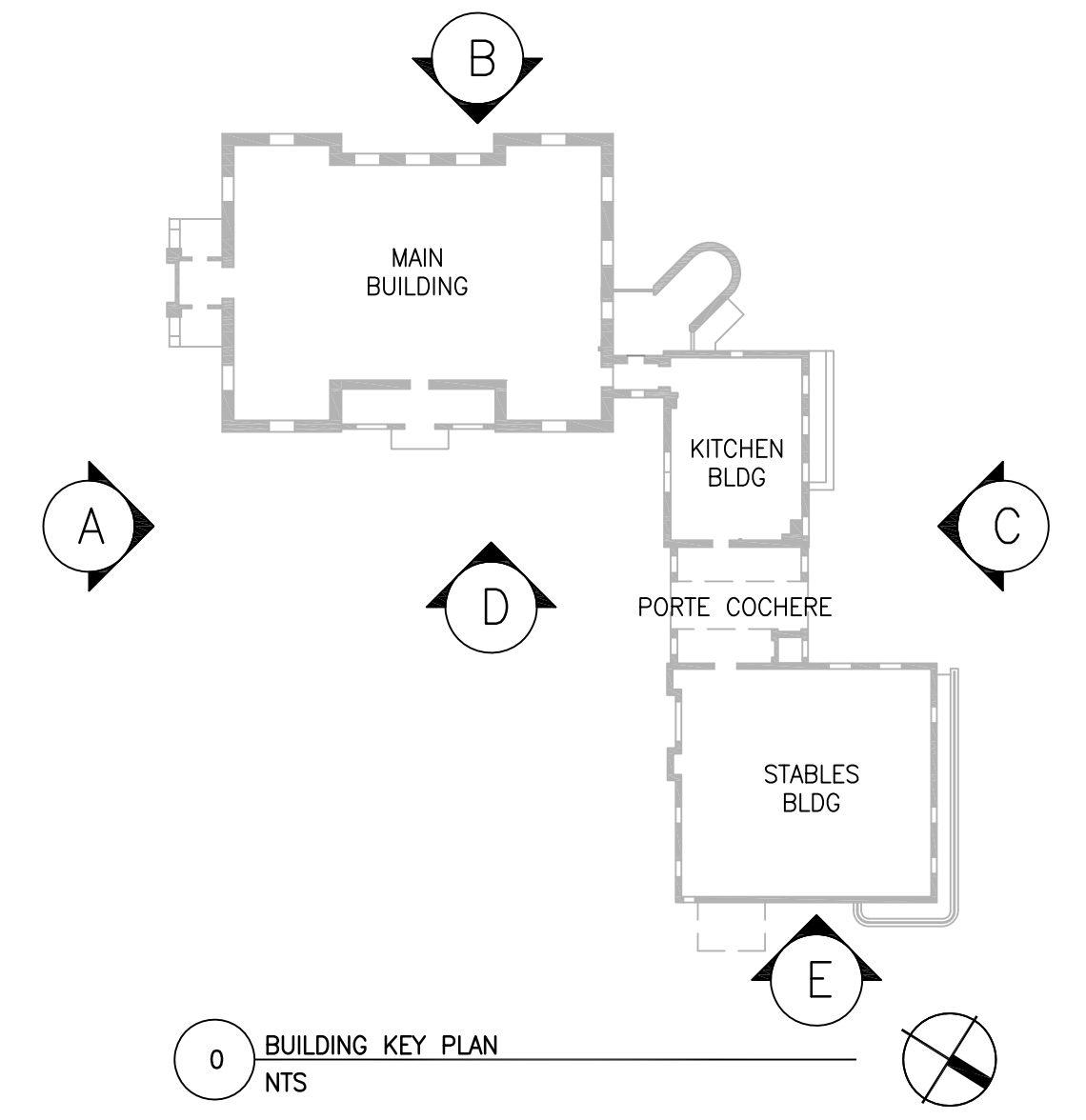
Date: JULY 17, 2023

PHDC 
EX1.2

Project Number:

NOT FOR CONSTRUCTION

- NOTES:
1. NEW EXTERIOR WINDOWS TO MATCH EXISTING, IN KIND.
 2. EXISTING EXTERIOR FINISHES TO BE PATCHED AND REPAIRED, AS NECESSARY.
 3. ALL EXISTING MILLWORK AND PANELING TO REMAIN INTACT: COPE AROUND PROFILES, TYP.
 4. ALL BUILDING COMPONENTS TO COMPLY WITH STATE OF RHODE ISLAND BUILDING CODE AND/OR AS REQUIRED BY LOCAL AHJ.
 5. REQUIRED STRUCTURAL MODIFICATIONS TO BE DETERMINED. GC SHALL CONTACT ARCHITECT AFTER COMPLETION OF DEMOLITION IN ORDER TO DETERMINE EXTENT OF STRUCTURAL SCOPE.
- * SHADED WINDOWS REPRESENT EXISTING UNITS
SEE SHEET D2.5 FOR ALL DEMOLITION NOTES



- GENERAL NOTES:
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CUSTOM HOMES ■ RENOVATION RESTORATION

JP COUTURE, ARCHITECT

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No.	Date	Revisions



A1 EXTERIOR ELEVATION: EXISTING
SCALE: 3/16"=1'-0"



A2 EXTERIOR ELEVATION: DEMO
SCALE: 3/16"=1'-0"

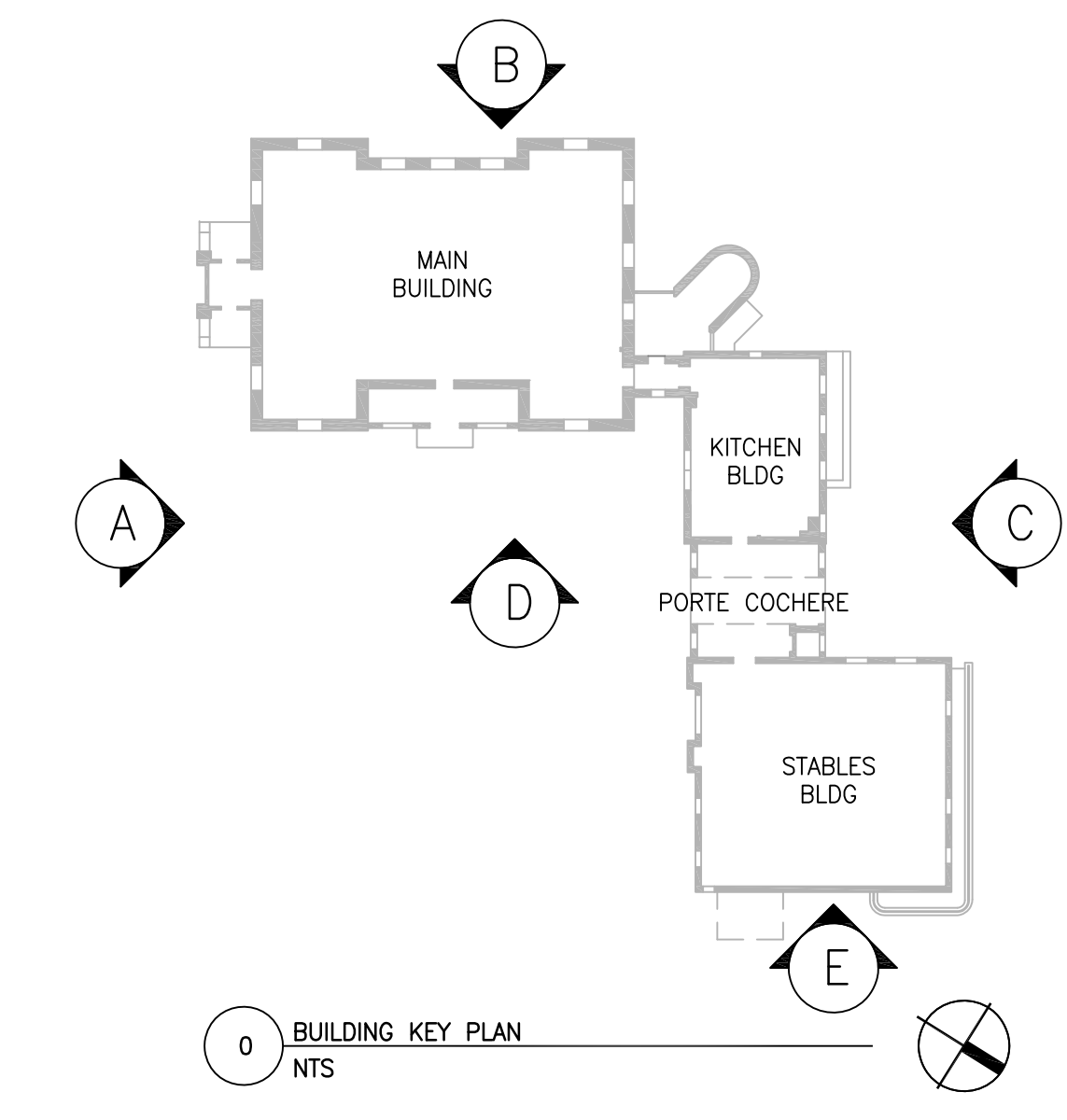
HOPPIN HOUSE
383 BENEFIT STREET
PROVIDENCE, RI 02906

Date: JULY 17, 2023

PHDC
D2.1

Project Number:

