

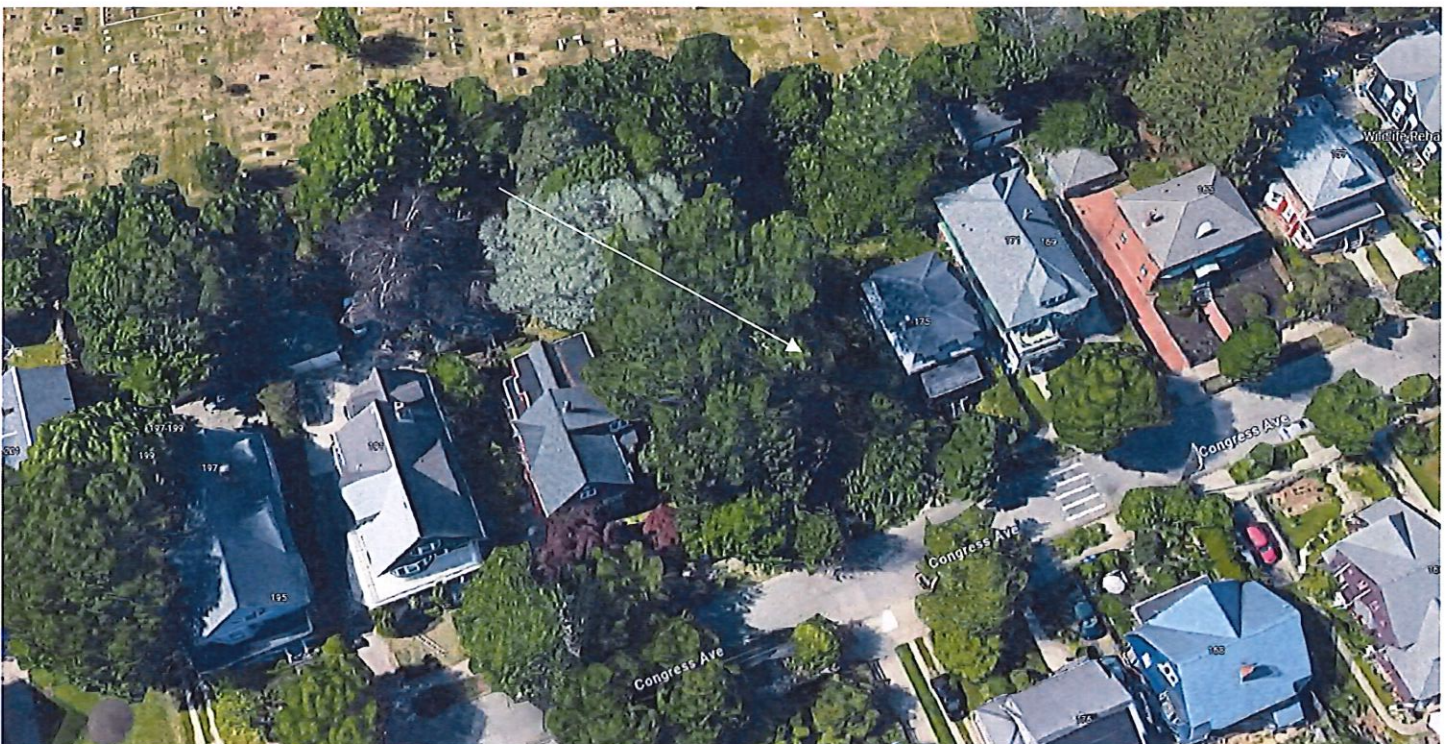
PROJECT REVIEW

1. CASE 23.113, 183 CONGRESS AVENUE, Vacant Lot (SOUTH ELMWOOD)

Currently a vacant lot within the South Elmwood local historic district, which is within the boundaries of the South Elmwood National Register Historic District.



Arrow indicates 183 Congress Avenue.



Arrow indicates project location, looking north.

Applicants: Maxton Investments LLC, 166 Valley Street, Bldg. 6M, Suite 103, Providence, RI 02909

Owners: Christopher D Norris LeBlanc & John P Duffin III, 175 Congress Avenue, Providence, RI 02907

Architect: E.A. Design Ltd., 570 Broad Street, Providence, RI 02907

Proposal: The scope of work proposed consists of New Construction and includes:

- the new construction of a 2½-story, two-unit house.

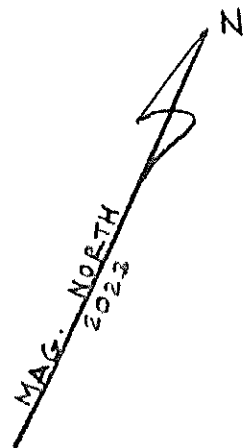
Issues: The following issues are relevant to this application:

- The proposed residence is a 2½-story, two-unit house that is a townhouse in design with one unit at the “front” at Congress Avenue, and the other unit, also having a “front” at the rear. Designs for both the front and rear are the same, as is the interior layout which is mirrored;
- The building’s overall form is compatible with the surrounding buildings and is an attractive design, if a little unusual in its layout. The rear “front” faced does look out onto the parklike setting of the adjoining cemetery;
- At the 10/23 meeting the Commission granted conceptual approval;
- The revised plans show some changes from conceptual design, specifically the two entry doors on the west elevation have been removed two entry side porches have been placed on the east elevation; and,
- Revised plans have been submitted.

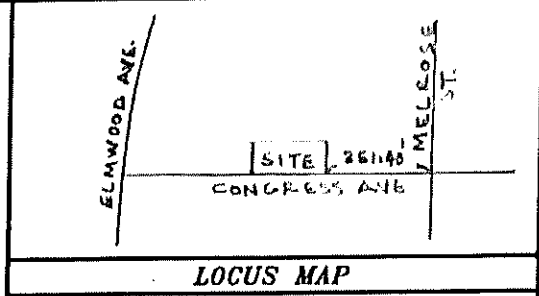
Recommendations: The staff recommends the PHDC make the following findings of fact:

- a) 183 Congress Avenue is currently a vacant lot within the South Elmwood local historic district, which is within the boundaries of the South Elmwood National Register Historic District;
- b) The application for New Construction is considered complete for approval; and,
- c) The work as proposed is in accord with PHDC Standard 8 as follows: as the proposed construction is appropriate having determined that the proposed construction is architecturally and historically compatible with the property and district having an appropriate size, scale and form that will not have an adverse effect on the property or district.

Staff recommends a motion be made stating that: The application is considered complete. 183 Congress is currently a vacant lot within the South Elmwood local historic district, which is within the boundaries of the South Elmwood National Register Historic District. The Commission grants Final Approval of the proposal as submitted as the proposed New Construction is appropriate having determined that the proposed construction is architecturally and historically compatible with the property and district having an appropriate size, scale and form that will not have an adverse effect on the property or district, citing and agreeing to the recommendations in the staff report, with a sub-committee to review construction details when they become available.




