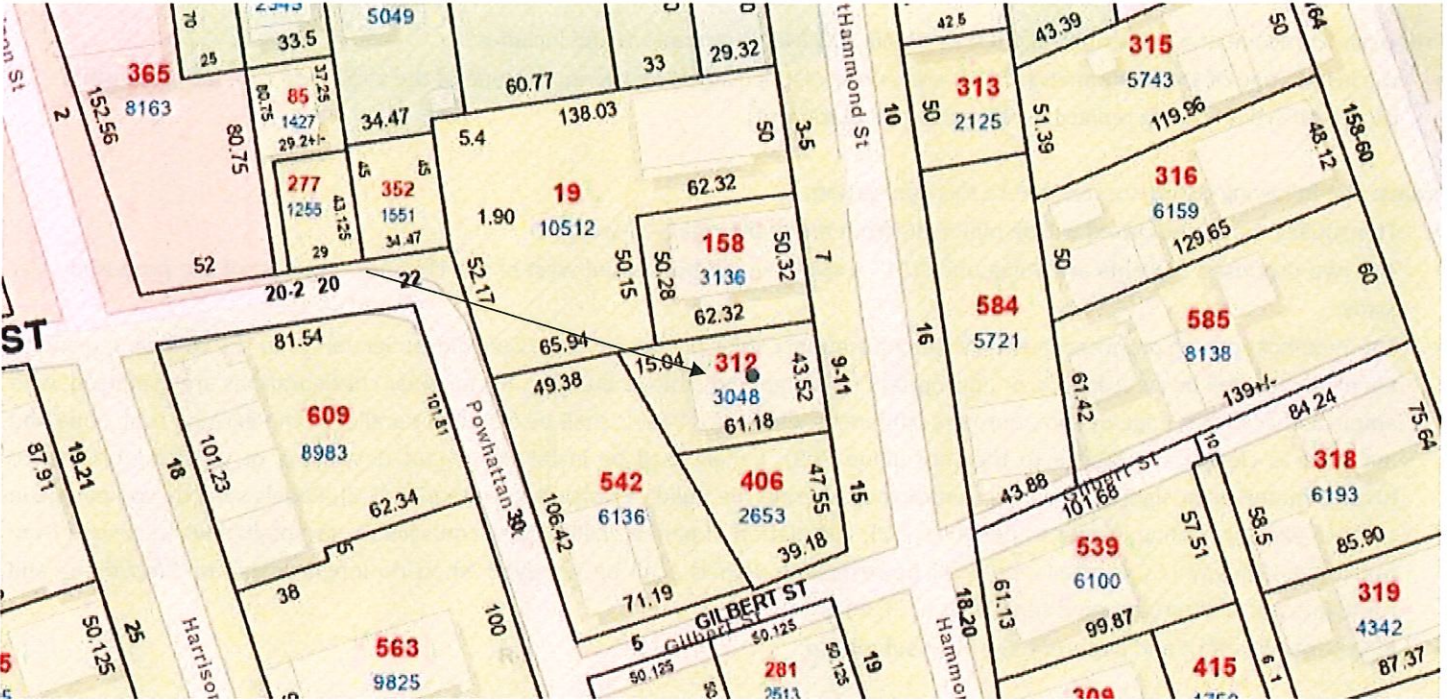
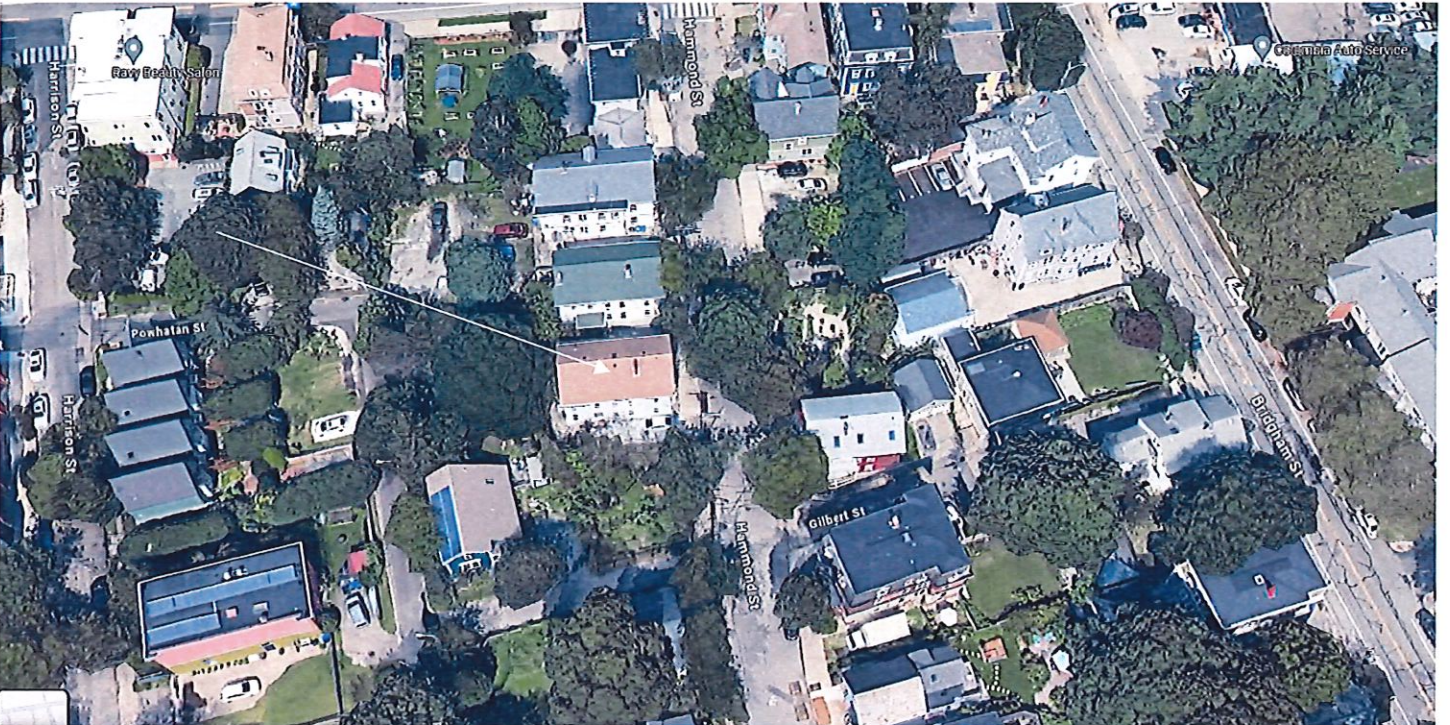