NOT FOR CONSTRUCTION



- GENERAL NOTES:
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CUSTOM HOMES ■ RENOVATION RESTORATION

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No.	Date	Revisions

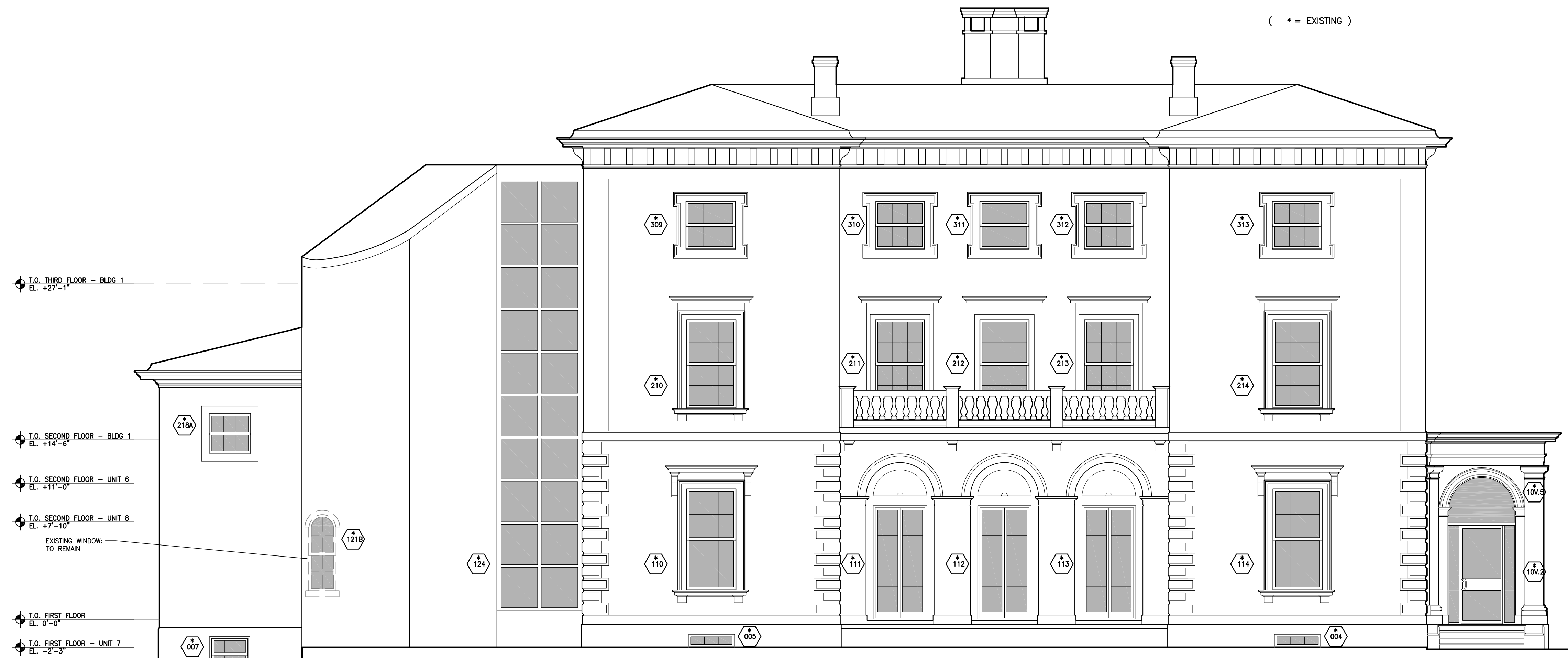
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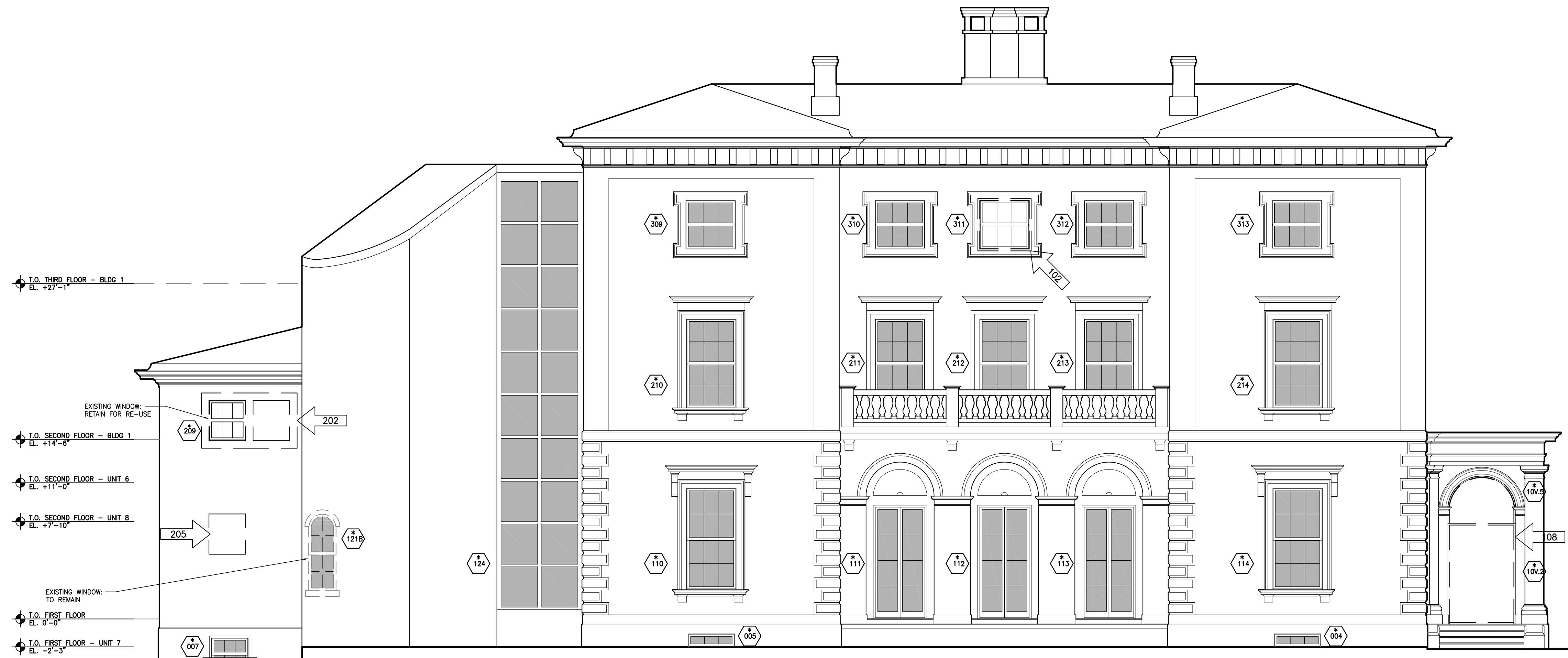
PHDC
D2.2

Project Number:

(* = EXISTING)



B1 EXTERIOR ELEVATION: EXISTING
SCALE: 1/4"=1'-0"



B2 EXTERIOR ELEVATION: DEMO
SCALE: 1/4"=1'-0"

(* = EXISTING)

NOT FOR CONSTRUCTION

GENERAL NOTES:

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CUSTOM HOMES ■ RENOVATION RESTORATION

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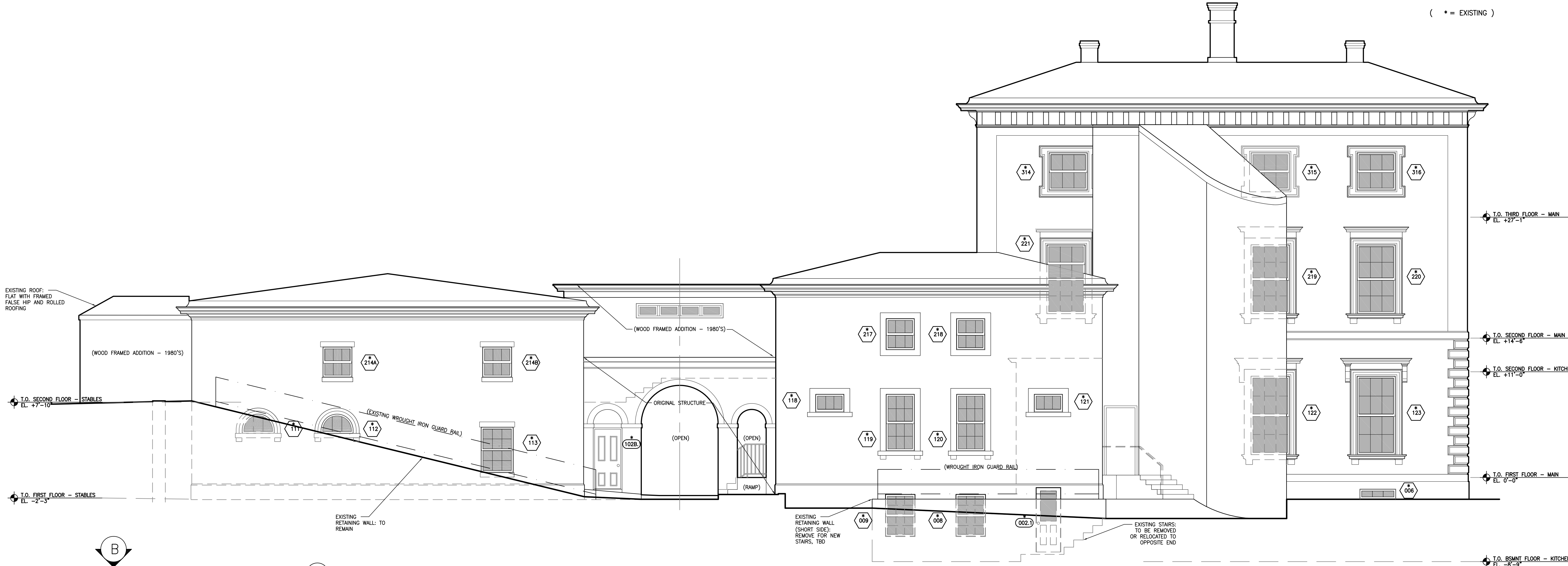
HOPPIN HOUSE
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Date: JULY 17, 2023

