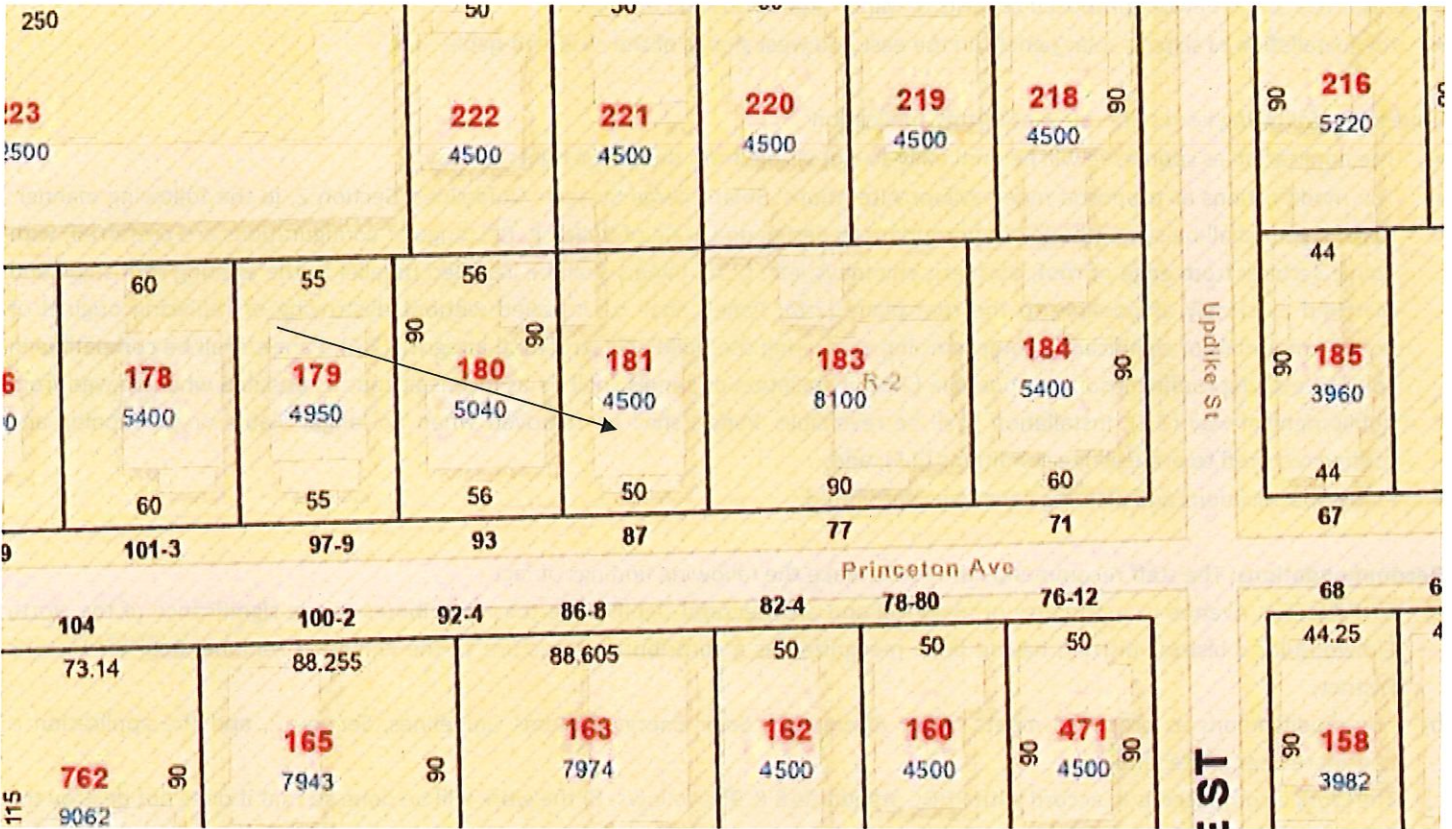