4. CASE 24.032, 9 HAMMOND STREET, House, c1880 (ARMORY)

2½-story; end-gable; vinyl-sided, double house; with two-story bay and double side-hall entry under bracketed hood.  
CONTRIBUTING



Arrow indicates 9 Hammond Street.



Arrow indicates project location, looking north.



**Applicant/Owner:** Sara J Majka, 9 Hammond Street, Providence, RI 02909

**Contractor (solar):** NEC Solar, 121 Broadcommon Road, Bristol, RI 02809

**Contractor (skylights):** Pride Exterior Group, 11 Robert Toner Blvd, North Attleboro, MA 02763

**Proposal:** The scope of work proposed consists of Minor & Major Alterations and includes:

- the installation of 14 solar panels (Minor) and two skylights (Major) on the south slope of the gable-end roof (as part of this project the roof is being replaced with a charcoal black roof).

**Issues:** The following issues are relevant to this application:

- The application as submitted will be minimally from the public rights-of-way;
- The two proposed skylights are Velux units (21" x 45¾") would be located west of the chimney and east of the proposed solar array;
- The modifications as proposed meets Minor Alterations: Solar Energy Systems Guidelines, Section 2, in the following manner: Panel layout shall be sympathetic or appropriate to design and scale of building. Rectangular configurations are preferred, with ample setback from edge of roof, dormers, chimneys, etc. (2.A); Panels shall be installed parallel to the existing roof slope and matched as closely as possible to the roof plane (2.B); Panels shall be installed without destroying or replacing original or historic materials or significantly compromising or altering the building's structural integrity (2.C); Panels shall be compatible in color to existing roofing insofar as possible (2.D); Installation of panels shall be as inconspicuous as possible when viewed from public right-of-way (2.E); Installation shall be reversible. Panels shall be removed when no longer viable or functioning and roofing restored to pre-existing conditions (2.F); and,
- Plans, specifications and pictures have been submitted.