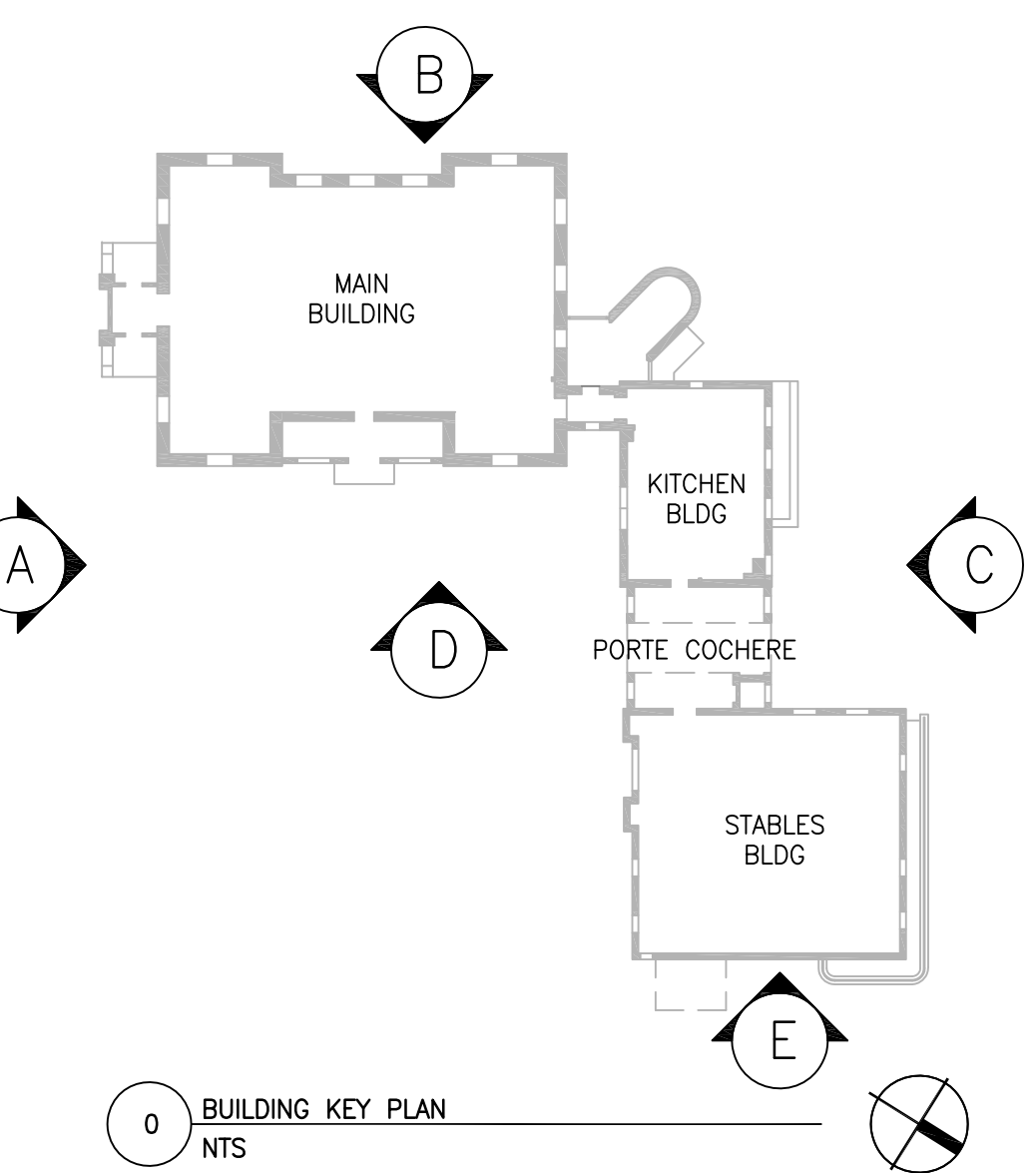
PHDC

D2.3

Project Number:



C1 EXTERIOR ELEVATION: EXISTING
SCALE: 1/4"=1'-0"



0 BUILDING KEY PLAN
NTS



C2 EXTERIOR ELEVATION: DEMO
SCALE: 1/4"=1'-0"

NOT FOR CONSTRUCTION

GENERAL NOTES:
 1. DO NOT SCALE DRAWINGS.
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CUSTOM HOMES ■ RENOVATION RESTORATION

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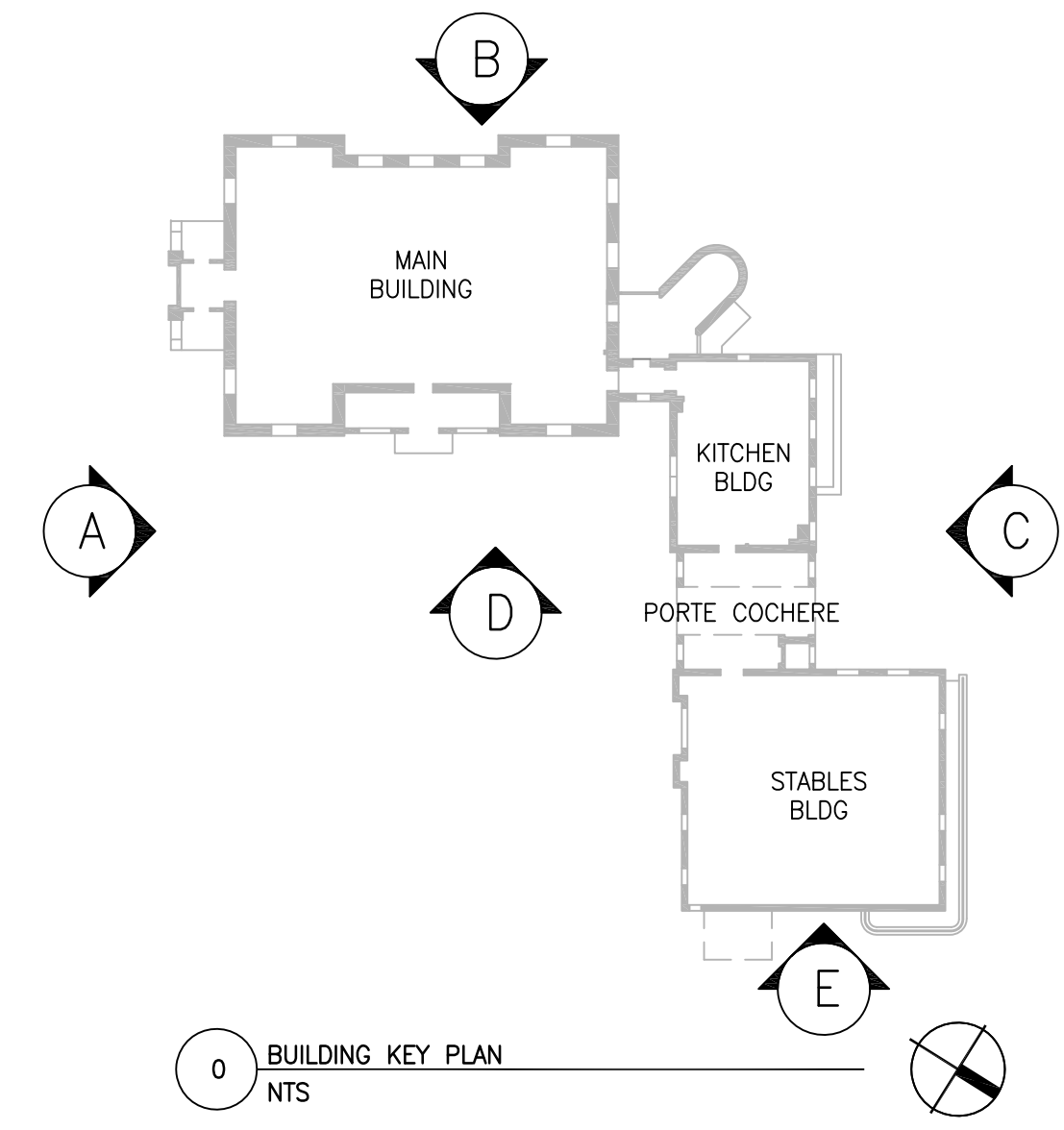
No.	Date	Revisions

HOPPIN HOUSE
 383 BENEFIT STREET
 PROVIDENCE, RI 02906

Date: JULY 17, 2023

PHDC 
D2.4

Project Number:



D1 EXTERIOR ELEVATION: EXISTING
SCALE: 1/4"=1'-0"

NOTES:

1. NEW EXTERIOR WINDOWS TO MATCH EXISTING, IN KIND.
2. EXISTING EXTERIOR FINISHES TO BE PATCHED AND REPAIRED, AS NECESSARY.
3. ALL EXISTING MILLWORK AND PANELING TO REMAIN INTACT; COPE AROUND PROFILES, TYP.
4. ALL BUILDING COMPONENTS TO COMPLY WITH STATE OF RHODE ISLAND BUILDING CODE AND/OR AS REQUIRED BY LOCAL AHJ.
5. REQUIRED STRUCTURAL MODIFICATIONS TO BE DETERMINED. GC SHALL CONTACT ARCHITECT AFTER COMPLETION OF DEMOLITION IN ORDER TO DETERMINE EXTENT OF STRUCTURAL SCOPE.

* SHADED WINDOWS REPRESENT EXISTING UNITS
 SEE SHEET D2.5 FOR ALL DEMOLITION NOTES



D2 EXTERIOR ELEVATION: DEMO
SCALE: 1/4"=1'-0"

NOT FOR CONSTRUCTION

GENERAL NOTES:
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 3. REPORT ANY DISCREPANCIES TO JP COUTURE.