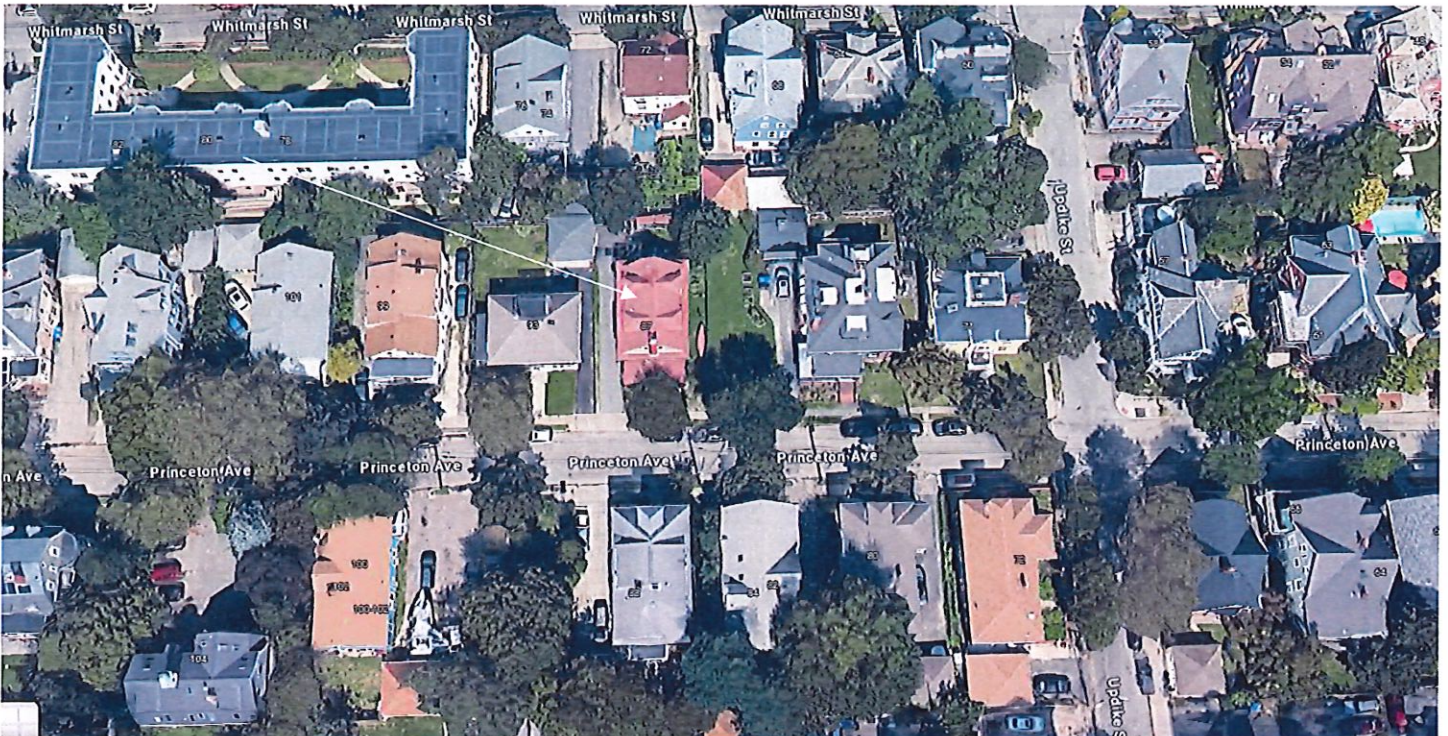


