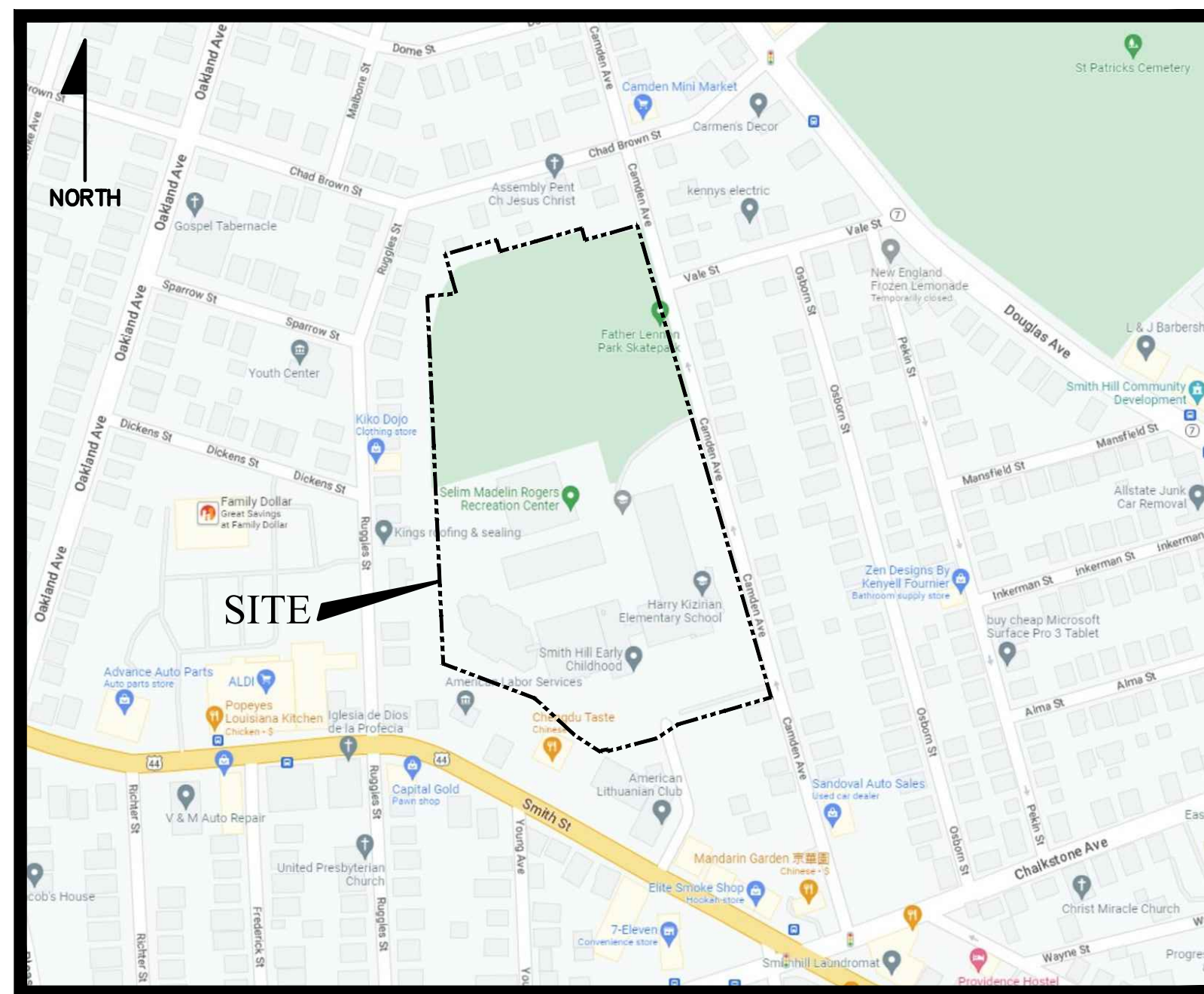


LAND DEVELOPMENT PLAN (LDP) SUBMISSION - PRELIMINARY

SITE PLANS

FOR

HARRY KIZIRIAN ELEMENTARY SCHOOL



LOCUS MAP
NOT TO SCALE

60 CAMDEN AVENUE
A.P.69, LOTS 186 & 215
PROVIDENCE,
RHODE ISLAND 02903

PREPARED FOR:
STUDIO JAED
42 WEYBOSETT STREET (SUITE 403)
PROVIDENCE, RHODE ISLAND 02903

SHEET INDEX		
SHEET	PLAN TITLE	LATEST REVISION
G-1	SITE CONTEXT PLAN	
EC5	EXISTING CONDITIONS PLAN	
C-1	GENERAL NOTES & LEGEND	
C-2	DEMOLITION PLAN	
C-3	SITE LAYOUT PLAN	
C-4	UTILITY PLAN	
C-5	DRAINAGE PLAN	
C-6	GRADING PLAN	
C-7	SOIL EROSION & SEDIMENTS CONTROL PLAN	
C-8	CONSTRUCTION DETAILS - 1	
C-9	CONSTRUCTION DETAILS - 2	
C-10	CONSTRUCTION DETAILS - 3	
C-11	CONSTRUCTION DETAILS - 4	
L-1	LANDSCAPE PLAN	
REFERENCE PLAN:		
A-200	EXTERIOR ELEVATIONS	
A-201	EXTERIOR ELEVATIONS	



JOB NO. 7431-00
DATE: FEBRUARY, 2024



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SIGNATURE: _____
 DATE OF SIGNATURE: _____
 DATE OF REGISTRATION EXPIRATION: _____
 ARCHITECT / ENGINEER SEAL

CITY OF PROVIDENCE
 NEW CONSTRUCTION
 AT THE
 HARRY KIZIRAN
 ELEMENTARY SCHOOL
 60 CAMDEN AVENUE
 PROVIDENCE, RI 02908

PROJECT

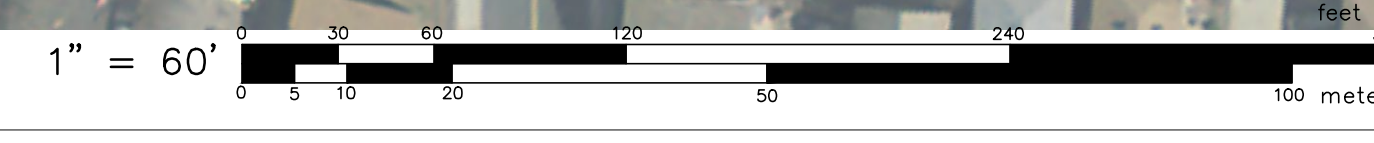
REVISIONS		
MARK	DESCRIPTION	DATE

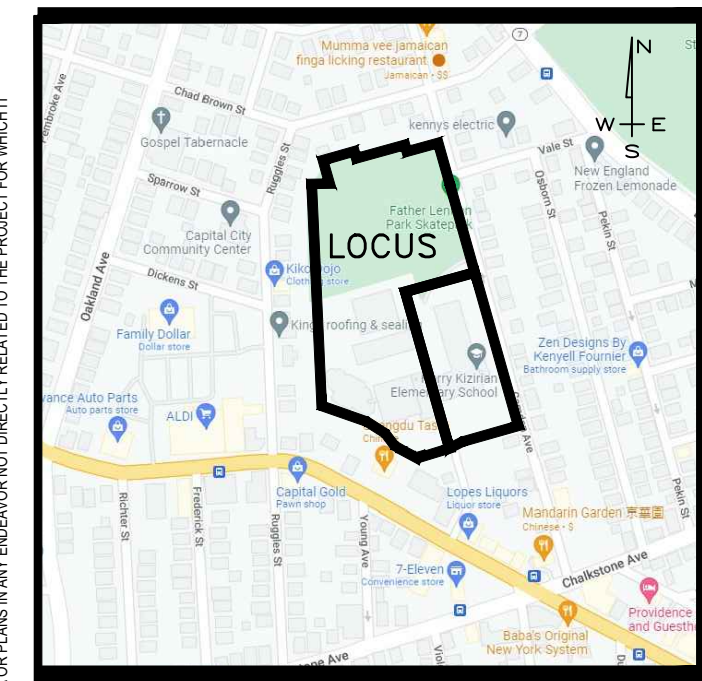
SHEET TITLE

SITE CONTEXT PLAN

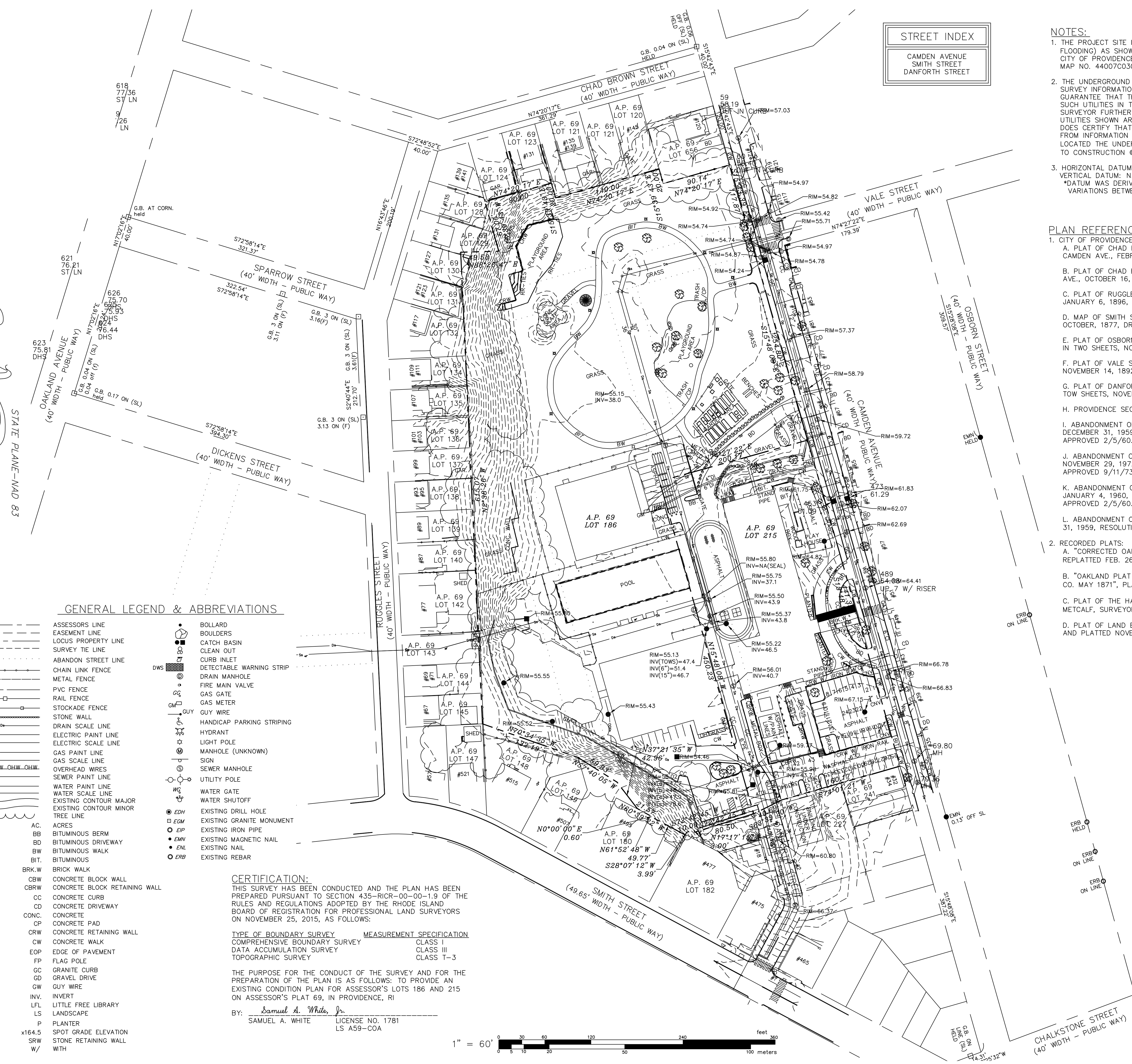
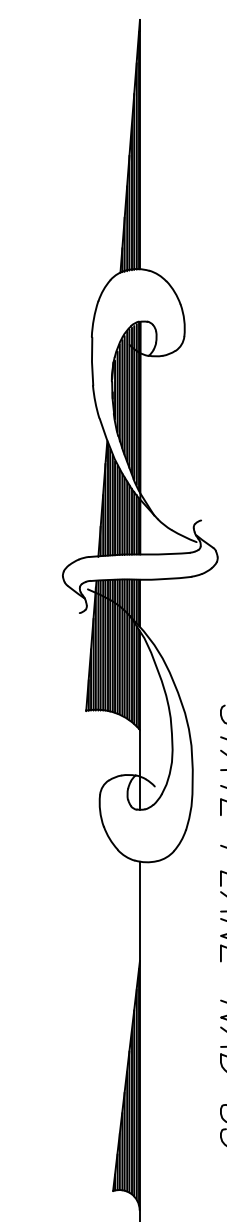
LAND DEVELOPMENT PLAN - PRELIMINARY PLAN

DRAWN: KYY CHK'D: SSH PROJECT NO: 7431.0
 SHEET NO. **G-1**





LOCUS MAP
N.T.S.



STREET INDEX	
CAMDEN AVENUE	
SMITH STREET	
DANFORTH STREET	

NOTES:

- THE PROJECT SITE IS LOCATED WITHIN ZONE "X" (AREA OF MINIMAL FLOODING) AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP FOR THE CITY OF PROVIDENCE, PROVIDENCE COUNTY, RHODE ISLAND, COMMUNITY MAP NO. 440070308J, HAVING AN EFFECTIVE DATE OF OCTOBER 2, 2015.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. (PLEASE CONTACT DIGSAFE PRIOR TO CONSTRUCTION @ 1-888-344-7233)
- HORIZONTAL DATUM: RHODE ISLAND STATE PLANE - NAD 83
VERTICAL DATUM: NAVD 88*
*DATUM WAS DERIVED BY OBSERVED GPS ORTHOMETRIC HEIGHTS VARIATIONS BETWEEN LOCAL BENCHMARKS MAY APPLY.

PLAN REFERENCES:

- CITY OF PROVIDENCE ENGINEER'S OFFICE STREET LINE DEPARTMENT:
 - PLAT OF CHAD BROWN STREET FROM CENTER OF RUGGLES ST. TO CAMDEN AVE., FEBRUARY 17, 1921, DRAWER 74, SHEET B-65.
 - PLAT OF CHAD BROWN STREET FROM DOUGLAS AVE. TO CAMDEN AVE., OCTOBER 16, 1932, DRAWER 86, SHEET B-61.
 - PLAT OF RUGGLES STREET FROM CHAD BROWN S.T. TO SMITH ST., JANUARY 6, 1896, DRAWER 82, SHEET A-74.
 - MAP OF SMITH STREET FROM CHALKSTONE AVE. TO RUGGLES ST., OCTOBER, 1877, DRAWER 82, SHEET B-21.
 - PLAT OF OSBORN STREET FROM CHALKSTONE AVE. TO VALE ST., IN TWO SHEETS, NOVEMBER 14, 1892, DRAWER 84, SHEET A-45-46.
 - PLAT OF DANFORTH STREET FROM SMITH ST. TO VALE ST., IN TWO SHEETS, NOVEMBER 18, 1892, DRAWER 84, SHEET A-50-51.
 - PROVIDENCE SECTION MAPS 50-24, 5124, 51-25.
 - ABANDONMENT OF A PORTION OF CLARA STREET, DATED DECEMBER 31, 1959, PLAN NO. 061968, RESOLUTION NO. 93, APPROVED 2/5/60.
 - ABANDONMENT OF A PORTION OF CLARA STREET, DATED NOVEMBER 29, 1972, PLAN NO. 063568, RESOLUTION NO. 446 APPROVED 9/11/73.
 - ABANDONMENT OF A PORTION OF DANFORTH STREET, DATED JANUARY 4, 1960, PLAN NO. 061970, RESOLUTION NO. 94, APPROVED 2/5/60.
 - ABANDONMENT OF A PORTION OF VALE STREET, DATED DECEMBER, 31, 1959, RESOLUTION NO. 99, APPROVED 2/5/60.
- RECORDED PLATS:
 - "CORRECTED OAKLANDS PLAT NO. 2 ESTATE OF SARAH B. EATON REPLATTED FEB. 26, 1874 BY WM. S. HAINES", PLAT CARD 329.
 - "OAKLAND PLAT NO. 2 ESTATE OF SARAH B. EATON, CUSHING & CO. MAY 1871", PLAT CARD 423.
 - PLAT OF THE HARDENBERGH PURCHASE ON SMITH'S HILL, ALFRED METCALF, SURVEYOR 1856", PLAT CARD 335.
 - PLAT OF LAND BELONGING TO JOHN J.A.R. WHIPPLE SURVEY 509'9" AND PLATTED NOVEMBER, 1877, Y.C.E. PAINE, PLAT CARD 509.