CUSTOM HOMES ■ RENOVATION RESTORATION

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No.	Date	Revisions

HOPPIN HOUSE
 383 BENEFIT STREET
 PROVIDENCE, RI 02906

Date: JULY 17, 2023

PHDC
 D2.5

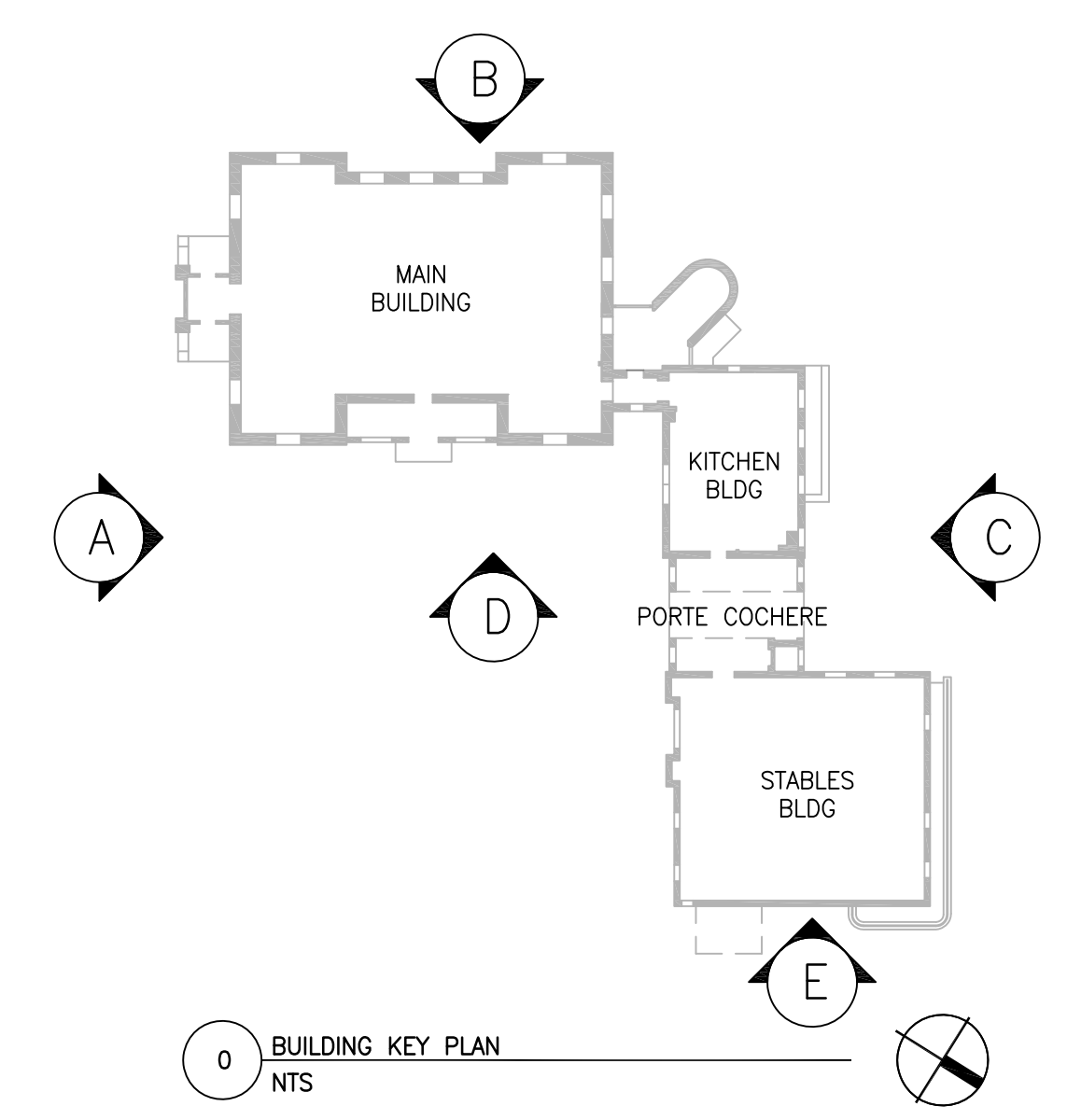
Project Number:

- NOTES:
1. NEW EXTERIOR WINDOWS TO MATCH EXISTING, IN KIND.
 2. EXISTING EXTERIOR FINISHES TO BE PATCHED AND REPAIRED, AS NECESSARY.
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 5. REQUIRED STRUCTURAL MODIFICATIONS TO BE DETERMINED; GC SHALL CONTACT ARCHITECT AFTER COMPLETION OF DEMOLITION IN ORDER TO DETERMINE EXTENT OF STRUCTURAL SCOPE.

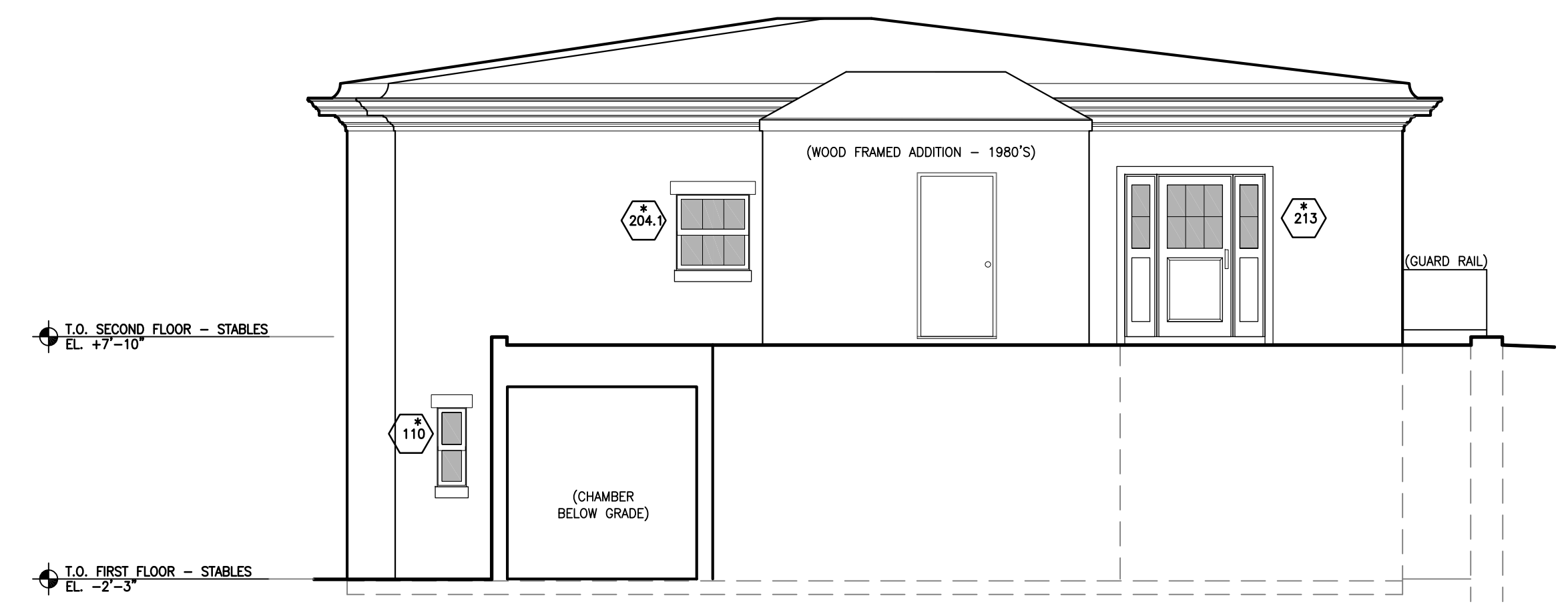
* SHADED WINDOWS REPRESENT EXISTING UNITS
 SEE SHEET D2.5 FOR ALL DEMOLITION NOTES

- DEMOLITION LEGEND
- [] DENOTES WALL/ROOF/FRAMING/FENESTRATION TO BE REMOVED
 - [] DENOTES EXISTING WALL TO REMAIN
 - DENOTES WALL FINISH TO BE REMOVED
 - DENOTES ZIP WALL/DUST CONTROL BARRIER TO BE INSTALLED

