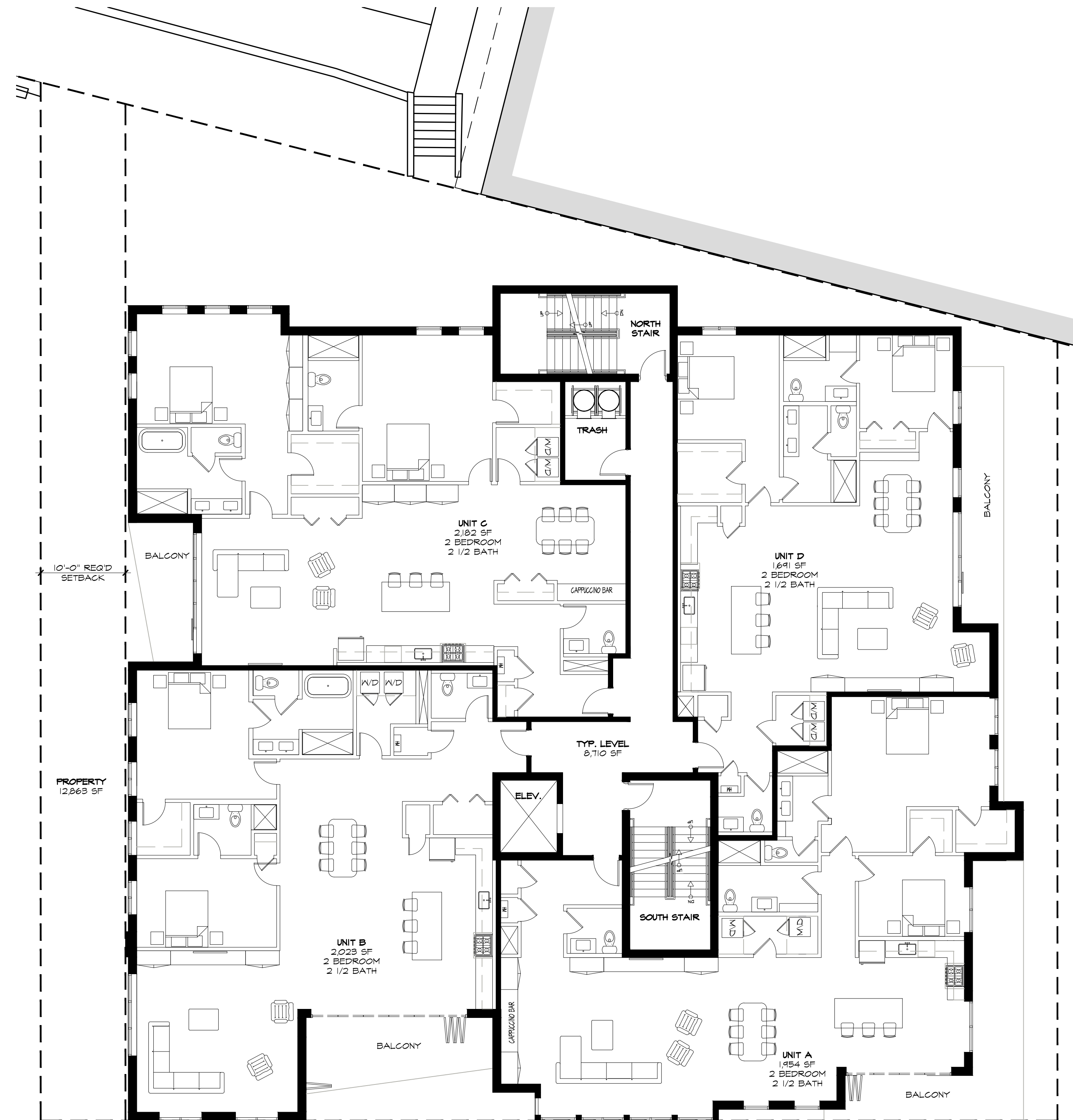




PROPOSED GROUND LEVEL
SCALE: 1/8"=1'-0"



PROPOSED TYPICAL LEVEL
SCALE: 1/8"=1'-0"



PROPOSED ROOF TOP LEVEL
SCALE: 1/8"=1'-0"



PROPOSED SOUTH ELEVATION

SCALE: 1/8"=1'-0"



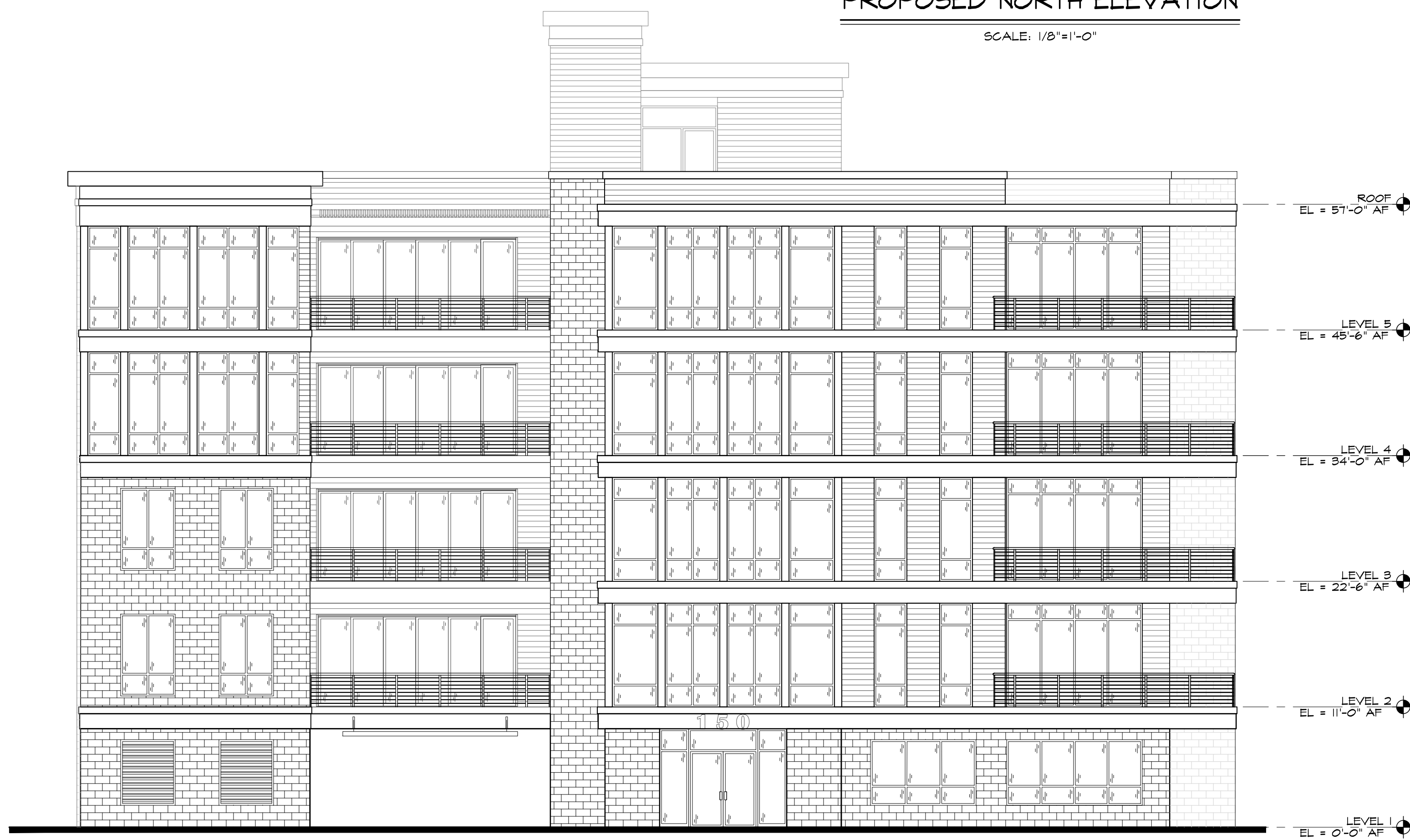
PROPOSED NORTH ELEVATION

SCALE: 1/8"=1'-0"



PROPOSED EAST ELEVATION

SCALE: 1/8"=1'-0"



PROPOSED SOUTH ELEVATION

SCALE: 1/8"=1'-0"



PROPOSED WEST ELEVATION

SCALE: 1/8"=1'-0"

**SITE IMPROVEMENT PLANS FOR A
MINOR LAND DEVELOPMENT PROJECT**

PITMAN STREET REDEVELOPMENT

**A PROPOSED MULTI-FAMILY STRUCTURE
CONSISTING OF 16 RESIDENTIAL UNITS**

**150, 154, & 158 PITMAN STREET
PROVIDENCE, RHODE ISLAND
AP 15, LOTS 238-240**

ZONING DISTRICT: GENERAL COMMERCIAL DISTRICT (C-2)

PROPERTY OWNER	PROPERTY OWNER	APPLICANT
LOTS 238 & 239 WALTER L. BRONHARD 972 HIGHLAND AVENUE FALL RIVER, MA 02720	LOT 240 150 PITMAN STREET LLC C/O WALTER L. BRONHARD 972 HIGHLAND AVENUE FALL RIVER, MA 02720	WALTER L. BRONHARD 972 HIGHLAND AVENUE FALL RIVER, MA 02720
ENGINEER	ARCHITECT	SURVEYOR
JOE CASALI ENGINEERING, INC. 300 POST ROAD WARWICK, RI 02888 (401) 944-1300 PHONE WWW.JOECASALI.COM	AHARONIAN & ASSOCIATES, INC. 310 GEORGE WASHINGTON HWY SMITHFIELD, RI 02917 (401) 944-1300 PHONE	WATERMAN ENGINEERING CO. 46 SUTTON AVENUE EAST PROVIDENCE, RI 02914 (401) 438-5773 PHONE

GENERAL NOTES:

- THIS PLAN IS BASED ON CLASS I COMPREHENSIVE BOUNDARY AND CLASS III TOPOGRAPHIC SURVEY DATED AUGUST 2018, PERFORMED BY WATERMAN ENGINEERING COMPANY LOCATED AT 46 SUTTON AVENUE, EAST PROVIDENCE, RI.
- THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING ANY CONSTRUCTION OPERATIONS. RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR CITY WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.
- THE SITE IS LOCATED ON THE FLOOD INSURANCE RATE MAP FOR PROVIDENCE COUNTY, MAP NUMBER 440007C0309K, DATED OCTOBER 2, 2015. THE ENTIRE PROJECT SITE IS LOCATED WITHIN FLOOD ZONE X, WHICH IS DEFINED AS AREAS OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD HAZARD AREA.
- SOILS ON THE SITE CONSIST OF UDORHTENTS-URBAN LAND COMPLEX (UD) AND MERRIMAC-URBAN LAND COMPLEX, 0-8% SLOPES. UD SOILS CONSIST OF HUMAN TRANSPORTED MATERIALS.
- THERE ARE NO KNOWN WETLANDS ON SITE. THE SITE IS LOCATED WITHIN THE SEEKONK-PROVIDENCE RIVER WATERSHED (RIDEM INVENTORY NO. 010900040901).
- THERE ARE NO KNOWN EASEMENTS WITHIN THE PROJECT SITE.
- PUBLIC WATER, SEWER, ELECTRIC/COMMUNICATIONS AND GAS ARE AVAILABLE TO THE PROJECT SITE.

ZONING CRITERIA	REQUIRED
ZONING DISTRICT	C-2
MINIMUM LOT AREA	NONE
MINIMUM BUILDING HEIGHT	16 FT
MINIMUM FIRST STORY HEIGHT	SEE NOTE 1
MAXIMUM BUILDING HEIGHT	50 FT ²
MAXIMUM BUILDING COVERAGE	NONE
TOTAL MAX. IMPERVIOUS SURFACE COVERAGE	NONE
MINIMUM FRONT SETBACK	SEE NOTE 3
MINIMUM SIDE SETBACK	SEE NOTE 4
MINIMUM REAR SETBACK	SEE NOTE 5

SOIL EROSION NOTE:

- CONTRACTOR SHALL ESTABLISH SUFFICIENT SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ALONG THE NORTHERN AND EASTERN, DOWN GRADIENT SIDE OF PROJECT AREA INCLUDING BUT NOT LIMITED TO COMPOST SOCK AND SILTSACK SEDIMENT TRAPS ILLUSTRATED ON THE PLANS.

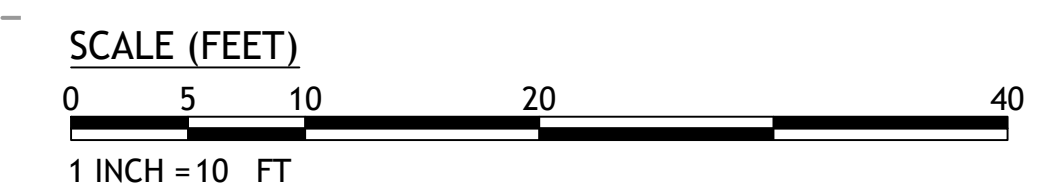
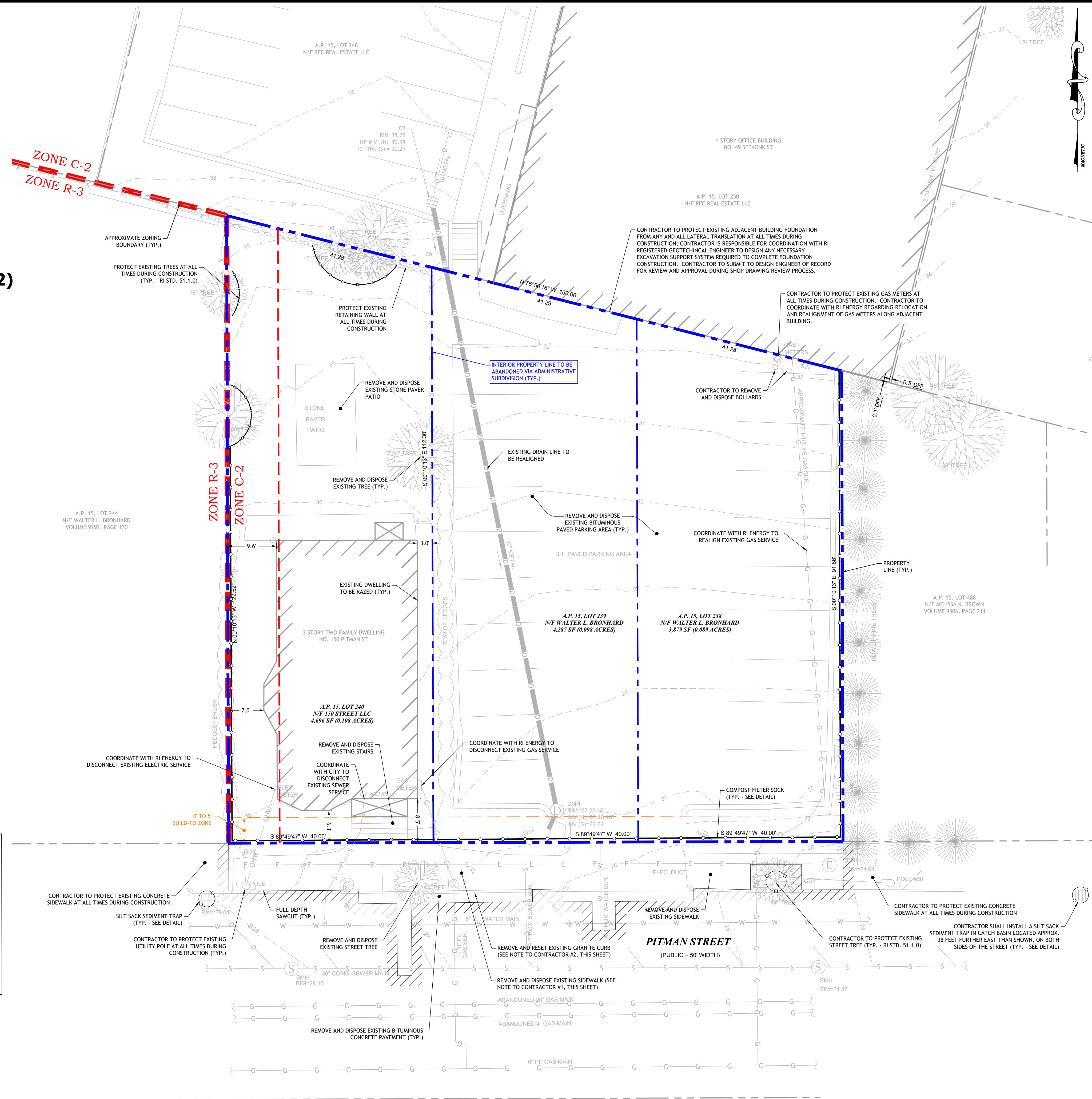
NOTES TO CONTRACTOR - WORK IN CITY RIGHT-OF-WAY:

- A PHYSICAL ALTERATION PERMIT MUST BE OBTAINED FROM THE CITY OF PROVIDENCE'S DEPARTMENT OF PUBLIC WORKS (DPW) ENGINEERING DIVISION PRIOR TO THE REMOVAL OF SIDEWALK WITHIN CITY RIGHT-OF-WAYS. A DPW TRAFFIC ENGINEERING PERMIT IS REQUIRED FOR THE CLOSING OF THE SIDEWALK TO PEDESTRIAN TRAFFIC. APPLICATION MUST ADDRESS ALTERNATIVE PEDESTRIAN PATH OF TRAVEL.
- ANY AND ALL SURPLUS CURB IS THE PROPERTY OF THE CITY OF PROVIDENCE AND SHALL BE TRANSPORTED AND STOCKPILED, AS DIRECTED, AT THE DEPARTMENT OF PUBLIC WORKS (DPW) FACILITY AT 20 ERNEST STREET, PROVIDENCE, RI.
- ALL CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST BE IN ACCORDANCE WITH THE CITY'S STANDARD DETAILS AVAILABLE AT [HTTPS://WWW.PROVIDENCE.RI.GOV/PUBLIC-WORKS/FORMS/UNDER-REPORTS-PUBLICATIONS](https://www.providence.ri.gov/public-works/forms/under-reports-publications)

- NOTES:
- 9 FT RESIDENTIAL USE; 11 NON-RESIDENTIAL USE
 - 50 FT, NOT TO EXCEED 4 STORIES
 - BUILD TO ZONE OF 0.5 FT; THE REQUIRED BUILD-TO PERCENTAGE IS 60% ON THE FRONT LOT LINE
 - NONE, UNLESS ABUTTING A RESIDENTIAL DISTRICT, THEN 10 FT
 - NONE, UNLESS ABUTTING A RESIDENTIAL DISTRICT, THEN 20 FT



LOCATION OF EXISTING UTILITIES SHOWN, ARE FROM GATE LOCATION AND EXISTING DOCUMENTATION AND MAY NOT BE ACCURATE. EXACT LOCATION TO BE DONE BY THE APPROPRIATE UTILITY COMPANY OR MUNICIPALITY PRIOR TO ANY EXCAVATION CALL DIGSAFE AT 1-888-DIG-SAFE
1-888-344-7233



JCE
JOE CASALI ENGINEERING, INC.
300 POST ROAD, WARWICK, RI 02888
(401) 944-1300

JOSEPH A. CASALI
No. 7250
REGISTERED PROFESSIONAL ENGINEER
12/5/2023

**16-UNIT, FIVE-STORY RESIDENTIAL STRUCTURE
PITMAN STREET REDEVELOPMENT
PROVIDENCE, RHODE ISLAND
AP 15, LOTS 238-240**

REVISIONS:

NO.	DATE	DESCRIPTION
1	12/5/23	PLANNING

DESIGNED BY: WLMJR
DRAWN BY: SD/SEP
CHECKED BY: JAC
DATE: NOV. 2023
PROJECT NO: 19-198

PRELIMINARY, NOT FOR CONSTRUCTION

EXISTING CONDITIONS

SHEET 1 OF 5

C:\19-198\198-001\198-001-010 Pitman Street Redevelopment (Master Plan) - RI.dwg, Dec-05, 2023, 4:11pm

ZONING CRITERIA	REQUIRED	PROPOSED
ZONING DISTRICT	C-2	C-2
MINIMUM LOT AREA	NONE	12,862 SF
MINIMUM BUILDING HEIGHT	16 FT	>16 FT
MINIMUM FIRST STORY HEIGHT	SEE NOTE 1	11 FT
MAXIMUM BUILDING HEIGHT	50 FT*	57 FT (5 STORIES)
MAXIMUM BUILDING COVERAGE	NONE	74.2%
TOTAL MAX. IMPERVIOUS SURFACE COVERAGE	NONE	76.1%
MINIMUM FRONT SETBACK	SEE NOTE 3	0 FT - 3.33 FT
MINIMUM SIDE SETBACK	SEE NOTE 4	6 FT
MINIMUM REAR SETBACK	SEE NOTE 5	3.94 FT

- NOTES:
- 9 FT RESIDENTIAL USE; 11' NON-RESIDENTIAL USE
 - 50 FT, NOT TO EXCEED 4 STORIES
 - BUILD TO ZONE OF 0-5 FT; THE REQUIRED BUILD-TO PERCENTAGE IS 60% ON THE FRONT LOT LINE
 - NONE, UNLESS ABUTTING A RESIDENTIAL DISTRICT, THEN 10 FT
 - NONE, UNLESS ABUTTING A RESIDENTIAL DISTRICT, THEN 20 FT
 - ADJUSTMENT REQUESTED FOR ONE (1) ADDITIONAL STORY / 7 FEET

VEHICLE AND BICYCLE PARKING REQUIREMENTS:

VEHICLE PARKING: PER SECTION 1402, TABLE 14-1: OFF STREET VEHICLE AND BICYCLE PARKING REQUIREMENTS

USE: MULTI-FAMILY DWELLING
MINIMUM 1 PARKING SPACE PER DWELLING UNIT
16 DWELLING UNITS PROPOSED

REQUIRED: 16 PARKING SPACES
PROVIDED: 16 PARKING SPACES (1 VAN ACCESSIBLE ADA SPACE)

BICYCLE PARKING: ONE (1) BICYCLE SPACE IS REQUIRED PER FIVE (5) DWELLING UNITS. 16 UNITS ARE PROPOSED, THEREFORE 4 BICYCLE SPACES ARE REQUIRED. ALL 4 BICYCLE SPACES ARE PROPOSED WITHIN THE BASEMENT OF THE PROPOSED STRUCTURES; REFER TO ARCHITECTURAL PLANS FOR DETAILED LOCATIONS.

LOADING SPACE REQUIREMENT:

LOADING SPACE: PER SECTION 1403, TABLE 14-2: OFF STREET LOADING REQUIREMENTS

USE: MULTI-FAMILY DWELLING
MINIMUM 1 LOADING SPACE FOR 40,000 SF OR MORE GFA*
*NOT INCLUDING INTERIOR PARKING SPACES

PROPOSED GFA* = 37,729 SF
NO LOADING SPACE REQUIRED

LANDSCAPING REQUIREMENTS:

PER SECTION 1503, - ONSITE LANDSCAPING AND REQUIRED TREES
SECTION C - REQUIRED TREE CANOPY
(ALL OTHER DISTRICTS: 15% OF THE SF OF THE LOT)

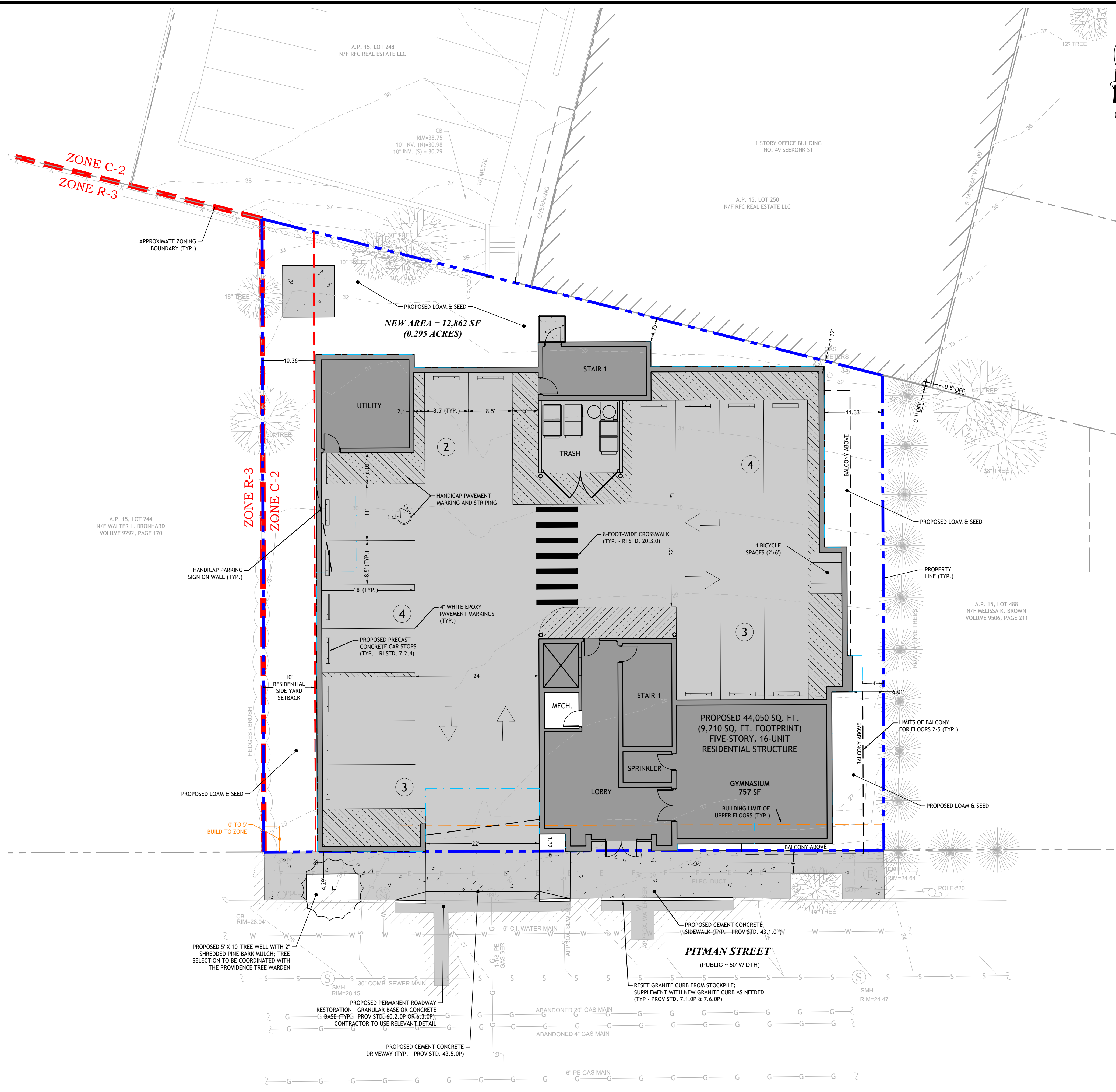
12,862 SF TOTAL LOT AREA x 15% OF LOT AREA
= 1,929 SF OF TREE CANOPY

REQUIRED: 1,929 SF OF TREE CANOPY
PROPOSED: 2,000 SF OF TREE CANOPY*

*ONE (1) EXISTING STREET TREE ADJACENT TO THE SUBJECT PROPERTY AND ONE (1) PROPOSED STREET TREE ARE ASSUMED TO MEET THIS REQUIREMENT (LARGE STREET TREE = 1,000 SF CANOPY)

CITY OF PROVIDENCE DEPT. OF PUBLIC WORKS (DPW) NOTES:

- CONTACT DPW ENGINEERING BEFORE ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY OR SEWER CONNECTION AT 401-680-7525.
- ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY MUST BE IN ACCORDANCE WITH THE CITY'S STANDARD DETAILS.
- ANY AND ALL SURPLUS GRANITE CURBING SHALL BE RETURNED TO THE CITY OF PROVIDENCE DEPARTMENT OF PUBLIC WORKS.
- ANY CONSTRUCTION ACTIVITY THAT HINDERS VEHICLE TRAFFIC OR PEDESTRIAN TRAFFIC MUST BE PERMITTED THROUGH THE CITY TRAFFIC ENGINEER.
- CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING A LETTER OF APPROVAL AND SUBMITTING TO THE DEPARTMENT OF STANDARDS. A PHYSICAL ALTERATION PERMIT, ROAD EXCAVATION PERMIT FOR EACH UTILITY AND SEWER PERMITS ARE REQUIRED BEFORE THAT PARTICULAR WORK COMMENCES.
- ROOF DRAINS SHALL NOT BE TIED INTO THE SANITARY SEWER CONNECTION.