3. **CASE 24.017, 87 PRINCETON AVENUE, Harold Sutton House, c1913 (NORTH ELMWOOD)**

Unpretentious 2½-story flank-gable shingled structure, with a screened-in shingled porch at the street-end. Sutton was a dentist.
CONTRIBUTING



Arrow indicates 87 Princeton Avenue.



Arrow indicates project location, looking north.

Applicant/Contractor: SmartGreen Solar, 33 Broad Street, Unit 500, Providence, RI 02903

Owner: Daniel Schleifer, 87 Princeton Avenue, Providence, RI 02907

Proposal: The scope of work proposed consists of Minor Alterations and includes:

- the installation of sixteen solar panels on the east and west slopes of the modified-gable roof.

Issues: The following issues are relevant to this application:

- The application as submitted will be minimally-to-not visible from the public rights-of-way;
- The modifications as proposed meets Minor Alterations: Solar Energy Systems Guidelines, Section 2, in the following manner: Panel layout shall be sympathetic or appropriate to design and scale of building. Rectangular configurations are preferred, with ample setback from edge of roof, dormers, chimneys, etc. (2.A); Panels shall be installed parallel to the existing roof slope and matched as closely as possible to the roof plane (2.B); Panels shall be installed without destroying or replacing original or historic materials or significantly compromising or altering the building's structural integrity (2.C); Panels shall be compatible in color to existing roofing insofar as possible (2.D); Installation of panels shall be as inconspicuous as possible when viewed from public right-of-way (2.E); Installation shall be reversible. Panels shall be removed when no longer viable or functioning and roofing restored to pre-existing conditions (2.F); and,
- Plans, specifications and pictures have been submitted.

Recommendations: The staff recommends the PHDC make the following findings of fact:

- a) 87 Princeton Avenue is a structure of historical and architectural significance that contributes to the significance of the North Elmwood local historic district, having been recognized as a contributing structure to the Elmwood National Register Historic District;
- b) The modifications as proposed meets Minor Alterations: Solar Energy Systems Guidelines, Section 2, and the application is considered complete; and,
- c) The work as proposed is in accord with PHDC Standards 8 & 9 as follows: 8) the work will be done so that it does not destroy the historic character of the property or the district as they are not on the primary elevation and will be minimally-to-not visible from the public rights-of-way; and, 9) Whenever possible... alterations to structures shall be done in such a manner that if removed in the future, the essential form and integrity of the structure and the site will be unimpaired.

Staff recommends a motion be made stating that: The application is considered complete. 87 Princeton Avenue is a structure of historical and architectural significance that contributes to the significance of the North Elmwood local historic district, having been recognized as a contributing structure to the Elmwood National Register Historic District. The Commission grants Final Approval of the proposal as submitted as the proposed alteration is appropriate having determined that the proposed alteration does not destroy the historic character of the property or the district and are historically and architecturally compatible with the property and district. The proposed alteration meets Minor Alterations: Solar Energy Systems Guidelines, Section 2, is reversible and will not have an adverse effect on the property or district as they are not on the primary elevation and will be minimally-to-not visible from the public rights-of-way (Standards 8 & 9), and the recommendations in the staff report, with staff to review any additional required details.

SCORE OF WORK
 TO INSTALL A ROOF MOUNTED SOLAR PHOTOVOLTAIC SYSTEM AT THE OWNER RESIDENCE LOCATED AT 87 PRINCETON AVE, PROVIDENCE, RI 02907, USA. THE POWER GENERATED BY THE PV SYSTEM WILL BE INTERCONNECTED WITH THE UTILITY GRID THROUGH THE EXISTING ELECTRICAL SERVICE EQUIPMENT. THE PV SYSTEM DOES NOT INCLUDE STORAGE BATTERIES.

EQUIPMENT SUMMARY
 16 REC REC4054A PURE MODULES
 16 ENPHASE IQ8PLUS-72-2-US (240V) MICROINVERTERS

GENERAL NOTES
 THESE CONSTRUCTION DOCUMENTS HAVE BEEN BASED ON FIELD INSPECTIONS AND OTHER INFORMATION AVAILABLE AT THE TIME. ACTUAL FIELD CONDITIONS MAY REQUIRE MODIFICATIONS.
 CONTRACTOR SHALL OBTAIN PERMITS AND COMPLETE INSTALLATION.
 CONTRACTOR HAS THE FULL RESPONSIBILITY TO CHECK AND VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK. ANY WORK STARTED BEFORE CONSULTATION AND ACCEPTANCE BY THE ENGINEER SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE SUBJECT TO CORRECTION BY THEM WITHOUT ADDITIONAL COMPENSATION.
 DAMAGE CAUSED TO THE EXISTING STRUCTURE, PIPES, DUCTS, WINDOWS, WALL FLOORS, ETC. SHALL BE REPAIRED TO THE ORIGINAL CONDITION OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST.
 THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE PROPER INSTALLATION AND COMPLETION OF THE WORK WITH APPROVED MATERIALS.
 CONTRACTOR SHALL OBTAIN BUILDING PERMIT. NO WORK TO START UNLESS BUILDING PERMIT IS PROPERLY DISPLAYED.
 ALL WORKMANSHIP AND MATERIALS SHALL BE OF FIRST QUALITY AND IN COMPLIANCE WITH THE REQUIREMENTS OF THE NATIONAL BUILDING CODE, THE DEPARTMENT OF ENVIRONMENTAL PROTECTION AND ALL PERTINENT AGENCIES.
 IT IS ESSENTIAL THAT ALL WORK PROCEED WITH THE MAXIMUM COOPERATION OF ALL PARTIES AND WITH MINIMAL INTERFERENCE TO THE OCCUPANTS WITHIN THE BUILDING. THE OWNER'S DIRECTIONS IN THIS REGARD SHALL BE FULLY COMPLIED WITH.
 THE CONTRACTOR SHALL PERFORM THE WORK IN STRICT CONFORMANCE WITH THE LOCAL LAWS, REGULATIONS AND THE NATIONAL ELECTRIC CODE.
 THE CONTRACTOR SHALL OBTAIN ALL PERMITS, APPROVALS, AFFIDAVITS, CERTIFICATIONS, ETC. AND PAY ALL FEES AS REQUIRED BY THE LOCAL AUTHORITIES.
 CONTRACTORS SHALL OBTAIN FIRE CERTIF. UPON COMPLETION OF WORK.