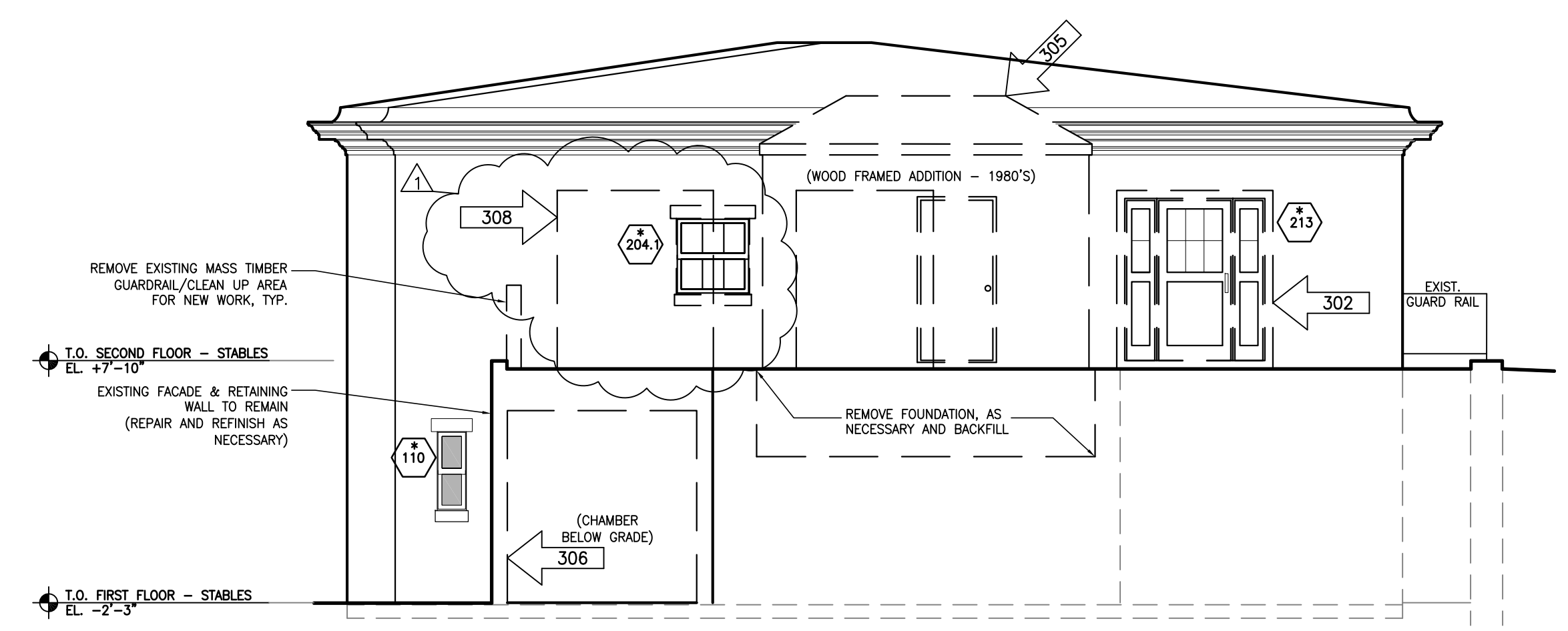
- DEMOLITION NOTES
- ← 102 REMOVE AND RETAIN EXISTING WINDOWS FOR FUTURE USE. PREP LOCATION FOR NEW WORK. REPLACE WITH IN KIND EGRESS COMPLIANT UNIT. SEE WINDOW SCHEDULE FOR MORE INFORMATION
 - ← 108 REMOVE EXISTING STOREFRONT ASSEMBLIES AND PREP FOR NEW WORK. REPLACE WITH NEW UNITS. SEE WINDOW SCHEDULE FOR MORE INFORMATION
 - ← 109 REMOVE EXISTING VENTILATION GRILLE AND PREP FOR NEW WORK. REPLACE WITH NEW UNIT. SEE WINDOW SCHEDULE FOR MORE INFORMATION
 - ← 110 IN PREPARATION OF NEW WINDOW UNIT INSTALLATION, REMOVE & DISPOSE OF EXISTING WALL ASSEMBLY. COORDINATE HEADER WITH STRUCTURAL ENGINEER
 - ← 201 REMOVE AND RETAIN EXISTING ORIGINAL WINDOWS/DOORS FOR FUTURE USE. PREP LOCATION FOR NEW WORK. REPLACE WITH IN KIND EGRESS COMPLIANT UNIT AS NOTED ON FLOOR PLANS. SEE WINDOW/DOOR SCHEDULES FOR MORE INFORMATION
 - ← 202 REMOVE AND RETAIN EXISTING ORIGINAL WINDOWS/DOORS FOR FUTURE USE. REMOVE EXISTING WALL ASSEMBLY AND PREP LOCATION FOR NEW WORK. MATCH EXISTING FENESTRATION DETAILS AND TRIM, TYPICAL. REPLACE WITH IN KIND EGRESS COMPLIANT UNIT AS NOTED ON FLOOR PLANS. SEE WINDOW SCHEDULE FOR MORE INFORMATION. COORDINATE NEW HEADERS WITH STRUCTURAL ENGINEER
 - ← 203 REMOVE & DISPOSE OF EXISTING ASSEMBLIES OF THE WOOD FRAMED ADDITION ABOVE THE ORIGINAL PORTE COCHERE. TAKE CARE TO PROTECT ORIGINAL COMPONENTS. PROTECT EXPOSED ROOF FROM THE ELEMENTS DURING CONSTRUCTION
 - ← 204 REMOVE & DISPOSE OF EXISTING ASSEMBLIES OF THE CONCRETE RAMP, STAIR & RAILING, AND FOUNDATION UNDER THE PORTE COCHERE. TAKE CARE TO PROTECT ORIGINAL COMPONENTS.
 - ← 205 REMOVE & DISPOSE OF EXISTING WALL ASSEMBLY FOR NEW FENESTRATION. TAKE CARE TO PROTECT ORIGINAL COMPONENTS. PROTECT EXPOSED OPENING FROM THE ELEMENTS DURING CONSTRUCTION. SEE WINDOW SCHEDULE FOR MORE INFORMATION. COORDINATE NEW HEADERS WITH STRUCTURAL ENGINEER
 - ← 206 REMOVE & DISPOSE OF EXISTING STONE/CONCRETE STEPS. SEE CIVIL & LANDSCAPE FOR NEW RETAINING WALL INFORMATION
 - ← 301 REMOVE AND RETAIN EXISTING ORIGINAL WINDOWS/DOORS FOR FUTURE USE. PREP LOCATION FOR NEW WORK. REPLACE WITH IN KIND EGRESS COMPLIANT UNIT AS NOTED ON FLOOR PLANS. SEE WINDOW/DOOR SCHEDULES FOR MORE INFORMATION
 - ← 302 REMOVE AND RETAIN EXISTING ORIGINAL WINDOWS/DOORS FOR FUTURE USE. REMOVE EXISTING WALL ASSEMBLY AND PREP LOCATION FOR NEW WORK. MATCH EXISTING FENESTRATION DETAILS AND TRIM, TYPICAL. REPLACE WITH IN KIND EGRESS COMPLIANT UNIT AS NOTED ON FLOOR PLANS. SEE WINDOW SCHEDULE FOR MORE INFORMATION. COORDINATE NEW HEADERS WITH STRUCTURAL ENGINEER
 - ← 303 NOT USED
 - ← 304 EXISTING PANELS TO BE REPLACED WITH GLASS. SEE DOOR SCHEDULE FOR MORE INFORMATION
 - ← 305 REMOVE & DISPOSE OF EXISTING ASSEMBLIES, INCLUDING FOUNDATION, OF THE WOOD FRAMED ADDITION. TAKE CARE TO PROTECT ORIGINAL COMPONENTS. PROTECT EXPOSED OPENING(S) FROM THE ELEMENTS DURING CONSTRUCTION; PREPARE NEW FRONT DOOR OPENING IN MASONRY WALL. SEE DOOR SCHEDULE FOR MORE INFORMATION. COORDINATE NEW HEADERS WITH STRUCTURAL ENGINEER.
 - ← 306 COORDINATE WITH CIVIL AND LANDSCAPE: REMOVE & DISPOSE OF SOME EXISTING ORIGINAL CHAMBER BELOW GRADE ASSEMBLIES TO ACCOMMODATE NEW BACKFILL & GRADING AND OUTDOOR PROGRAM. TAKE CARE TO PROTECT ORIGINAL COMPONENTS. PROTECT EXPOSED ASSEMBLIES FROM THE ELEMENTS DURING CONSTRUCTION
 - ← 307 REMOVE & DISPOSE OF EXISTING WALL ASSEMBLY FOR NEW FENESTRATION. TAKE CARE TO PROTECT ORIGINAL COMPONENTS. PROTECT EXPOSED OPENING FROM THE ELEMENTS DURING CONSTRUCTION. SEE WINDOW SCHEDULE FOR MORE INFORMATION. COORDINATE NEW HEADERS WITH STRUCTURAL ENGINEER
 - ← 308 REMOVE AND RETAIN EXISTING ORIGINAL WINDOW & ANY STONE TRIM FOR FUTURE USE. REMOVE EXISTING WALL ASSEMBLY AND PREP LOCATION FOR NEW WORK. INFILL PORTION OF FORMER WINDOW OPENING NOT NEEDED FOR NEW WORK WITH MASONRY TO MATCH EXISTING. MATCH EXISTING FENESTRATION DETAILS AND TRIM, TYPICAL. REPLACE WITH GLAZED FRENCH DOOR UNIT AS NOTED ON FLOOR PLANS. SEE DOOR SCHEDULE FOR MORE INFORMATION. COORDINATE NEW HEADERS WITH STRUCTURAL ENGINEER



(* = EXISTING)



E1 EXTERIOR ELEVATION: EXISTING
 SCALE: 1/4"=1'-0"



E2 EXTERIOR ELEVATION: DEMO
 SCALE: 1/4"=1'-0"

NOT FOR CONSTRUCTION

GENERAL NOTES:
 1. DO NOT SCALE DRAWINGS.
 2. VERIFY ALL DIMENSIONS IN FIELD.
 3. REPORT ANY DISCREPANCIES TO JP COUTURE.

