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CIVIL

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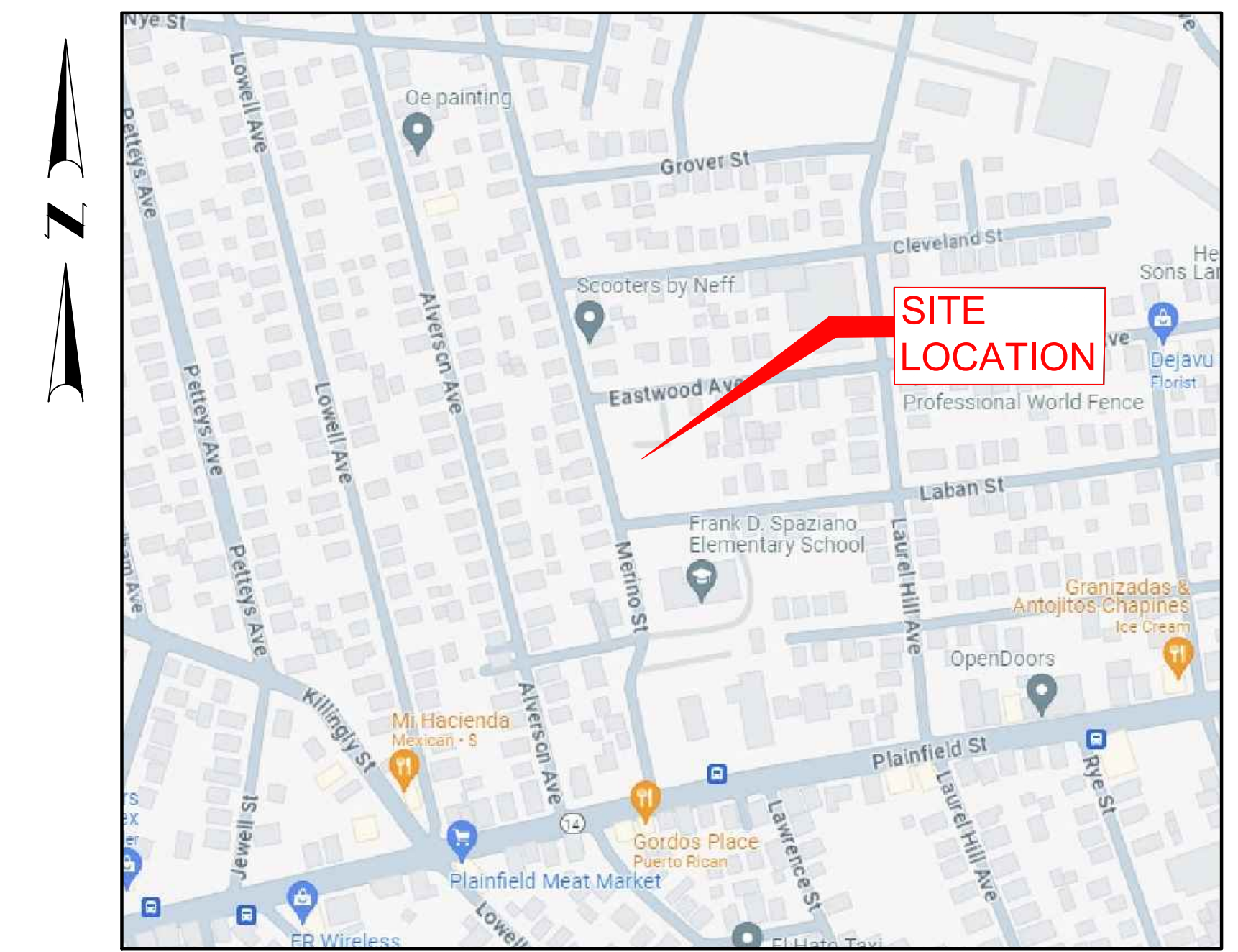
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LOCATION MAP
NOT TO SCALE

SPAZIANO MIDDLE SCHOOL

254 EASTWOOD AVENUE
PLAT 107 PARCEL111
PROVIDENCE, RHODE ISLAND

APRIL 2024

PREPARED FOR
CITY OF PROVIDENCE

25 DORRANCE STREET
PROVIDENCE, RI 02903
401.680.5000

ENGINEER:

BRETT NEILAN, PE
GM2 ASSOCIATES, INC.
200 MAIN STREET, SUITE 300
PAWTUCKET, RI 02860
401-726-4084



CITY OF PROVIDENCE
DEPARTMENT OF PLANNING AND
DEVELOPMENT
FINAL PLAN SUBMISSION
APRIL 2, 2024

last modified: 04/22/22 printed: 04/22/22 by dm H:\Projects\2021\21079 Spaziano School Providence\Drawings\21079 EX.dwg

LEGEND:

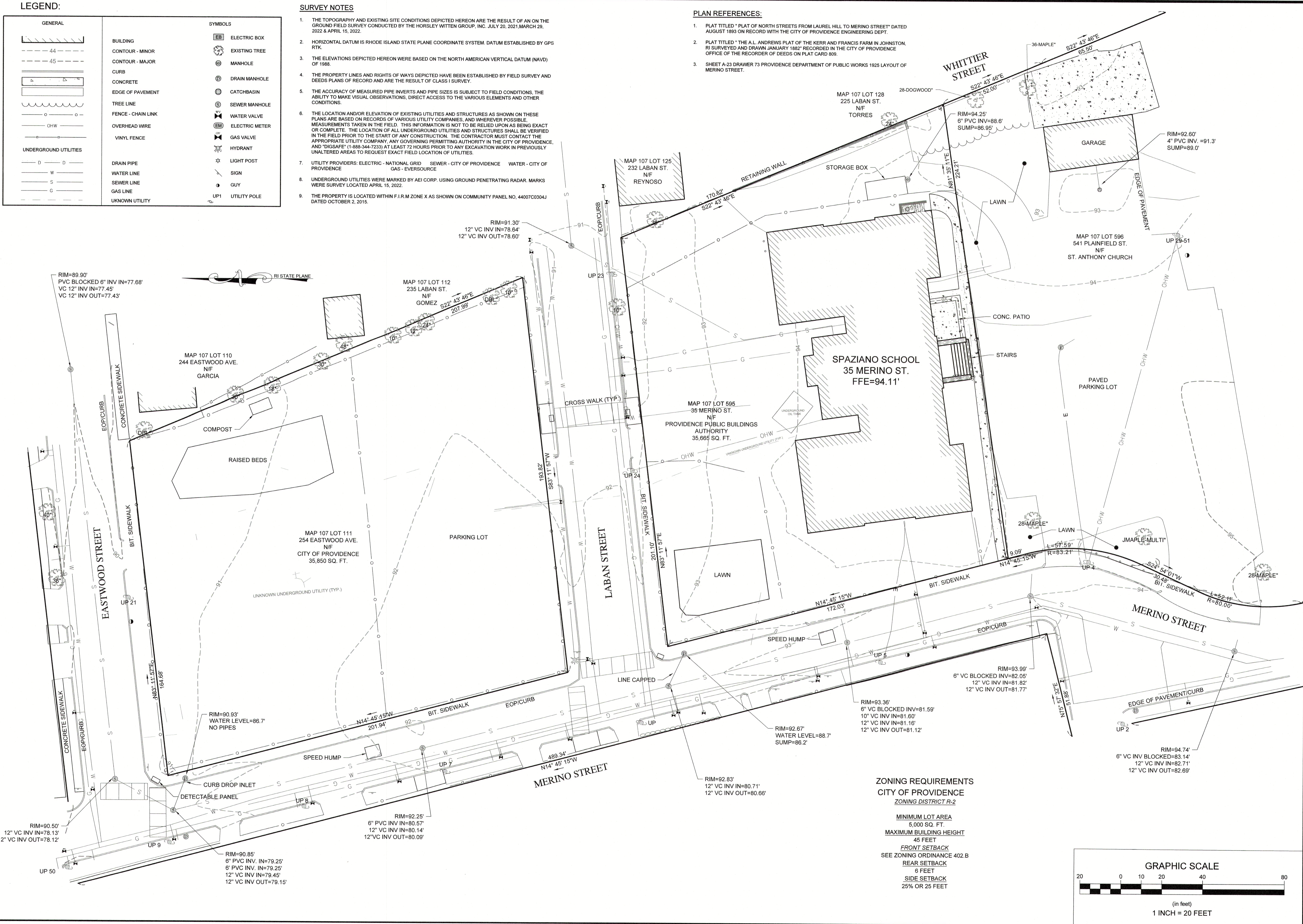
GENERAL	SYMBOLS
	ELECTRIC BOX
	EXISTING TREE
	MANHOLE
	DRAIN MANHOLE
	CATCHBASIN
	SEWER MANHOLE
	WATER VALVE
	ELECTRIC METER
	GAS VALVE
	HYDRANT
	LIGHT POST
	SIGN
	GUY
	UTILITY POLE

SURVEY NOTES:

- THE TOPOGRAPHY AND EXISTING SITE CONDITIONS DEPICTED HEREON ARE THE RESULT OF AN ON THE GROUND FIELD SURVEY CONDUCTED BY THE HORSLEY WITTEN GROUP, INC. JULY 20, 2021, MARCH 29, 2022 & APRIL 15, 2022.
- HORIZONTAL DATUM IS RHODE ISLAND STATE PLANE COORDINATE SYSTEM. DATUM ESTABLISHED BY GPS RTK.
- THE ELEVATIONS DEPICTED HEREON WERE BASED ON THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988.
- THE PROPERTY LINES AND RIGHTS OF WAYS DEPICTED HAVE BEEN ESTABLISHED BY FIELD SURVEY AND DEEDS PLANS OF RECORD AND ARE THE RESULT OF CLASS I SURVEY.
- THE ACCURACY OF MEASURED PIPE INVERTS AND PIPE SIZES IS SUBJECT TO FIELD CONDITIONS, THE ABILITY TO MAKE VISUAL OBSERVATIONS, DIRECT ACCESS TO THE VARIOUS ELEMENTS AND OTHER CONDITIONS.
- THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF VARIOUS UTILITY COMPANIES, AND WHEREVER POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD PRIOR TO THE START OF ANY CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY IN THE CITY OF PROVIDENCE, AND "DIGSAFE" (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK IN PREVIOUSLY UNALTERED AREAS TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- UTILITY PROVIDERS: ELECTRIC - NATIONAL GRID SEWER - CITY OF PROVIDENCE WATER - CITY OF PROVIDENCE GAS - EVERSOURCE
- UNDERGROUND UTILITIES WERE MARKED BY AEI CORP. USING GROUND PENETRATING RADAR. MARKS WERE SURVEY LOCATED APRIL 15, 2022.
- THE PROPERTY IS LOCATED WITHIN F.I.R.M. ZONE X AS SHOWN ON COMMUNITY PANEL NO. 440070304J DATED OCTOBER 2, 2015.

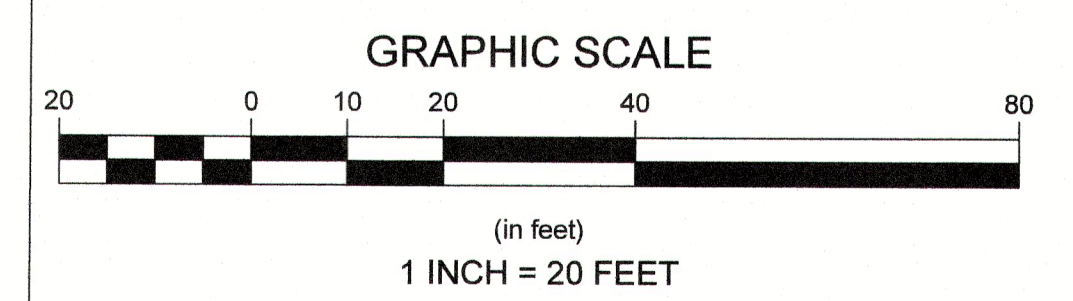
PLAN REFERENCES:

- PLAT TITLED "PLAT OF NORTH STREETS FROM LAUREL HILL TO MERINO STREET" DATED AUGUST 1893 ON RECORD WITH THE CITY OF PROVIDENCE ENGINEERING DEPT.
- PLAT TITLED "THE A.L. ANDREWS PLAT OF THE KERR AND FRANCIS FARM IN JOHNSTON, RI SURVEYED AND DRAWN JANUARY 1882 RECORDED IN THE CITY OF PROVIDENCE OFFICE OF THE RECORDER OF DEEDS ON PLAT CARD 869.
- SHEET A-23 DRAWER 73 PROVIDENCE DEPARTMENT OF PUBLIC WORKS 1925 LAYOUT OF MERINO STREET.



**ZONING REQUIREMENTS
CITY OF PROVIDENCE
ZONING DISTRICT R-2**

- MINIMUM LOT AREA
5,000 SQ. FT.
- MAXIMUM BUILDING HEIGHT
45 FEET
- FRONT SETBACK
SEE ZONING ORDINANCE 402.B
- REAR SETBACK
6 FEET
- SIDE SETBACK
25% OR 25 FEET



 Horsley Witten Group, Inc. Sustainable Environmental Solutions www.horsleywitten.com 90 Route 6A Sandwich, MA 02563 508-832-6600 voice 508-832-3750 fax																	
Project Number: 21079	Sheet: 1 of 1																
Sheet Number: C-1																	
Prepared For: Tecton Architects 17 Railroad Ave. Westerly, RI 02891																	
Survey Provided By: Horsley Witten Group 90 Route 6A Sandwich, MA 02563 Phone: (508) 333-9800 Fax: (508) 333-3160 Dated: April 15, 2022																	
Registration: 																	
Plan Title: EXISTING CONDITIONS PLAN																	
Plan Set: SPAZIANO SCHOOL 254 EASTWOOD AVE PROVIDENCE, RHODE ISLAND																	
Revisions: <table border="1"> <tr> <th>No.</th> <th>Date</th> <th>By</th> <th>Description</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>		No.	Date	By	Description												
No.	Date	By	Description														

GENERAL NOTES:

- 1. REFERENCE IS MADE TO THE LATEST EDITIONS OF THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION (RIDOT) "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2022 EDITION" (INCLUDING ALL SUBSEQUENTLY ISSUED SUPPLEMENTS, REVISIONS AND ADDENDA) AND THE "RHODE ISLAND STANDARD DETAILS, 1998 EDITION" (AMENDED JUNE 2019, INCLUDING ALL SUBSEQUENTLY ISSUED SUPPLEMENTS, REVISIONS, AND ADDENDA). ALL PROJECT SITE IMPROVEMENTS SHALL CONFORM TO THE APPLICABLE STANDARDS SET FORTH IN THESE DOCUMENTS (INCLUDING ALL SUB-REFERENCES INCORPORATED THEREIN) UNLESS OTHERWISE NOTED.
1.1. THE RIDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" IS VIEWABLE VIA THE FOLLOWING WEBSITE ADDRESS: http://www.dot.ri.gov/business/bluebook.php
1.2. THE RIDOT "STANDARD DETAILS" IS VIEWABLE VIA THE FOLLOWING WEBSITE ADDRESS: https://www.dot.ri.gov/documents/doingbusiness/RIDOT_Std_Details.pdf
2. ANY DAMAGE TO EXISTING PAVEMENT, CONDUIT, UTILITIES, SIDEWALK, FENCES, ETC., CAUSED BY THE CONTRACTOR SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE CITY OF PROVIDENCE.
3. THE CONTRACTOR SHALL PLACE ALL EQUIPMENT AND MATERIAL AS FAR AWAY AS POSSIBLE FROM THE EDGE OF THE TRAVEL LANE SO AS NOT TO CAUSE A SAFETY HAZARD, IN ACCORDANCE WITH SECTION 106.06 OF THE R.I.D.O.T. STANDARD SPECIFICATION, LATEST EDITION. EQUIPMENT STORAGE SHALL BE COORDINATED WITH THE RIPTA PRIOR TO CONSTRUCTION.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE EXISTING CONDITIONS ARE NOT OBLITERATED BEFORE CONTROL POINTS ARE LOCATED AND CONSTRUCTION LAYOUT IS ESTABLISHED.
5. THE FREQUENCY AND APPLICATION RATES FOR THE DUST CONTROL ITEMS SHALL BE COMPLETED IN ACCORDANCE WITH THE PROJECTS SOIL EROSION AND SEDIMENT CONTROL (SESC) PLAN, OR AS DIRECTED BY THE OWNER AND/OR ENGINEER.
6. ASPHALT EMULSION TACK COAT SHALL BE PLACED PRIOR TO PAVEMENT PLACEMENT ON THE CONCRETE BASE OR COLD PLANED PAVEMENT, AND ON ANY NEW COURSE WHICH HAS BEEN OPEN TO TRAFFIC, OR ANY NEW COURSE WHICH HAS BEEN EXPOSED FOR MORE THAN 3 DAYS, AND/OR AS DIRECTED BY THE ENGINEER. IT SHALL ALSO BE APPLIED TO VERTICAL PAVEMENT FACES BETWEEN ADJOINING PAVEMENT SECTIONS. ALL APPLICATIONS ON BOTH HORIZONTAL AND VERTICAL SURFACES SHALL BE PAID FOR UNDER THE CONTRACT UNIT LUMP SUM PRICE FOR SITE WORK.
7. THE LIMITS OF CLEARING AND SURFACE DISTURBANCE MUST BE STRICTLY ADHERED TO IN ALL AREAS.
8. CLEANING AND SWEEPING SHALL BE DONE AT THE CONCLUSION OF EACH WORK DAY WITHIN THE CITY OF PROVIDENCE'S RIGHT-OF-WAY AS NEEDED.
9. CLEANING AND SWEEPING OF PAVEMENT WILL INCLUDE REMOVAL OF ALL PAVEMENT DEBRIS PRIOR TO THE PLACEMENT OF EACH BITUMINOUS LIFT. ALL CLEANING AND SWEEPING SHALL BE DONE TO THE SATISFACTION OF THE ENGINEER.
10. PRIOR TO INSTALLATION, ALL SIGNS, MOUNTINGS AND LOCATIONS SHALL BE APPROVED OR MODIFIED BY THE CITY OF PROVIDENCE AND/OR ENGINEER.
11. PAVEMENT OPERATIONS FOR CURBED SECTIONS: IN AREAS WHERE CURBING IS SET TO FINISH LINE AND GRADE, THE CONTRACTOR WILL NOT BE REQUIRED TO UTILIZE THE SENSOR AND SKY-TYPE DEVICE FOR AUTOMATIC GRADE CONTROL, BUT WILL BE ALLOWED TO MANUALLY ADJUST THE BITUMINOUS PAVER FOR CONTROLLING GRADE.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL ROADWAYS FREE OF DEBRIS RESULTING FROM THEIR CONSTRUCTION OPERATIONS. ALL DEBRIS SHALL BE REMOVED TO THE SATISFACTION OF THE ENGINEER AT NO ADDITIONAL COST TO THE CITY OF PROVIDENCE.
13. NO FUEL STORAGE, VEHICLE REFUELING, OR EQUIPMENT STORAGE SHALL TAKE PLACE IN DESIGNATED WETLANDS, NOR WITHIN 100' OF ANY WATER BODY. THIS REQUIREMENT SHALL NOT SUPERSEDE ANY FEDERAL, STATE OR LOCAL LAW, ORDINANCE, RULE OR REGULATION THAT APPLIES TO THE SAME, UNLESS THIS REQUIREMENT IS MORE STRINGENT THAN SAID LAW, ORDINANCE, RULE OR REGULATION.
14. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT AT THE END OF FINAL PAVING OPERATIONS, FLOW TO EXISTING DRAINAGE STRUCTURES HAS BEEN REESTABLISHED AND THAT NO ISOLATED DEPRESSIONS REMAIN. THERE SHALL BE NO SEPARATE PAYMENT FOR THIS PROVISION; IT SHALL BE CONSIDERED INCIDENTAL TO PAVING AND INCLUDED IN THE BID FOR SITE WORK.
15. ALL EMBANKMENTS SHALL BE PLACED IN HORIZONTAL LAYERS NOT EXCEEDING 12" (AFTER COMPACTION) AND SHALL BE COMPACTED AS SPECIFIED BEFORE THE NEXT LAYER IS PLACED. ALSO, EMBANKMENT CONSTRUCTION SHALL CONFORM TO SECTION 202.03.2 OF THE R.I.D.O.T. STANDARD SPECIFICATIONS, LATEST EDITION.
16. THE CONTRACTOR SHALL READ, BECOME FAMILIAR WITH, AND ADHERE TO ALL OF THE PROVISIONS, CONDITIONS, AND STIPULATIONS STATED IN THE ENVIRONMENTAL APPROVALS ISSUED FOR THE PROJECT FROM THE DEPARTMENT OF ENVIRONMENTAL MANAGEMENT (RIDEM). COPIES OF APPLICABLE PERMITS ARE INCLUDED IN THE CONTRACT DOCUMENTS. ALL COSTS ASSOCIATED WITH THESE CONDITIONS SHALL BE CONSIDERED INCIDENTAL TO THE CONSTRUCTION AND INCLUDED WITH THE BID FOR SITE WORK.

DRAINAGE AND EROSION CONTROL NOTES:

- 1. FOR ALL PROJECTS WITH AT LEAST ONE(1) ACRE OF SOIL DISTURBANCE, RIPTA IS REQUIRED TO DEVELOP AND ENFORCE A SITE SPECIFIC SOIL EROSION AND SEDIMENT CONTROL PLAN IN ORDER TO REMAIN IN COMPLIANCE WITH THE RIPDES GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL READ, BECOME FAMILIAR WITH, AND ADHERE TO ALL OF THE PROVISIONS, CONDITIONS, AND STIPULATIONS OF THE GENERAL PERMIT AND THE SITE SPECIFIC SESC FOR THIS PROJECT. COPIES OF THESE DOCUMENTS ARE INCLUDED IN THE CONTRACT DOCUMENTS. ALL COSTS ASSOCIATED WITH ADHERENCE TO THE SESC SHALL BE CONSIDERED INCIDENTAL TO THE CONSTRUCTION AND IS INCLUDED IN THE LUMP SUM PRICE FOR SITE WORK.
2. NO UNDISTURBED AREAS SHALL BE CLEARED OF EXISTING VEGETATION AFTER OCTOBER 15 OF ANY CALENDAR YEAR OR DURING ANY PERIOD OF FULL OR LIMITED WINTER SHUTDOWN. ALL DISTURBED SOILS EXPOSED PRIOR TO OCTOBER 15 OF ANY CALENDAR YEAR SHALL BE SEEDED OR PROTECTED BY THAT DATE. ANY SUCH AREAS THAT DO NOT HAVE ADEQUATE VEGETATIVE STABILIZATION, AS DETERMINED BY THE RESIDENT ENGINEER OR ENVIRONMENTAL INSPECTOR, BY NOVEMBER 15 OF ANY CALENDAR YEAR, MUST BE STABILIZED THROUGH THE USE OF EROSION CONTROL MATTING OR HAY MULCH, IN ACCORDANCE WITH SPECIFICATIONS CONTAINED WITHIN THE R.I. SOIL EROSION AND SEDIMENT CONTROL HANDBOOK. IF WORK CONTINUES WITHIN ANY OF THESE AREAS DURING THE PERIOD FROM OCTOBER 15 THROUGH APRIL 15, CARE MUST BE TAKEN TO ENSURE THAT ONLY THE AREA REQUIRED FOR THAT DAY'S WORK IS EXPOSED, AND ALL ERODABLE SOIL MUST BE REESTABLISHED WITHIN 5 WORKING DAYS. ANY WORK TO CORRECT PROBLEMS RESULTING FROM FAILURE TO COMPLY WITH THIS PROVISION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THERE WILL BE NO SEPARATE PAYMENT FOR THIS PROVISION, IT SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION OPERATIONS. STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN 2 WEEKS OF FINAL GRADING.
3. STOCKPILES SHALL HAVE SIDE SLOPES NO GREATER THAN 30% AND STOCKPILES OF ERODABLE MATERIAL SHALL ALSO BE SEEDED AND RINGED WITH R.I. STD. 9.1.0 TO STABILIZE. STOCKPILES SHALL BE USED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
4. IF THE PLANS INCLUDE SPECIFIC AREAS FOR PLACEMENT OF CONSTRUCTION DEWATERING BASINS AND/OR EQUIPMENT AND MATERIALS STORAGE AND STOCKPILING, AND IF THE CONTRACTOR ELECTS TO UTILIZE ANY OTHER AREAS FOR THESE PURPOSES, THIS SHALL BE APPROVED BY THE ENGINEER ONLY AFTER OBTAINING ANY NECESSARY PERMITS AND/OR PERMIT MODIFICATIONS FROM THE APPROPRIATE REGULATORY AUTHORITY(IES). ANY PERMITTING REQUIREMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE ACCOMPLISHED AT NO COST TO THE STATE. THE ENGINEER WILL COORDINATE SUBMISSION OF ANY REQUIRED PERMIT APPLICATION MATERIALS WITH THE CITY OF PROVIDENCE.
5. SEEDING ON ALL SLOPES 3 TO 1 OR STEEPER SHALL CONSIST OF THE FOLLOWING APPLICATIONS UNLESS CHANGED IN THE CONTRACT.
SEEDING TYPE I
ADHESIVE MULCH STABILIZER
6. UNVEGETATED SLOPES SHALL NOT BE UNATTENDED OR EXPOSED FOR PERIODS IN EXCESS OF 2 WEEKS OR THROUGH THE INACTIVE WINTER SEASON.
7. PRIOR TO DRAINAGE AND UTILITY CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION (HORIZONTAL AND VERTICAL) OF ALL EXISTING PIPES AND/OR STRUCTURES WHICH ARE TO BE CONNECTED. ANY VARIATION FOUND FROM THE PLANS MUST BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO DRAINAGE AND UTILITY CONSTRUCTION. WORK CAN COMMENCE ONLY UPON THE ENGINEER'S AUTHORIZATION.
8. ALL DRAINAGE AND UTILITY STRUCTURES WITHIN THE PAVED ROADWAY SHALL BE ADJUSTED TO GRADE WITH THE SURROUNDING PAVEMENT PRIOR TO THE WINTER SHUTDOWN.
9. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING STORMS AND PERIODS OF RAINFALL THROUGHOUT THE WORK AREA. DURING CONSTRUCTION,
10. APPROVED EROSION CONTROLS SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SOIL EROSION AND SEDIMENT CONTROL (SESC) PLAN WHENEVER SUBBASE IS EXPOSED, AND CONTROLS SHALL REMAIN IN PLACE UNTIL THE ABUTTING GROUND SURFACES ARE STABILIZED.
11. THE TOE OF ANY FILL SLOPE IS TO REMAIN AT LEAST 1' INSIDE OF ALL EROSION CONTROLS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR COVER ANY PORTION OF THE EROSION CONTROL MEASURES WITH MATERIAL. ANY MATERIAL THAT IS PLACED ON ANY EROSION CONTROLS BY THE CONTRACTOR, OR ANY AGENT OF THE CONTRACTOR, SHALL BE IMMEDIATELY REMOVED BY THE CONTRACTOR, AND ANY NECESSARY REPAIRS TO THE EROSION CONTROLS ACCOMPLISHED.
12. PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES, EROSION AND SEDIMENTATION CONTROLS SHALL BE INSTALLED AT THOSE AREAS INDICATED ON THE PLANS. CLEARING MAY OCCUR PRIOR TO INSTALLATION OF SUCH CONTROLS, HOWEVER NO GRUBBING, GRADING, FILLING, OR OTHER SOIL DISTURBANCE SHALL OCCUR PRIOR TO INSTALLATION. THE LIMITS OF CLEARING AND SURFACE DISTURBANCE MUST BE STRICTLY ADHERED TO IN ALL AREAS.
13. ALL APPROVED EROSION CONTROLS OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS IS ESTABLISHED. IF NEEDED, TEMPORARY SEEDING CAN HELP TO MINIMIZE EROSION. TEMPORARY SEED WILL CONFORM TO R.I.D.O.T. STANDARD TEMPORARY SEED MIX.
14. THE NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE SPECIFIED IN SUBSECTION L.02.03 OF THE R.I.D.O.T. STANDARD SPECIFICATIONS, LATEST EDITION.