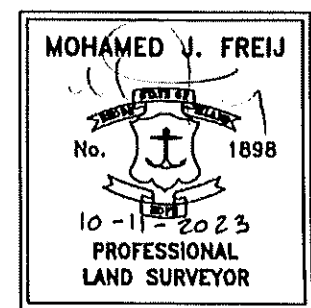
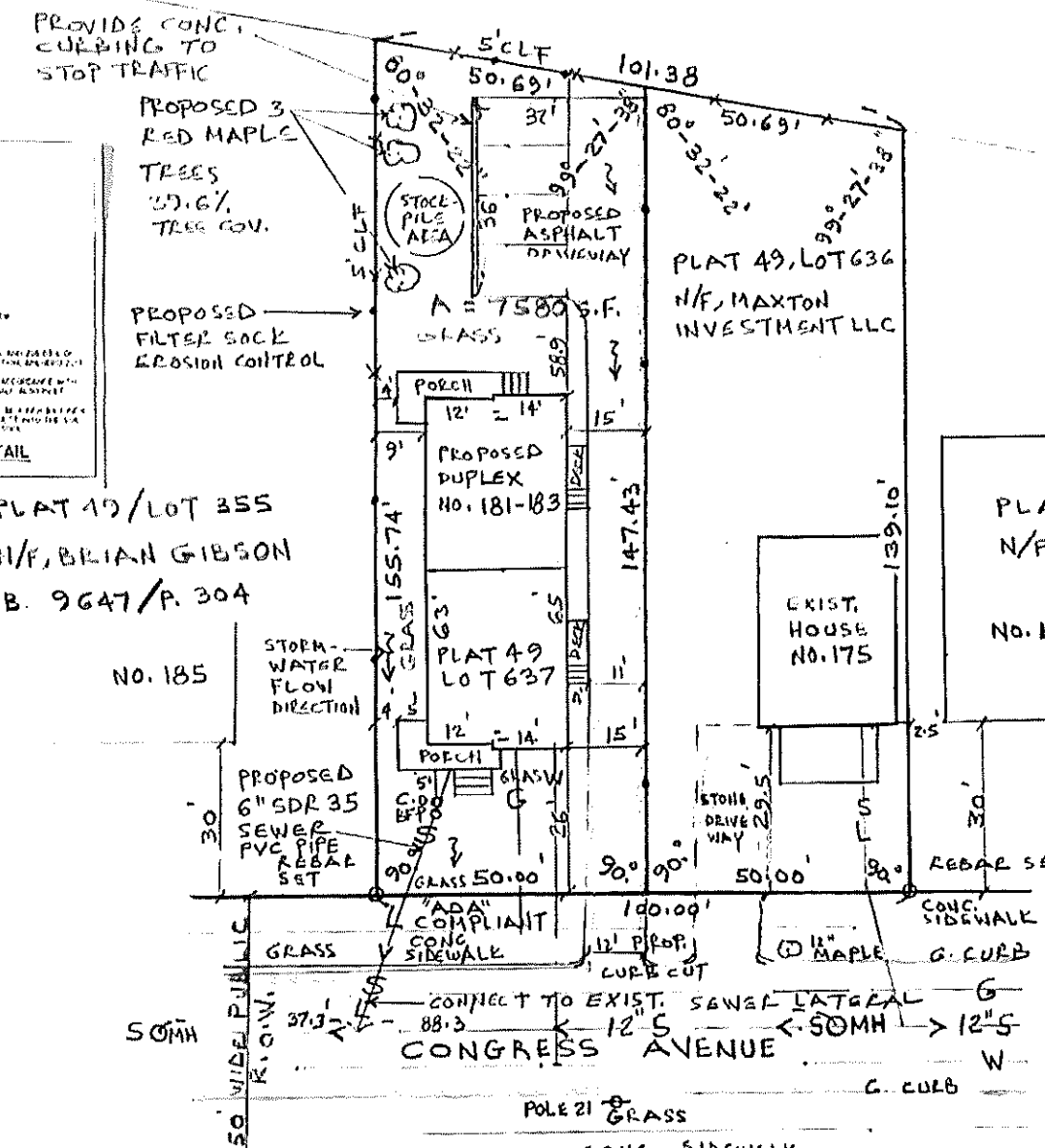
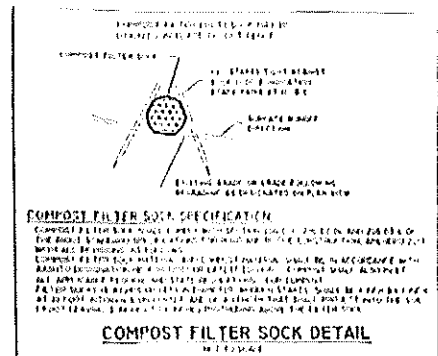
CITY OF PROV.
LOCUST GROVE CEMETERY



NOTES:

1. REFERENCE: SANITARY SEWER 158/47 ST. LINE PLAN 82/A-105
 2. ZONING: R2 (HD)
PROPOSED BUILDING LOT COVERAGE = 26%.
PROPOSED IMPERVIOUS COVERAGE FRONT YARD = 2A%.
PROPOSED IMPERVIOUS COVERAGE REAR YARD = 4.6%.
PROPOSED TOTAL IMPERVIOUS LOT COVERAGE = 62%.
PROPOSED TREE COVERAGE = 39.6%.
PROPOSED IMPERVIOUS COVERAGE = 36%.
 3. PER 402.B THE AVERAGE FRONT YARD SETBACK WITHIN 100' OF LOT ON SAME SIDE OF THE STREET IS 30.2'; PROPOSING 26'
 4. SITE IS LOCATED IN ZONE X PER FIRM MAP NO. 4-4007C0316G EFFECTIVE 3-2-2009
 4. ALL ROOF STORMWATER RUNOFF SHALL BE CONTAINED AND TREATED ONSITE, NO CONNECTION TO SEWER OR STORMWATER LINE IS ALLOWED.
 5. ALL CONSTRUCTION IN THE PUBLIC ROW MUST BE IN ACCORDANCE WITH THE CITY'S STANDARD DETAILS AVAILABLE AT [HTTPS://WWW.PROVIDENCERI.GOV/PUBLIC-WORKS/FORMS/ UNDER 'REPORTS + PUBLICATIONS'.](https://www.providenceri.gov/public-works/forms/under-reports-publications)
 6. UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATELY LOCATED, MUST CONTACT DIG-SAFE AT 1-888-DIG-SAFE BEFORE THE START OF CONSTRUCTION.
 7. THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE STATE OF RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS NOVEMBER 25, 2015 AS FOLLOWS:
COMPREHENSIVE BOUNDARY SURVEY- CLASS I
- THE PURPOSE FOR CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS:
BOUNDARY SURVEY & SITE PLAN

BY  DATE 10-11-2023
MOHAMED J. FREIJ RLS NO. 1898 C.O.A. NO. 000A263
REGISTERED PROFESSIONAL LAND SURVEYOR



BOUNDARY SURVEY & SITE PLAN		PROJECT NO.
PLAT 49 LOT 637		SCALE 1" = 30'
181-183 CONGRESS AVE., PROV. RI		DATE 9-21-23
OWNER: MAXTON INVESTMENTS LLC		DRAWN BY MJF
401-241-9439 SAM@ELEVEN91.COM		CHECKED BY MJF
PREPARED BY MJF ENGINEERING ASSOCIATES		TITLE
328 SOWAMS ROAD BARRINGTON, R.I. 02806 TEL. 401-241-5153 OR 401-247-2003 E-MAIL LANDSURVEYR@AOL.COM		
		1 of 1 SHEETS

- SEWER CLEANOUT & BACKFLOW PREVENTOR MUST BE A MIN. 5' TO FOUNDATION.
- REBUILD WITH AN 'ADA' COMPLIANT CONC. SIDEWALK AT LOT FRONTAGE.
- CONNECT TO EXISTING SEWER LATERAL WITH 6" PVC SDR 35 SEWER PIPE