PARCEL DATA	
N/F	
CITY OF PROVIDENCE	
A.P. 69, LOT 186	
DEED BK. xx / PG. xx	
477 SMITH STREET	
LOT AREA:	264,305 S.F. ± OR
6.07 ACRES ±	
A.P. 69 LOT 215	
DEED BK. 10741 / PG. 209	
60 CAMDEN STREET	
LOT AREA:	88,648 S.F. ± OR
2.04 ACRES ±	

GENERAL LEGEND & ABBREVIATIONS

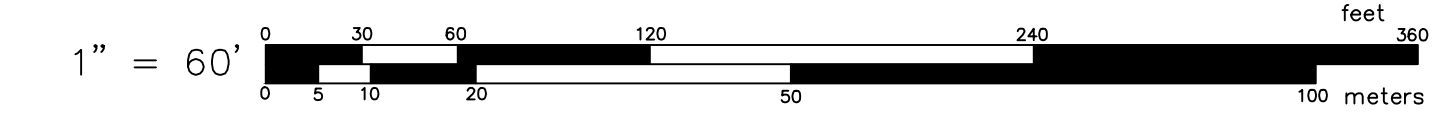
ASSESSORS LINE	• BOLLARD
EASEMENT LINE	• BOULDER
LOCUS PROPERTY LINE	• CATCH BASIN
SURVEY TIE LINE	• CLEAN OUT
ABANDON STREET LINE	• CURB INLET
CHAIN LINK FENCE	• DETECTABLE WARNING STRIP
METAL FENCE	• DRAIN MANHOLE
PVC FENCE	• FIRE MAIN VALVE
RAIL FENCE	• GAS GATE
STOCKADE FENCE	• GAS METER
STONE WALL	• GUY WIRE
DRAIN SCALE LINE	• HANDICAP PARKING STRIPING
ELECTRIC PAINT LINE	• HYDRANT
ELECTRIC SCALE LINE	• LIGHT POLE
GAS PAINT LINE	• MANHOLE (UNKNOWN)
GAS SCALE LINE	• SIGN
OVERHEAD WRES	• SEWER MANHOLE
SEWER PAINT LINE	• UTILITY POLE
WATER PAINT LINE	• WATER GATE
WATER SCALE LINE	• WATER SHUTOFF
EXISTING CONTOUR MAJOR	• EXISTING DRILL HOLE
EXISTING CONTOUR MINOR	• EXISTING GRANITE MONUMENT
TREE LINE	• EXISTING IRON PIPE
AC.	• EXISTING MAGNETIC NAIL
BB	• EXISTING NAIL
BD	• EXISTING REBAR
BW	
BIT.	
BRK.W	
CBW	
CBRW	
CC	
CD	
CONC.	
CP	
CRW	
CW	
EOP	
FP	
GG	
GD	
GW	
INV.	
LFL	
LS	
LANDSCAPE	
P	
PLANTER	
x164.S	
SRW	
STONE RETAINING WALL	
W/	

CERTIFICATION:
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY **MEASUREMENT SPECIFICATION**
 COMPREHENSIVE BOUNDARY SURVEY CLASS I
 DATA ACCUMULATION SURVEY CLASS III
 TOPOGRAPHIC SURVEY CLASS T-3

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: TO PROVIDE AN EXISTING CONDITION PLAN FOR ASSESSOR'S LOTS 186 AND 215 ON ASSESSOR'S PLAT 69, IN PROVIDENCE, RI

BY: *Samuel A. White, Jr.* LICENSE NO. 1781
 SAMUEL A. WHITE LS A59-COA



SETBACK SUMMARY
A.P. 69, LOT 215
ZONE: PS (PUBLIC SPACE)

DESCRIPTION	REQUIRED	PROVIDED
MIN. FRONT YARD BUILDING SETBACK	10'	51.7±
MIN. SIDE YARD BUILDING SETBACK	6'	50.1±
MIN. REAR YARD BUILDING SETBACK	25'	0±

SETBACK SUMMARY
A.P. 69, LOT 186
ZONE: OS (OPEN SPACE)

DESCRIPTION	REQUIRED	PROVIDED
MIN. FRONT YARD BUILDING SETBACK	10'	234.3±
MIN. SIDE YARD BUILDING SETBACK	6'	0±
MIN. REAR YARD BUILDING SETBACK	25'	108.8±

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www.studiojaed.com
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283 FRODO STREET, P.O.
BOX 100
CHAMPTON, MARYLAND
21626

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SIGNATURE: _____
DATE OF SIGNATURE: _____
DATE OF REGISTRATION EXPIRATION: _____

ARCHITECT / ENGINEER SEAL

CITY OF PROVIDENCE
NEW CONSTRUCTION

AT THE
HARRY KIZIRAN
ELEMENTARY SCHOOL
60 CAMDEN AVENUE
PROVIDENCE, RI 02908

REVISIONS

MARK	DESCRIPTION	DATE

SHEET TITLE

EXISTING
CONDITIONS PLAN

LAND DEVELOPMENT PLAN - PRELIMINARY PLAN

DRAWN	CHK'D	PROJECT NO
LFA	SAW	7431.0

SHEET NO.

ECS

GENERAL CONSTRUCTION NOTES:

- AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE TRAILER AT ALL TIMES. DEVIATIONS OR CHANGES WILL NOT BE ALLOWED UNLESS BY WRITTEN APPROVAL FROM THE ENGINEER.
- SITEWORK CONSTRUCTION SHALL NOT COMMENCE UNTIL ALL APPROVALS HAVE BEEN SECURED. REQUIRED PERMITS/APPROVALS FOR THE PROJECT INCLUDE BUT NOT LIMITED TO THE FOLLOWING: DEVELOPMENT PLAN APPROVAL BY THE CITY OF PROVIDENCE, DPW PHYSICAL ALTERATION PERMIT, DPW EXCAVATION IN PUBLIC RIGHTS OF WAY PERMIT, DPW STORM CONNECTION PERMIT, NBC (NARRAGANSETT BAY COMMISSION) SEWER CONNECTION, PROVIDENCE WATER SERVICE CONNECTION, RIDEM RIDGES/STORMWATER APPROVAL.
- ALL IMPROVEMENTS MUST COMPLY WITH THE "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG)". NOTE THAT THE DETAIL CONTAINED WITHIN THIS PLAN MAY NOT SHOW THE DETAIL NECESSARY TO CONSTRUCT WALKWAYS, RAMPS AND SPACES TO COMPLY WITH THE ADAAG REQUIREMENTS BUT THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE LEVEL OF CARE NECESSARY TO BE CERTAIN THAT THE CONSTRUCTED PRODUCT MEETS THESE STANDARDS.
- THE CONTRACTOR MUST RETAIN THE SERVICES OF A REGISTERED LAND SURVEYOR IN THE STATE OF RHODE ISLAND TO LAYOUT ON THE GROUND ALL NEW ELEMENTS OF WORK. IF ANY WORK IS INSTALLED PRIOR TO THE ABOVE REQUIREMENT AND IF ANY WORK IS NOT SATISFACTORY TO THE ENGINEER, THE CONTRACTOR MUST REPLACE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY THE PROPOSED LAYOUT WITH ITS RELATIONSHIP TO THE EXISTING SITE SURVEY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS AND MATERIAL SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING, INSTALLING OR PROCEEDING WITH WORK.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AND TO TAKE WHATEVER NECESSARY MEASURES NEEDED TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING UNDERGROUND UTILITIES AND FACILITIES ON THE DRAWINGS; HOWEVER, THE INFORMATION SHOWN IS FOR THE CONTRACTORS CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE ANY EXISTING UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION, VERIFY ALL DIMENSIONS, SITE CONDITIONS AND MATERIALS. THE CONTRACTOR MUST CONTACT THE LOCAL UTILITY COMPANIES FOR EXACT LOCATION OF UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE START OF ANY WORK. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE ANY AND ALL DAMAGE MADE TO UTILITIES BY THE CONTRACTOR.
- THE CONTRACTOR MUST NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITIES IN THE AREA OF PROPOSED CONSTRUCTION, EXCAVATION OR BLASTING AT LEAST THREE WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION, EXCAVATION OR BLASTING. ALL WATER, SEWER, GAS AND ALL OTHER UTILITIES MUST BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
- METHODS AND MATERIALS USED IN THE CONSTRUCTION OF IMPROVEMENTS SHALL CONFORM TO THE CURRENT CONSTRUCTION STANDARDS AND SPECIFICATIONS FOR THE CITY OF PROVIDENCE AND THE STATE OF RHODE ISLAND DEPARTMENT OF TRANSPORTATION.
 - ALL CONSTRUCTION IN THE PUBLIC ROW MUST BE IN ACCORDANCE WITH THE CITY'S STANDARD DETAILS AVAILABLE AT [HTTPS://WWW.PROVIDENCERIGOV/PUBLIC-WORKS/FORMS/UNDER "REPORTS + PUBLICATIONS"](https://www.providenceri.gov/Public-works/FORMS/UNDER%20REPORTS%20PUBLICATIONS), OR AT [HTTPS://WWW.PROVIDENCERIGOV/WP-CONTENT/UPLOADS/2019/06/PROVIDENCE-DPW-STANDARD-DETAILS.PDF](https://www.providenceri.gov/wp-content/uploads/2019/06/PROVIDENCE-DPW-STANDARD-DETAILS.PDF).
 - THE STATE OF RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2004 EDITION, AS AMENDED, AND THE RHODE ISLAND STANDARD DETAILS ARE MADE A PART HEREOF, AS IF ATTACHED HERETO.
- THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY PAVEMENT, DRIVEWAYS, SIDEWALKS, WALL, CURBS, ETC. DAMAGED DURING CONSTRUCTION WITH MATCHING MATERIALS.
- THE CONTRACTOR AGREES THAT HE WILL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE PROJECT SITE CONDITIONS THROUGHOUT CONSTRUCTION, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONJUNCTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
- ALL MATERIALS USED FOR CONSTRUCTION MUST BE NEW AND FREE OF DEFECTS. USED OR SALVAGED MATERIAL WILL NOT BE ALLOWED UNLESS WRITTEN APPROVAL FROM THE OWNER IS OBTAINED BY THE CONTRACTOR.
- AT ALL TIME THE CONTRACTOR MUST MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND ALL BUILDINGS. (I.E. IN TIMES OF RAIN OR SNOW, ROADS MUST BE ABLE TO CARRY A FIRE TRUCK BY BEING PAVED OR HAVING A CRUSHED STONE BASE, ETC.). WIDTH OF EMERGENCY VEHICLE ACCESS MUST BE A MINIMUM OF 20 FEET WIDE. ACCESS TO BUILDINGS THAT HAVE A FIRE SPRINKLER SYSTEM OR STANDPIPE MUST BE WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTION (FDC). NFPA 1141 3-1.
- NECESSARY BARRICADES, LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAYBE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC MUST BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR. ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 2003 INCLUDING ALL REVISIONS.
- LIGHTING FACILITIES MUST BE SO ARRANGED THAT THE SOURCE OF ANY LIGHT IS CONCEALED FROM PUBLIC VIEW AND FROM ADJACENT RESIDENTIAL PROPERTY AND DOES NOT INTERFERE WITH TRAFFIC. (REFER TO ELECTRICAL SITE PLANS PREPARED BY OTHERS FOR EXTERNAL LIGHTING DETAILS.)
- ALL RI HIGHWAY BOUNDS AND PERMANENT SURVEY MARKERS SHALL BE PROTECTED THROUGHOUT CONSTRUCTION.
- REFER TO ARCHITECTURAL, STRUCTURAL, AND MECHANICAL PLANS FOR ALL BUILDING INFORMATION.
- ALL CURB RADII ARE 3' UNLESS OTHERWISE NOTED ON THE SITE PLAN.
- PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR IS REQUIRED TO DEVELOP AND IMPLEMENT A PLAN FOR THE TEMPORARY CONTROL OF VEHICULAR AND PEDESTRIAN TRAFFIC FOR WORK WITHIN PUBLIC STREET RIGHT-OF-WAY AT THE SITE EGRESS. CONTRACTOR SHALL OBTAIN APPROVAL OF SAID PLAN FROM APPROPRIATE STATE AND COMMUNITY PUBLIC SAFETY OFFICIALS.
- WHEN IT IS NECESSARY TO CLOSE OFF A STREET, THE FIRE DEPARTMENT AND POLICE DEPARTMENT SHALL BE NOTIFIED BY THE CONTRACTOR.
- PRECAST STRUCTURES MAY BE USED AT CONTRACTOR'S OPTION. SHOP DRAWINGS OF PRECAST STRUCTURES SHALL BE REVIEWED BY THE ENGINEER AND APPROVED BEFORE USE.
- IF ANY EXISTING STRUCTURES AND/OR UTILITIES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, EITHER ON THE PROJECT SITE, ADJACENT PROPERTIES, OR WITHIN STATE RIGHT-OF-WAY, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.

GENERAL UTILITY NOTES:

- THE CONTRACTOR SHALL NOTIFY DIG-SAFE (1-888-344-7233) AND ALL LOCAL AUTHORITIES & UTILITY COMPANIES TO VERIFY LOCATIONS OF UTILITIES WITHIN THE AREA 72 HOURS PRIOR TO BEGINNING ANY EXCAVATION OR DEMOLITION FOR THE PURPOSE OF COORDINATING THE MARKING OF UNDERGROUND UTILITIES. LOCATION AND DEPTHS OF EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY, LOCATE AND PROTECT EXISTING UTILITIES IN THE FIELD WHETHER OR NOT SHOWN ON THE DRAWINGS.
- ALL WORK SHALL BE IN COMPLETE ACCORDANCE WITH ALL APPLICABLE STATE, FEDERAL AND LOCAL CODES, AND ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER/DEVELOPER. THE CONTRACTOR SHALL REFER TO THE PROVIDENCE WATER RULES & REGULATIONS FOR THE SERVICE INSTALLATION & EXTENSION REQUIREMENTS OF WATER LINES.
- THE CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILITIES AND APPURTENANCES TO MINIMIZE DISTURBANCE OF CURBING, PAVING AND COMPACTED SUBGRADE. THE CONTRACTOR SHALL NOTIFY THE TOWN ENGINEER & ALL LOCAL UTILITY COMPANIES 48 HOURS BEFORE EACH PHASE OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS DISCOVERED IN THE PLANS.
- BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREA. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
- THE CONTRACTOR SHALL REMOVE ANY ABANDONED FOUNDATIONS, UTILITY STRUCTURES, BURIED DEBRIS ETC. WHICH INTERFERE WITH THE INSTALLATION OF THE UTILITY WORK. ALL SUCH STRUCTURES SHALL BE COMPLETELY REMOVED AND THE EXCAVATED AREA SHALL BE BACKFILLED WITH COMPACTED GRAVEL IN 6" LIFTS TO 95% COMPACTION TO 6" BELOW THE BOTTOM OF THE UTILITY AND PIPE.
- COMPACTION OF THE BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THE THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LIFTS NOT TO EXCEED ONE FOOT IN COMPACTED FILL THICKNESS. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF PROJECT APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL PIPING LAYOUT INDICATED ON THESE PLANS IS DIAGRAMMATIC ONLY AND DOES NOT SHOW ALL THE REQUIRED FITTINGS FOR PROPER ALIGNMENT. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED FITTINGS TO OBTAIN PROPER ALIGNMENT AND FOR EXISTING UTILITY CONNECTIONS BASED UPON FIELD CONDITIONS.
- IF DURING EXCAVATION THE TRENCH WIDTH EXCEEDS THE SUM OF THE PIPE O.D. PLUS 2'-0", PLACE AND COMPACT THE FILL TO 12" ABOVE THE PIPE AND RE-EXCAVATE TO REQUIRED GRADE.
- DOMESTIC AND FIRE PROTECTION WATER SERVICE IS PROVIDED TO THE PROPERTY BY THE PROVIDENCE FIRE (PW). THE EXISTING WATER SYSTEM ON THE PROPERTY IS PRIVATE WATER PIPING SHALL BE CLASS 52 DOUBLE CEMENT LINED DUCTILE IRON PIPE WITH TYTON JOINTS. ALL BENDS, TEES ETC. SHALL BE JOINT RESTRAINED BY THE USE OF CONCRETE THRUST BLOCKS AND "MEG-A-LUG". ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE PW REGULATIONS, STANDARDS AND SPECIFICATIONS. NOTIFICATION SHALL BE PROVIDED TO SAID AUTHORITIES AT LEAST 72 HOURS PRIOR TO INITIATING CONSTRUCTION. WATER SERVICE PIPING SIZE SHOWN IS APPROXIMATE ONLY AND SHALL BE SIZED AND VERIFIED BY A LICENSED FIRE PROTECTION ENGINEER AND OR LICENSED PLUMBING ENGINEER.
- GATE VALVES SHALL BE CAST IRON BODY BRONZE MOUNTED, COMPLETE WITH ROAD BOX AND SHALL CONFORM TO THE PW REGULATIONS, STANDARDS AND SPECIFICATIONS.
- ALL FIRE AND PLUMBING FIXTURES MUST CONFORM TO LOCAL SPECIFICATIONS AND AS STIPULATED BY THE LOCAL FIRE MARSHALL AND/OR THE BUILDING OFFICIAL.
- ALL SANITARY SEWER MATERIALS AND WORKMANSHIP ASSOCIATED WITH THE INSTALLATION AND TESTING OF SANITARY SEWERS SHALL CONFORM TO THE NARRAGANSETT BAY COMMISSION (NBC) AND CITY OF PROVIDENCE ENGINEERING DIVISION REGULATIONS STANDARDS AND SPECIFICATIONS. ALL SEWER SYSTEM COMPONENTS MUST BE TESTED, CLEANED AND AS-BUILT INFORMATION MUST BE SUBMITTED TO THE CITY OF PROVIDENCE AND APPROVED, PRIOR TO ISSUANCE OF A PERMIT TO CONNECT TO PUBLIC SEWER SYSTEM.
- SANITARY SEWER MAINS AND SERVICES SHALL BE SDR-35 (ASTM D-3034) PVC SEWER PIPE WITH PUSH ON RUBBER RING JOINTS UNLESS NOTED OTHERWISE. CLEANOUTS SHALL BE INSTALLED AT BUILDING FACE (REFER PLUMBING PLANS FOR ALL WORK WITHIN 5' OF THE BUILDING). NEOPRENE COUPLINGS WITH STAINLESS STEEL BANDS AND SHEER RINGS SHALL BE REQUIRED FOR JOINING DIFFERENT TYPES OF SANITARY SEWER PIPES.
- SEWER LINES SHALL BE INSTALLED AT A MINIMUM 10 FOOT HORIZONTAL SEPARATION FROM ANY PROPOSED OR EXISTING WATER LINES.
- WHENEVER SEWER LINES MUST CROSS WATER LINES, THE SEWER SHALL BE INSTALLED SO THAT THE TOP OF THE SEWER IS AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. WHERE 18 INCH VERTICAL SEPARATION & 10 FOOT HORIZONTAL SEPARATION CAN NOT BE MET AT WATER AND SEWER CROSSINGS, THE SEWER PIPE SHALL BE ENCASED IN EITHER DUCTILE IRON OR 6900 BLUE BRUTE PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF CROSSING.
- WHENEVER NEW SEWER LINES CONNECT TO EXISTING SEWER MANHOLES THE CONTRACTOR SHALL REBUILD THE EXISTING SEWER MANHOLE CHANNEL TO ACCOMMODATE THE NEW CONNECTION.
- STORM DRAINS 12" AND OVER SHALL BE SMOOTH INTERIOR WALL AND EXTERIOR CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE) PIPE CAPABLE OF WITHSTANDING (11-20) LOAD UNLESS NOTED OTHERWISE. PIPE SHALL BE JOINED USING BELL & SPIGOT JOINTS MEETING OR EXCEED ASTM F2648. THE JOINT SHALL BE SOIL-TIGHT AND GASKETS SHALL MEET OR EXCEED ASTM F477. HDPE PIPE SHALL BE AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS INC. (ADS), HANCOR PIPE OR LANE PIPE. ALL STORM DRAINAGE PIPING SHALL BE LAID ON A SMOOTH CONTINUOUS GRADE WITH NO VISIBLE BENDS AT THE JOINTS, WHERE INDICATED ON DRAWINGS REINFORCED CONCRETE PIPE (RCP) PIPE SHALL BE CLASS III RCP WITH "O" RING GASKET JOINTS. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT. ROOF DRAIN AND STORM DRAINS UNDER 12" SHALL BE SDR-35 (ASTM D-3034) PVC WITH PUSH ON RUBBER RING JOINTS UNLESS NOTES OTHERWISE, OR APPROVED BY ENGINEER.
- GAS SERVICE FACILITIES SHALL BE DESIGNED BY OTHERS. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE UTILITY INSTALLATIONS AS REQUIRED TO ENSURE ADEQUATE GAS SERVICE IS PROVIDED AND SHALL BE RESPONSIBLE FOR ALL INSTALLATION PROCEDURES (TRENCHING, LAYING PIPE, ETC.) AS ARE REQUIRED BY THE GAS COMPANY FOR COMPLETE AND IN PLACE CONSTRUCTION.
- ELECTRIC SERVICE FACILITIES SHALL BE DESIGNED BY OTHERS. ELECTRIC SERVICE AND TRANSFORMER PAD SHALL CONFORM TO THE REQUIREMENTS OF THE ELECTRIC COMPANY. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ADEQUATE ELECTRIC SERVICE IS PROVIDED AND SHALL BE RESPONSIBLE FOR ALL INSTALLATION PROCEDURES (TRENCHING, LAYING PIPE, ETC.) AS ARE REQUIRED BY THE ELECTRIC COMPANY FOR COMPLETE AND IN PLACE CONSTRUCTION. REFER TO ELECTRICAL DRAWINGS FOR DETAILS ON ALL UNDERGROUND ELECTRIC.
- TEL/CABLE SERVICE FACILITIES SHALL BE DESIGNED BY OTHERS CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ADEQUATE UTILITY SERVICE IS PROVIDED AND SHALL BE RESPONSIBLE FOR ALL INSTALLATION PROCEDURES (TRENCHING, LAYING PIPE ETC.) AS IS REQUIRED BY THE LOCAL UTILITY CO. FOR COMPLETE AND IN PLACE CONSTRUCTION. REFER TO ELECTRICAL DRAWINGS FOR ALL UNDERGROUND ELECTRIC.
- WHENEVER UTILITIES ARE TO BE INSTALLED WITHIN THE CITY OF PROVIDENCE PUBLIC OR PRIVATE RIGHT OF WAY, THE TRENCH MUST BE BACKFILLED WITH GRANULAR BASE PER CITY STD. 602.0P. ALL AREAS OF ROADWAY PAVEMENT & WALKWAYS DISTURBED DURING CONSTRUCTION SHALL BE RE-PAVED PER THE CITY OF PROVIDENCE AND STATE STANDARDS AND SPECIFICATIONS.

GENERAL DRAINAGE & GRADING NOTES:

- MAXIMUM RUNNING SLOPE ALONG ANY SIDEWALK SHALL BE 5% MAXIMUM CROSS SLOPE ACROSS ANY SIDEWALK SHALL BE 2%. A MINIMUM 5'x5' LANDING MUST BE PROVIDED IN FRONT OF ALL BUILDING ENTRANCES.
- ALL ADAAG PARKING SPACES AND LOADING SPACES SHALL BE 2% MAXIMUM SLOPE IN ANY DIRECTION.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- ALL GRATES AND COVERS IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 3" ABOVE FINISH GRADE.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH THE CITY OF PROVIDENCE SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.

STORMWATER SYSTEM MAINTENANCE NOTES:

THE DRAINAGE SYSTEMS ARE TO BE MONITORED THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD BY THE CONTRACTOR. UPON COMPLETION OF THE PROJECT THE CONTRACTOR MUST DO A FINAL FULL MAINTENANCE & CLEAN UP OF THE STORMWATER MANAGEMENT SYSTEM AND THE SITE. UPON COMPLETION OF THE CONTRACTOR'S FINAL MAINTENANCE & CLEAN UP OF THE PROJECT, MONITORING OF THE STORMWATER MANAGEMENT SYSTEM SHALL BE THE RESPONSIBILITY OF THE OWNER.

CONSTRUCTION MONITORING/MAINTENANCE PROCEDURES SHALL BE AS FOLLOWS: (RESPONSIBILITY OF CONTRACTOR)

- SILT BARRIER:** MONITOR SILT BARRIER ON A WEEKLY BASIS AND AFTER EVERY RAIN STORM EVENT AND REPAIR OR REPLACE ANY DAMAGED AREAS IMMEDIATELY. IMMEDIATELY CLEAN THE SILT BARRIER IF SIX INCHES OR MORE OF SEDIMENT HAS ACCUMULATED ON THE HAYBALE & SILT BARRIER.
- PAVED AREAS:** PARKING LOTS, PUBLIC & PRIVATE ROADWAYS AND GUTTERS SHALL BE SWEEPED CLEAN OF ALL SEDIMENT & DEBRIS. SWEEPING & REMOVAL OF DEBRIS SHALL BE PERFORMED ON A WEEKLY BASIS AT A MINIMUM.
- CATCH BASINS:** SILT SACKS SHALL BE INSTALLED ON ALL INLETS IMMEDIATELY AFTER INSTALLATION. ALL CATCH BASINS SHALL BE INSTALLED AS DETAILED AND INSPECTED AFTER EVERY RAIN STORM EVENT. IMMEDIATELY CLEAN THE CATCH BASIN SUMP IF TWO FEET OR MORE OF SEDIMENT HAS ACCUMULATED WITHIN THE CATCH BASIN.
- DRAIN MANHOLES:** DRAIN MANHOLES SHALL BE INSTALLED AS DETAILED AND INSPECTED AFTER EVERY RAIN STORM EVENT. IMMEDIATELY CLEAN THE DRAIN MANHOLE IF ONE FOOT OR MORE OF SEDIMENT HAS ACCUMULATED WITHIN THE DRAIN MANHOLE.
- STORMWATER BMPS:** NO CONSTRUCTION RUNOFF SHALL BE DIRECTED TO STORMWATER BMPS UNTIL UPGRADE AREAS ARE STABILIZED.

POST CONSTRUCTION MONITORING/MAINTENANCE PROCEDURES SHALL BE AS FOLLOWS: (RESPONSIBILITY OF OWNER)

- PAVED AREAS:** PARKING LOTS, ROADS AND ALL ACCESS WAYS AND GUTTERS MUST BE SWEEPED CLEAN OF ALL SEDIMENT AND DEBRIS ON BI-ANNUAL BASIS IN SPRING AND FALL OF EACH YEAR, OR AS NECESSARY.
- CATCH BASINS:** ALL CATCH BASINS MUST BE INSPECTED AND MAINTAINED ON A BI-ANNUAL BASIS IN MARCH AND OCTOBER OF EACH YEAR. CATCH BASINS MUST BE INSPECTED TO ENSURE THEY HAVE ADEQUATE SUMP CAPACITY. FRAMES AND GRATES ARE NOT DAMAGED, OIL/WATER SEPARATING DEVICES ARE IN PLACE. IMMEDIATELY CLEAN THE CATCH BASIN SUMP IF TWO FEET OR MORE OF SEDIMENT HAS ACCUMULATED WITHIN THE CATCH BASIN.
- DRAIN MANHOLES:** ALL DRAIN MANHOLES MUST BE INSPECTED AND MAINTAINED ON A BI-ANNUAL BASIS IN MARCH AND OCTOBER OF EACH YEAR. DRAIN MANHOLES MUST BE INSPECTED TO ENSURE FRAMES AND COVERS ARE NOT DAMAGED AND NO BLOCKAGES HAVE OCCURRED WITHIN THE MANHOLE. IMMEDIATELY CLEAN THE DRAIN MANHOLE IF ONE FOOT OR MORE OF SEDIMENT HAS ACCUMULATED AND NOTIFY ENGINEER FOR EVALUATION.
- STORMWATER MANAGEMENT FACILITIES** – REFER TO OPERATIONS AND MAINTENANCE PLAN UNDER SEPARATE COVER.

SURVEY REFERENCE:

- THE EXISTING CONDITIONS SHOW HEREIN ARE TAKEN FROM PLAN TITLE "PERIMETER AND TOPOGRAPHY SURVEY" FOR HARRY KIZIRAN ELEMENTARY SCHOOL, AP 69 LOT 186 AND 215, SITUATED ON 477 SMITH ST./60 CAMDEN AVE., PROVIDENCE, RI. PREPARED FOR STUDIO JAED, PREPARED BY GARFALO & ASSOCIATES INC. JOB NUMBER: 7431.00, DWG: 7431-ECS. DATED DECEMBER, 2023.
- THE PROJECT SITE IS LOCATED WITHIN ZONE X (AREAS OUTSIDE THE 0.2% ANNUAL FLOODPLAIN) AND ZONE XX (AREAS OF 0.2% ANNUAL CHANCE FLOODPLAIN, AREAS OF 1% ANNUAL CHANCE FLOODPLAIN WITH AVERAGE DEPTHS OF 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.) AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP FOR THE TOWN OF SOUTH KINGSTOWN, WASHINGTON COUNTY, RHODE ISLAND, COMMUNITY MAP NO. 4409C0184K, HAVING AN EFFECTIVE DATE OF APRIL 3, 2020.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. (PLEASE CONTACT DIGSAFE PRIOR TO CONSTRUCTION @ 1-888-344-7233)
- HORIZONTAL DATUM: RHODE ISLAND STATE PLANE – NAD 83 * (DATUM WAS DERIVED BY OBSERVED GPS ORTHOMETRIC HEIGHTS VERTICALS BETWEEN LOCAL BENCHMARKS MAY APPLY).

SITE LEGEND

EXISTING	NEW	DESCRIPTION
		CENTERLINE (LAYOUT)
		STORM DRAIN
		ELECTRIC (UNDERGROUND)
		FIRE SERVICE
		FOOTING DRAIN
		GAS
		OVERHEAD WIRE
		PROPERTY LINE
		SANITARY SEWER
		SITE LIGHTING SERVICE
		TELEPHONE
		WATER
		CONTOUR
		SPOT GRADE
		SPOT GRADE (BOT. OF CURB)
		SPOT GRADE (TOP OF CURB)
		SPOT GRADE (BOT. OF WALL)
		SPOT GRADE (TOP OF WALL)
		BITUMINOUS CONC. CURB
		CAPE COD BERM
		PRECAST CONC. CURB
		PRECAST SLOPED MOUNT. CURB
		SLOPED GRANITE CURB
		VERTICAL GRANITE CURB
		CHAINLINK FENCE (CLF)
		STOCKADE FENCE (STKF)
		BORING LOCATION
		CATCH BASIN
		DOUBLE GRATE CATCH BASIN
		CONCRETE THRUST BLOCK
		DRAIN MANHOLE
		FLARED END STRUCTURE
		SEWER MANHOLE
		WATER SERVICE
		UTILITY POLE
		FIRE HYDRANT
		GATE VALVE AND CURB BOX
		HANDICAP SYMBOL (PRKG. SPACE)
		SIGN
		WETLAND
		SOIL EVALUATION LOCATION
		TEST PIT LOCATION
		FIRE DEPARTMENT CONNECTION
		POST INDICATOR VALVE (PIV)
		ELECTRIC MANHOLE (EMH)
		TELEPHONE MANHOLE (TMH)
		TRANSFORMER PAD
		GENERATOR PAD
		GROUND CLEANOUT
		SIGHT LIGHT POLE
		TRAFFIC FLOW DIRECTION
		COMPOSITE SILT SOCK
		CONTINUOUS ROW OF SILT FENCE
		PAVEMENT SAWCUT & MATCH TO EXISTING

ABBREVIATIONS

CI	CAST IRON PIPE
CLD	CEMENT LINED DUCTILE IRON PIPE
CLF	CHAINLINK FENCE
CTE	POINT OF CONNECTION TO EXISTING
D.I.	DUCTILE IRON PIPE
ESHWT	ESTIMATED SEASONAL HIGH WATER TABLE
ETR	EXISTING TO REMAIN
EX	EXISTING
F&I	FURNISH AND INSTALL
HDPE	HIGH DENSITY POLYETHYLENE PIPE
INV.	INVERT ELEVATION
MTE	MATCH TO EXISTING
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PVC	POLYVINYL CHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
VF	VERIFY IN FIELD
WQS	WATER QUALITY STRUCTURE

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SIGNATURE: _____
DATE OF SIGNATURE: _____
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ARCHITECT / ENGINEER SEAL

CITY OF PROVIDENCE
NEW CONSTRUCTION
AT THE
HARRY KIZIRAN
ELEMENTARY SCHOOL
60 CAMDEN AVENUE
PROVIDENCE, RI 02908

PROJECT

REVISIONS		
MARK	DESCRIPTION	DATE
-	-	-

SHEET TITLE

GENERAL NOTES & LEGEND

LAND DEVELOPMENT PLAN - PRELIMINARY PLAN

DRAWN	CHK'D	PROJECT NO
KJA	SSH	7431.0

SHEET NO.

C-1

CAMDEN AVENUE
(40' WIDTH - PUBLIC WAY)

SHEET NOTES:
1. SEE SHEET C-1 FOR GENERAL NOTES AND LEGEND.