UTILITY NOTES:

- 1. EXISTING UTILITIES HAVE BEEN SHOWN ON THE PLANS USING THE BEST AVAILABLE INFORMATION AND ARE APPROXIMATE.
2. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING DRAINAGE AND UTILITIES BOTH UNDERGROUND AND OVERHEAD BEFORE EXCAVATION BEGINS IN ACCORDANCE WITH CHAPTER 39-1.2 OF THE R.I. GENERAL LAWS ENTITLED "EXCAVATION NEAR UNDERGROUND UTILITY FACILITIES", WITH AMENDMENTS EFFECTIVE AS OF NOVEMBER 1, 2009 AND, WHEN NECESSARY, BY CONTACTING THE INDIVIDUAL UTILITY COMPANIES. EXCAVATION SHALL BE IN ACCORDANCE WITH ALL STATUTES, ORDINANCES, RULES AND REGULATIONS OF ANY APPLICABLE CITY, TOWN, STATE OR FEDERAL AGENCY. THE CONTRACTOR SHOULD UNDERSTAND THAT NOT ALL UTILITIES SUBSCRIBE TO THE DIG SAFE PROGRAM. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES AND ENSURE THAT ALL UTILITIES HAVE BEEN MARKED PRIOR TO COMMENCING THEIR WORK. ANY DAMAGE TO EXISTING UTILITIES MARKED IN THE FIELD, OR AS A RESULT OF FAILING TO CONTACT THE APPROPRIATE UTILITY COMPANY, SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE CITY OF PROVIDENCE.
3. ANY/ALL PROPOSED VARIANCE TO THE DRAINAGE AND UTILITY PLAN, OR UTILITY DETAILS PROVIDED HEREIN SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

MAINTENANCE AND PROTECTION OF TRAFFIC NOTES:

- 1. ALL MAINTENANCE AND PROTECTION OF TRAFFIC CONTROL SETUPS, SIGNS, CHANNELIZING DEVICES, ETC., SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
2. ALL SIGN MOUNTINGS FOR TEMPORARY AND CONSTRUCTION SIGNS SHALL BE IN ACCORDANCE WITH THE R.I.D.O.T. STANDARD SPECIFICATIONS, LATEST EDITION.
3. THE CONTRACTOR SHALL COVER ALL EXISTING AND/OR TEMPORARY SIGNS THAT ARE NOT RELEVANT TO THE TRAFFIC CONTROL REQUIRED DURING ANY PARTICULAR STAGE OF THE CONTRACT.
4. TEMPORARY CONSTRUCTION SIGNS AND OTHER WORKZONE TRAFFIC CONTROL DEVICES THAT ARE DAMAGED OR REQUIRE RELOCATION SHALL BE REPLACED AND / OR RELOCATED AS REQUIRED. NO SEPARATE PAYMENT SHALL BE MADE FOR REPLACING OR RELOCATING SIGNS AS THIS WORK WILL BE CONSIDERED INCIDENTAL TO THE PROJECT AND INCLUDED IN THE LUMP SUM PRICE FOR SITE WORK.
5. THE PRIVATE VEHICLES OF CONSTRUCTION WORKERS SHALL NOT BE PARKED ON THE TRAVEL LANES OR SHOULDERS. PARKING SHALL BE COORDINATED WITH THE CITY OF PROVIDENCE AT ALL TIMES.
6. TEMPORARY CONSTRUCTION SIGNS AND OTHER TEMPORARY TRAFFIC CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC, AND SHALL BE REMOVED AS SOON AS PRACTICAL WHEN THEY ARE NO LONGER APPROPRIATE.

SURVEY NOTES:

- 1. SURVEY HAS BEEN COMPLETED BY HORSLEY WITTEN GROUP, INC. THE SURVEY WAS COMPLETED FOR THE CITY OF PROVIDENCE AND UTILIZED BY FUSS & O'NEILL, INC. AS PART OF THE PHASE 1 DEVELOPMENT STAGE (SPAZIANO ELEMENTARY SCHOOL PROJECT).
2. HORSLEY WITTEN GROUP, INC'S JULY 20, 2021 AND MARCH 29, 2022 FIELD SURVEY UTILIZED:
a. HORIZONTAL DATUM IS RHODE ISLAND STATE PLANE COORDINATE SYSTEM. DATUM ESTABLISHED BY GPS RTK.
b. THE ELEVATIONS DEPICTED BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988.
3. INFORMATION ILLUSTRATED ON THE PHASE II EXISTING CONDITIONS PLANS ARE APPROXIMATE ONLY AND DRAWN BASED ON DOCUMENTS RECEIVED BY GM2, INCLUDING THE ELEMENTARY SCHOOL PLAN SETS AND AS-BUILT DOCUMENTS.
4. SITE INFORMATION, INCLUDING BUT NOT LIMITED TO INVERTS, LOCATIONS, AND DIMENSIONS SHOWN AS PART OF THE SPAZIANO MIDDLE SCHOOL PROJECT (PHASE II DEVELOPMENT) ARE APPROXIMATE ONLY AND REPRESENT THE TEMPORARY CONDITIONS FOLLOWING THE PHASE 1 DEVELOPMENT. THESE CONDITIONS HAVE NOT BEEN SURVEYED BY GM2 OR ANY SUBCONSULTANT AS PART OF THE PHASE II DEVELOPMENT STAGE. GM2 HAS COMPLETED A VISUAL INSPECTION OF THE SITE CONDITIONS ON FEBRUARY 19, 2024. OBSERVED SITE CONDITIONS ARE REPRESENTED ON THE PHASE II EXISTING CONDITIONS PLANS. GM2 DID NOT COMPLETE SURVEY MEASUREMENTS OR TOPOGRAPHIC INFORMATION AS PART OF THIS SITE RECONNAISSANCE.
6. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW SITE CONDITIONS PRIOR TO INITIATING CONSTRUCTION ACTIVITIES. ALL DISCREPANCIES OBSERVED SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.



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Client/ Contractor

PROVIDENCE PUBLIC SCHOOLS

797 WESTMINSTER STREET PROVIDENCE, RI 02903

Project

SPAZIANO MIDDLE SCHOOL

254 EASTWOOD AVENUE PROVIDENCE, RI 02909

Seals

PROGRESS SET NOT FOR CONSTRUCTION

Table with 3 columns: Issues / Revisions No., Date, Description. Includes entries for 7/28/2023 (SCHEMATIC DESIGN), 2/20/2024 (CITY OF PROV MASTER PLAN), and 2/29/2024 (DESIGN DEVELOPMENT).

Drawing Title

v2 NOTES

Table with 2 columns: Field, Value. Includes Project Manager: BDN, Project No.: 41037, Drawn by: LBD, Scale: AS NOTED.

Drawing Number

C-2.1

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Client/ Contractor
PROVIDENCE PUBLIC SCHOOLS

797 WESTMINSTER STREET
PROVIDENCE, RI 02903

Project
SPAZIANO MIDDLE SCHOOL

254 EASTWOOD AVENUE
PROVIDENCE, RI 02909

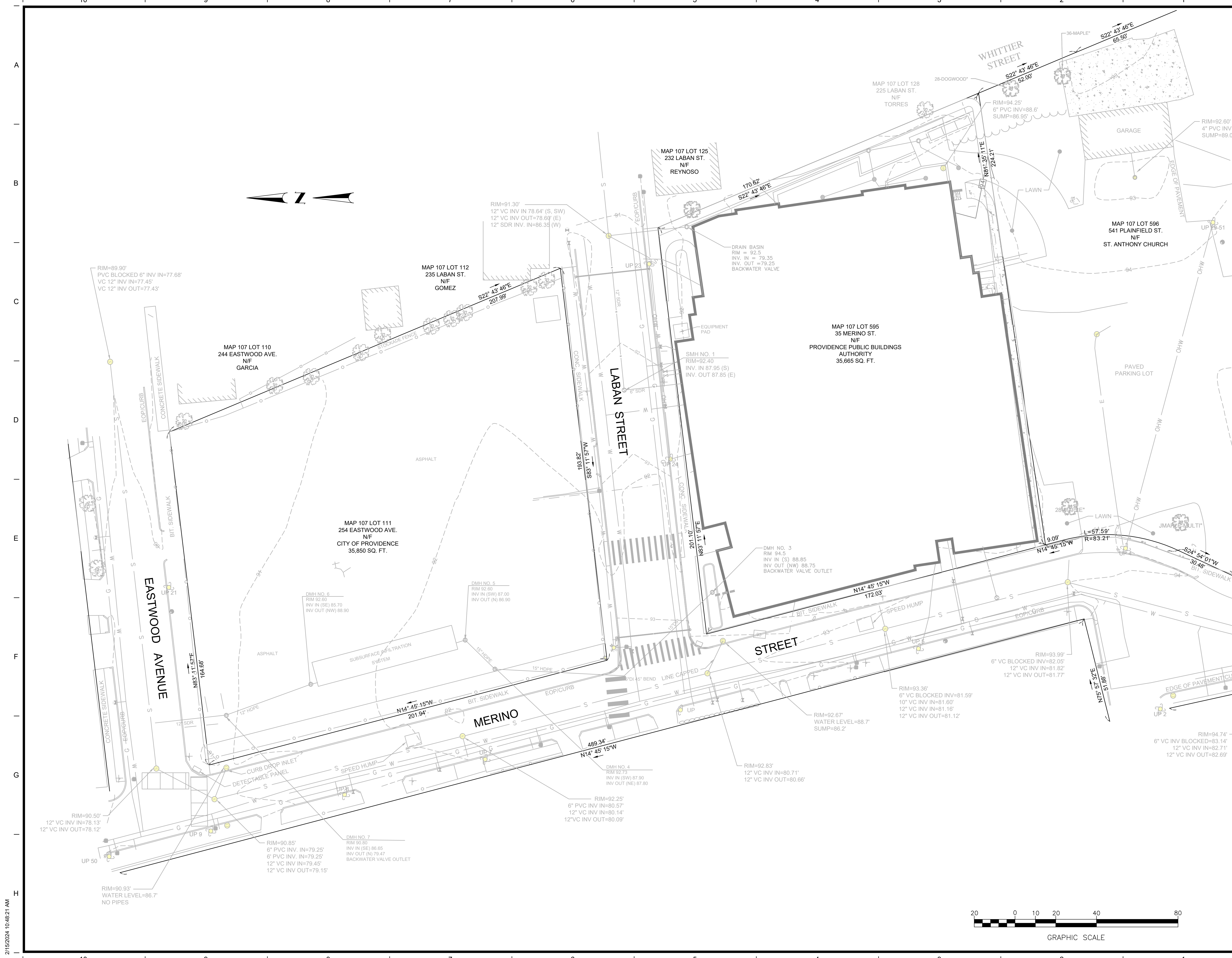
Seals
PROGRESS SET
NOT FOR CONSTRUCTION

Issues / Revisions		
No.	Date	Description
1	7/29/2023	SCHEMATIC DESIGN
2	2/20/2024	CITY OF PROV MASTER PLAN
3	2/29/2024	DESIGN DEVELOPMENT

Drawing Title
**PHASE II
EXISTING
CONDITIONS
PLAN**

Project Manager: BDN Project No: 41037
Drawn by: LBD Scale: AS NOTED

Drawing Number
C-2.2



2/15/2024 10:48:21 AM
 F:\FILES\2024\107 Spaziano Middle School\Phase II\Drawings\EXISTING CONDITIONS PLAN.dwg 4/20/24 11:38:11 AM C:\Users\



NOTES:

1. MAP SOURCES: CITY OF PROVIDENCE GIS (PARCEL BOUNDARIES, BUILDING FOOTPRINTS, AND ZONING DISTRICT LAYERS), RIGIS (SPRING 2023 AERIALS).
2. THIS 200-FOOT RADIUS MAP IS PROVIDED TO MEET THE CITY OF PROVIDENCE REQUIREMENTS FOR MASTER PLAN AND UNIFIED DEVELOPMENT REVIEW. THE PLAN DOES NOT INDICATE PROPOSED CONSTRUCTION ACTIVITIES.
3. PROPERTY INFORMATION (INCLUDING PLAT/LOT NUMBERS, OWNERS NAMES, MAILING ADDRESSES, PRESENT USES, ETC.) FOR ABUTTERS WITHIN THE 200-FOOT RADIUS WAS OBTAINED FROM THE CITY OF PROVIDENCE GIS 'BETA RADIUS MAP AND ABUTTERS LIST APPLICATION' TOOL ON FEBRUARY 19, 2024.

ZONING DISTRICT LEGEND:

- ZONE PS - CITY OF PROVIDENCE PUBLIC SPACE DISTRICT
- ZONE R1 - CITY OF PROVIDENCE RESIDENTIAL (R1) DISTRICT
- ZONE R2 - CITY OF PROVIDENCE RESIDENTIAL (R2) DISTRICT
- ZONE R3 - CITY OF PROVIDENCE RESIDENTIAL (R3) DISTRICT



GRAPHIC SCALE

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Client/ Contractor
PROVIDENCE PUBLIC SCHOOLS

797 WESTMINSTER STREET
PROVIDENCE, RI 02903

Project
SPAZIANO MIDDLE SCHOOL

254 EASTWOOD AVENUE
PROVIDENCE, RI 02909

Seals
PROGRESS SET
NOT FOR CONSTRUCTION

Issues / Revisions		
No.	Date	Description
1	7/29/2023	SCHEMATIC DESIGN
2	2/20/2024	CITY OF PROV MASTER PLAN
3	2/29/2024	DESIGN DEVELOPMENT

Drawing Title
200' RADIUS MAP

Project Manager:	BDN	Project No:	41037
Drawn by:	LBD	Scale:	AS NOTED

Drawing Number
C-3.1

F:\FILES\2024\1037 Spaziano Middle\Progress\200-Foot Radius Map.dwg, 10/20/2024 11:38:24 AM, LBD

2/15/2024 10:48:21 AM

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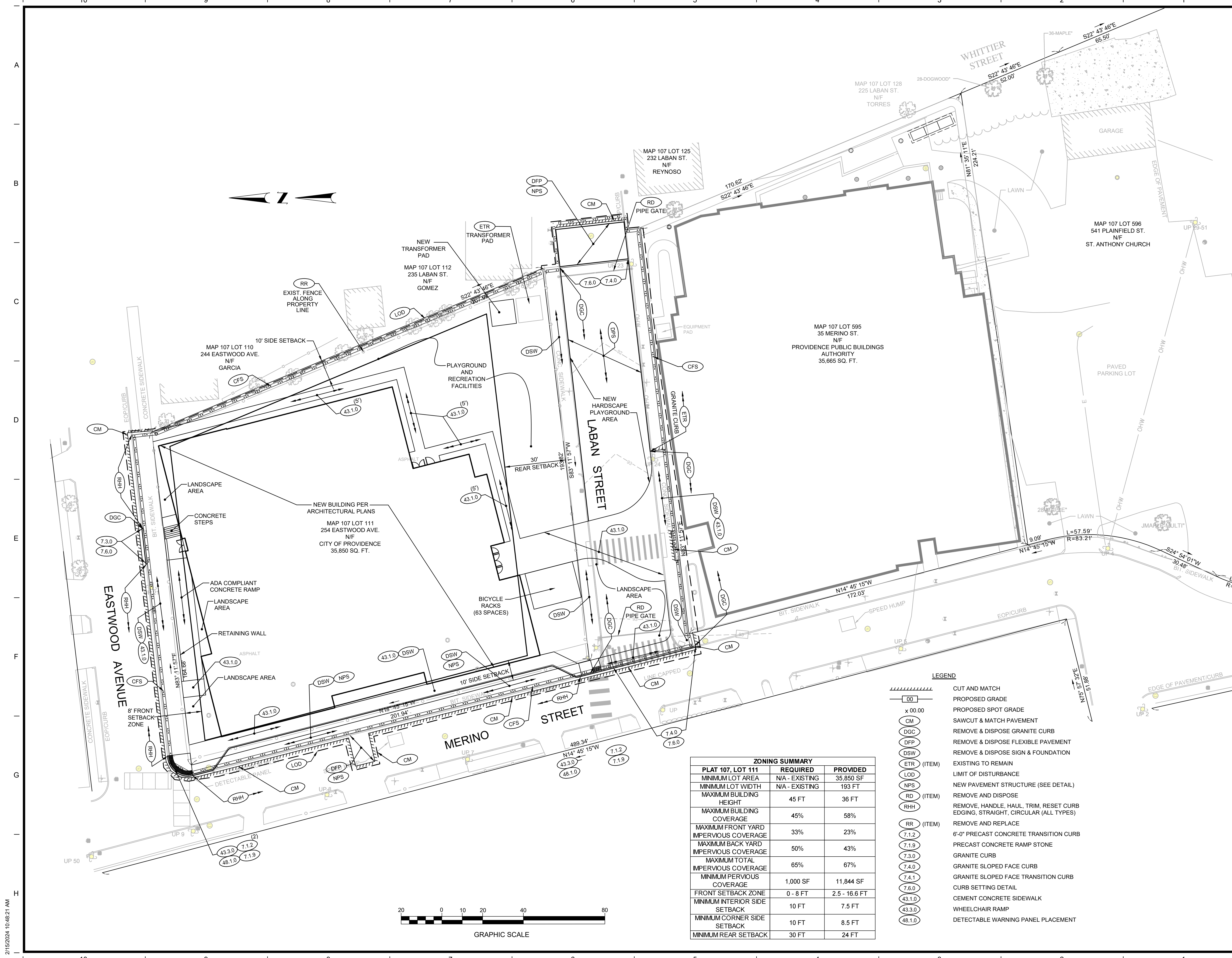
Seals
PROGRESS SET
NOT FOR CONSTRUCTION

Issues / Revisions		
No.	Date	Description
1	7/29/2023	SCHEMATIC DESIGN
2	2/20/2024	CITY OF PROV MASTER PLAN
3	2/29/2024	DESIGN DEVELOPMENT

Drawing Title
SITE LAYOUT PLAN

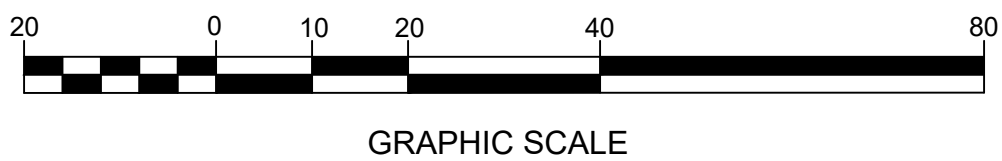
Project Manager: BDN Project No: 41037
Drawn by: LBD Scale: AS NOTED

Drawing Number
C-4.1



ZONING SUMMARY		
PLAT 107, LOT 111	REQUIRED	PROVIDED
MINIMUM LOT AREA	N/A - EXISTING	35,850 SF
MINIMUM LOT WIDTH	N/A - EXISTING	193 FT
MAXIMUM BUILDING HEIGHT	45 FT	36 FT
MAXIMUM BUILDING COVERAGE	45%	58%
MAXIMUM FRONT YARD IMPERVIOUS COVERAGE	33%	23%
MAXIMUM BACK YARD IMPERVIOUS COVERAGE	50%	43%
MAXIMUM TOTAL IMPERVIOUS COVERAGE	65%	67%
MINIMUM PERVIOUS COVERAGE	1,000 SF	11,844 SF
FRONT SETBACK ZONE	0 - 8 FT	2.5 - 16.6 FT
MINIMUM INTERIOR SIDE SETBACK	10 FT	7.5 FT
MINIMUM CORNER SIDE SETBACK	10 FT	8.5 FT
MINIMUM REAR SETBACK	30 FT	24 FT

- LEGEND**
- CUT AND MATCH
 - PROPOSED GRADE
 - PROPOSED SPOT GRADE
 - SAWCUT & MATCH PAVEMENT
 - REMOVE & DISPOSE GRANITE CURB
 - REMOVE & DISPOSE FLEXIBLE PAVEMENT
 - REMOVE & DISPOSE SIGN & FOUNDATION
 - EXISTING TO REMAIN
 - LIMIT OF DISTURBANCE
 - NEW PAVEMENT STRUCTURE (SEE DETAIL)
 - REMOVE AND DISPOSE
 - REMOVE, HANDLE, HAUL, TRIM, RESET CURB EDGING, STRAIGHT, CIRCULAR (ALL TYPES)
 - REMOVE AND REPLACE
 -
 - PRECAST CONCRETE TRANSITION CURB
 - PRECAST CONCRETE RAMP STONE
 - GRANITE CURB
 - GRANITE SLOPED FACE CURB
 - GRANITE SLOPED FACE TRANSITION CURB
 - CURB SETTING DETAIL
 - CEMENT CONCRETE SIDEWALK
 - WHEELCHAIR RAMP
 - DETECTABLE WARNING PANEL PLACEMENT



P:\FILES\2024\107 Spaziano Middle\Project\107 SITE LAYOUT PLAN.dwg, 4/20/24, 11:02:04 AM, D:\www

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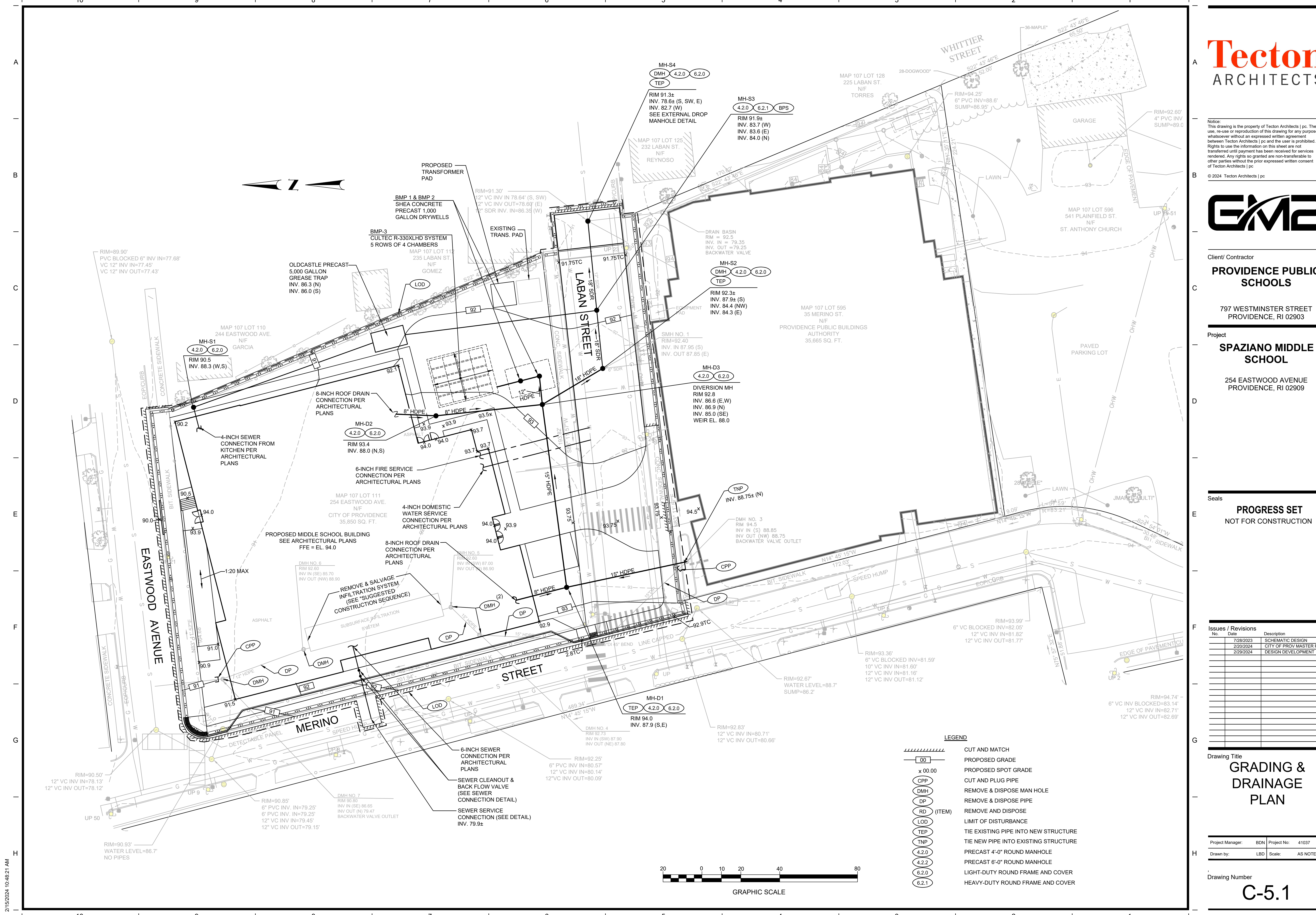
Seals
PROGRESS SET
NOT FOR CONSTRUCTION

Issues / Revisions		
No.	Date	Description
1	7/29/2023	SCHEMATIC DESIGN
2	2/20/2024	CITY OF PROV. MASTER PLAN
3	2/29/2024	DESIGN DEVELOPMENT

Drawing Title
GRADING & DRAINAGE PLAN

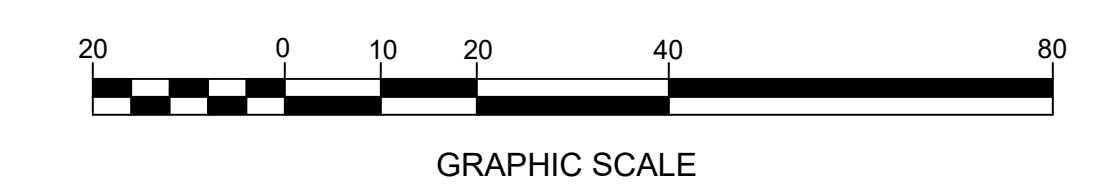
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Drawn by: LBD Scale: AS NOTED

Drawing Number
C-5.1

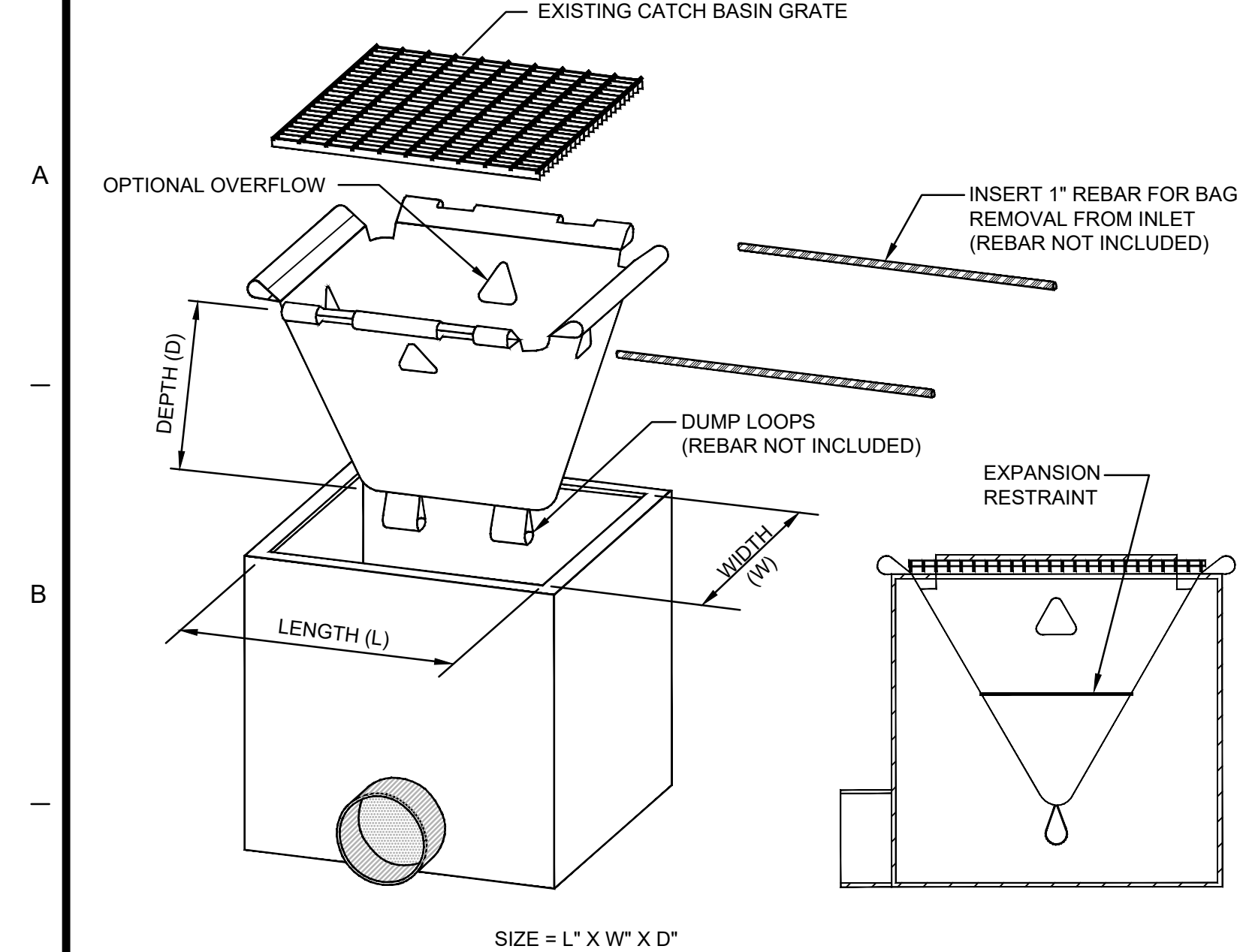


LEGEND

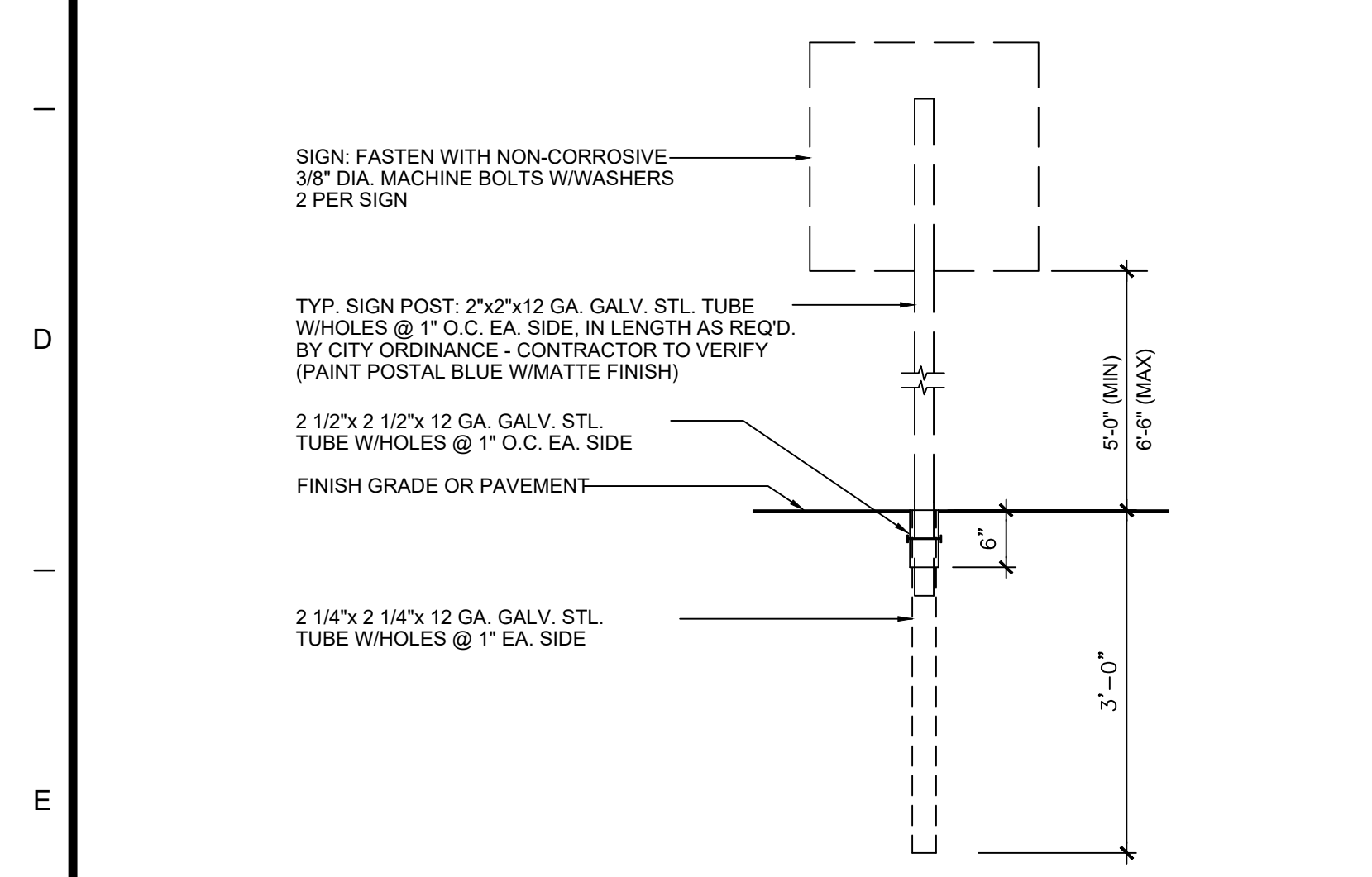
	CUT AND MATCH
	PROPOSED GRADE
	PROPOSED SPOT GRADE
	CUT AND PLUG PIPE
	REMOVE & DISPOSE MAN HOLE
	REMOVE & DISPOSE PIPE
	REMOVE AND DISPOSE
	LIMIT OF DISTURBANCE
	TIE EXISTING PIPE INTO NEW STRUCTURE
	TIE NEW PIPE INTO EXISTING STRUCTURE
	PRECAST 4'-0" ROUND MANHOLE
	PRECAST 6'-0" ROUND MANHOLE
	LIGHT-DUTY ROUND FRAME AND COVER
	HEAVY-DUTY ROUND FRAME AND COVER