CUSTOM HOMES ■ RENOVATION RESTORATION

JP COUTURE, ARCHITECT

12 Arnold Street
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 Tel. 401.621.1861

JP@couturedesignassociates.com

No.	Date	Revisions

HOPPIN HOUSE
 383 BENEFIT STREET
 PROVIDENCE, RI 02906

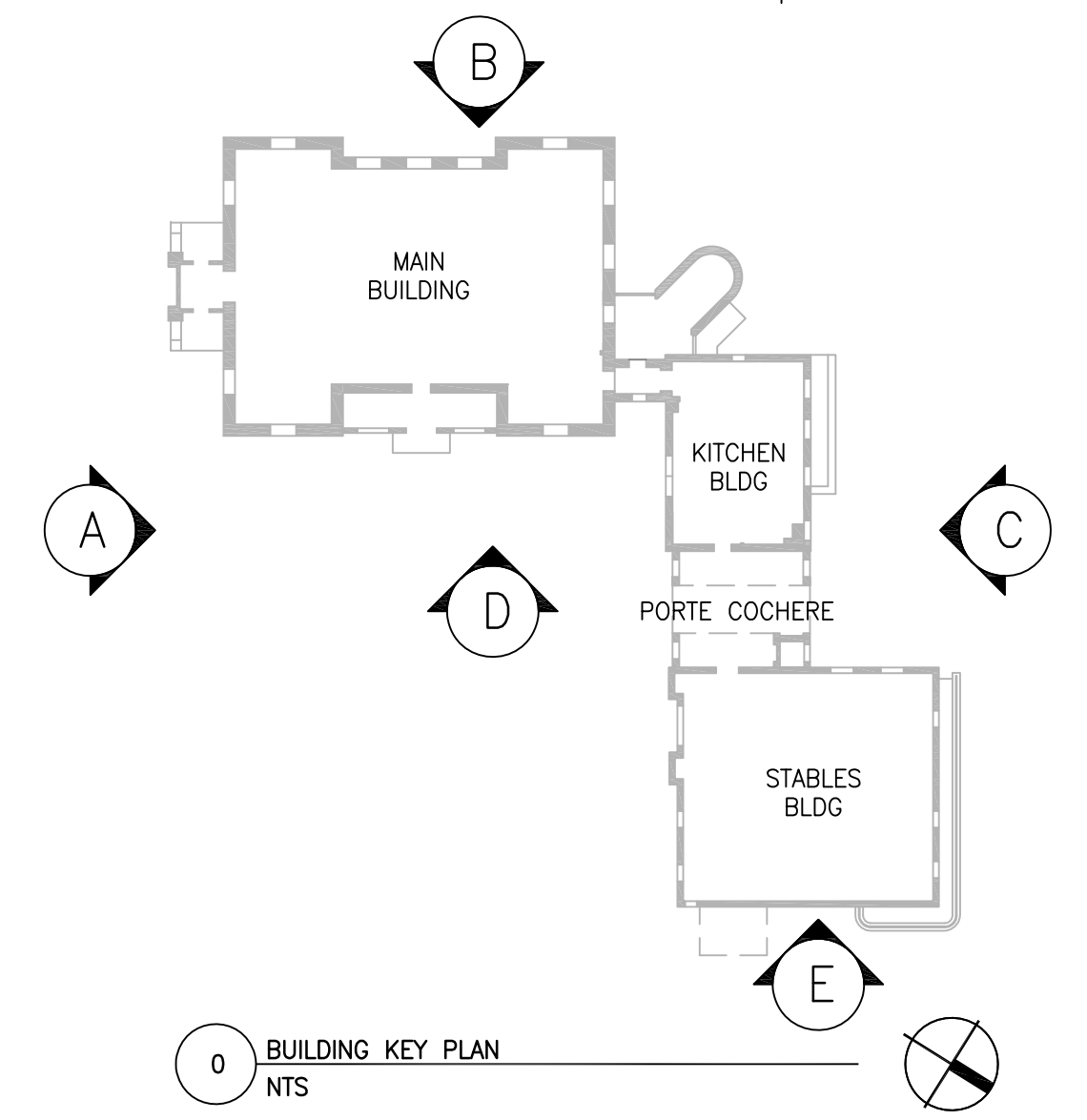
Date: JULY 17, 2023

PHDC
 A2.1

Project Number:



C3 EXTERIOR ELEVATION: PROPOSED
 SCALE: 3/16"=1'-0"



A3 EXTERIOR ELEVATION: PROPOSED
 SCALE: 3/16"=1'-0"

NOT FOR CONSTRUCTION

- GENERAL NOTES:
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CUSTOM HOMES ■ RENOVATION RESTORATION

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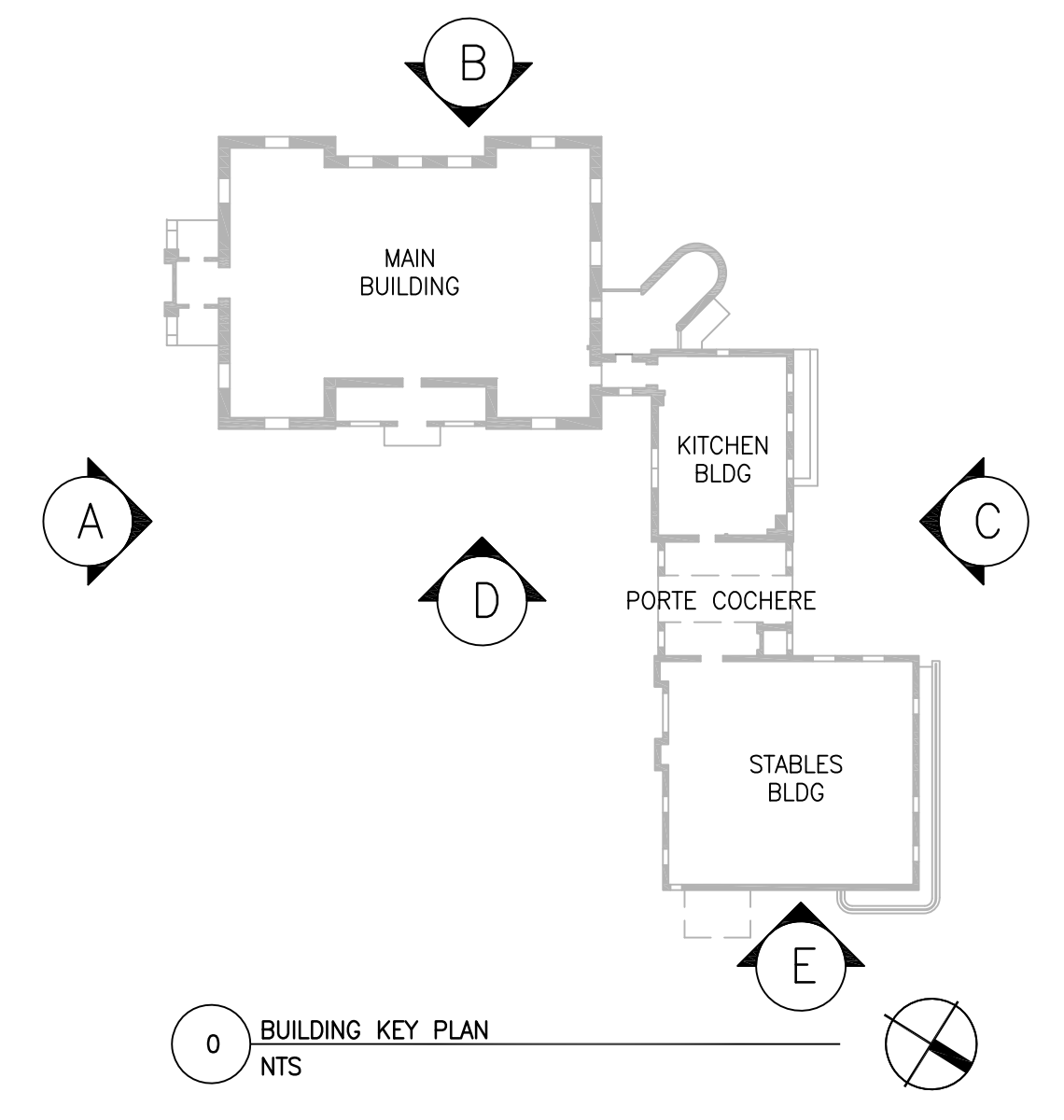
No.	Date	Revisions

HOPPIN HOUSE
383 BENEFIT STREET
PROVIDENCE, RI 02906

Date: JULY 17, 2023

PHDC
A2.2

Project Number:



B3 EXTERIOR ELEVATION: PROPOSED
SCALE: 3/16"=1'-0"

NOT FOR CONSTRUCTION

- GENERAL NOTES:
- DO NOT SCALE DRAWINGS.
 - VERIFY ALL DIMENSIONS IN FIELD.
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CUSTOM HOMES ■ RENOVATION RESTORATION