NEW ELEMENTARY SCHOOL
FFE=72.00
LFE=57.00

PROPOSED LIMITS OF SCHOOL DEPARTMENT MAINTENANCE/CONTROL (TYPICAL)

PAVING LEGEND:

	STANDARD DUTY PAVEMENT (SEE DETAIL)
	HEAVY DUTY PAVEMENT (SEE DETAIL)
	CONCRETE WALKS/PADS
	SYNTHETIC SAFETY SURFACE

ZONING SUMMARY(1)
A.P. 69, LOT 215
ZONE: PS (PUBLIC SPACE)

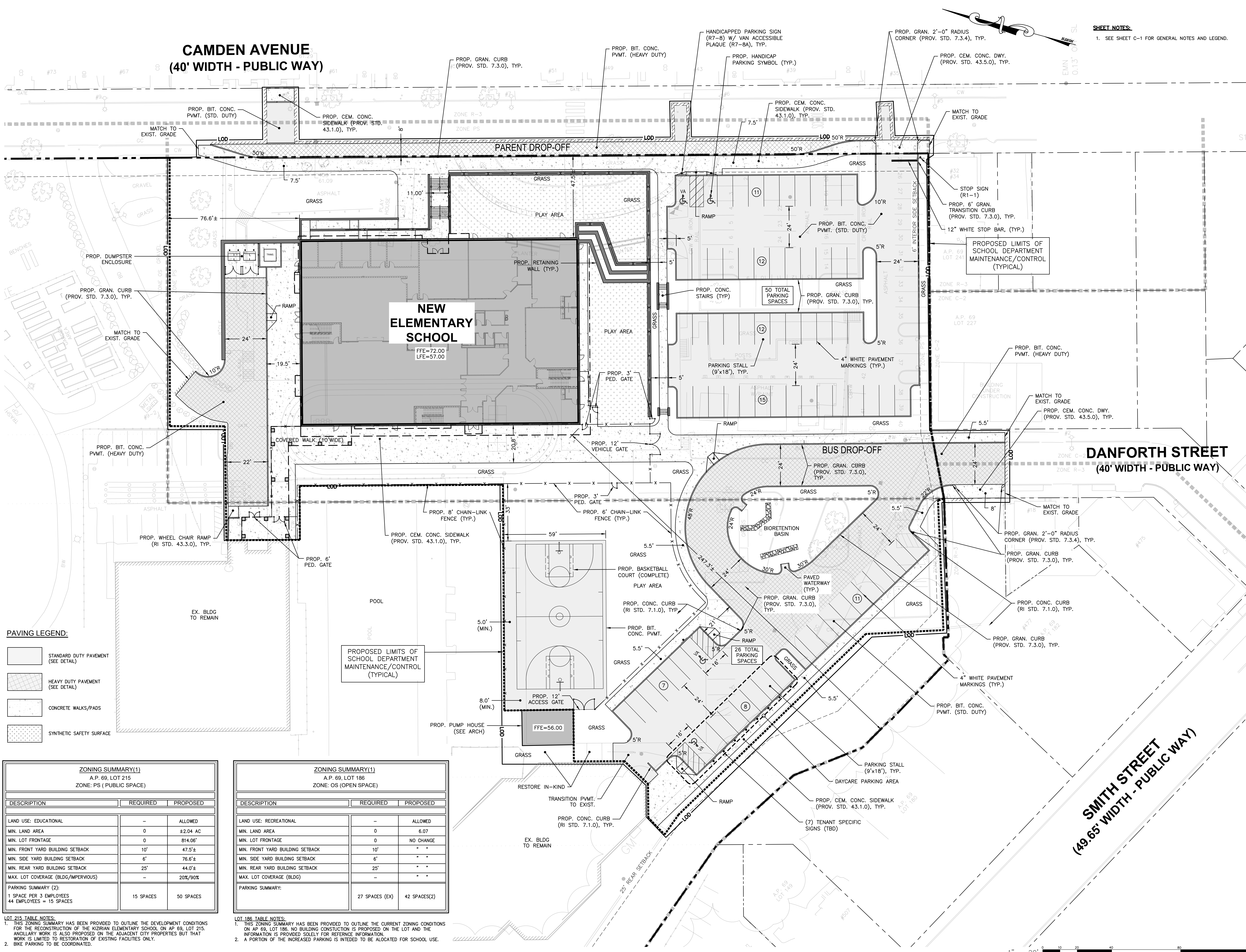
DESCRIPTION	REQUIRED	PROPOSED
LAND USE: EDUCATIONAL	-	ALLOWED
MIN. LAND AREA	0	±2.04 AC
MIN. LOT FRONTAGE	0	814.06'
MIN. FRONT YARD BUILDING SETBACK	0	47.5'±
MIN. SIDE YARD BUILDING SETBACK	6'	76.6'±
MIN. REAR YARD BUILDING SETBACK	25'	44.0'±
MAX. LOT COVERAGE (BLDG/IMPERVIOUS)	-	20%/90%
PARKING SUMMARY (2):		
1 SPACE PER 3 EMPLOYEES	15 SPACES	50 SPACES
44 EMPLOYEES = 15 SPACES		

ZONING SUMMARY(1)
A.P. 69, LOT 186
ZONE: OS (OPEN SPACE)

DESCRIPTION	REQUIRED	PROPOSED
LAND USE: RECREATIONAL	-	ALLOWED
MIN. LAND AREA	0	6.07
MIN. LOT FRONTAGE	0	NO CHANGE
MIN. FRONT YARD BUILDING SETBACK	10'	-
MIN. SIDE YARD BUILDING SETBACK	6'	-
MIN. REAR YARD BUILDING SETBACK	25'	-
MAX. LOT COVERAGE (BLDG)	-	-
PARKING SUMMARY:		
	27 SPACES (EX)	42 SPACES(2)

LOT 215 TABLE NOTES:
1. THIS ZONING SUMMARY HAS BEEN PROVIDED TO OUTLINE THE DEVELOPMENT CONDITIONS FOR THE RECONSTRUCTION OF THE KIZIRIAN ELEMENTARY SCHOOL ON AP 69, LOT 215. ANCILLARY WORK IS ALSO PROPOSED ON THE ADJACENT CITY PROPERTIES BUT THAT WORK IS LIMITED TO RESTORATION OF EXISTING FACILITIES ONLY.
2. BIKE PARKING TO BE COORDINATED.

LOT 186 TABLE NOTES:
1. THIS ZONING SUMMARY HAS BEEN PROVIDED TO OUTLINE THE CURRENT ZONING CONDITIONS ON AP 69, LOT 186. NO BUILDING CONSTRUCTION IS PROPOSED ON THE LOT AND THE INFORMATION IS PROVIDED SOLELY FOR REFERENCE INFORMATION.
2. A PORTION OF THE INCREASED PARKING IS INTENDED TO BE ALLOCATED FOR SCHOOL USE.



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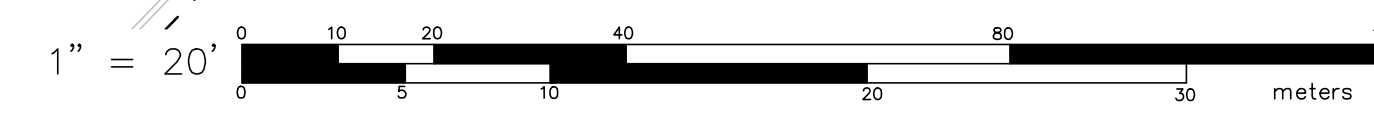
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CITY OF PROVIDENCE
NEW CONSTRUCTION
AT THE
HARRY KIZIRAN
ELEMENTARY SCHOOL
60 CAMDEN AVENUE
PROVIDENCE, RI 02908

REVISIONS

MARK	DESCRIPTION	DATE

SHEET TITLE
SITE LAYOUT PLAN
LAND DEVELOPMENT PLAN - PRELIMINARY PLAN
DRAWN: KJA
CHK'D: SSH
PROJECT NO: 7431.0
SHEET NO. **C-3**



CAMDEN AVENUE
(40' WIDTH - PUBLIC WAY)

- SHEET NOTES:**
- SEE SHEET C-1 FOR GENERAL NOTES AND LEGEND.
 - GREASE TRAPS SHALL BE 1500-GALLON, SINGLE COMPARTMENT TANKS. SEE DETAIL SHEET FOR BASIS OF DESIGN DRAWINGS.
- GREASE TRAP INVERT SCHEDULE:
GT: INV IN=48.90, INV OUT=48.65

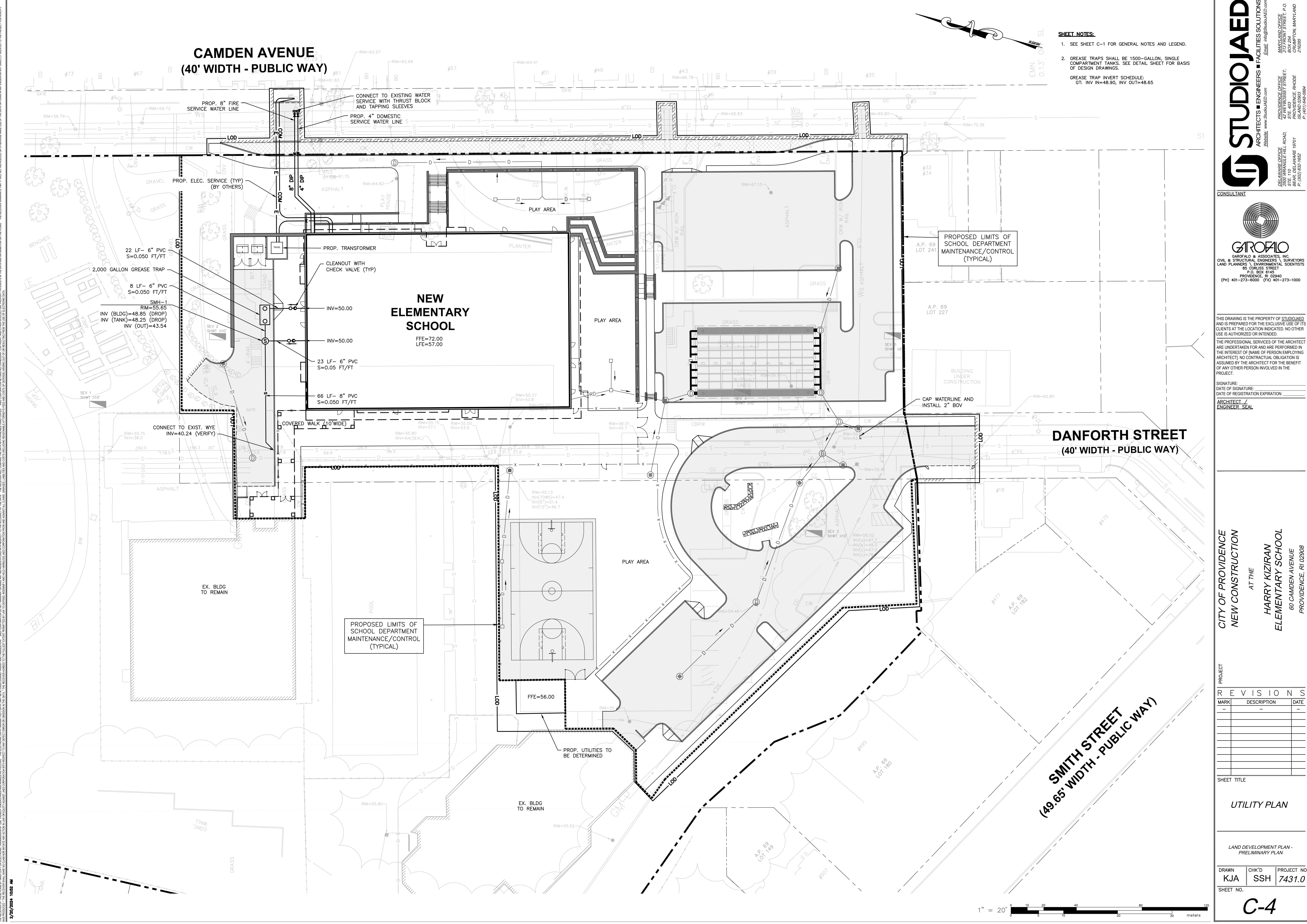
NEW ELEMENTARY SCHOOL
FFE=72.00
LFE=57.00

DANFORTH STREET
(40' WIDTH - PUBLIC WAY)

SMITH STREET
(49.65' WIDTH - PUBLIC WAY)

PROPOSED LIMITS OF SCHOOL DEPARTMENT MAINTENANCE/CONTROL (TYPICAL)

PROPOSED LIMITS OF SCHOOL DEPARTMENT MAINTENANCE/CONTROL (TYPICAL)



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SIGNATURE:
DATE OF SIGNATURE:
DATE OF REGISTRATION EXPIRATION:
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CITY OF PROVIDENCE
NEW CONSTRUCTION
AT THE
HARRY KIZIRAN
ELEMENTARY SCHOOL
60 CAMDEN AVENUE
PROVIDENCE, RI 02908

REVISIONS

MARK	DESCRIPTION	DATE

SHEET TITLE

UTILITY PLAN

LAND DEVELOPMENT PLAN - PRELIMINARY PLAN

DRAWN: KJA
CHK'D: SSH
PROJECT NO: 7431.0
SHEET NO: C-4

CAMDEN AVENUE
(40' WIDTH - PUBLIC WAY)

SHEET NOTES:
1. SEE SHEET C-1 FOR GENERAL NOTES AND LEGEND.

NEW ELEMENTARY SCHOOL
FFE=72.00
LFE=57.00

DANFORTH STREET
(40' WIDTH - PUBLIC WAY)

SMITH STREET
(49.65' WIDTH - PUBLIC WAY)

PROPOSED LIMITS OF SCHOOL DEPARTMENT MAINTENANCE/CONTROL (TYPICAL)

PROPOSED LIMITS OF SCHOOL DEPARTMENT MAINTENANCE/CONTROL (TYPICAL)

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CITY OF PROVIDENCE
NEW CONSTRUCTION
AT THE
HARRY KIZIRAN
ELEMENTARY SCHOOL
60 CAMDEN AVENUE
PROVIDENCE, RI 02908

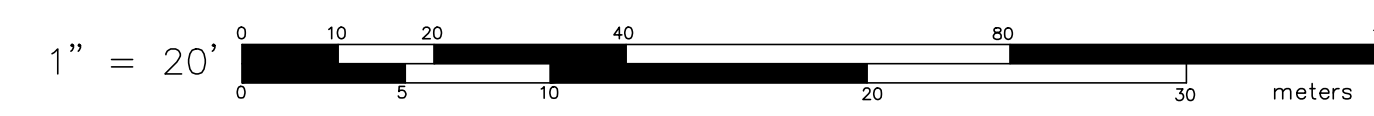
REVISIONS

MARK	DESCRIPTION	DATE

SHEET TITLE
DRAINAGE PLAN

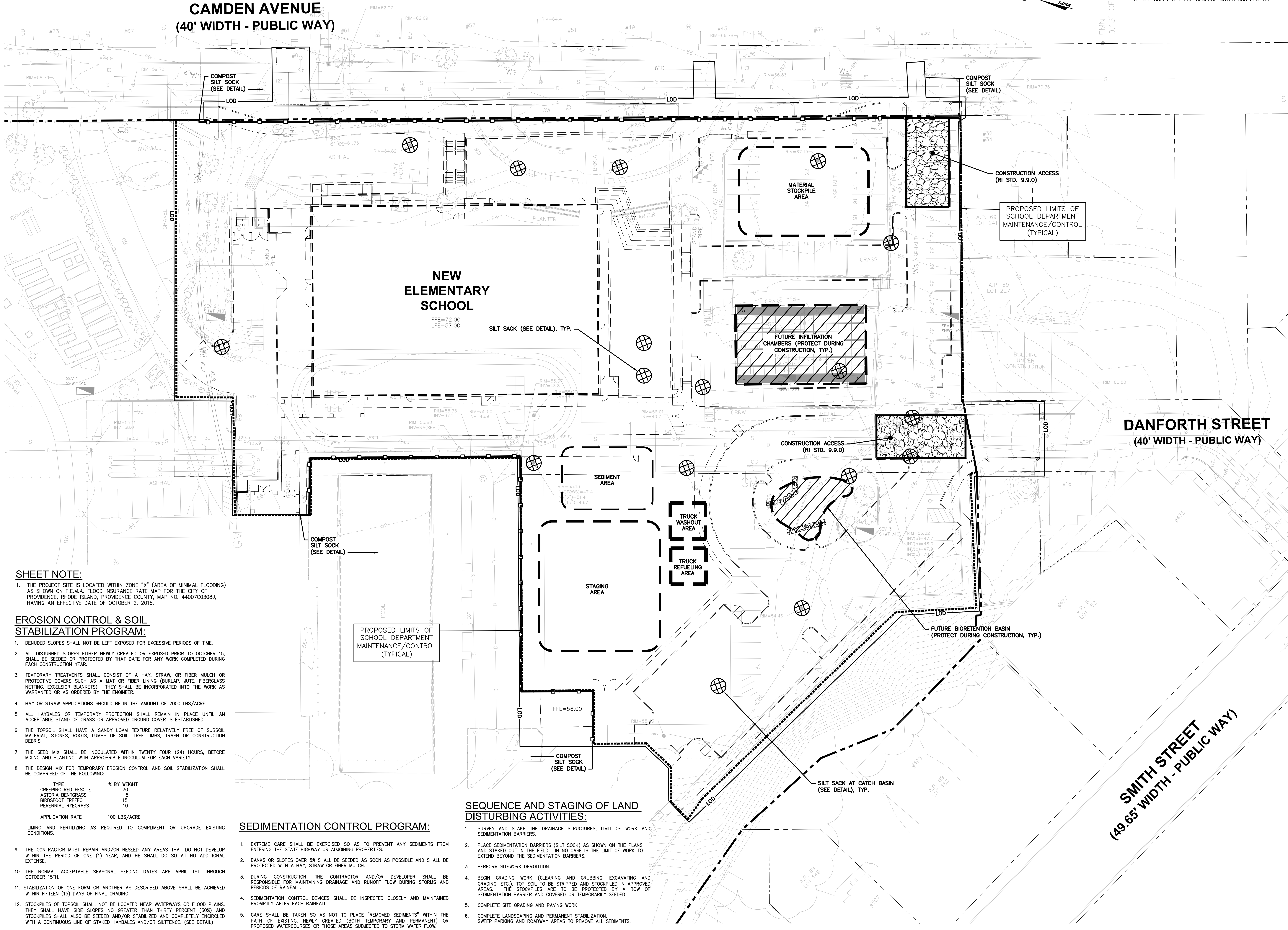
LAND DEVELOPMENT PLAN - PRELIMINARY PLAN

DRAWN: KJA
CHK'D: SSH
PROJECT NO: 7431.0
SHEET NO: C-5



**CAMDEN AVENUE
(40' WIDTH - PUBLIC WAY)**

SHEET NOTES:
1. SEE SHEET C-1 FOR GENERAL NOTES AND LEGEND.