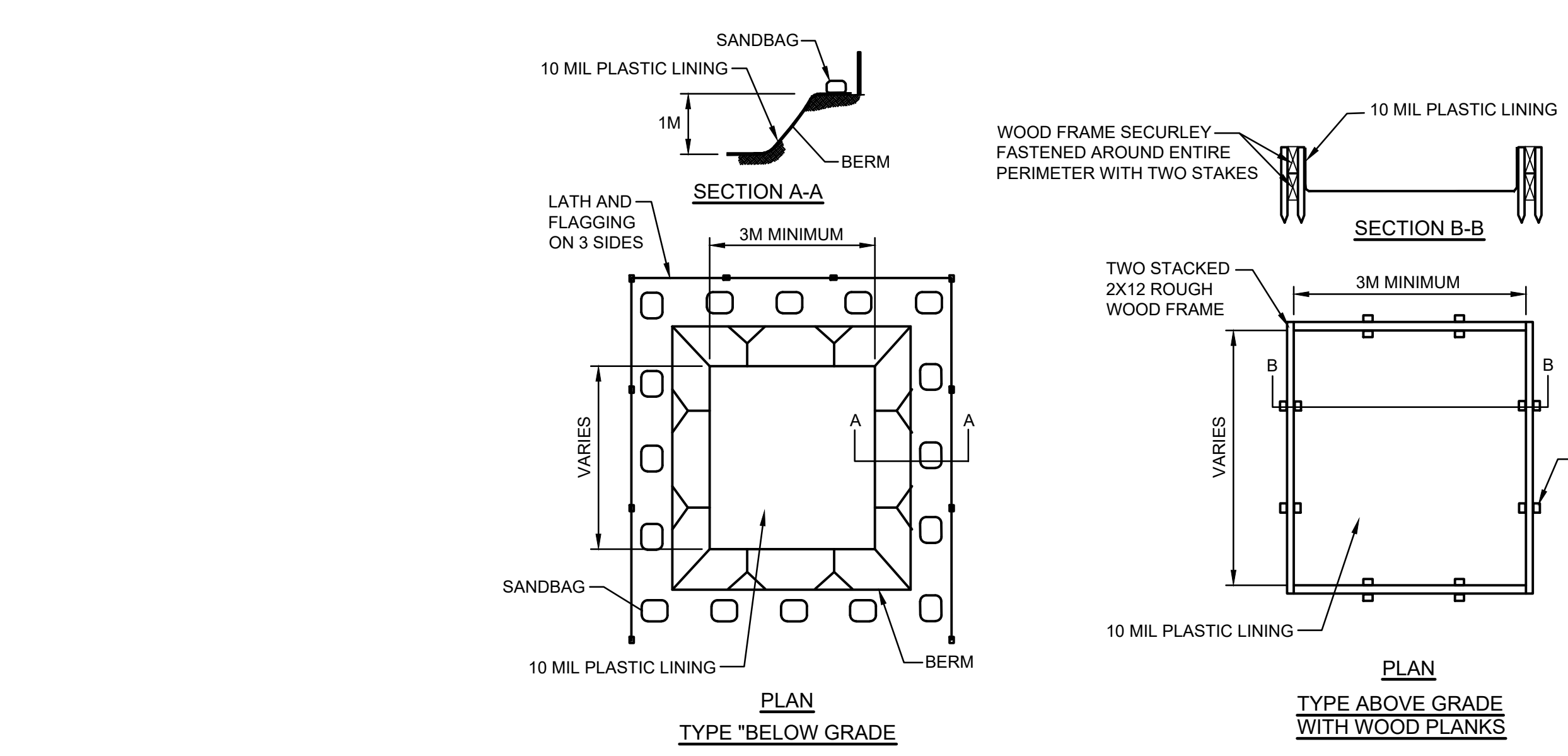
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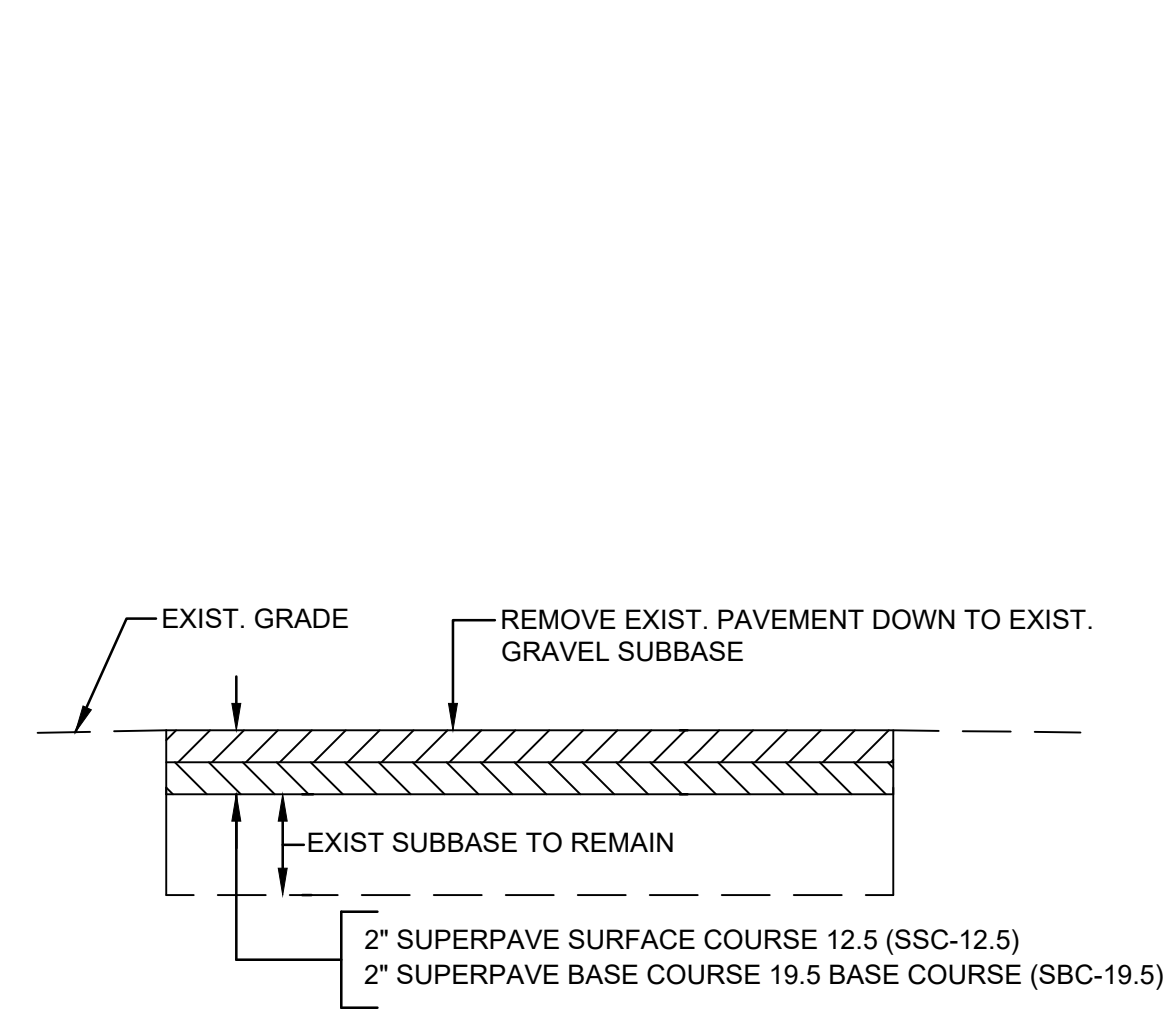
CATCH BASIN INLET PROTECTION TYPE A (CBP)
NOT TO SCALE



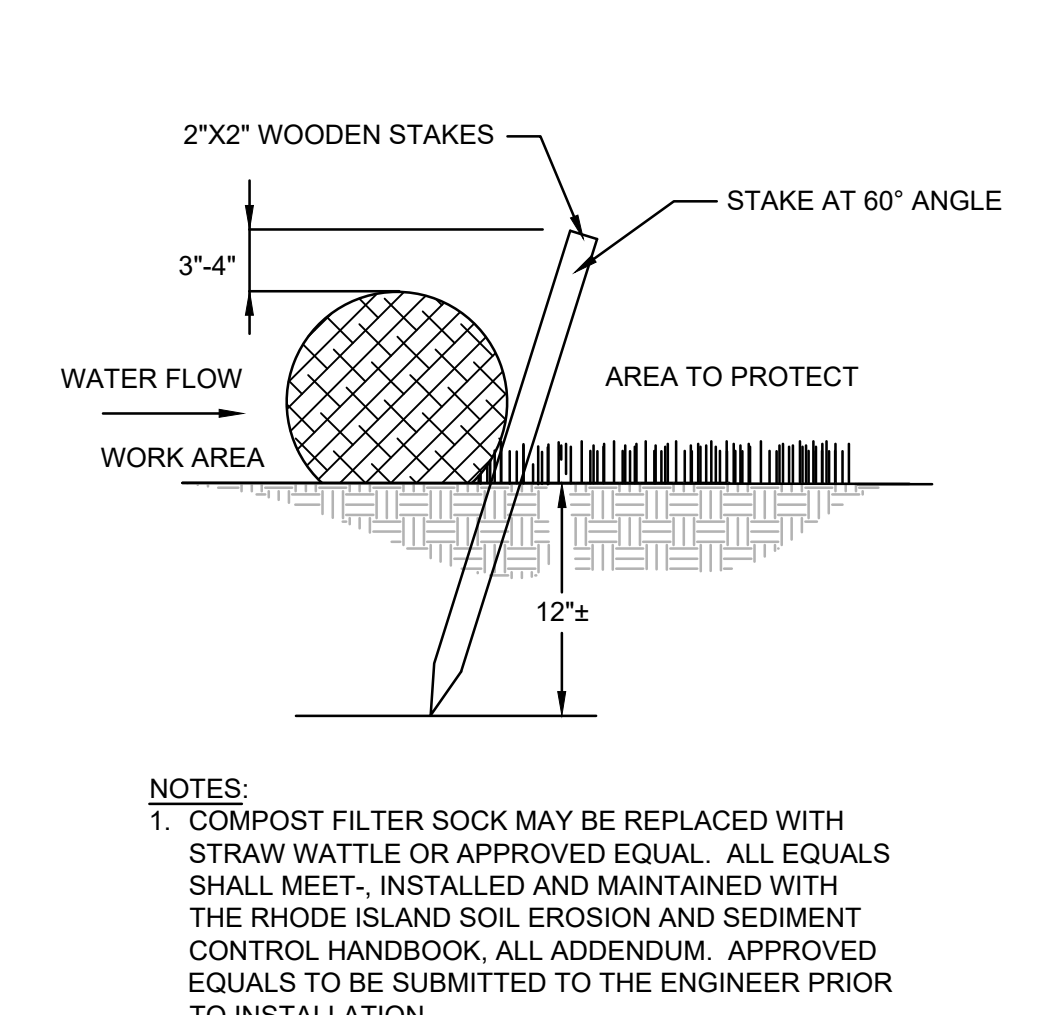
TYPICAL TRAFFIC SIGN POST (CONCRETE AND LANDSCAPE AREAS)
N.T.S.



TEMPORARY CONCRETE WASHOUT
NOT TO SCALE

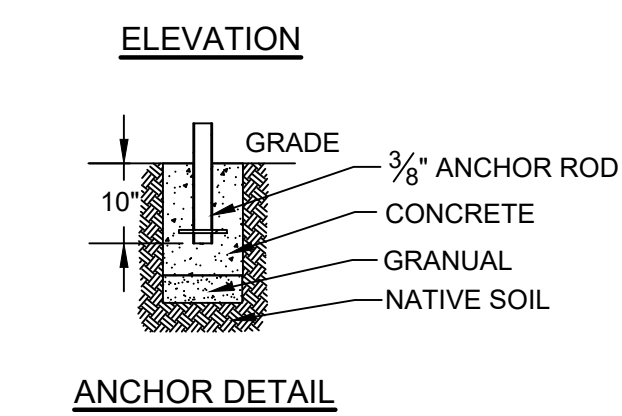
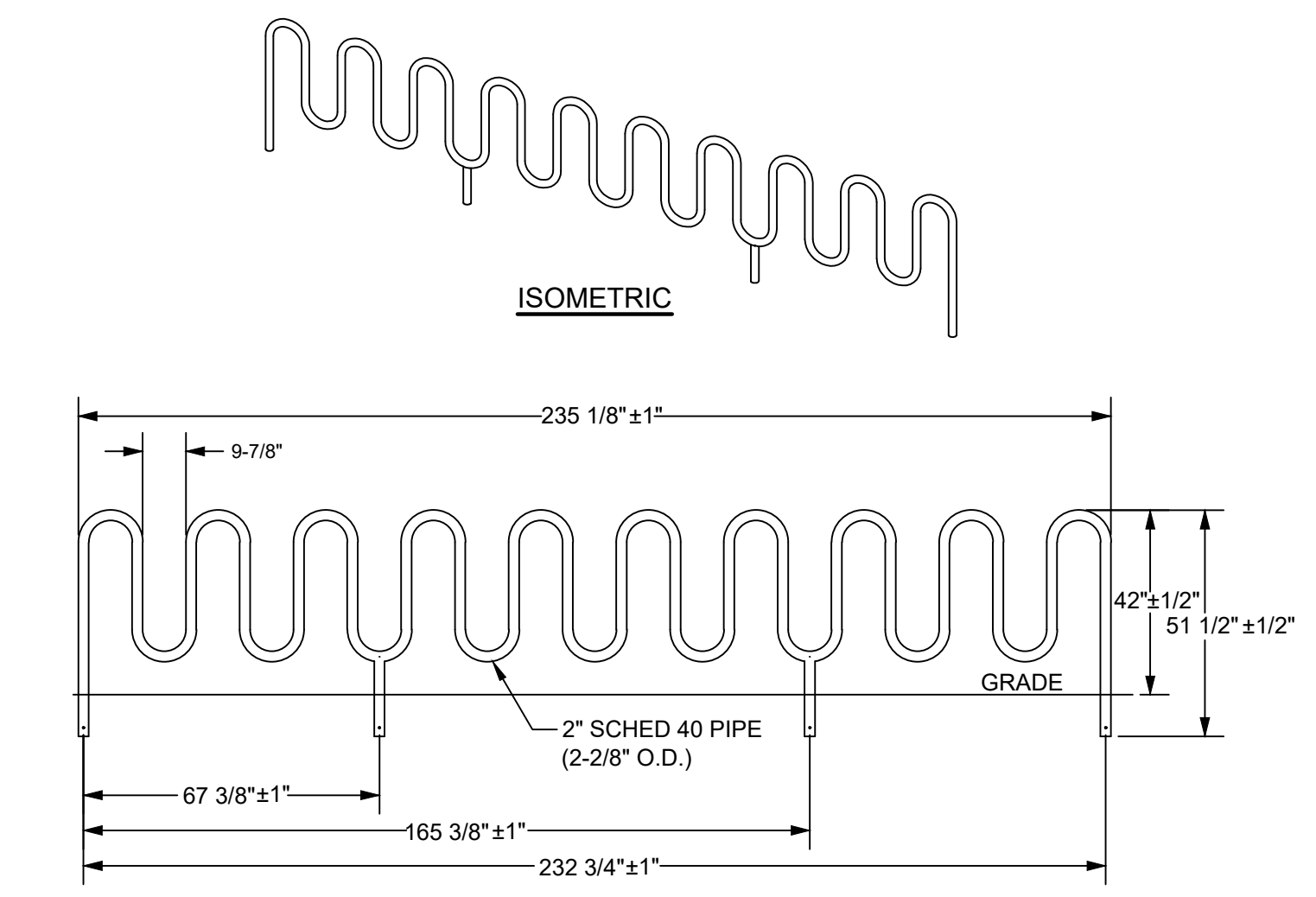


PAVEMENT STRUCTURE (NPS)
NOT TO SCALE



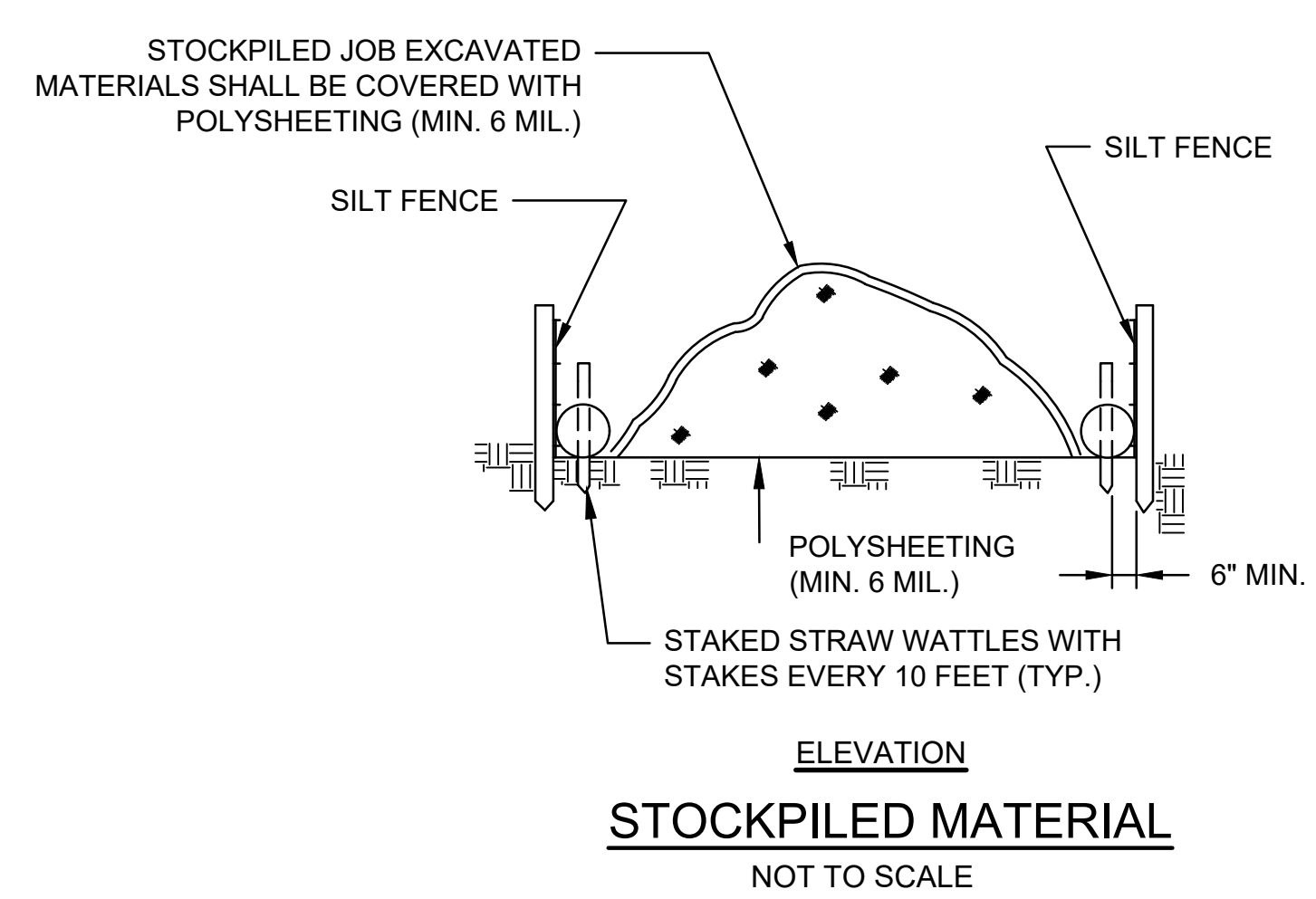
8-INCH COMPOST FILTER SOCK
NOT TO SCALE

- SELF-INSTALLED ABOVE GRADE WASHOUTS ON LARGER SITES MUST BE AT LEAST 10 FEET BY 10 FEET LONG AND SIZED TO CONTAIN ALL LIQUID AND SOLID WASTE EXPECTED TO BE GENERATED IN BETWEEN CLEANOUT PERIODS. WASHOUTS AT SMALLER SITES CAN BE SMALLER ACCORDING TO THE EXPECTED CAPACITY NEEDED. INCLUDE A MINIMUM OF 12-INCH FREEBOARD IN THE SIZING CALCULATIONS. ONE CAN MAKE THE STRUCTURES FROM STAKED STRAW BALES OR SANDBAGS DOUBLE OR TRIPLE-LINED WITH PLASTIC SHEETING OF AT LEAST 10-MIL THICKNESS THAT HAS NO HOLES OR TEARS.
- SELF-INSTALLED BELOW-GRADE WASHOUTS SHOULD BE CONSTRUCTED AS SHOWN ON THE DETAILS AT THE END OF THIS MEASURE, WITH A RECOMMENDED MINIMUM LENGTH AND MINIMUM WIDTH OF 10 FT. THEY MUST BE SIZED TO CONTAIN ALL LIQUID AND SOLID WASTE EXPECTED TO BE GENERATED IN BETWEEN CLEANOUT PERIODS.
 - LATH AND FLAGGING SHOULD BE COMMERCIAL TYPE.
 - PLASTIC LINING MATERIAL SHALL BE A MINIMUM OF 10 MIL POLYETHYLENE SHEETING AND SHOULD BE FREE OF HOLES, TEARS OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.

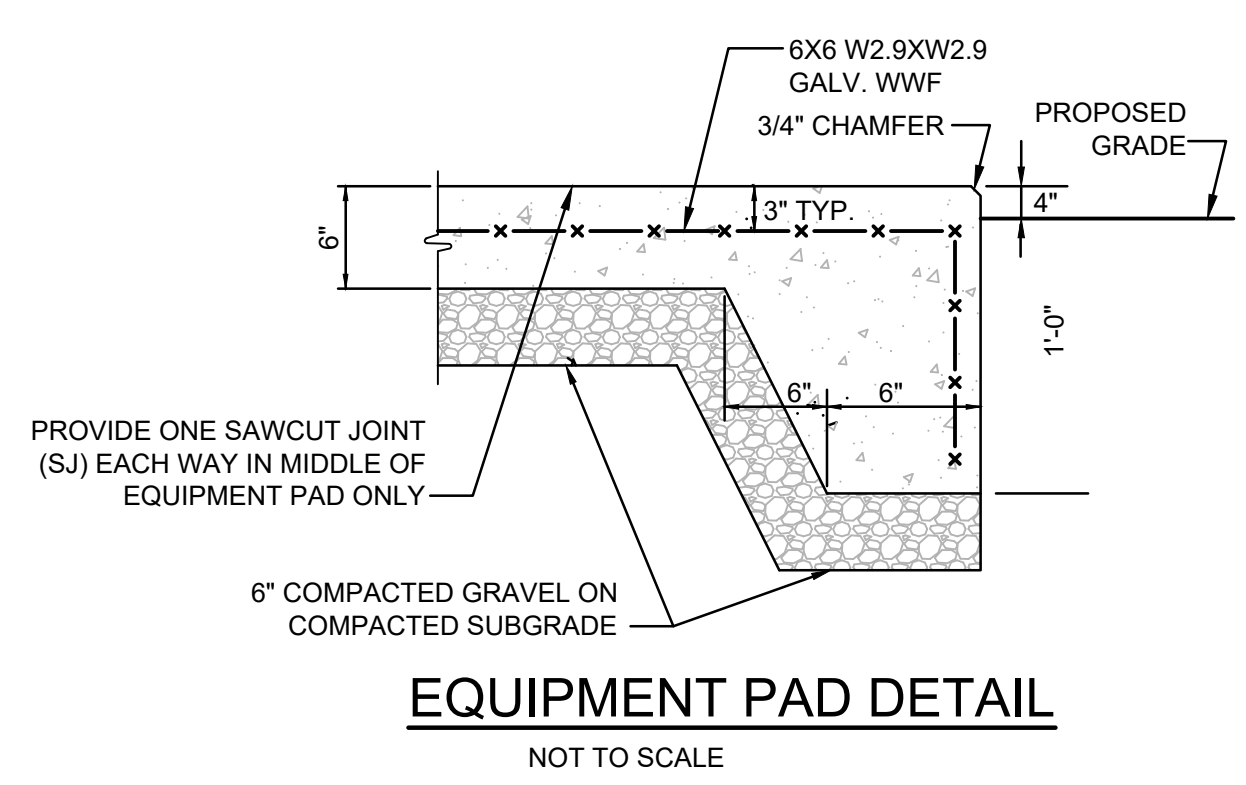


- NOTES:
- MODEL # HW238-21-IG-S MANUFACTURED BY MADRAX AND THOMAS STEEL.
 - OWNER SHALL SELECT AND APPROVE FINAL COLOR FOR BICYCLE RACKS.

BIKE RACK DETAIL
NOT TO SCALE



STOCKPILED MATERIAL
NOT TO SCALE



EQUIPMENT PAD DETAIL
NOT TO SCALE

AMERICANS WITH DISABILITIES ACT NOTES:

- ALL IMPROVEMENTS MUST COMPLY WITH THE "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG)" TO THE MAXIMUM EXTENT. AREAS WITHIN THE PROJECT AREA THAT SHALL COMPLY IN FULL WITH THESE REQUIREMENTS ARE SHOWN ON THE "ADA COMPLIANT SIDEWALK DETAIL."
- MAXIMUM RUNNING SLOPE ALONG ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 4.9% (0.049 FT/FT) OR LESSER. NO AREAS IDENTIFIED AS "ADA COMPLIANT SIDEWALKS" IN THE "ADA COMPLIANT SIDEWALK DETAIL" SHALL EXCEED 5.0% AT ANY LOCATION. THE MAXIMUM CROSS SLOPE ACROSS ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 1.5% (0.015 FT/FT).
- ADA PARKING SPACES AND LOADING AREAS: THE STEEPEST SLOPE OF THE SPACE, MEASURED IN ANY DIRECTION (INCLUDING DIAGONAL), MUST BE LESS THAN OR EQUAL TO 2% (0.02 FT/FT).
- FOR EVERY 6 (OR FRACTION OF 6) ADA PARKING SPACES, AT LEAST ONE MUST BE A VAN PARKING SPACE.
- NOTWITHSTANDING THE NOTES LISTED ABOVE, TOWN OR STATE-SPECIFIC STANDARDS MAY BE MORE STRINGENT AND OVERRULE. IT IS THE RESPONSIBILITY OF THE USER OF THIS PLAN SET TO MAINTAIN COMPLIANCE WITH THE CONTROLLING STANDARD.
- NOTE THAT THE GRADING/PLAN VIEWS AND DETAILS CONTAINED WITHIN THIS PLANSET MAY NOT SHOW THE DETAIL NECESSARY TO CONSTRUCT WALKWAYS, RAMPS AND SPACES TO COMPLY WITH THE ABOVE REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE LEVEL OF CARE NECESSARY TO BE CERTAIN THAT THE CONSTRUCTED PRODUCT MEETS ADA/CONTROLLING STANDARDS. IN THE EVENT OF ANY NON-COMPLIANCE THE CONTRACTOR MUST NOTIFY THE DESIGNER BEFORE CONSTRUCTION FOR ADVICE IN FINDING A RESOLUTION.