NOTES: STEEL, CONCRETE & SOIL

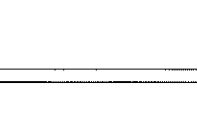
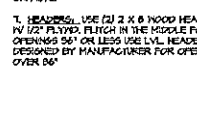
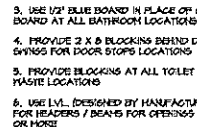
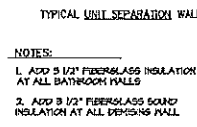
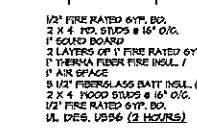
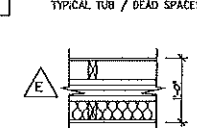
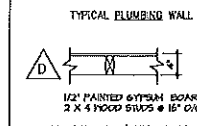
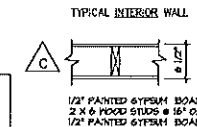
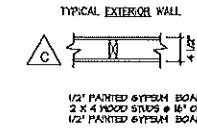
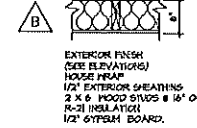
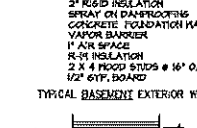
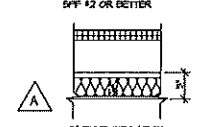
1. CONCRETE FOUNDATION WALLS
FOOTINGS: 5,000 PSI
2. CONCRETE SLAB: 4,000 PSI
3. MINIMUM SOIL DESIGN BEARING CAPACITY: 8,000 PSF
4. REBAR: GRADE 60 HEAVY BILLET STEEL

KEY:

- SMOKE DETECTOR
- HEAT DETECTOR
- COMBINATION SMOKE & CARBON MONOXIDE DETECTOR
- COMBINATION FAN LIGHT EXHAUST DIRECTLY TO OUTSIDE