SHEET NOTE:

1. THE PROJECT SITE IS LOCATED WITHIN ZONE "X" (AREA OF MINIMAL FLOODING) AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP FOR THE CITY OF PROVIDENCE, RHODE ISLAND, PROVIDENCE COUNTY, MAP NO. 44007C0308J, HAVING AN EFFECTIVE DATE OF OCTOBER 2, 2015.

EROSION CONTROL & SOIL STABILIZATION PROGRAM:

1. DENUDED SLOPES SHALL NOT BE LEFT EXPOSED FOR EXCESSIVE PERIODS OF TIME.
2. ALL DISTURBED SLOPES EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15, SHALL BE SEEDED OR PROTECTED BY THAT DATE FOR ANY WORK COMPLETED DURING EACH CONSTRUCTION YEAR.
3. TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.
4. HAY OR STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 2000 LBS./ACRE.
5. ALL HAYBALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
6. THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS.
7. THE SEED MIX SHALL BE INOCULATED WITHIN TWENTY FOUR (24) HOURS, BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
8. THE DESIGN MIX FOR TEMPORARY EROSION CONTROL AND SOIL STABILIZATION SHALL BE COMPRISED OF THE FOLLOWING:

TYPE	% BY WEIGHT
CREeping RED FESCUE	75
ASTORIA BENTGRASS	5
BIRDFOOT TREEFOIL	15
PERENNIAL RYEGRASS	10

APPLICATION RATE 100 LBS./ACRE

LIMING AND FERTILIZING AS REQUIRED TO COMPLIMENT OR UPGRADE EXISTING CONDITIONS.

9. THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE (1) YEAR, AND HE SHALL DO SO AT NO ADDITIONAL EXPENSE.
10. THE NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1ST THROUGH OCTOBER 15TH.
11. STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN FIFTEEN (15) DAYS OF FINAL GRADING.
12. STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS OR FLOOD PLAINS. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN THIRTY PERCENT (30%) AND STOCKPILES SHALL ALSO BE SEEDED AND/OR STABILIZED AND COMPLETELY ENCLOSED WITH A CONTINUOUS LINE OF STAKED HAYBALES AND/OR SILTENCE. (SEE DETAIL)
13. ON BOTH STEEP AND LONG SLOPES, CONSIDERATION SHOULD BE GIVEN TO "CRIMPING" OR "TRACKING" TO TACK DOWN MULCH APPLICATIONS.

SEDIMENTATION CONTROL PROGRAM:

1. EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY SEDIMENTS FROM ENTERING THE STATE HIGHWAY OR ADJOINING PROPERTIES.
2. BANKS OR SLOPES OVER 5% SHALL BE SEEDED AS SOON AS POSSIBLE AND SHALL BE PROTECTED WITH A HAY, STRAW OR FIBER MULCH.
3. DURING CONSTRUCTION, THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING STORMS AND PERIODS OF RAINFALL.
4. SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL.
5. CARE SHALL BE TAKEN SO AS NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATERCOURSES OR THOSE AREAS SUBJECT TO STORM WATER FLOW.
6. ADDITIONAL SILT SOCKS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.

SEQUENCE AND STAGING OF LAND DISTURBING ACTIVITIES:

1. SURVEY AND STAKE THE DRAINAGE STRUCTURES, LIMIT OF WORK AND SEDIMENTATION BARRIERS.
2. PLACE SEDIMENTATION BARRIERS (SILT SOCK) AS SHOWN ON THE PLANS AND STAKED OUT IN THE FIELD. IN NO CASE IS THE LIMIT OF WORK TO EXTEND BEYOND THE SEDIMENTATION BARRIERS.
3. PERFORM SITEWORK DEMOLITION.
4. BEGIN GRADING WORK (CLEARING AND GRUBBING, EXCAVATING AND GRADING, ETC.). TOP SOIL TO BE STRIPPED AND STOCKPILED IN APPROVED AREAS. THE STOCKPILES ARE TO BE PROTECTED BY A ROW OF SEDIMENTATION BARRIER AND COVERED OR TEMPORARILY SEEDED.
5. COMPLETE SITE GRADING AND PAVING WORK.
6. COMPLETE LANDSCAPING AND PERMANENT STABILIZATION. SWEEP PARKING AND ROADWAY AREAS TO REMOVE ALL SEDIMENTS.
7. REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES FOLLOWING VEGETATIVE ESTABLISHMENT OF ALL DISTURBED AREAS.

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DATE OF SIGNATURE:
DATE OF REGISTRATION EXPIRATION:
ARCHITECT / ENGINEER SEAL