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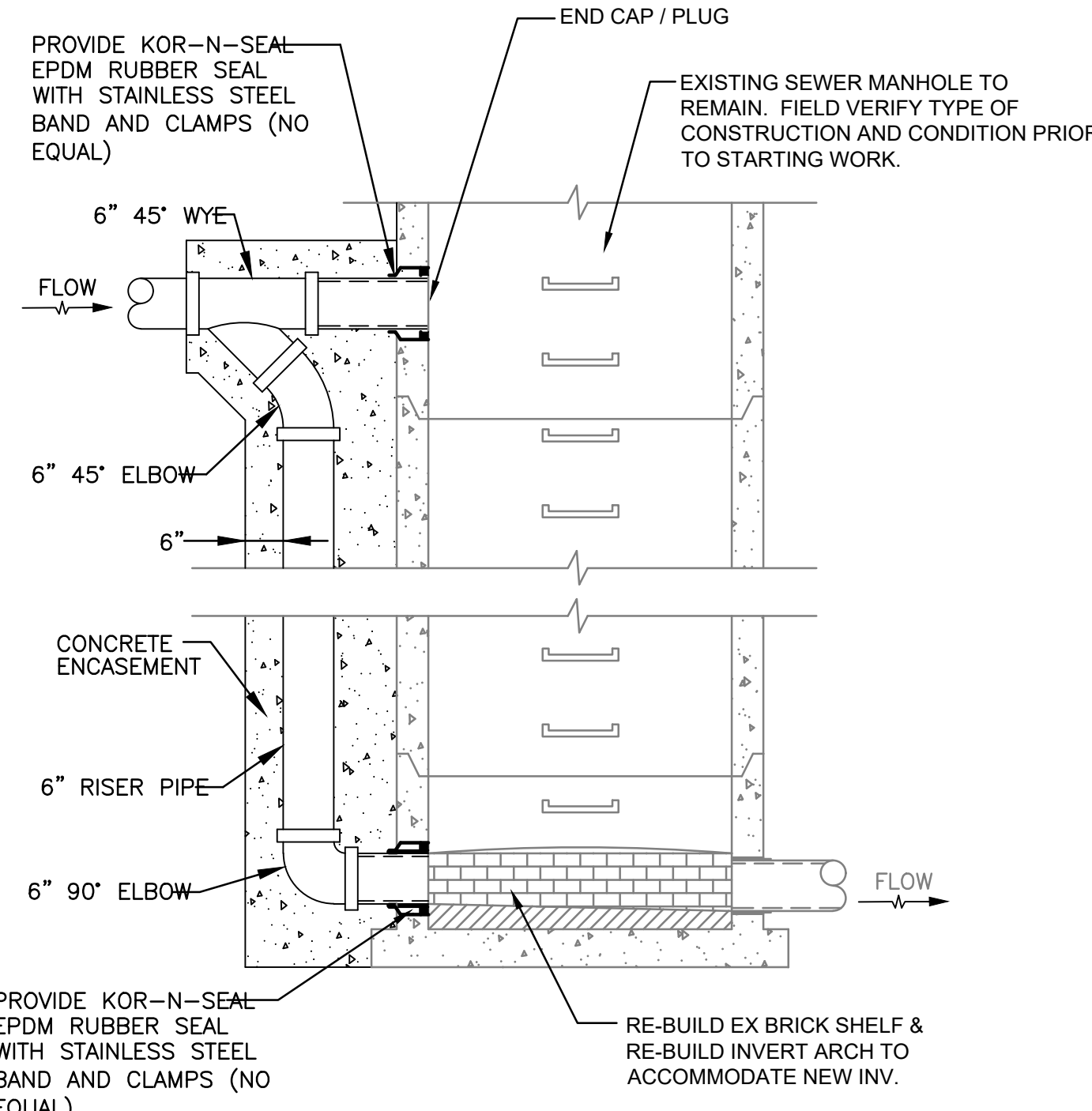
Seals
PROGRESS SET
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Issues / Revisions		
No.	Date	Description
V2	7/28/2023	SCHEMATIC DESIGN
	2/20/2024	CITY OF PROV MASTER PLAN
	2/29/2024	DESIGN DEVELOPMENT

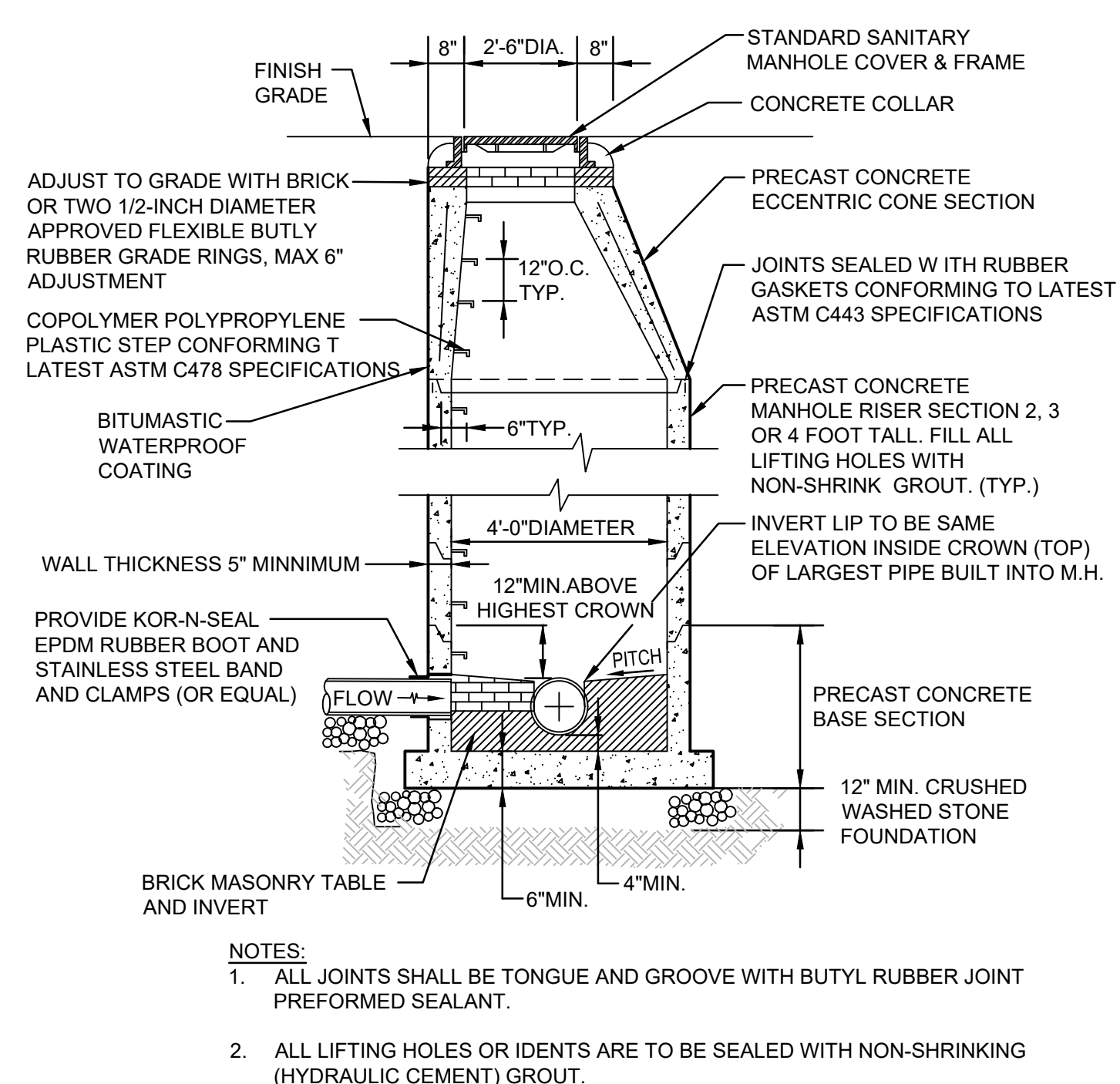
Drawing Title
CONSTRUCTION DETAILS

Project Manager: BDN Project No: 41037
Drawn by: LBD Scale: AS NOTED

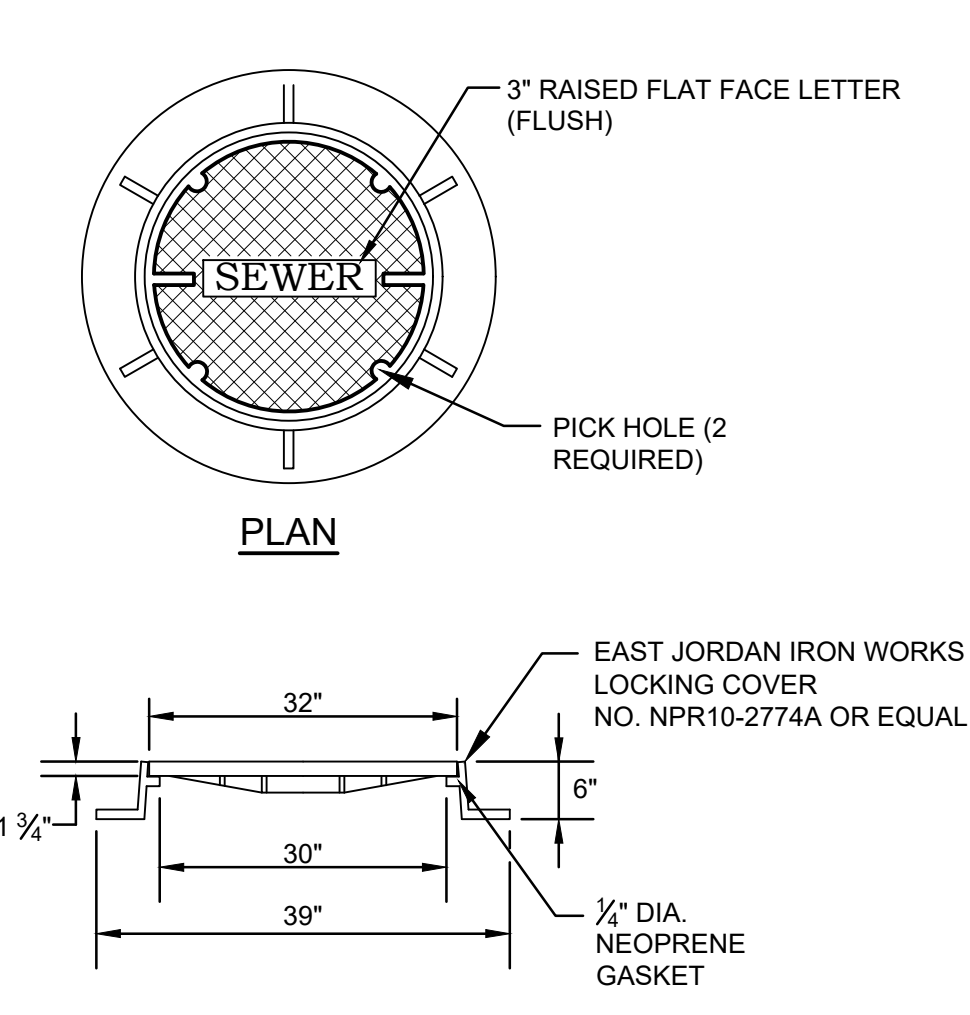
Drawing Number
C-6.1



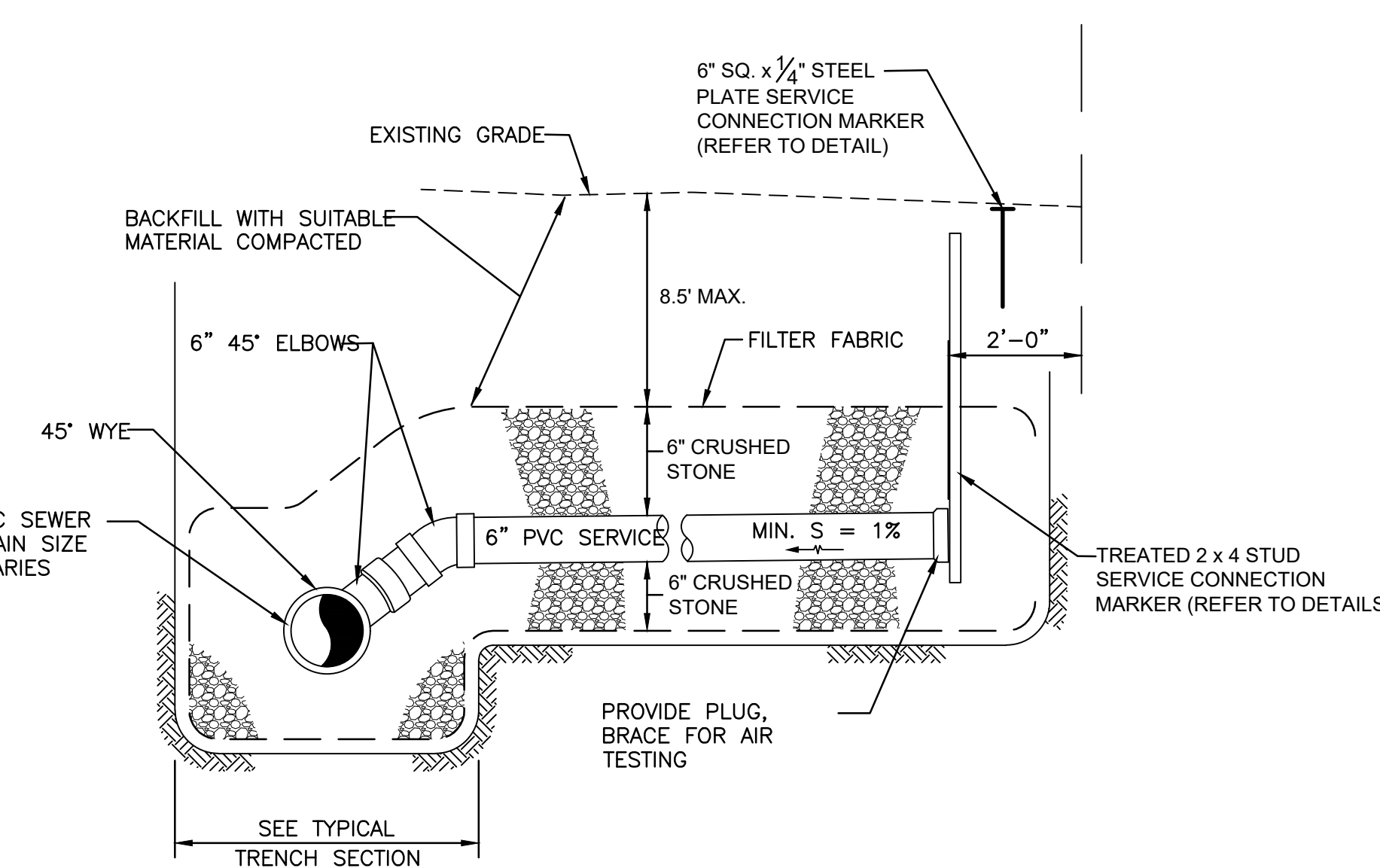
EXTERIOR DROP MANHOLE DETAIL
NOT TO SCALE



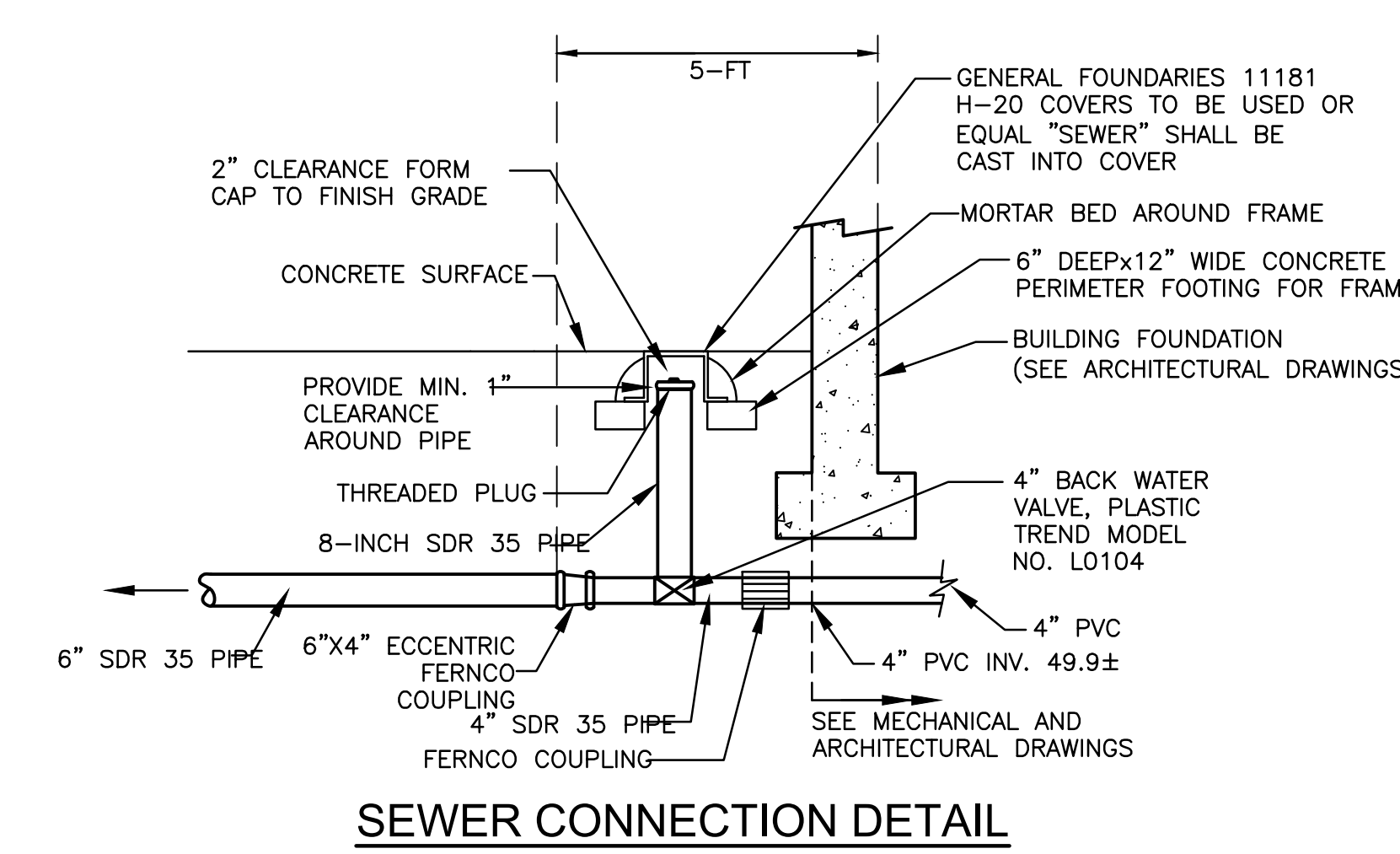
SANITARY SEWER MANHOLE DETAIL
NOT TO SCALE



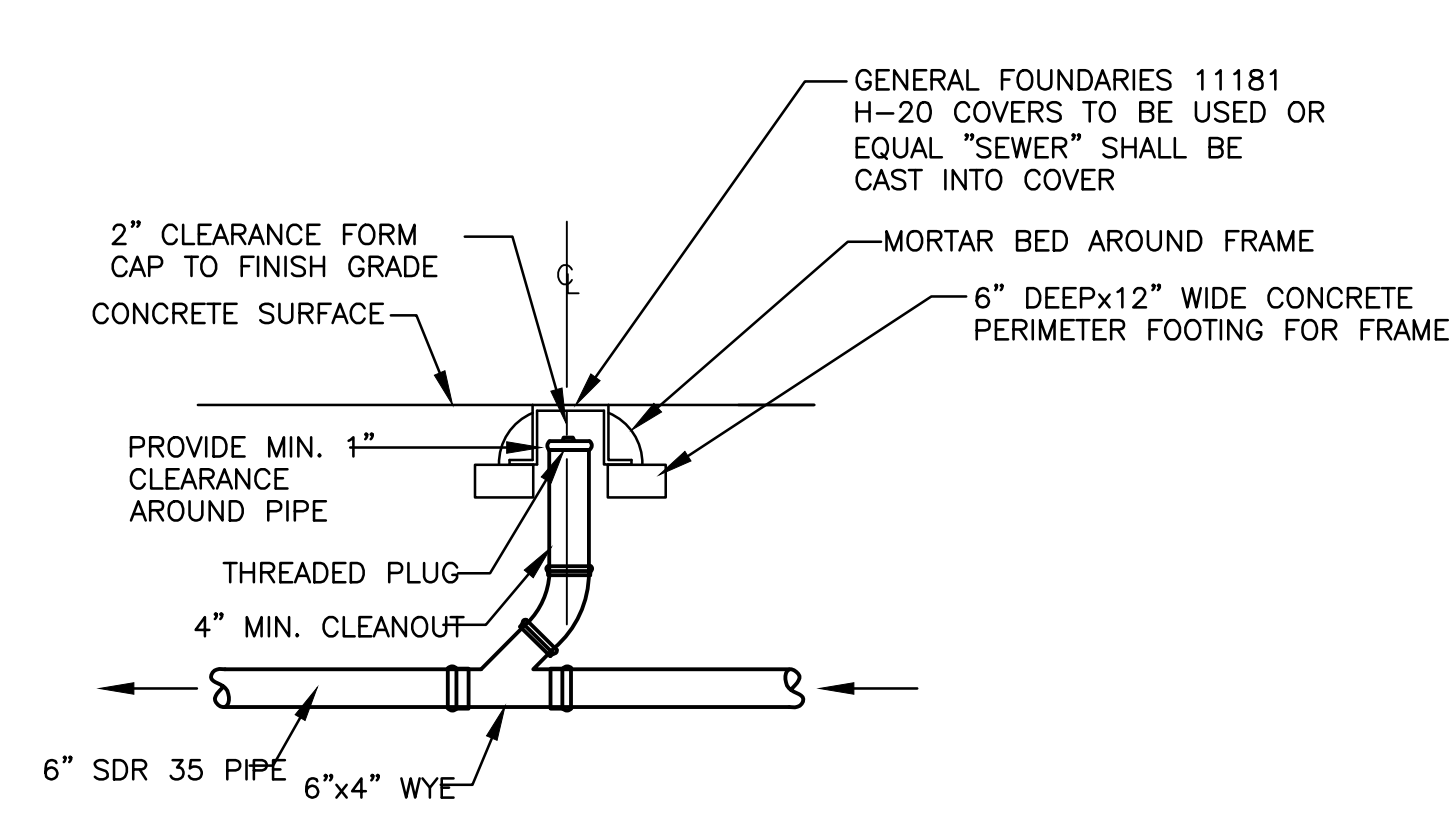
SANITARY MANHOLE COVER DETAILS
NOT TO SCALE



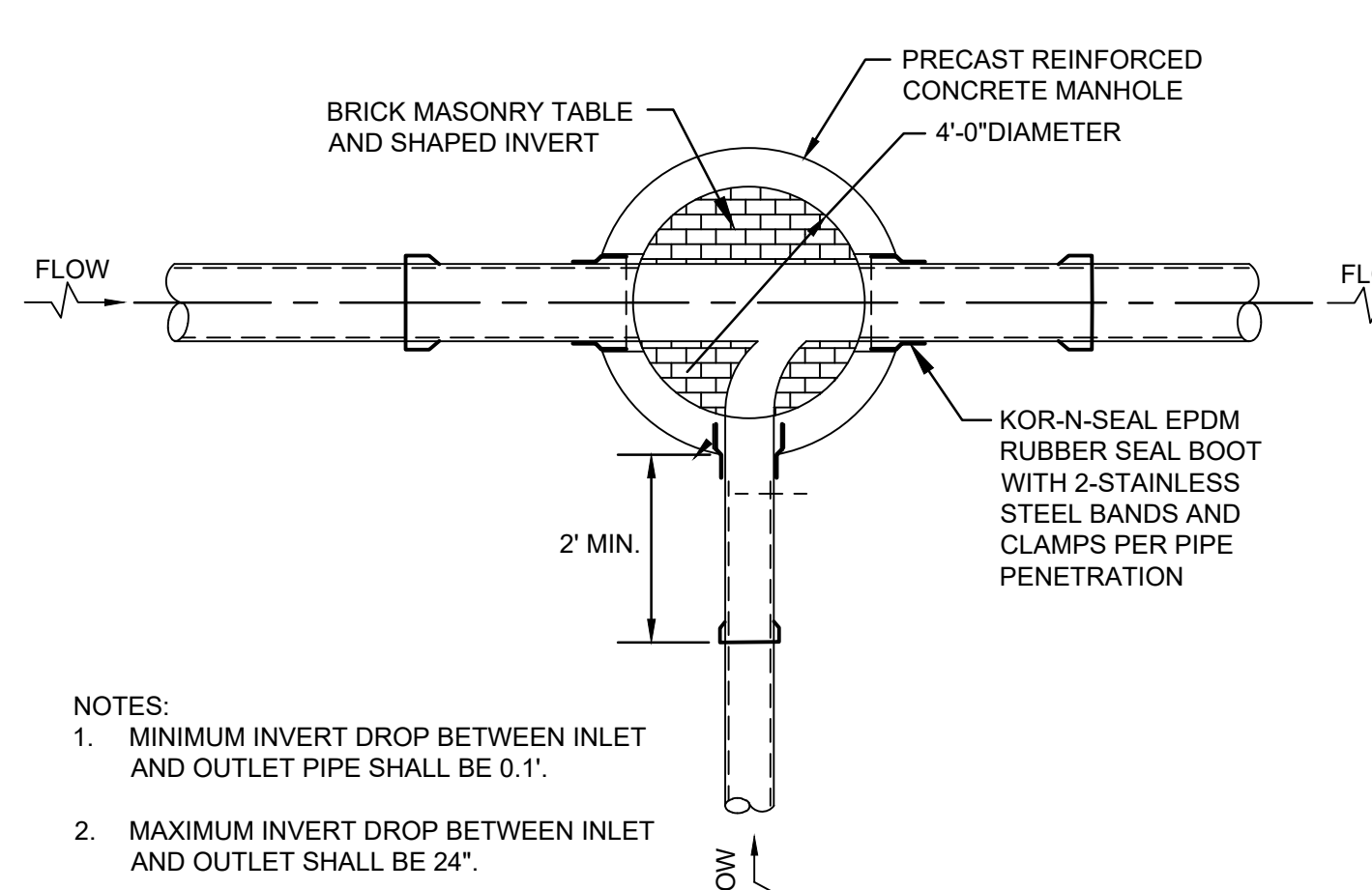
TYPICAL SERVICE CONNECTION PROFILE UNDER 10' IN DEPTH
NOT TO SCALE



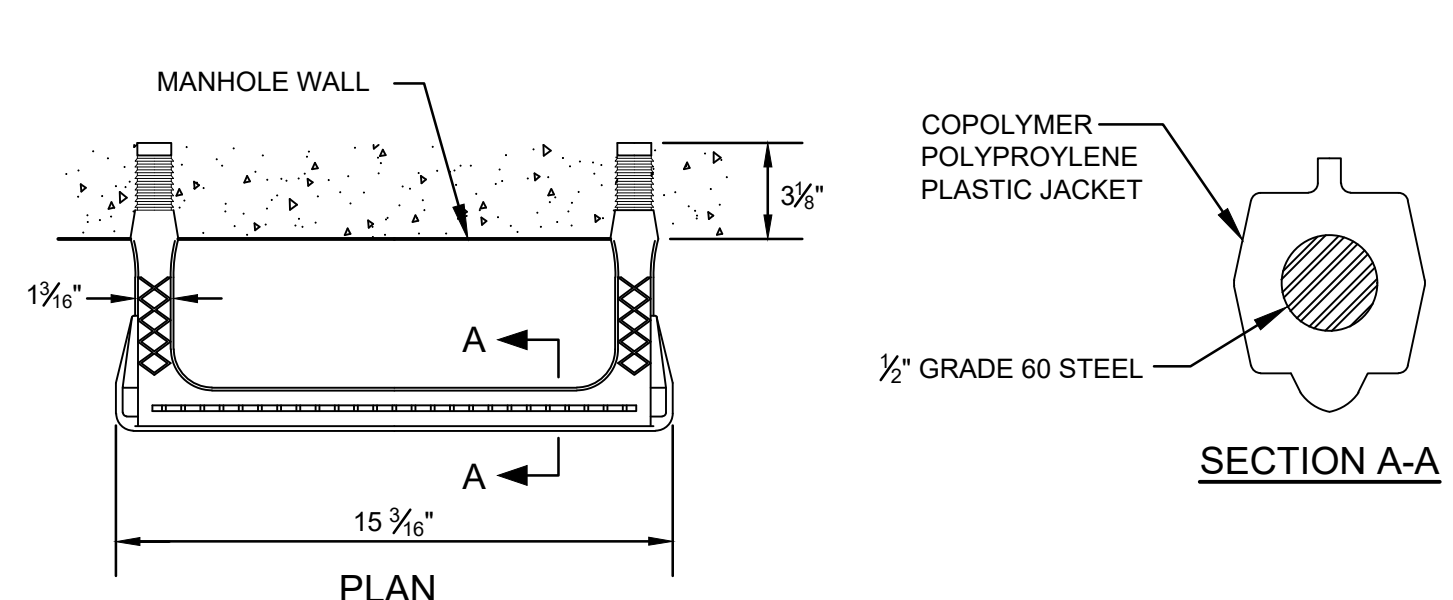
SEWER CONNECTION DETAIL
NOT TO SCALE



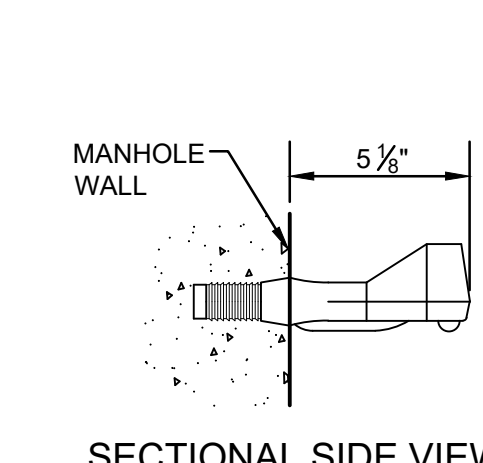
SEWER CLEANOUT DETAIL
NOT TO SCALE



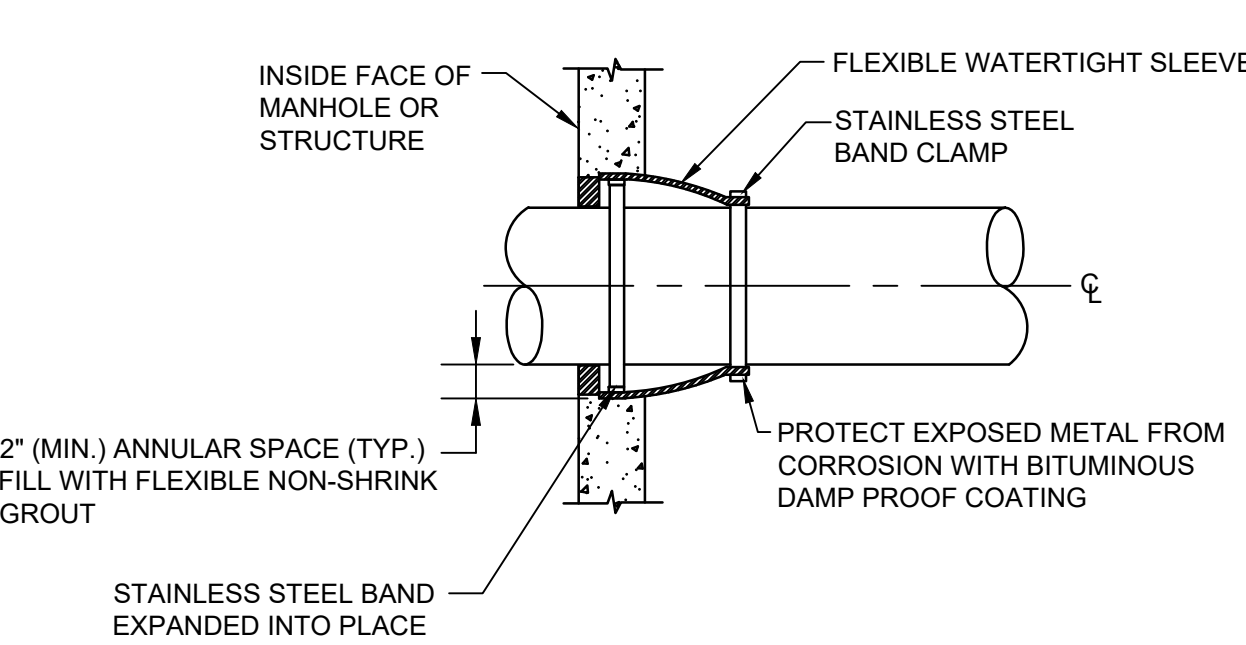
MANHOLE INVERT TABLE
NOT TO SCALE



MANHOLE STEP DETAIL
NOT TO SCALE



SECTIONAL SIDE VIEW



FLEXIBLE SLEEVE CONNECTION DETAIL
NOT TO SCALE

- GENERAL NOTES:**
1. REINFORCING STEEL CONFORMS TO LATEST ASTM A185 SPEC. 0.12 SQ. IN./LINEAL FT. AND 0.12 SQ IN. (BOTH WAYS) BASE BOTTOM.
 2. CONCRETE MINIMUM COMPRESSIVE STRENGTH = 4000 PSI TYPE II CEMENT.
 3. MANHOLE DESIGN SPECIFICATIONS CONFORM TO LATEST ASTM C478 SPEC. FOR PRECAST REINFORCED CONCRETE MANHOLE SECTIONS.
 4. ONE POUR MONOLITHIC BASE SECTION.
 5. THE ENTIRE EXTERIOR OF THE MANHOLE SHALL HAVE A BITUMINOUS COATING.
 6. THE MANHOLE STRUCTURE SECTIONS SHALL BE PROPERLY ALIGNED TO ONE ANOTHER. SECTIONS SHALL BE MADE FROM THE SAME MANUFACTURER FOR PROPER FITTING OF SECTIONS BOTTOM SECTION, BARRELS, AND CONES.