**Recommendations:** The staff recommends the PHDC make the following findings of fact:

- a) 9 Hammond Street is a structure of historical and architectural significance that contribute to the significance of the Broadway local historic district, having been recognized as a contributing structure to the Broadway/Armory National Register Historic District;
- b) The modifications as proposed meets Minor Alterations: Solar Energy Systems Guidelines, Section 2, and the application is considered complete; and,
- c) The work as proposed is in accord with PHDC Standards 8 & 9 as follows: 8) the work will be done so that it does not destroy the historic character of the property or the district as they are not on the primary elevation and will be minimally visible from the public rights-of-way; and, 9) Whenever possible... alterations to structures shall be done in such a manner that if removed in the future, the essential form and integrity of the structure and the site will be unimpaired.

**Staff recommends a motion be made stating that:** The application is considered complete. 9 Hammond Street is a structure of historical and architectural significance that contribute to the significance of the Broadway local historic district, having been recognized as a contributing structure to the Broadway/Armory National Register Historic District. The Commission grants Final Approval of the proposal as submitted as the alterations are appropriate having determined that the proposed alteration does not destroy the historic character of the property or the district and are historically and architecturally compatible with the property and district. The proposed alteration meets Minor Alterations: Solar Energy Systems Guidelines, Section 2, is reversible and will not have an adverse effect on the property or district as they are not on the primary elevation and will be minimally visible from the public rights-of-way (Standards 8 & 9), and the recommendations in the staff report, with staff to review any additional required details.