3 WALL TYPES
SCALE: 8/4" = 1'-0"

NOTE:
STANDARD FINISHES:
SPF #2 OR BETTER



NO.	DATE	REVISIONS

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eadaesign@yabec.com

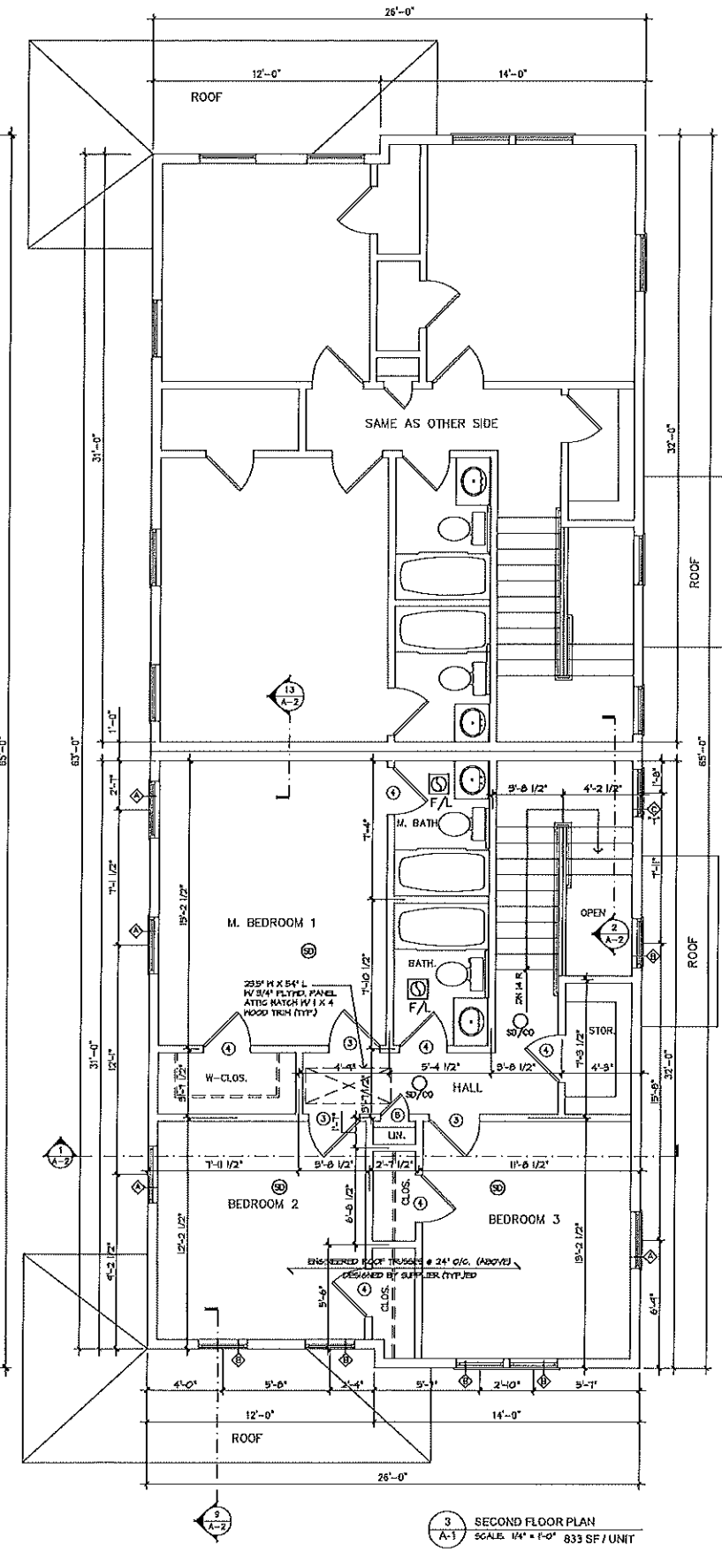
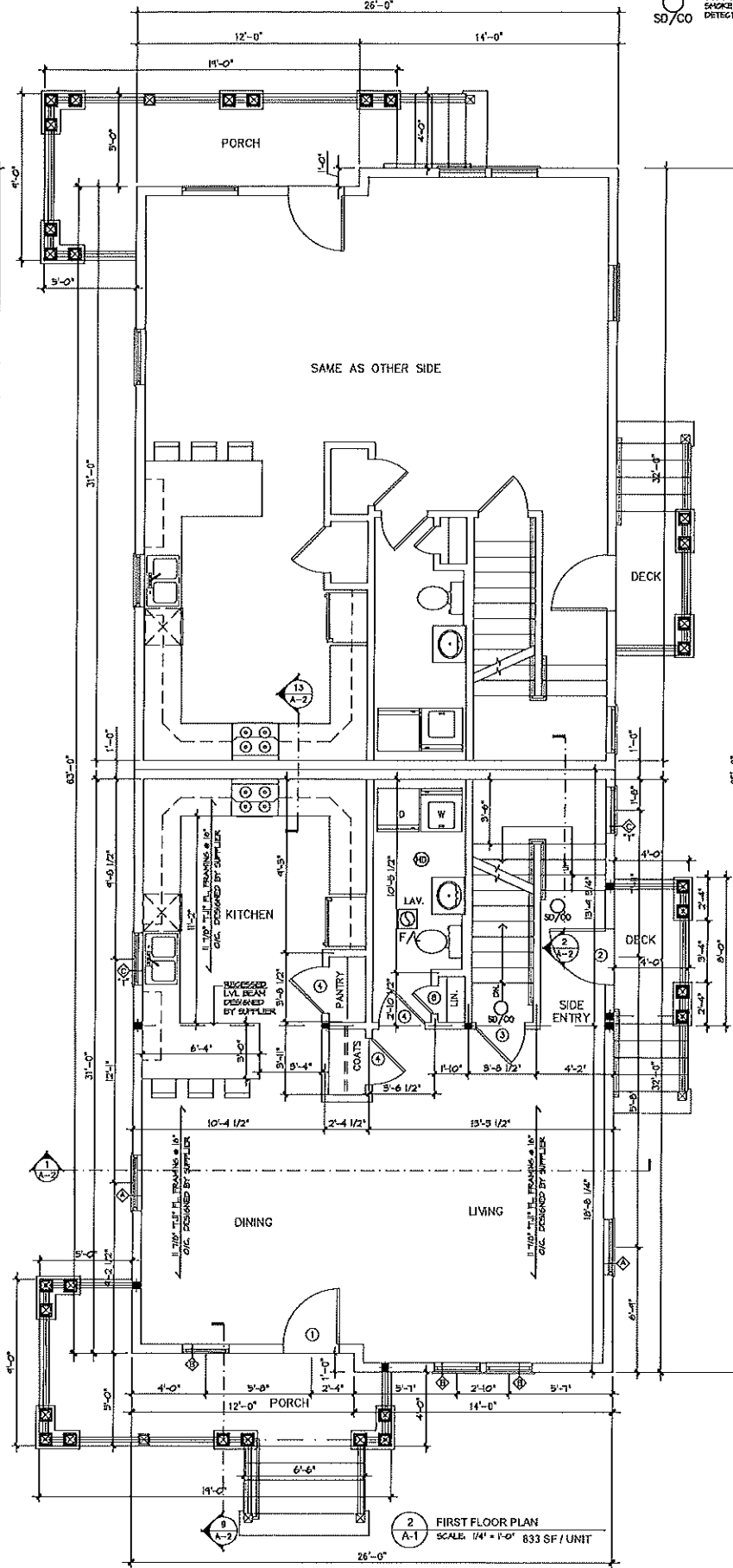
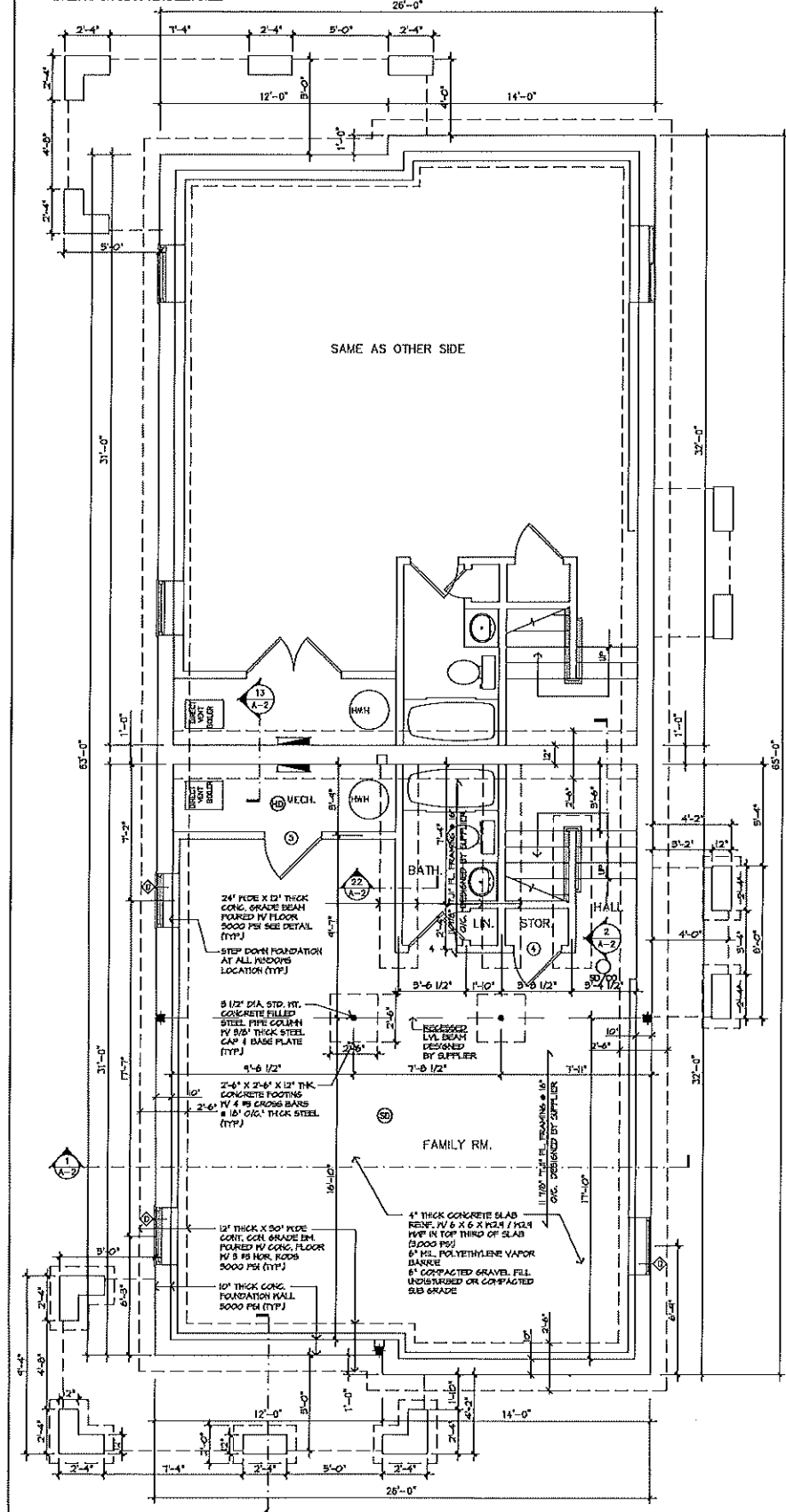
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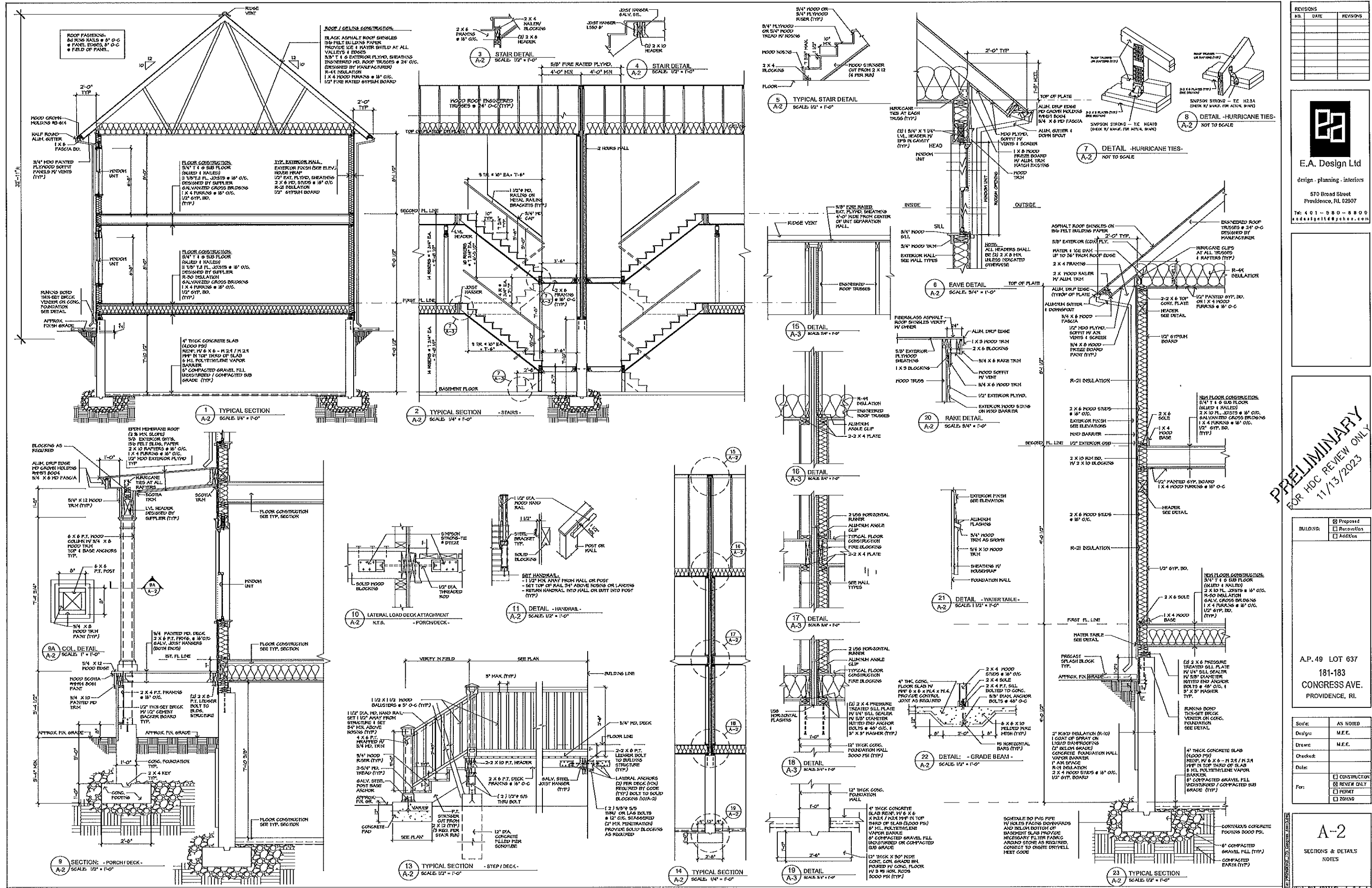
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	<input type="checkbox"/> Renovation
	<input type="checkbox"/> Addition