- NOTES:**
1. ALL MANHOLE COVERS TO COMPLY WITH CITY OF CRANSTON REQUIREMENTS OR AS APPROVED BY THE DIRECTOR OF PUBLIC WORKS.
 2. CITY OF CRANSTON REQUIREMENTS INCLUDE:
 - A. COVERS TO HAVE TWO 5/8-INCH VENT HOLES.
 - B. COVER MUST BE SUITABLE FOR H-20 HIGHWAY LOADING.
 - C. YEAR OF CONSTRUCTION TO BE EMBOSSED ON COVER.

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V2	7/29/2023	SCHEMATIC DESIGN
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	2/29/2024	DESIGN DEVELOPMENT

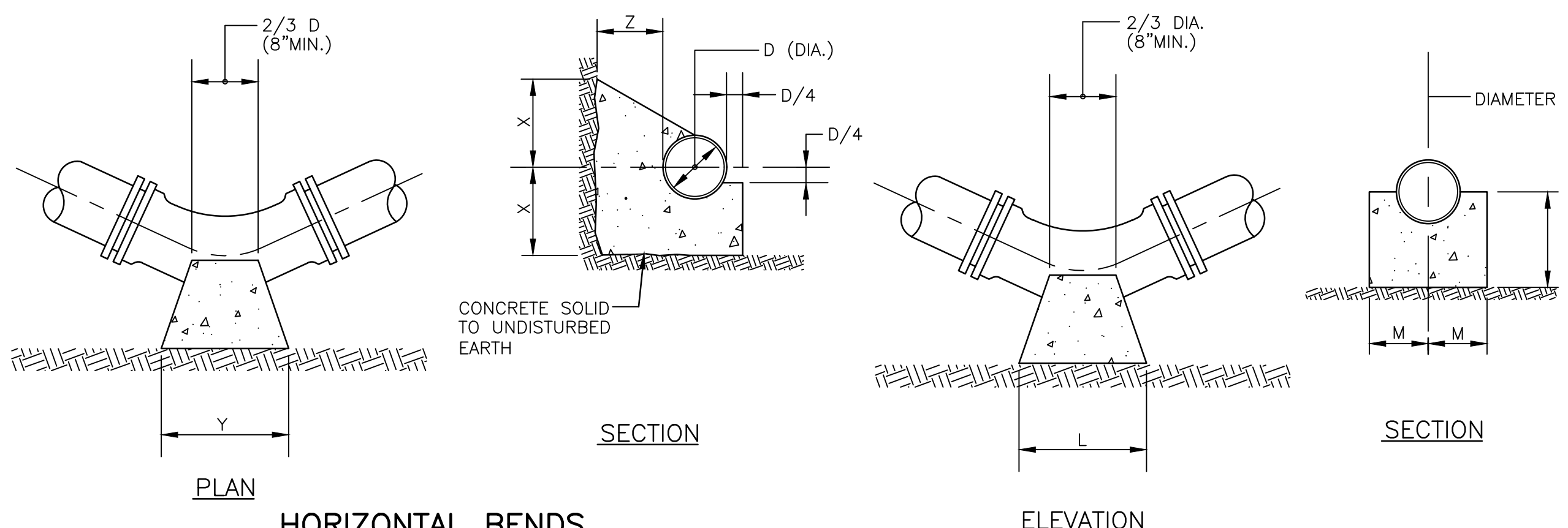
Drawing Title
CONSTRUCTION DETAILS

Project Manager: BDN Project No: 41037
Drawn by: LBD Scale: AS NOTED

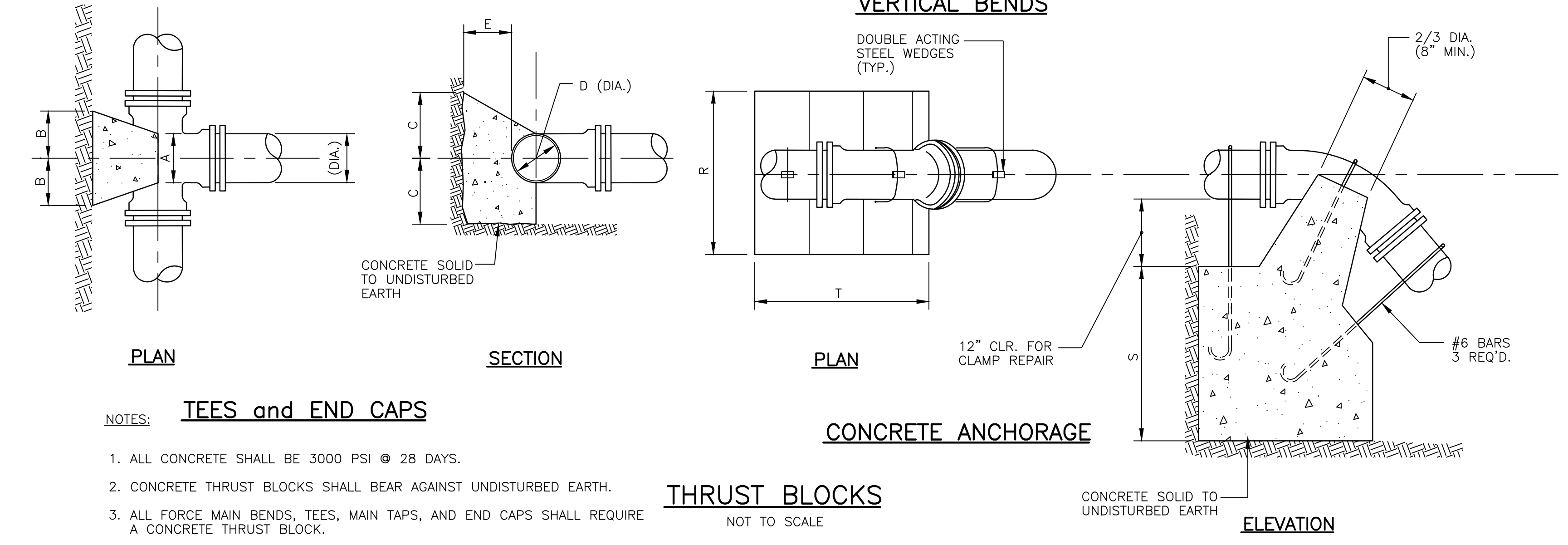
Drawing Number
C-6.2

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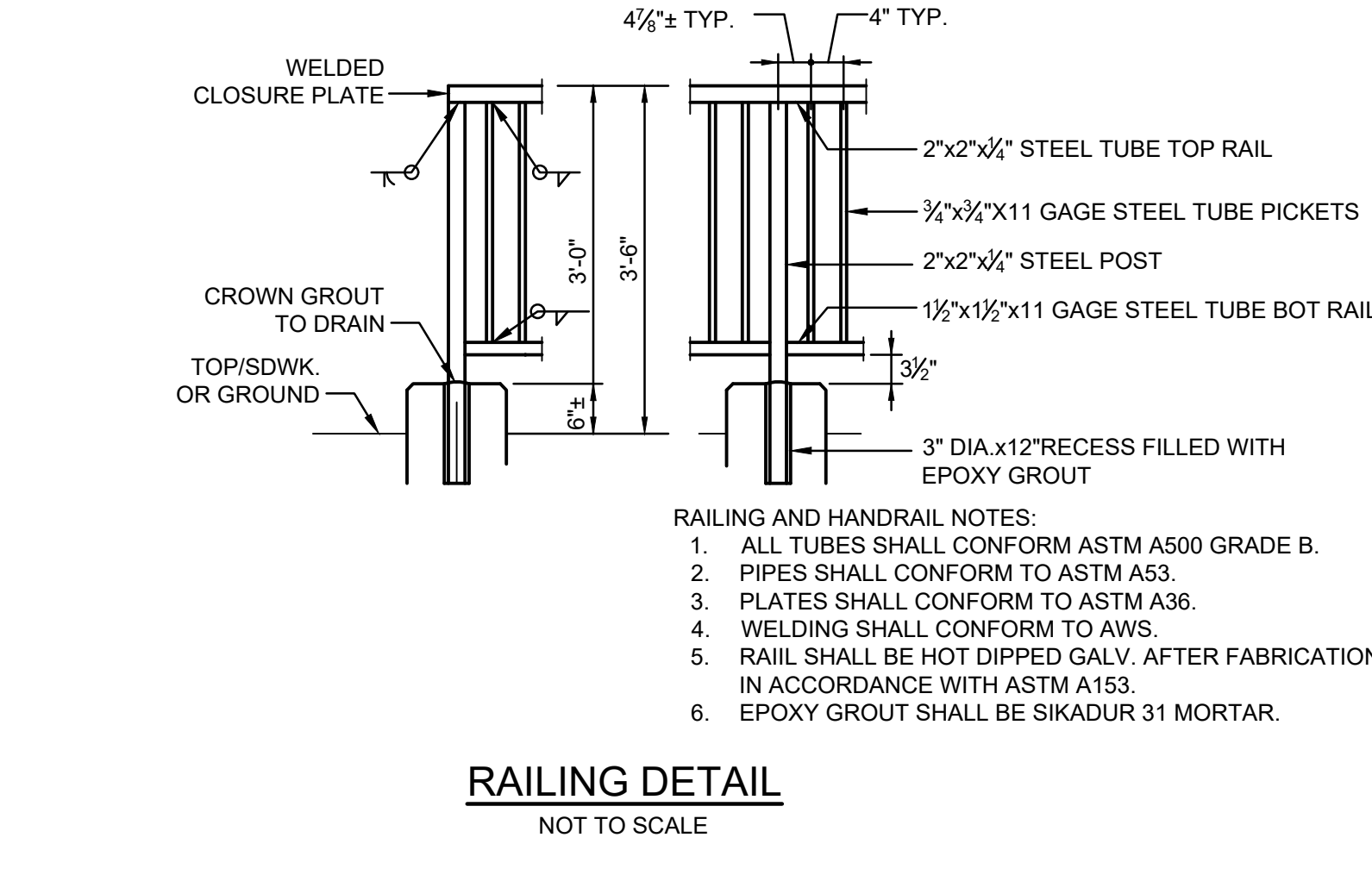
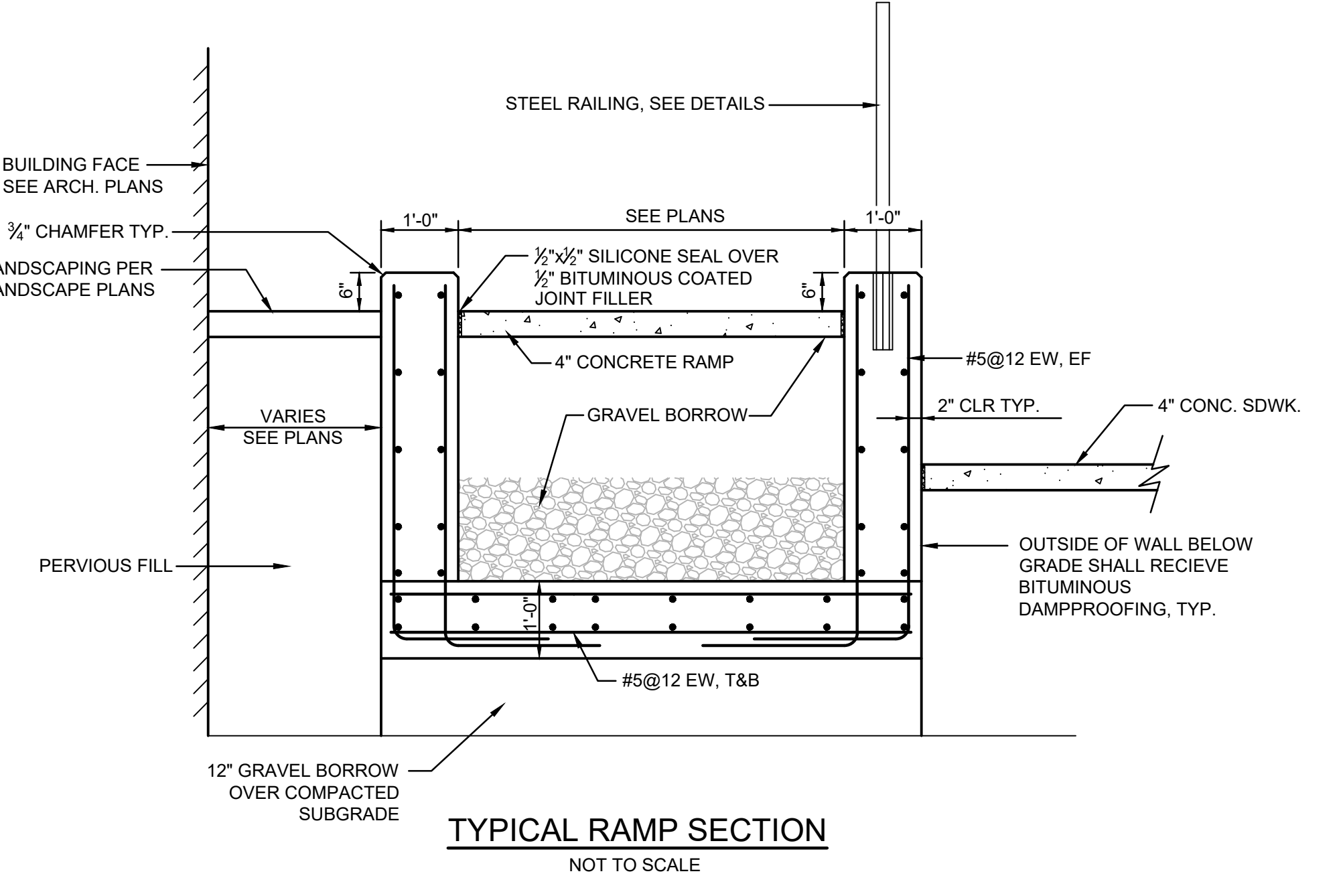
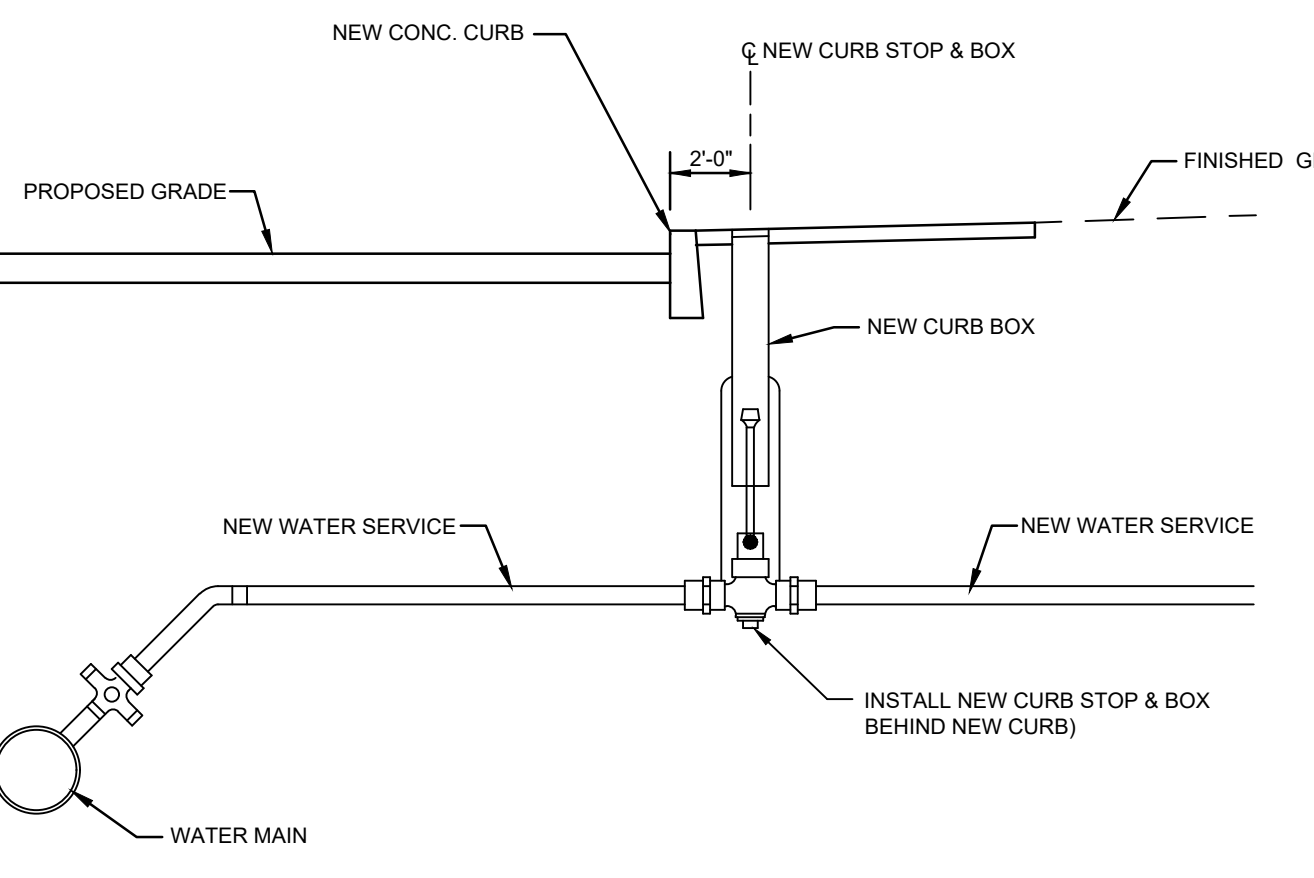
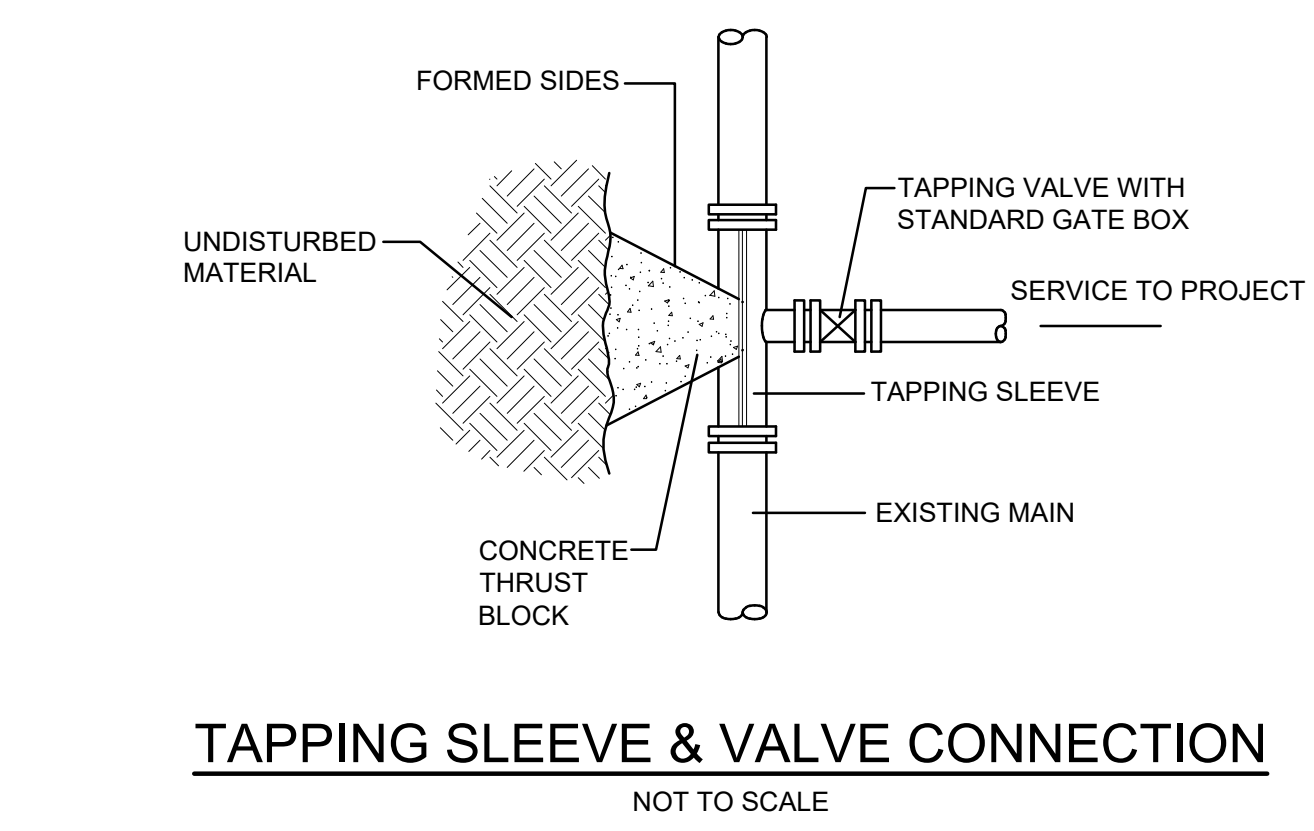


TEES					VERTICAL BENDS						
PIPE SIZE-D (DIA.)					PIPE SIZE-D (DIA.)						
	6"	8"	12"	16"	20"	BEND	6"	8"	12"	16"	20"
A	8"	10"	1'-0"	1'-3"	1'-6"	L	1'-3"	1'-8"	2'-6"	3'-6"	4'-8"
B	8"	10"	1'-2"	1'-4"	1'-6"	M	7"	8"	11"	1'-4"	1'-6"
C	10"	1'-0"	1'-3"	1'-6"	1'-8"	N	7"	8"	11"	1'-4"	1'-6"
E	8"	10"	1'-2"	1'-6"	1'-10"	L	9"	1'-0"	1'-9"	2'-6"	3'-0"
END CAPS											
A	6"	8"	1'-0"	1'-4"	1'-8"	M	7"	7"	10"	1'-0"	1'-2"
B	8"	10"	1'-2"	1'-6"	1'-10"	N	7"	7"	8"	10"	1'-0"
C	8"	10"	1'-2"	1'-6"	1'-10"	L	6"	8"	1'-0"	1'-4"	1'-9"
E	8"	10"	1'-2"	1'-6"	1'-10"	M	7"	7"	10"	1'-0"	1'-2"
HORIZONTAL BENDS					ANCHORAGES						
PIPE SIZE-D (DIA.)					PIPE SIZE-D (DIA.)						
BEND	6"	8"	12"	16"	20"	BEND	6"	8"	12"	16"	20"
1/8"	X	1'-0"	1'-0"	1'-0"	1'-3"	R	2'-6"	3'-0"	4'-6"	5'-4"	6'-0"
	Y	1'-0"	1'-6"	2'-0"	2'-6"	S	2'-6"	2'-9"	3'-6"	2'-6"	5'-6"
	Z	8"	10"	1'-2"	1'-4"	T	3'-0"	4'-0"	4'-9"	7'-0"	9'-6"
1/16"	X	1'-0"	1'-0"	1'-0"	1'-3"	R	2'-0"	2'-8"	4'-0"	4'-6"	5'-0"
	Y	1'-0"	1'-4"	1'-6"	1'-11"	S	1'-0"	2'-3"	2'-6"	3'-2"	3'-8"
	Z	8"	10"	1'-2"	1'-4"	T	2'-6"	3'-4"	4'-0"	6'-0"	8'-6"
1/32"	X	1'-0"	1'-0"	1'-0"	1'-2"	R	1'-6"	2'-0"	3'-0"	3'-8"	4'-3"
	Y	1'-0"	1'-0"	1'-2"	1'-4"	S	1'-3"	1'-9"	2'-0"	2'-4"	2'-6"
	Z	8"	10"	1'-2"	1'-4"	T	2'-0"	2'-6"	3'-0"	4'-6"	5'-9"



NOTES: TEES and END CAPS

1. ALL CONCRETE SHALL BE 3000 PSI @ 28 DAYS.
2. CONCRETE THRUST BLOCKS SHALL BEAR AGAINST UNDISTURBED EARTH.
3. ALL FORCE MAIN BENDS, TEES, MAIN TAPS, AND END CAPS SHALL REQUIRE A CONCRETE THRUST BLOCK.



- RAILING AND HANDRAIL NOTES:**
1. ALL TUBES SHALL CONFORM ASTM A500 GRADE B.
 2. PIPES SHALL CONFORM TO ASTM A53.
 3. PLATES SHALL CONFORM TO ASTM A36.
 4. WELDING SHALL CONFORM TO AWS.
 5. RAIL SHALL BE HOT DIPPED GALV. AFTER FABRICATION IN ACCORDANCE WITH ASTM A153.
 6. EPOXY GROUT SHALL BE SIKADUR 31 MORTAR.