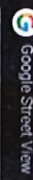


Search Google Maps



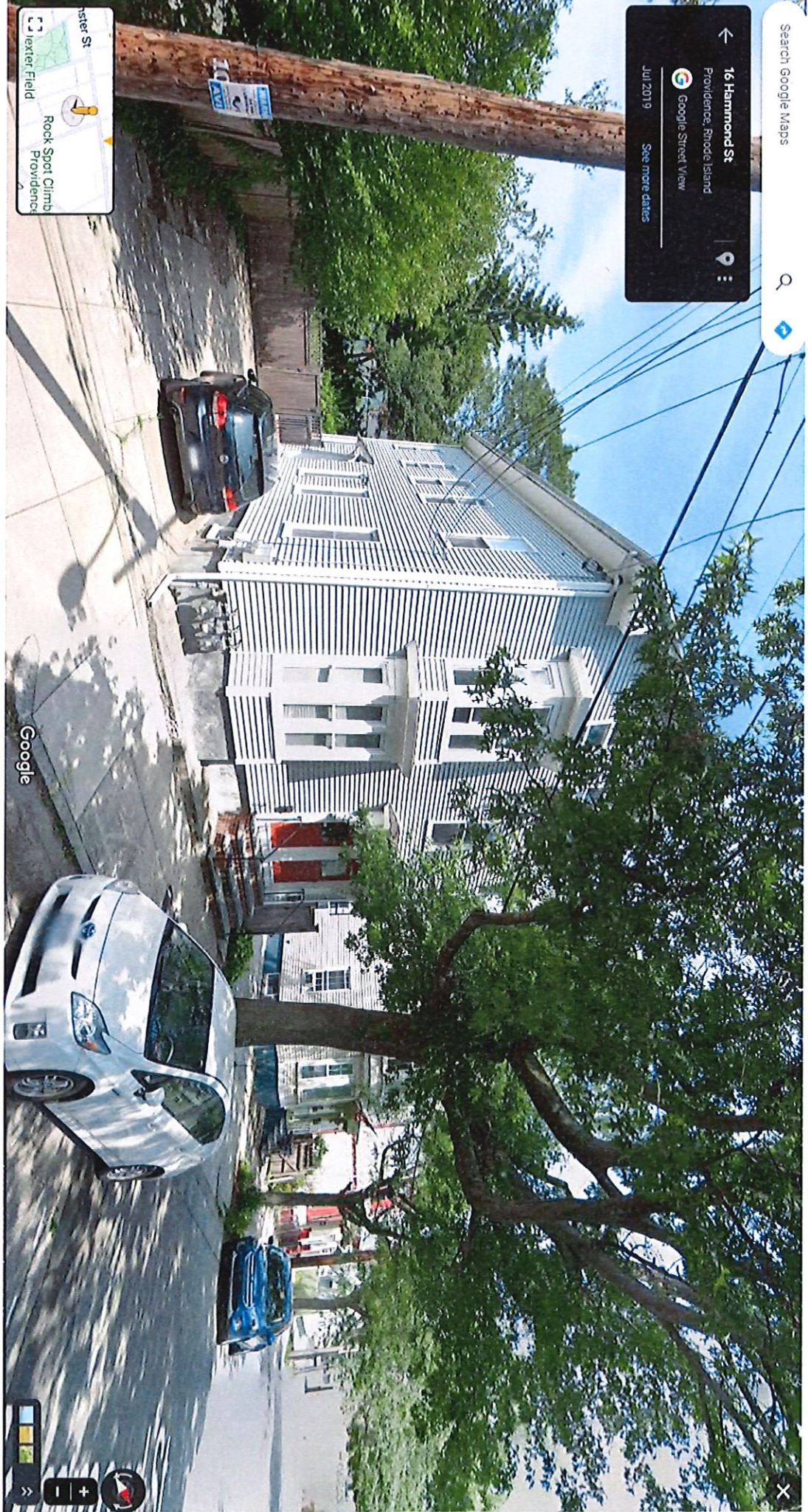
16 Hammond St

Providence, Rhode Island



Google Street View

Jul 2019 See more dates



Google



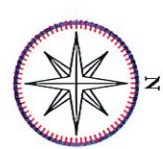


**PHOTOVOLTAIC SYSTEM SPECIFICATIONS:**

SYSTEM SIZE: 5.390 kW DC  
4.888 kW AC

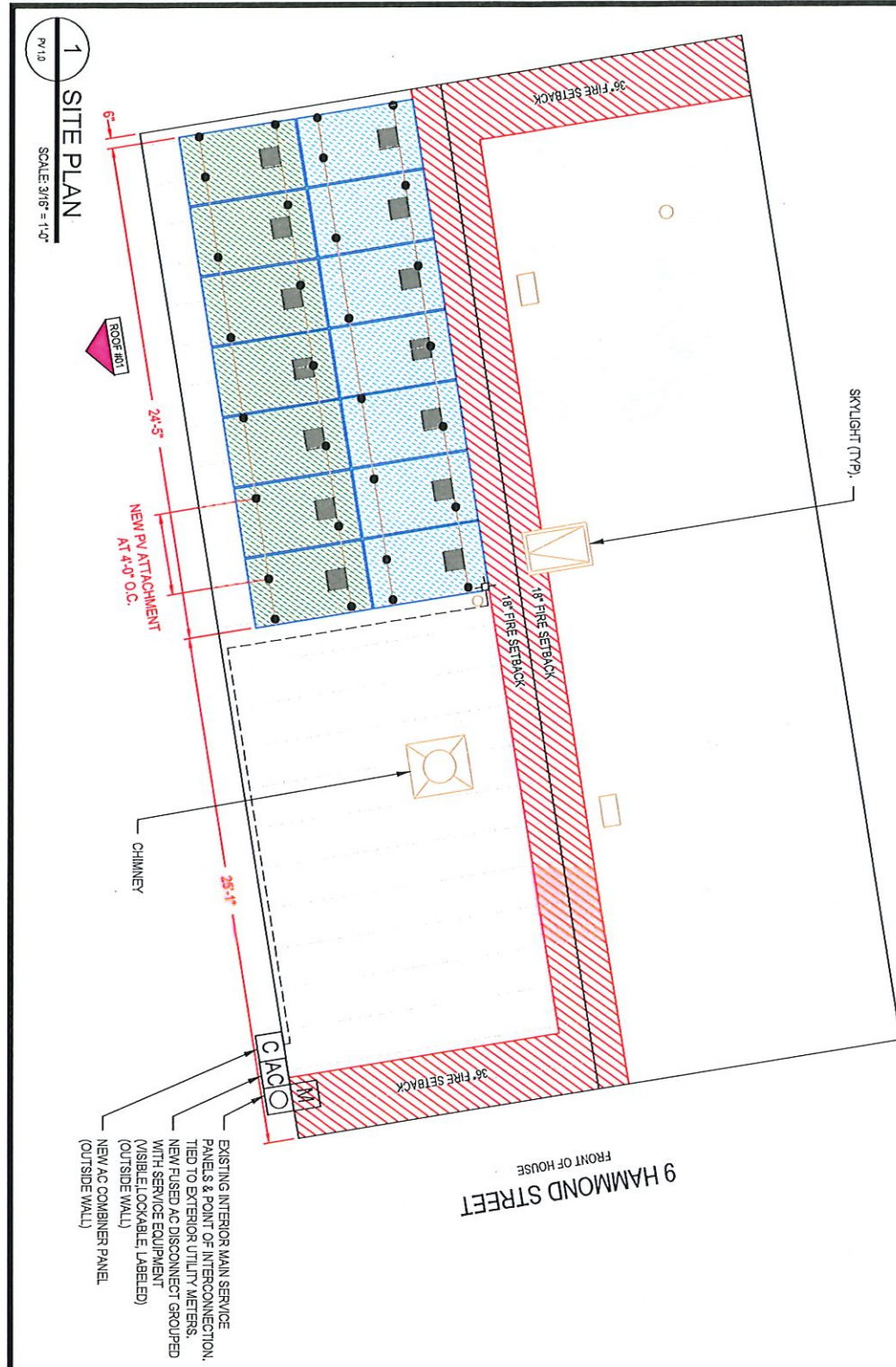
MODULE TYPE & AMOUNT: (14) METER BURGER BLACK 385W  
(14) METER BURGER BLACK 385W  
MODULE DIMENSIONS: (LxWxH) 69.58"x40.98"x1.38"  
INVERTER: (14) ENPHASE IQ8A-72-US (240V)