ELECTRICAL NOTES

- ALL EQUIPMENT TO BE LISTED BY UL OR OTHER NRTL AND LABELED FOR ITS APPLICATION.
- ALL CONDUCTORS SHALL BE COPPER, RATED FOR 600 V AND 90 DEGREE C WET ENVIRONMENT.
- WIRING, CONDUIT AND RACEWAYS MOUNTED ON ROOFTOPS SHALL BE ROUTED DIRECTLY TO, AND LOCATED AS CLOSE AS POSSIBLE TO THE NEAREST RIDGE, HIP, OR VALLEY.
- WORKING CLEARANCES AROUND ALL NEW AND EXISTING ELECTRICAL EQUIPMENT SHALL COMPLY WITH NEC 110.26
- WHERE SIZES OF JUNCTION BOXES, RACEWAYS, AND CONDUITS ARE NOT SPECIFIED, THE CONTRACTOR SHALL SIZE THEM ACCORDINGLY.
- ALL WIRE TERMINATIONS SHALL BE APPROPRIATELY LABELED AND READILY VISIBLE.
- MODULE GROUNDING CLIPS TO BE INSTALLED BETWEEN MODULE FRAME AND MODULE SUPPORT RAIL, PER THE GROUNDING CLIP MANUFACTURERS INSTRUCTION.
- MODULE SUPPORT RAIL SHALL BE BONDED TO THE MODULE

GOVERNING CODES

2018 INTERNATIONAL RESIDENTIAL CODE
2018 INTERNATIONAL FIRE CODE
2020 NATIONAL ELECTRICAL CODE
2021 RHODE ISLAND STATE BUILDING CODE

AHJ NAME: CITY OF PROVIDENCE

WIRING AND CONDUIT NOTES

- ALL CONDUIT SIZES AND TYPES SHALL BE LISTED FOR ITS PURPOSE AND APPROVAL FOR THE SITE APPLICATIONS
- ALL PV CABLES AND HOMERUN WIRES BE #10AWG, USE 2, PV WIRE, OR PROPRIETARY SOLAR CABLING SPECIFIED BY MFR. OR EQUIVALENT. ROUTED TO SOURCE CIRCUIT COMBINER BOXES AS REQUIRED
- ALL PV DC CONDUCTORS IN CONDUIT EXPOSED TO SUNLIGHT SHALL BE DERATED ACCORDING TO AS PER LATEST NEC CODE.
- EXPOSED ROOF PV DC CONDUCTORS SHALL BE USE 2, 90°C RATED, WET AND UV RESISTANT AND UL LISTED RATED FOR 600V UV RATED SPHAL WHAT SHALL BE USED TO PROTECT WIRE FROM SHARP EDGES
- PHASE AND NEUTRAL CONDUCTORS SHALL BE DUAL RATED THHN/THWN-2 INSULATED, 90°C RATED, WET AND UV RESISTANT, RATED FOR 1000V AS PER APPLICABLE NEC
- 4-WIRE DELTA CONNECTED SYSTEMS HAVE THE PHASE WITH THE HIGHER VOLTAGE TO GROUND MARKED ORANGE OR IDENTIFIED BY OTHER EFFECTIVE MEANS
- ALL SOURCE CIRCUITS SHALL HAVE INDIVIDUAL SOURCE CIRCUIT PROTECTION
- VOLTAGE DROP LIMITED TO 2%
- AC CONDUCTORS -AWG COLOR CODED OR MARKED: PHASE A OR L1- BLACK, PHASE B OR L2- RED, PHASE C OR L3- BLUE, NEUTRAL- WHITE/GRAY