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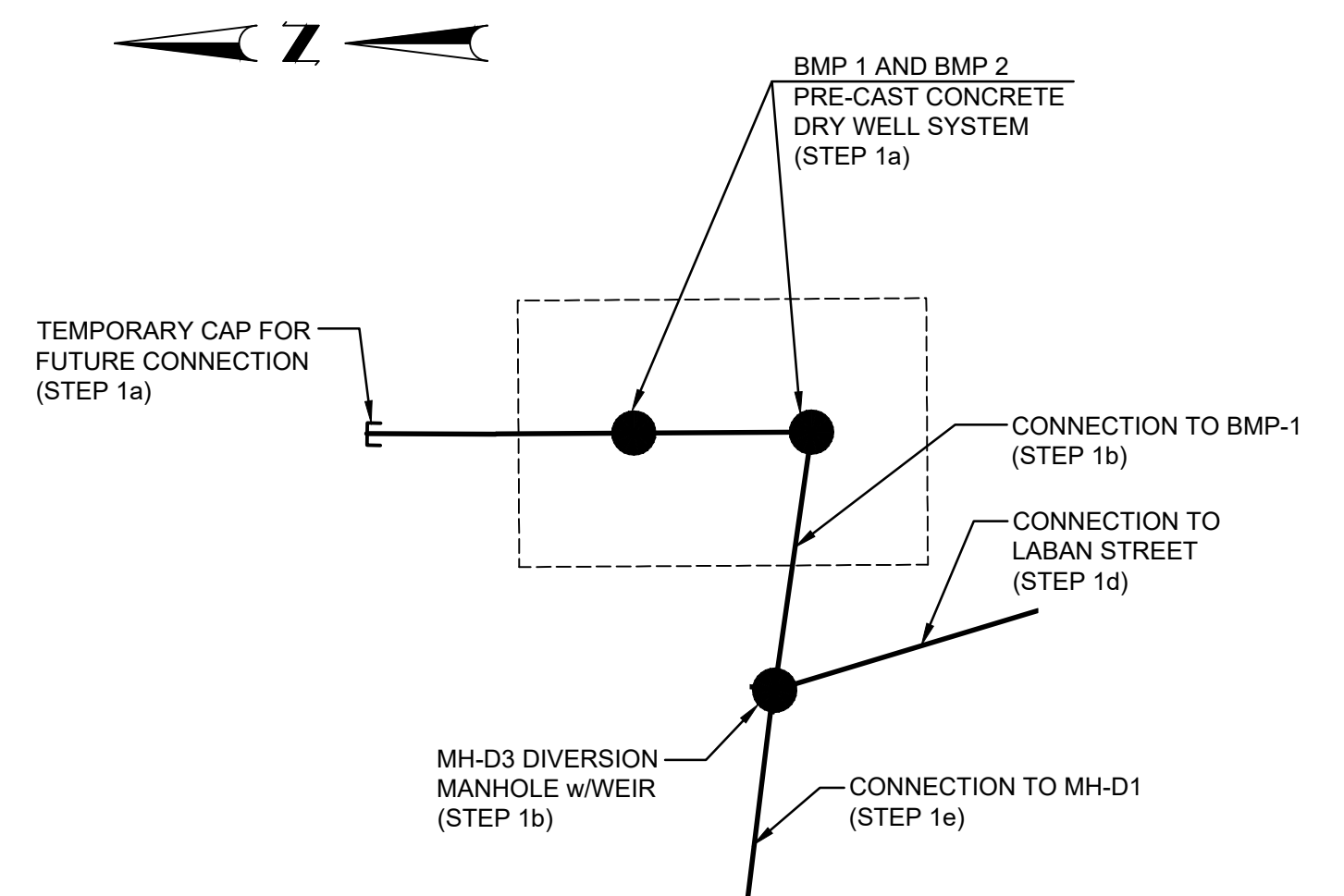
Seals
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No.	Date	Description
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	2/20/2024	CITY OF PROV MASTER PLAN
	2/29/2024	DESIGN DEVELOPMENT

Drawing Title
CONSTRUCTION DETAILS

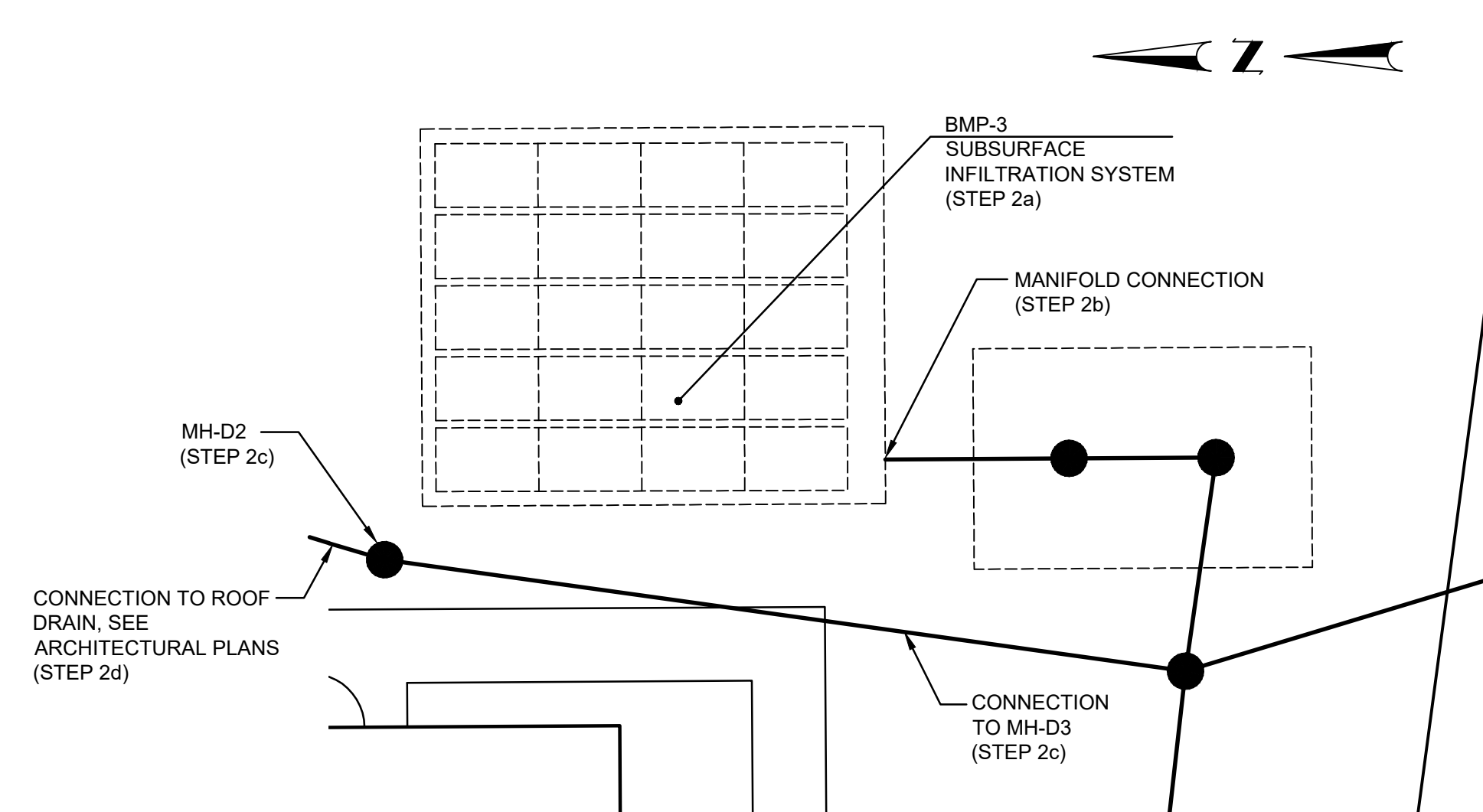
Project Manager: BDN Project No: 41037
Drawn by: LBD Scale: AS NOTED

Drawing Number
C-6.3



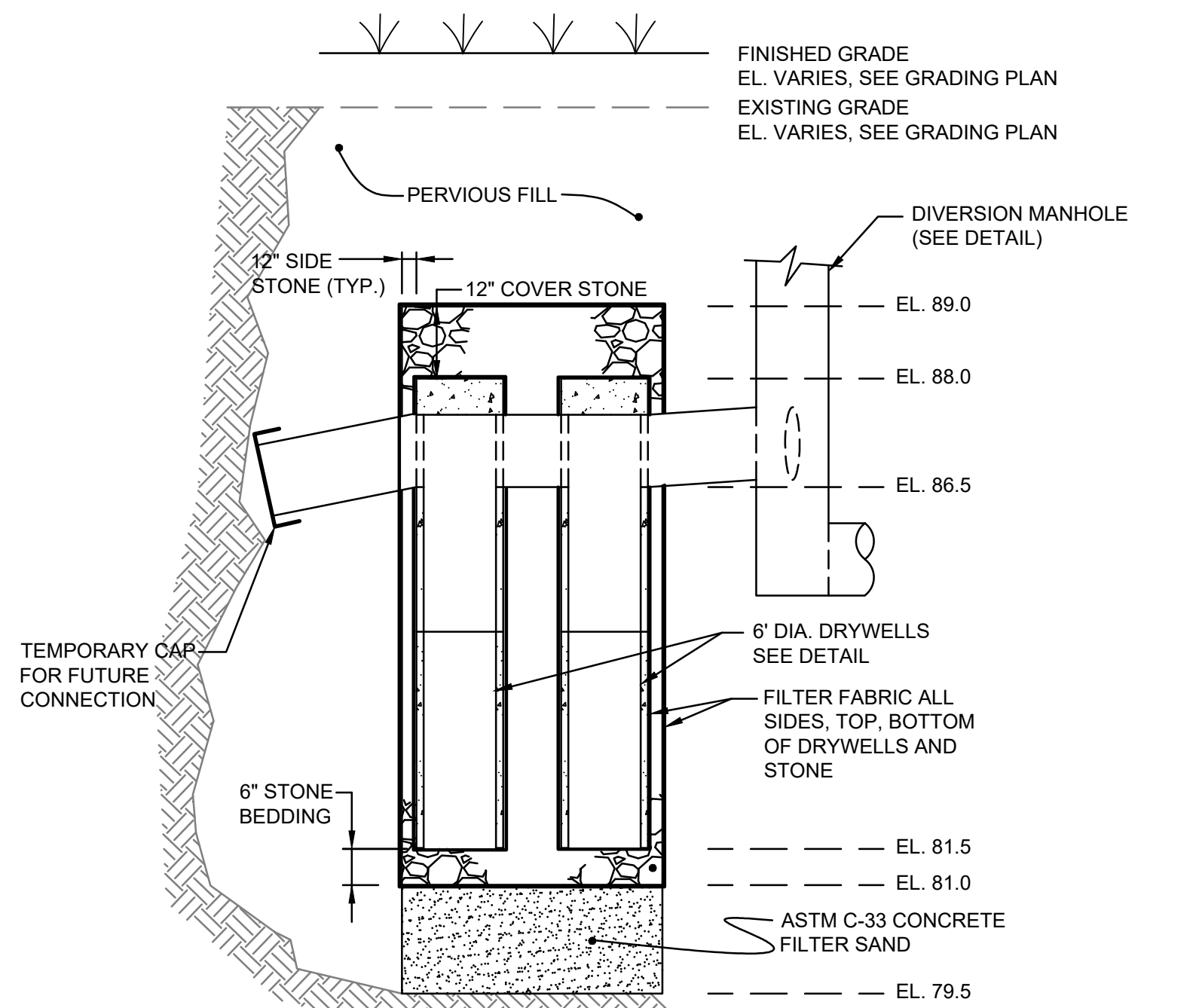
STORMWATER CONSTRUCTION SEQUENCE PLAN - STAGE 1

SCALE: 1"=10'



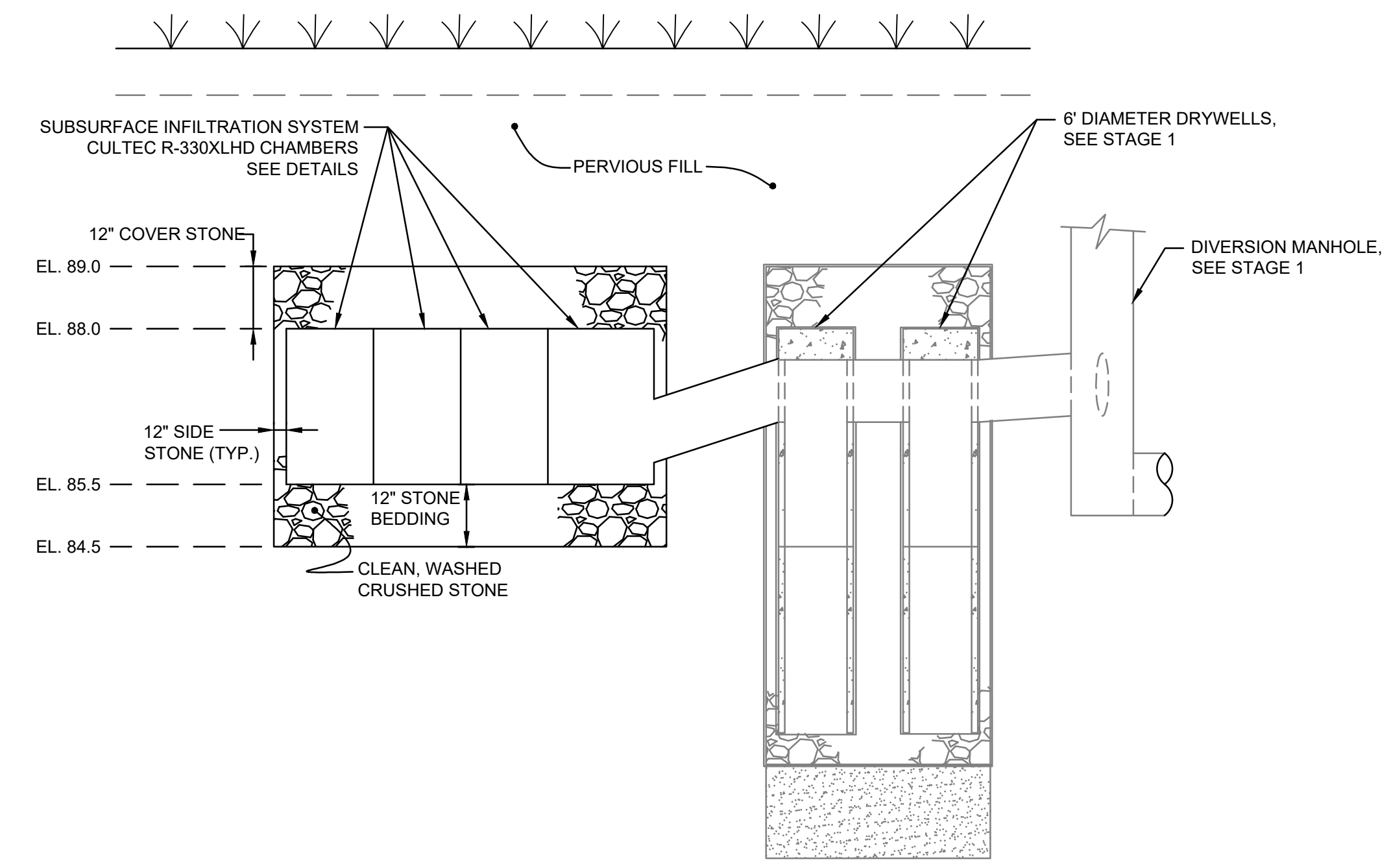
STORMWATER CONSTRUCTION SEQUENCE PLAN - STAGE 2

SCALE: 1"=10'



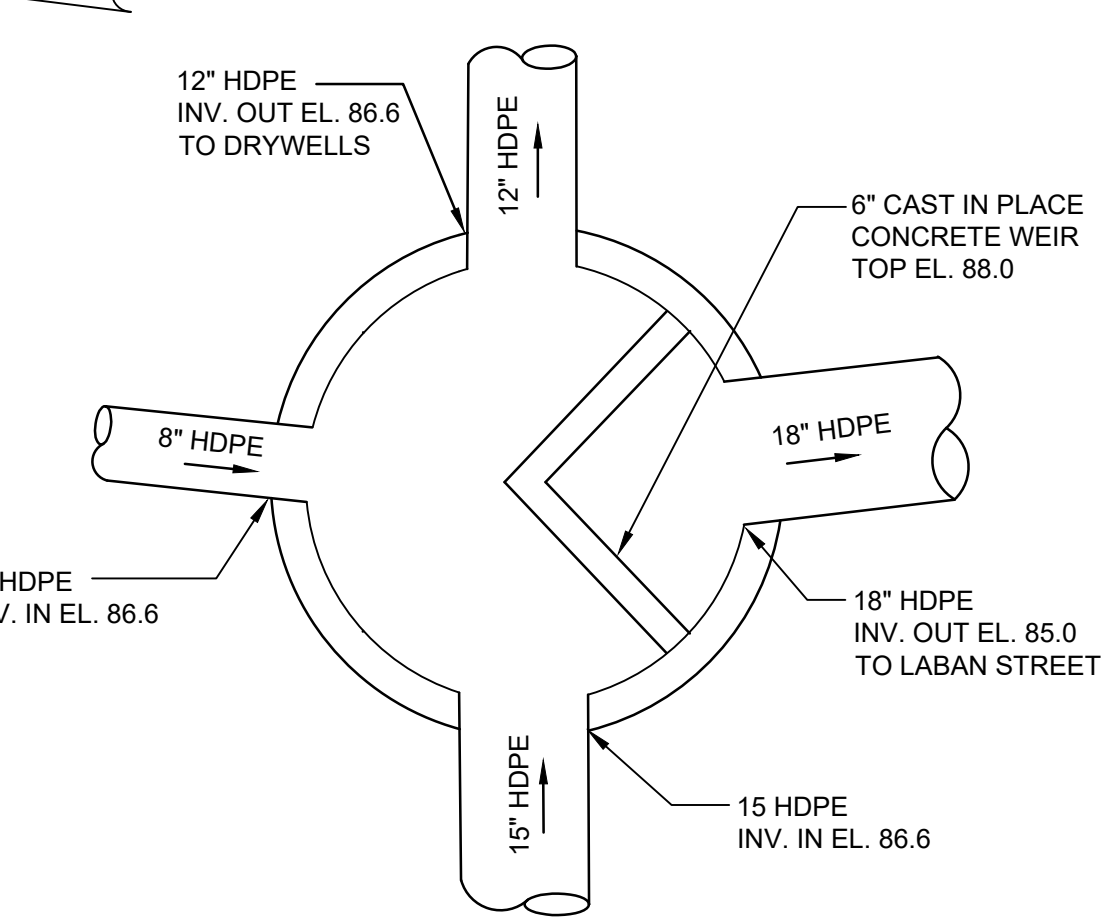
SECTION STAGE 1

SCALE: 1" = 10' HORIZ.
1" = 2' VERT.



SECTION STAGE 2

SCALE: 1" = 10' HORIZ.
1" = 2' VERT.



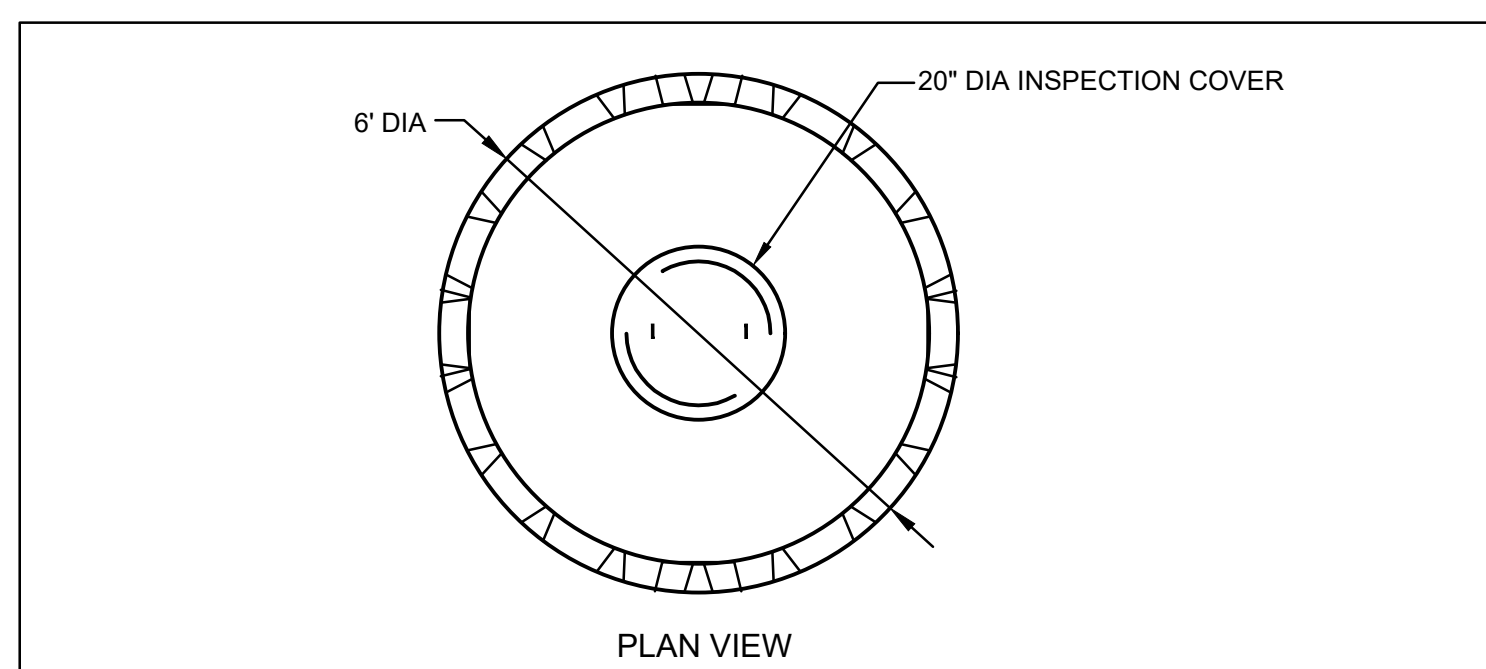
DIVERSION MANHOLE WITH WEIR DETAIL (MH-D3)

NOT TO SCALE

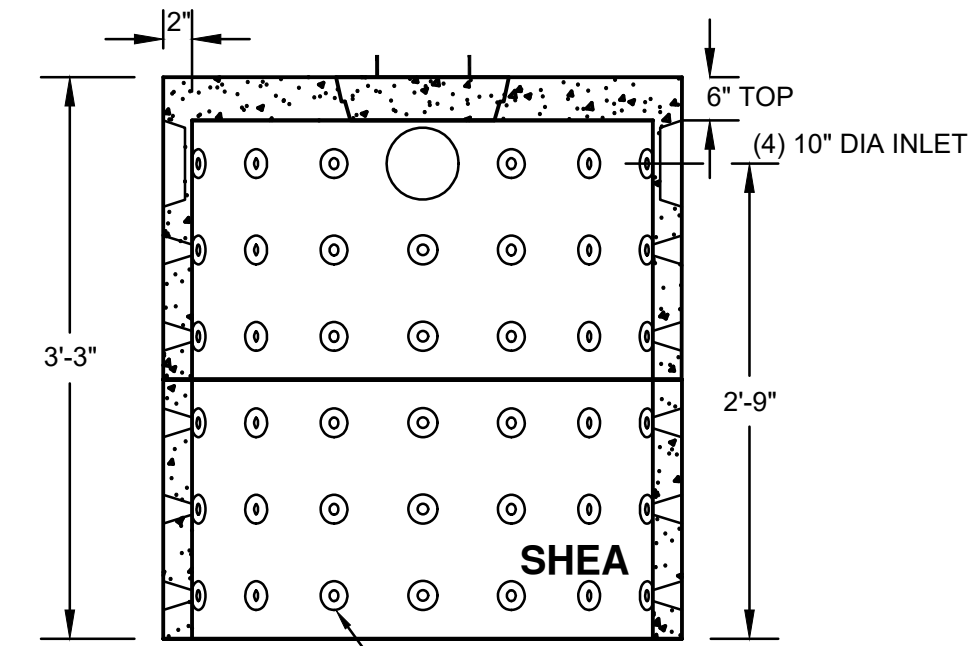
SUGGESTED STORMWATER CONSTRUCTION SEQUENCE:

1. STORMWATER CONSTRUCTION STAGE 1
 - a. CONSTRUCT BMP-1 AND BMP-2, INCLUDING DRYWELL STRUCTURES, DRAINAGE PIPES, FILTER SAND, CRUSHED STONE BASE, SIDE STONE, COVER STONE, FILTER FABRIC, ETC. INSTALL TEMPORARY CAP ON DRAINAGE CONVEYANCE PIPE EXITING BMP-2 FOR FUTURE CONNECTION.
 - b. CONSTRUCT THE DIVERSION MANHOLE (MH-D3) WITH INTERNAL WEIR, INCLUDING CONNECTION TO BMP-1.
 - c. CONSTRUCT NEW SEWER MANHOLES, MH-S2, MHS3 AND MH-S4 WITHIN LABAN STREET INCLUDING PIPE CONVEYANCES.
 - d. TIE NEW PIPE INTO SEWER MANHOLE MH-S2 WITHIN LABAN STREET. CONNECT NEW PIPE TO MH-D3. CONSTRUCT TEMPORARY PLUG ON NORTH INLET FOR FUTURE CONNECTION.
 - e. CONSTRUCT MH-D1 INCLUDING CONNECTION TO MH-D3. CONSTRUCT TEMPORARY PLUG ON NORTH INLET FOR FUTURE CONNECTION.
 - f. TIE NEW PIPE INTO EXISTING DRAINAGE MANHOLE (DMH NO. 3). CONNECT NEW PIPE TO MH-D1. ENSURE ALL CONNECTIONS, CAPS, PLUGS, ETC. ARE SECURE PRIOR TO PROCEEDING TO THE NEXT STEP.
 - g. CUT, CAP, REMOVE, AND DISPOSE DRAINAGE PIPE BETWEEN EXISTING DMH NO. 3 AND EXISTING DMH NO. 4.
 - h. CUT AND CAP EXISTING DRAINAGE PIPE FROM EXISTING DRAINAGE MANHOLE (DMH NO. 7) TO SEWER CONNECTION WITHIN EASTWOOD AVENUE.
 - i. REMOVE AND DISPOSE EXISTING DRAINAGE MAHNOLES (DMH NO. 4, 5, 6, & 7) AND ASSOCIATED DRAINAGE PIPES.
 - j. REMOVE AND SALVAGE EXISTING SUBSURFACE INFILTRATION SYSTEM CHAMBERS. SEE NOTE 2 BELOW.
2. STORMWATER CONSTRUCTION STAGE 2
 - a. CONSTRUCT BMP-3, INCLUDING ARCH CHAMBERS, MANIFOLD, FILTER FABRIC, AND CRUSHED STONE BEDDING.
 - b. REMOVE TEMPORARY CAP ON DRAINAGE PIPE EXISTING BMP-2 AND CONNECT TO MANIFOLD SYSTEM OF BMP-3.
 - c. CONSTRUCT MH-D2, INCLUDING CONNECTION TO MH-D3.
 - d. INSTALL ROOF DRAIN CONNECTIONS TO MH-D1 AND MH-D2 PER ARCHITECTURAL PLANS.

- NOTES:
1. THE SUGGESTED CONSTRUCTION SEQUENCE IS PROVIDED TO MAINTAIN CONVEYANCE AND TREATMENT OF RUNOFF IN ACCORDANCE WITH APPLICABLE REGULATORY PERMITS. ANY DEVIATIONS FROM THE SUGGESTED CONSTRUCTION SEQUENCE MUST BE COORDINATED WITH THE ENGINEER TO ENSURE COMPLIANCE WITH REGULATORY PERMITS.
 2. THE CONTRACTOR SHALL NOT DISCONNECT THE EXISTING SUBSURFACE INFILTRATION SYSTEM (STEP 1G) FROM SERVICE UNTIL BMP-1 AND BMP-2 ARE PROPERLY INSTALLED AND PLACED ON-LINE.
 3. THE CONTRACTOR SHALL TAKE CARE AND USE APPROPRIATE MEANS AND METHODS WHEN REMOVING COMPONENTS OF THE EXISTING SUBSURFACE INFILTRATION SYSTEM SO THEY MAY BE RE-USED IN THE CONSTRUCTION OF BMP-3. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO STORE THE SALVAGED MATERIALS IN A SAFE AND SECURE LOCATION UNTIL SUCH TIME AS THEY MAY BE INSTALLED PER THE SUGGESTED CONSTRUCTION SEQUENCE. IF ANY COMPONENTS OF THE EXISTING SUBSURFACE INFILTRATION SYSTEM ARE DAMAGED DURING OR AFTER REMOVAL, THE CONTRACTOR SHALL PROVIDE AND INSTALL NEW COMPONENTS AT NO ADDITIONAL COST TO THE OWNER.



PLAN VIEW



SECTION VIEW

	ITEM NO.	WEIGHT
1000 GALLON	1000SDW STANDARD	6.778#
	1000SDWH H-20	6.778#
3' STACKABLE	3SS	2.008#

- NOTES:
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. ALSO AVAILABLE IN AASHTO HS-20 LOADING.
 3. CAPACITY INCREASES IN INCREMENTS OF 500 GALLONS FOR EACH 3' SECTION ADDED.