JOE CASALI ENGINEERING, INC.
CIVIL ENGINEER - PROFESSIONAL REGISTRATION NO. 7250
DRAINAGE - WIND - LIGHTNING - EROSION CONTROL
300 POST ROAD, WARWICK, RI 02888
(401) 944-1300 (601) 944-1313 FAX WWW.JOECASALI.COM

JOSEPH A. CASALI
REG. NO. 7250
REGISTERED PROFESSIONAL ENGINEER
CIVIL
12/5/2023

**16-UNIT, FIVE-STORY RESIDENTIAL STRUCTURE
PITMAN STREET REDEVELOPMENT
PROVIDENCE, RHODE ISLAND
AP 15, LOTS 238-240**

REVISIONS:

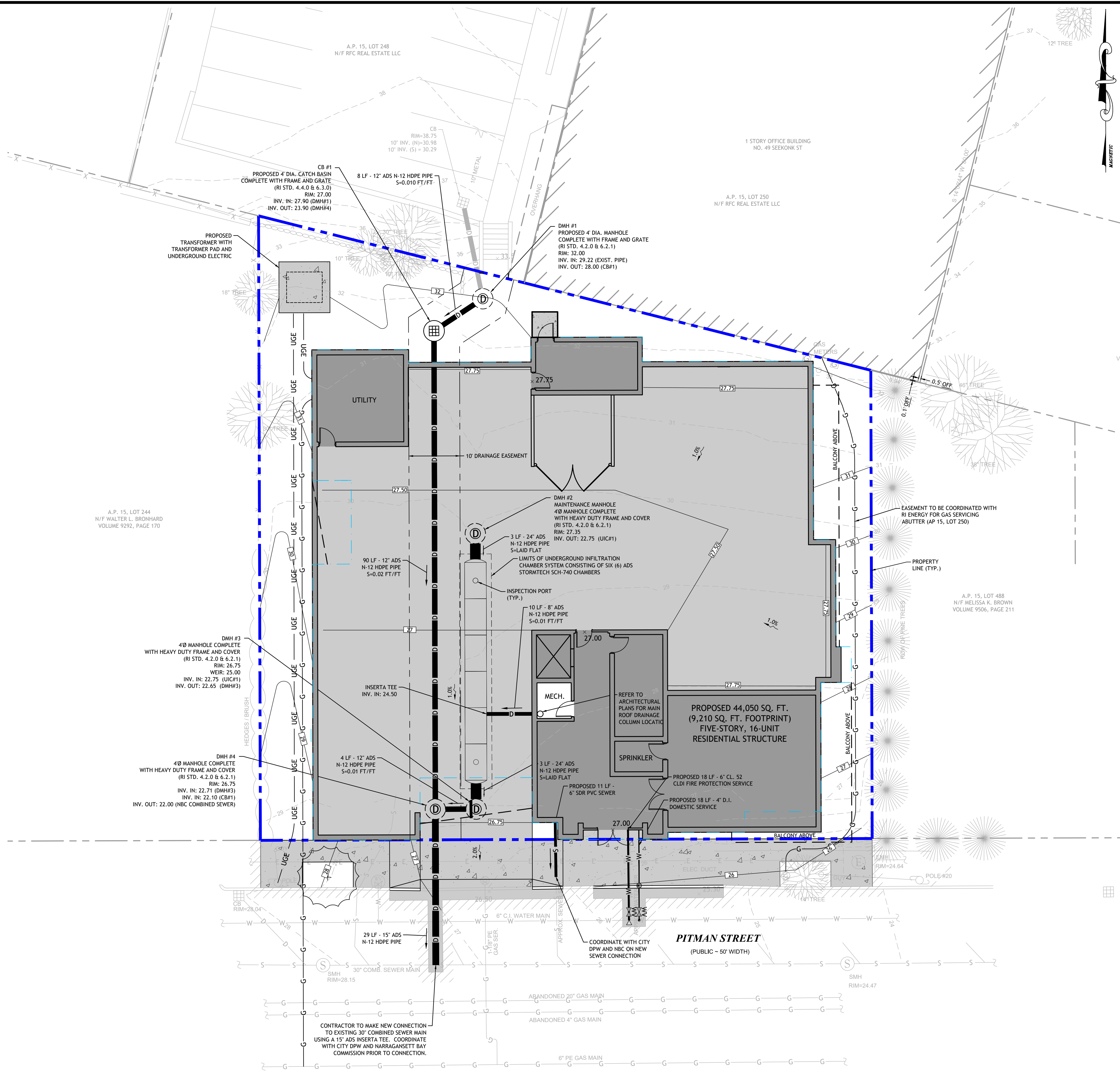
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1	12/5/23	PLANNING
		COMMENTS

DESIGNED BY: WLMJR
DRAWN BY: SD/SEP
CHECKED BY: JAC
DATE: NOV. 2023
PROJECT NO: 19-198

PRELIMINARY, NOT FOR CONSTRUCTION

SITE PLAN

SHEET 2 OF 5



C:\19-19-Abrahamian & Associates\19-19-150 Pitman Street (Master Plan) - RI.dwg, Dec-05, 2023, 4:11pm

JCE
 JOE CASALI ENGINEERING, INC.
 CIVIL ENGINEERING, ARCHITECTURE, PLANNING
 300 POST ROAD, WARWICK, RI 02888
 (401) 944-1300

JOSEPH A. CASALI
 No. 7250
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 12/5/2023

**16-UNIT, FIVE-STORY RESIDENTIAL STRUCTURE
 PITMAN STREET REDEVELOPMENT
 PROVIDENCE, RHODE ISLAND
 AP 15, LOTS 238-240**