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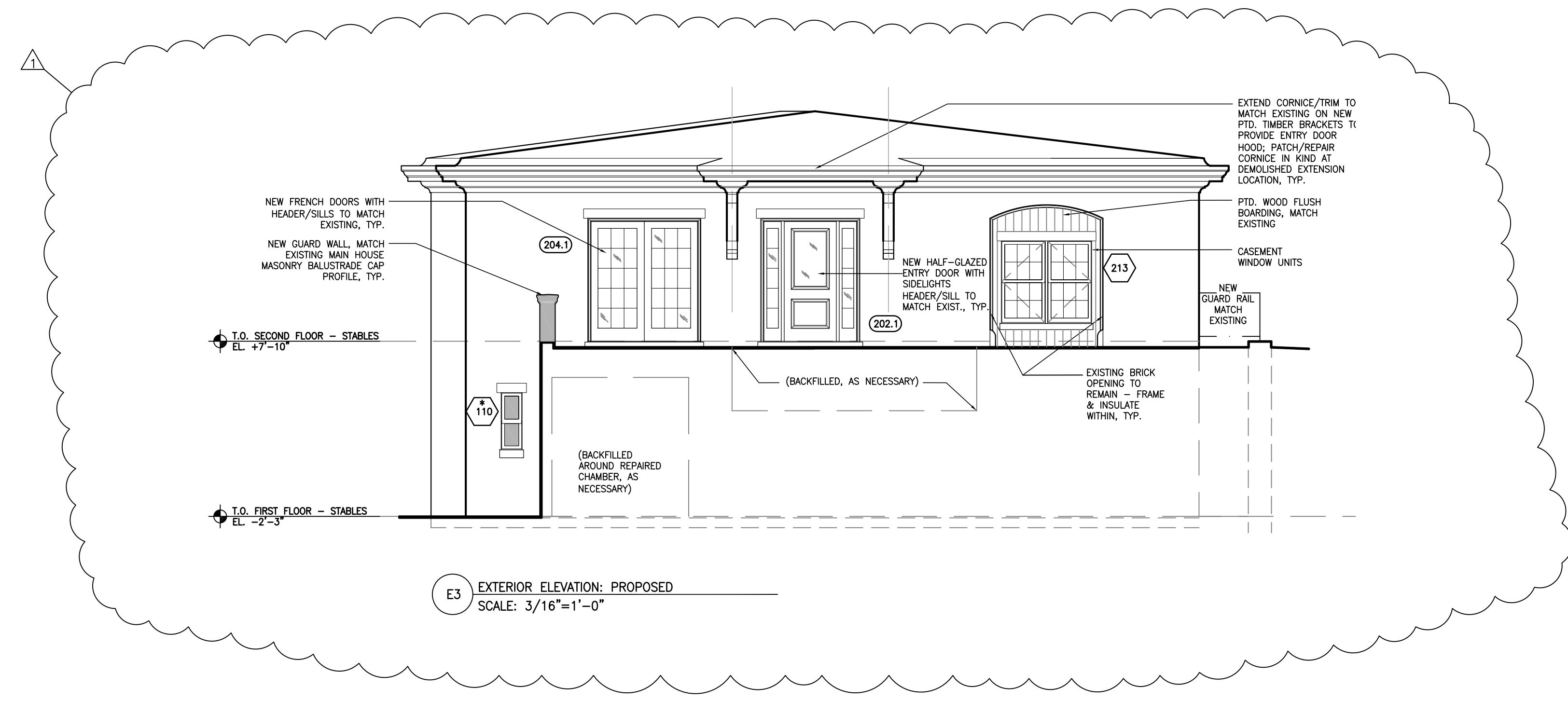
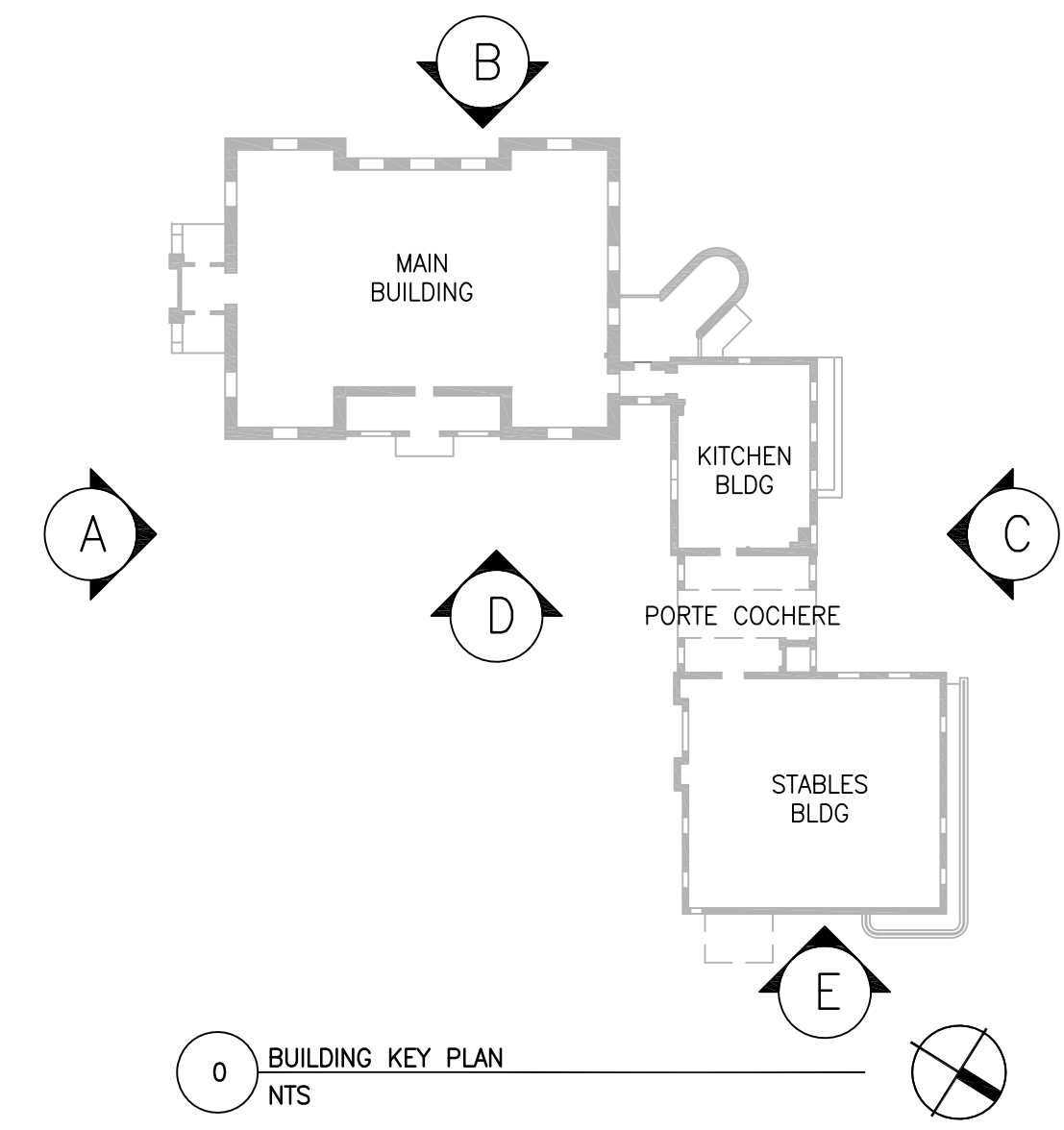
No.	Date	Revisions

HOPPIN HOUSE
383 BENEFIT STREET
PROVIDENCE, RI 02906

Date: JULY 17, 2023

PHDC
A2.3

Project Number:



NOT FOR CONSTRUCTION

GENERAL NOTES:
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 3. REPORT ANY DISCREPANCIES TO JP COUTURE.

CUSTOM HOMES ■ RENOVATION RESTORATION

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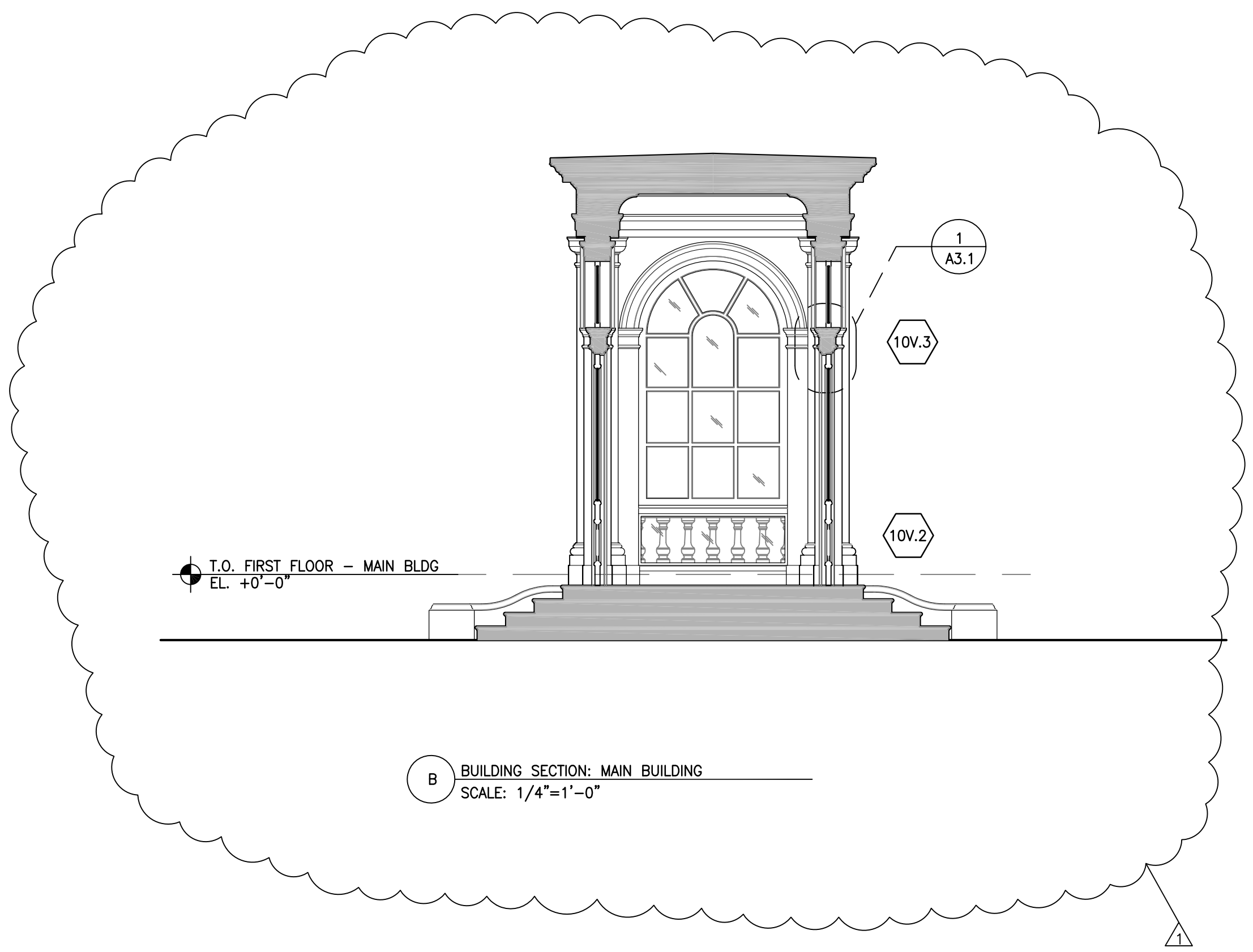
No.	Date	Revisions

HOPPIN HOUSE
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 PROVIDENCE, RI 02906