**VISIBLE LOCKABLE, LABELED DISCONNECT WITHIN 10' OF UTILITY METER**



**BILL OF MATERIALS**

NUMBER OF MODULES	14	METER BURGER BLACK 385W
NUMBER OF MICROINVERTER	14	ENPHASE IQ8A-72-US (240V)
COMBINER PANEL	1	125A ENPHASE IQ COMBINER 40C X1-Q4M-240-41C, 240V
AC DISCONNECT	1	10A FUSIBLE AC DISCONNECT WITH 30A FUSE, 240V
NUMBER OF ATTACHMENTS	30	SNAPRACK COMPOSITION L-FOOT KIT
RAILS	7	SNAPRACK UL TR4 RAIL 40 RACKING -188" SECTION
RAIL SPLICE	4	SPLICE KIT
MID CLAMPS	24	MID CLAMPS /UFO
END CLAMPS	8	END CLAMPS /STOPPER SLERVE
GROUNDING LUG	2	GROUNDING LUG



**SYSTEM LEGEND**

- EXISTING INTERIOR MAIN SERVICE PANEL & POINT OF INTERCONNECTION, TIED TO EXTERIOR UTILITY METER
- NEW VISIBLE, LOCKABLE, LABELED DISCONNECT LOCATED WITHIN 10' FROM THE UTILITY METER
- NEW DEDICATED PV SYSTEM COMBINER PANEL
- NEW METER BURGER BLACK 385W MODULES WITH NEW 14-ENPHASE IQ8A-72-US (240V) INVERTERS, MOUNTED ON THE BACK OF EACH MODULES
- FIRE PATHWAY
- ROOF OBSTRUCTIONS
- ATTACHMENT POINTS
- RAFTER
- RACKING SYSTEM
- ATTIC RUN
- CONDUIT ROOF TOP JUNCTION BOX

**ROOF SECTIONS**

ROOF #1] MODULE -14  
SLOPE -36°  
AZIMUTH -171°  
MATERIAL - G-30, SHINGLE  
RAFTER SIZE & SPACING - 2x6 @ 24" O.C.

**CIRCUIT(S)**

- CIRCUIT #1 - 07 MODULES
- CIRCUIT #2 - 07 MODULES

**MODULE ARRAY WEIGHT (LOAD CALC(S))**

Number of Modules	14	LBS
Module Weight	43.43	LBS
Total Module (Array) Weight	608.02	LBS
Number of Attachment point	30	
Mounting System Weight	1.5	LBS
(Per Module)		
Mounting System Weight	-45.00	LBS
Total System Weight	563.02	LBS
(Include Weight of Mounting System Weight)		
Weight at Each Attachment Point	20.27	LBS
(Include Weight/Number of Attachment Point)		
Module Area (69.58"x40.98")	19.80	SqFt
Total Array Area	277.14	SqFt
Distributed Load	2.27	Per SqFt
(Total System Weight/Total Array Area)		
Total Roof Area	1502	SqFt
Total Percentage of Roof Covered	18.45%	

**ANSI B 11" X 17"**

Sheet Name  
SITE PLAN

Sheet Size  
ANSI B 11" X 17"