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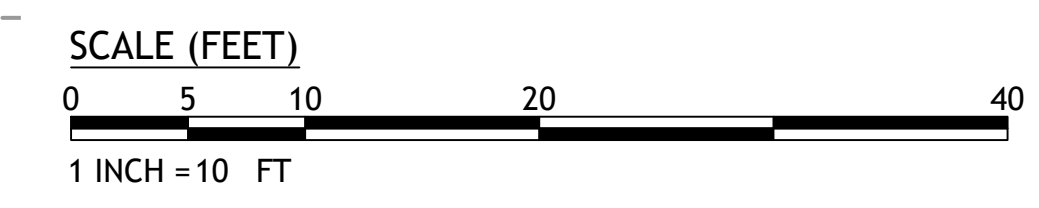
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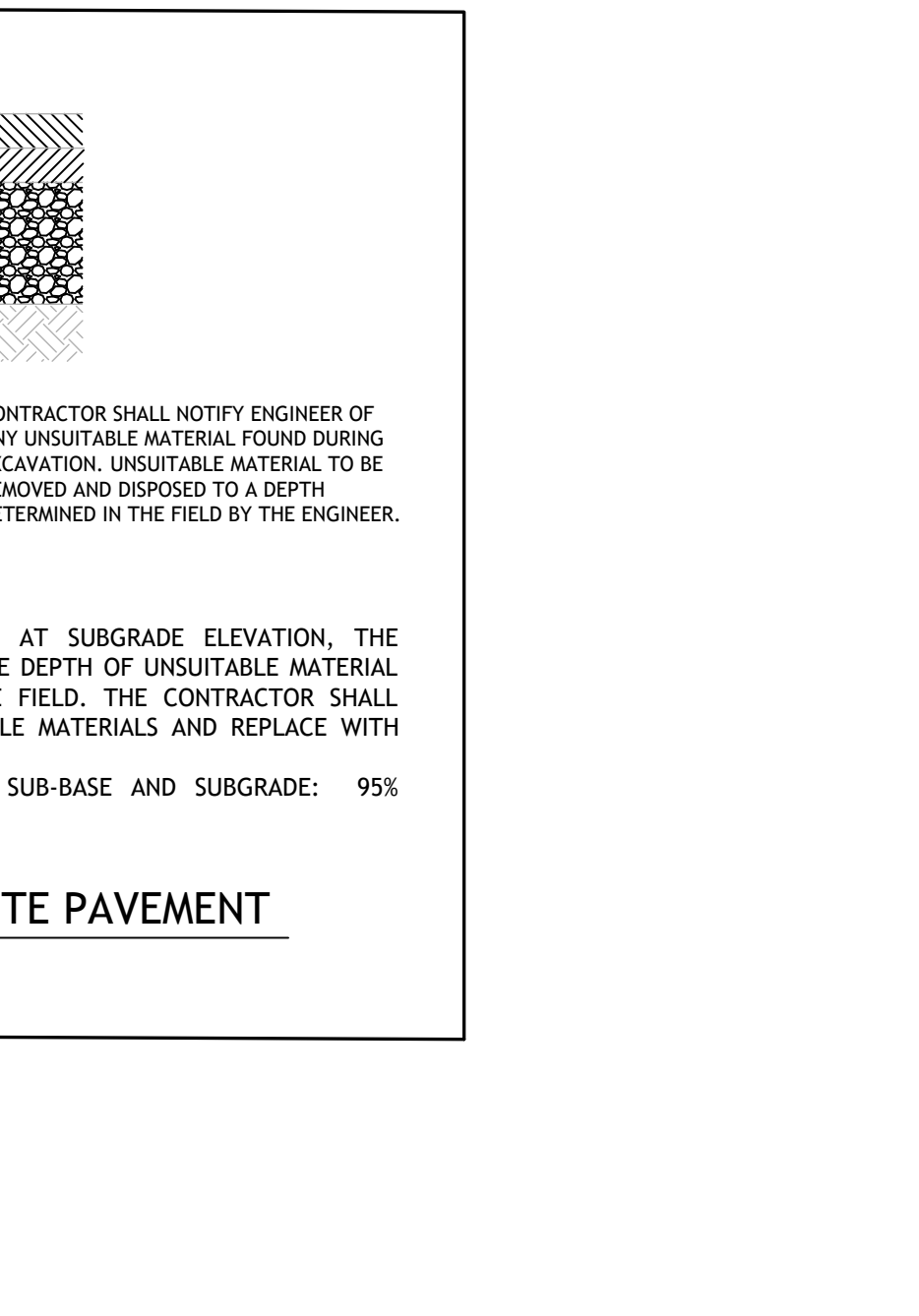
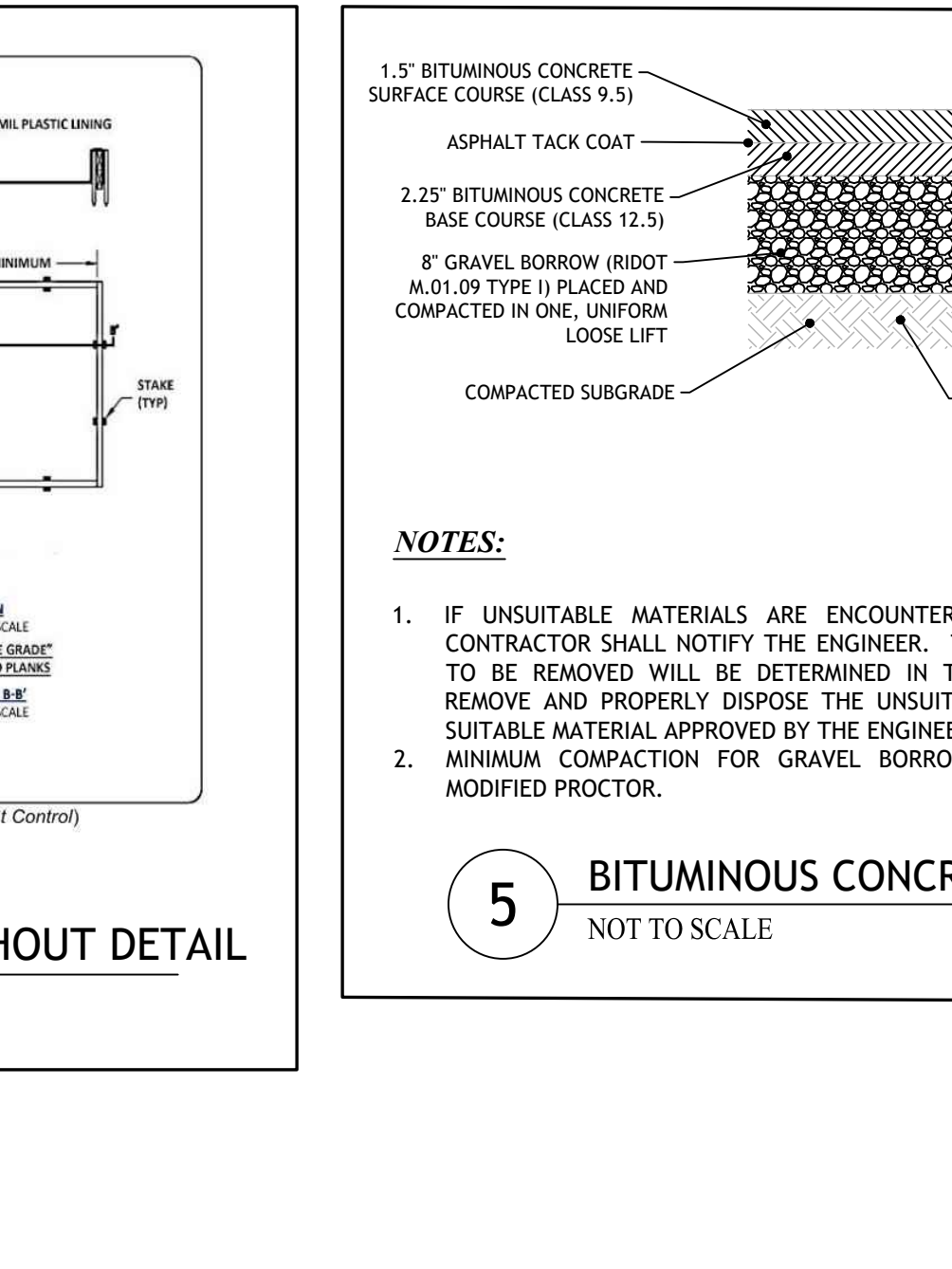
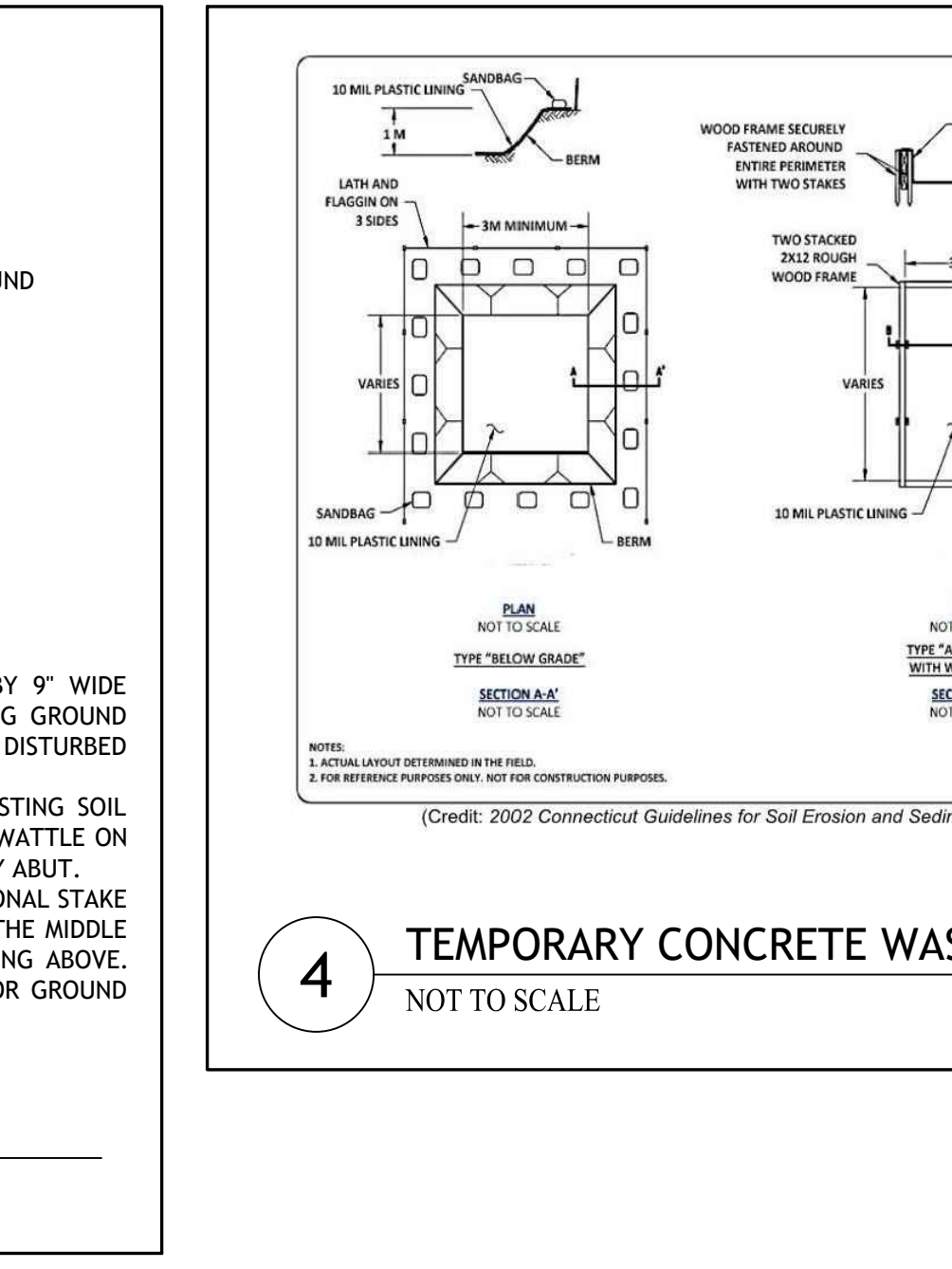
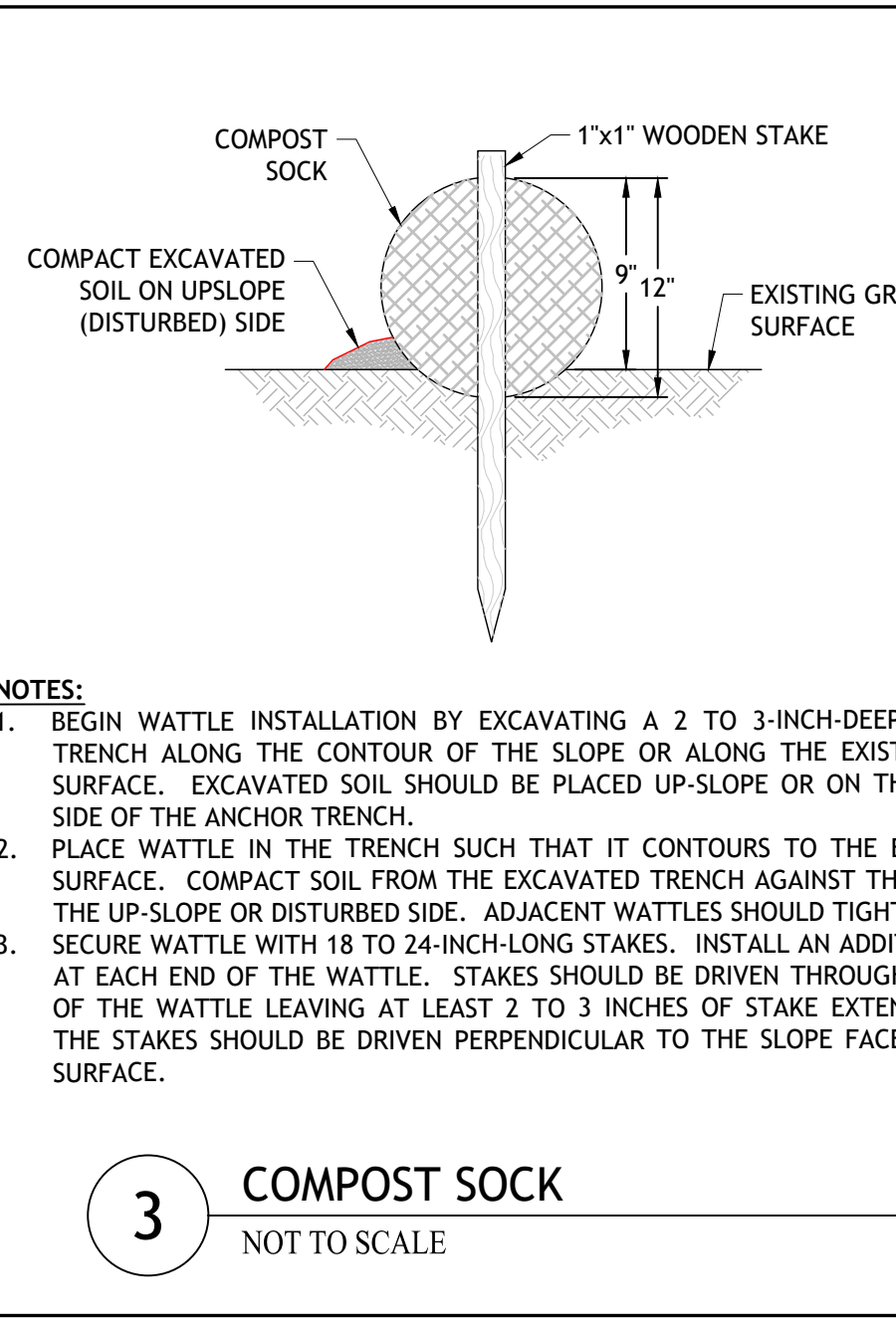