**DRY WELL CYLINDRICAL
1000 GALLON STACKABLE**

NOT TO SCALE

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Project
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PROVIDENCE, RI 02909

Seals
**PROGRESS SET
NOT FOR CONSTRUCTION**

Issues / Revisions		
No.	Date	Description
v2	7/28/2023	SCHEMATIC DESIGN
	2/20/2024	CITY OF PROV MASTER PLAN
	2/29/2024	DESIGN DEVELOPMENT

Drawing Title

CONSTRUCTION DETAILS

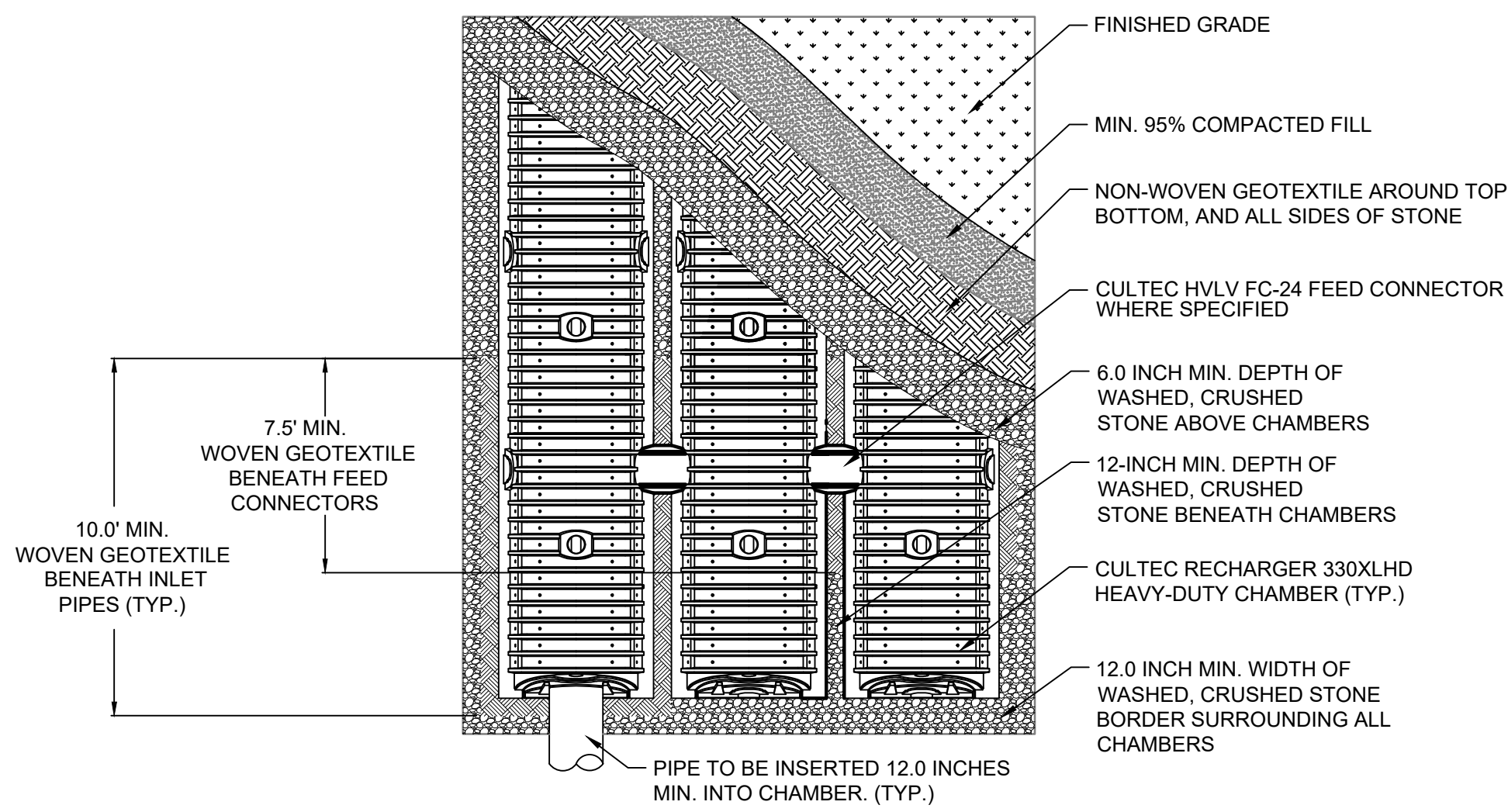
Project Manager: BDN Project No: 41037
Drawn by: LBD Scale: AS NOTED

Drawing Number
C-6.4

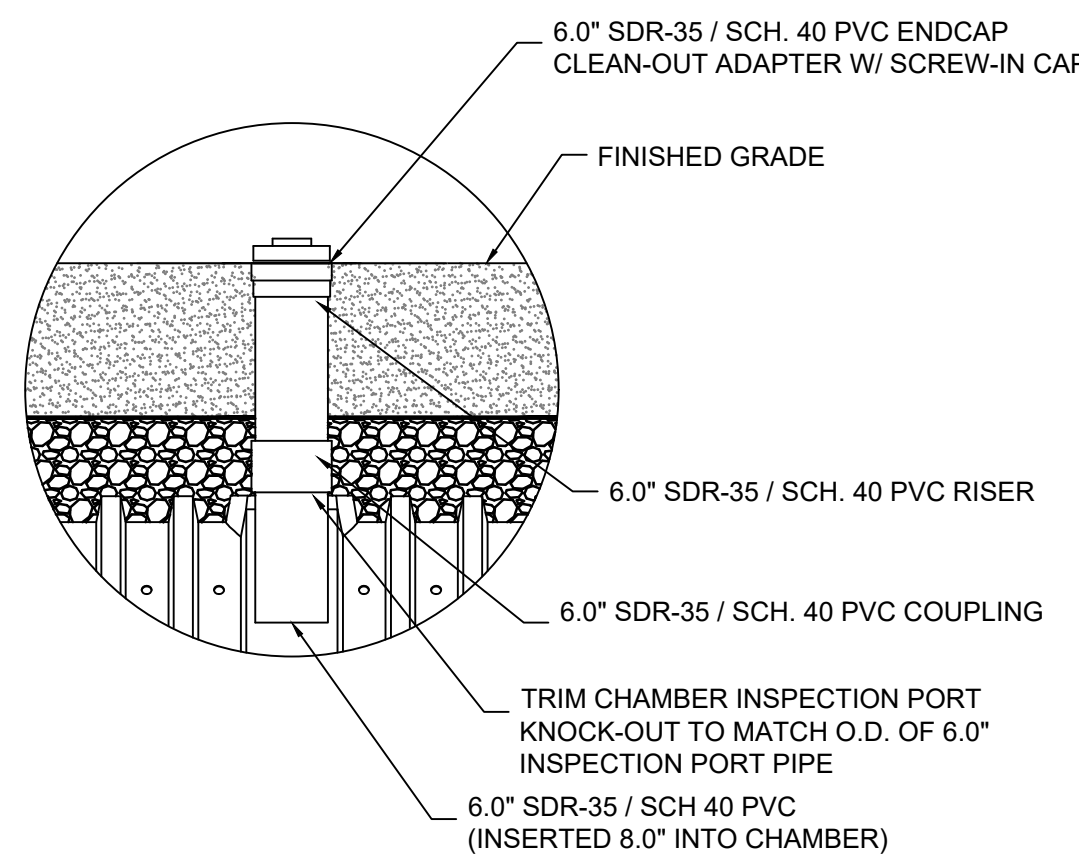
GENERAL
CULTEC RECHARGER 330XLHD CHAMBERS ARE DESIGNED FOR UNDERGROUND STORMWATER MANAGEMENT. THE CHAMBERS MAY BE USED FOR RETENTION, RECHARGING, DETENTION OR CONTROLLING THE FLOW OF ON-SITE STORMWATER RUNOFF.

CHAMBER PARAMETERS

1. THE CHAMBERS SHALL BE MANUFACTURED BY CULTEC, INC. OF BROOKFIELD, CT, USA. (203-775-4416 OR 1-800-428-5832)
2. THE CHAMBER SHALL BE VACUUM THERMOFORMED OF HIGH MOLECULAR WEIGHT HIGH DENSITY POLYETHYLENE (HMWHDPE) WITH A BLACK INTERIOR AND BLUE EXTERIOR.
3. THE CHAMBER SHALL BE ARCHED IN SHAPE.
4. THE CHAMBER SHALL BE OPEN-BOTTOMMED.
5. THE CHAMBER SHALL BE JOINED USING AN INTERLOCKING OVERLAPPING RIB METHOD. CONNECTIONS MUST BE FULLY SHOULDERED OVERLAPPING RIBS, HAVING NO SEPARATE COUPLINGS OR SEPARATE END WALLS
6. THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC RECHARGER 330XLHD SHALL BE 30.5 INCHES (775 mm) TALL, 52 INCHES (1321 mm) WIDE AND 8.5 FEET (2.59 m) LONG. THE INSTALLED LENGTH OF A JOINED RECHARGER 330XLHD SHALL BE 7 FEET (2.13 m).
7. MAXIMUM INLET OPENING ON THE CHAMBER ENDWALL IS 24 INCHES (600 mm).
8. THE CHAMBER SHALL HAVE TWO SIDE PORTALS TO ACCEPT CULTEC HVLV® FC-24 FEED CONNECTORS TO CREATE AN INTERNAL MANIFOLD. THE NOMINAL DIMENSIONS OF EACH SIDE PORTAL SHALL BE 10.5 INCHES (267 mm) HIGH BY 11.5 INCHES (292 mm) WIDE. MAXIMUM ALLOWABLE OUTER DIAMETER (O.D.) PIPE SIZE IN THE SIDE PORTAL IS 11.75 INCHES (298 mm).
9. THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC HVLV FC-24 FEED CONNECTOR SHALL BE 12 INCHES (305 mm) TALL, 16 INCHES (406 mm) WIDE AND 24.2 INCHES (614 mm) LONG.
10. THE NOMINAL STORAGE VOLUME OF THE RECHARGER 330XLHD CHAMBER SHALL BE 7.459 FT³ / FT (0.693 m³ / m) - WITHOUT STONE. THE NOMINAL STORAGE VOLUME OF A JOINED RECHARGER 330XLHD SHALL BE 52.213 FT³ / UNIT (1.478 m³ / UNIT) - WITHOUT STONE.
11. THE NOMINAL STORAGE VOLUME OF THE HVLV FC-24 FEED CONNECTOR SHALL BE 0.913 FT³ / FT (0.085 m³ / m) - WITHOUT STONE.
12. THE RECHARGER 330XLHD CHAMBER SHALL HAVE FIFTY-SIX DISCHARGE HOLES BORED INTO THE SIDEWALLS OF THE UNIT'S CORE TO PROMOTE LATERAL CONVEYANCE OF WATER.
13. THE RECHARGER 330XLHD CHAMBER SHALL HAVE 16 CORRUGATIONS.
14. THE ENDWALL OF THE CHAMBER, WHEN PRESENT, SHALL BE AN INTEGRAL PART OF THE CONTINUOUSLY FORMED UNIT. SEPARATE END PLATES CANNOT BE USED WITH THIS UNIT.
15. THE RECHARGER 330XLHD STAND ALONE UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO FULLY FORMED INTEGRAL ENDWALLS AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS.
16. THE RECHARGER 330XLHD STARTER UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY FORMED INTEGRAL ENDWALL AND ONE PARTIALLY FORMED INTEGRAL ENDWALL WITH A LOWER TRANSFER OPENING OF 14 INCHES (356 mm) HIGH X 34.5 INCHES (876 mm) WIDE.
17. THE RECHARGER 330XLHD INTERMEDIATE UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY OPEN ENDWALL AND ONE PARTIALLY FORMED INTEGRAL ENDWALL WITH A LOWER TRANSFER OPENING OF 14 INCHES (356 mm) HIGH X 34.5 INCHES (876 mm) WIDE.
18. THE RECHARGER 330XLHD END UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY FORMED INTEGRAL ENDWALL AND ONE FULLY OPEN END WALL AND HAVING NO SEPARATE END PLATES OR END WALLS.
19. THE HVLV FC-24 FEED CONNECTOR MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO OPEN END WALLS AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS. THE UNIT SHALL FIT INTO THE SIDE PORTALS OF THE RECHARGER 330XLHD AND ACT AS CROSS FEED CONNECTIONS.
20. CHAMBERS MUST HAVE HORIZONTAL STIFFENING FLEX REDUCTION STEPS BETWEEN THE RIBS.
21. THE CHAMBER SHALL HAVE A 6 INCH (152 mm) DIAMETER RAISED INTEGRAL CAP AT THE TOP OF THE ARCH IN THE CENTER OF EACH UNIT TO BE USED AS AN OPTIONAL INSPECTION PORT OR CLEAN-OUT.
22. THE UNITS MAY BE TRIMMED TO CUSTOM LENGTHS BY CUTTING BACK TO ANY CORRUGATION.
23. THE CHAMBER SHALL BE MANUFACTURED IN AN ISO 9001:2015 CERTIFIED FACILITY.
24. MAXIMUM ALLOWED COVER OVER TOP OF UNIT SHALL BE 12 FEET (3.66 m)
25. THE CHAMBER SHALL BE DESIGNED TO WITHSTAND TRAFFIC LOADS WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS.

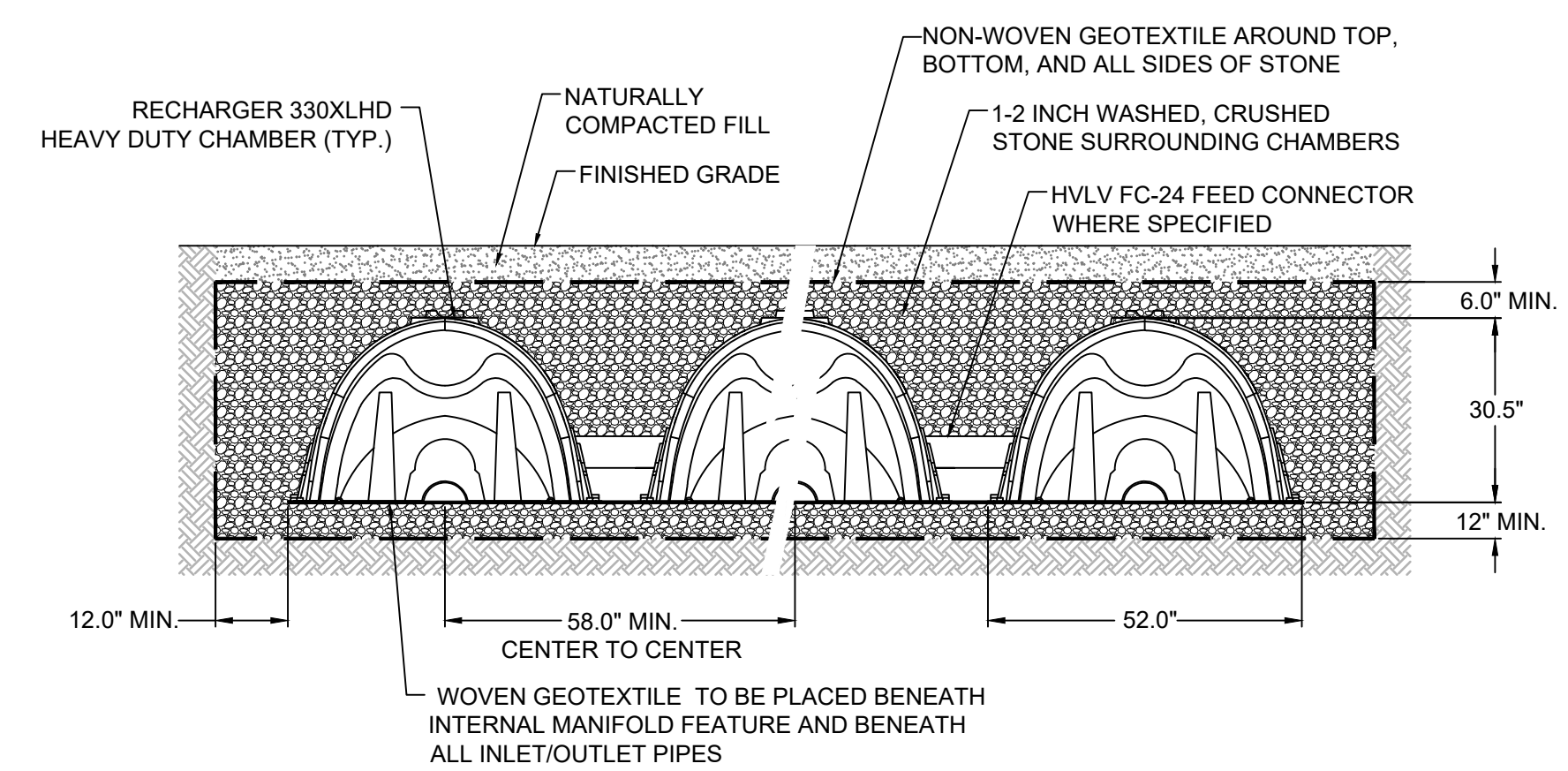


CULTEC RECHARGER 330XLHD HEAVY DUTY PLAN VIEW
NOT TO SCALE

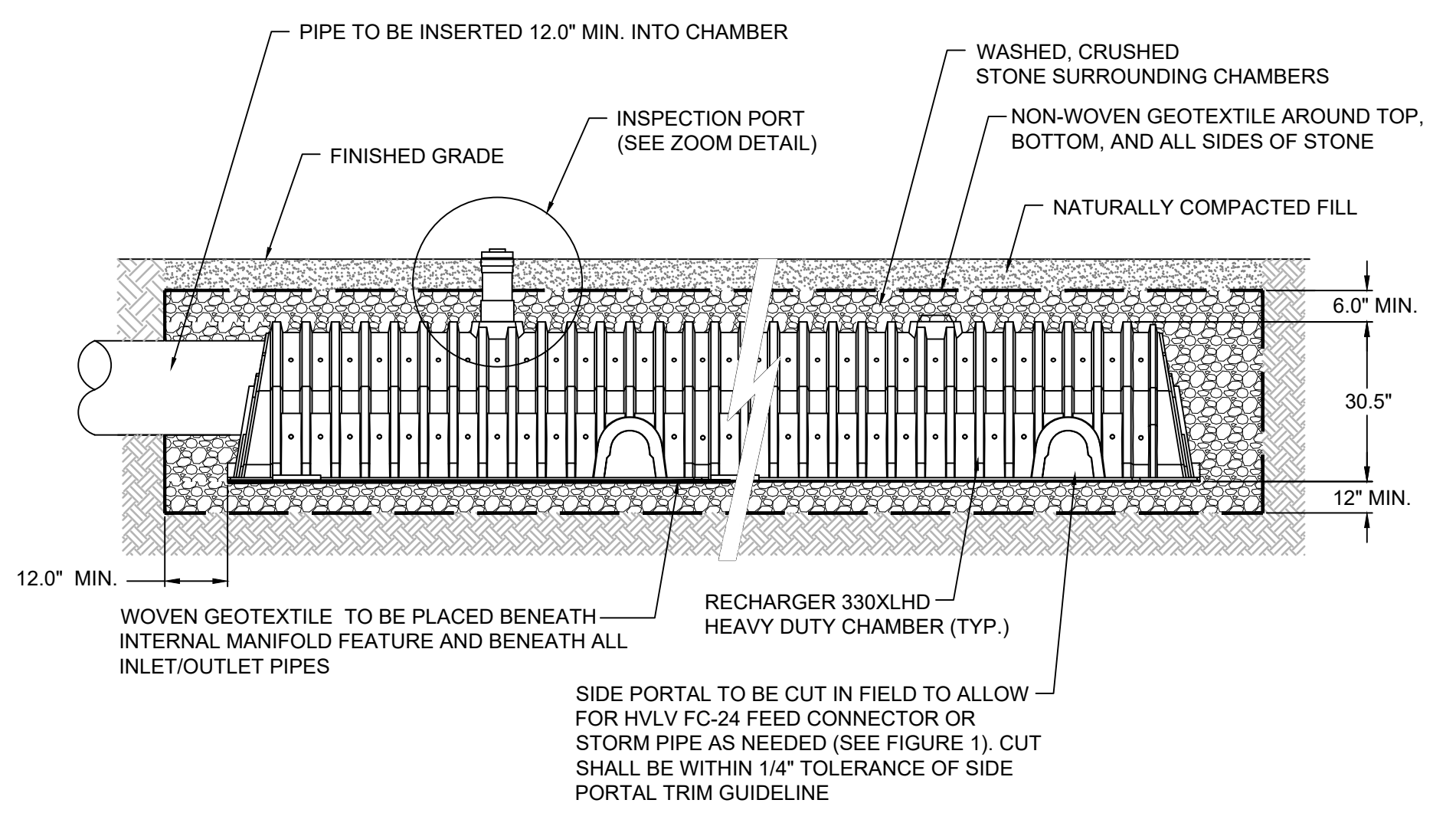


INSPECTION PORT- ZOOM DETAIL
NOT TO SCALE

- NOTES:
1. CRUSHED STONE SHALL BE CLEAN, WASHED, CRUSHED STONE CONFORMING TO GRADATION LISTED IN SECTION M.01.09, TABLE I, COLUMN II OF THE RIDOT STANDARD SPECIFICATIONS.
 2. FILTER FABRIC SHALL COMPLY WITH SECTION 703.02.2 OF THE RIDOT STANDARD SPECIFICATIONS AND SHALL BE LISTED ON THE RIDOT APPROVED MATERIALS LIST AS A FABRIC SUITABLE FOR UNDERDRAIN APPLICATIONS.
 3. CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED GUIDANCE.
 4. CONSTRUCTION EQUIPMENT SHALL NOT BE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED GUIDANCE. AT NO TIME SHALL CONSTRUCTION EQUIPMENT BE ALLOWED ON BARE CHAMBERS.



CULTEC RECHARGER 330XLHD HEAVY DUTY TYPICAL CROSS SECTION
NOT TO SCALE



CULTEC INTERNAL MANIFOLD- OPTIONAL INSPECTION PORT DETAIL
NOT TO SCALE

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Issues / Revisions		
No.	Date	Description
v2	7/28/2023	SCHEMATIC DESIGN
	2/20/2024	CITY OF PROV MASTER PLAN
	2/29/2024	DESIGN DEVELOPMENT

Drawing Title
CONSTRUCTION DETAILS

Project Manager: BDN Project No: 41037
Drawn by: LBD Scale: AS NOTED

Drawing Number
C-6.5

RHODE ISLAND DEPARTMENT OF TRANSPORTATION
CATCH BASIN AND MANHOLE STEP
R.I. STANDARD 5.3.0
JUNE 15, 1998

RHODE ISLAND DEPARTMENT OF TRANSPORTATION
HEAVY-DUTY ROUND FRAME AND COVER
R.I. STANDARD 6.2.1
JUNE 15, 1998

RHODE ISLAND DEPARTMENT OF TRANSPORTATION
GRANITE CURB
R.I. STANDARD 7.3.0
JUNE 15, 1998

RHODE ISLAND DEPARTMENT OF TRANSPORTATION
CURB SETTING DETAIL
R.I. STANDARD 7.6.0
JUNE 15, 1998

RHODE ISLAND DEPARTMENT OF TRANSPORTATION
PRECAST CONCRETE DROP INLET
R.I. STANDARD 4.5.0
JUNE 15, 1998

RHODE ISLAND DEPARTMENT OF TRANSPORTATION
GRANITE SLOPED FACE CURB
R.I. STANDARD 7.4.0
JUNE 15, 1998

RHODE ISLAND DEPARTMENT OF TRANSPORTATION
CEMENT CONCRETE SIDEWALK
R.I. STANDARD 43.1.0
JUNE 15, 1998

RHODE ISLAND DEPARTMENT OF TRANSPORTATION
CONSTRUCTION ACCESS
R.I. STANDARD 9.9.0
JUNE 15, 1998

RHODE ISLAND DEPARTMENT OF TRANSPORTATION
ALTERNATE TOP COVER FOR ROUND PRECAST MANHOLES AND CATCH BASINS
R.I. STANDARD 4.7.2
JUNE 15, 1998

RHODE ISLAND DEPARTMENT OF TRANSPORTATION
HIGH CAPACITY FRAME AND GRATE (BICYCLE SAFE)
R.I. STANDARD 6.5.4
JUNE 15, 1998

RHODE ISLAND DEPARTMENT OF TRANSPORTATION
PRECAST 4'-0", 5'-0", OR 6'-0" ROUND CATCH BASIN
R.I. STANDARD 4.4.0 (MOD)
JUNE 15, 1998

RHODE ISLAND DEPARTMENT OF TRANSPORTATION
DETECTABLE WARNING SYSTEM
R.I. STANDARD 48.1.0
JUNE 15, 1998

RHODE ISLAND DEPARTMENT OF TRANSPORTATION
WHEELCHAIR RAMP
R.I. STANDARD 43.3.0
JUNE 15, 1998

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Issues / Revisions		
No.	Date	Description
1	7/29/2023	SCHEMATIC DESIGN
2	2/20/2024	CITY OF PROV MASTER PLAN
3	2/29/2024	DESIGN DEVELOPMENT

Drawing Title

CONSTRUCTION DETAILS

Project Manager: BDN Project No: 41037
Drawn by: LBD Scale: AS NOTED

Drawing Number
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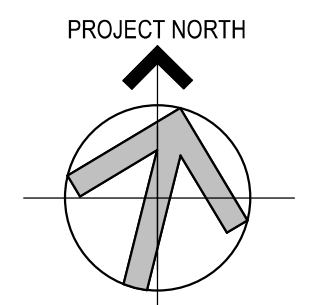
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Seals

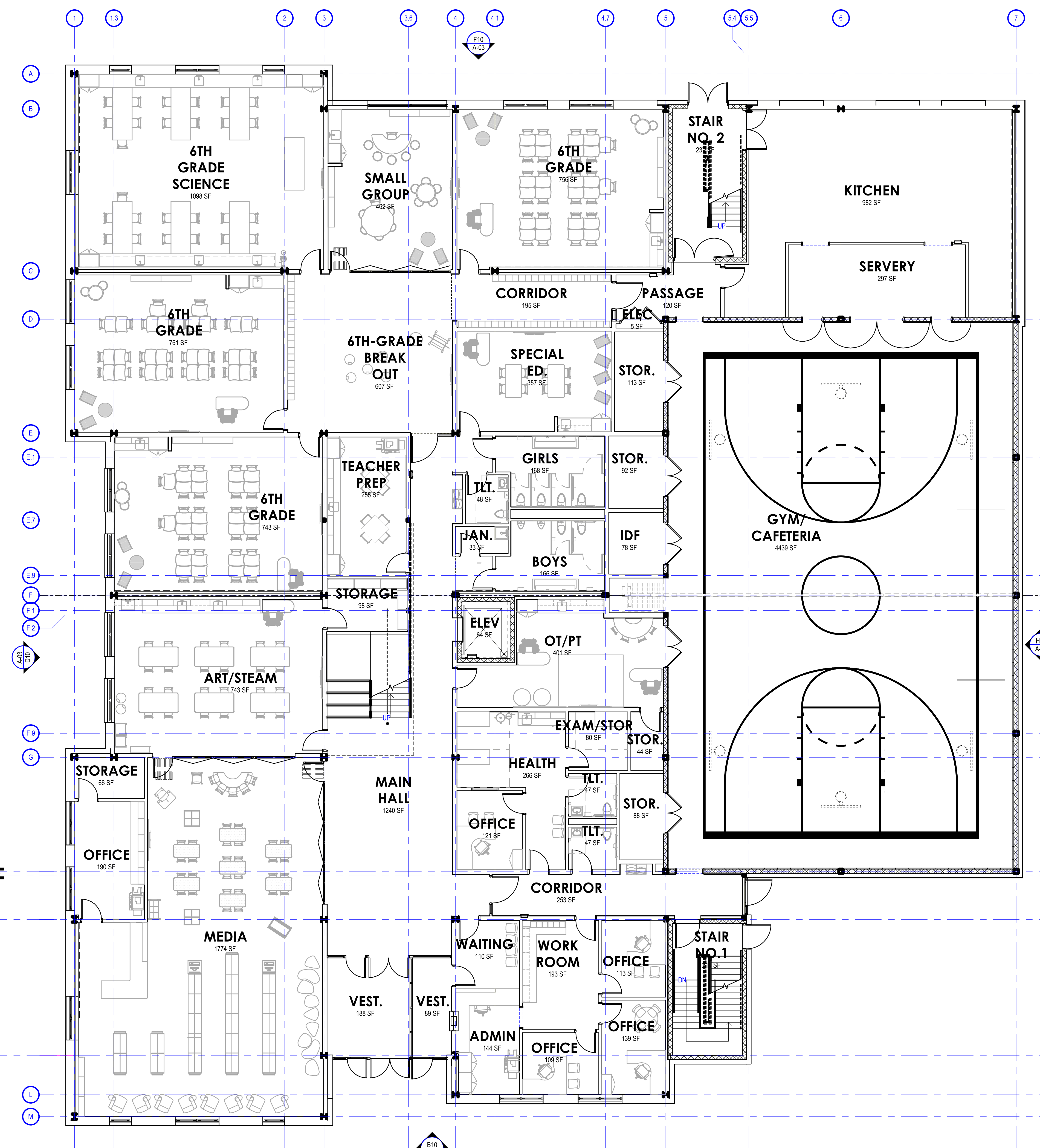
Issues / Revisions	
No.	Description
02/29/2024	MASTER PLAN SUBMISSION
03/15/2024	CPC RESUBMISSION

Drawing Title
LOWER AND MAIN LEVEL PLANS

Project Manager:	JH	Project No.:	PRV-02-AR
Project Architect:	LB	Production Leader:	NA
Project Designer:	EN/CL	Peer Reviewer:	RA

Drawing Number

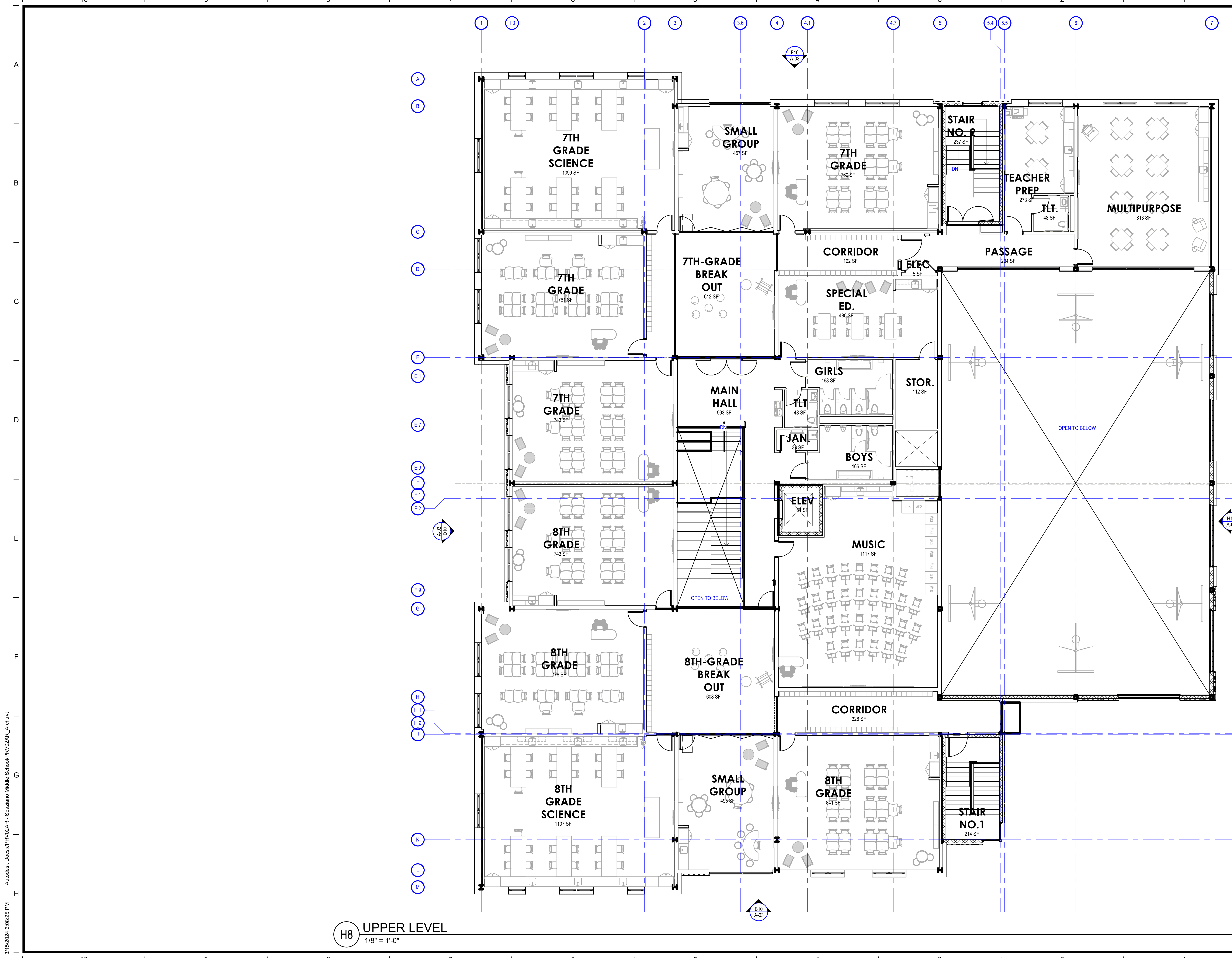
A-01



H10 LOWER LEVEL
1/8" = 1'-0"