CITY OF PROVIDENCE
NEW CONSTRUCTION
AT THE
HARRY KIZIRAN
ELEMENTARY SCHOOL
60 CAMDEN AVENUE
PROVIDENCE, RI 02908

REVISIONS

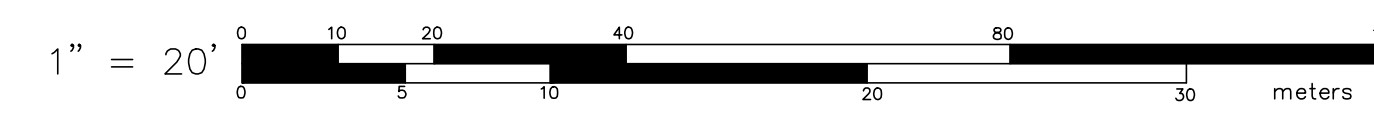
MARK	DESCRIPTION	DATE

SHEET TITLE
SOIL EROSION & SEDIMENTS CONTROL PLAN

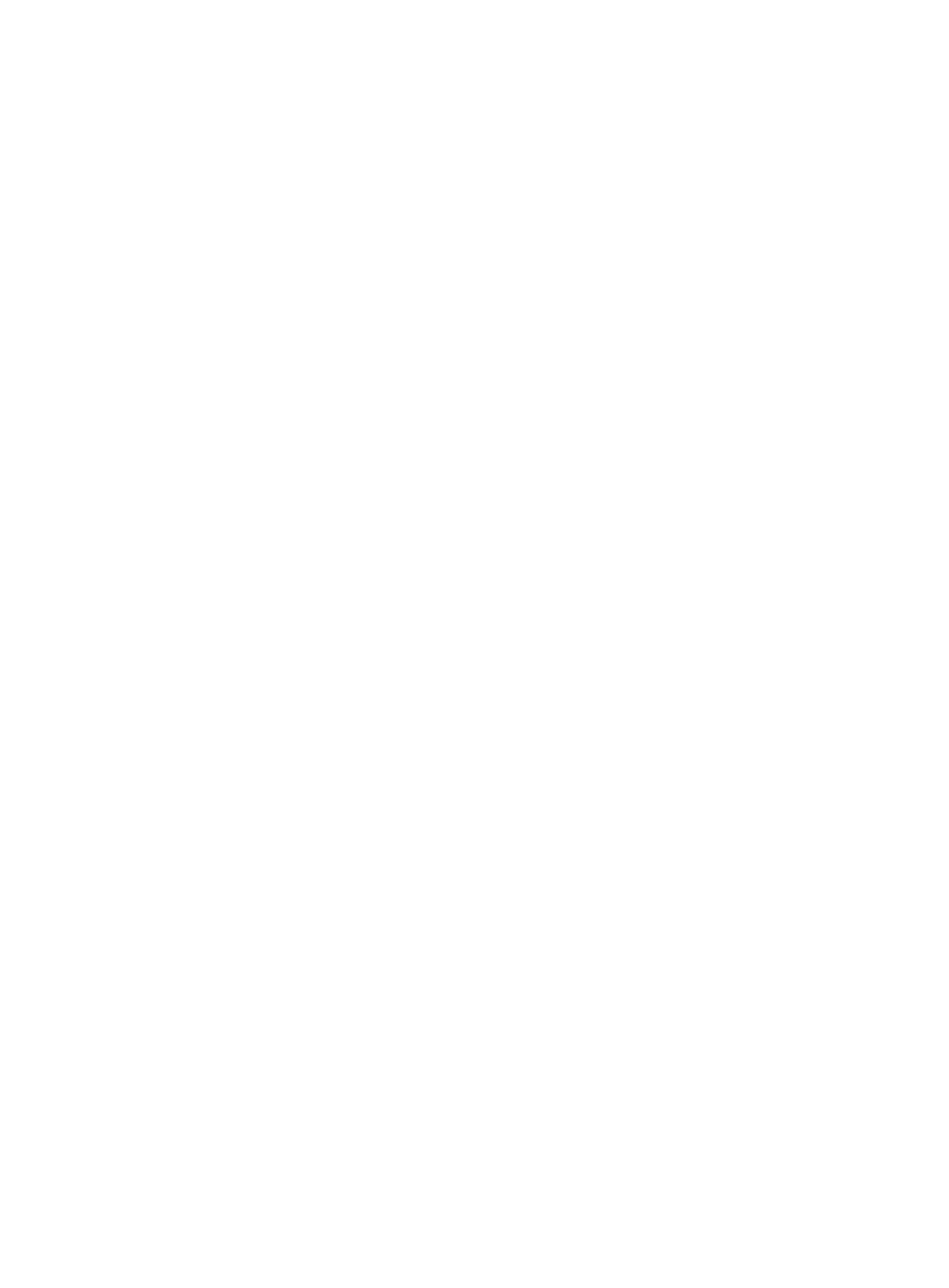
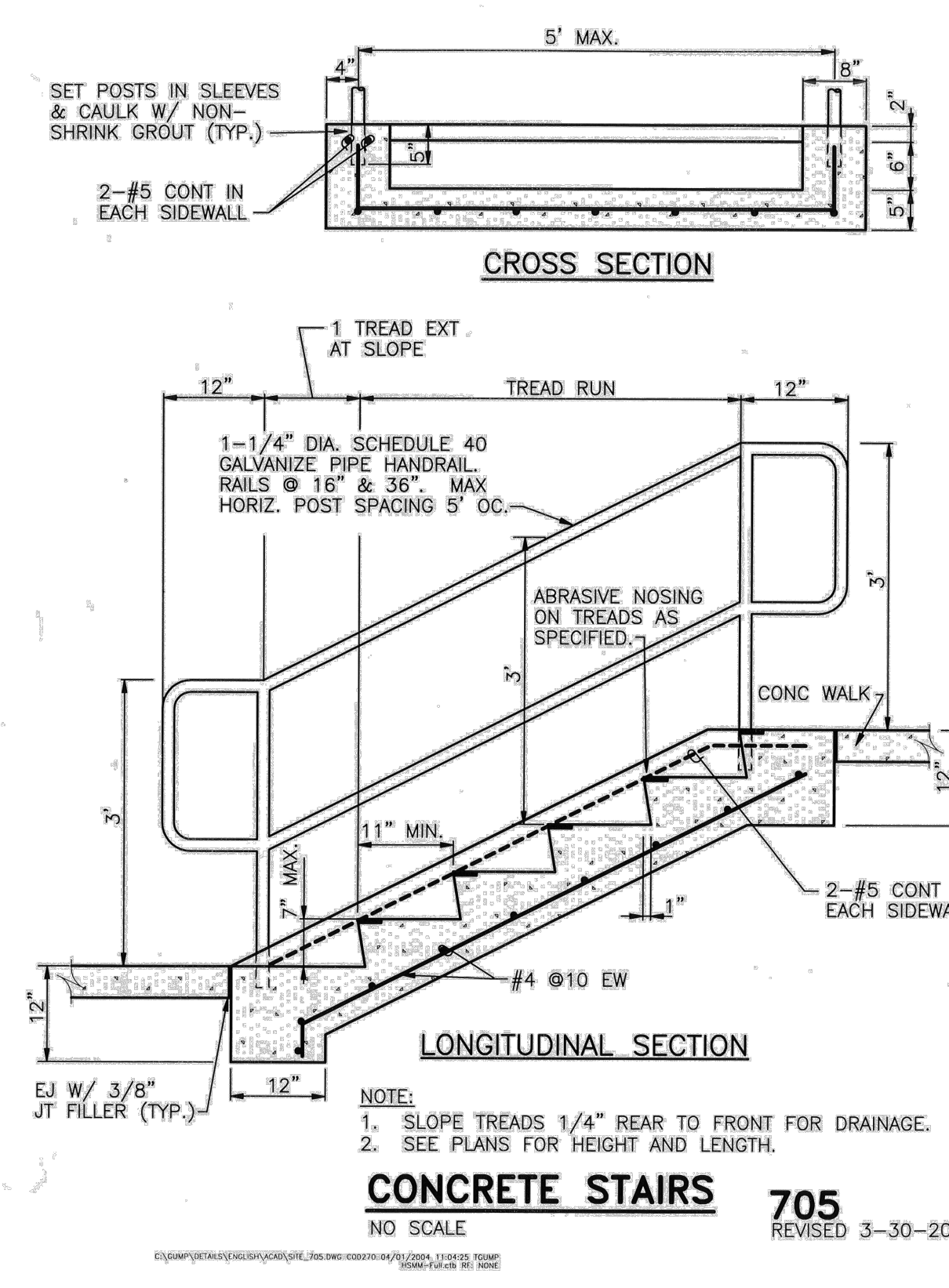
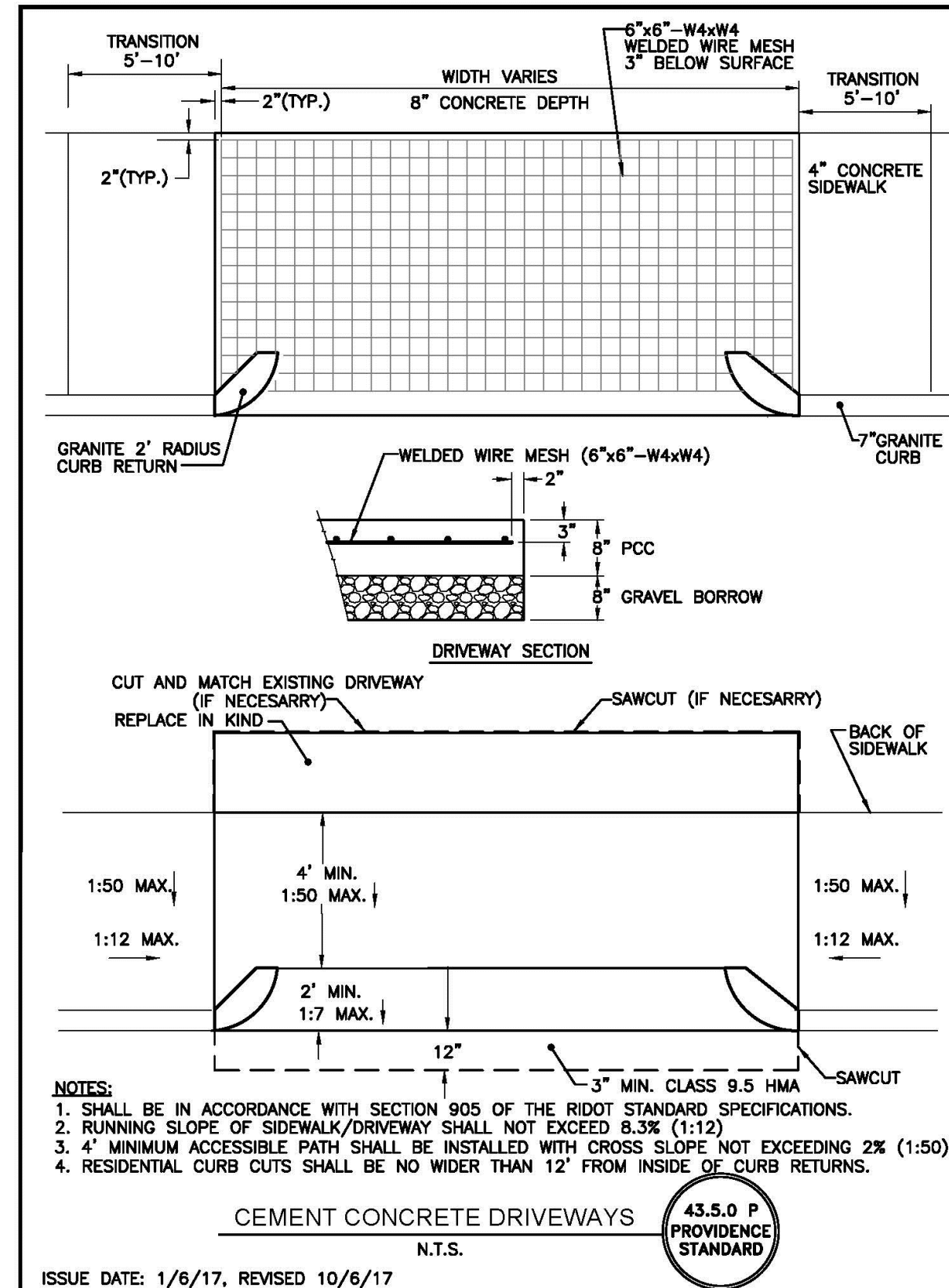
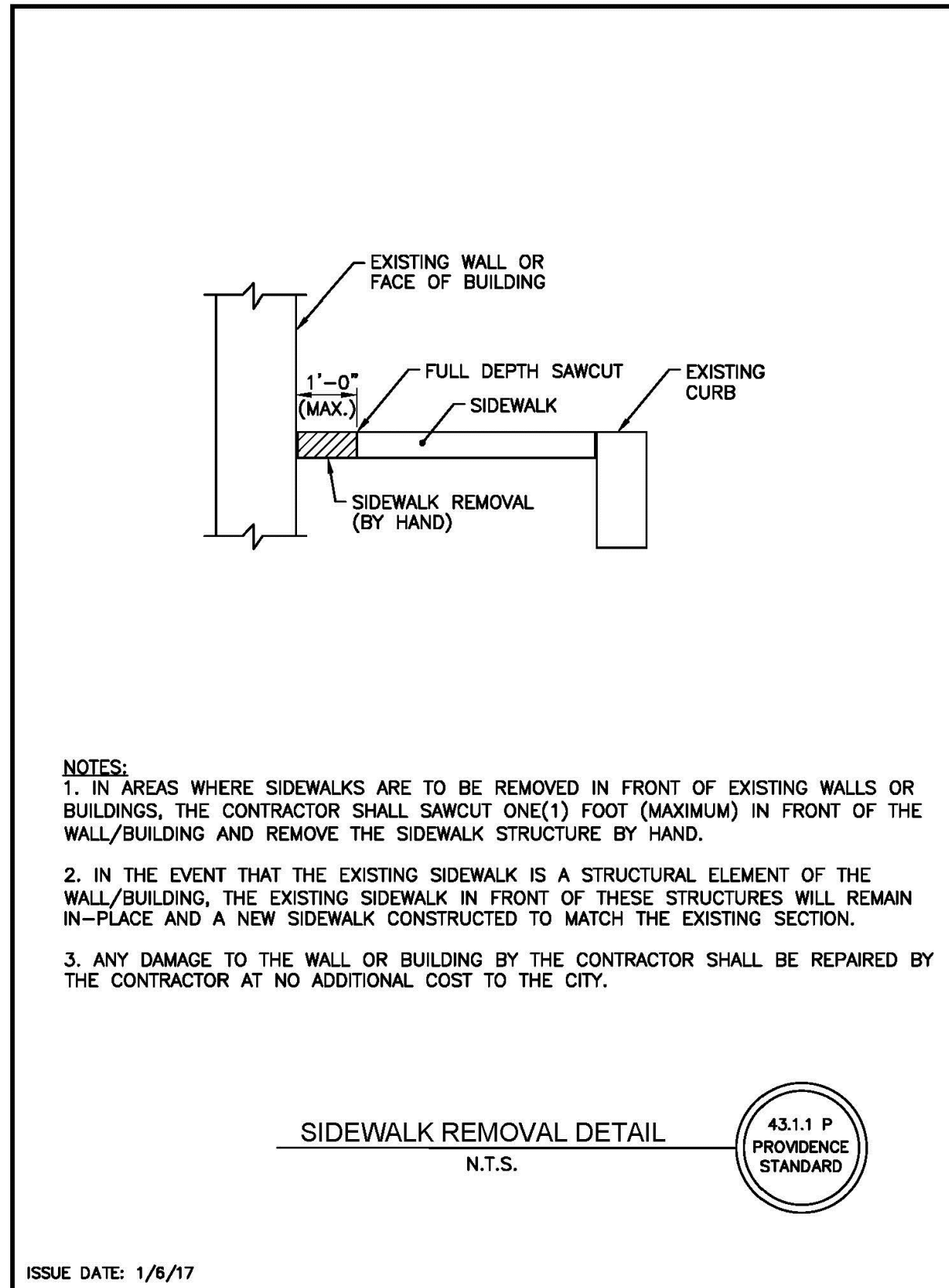