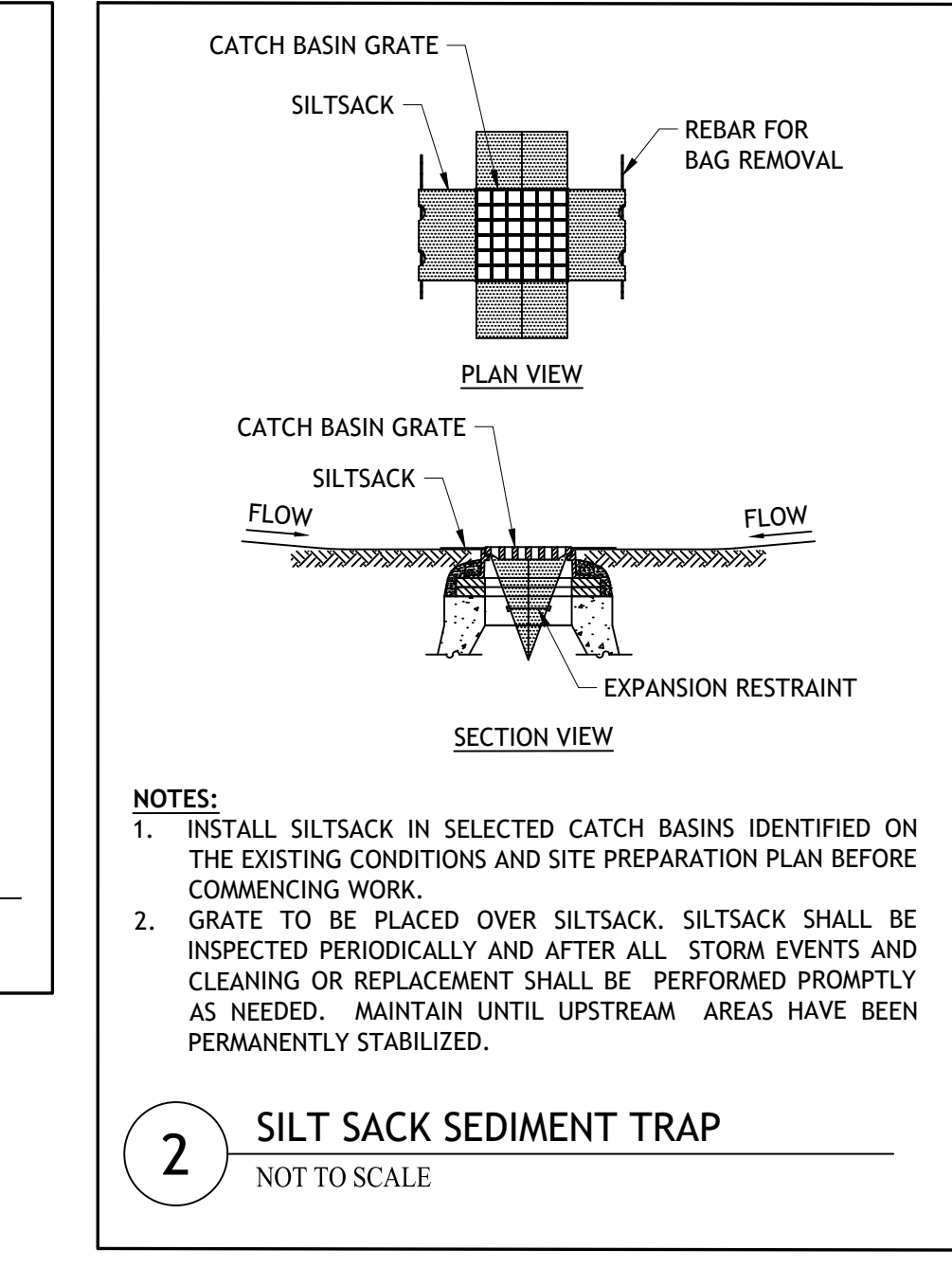
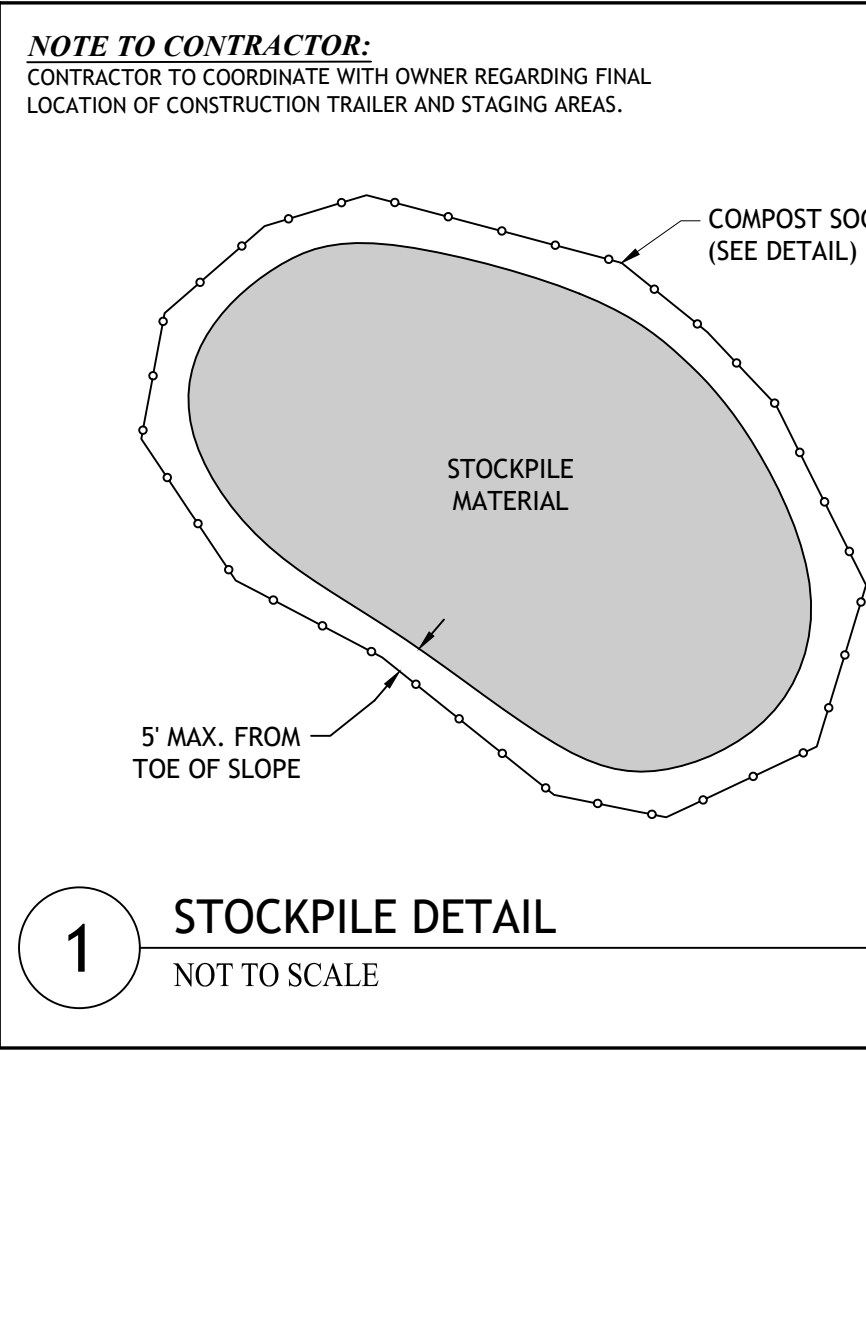
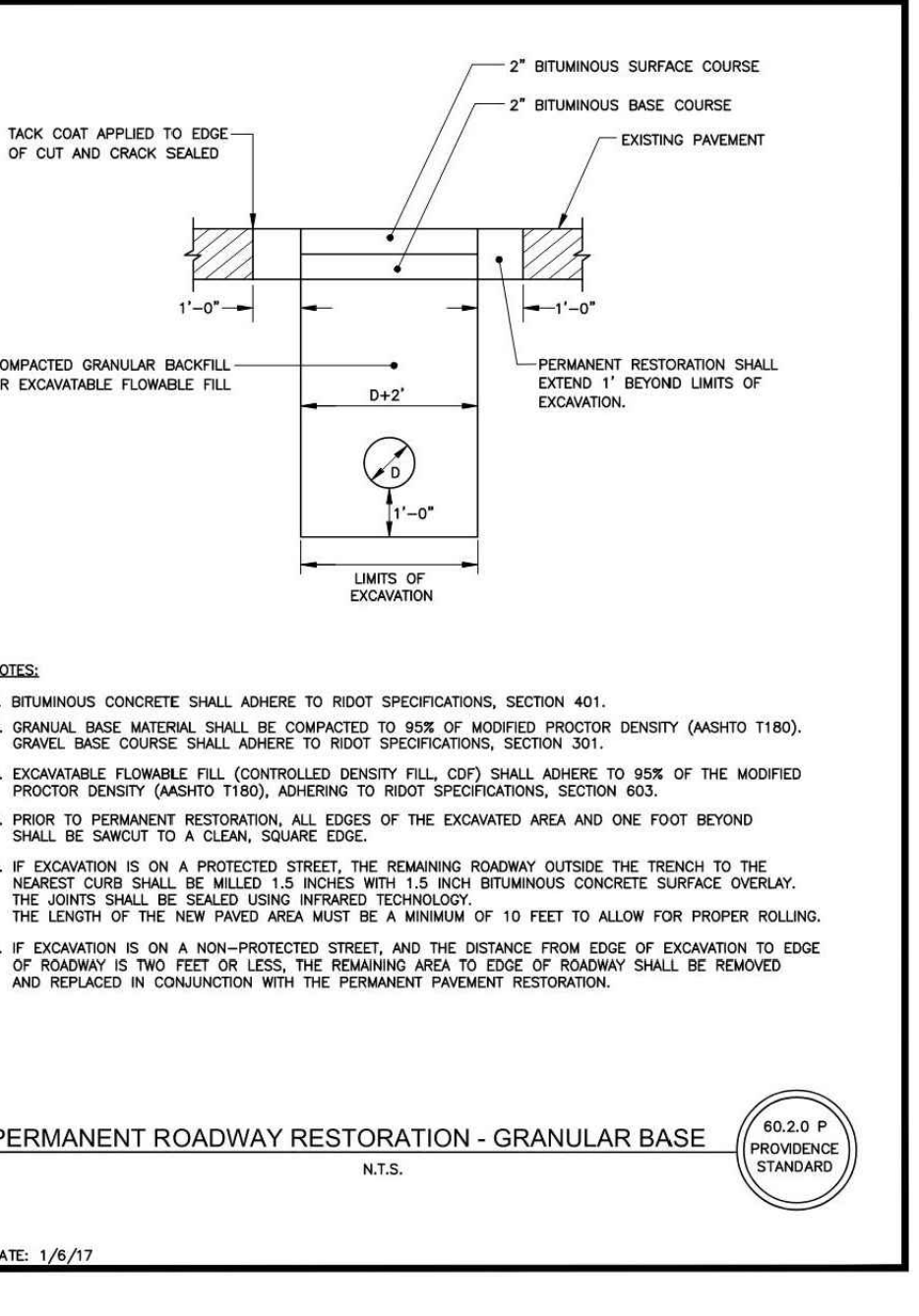
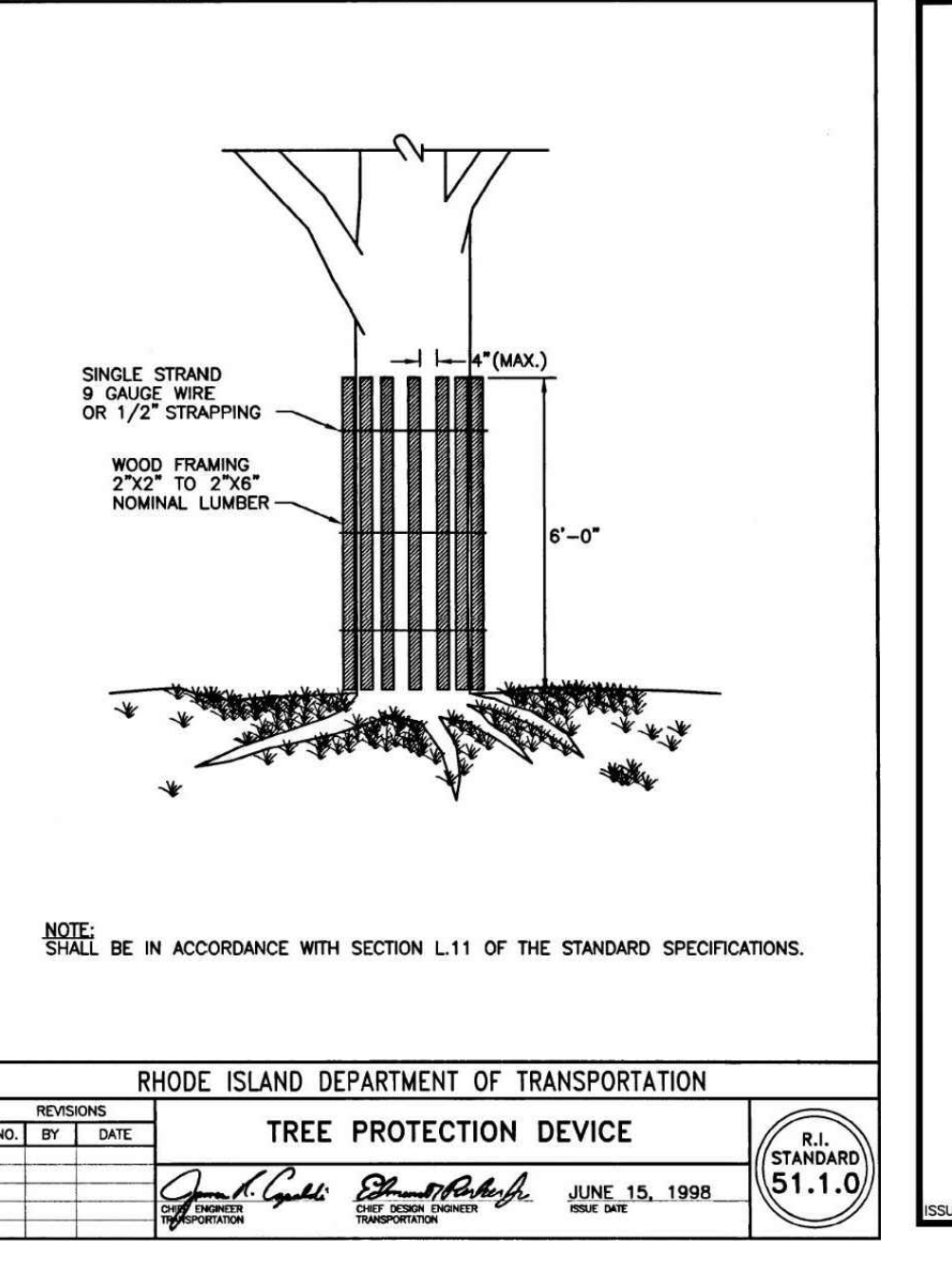
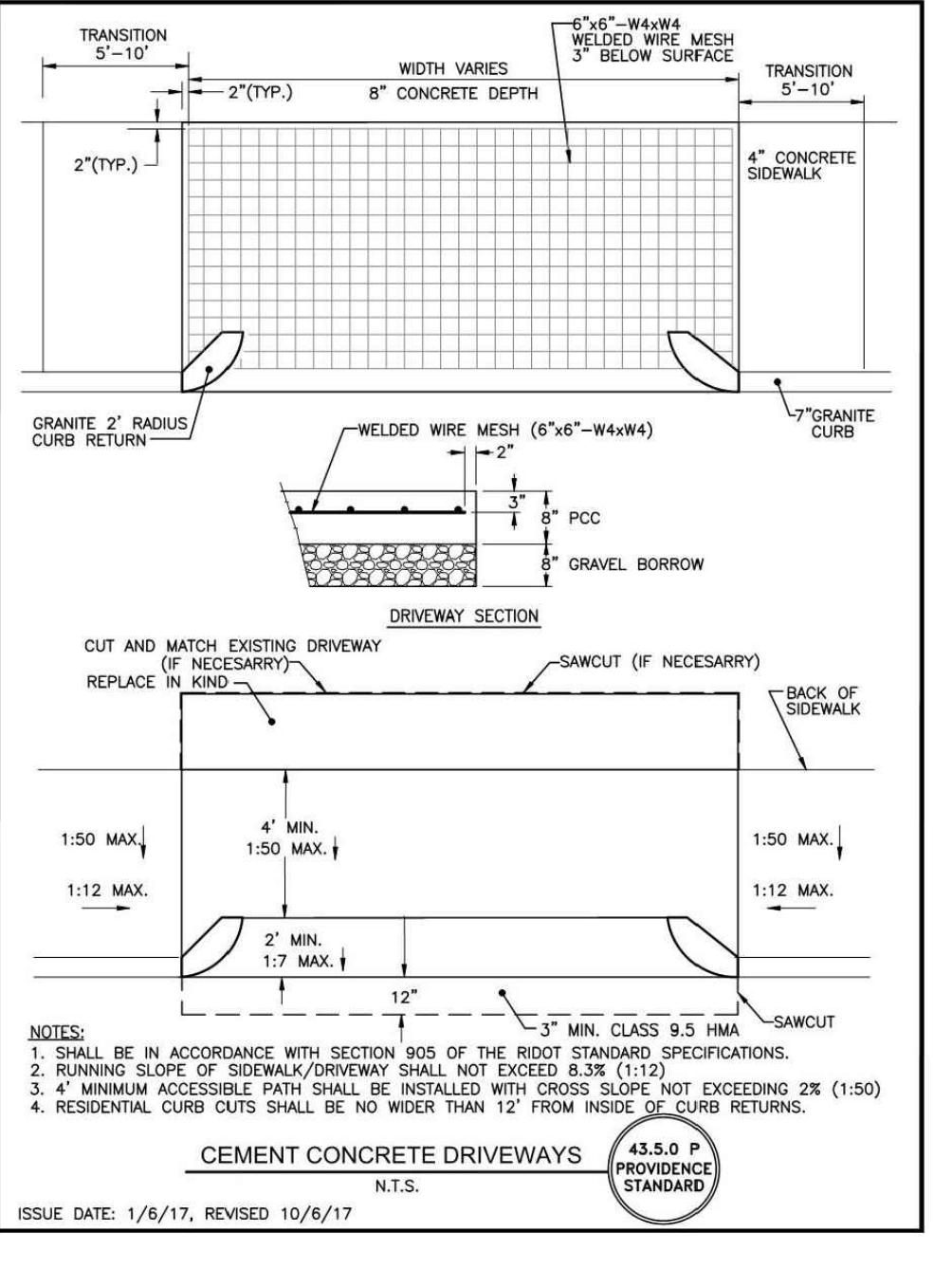
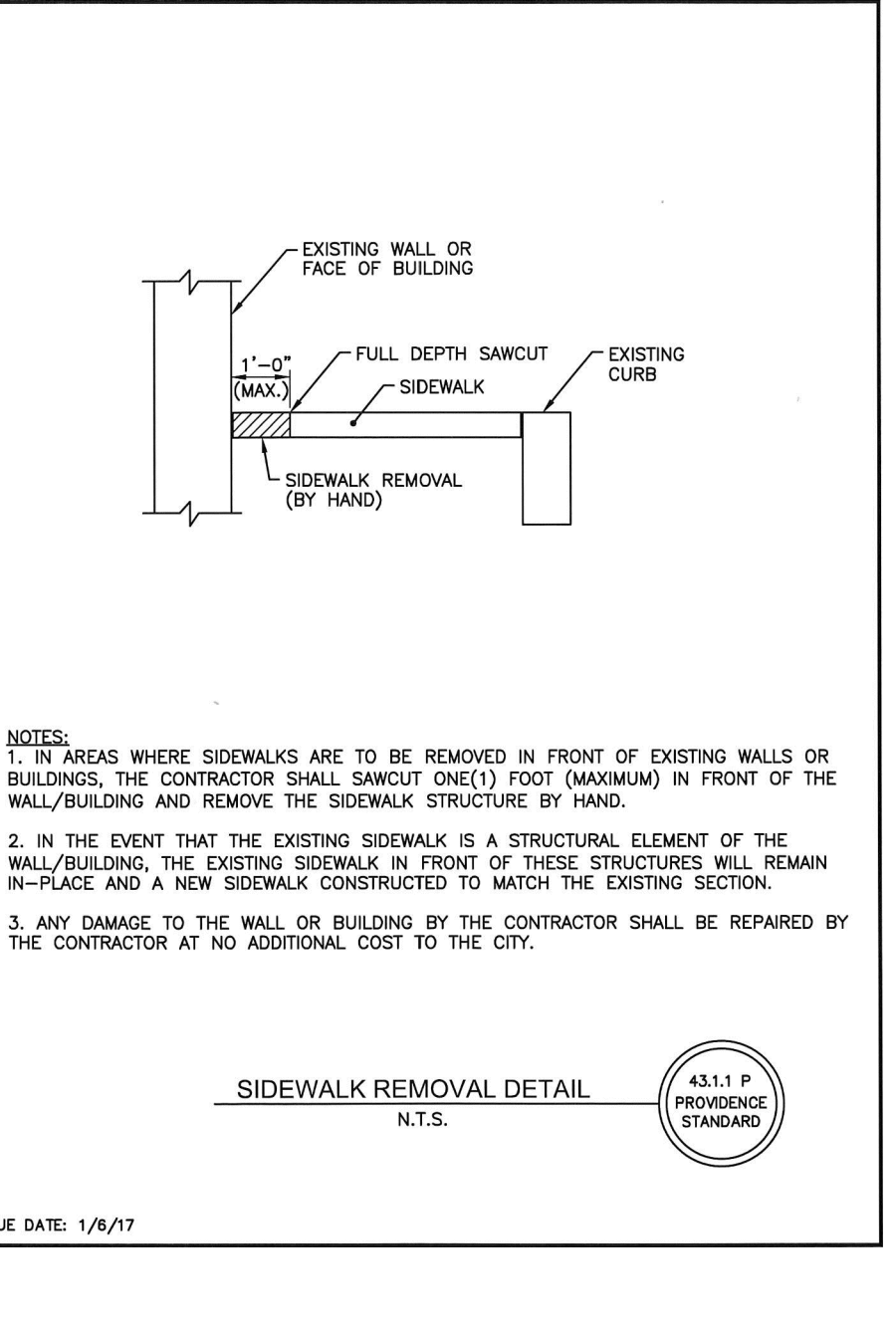
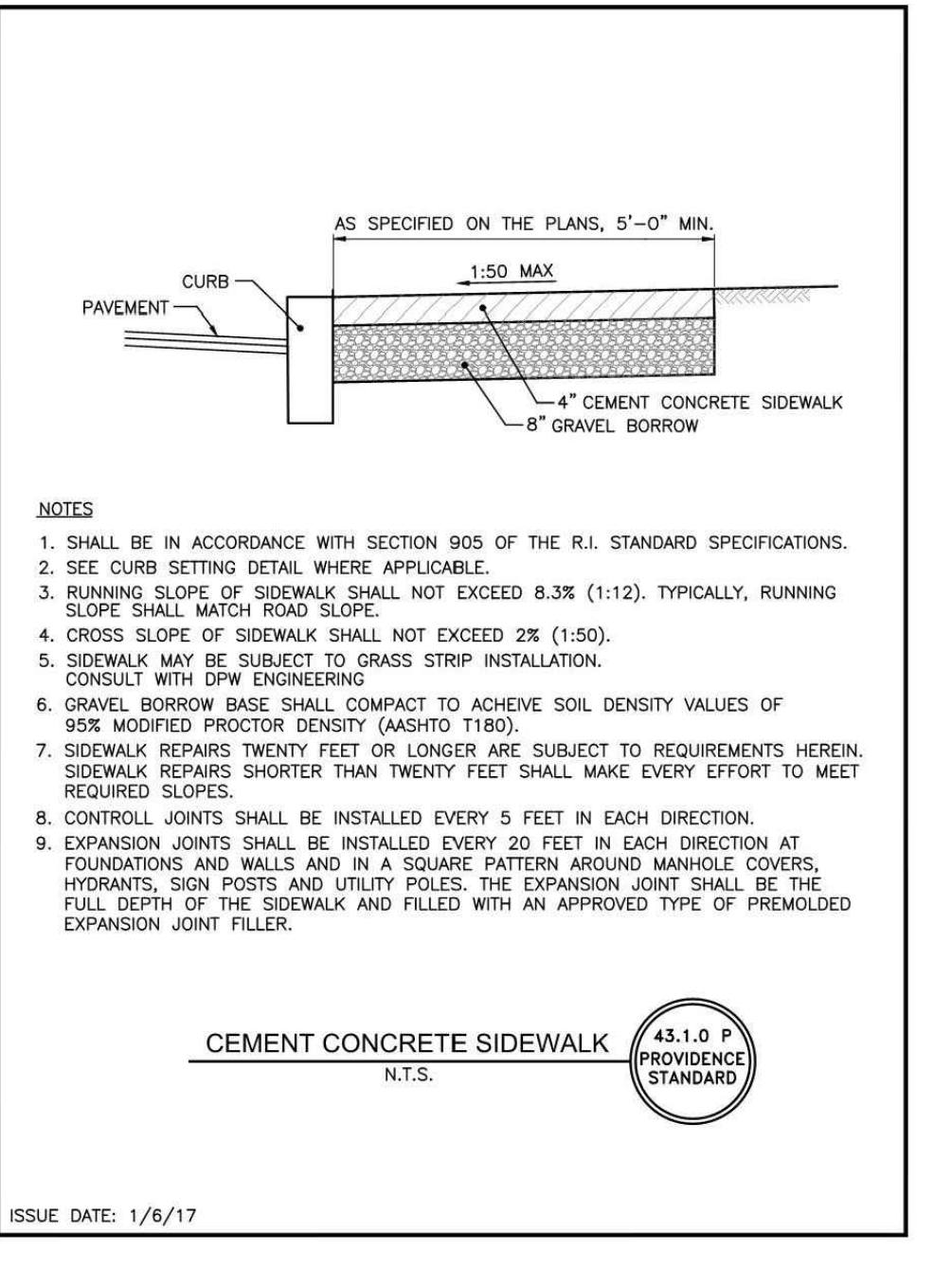