Street Number  
PV 1.0

Drawn By  
PremiumCAD

**SARA MAJKA RESIDENCE**

9 HAMMOND STREET,  
PROVIDENCE, RI 02909  
APN NO. :PROVM32L312

Project Name & Address

**REVISIONS**

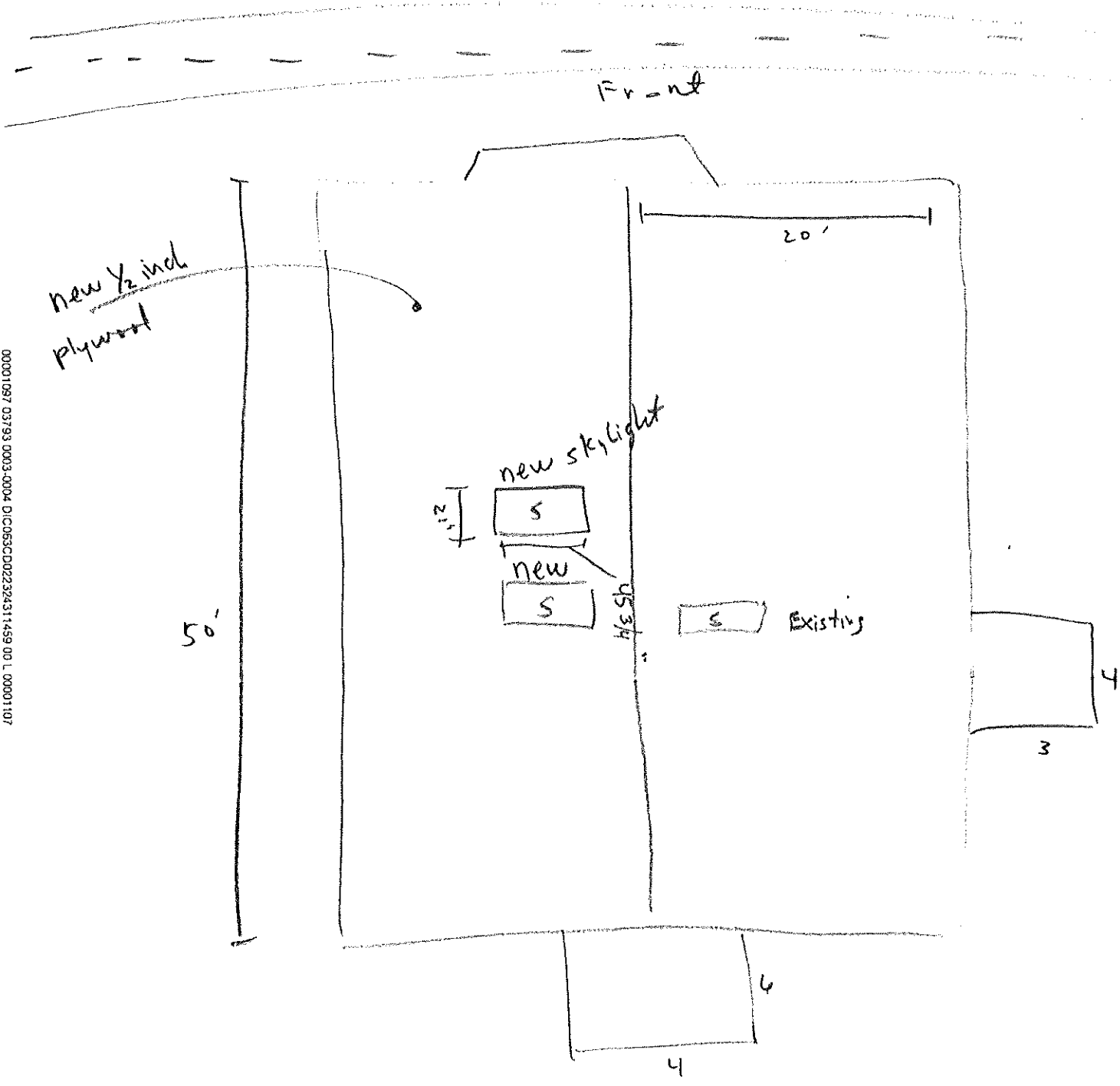
Description	Date	Rev
Revision	10/10/2023	01

**NEC SOLAR**

121 BRADCOMB RD.  
BRISTOL, RI 02809  
PH: (401) 548-8932  
FAX: (401) 548-8933  
# RI-120383

1 SITE PLAN  
SCALE 3/16" = 1'-0"  
P119

# Roof Sketch of Hammond St. Prov. R.I.



00001097 03793 0003 0004 DIC056C D02232431 1459 001 L 00001107