Wyssling Consulting, PLLC
 76 N Meadowbrook Drive, Alpine UT 84004
 Rhode Island COA 69333
 Signed 2/12/2024

SYSTEM RATING	6.480 kWDC	PHOTOVOLTAIC SYSTEM FIRE CLASSIFICATION LISTING IN ACCORDANCE WITH UL 1703
6.640 kWAC		STANDARD
PV1		SHEET INDEX
PV2		COVER PAGE
PV3		SITE PLAN
PV4		ROOF PLAN
PV5-PV6		STRING LAYOUT & BOM
PV7		ATTACHMENT DETAILS
PV8		ELECTRICAL LINE & CALCS.
PV9-PV10		SPECIFICATIONS & NOTES
PV11-PV15		SIGNALAGE
		EQUIPMENT SPECIFICATIONS

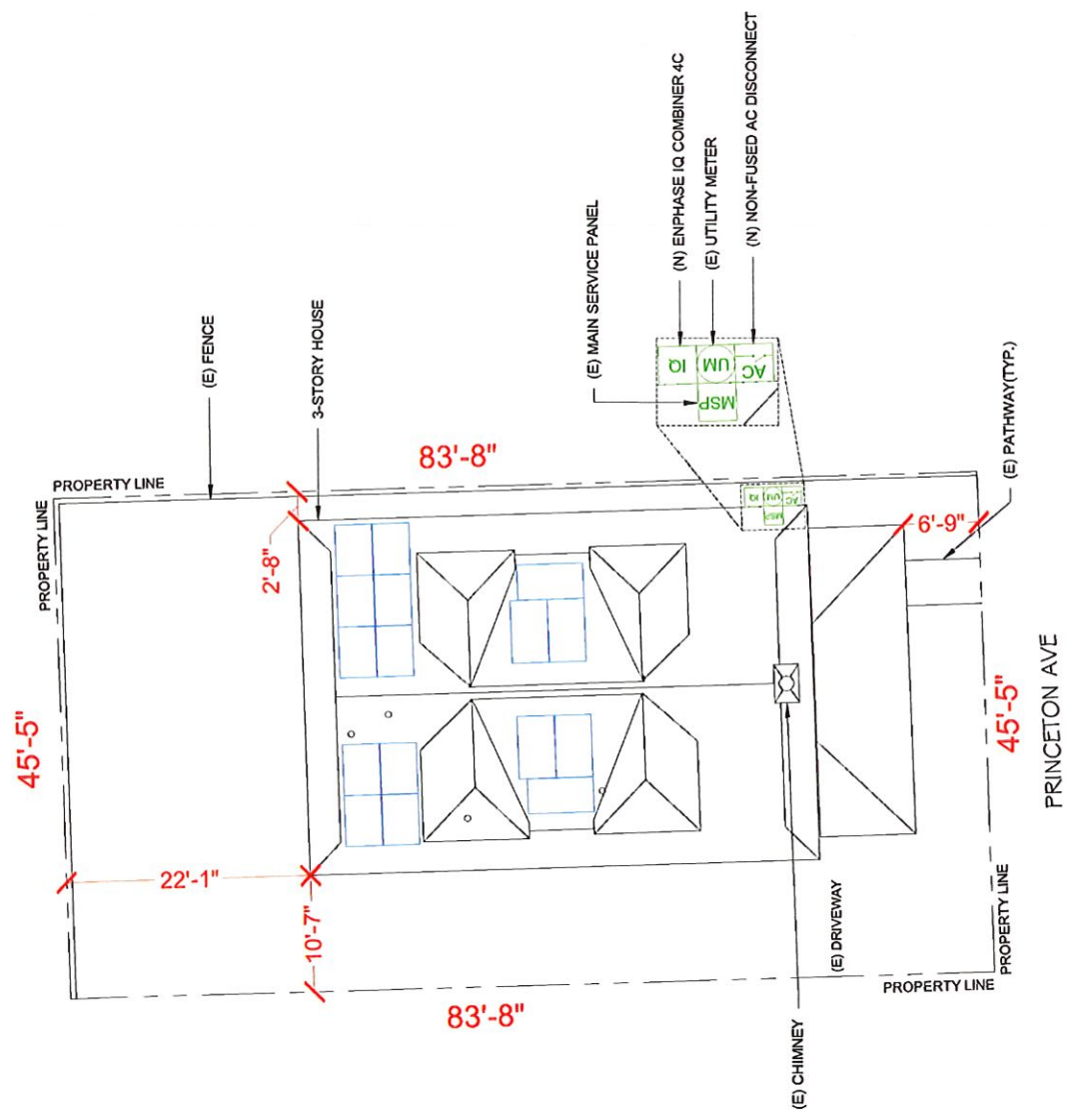
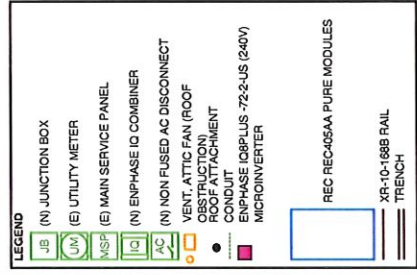