A.P. 49 LOT 637
181-183
CONGRESS AVE.
PROVIDENCE, RI

Scale:	AS NOTED
Design:	M.E.E.
Drawn:	M.E.E.
Checked:	
Date:	
For:	<input type="checkbox"/> CONSTRUCTION <input checked="" type="checkbox"/> REVIEW ONLY <input type="checkbox"/> PERMIT <input type="checkbox"/> ZONING

A-1
BASEMENT / FOUNDATION PL.
FIRST FLOOR PLAN
SECOND FLOOR PLAN
WALL TYPES, NOTES & DETAILS
Proj. #23-1033 Sheet 1 of 4





NO.	DATE	REVISIONS

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eoadesign@providence.com

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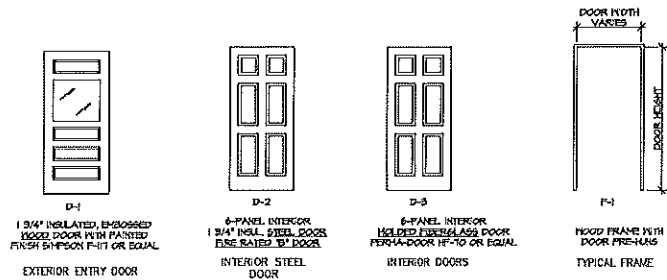
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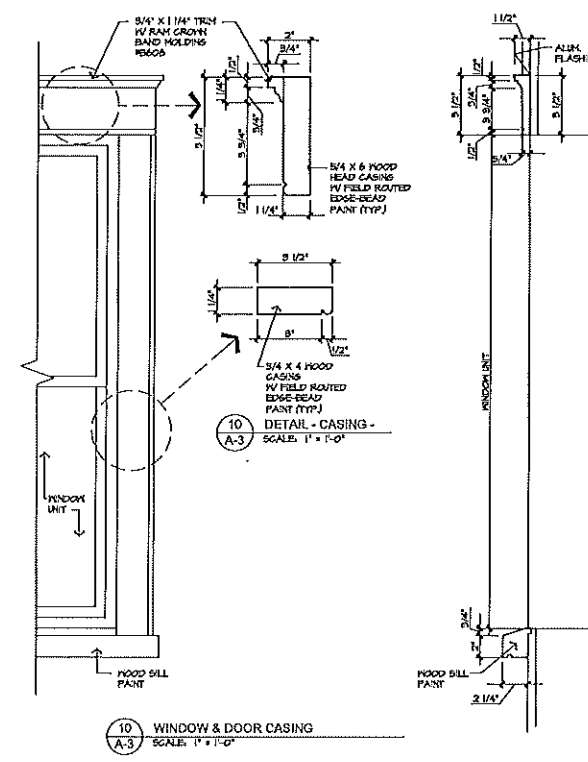
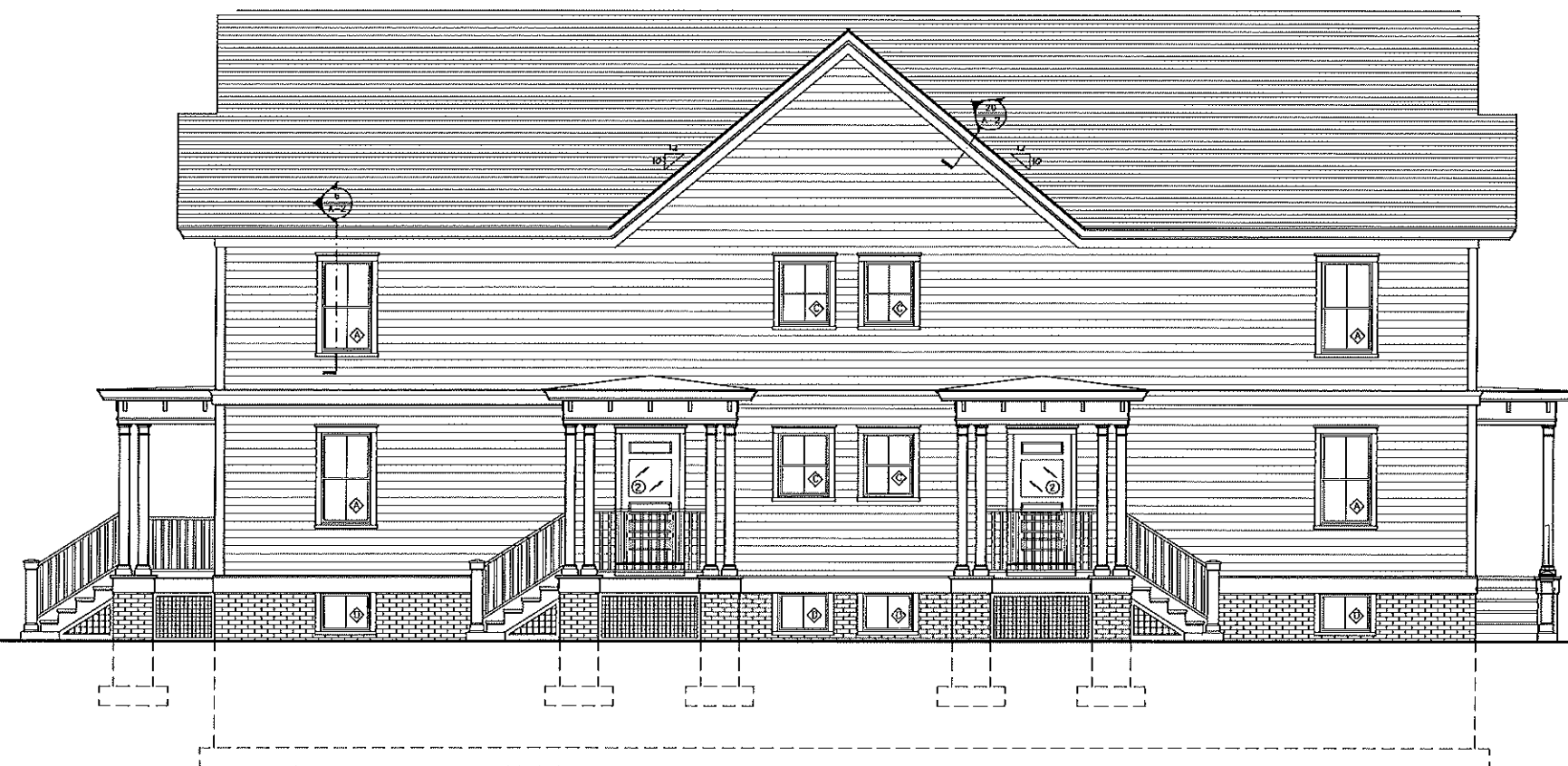
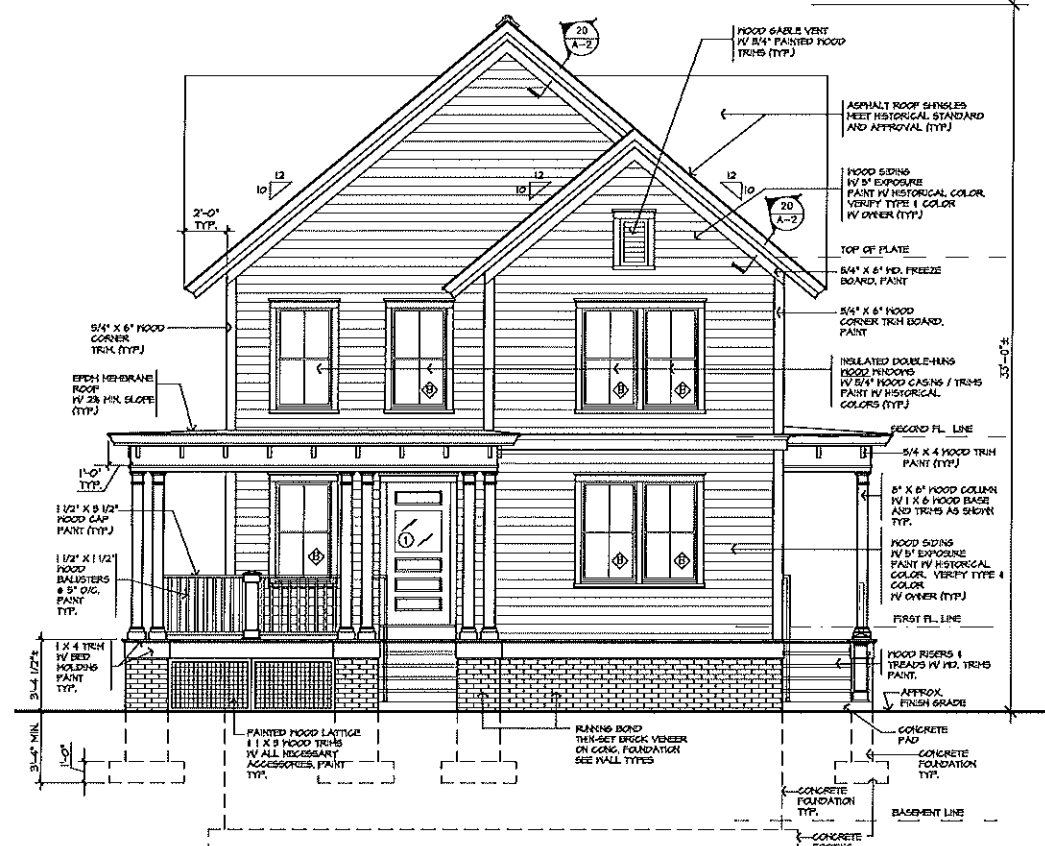
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Date:	
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	<input type="checkbox"/> ZONING