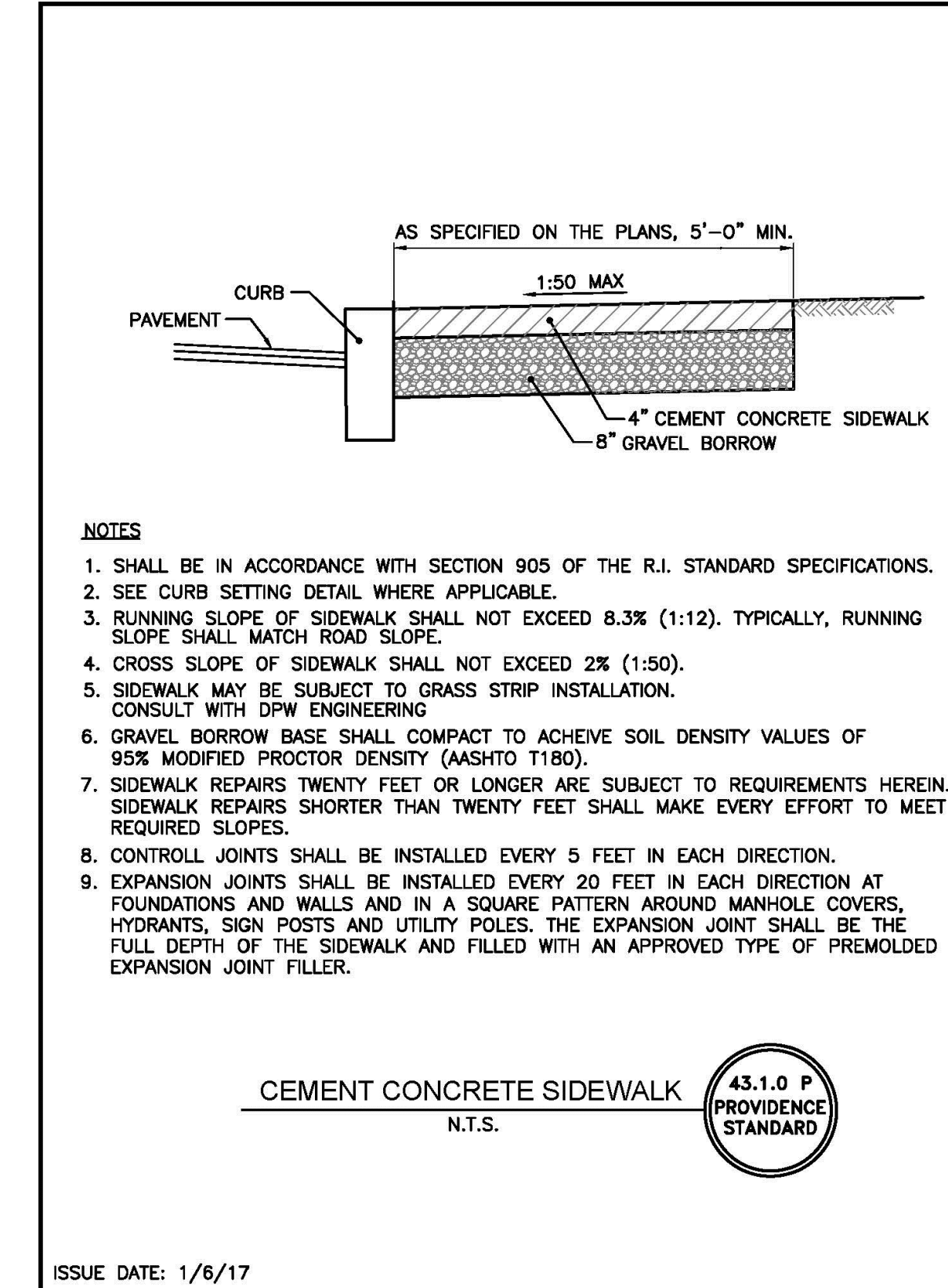
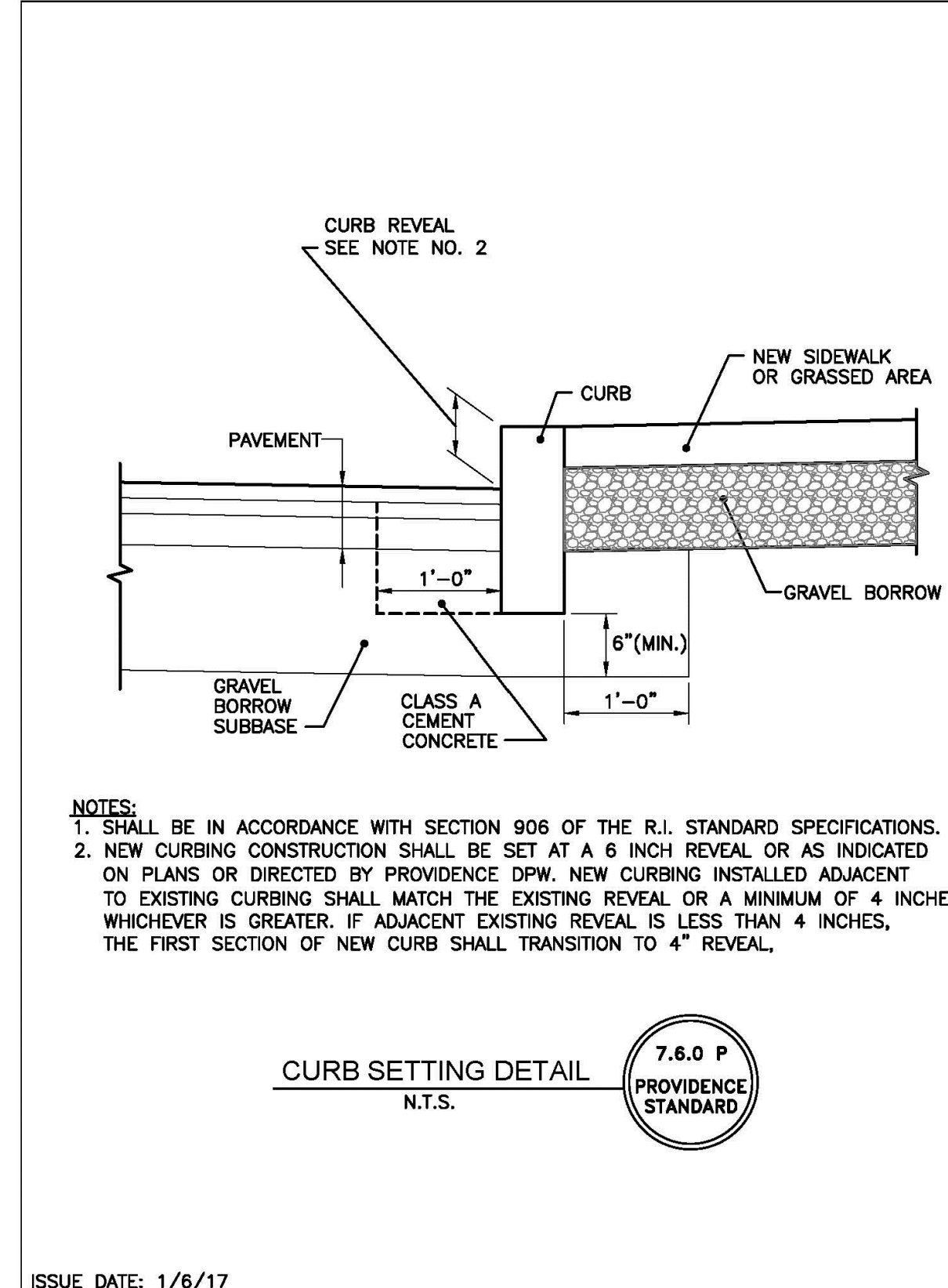
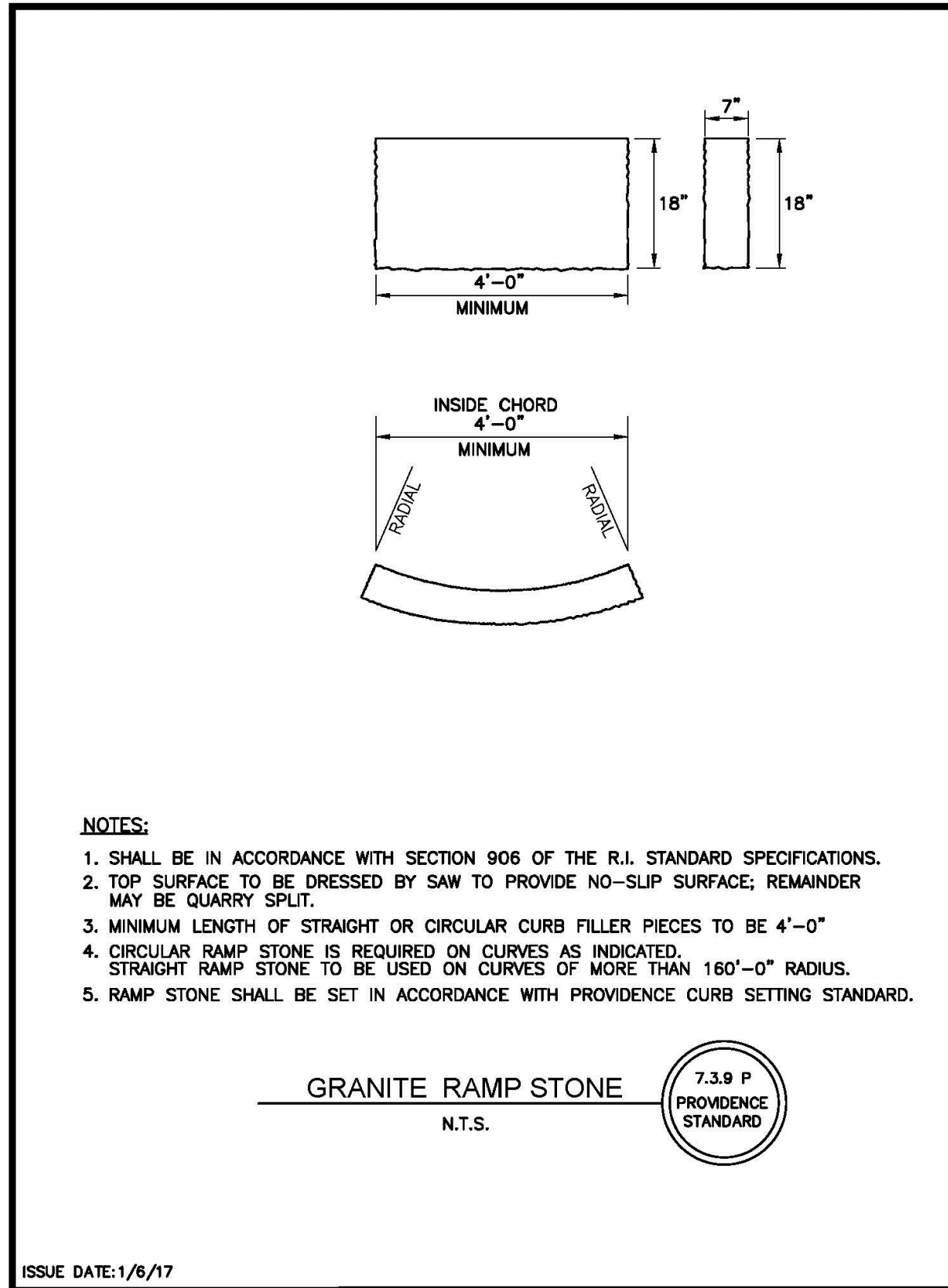
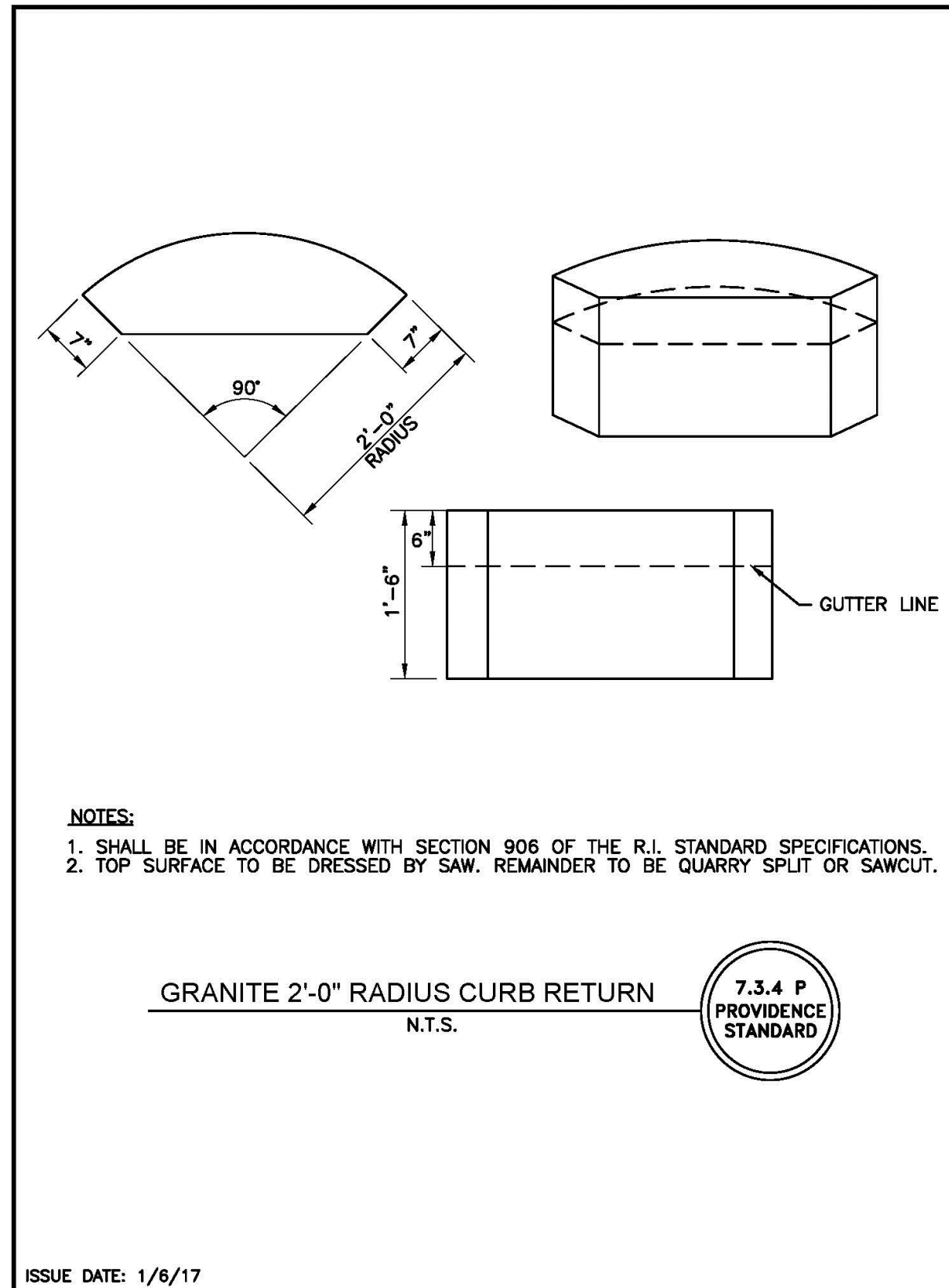
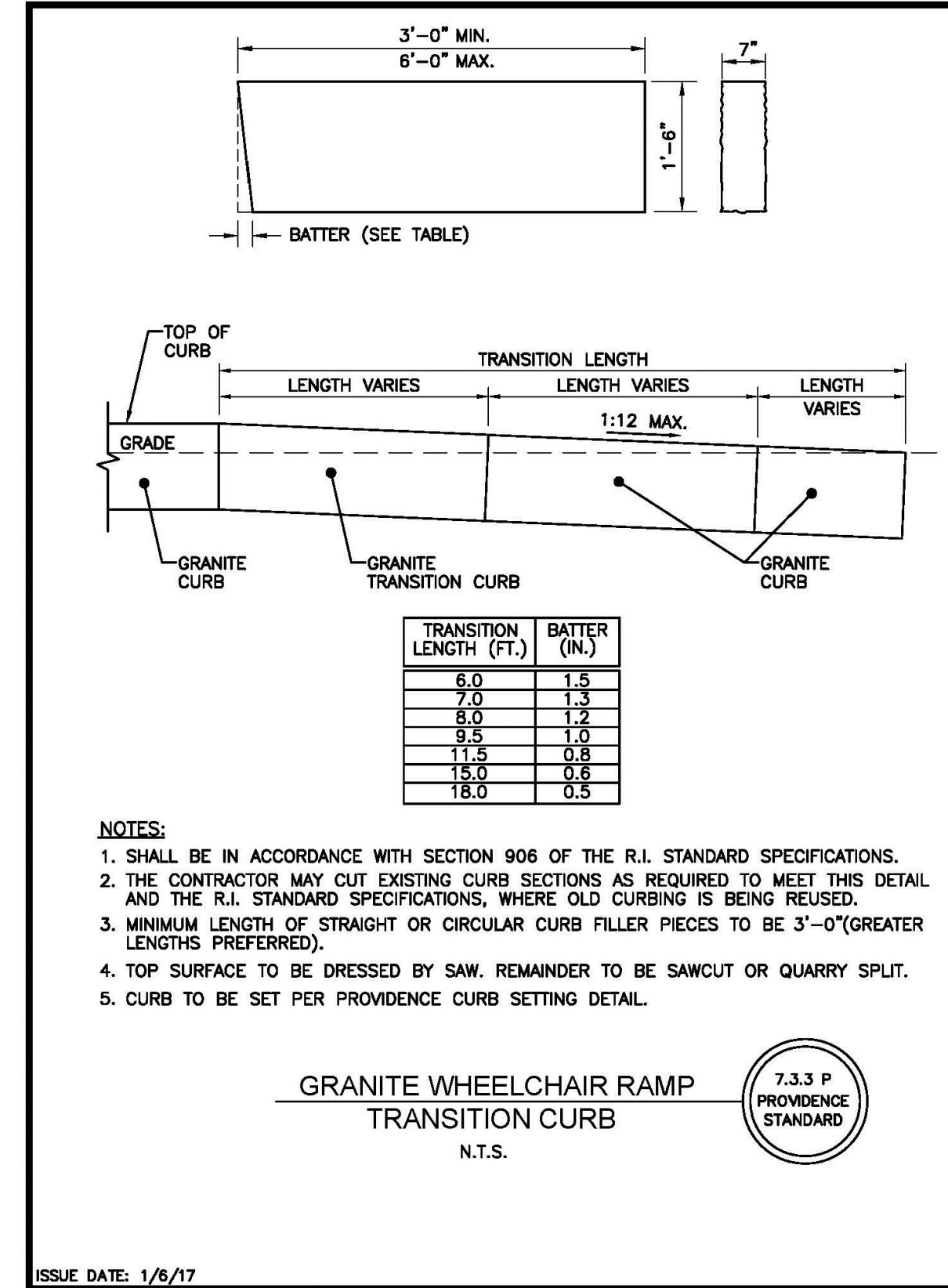
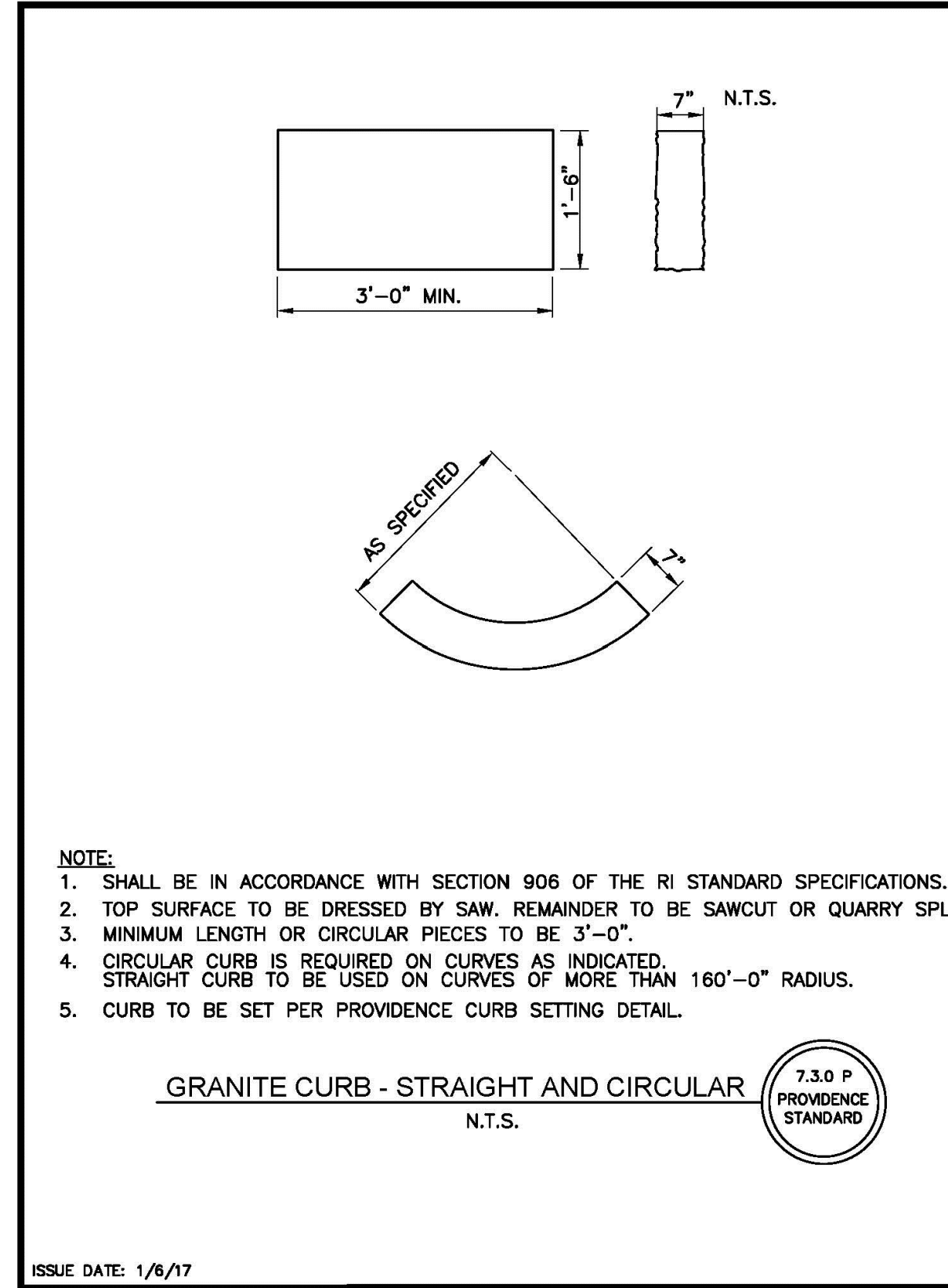
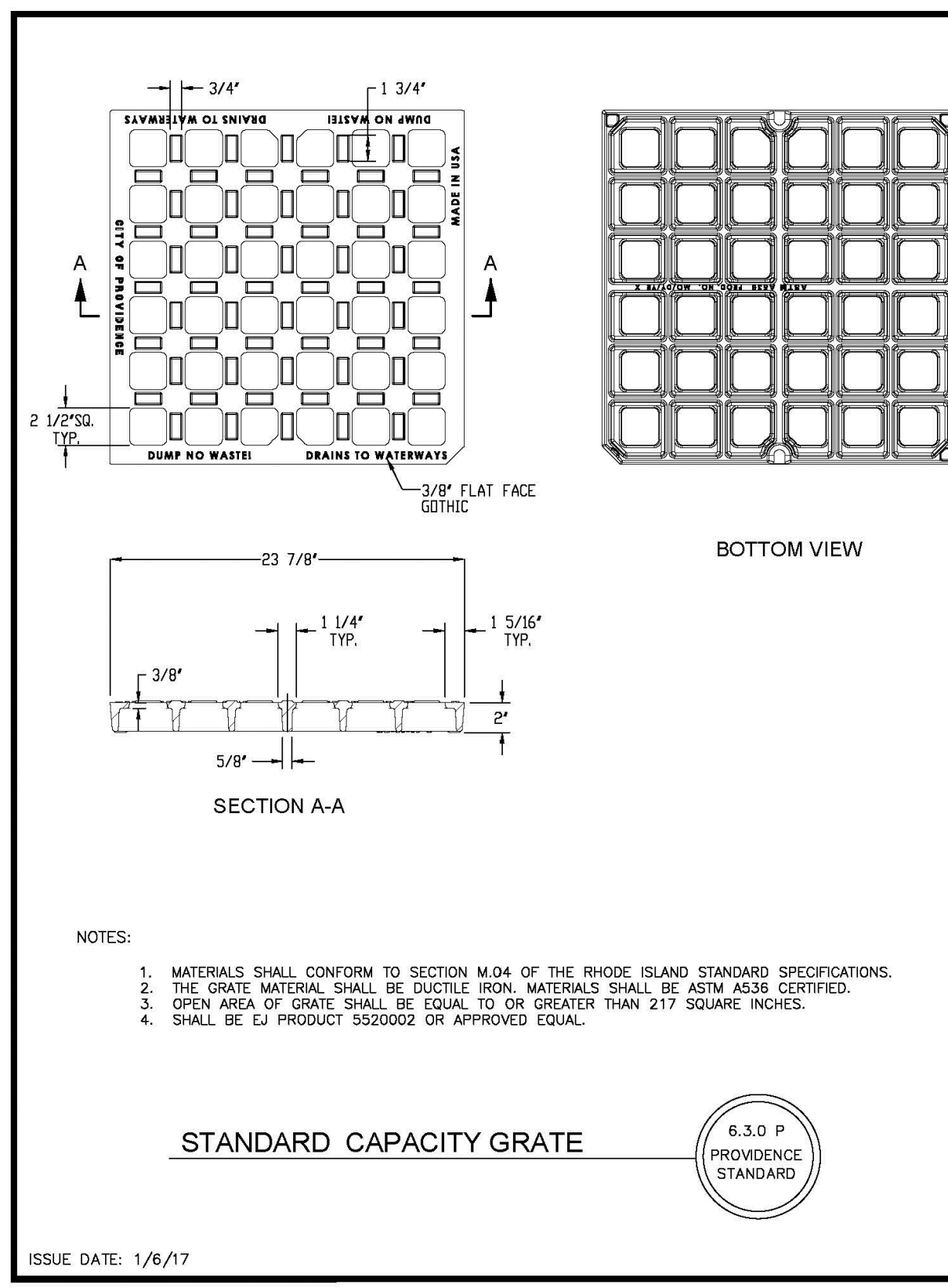
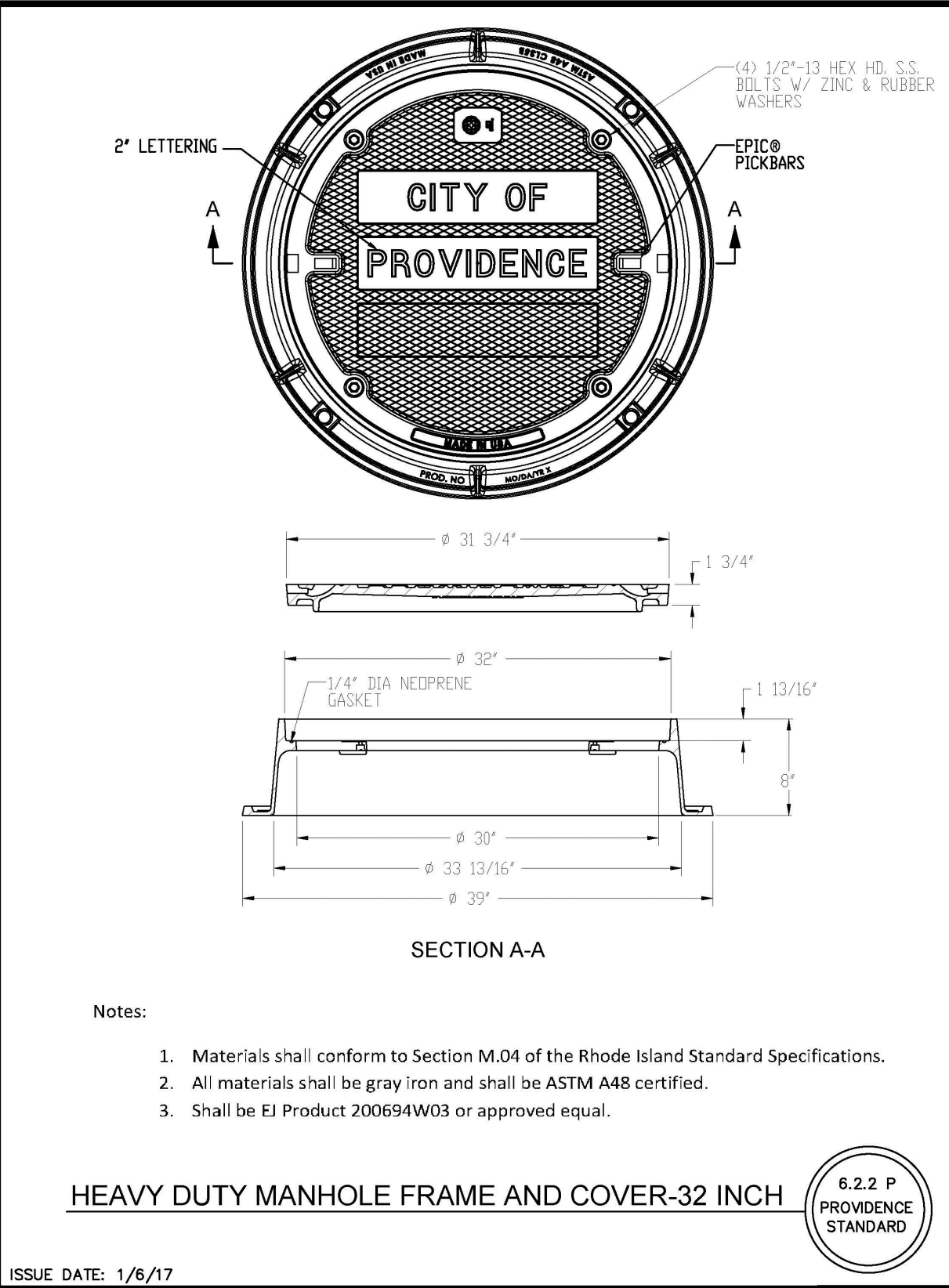
LAND DEVELOPMENT PLAN - PRELIMINARY PLAN