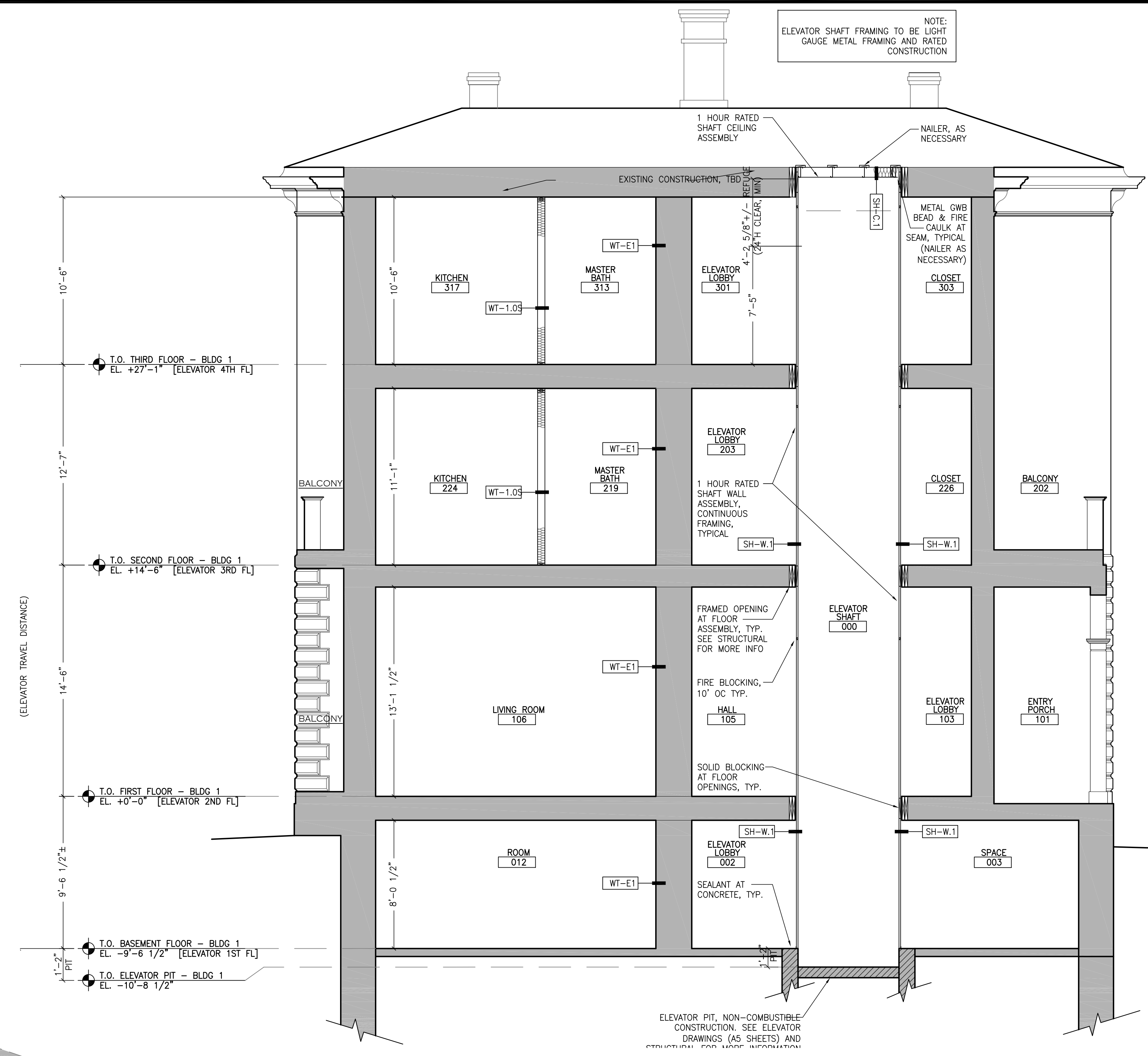
Date: JULY 17, 2023

PHDC
A3.1

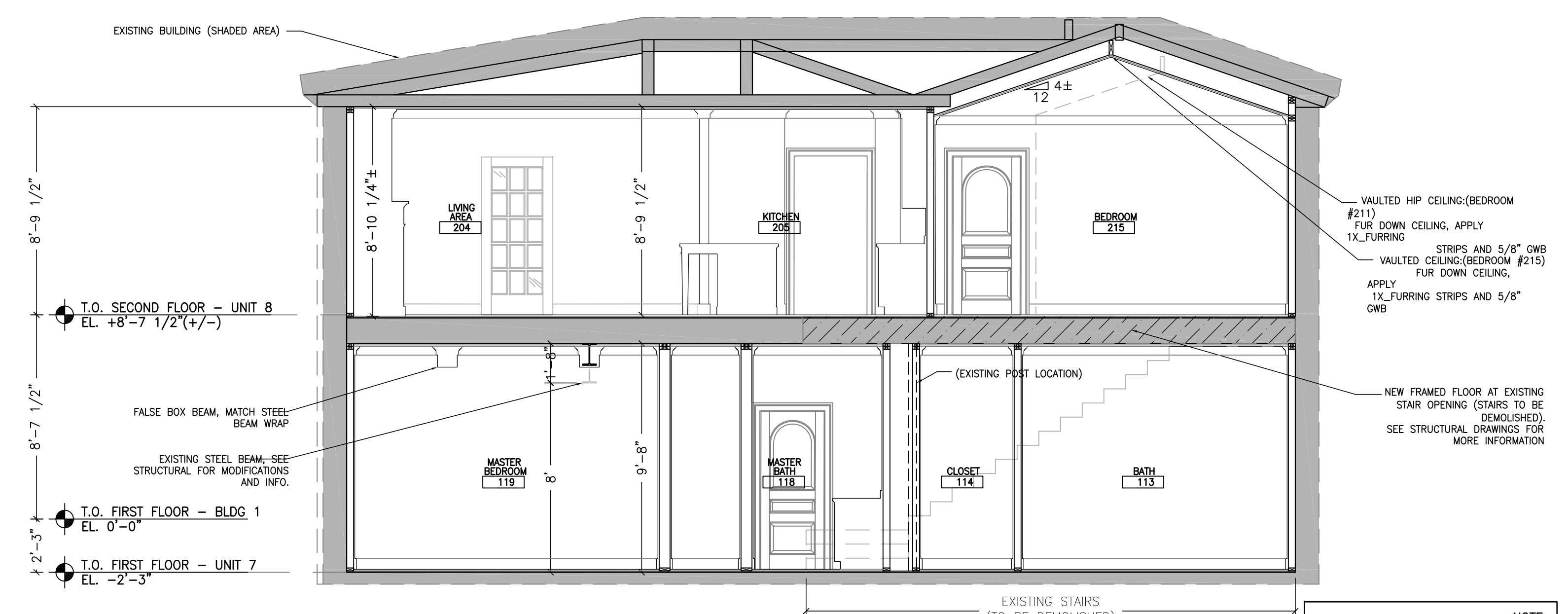
Project Number:



B BUILDING SECTION: MAIN BUILDING
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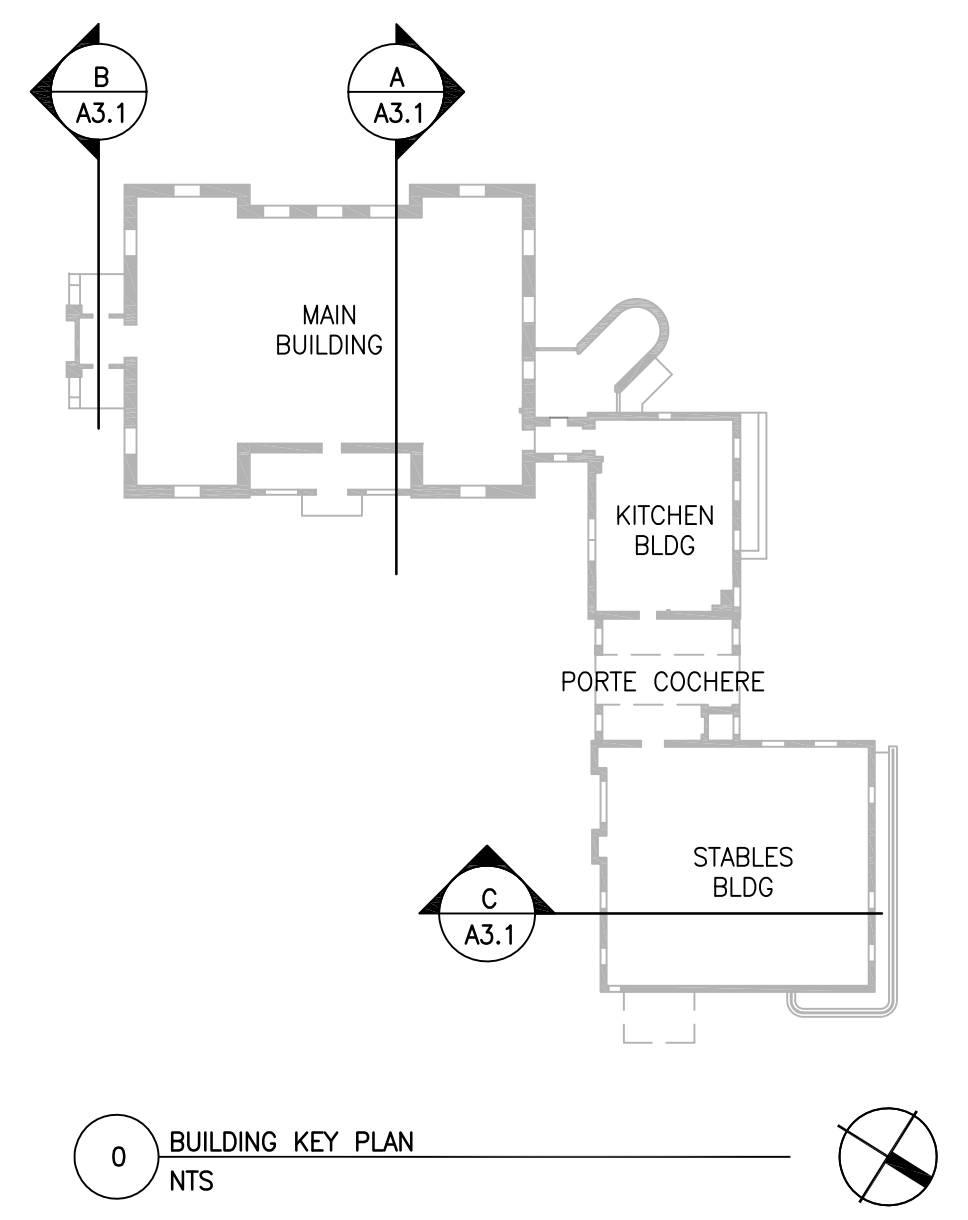


A BUILDING SECTION: MAIN BUILDING
 SCALE: 1/4"=1'-0"



C BUILDING SECTION: STABLES BUILDING
 SCALE: 1/4"=1'-0"

NOTE:
 FIELD MEASUREMENTS TAKEN FROM TOP OF EXISTING FINISHED FLOORING



D BUILDING KEY PLAN
 NTS