SMART GREEN
 SOLAR + ROOFING + ELECTRIC
 SMART GREEN
 33 BROOK ST SUITE 300
 PROVIDENCE, RI 02901 USA
 PH: (773) 5025818

PROJECT NAME & AD. /RESS
 DANIEL SCHLEIFER
 RESIDENCE
 87 PRINCETON AVE, PROVIDENCE, RI 02907, USA
 EMAIL ID: DANIEL.SCHLEIFER@GMAIL.COM
 PHONE NO. (401) 489-3977

REVISIONS	DATE	REV
DESCRIPTION	02082024	1
DATE: 2/29/2024		
SHEET NAME	COVER PAGE	
SHEET SIZE	ANSI B 11" X 17"	
SHEET NUMBER	PV-1	

- SITE NOTES**
- A LADDER SHALL BE IN PLACE FOR INSPECTION IN COMPLIANCE WITH OSHA REGULATIONS.
 - THE PV MODULES ARE CONSIDERED NON-COMBUSTIBLE AND THIS SYSTEM IS AN UTILITY INTERACTIVE SYSTEM WITH NO STORAGE BATTERIES.
 - THE SOLAR PV INSTALLATION SHALL NOT OBSTRUCT ANY PLUMBING, MECHANICAL, OR BUILDING ROOF VENTS.
 - PROPER ACCESS AND WORKING CLEARANCE AROUND EXISTING AND PROPOSED ELECTRICAL EQUIPMENT WILL BE PROVIDED AS PER SECTION (NEC 110.26)



SCOTT E. WYSSLING
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 No. PE 04286

Wyssling Consulting, PLLC
 76 N Meadowbrook Drive, Alpine UT 84004
 Rhode Island COA #9333
 Signed 2/12/2024

METER NO#: 05674438

SMART GREEN
 SOLAR AND ELECTRICAL
 SMART GREEN
 33 BROAD ST, SUITE 300,
 PROVIDENCE, RI 02903, USA
 PH#: (774) 502-5518

SYSTEM INFO
(16) REC REC405AA PUR
(16) ENPHASE IQBPPLUS-72-2-US (240V)
DC SYSTEM SIZE 6.46 KWDC
AC SYSTEM SIZE 4.64 KWAC
METER 05674438

REVISIONS	DATE	REV
DESCRIPTION		
REVISION	02/09/2024	1

PROJECT NAME & ADDRESS
 DANIEL SCHLEIFER
 RESIDENCE
 87 PRINCETON AVE, PROVIDENCE, RI 02907, USA
 EMAIL ID: DANIEL.SCHLEIFER@GMAIL.COM
 PHONE NO. (401) 489-3977

DATE: 2/9/2024
SHEET NAME SITE PLAN
SHEET SIZE ANSI B 11" X 17"
SHEET NUMBER PV-2



SCALE: 3/32" = 1'-0"

← 87 Princeton Ave



93 Princeton Ave
Providence, Rhode Island
Google Street View
Juli 2019 See more dates

Peace St
Moore St
Daboll St
Uplike
Broad
Peace St





← 87 Princeton Ave 🔍 ✕

77 Princeton Ave
Providence, Rhode Island
Google Street View
Jul 2019 See more dates



Google