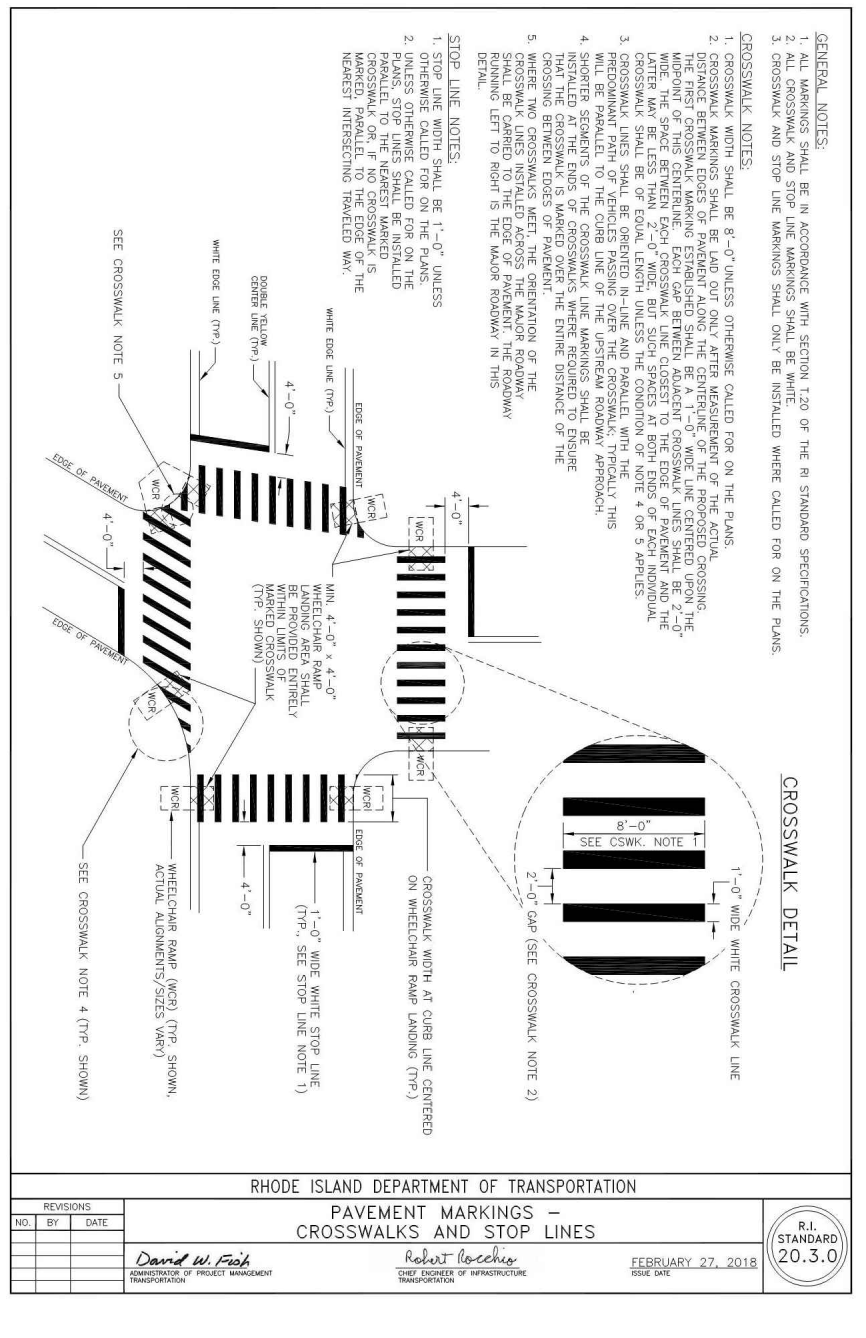
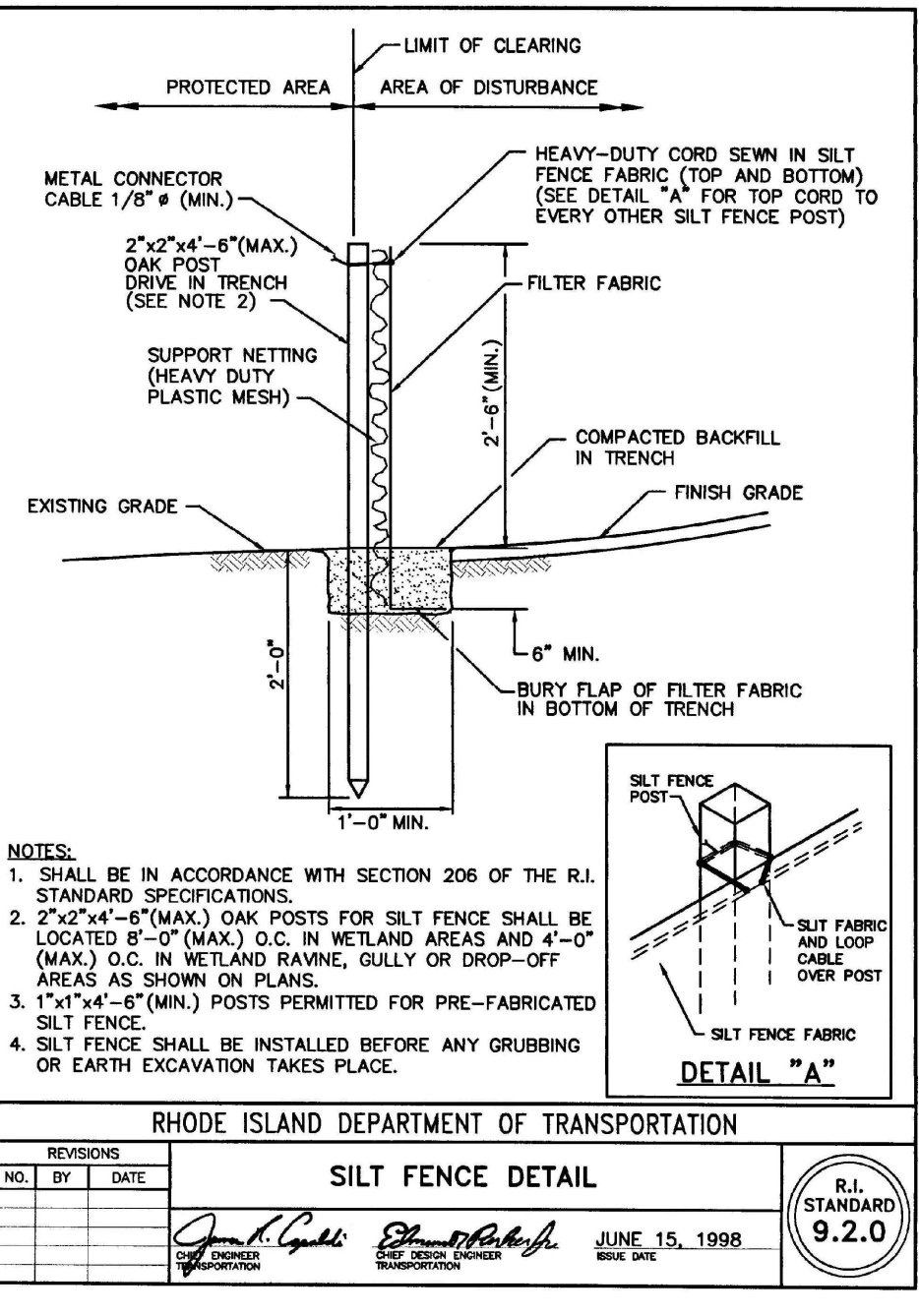
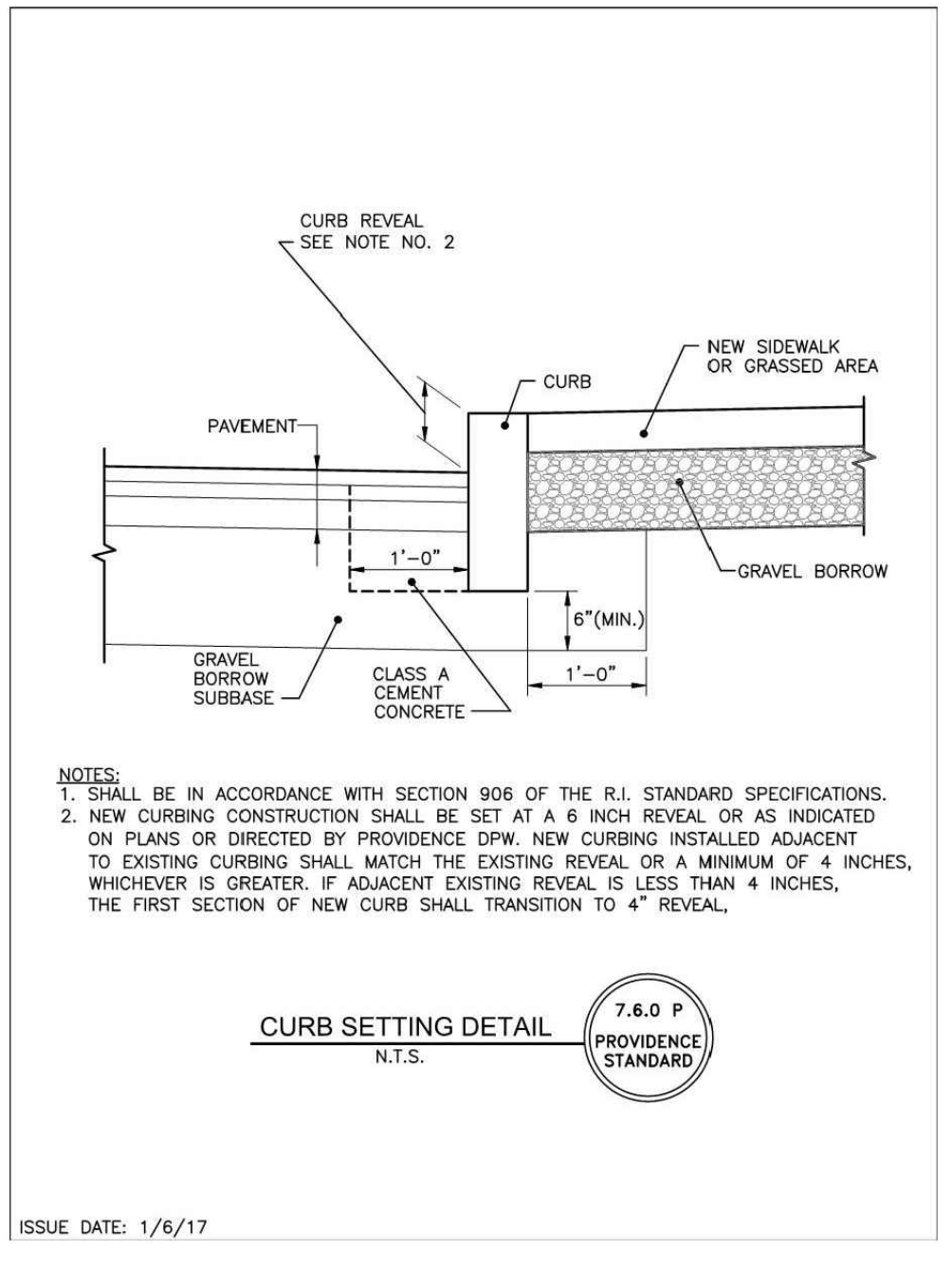
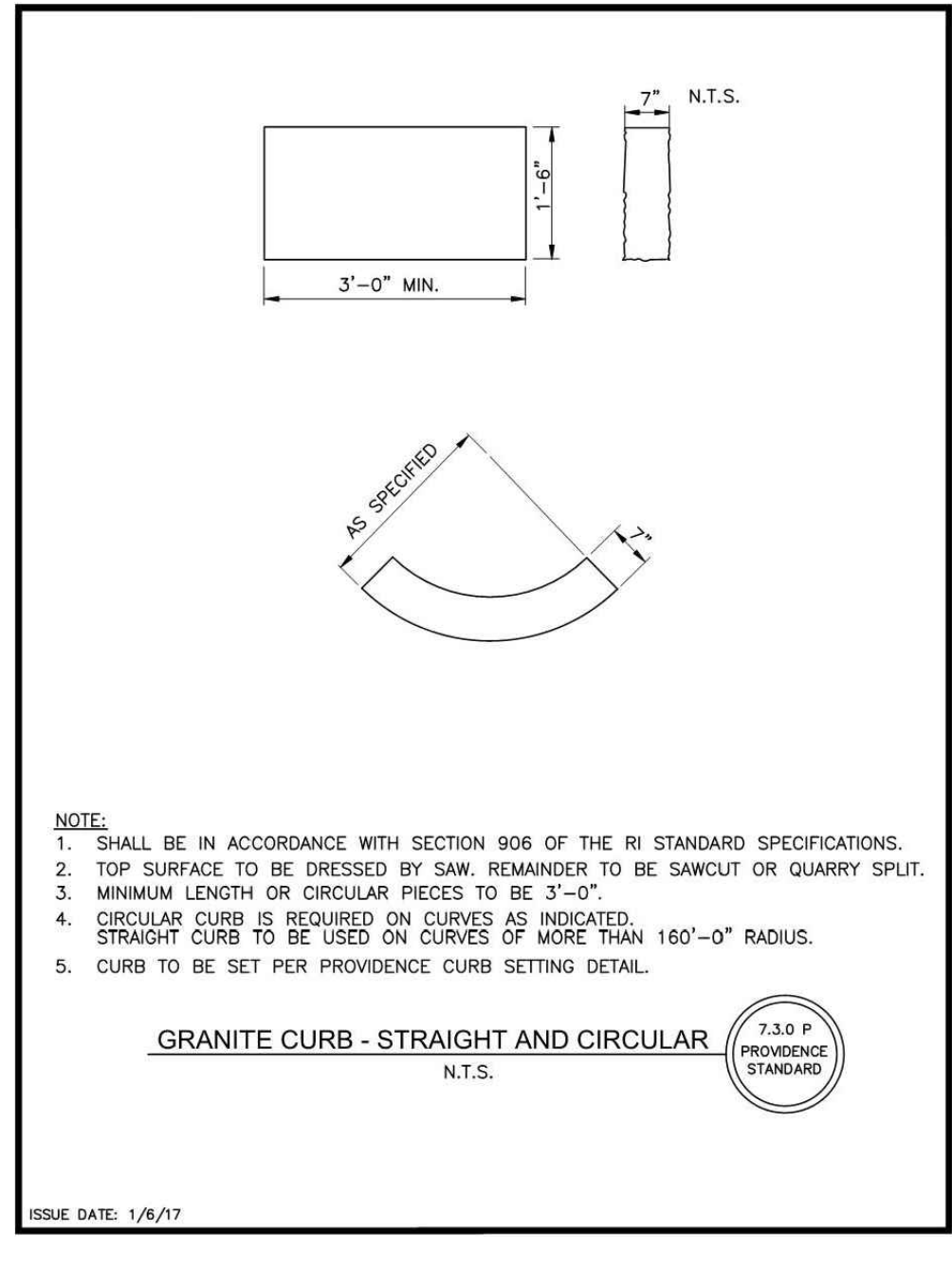
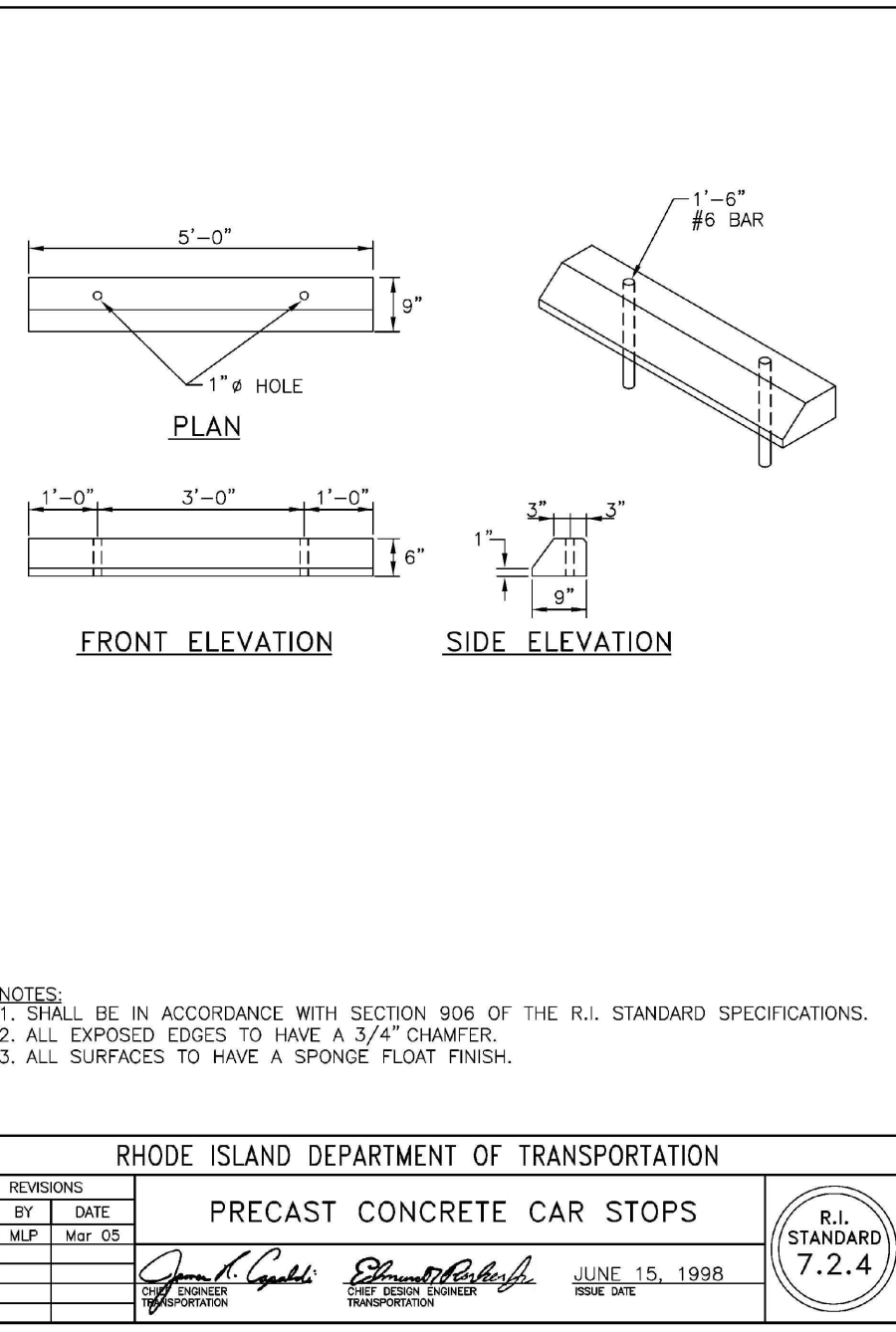
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DRAWN BY:	SD/SEP
CHECKED BY:	JAC
DATE:	NOV. 2023
PROJECT NO.:	19-19s