DRAWN: KJA
CHK'D: SSH
PROJECT NO: 7431.0
SHEET NO.

C-7



2/29/2024 11:00 AM



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MARYLAND OFFICE
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CHAMPTON, MARYLAND 21613

CONSULTANT

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DATE OF SIGNATURE: _____
DATE OF REGISTRATION EXPIRATION: _____

ARCHITECT / ENGINEER SEAL

CITY OF PROVIDENCE
NEW CONSTRUCTION

AT THE
HARRY KIZIRAN
ELEMENTARY SCHOOL
60 CAMDEN AVENUE
PROVIDENCE, RI 02908

REVISIONS

MARK	DESCRIPTION	DATE
-	-	-

CONSTRUCTION DETAILS - 2

LAND DEVELOPMENT PLAN - PRELIMINARY PLAN

DRAWN: KJA
CHK'D: SSH
PROJECT NO: 7431.0

SHEET NO. C-9

CAMDEN AVENUE
(40' WIDTH - PUBLIC WAY)

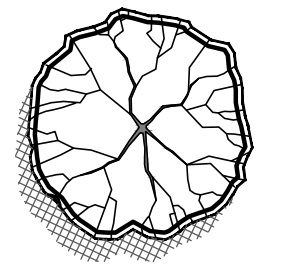
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NEW ELEMENTARY SCHOOL
FFE=72.00
LFE=57.00

DANFORTH STREET
(40' WIDTH - PUBLIC WAY)

SMITH STREET
(49.65' WIDTH - PUBLIC WAY)

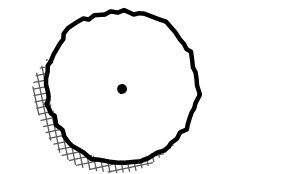
PLANT LIST:



CANOPY TREE:

SCIENTIFIC NAME:
ACRE RUBRUM 'OCTOBER GLORY'
GLEDITSIA TR. INTERMIS 'SKYCOLE'
QUERCUS PALUSTRIS
TILIA CORDATA

COMMON NAME:
OCTOBER GLORY RED SUNSET
SKYLINE HONEY LOCUST
PIN OAK
LITTLELEAF LINDEN



ORNAMENTAL TREE:

SCIENTIFIC NAME:
AMELANCHIER 'AUTUMN BRILLIANCE'
CORNUS FLORIDA 'RUBRA'
PRUNUS SERRULATA 'MOUNT FUJI'

COMMON NAME:
AUTUMN BRILLIANCE SHADBLow
PINK FLOWERING DOGWOOD
MT. FUJI FLOWERING CHERRY



EVERGREEN TREE:

SCIENTIFIC NAME:
JUNIPERUS VIRGINIANA
THUJA OCCIDENTALIS
THUJA PLICATA

COMMON NAME:
EASTERN RED CEDAR
AMERICAN ARBORVITAE
WESTERN RED CEDAR

SHRUBS, PERENNIAL & GROUND COVER:

SCIENTIFIC NAME:
AZALEA 'DELAWARE VALLEY WHITE'
BUXUS MICRO. 'GREEN WINTER GREEN'
HEMEROCALLIS 'JOAN SENIOR'
HYDRANGEA MACROPHYLLA 'ENDLESS SUMMER'
ILEX GLABRA 'COMPACTA'
ILEX VERTICILLATE 'RED SPRITE'
IRIS VERSICOLOR
JUNIPERUS CONFERTA 'BLUE PACIFIC'
PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'
ROSA KNOCK OUT PINK
RUDEBECKIA HIRTA
SCHIZACHYRIUM SCOPARIUM

COMMON NAME:
WHITE AZALEA
WINTER GEM BOXWOOD
JOAN SENIOR DAYLILY
ENDLESS SUMMER HYDRANGEA
COMPACT INKBERRY HOLLY
RED SPRITE WINTER BERRY
BLUE FLAG IRIS
SHORE JUNIPER
LITTLE BUNNY FOUNTAIN GRASS
KNOCK OUT PINK ROSE
BLACK EYED SUSAN'S
LITTLE BLUESTEM

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CITY OF PROVIDENCE
NEW CONSTRUCTION
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HARRY KIZIRAN
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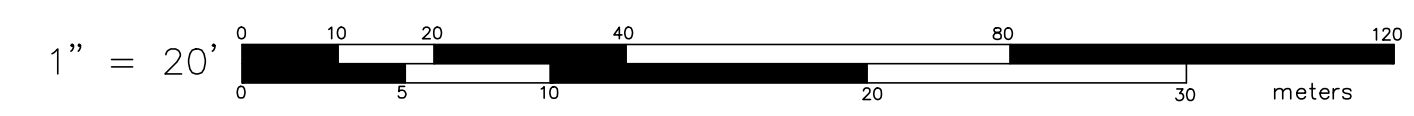
REVISIONS

MARK	DESCRIPTION	DATE

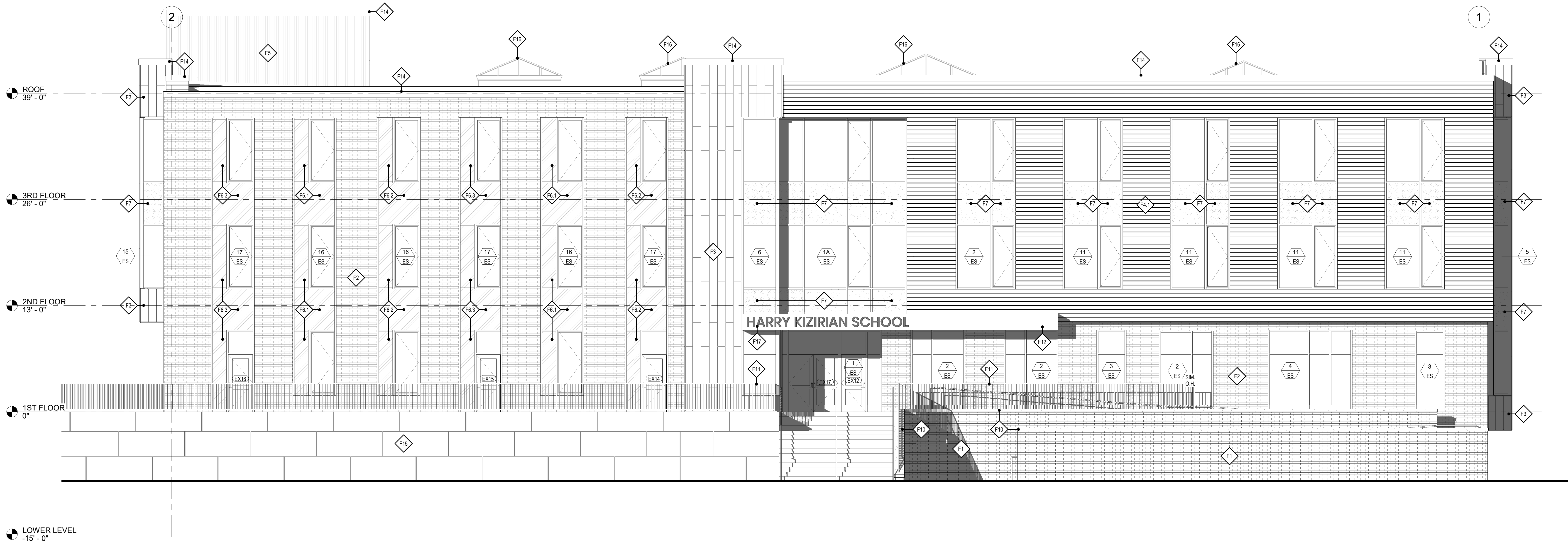
SHEET TITLE
LANDSCAPE PLAN
LAND DEVELOPMENT PLAN - PRELIMINARY PLAN

DRAWN: KYY
CHK'D: SSH
PROJECT NO: 7431.0
SHEET NO.

L-1

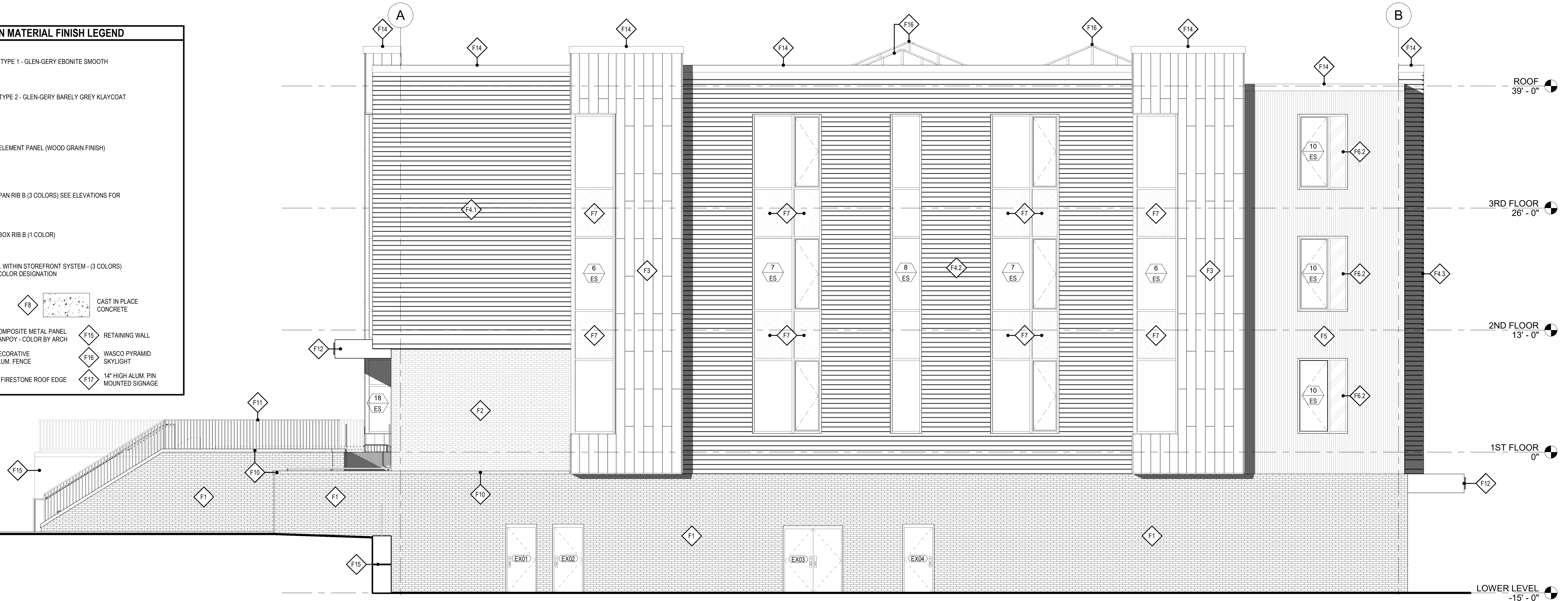


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1 EXTERIOR ELEVATION - NORTH
 A-200 3/16" = 1'-0"

EXTERIOR ELEVATION MATERIAL FINISH LEGEND		
F1		RUNNING BOND BRICK TYPE 1 - GLEN-GERY EBONITE SMOOTH
F2		RUNNING BOND BRICK TYPE 2 - GLEN-GERY BARELY GREY KLAYCOAT
F3		METAL PANEL (METCO ELEMENT PANEL (WOOD GRAIN FINISH))
F4		METAL PANEL (METCO PAN RIB B (3 COLORS) SEE ELEVATIONS FOR COLOR DESIGNATION)
F5		METAL PANEL (METCO BOX RIB B (1 COLOR))
F6		INSULATED ALUM. PANEL WITHIN STOREFRONT SYSTEM - (3 COLORS) SEE ELEVATIONS FOR COLOR DESIGNATION
F7		SPANDREL GLASS
F8		CAST IN PLACE CONCRETE
F9		RAISED PLANTER
F10		4" DEEP CAST STONE WALL CAP
F11		PAINTED MTL. GUARDRAIL / HANDRAIL
F12		COMPOSITE METAL PANEL CANOPY - COLOR BY ARCH
F13		DECORATIVE ALUM. FENCE
F14		8" FIRESTONE ROOF EDGE
F15		RETAINING WALL
F16		WASCO PYRAMID SKYLIGHT
F17		14" HIGH ALUM. PIN MOUNTED SIGNAGE



3 EXTERIOR ELEVATION - WEST
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PROJECT
 PROVIDENCE SCHOOL DISTRICT
 NEW HARRY KIZIRIAN SCHOOL
 SCHOOL REPLACEMENT RI 02908
 60 CAMDEN AVE, PROVIDENCE RI 02908

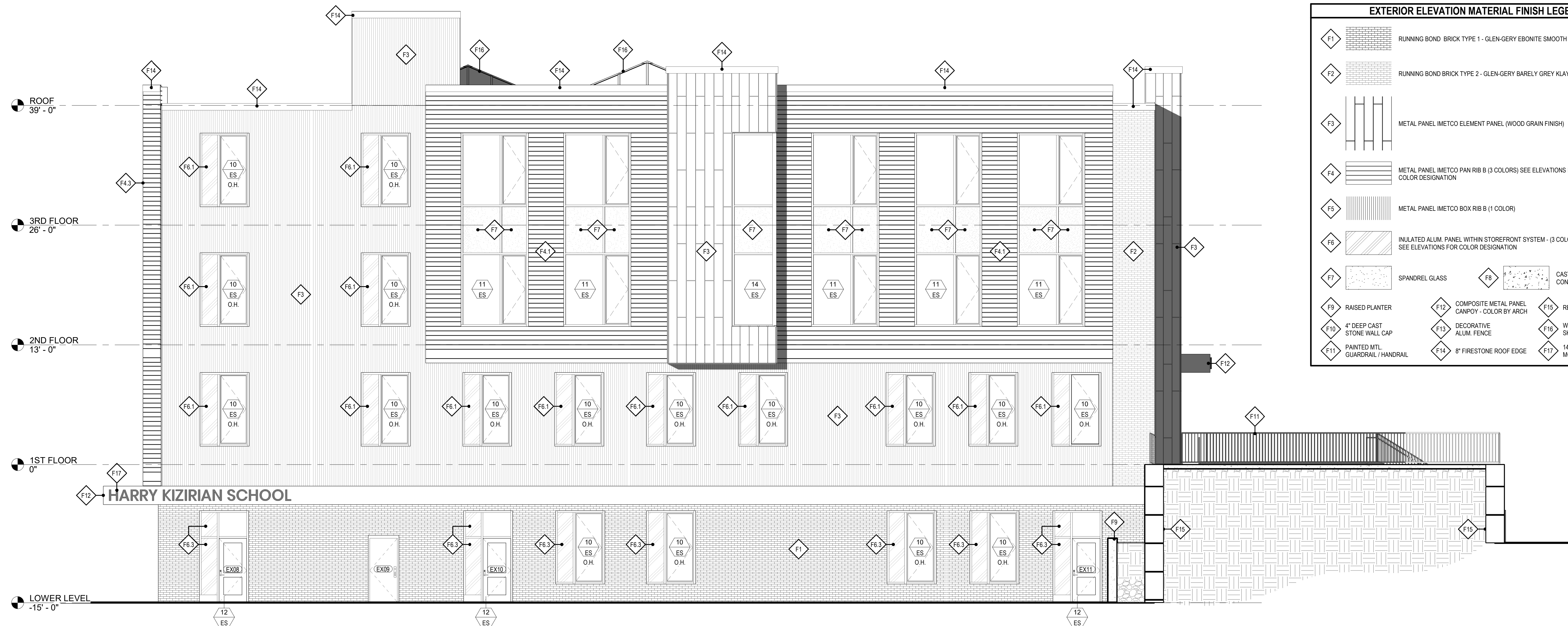
REVISIONS		
Mark	Date	Description

SHEET TITLE
 EXTERIOR ELEVATIONS
 SD PRICING SET
 NOVEMBER 22, 2023
 DRAWN: ABD CHKD: PRC PROJECT NO: 22121
 SHEET NO.
A-200

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1 EXTERIOR ELEVATION - SOUTH
 A-201 3/16" = 1'-0"



2 EXTERIOR ELEVATION - EAST
 A-201 3/16" = 1'-0"

EXTERIOR ELEVATION MATERIAL FINISH LEGEND	
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 ARCHITECT / ENGINEER SEAL

PROJECT
 PROVIDENCE SCHOOL DISTRICT
 NEW HARRY KIZIRIAN SCHOOL
 SCHOOL REPLACEMENT RI 02908
 60 CAMDEN AVE, PROVIDENCE RI 02908

REVISIONS		
Mark	Date	Description

SHEET TITLE
EXTERIOR ELEVATIONS
 SD PRICING SET
 NOVEMBER 22, 2023
 DRAWN: ABD CHKD: PRC PROJECT NO: 22121
 SHEET NO.
A-201