A-2
SECTIONS & DETAILS
NOTES

DOOR SCHEDULE					
NO.	TYPE	SIZE	TYPES	FRAME	REMARKS
1	EXTERIOR ENTRY DOOR	5'-0" X 6'-8" X 1 5/8"	D-1	F-1	EXTERIOR ENTRY HOOD DOOR W/ INSULATING LOH-E TRIP, GLAZING (PAINT)
2	EXTERIOR ENTRY DOOR	5'-0" X 6'-8" X 1 5/8"	D-1	F-1	EXTERIOR ENTRY HOOD DOOR W/ INSULATING LOH-E TRIP, GLAZING (PAINT)
3	INTERIOR DOORS	2'-8" X 6'-8" X 1 5/8"	D-3	F-1	3 PANEL MOLDED FIBERGLASS DOOR W/ PRE-HUNG FRAME (BRASS OR EQUAL)
4	INTERIOR DOORS	2'-8" X 6'-8" X 1 5/8"	D-3	F-1	3 PANEL MOLDED FIBERGLASS DOOR W/ PRE-HUNG FRAME (BRASS OR EQUAL)
5	INTERIOR STEEL DOORS	2'-8" X 6'-8" X 1 5/8"	D-2	F-1	3 PANEL INTERIOR STEEL INSULATED DOOR W/ PRE-HUNG FRAME (BRASS OR EQUAL) (FIRE RATED STEEL DOOR)
6	INTERIOR DOORS	1'-6" X 6'-8" X 1 5/8"	D-3	F-1	3 PANEL MOLDED FIBERGLASS DOOR W/ PRE-HUNG FRAME (BRASS OR EQUAL)



FRONT FACADE TRANSPARENCY CALCULATION:
 FRONT FACADE TOTAL AREA = 649 SF.
 FRONT FACADE TRANSPARENT AREA = (64)(15) = 971 SF.
 WINDOWS GLAZING = 40.0 SF.
 DOORS GLAZING = 43.0 SF.
 TOTAL AREA = 450 SF. (15.4%) OK



REVISIONS		
NO.	DATE	REVISIONS

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 ead@ealdesign.com

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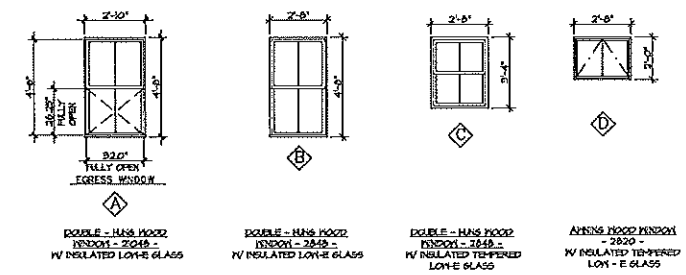
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A.P. 49 LOT 637
 181-183
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 PROVIDENCE, RI.