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**UTILITY &
 DRAINAGE
 PLAN**

**SHEET
 3 OF 5**





JOE CASALI ENGINEERING, INC.
 CIVIL ENGINEERING
 300 POST ROAD, WARWICK, RI 02888
 (401) 944-1300

JOSEPH A. CASALI
 No. 7250
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 12/5/2013

16-UNIT, FIVE-STORY RESIDENTIAL STRUCTURE
 PITMAN STREET REDEVELOPMENT
 PROVIDENCE, RHODE ISLAND
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REVISIONS:

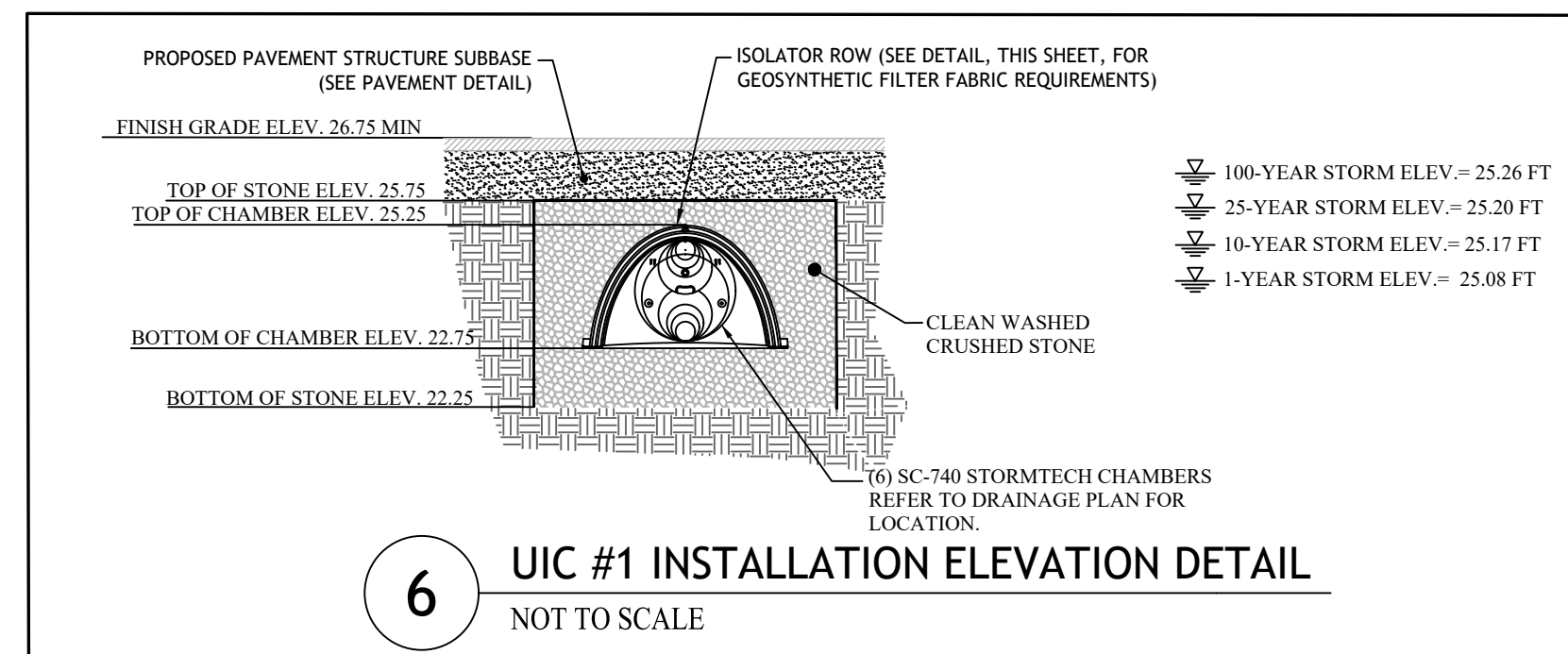
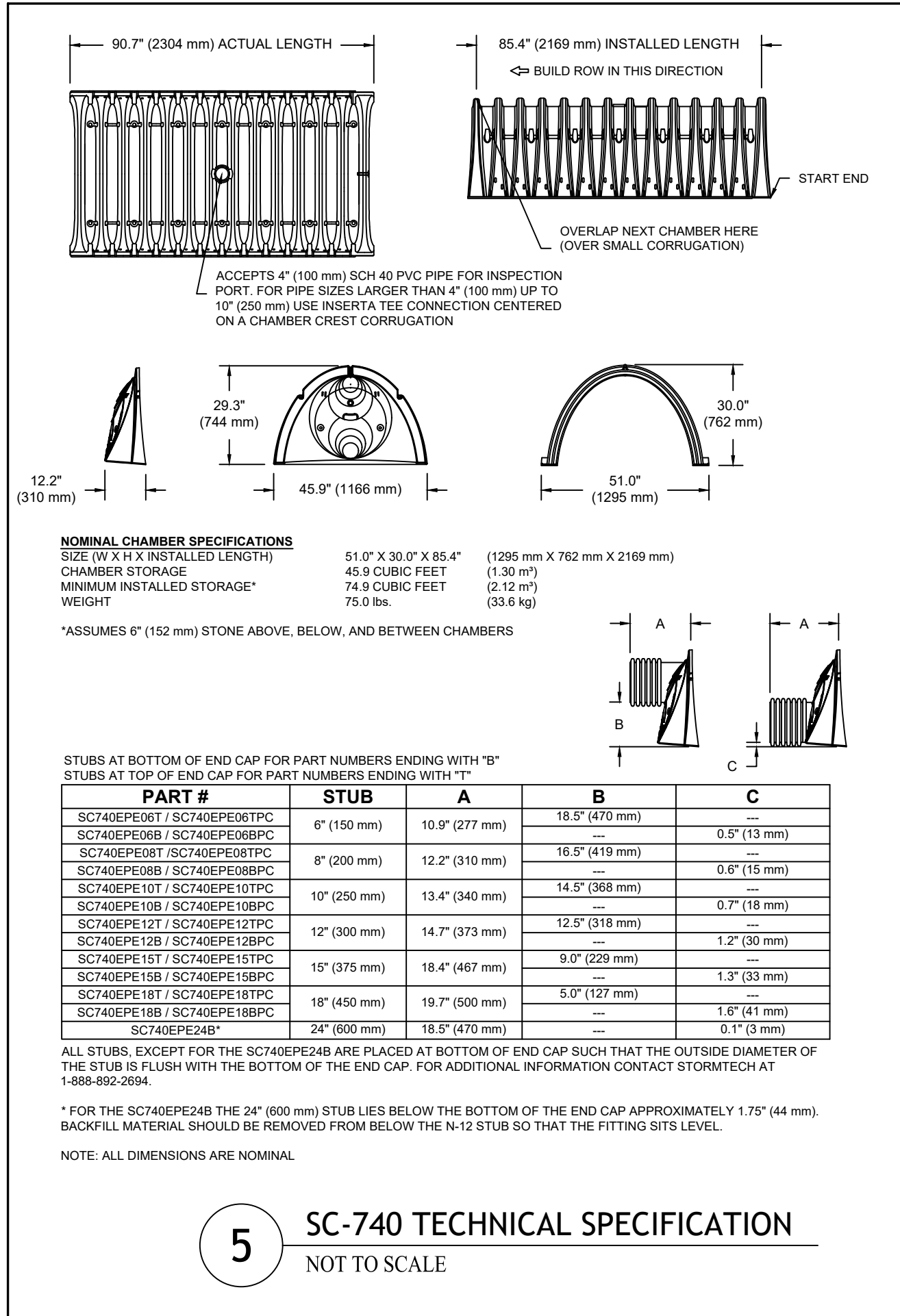
NO.	DATE	DESCRIPTION
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DESIGNED BY: WLMR
 DRAWN BY: SD/SEP
 CHECKED BY: JAC
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 PROJECT NO: 19-198