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Drawn:	M.E.E.
Checked:	
Date:	
For:	<input type="checkbox"/> CONSTRUCTION <input checked="" type="checkbox"/> REVIEW ONLY <input type="checkbox"/> PERMIT <input type="checkbox"/> ZONING

A-3
 EXTERIOR ELEVATIONS
 SECTIONS & DETAILS
 GENERAL NOTES

1 WINDOW TYPES
SCALE: 1/4" = 1'-0"



- NOTES: STEEL, CONCRETE & SOIL
1. CONCRETE FOUNDATION WALLS & FOOTINGS: 3,000 PSI
 2. CONCRETE SLAB: 4,000 PSI
 3. MINIMUM SOIL DESIGN BEARING CAPACITY: 5,000 PSF
 4. REBAR: GRADE 60 HEB BILLET STEEL

GENERAL STRUCTURAL NOTES:

- HEADERS:
1. ALL INTERIOR HEADERS TO BE 2" X 8" W/ 1/2" PLYWOOD BETWEEN HEADERS FOR OPENINGS 5'6" OR LESS
 2. USE LVL HEADERS (DESIGNED BY MANUFACTURER) FOR OPENINGS 5'6" OR MORE
 3. PROVIDE BLOCKING AT ALL TOILET WASTE PIPE LOCATIONS

CONCRETE / FORMWORK:

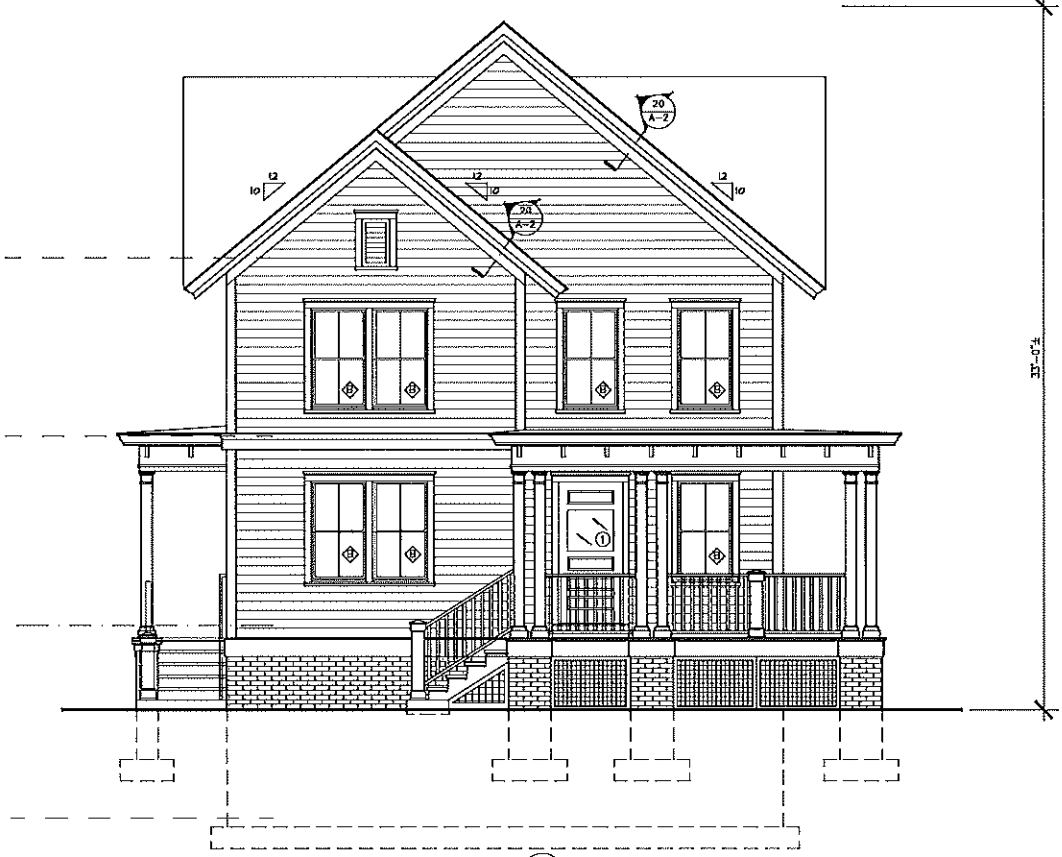
1. PROVIDE PLATE CONSTRUCTION AT ALL SURFACES AT BOTTOM OF FOOTING AND SLAB
2. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS AND BE AIR-ENTRAINED AT FOUNDATION WALLS AND WALKWAYS
3. FORMWORK SHALL BE SAVED AND BRACED AND REMAIN IN PLACE AS PER THE REQUIREMENT OF THE AMERICAN CONCRETE INSTITUTE
4. BRACE FOUNDATION WALLS PRIOR TO BACKFILL
5. THE STRUCTURE SHALL BE BRACED AT ALL TIMES DURING CONSTRUCTION
6. FRAMING STOCK EXCEPT TRUSSES - SEE TRUSS NOTES SHALL BE MINIMUM SPS No. 1 AND 2 WITH FD = 875 PSI, Fc = 1,000 PSI, MOE = 1,600,000 PSI

FRAMING:

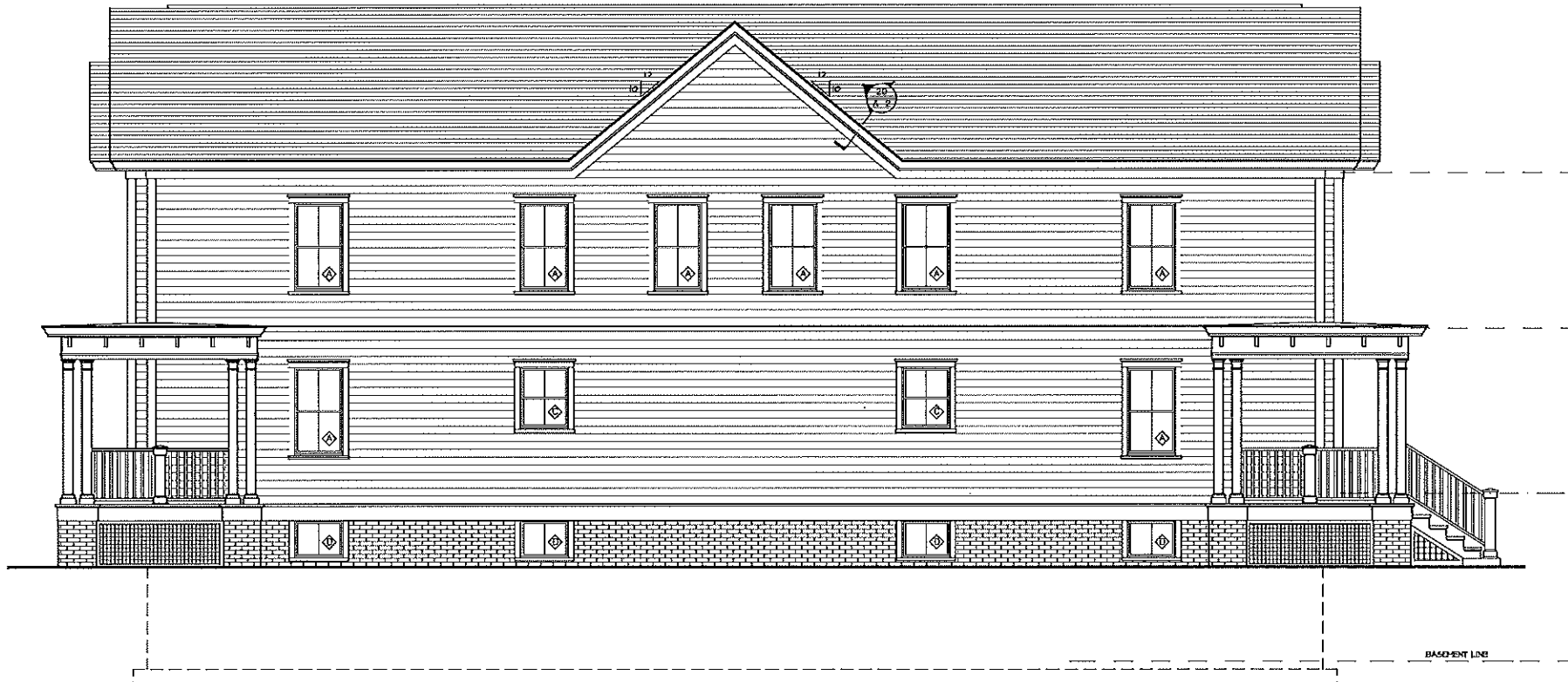
- ALL ROOF FRAMING MEMBERS TO BE PREFABRICATED ROOF TRUSSES DESIGNED AND SPACED BY TRUSS MANUFACTURER (24" O.C. MAX) UNLESS OTHERWISE NOTED.
- ATTACH ALL ROOF TRUSSES TO DOUBLE TOP PLATES AT EXTERIOR AND INTERIOR BEARING WALLS WITH 8" X 8" OR 10" X 10" HURRICANE W/LET ANCHORS PER TRUSS MANUFACTURER'S RECOMMENDATIONS.
- TYPICAL ROOF SHEATHING TO BE 1/2" CDX PLYWOOD WITH GAPS.
- ALL EXTERIOR BEARING WALLS TO BE 2 X 6 SPP#2 @ 16" O.C.
- ALL NON-BEARING INTERIOR WALLS TO BE 2 X 4 OR 2 X 6 STD GRADE @ 16" O.C.
- EXTERIOR WALL SHEATHING SHALL BE 1/2" (MIN) APA RATED PLYWOOD ON OUTSIDE FACE OF EXTERIOR WALLS. FACE GRAIN SHALL BE ORIENTED PERPENDICULAR TO STUDS.
- HORIZONTAL PANEL EDGES SHALL BE BACKED WITH 2" X 4" BLOCKING BETWEEN STUDS. VERTICAL EDGES SHALL OCCUR AT STUDS.
- NAIL PLYWOOD TO STUDS WITH 10d NAILS AT 8" O.C. ALONG VERTICAL AND HORIZONTAL PANEL EDGES, AND 10d NAILS AT 8" O.C. ALONG INTERIOR STUD SUPPORTS. USE COMMON NAILS FOR SHEATHING NOT EXPOSED TO WEATHER, AND GALVANIZED DOX NAILS FOR EXPOSED SHEATHING.
- PROVIDE DOUBLE JOISTS UNDER BEARINGS SHALL FROM ABOVE
- FLOOR SHEATHING SHALL BE 3/4" APA RATED FLOOR SHEATHING
- PROVIDE BLOCKING AT ALL TOILET / WASTE PIPE LOCATIONS

TRUSSES / JOISTS MANUFACTURER:

1. ROOF TRUSSES SHALL BE DESIGNED FOR A MINIMUM SNOW LOAD OF 30 PSF. DESIGN SNOW LOAD SHALL BE INCREASED IN ACCORDANCE WITH THE BUILDING CODE FOR SLOPING ROOFS AND VALLEY CONDITIONS.
2. ROOF TRUSSES SHALL INCLUDE DESIGN FOR WIND LOADS OF + 24 PSF LEeward & - 18 PSF WINDward.
3. DEAD LOADS SHALL BE 10 PSF AT TOP CHORD, 10 PSF AT BOTTOM CHORD, AND A LINE OF LOAD OF 20 PSF SHALL BE APPLIED TO THE BOTTOM CHORD WHERE THE CLEAR DISTANCE BETWEEN TOP AND BOTTOM CHORD IS 4'-2" OR MORE.
4. TRUSS / JOIST MANUF. SHALL SUBMIT CALCULATIONS FOR THE DESIGN OF THE TRUSS / JOIST. SEAL BY A REGISTERED STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION.
5. STOCK SHALL BE NOT LESS THAN # 2 GRADE
6. DESIGN/BUILD: THIS TRUSS DESIGN / PROFILE IS ONLY A GUIDE. FINAL DESIGN SHALL BE DONE BY TRUSS MANUFACTURER. DESIGN SHALL BE GENERALLY AS SHOWN HEREIN UNLESS DESIGN / BUILD CONTRACTOR SHALL CHECK, MODIFY, REDESIGN AS NECESSARY, AND SHALL GUARANTEE THE PERFORMANCE OF THE SYSTEM AND CONFORMANCE TO ALL APPLICABLE CODES. FRAMING / LAYOUT, ETC. IS ALSO DIAGNOSTIC. ACTUAL FINAL LAYOUT SHALL BE COORDINATED WITH MANUFACTURER AND OTHER TRADE.
7. PROVIDE DOUBLE JOISTS UNDER BEARINGS SHALL FROM ABOVE



7 REAR ELEVATION
SCALE: 1/4" = 1'-0"



8 LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. GENERAL CONTRACTOR SHALL OBTAIN ALL PERMITS AND INSPECTIONS NECESSARY TO INSURE BEHOLD OF AN OCCUPANCY PERMIT AT COMPLETION OF THE WORK. DO NOT START ANY CONSTRUCTION UNTIL SECURING ALL REQUIRED PERMITS.
2. CONTRACTOR SHALL MAINTAIN ALL INSURANCE REQUIRED BY THE OWNER AND OR GOVERNMENTAL AUTHORITIES AND SHALL PROVIDE PROOF OF SUCH INSURANCE AS REQUIRED.
3. ALL WORK SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, CITY REQUIREMENTS AND AS NOTED. WHERE CONFLICTS OCCUR, THE MOST STRINGENT REQUIREMENTS SHALL BE MET.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR BRACING ALL WORK DURING CONSTRUCTION.
5. THESE DRAWINGS MAY NOT BE TO SCALE. REFER TO PLANS, SECTIONS AND DETAILS FOR DIMENSIONS. DO NOT SCALE DRAWINGS.
6. THESE DRAWINGS ARE ONLY A PART OF THE CONSTRUCTION DRAWINGS. OTHER DRAWINGS ARE PROVIDED BY OTHERS AS DESIGN-BUILD.
7. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE ELEVATIONS BEFORE COMMENCING CONSTRUCTION AND REPORT ANY DISCREPANCIES / SITE DEVIATION TO THE DESIGNER FOR CLARIFICATION BEFORE PROCEEDING.
8. CONTRACTOR SHALL REVIEW THE DRAWINGS AND VERIFY ALL EXISTING SITE CONDITIONS, REPORT ERRORS, OMISSIONS AND REQUEST FOR CLARIFICATION BEFORE SUBMITTING BIDS. CHANGE ORDERS SHALL NOT BE ACCEPTED DURING CONSTRUCTION.
9. REMOVE ALL CONSTRUCTION DEBRIS AND MAINTAIN A CLEAN CONSTRUCTION SITE THROUGHOUT ENTIRE CONSTRUCTION. PROPERTY SHALL BE TRACKED OVER TO OWNER IN MOVE-IN CONDITION.
10. THE CONTRACTOR SHALL VERIFY AND COORDINATE WITH OWNER ALL MATERIALS, COLOR, QUALITY AND MANUFACTURER OF ALL MATERIALS, AND MATERIAL USED IN THE PROJECT.

NO.	DATE	REVISIONS

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PRELIMINARY
FOR HDC REVIEW ONLY
11/13/2023

BUILDING: Proposed
 Renovation
 Addition

A.P. 49 LOT 637
181-183
CONGRESS AVE.
PROVIDENCE, RI

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Drawn:	M.E.E.
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A-3
EXTERIOR ELEVATIONS
SECTIONS & DETAILS
GENERAL NOTES