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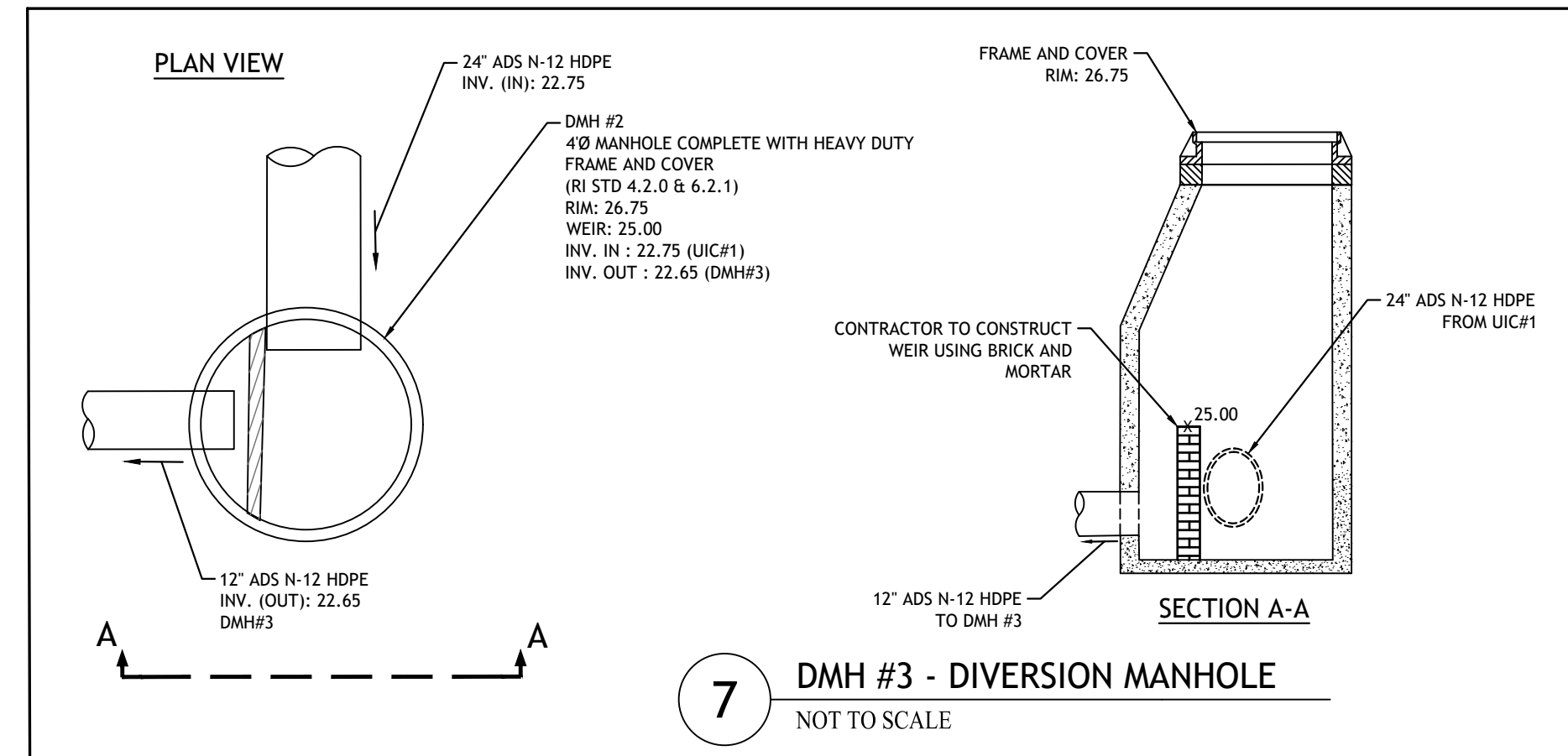
CIVIL DETAILS

SHEET 4 OF 5



- NOTES FOR THE INSTALLATION OF THE SC-740 SYSTEM**
- STORMTECH SC-310 & SC-740 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
 - STORMTECH SC-310 & SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
 - CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - STONESHOOTER LOCATED OFF THE CHAMBER BED.
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
 - THE FOUNDATION STONE SHALL BE LEVELED AND COMPACTED PRIOR TO PLACING CHAMBERS.
 - JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
 - MAINTAIN MINIMUM - 6" SPACING BETWEEN THE CHAMBER ROWS.
 - EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE 3/4"-2".
 - THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
 - ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

- NOTES FOR CONSTRUCTION EQUIPMENT**
- STORMTECH SC-310 & SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
 - THE USE OF CONSTRUCTION EQUIPMENT OVER SC-310 & SC-740 CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER TIRED LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
 - FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.
- USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO THE CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.
- CONTACT STORMTECH AT 1-888-892-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.



INSERT-A-TEE
THE LATERAL CONNECTION SOLUTION®

HOLE SAW SIZING CHART

Insert Tee Size	Hole Saw Size
2" (51 mm)	2 1/8" (57 mm)
3" (76 mm)	3 3/8" (89 mm)
4" (102 mm)	4 1/2" (114 mm)
6" (152 mm)	6 1/2" (165 mm)
8" (203 mm)	8 3/4" (222 mm)
10" (254 mm)	10 7/8" (276 mm)
12" (305 mm)	12 3/4" (327 mm)
18" (457 mm)	19 1/2" (493 mm)
24" (609 mm)	25 1/2" (648 mm)
30" (762 mm)	31 3/4" (806 mm)

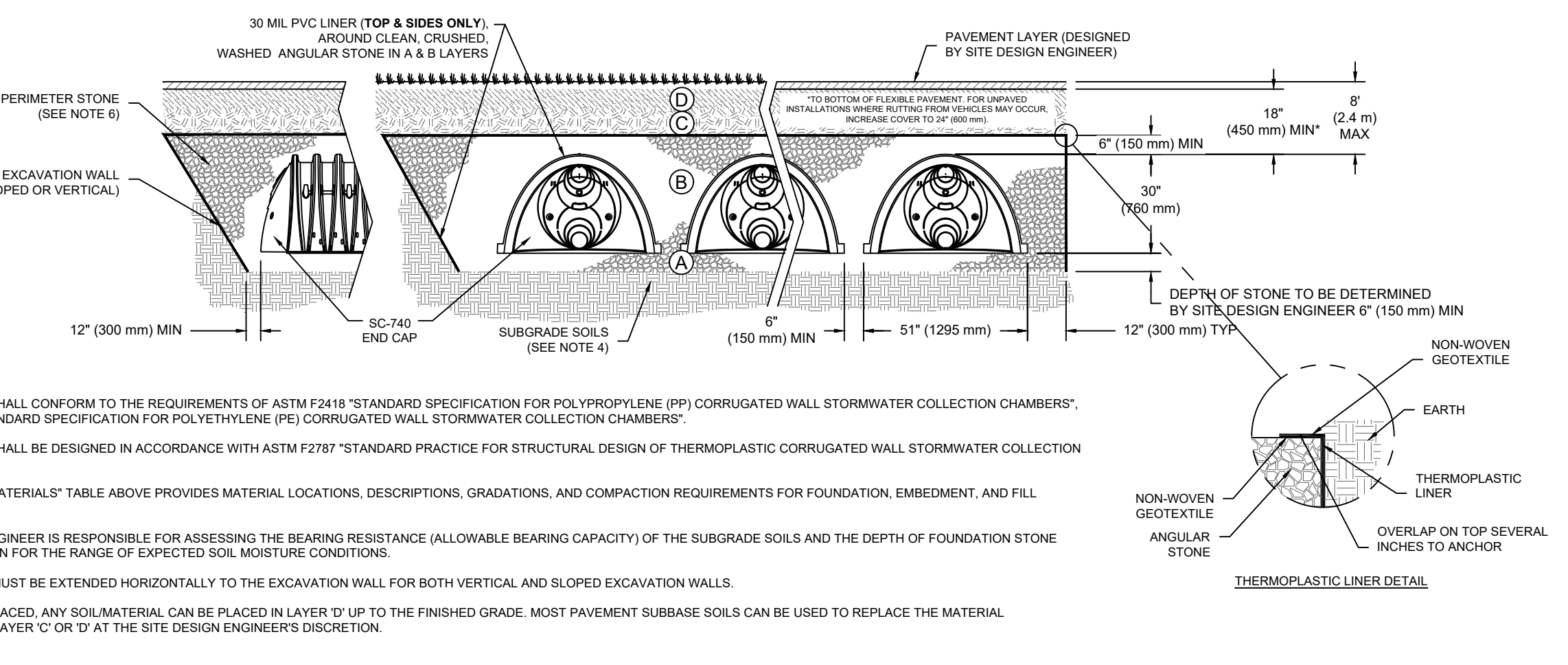
THE MOST ADVANCED NAME IN WATER MANAGEMENT SOLUTIONS™

ADS

ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBBASE REQUIREMENTS.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	AASHTO M145 ¹ A-1, A-2.4, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL COVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 90% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, WASHED, CRUSHED, ANGULAR STONE	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, WASHED, CRUSHED, ANGULAR STONE	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{1,2}

- PLEASE NOTE:
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, WASHED, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 - STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) (MAX) LIFTS USING TWO FULL COVERSAGES WITH A VIBRATORY COMPACTOR. FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
 - WHERE INFILTRATION SUBBASES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.

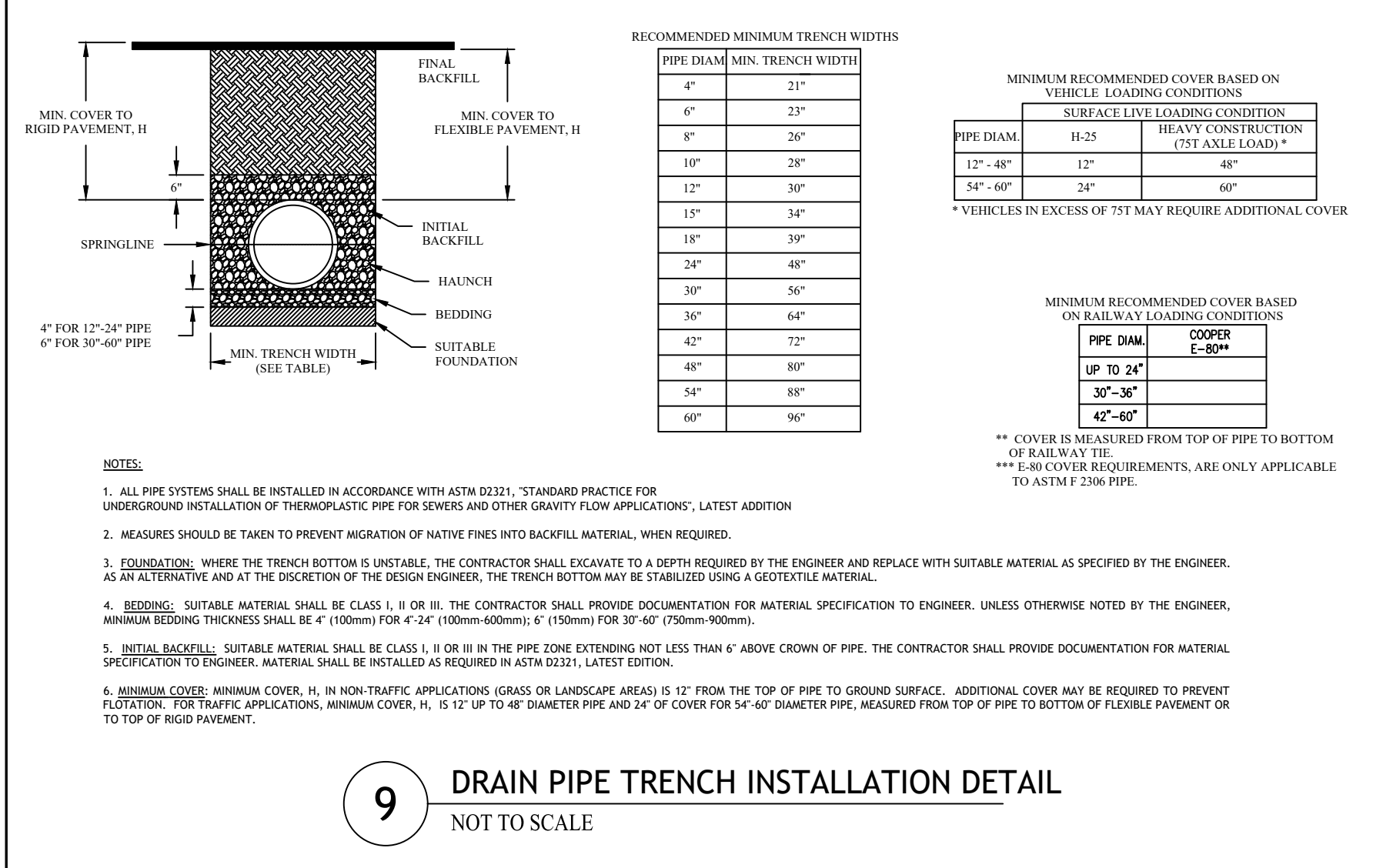


- NOTES:**
- SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2922 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 - SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 - *ACCEPTABLE FILL MATERIALS* TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
 - THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
 - PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
 - ONCE LAYER 'C' IS PLACED, ANY SOL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

4640 TRUMAN BLVD
HULLAND, OH 43068
614.534.7474
www.adsinc.com

DESCRIPTION: SC-740 STANDARD CROSS SECTION
DATE: 11/18/14 DRAWN: J.M.
PROJECT #: CHECKED: J.M.

SHEET 1 OF 1



JCE
JOE CASALI ENGINEERING, INC.
CIVIL ENGINEERING ARCHITECTURE
DRAINAGE - WATER CONTROL - SITE DEVELOPMENT
300 POST ROAD, WARWICK, RI 02888
(401) 944-1300 (401) 944-1313 FAX WWW.JOECASALI.COM

JOSEPH A. CASALI
No. 250
12/5/2013
REGISTERED PROFESSIONAL ENGINEER
CIVIL

16-UNIT, FIVE-STORY RESIDENTIAL STRUCTURE
PITMAN STREET REDEVELOPMENT
PROVIDENCE, RHODE ISLAND
AP 15, LOTS 238-240

REVISIONS:

NO.	DATE	DESCRIPTION
1	12/5/23	PLANNING COMMENTS

DESIGNED BY: WLMR
DRAWN BY: SD/SEP
CHECKED BY: JAC
DATE: NOV. 2023
PROJECT NO: 19-198

PRELIMINARY, NOT FOR CONSTRUCTION

DRAINAGE DETAILS

SHEET 5 OF 5