H7 MAIN LEVEL
1/8" = 1'-0"

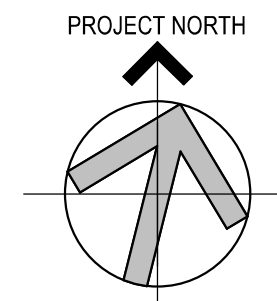
3/15/2024 6:08:20 PM Autodesk Docs://PRV02AR - Spaziano Middle School/PRV02AR_Arch.rvt



H8 UPPER LEVEL
1/8" = 1'-0"

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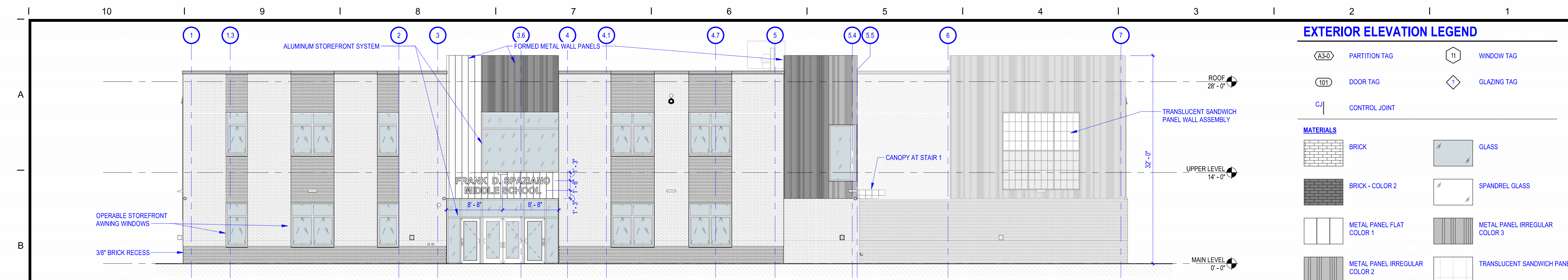


Issues / Revisions No.	Date	Description
02/20/2024		MASTER PLAN SUBMISSION
03/15/2024		CPC RESUBMISSION

Drawing Title
UPPER LEVEL PLAN

Project Manager:	JH	Project No:	PRV-02-AR
Project Architect:	LB	Production Leader:	NA
Project Designer:	EN/CL	Peer Reviewer:	RA

Drawing Number
A-02



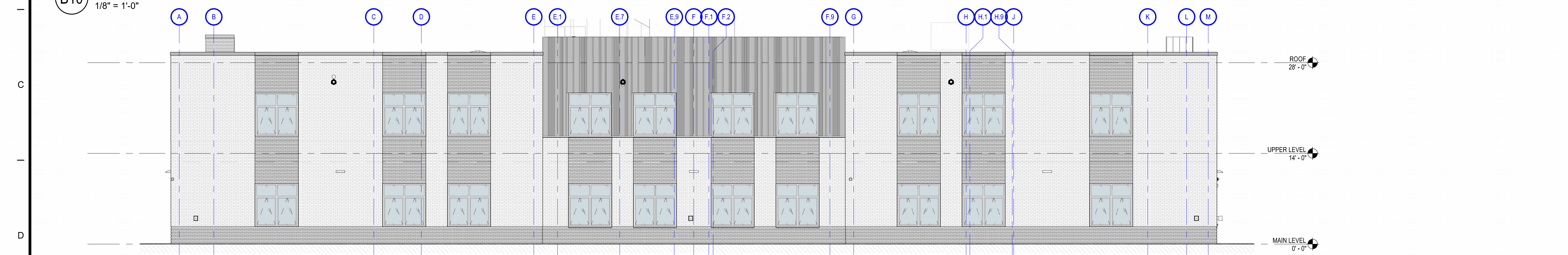
EXTERIOR ELEVATION LEGEND

	PARTITION TAG		WINDOW TAG
	DOOR TAG		GLAZING TAG
	CONTROL JOINT		

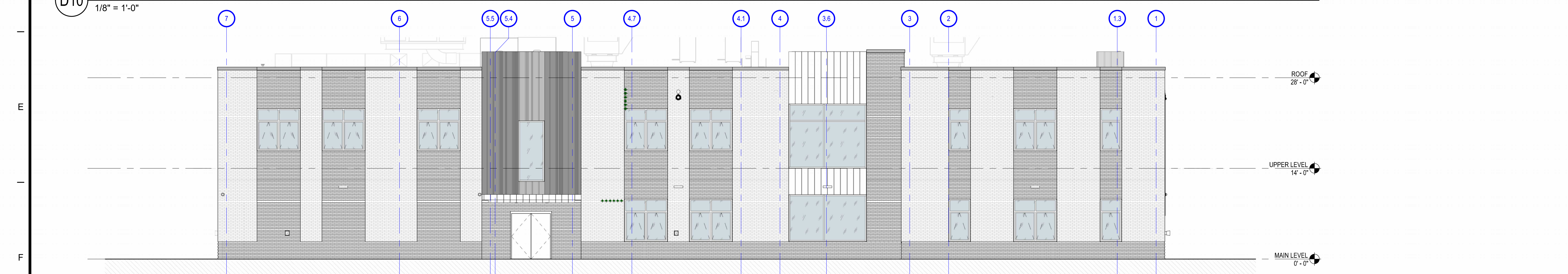
MATERIALS

	BRICK		GLASS
	BRICK - COLOR 2		SPANDREL GLASS
	METAL PANEL FLAT COLOR 1		METAL PANEL IRREGULAR COLOR 3
	METAL PANEL IRREGULAR COLOR 2		TRANSLUCENT SANDWICH PANEL

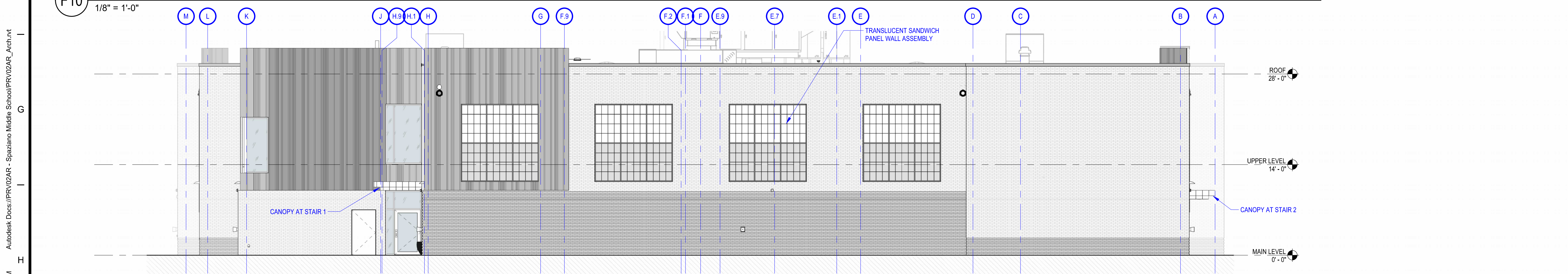
B10 EXTERIOR ELEVATION - LABAN STREET (SOUTH)
1/8" = 1'-0"



D10 EXTERIOR ELEVATION MERINO STREET (WEST)
1/8" = 1'-0"



F10 EXTERIOR ELEVATION EASTWOOD AVENUE (NORTH)
1/8" = 1'-0"



H10 EXTERIOR ELEVATION EAST
1/8" = 1'-0"

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Seals

Issues / Revisions No.	Date	Description
02/20/2024		MASTER PLAN SUBMISSION
03/15/2024		CPC RESUBMISSION

Drawing Title
EXTERIOR ELEVATIONS

Project Manager: JH	Project No: PRV-02-AR
Project Architect: LB	Production Leader: NA
Project Designer: EN/CL	Peer Reviewer: RA

Drawing Number
A-03

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Seals

Issues / Revisions	
No.	Description
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03/15/2024	CPC RESUBMISSION

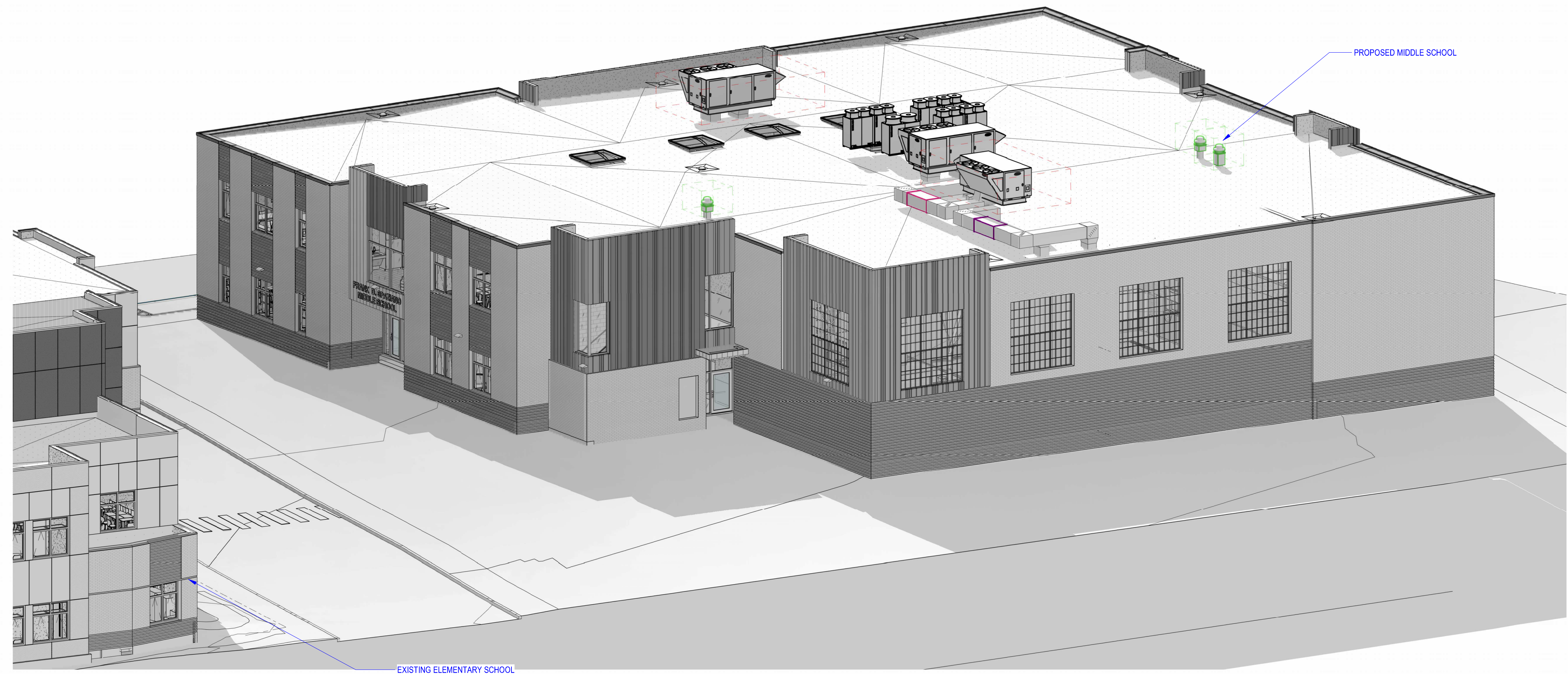
Drawing Title
EXTERIOR MASSING

Project Manager:	JH	Project No.:	PRV-02-AR
Project Architect:	LB	Production Leader:	NA
Project Designer:	EN/CL	Peer Reviewer:	RA

Drawing Number
A-04



D10 MERINO STREET MASSING (FROM NORTHWEST)



H10 LABAN STREET MASSING (FROM SOUTHEAST)

3/15/2024 6:22:46 PM Autodesk Docs://PRV02AR - Spaziano Middle School/PRV02AR_Arch.rvt

10 | 9 | 8 | 7 | 6 | 5 | 4 | 3 | 2 | 1

A

B

C

D

E

F

G

H



D7 VIEW FROM LABAN STREET
1/8" = 1'-0"



H7 VIEW FROM MERINO AND LABAN
1/8" = 1'-0"

Tecton
ARCHITECTS

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Client/ Contractor
PROVIDENCE PUBLIC SCHOOLS

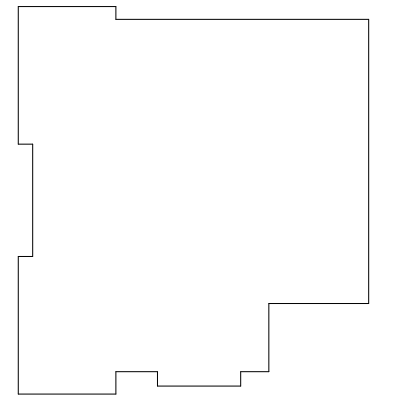
797 WESTMINSTER STREET
PROVIDENCE, RI 02903

Project
SPAZIANO MIDDLE SCHOOL

254 EASTWOOD AVENUE
PROVIDENCE, RI 02909

Seals

KEY PLAN



H7

D7

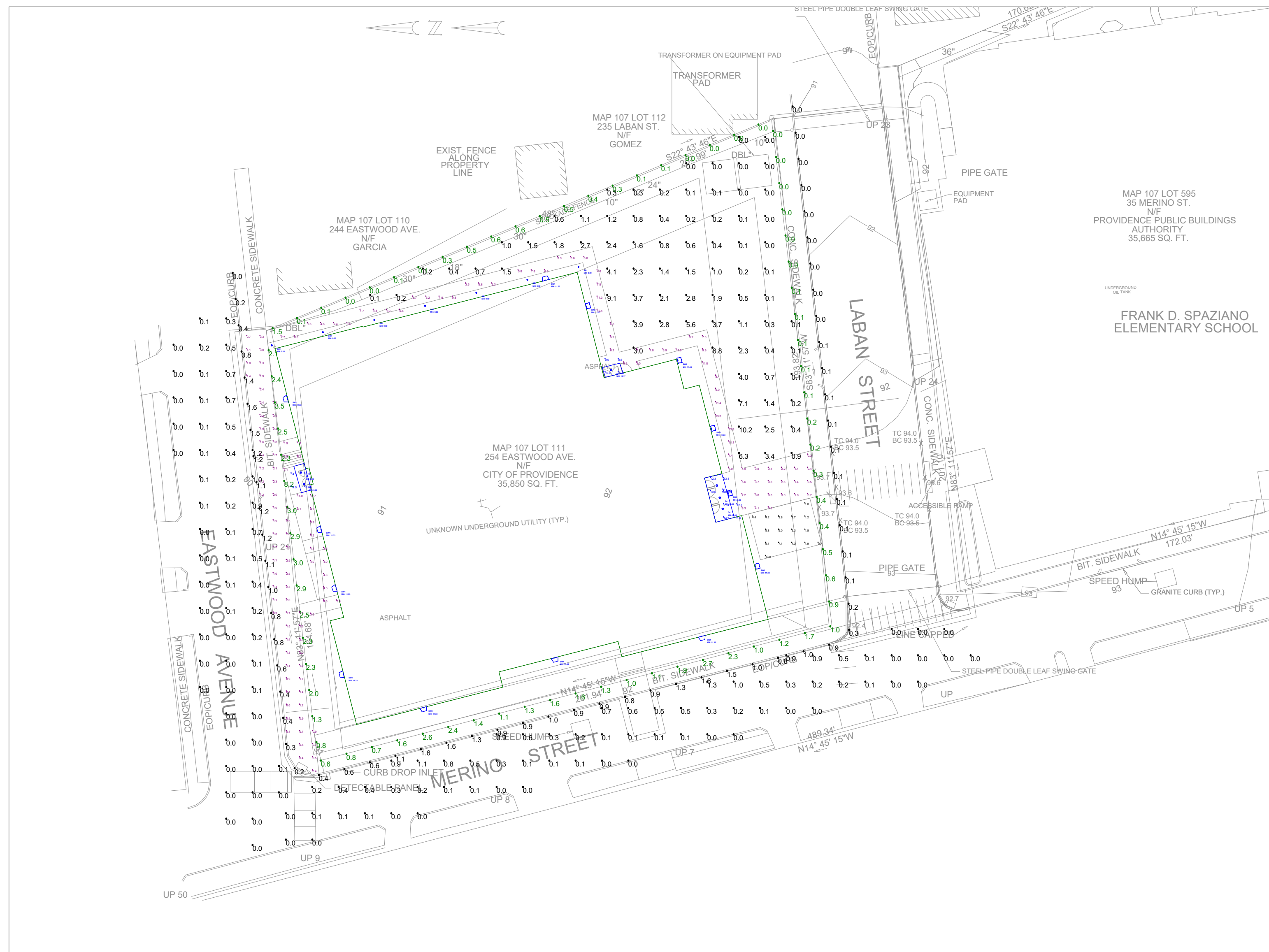
Issues / Revisions		Description
No.	Date	
02/20/2024		MASTER PLAN SUBMISSION
03/15/2024		CPC RESUBMISSION

Drawing Title
RENDERINGS

Project Manager:	JH	Project No.:	PRV-02-AR
Project Architect:	LB	Production Leader:	NA
Project Designer:	EN/CL	Peer Reviewer:	RA

Drawing Number

A-05



Scale: 1 inch= 30 Ft.

LIGHTING DETAILS:

Luminaire Schedule								
Label	Symbol	Qty	LLF	[MANUFAC]	Description	Luminaire Lumens	Luminaire Watts	
D4		6	0.774	LIGHTOLIER BY SIGNIFY	4RN, P4RDL20935WCCZ10U	1844	16.1	
SB1		7	0.900	SIGNIFY GARDCO	PBL-36-14L-100-NW-G2-3-UNV-XX	492	6.1	
SW1		8	0.900	SIGNIFY GARDCO	101L-16L-400-NW-G2-3-UNV-FAWS-XX	2728	22	
SW2		1	0.900	STONCO	LPW32-70-NW-G3-4-UNV-FAWS-XX	8139	64.6	
SW3		4	0.900	STONCO	LPW32-70-NW-G3-3-UNV-FAWS-XX	8248	64.6	

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Grid Z
BIKE RACKS	Illuminance	Fc	4.37	13.9	0.7	6.24	19.86	0
BIT SIDEWALK	Illuminance	Fc	1.65	3.4	0.4	4.13	8.50	0
EASTWOOD STREET	Illuminance	Fc	0.18	1.2	0.0	N.A.	N.A.	0
ENTRANCE - EASTWOOD STREET	Illuminance	Fc	16.60	19.3	14.0	1.19	1.38	0
ENTRANCE - LABAN STREET	Illuminance	Fc	15.26	21.4	8.6	1.77	2.49	0
ENTRANCE - SOUTHEAST	Illuminance	Fc	9.63	10.4	8.8	1.09	1.18	0
EOP-CRUB	Illuminance	Fc	0.63	1.6	0.0	N.A.	N.A.	N.A.
MERINO STREET	Illuminance	Fc	0.26	1.3	0.0	N.A.	N.A.	0
PLAYGROUND	Illuminance	Fc	1.55	10.2	0.0	N.A.	N.A.	0
PROPERTY BOUNDARY	Illuminance	Fc	1.10	8.2	0.0	N.A.	N.A.	N.A.
SIDEWALK NORTH	Illuminance	Fc	4.68	11.0	1.8	2.60	6.11	0
SIDEWALK SOUTHEAST	Illuminance	Fc	5.04	13.8	0.3	16.80	46.00	0

DESIGN NOTES:

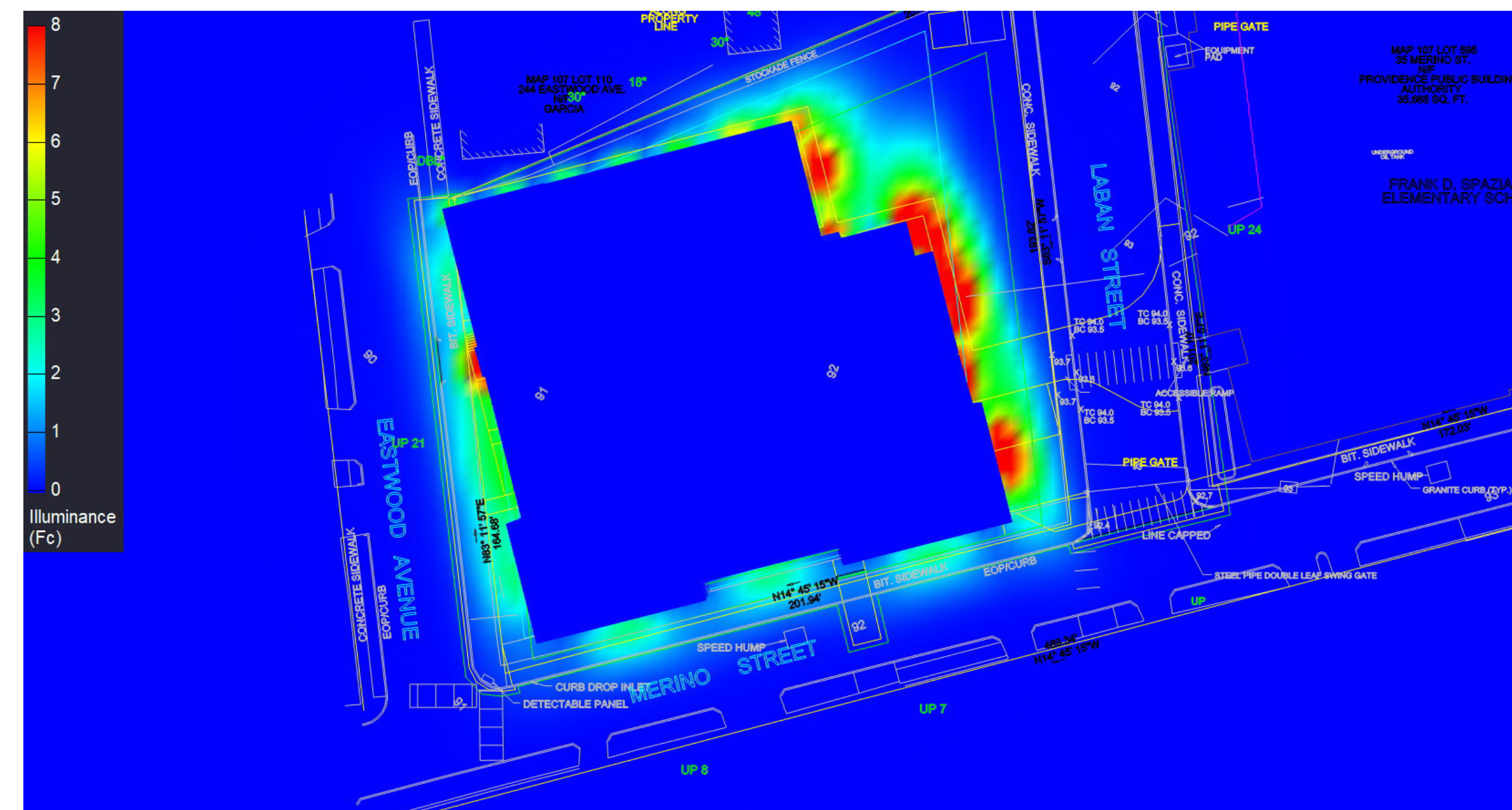
1. MOUNTING HEIGHTS: SEE FIXTURE LOCATIONS
2. MEASUREMENTS TAKEN 0" AFF
3. SURFACE REFLECTANCE: .5

Note on this Design:
This report makes no representations in regard to Lighting Design or Specification, rather it attempts to accurately reflect the photometric results of a design, as approved by others.

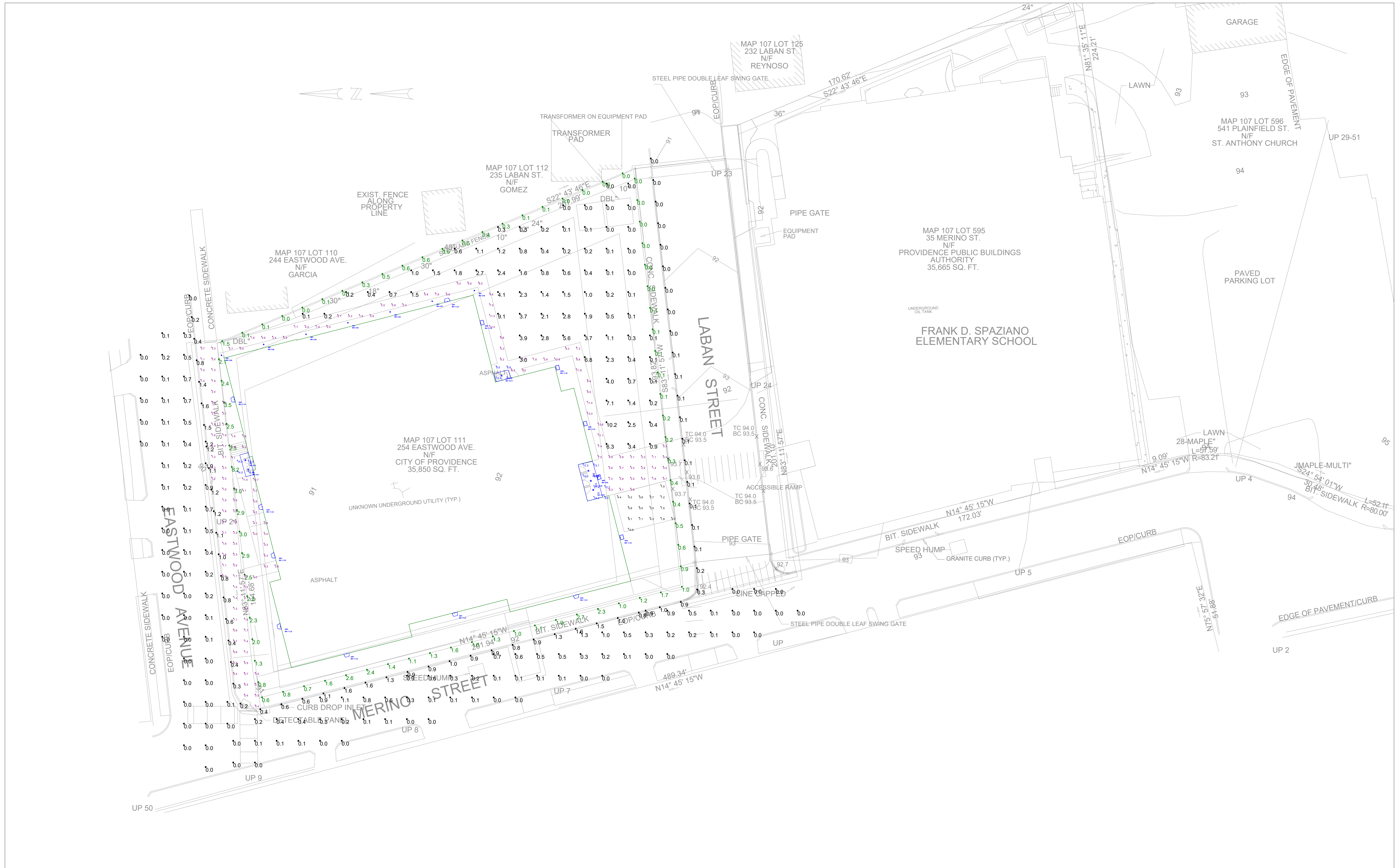
Note on these Photometric Calculations:
This analysis is a mathematical model and can be only as accurate as is permitted by the third-party software and the IES standards used. All digital CAD data appear to be accurate, however, this apparent accuracy is an artifact of the techniques used to generate it and is in no way intended to imply accuracy in the real world.

There are many factors that will impact the actual performance of Lighting in the constructed space, including: the accuracy of the original source (.ies) files supplied by the manufacturer, input voltage ballast variances, actual finish values in the constructed environment, manufacturing variations in both the source (lamp) and the luminaire, final luminaire placement, obstructions, and installation quality. Further, field measurement itself is subject to errors arising from measuring methods and/or technology selected, and the knowledge/ability of the measuring party. While the creator of this lighting study makes every effort to ensure accuracy, they cannot be held liable for any errors. The recipient of this lighting study understands and accepts that the likelihood of scaling error increases when no .DWG file or other properly-dimensioned drawing is provided to the designer.

Reflective Values have a significant effect on light levels, the end-user of the document should confirm these values before accepting the results of any photometric report. The managing contractor/architect/engineer is responsible for ensuring compliance to all relevant lighting ordinance(s) and energy codes required on this project.

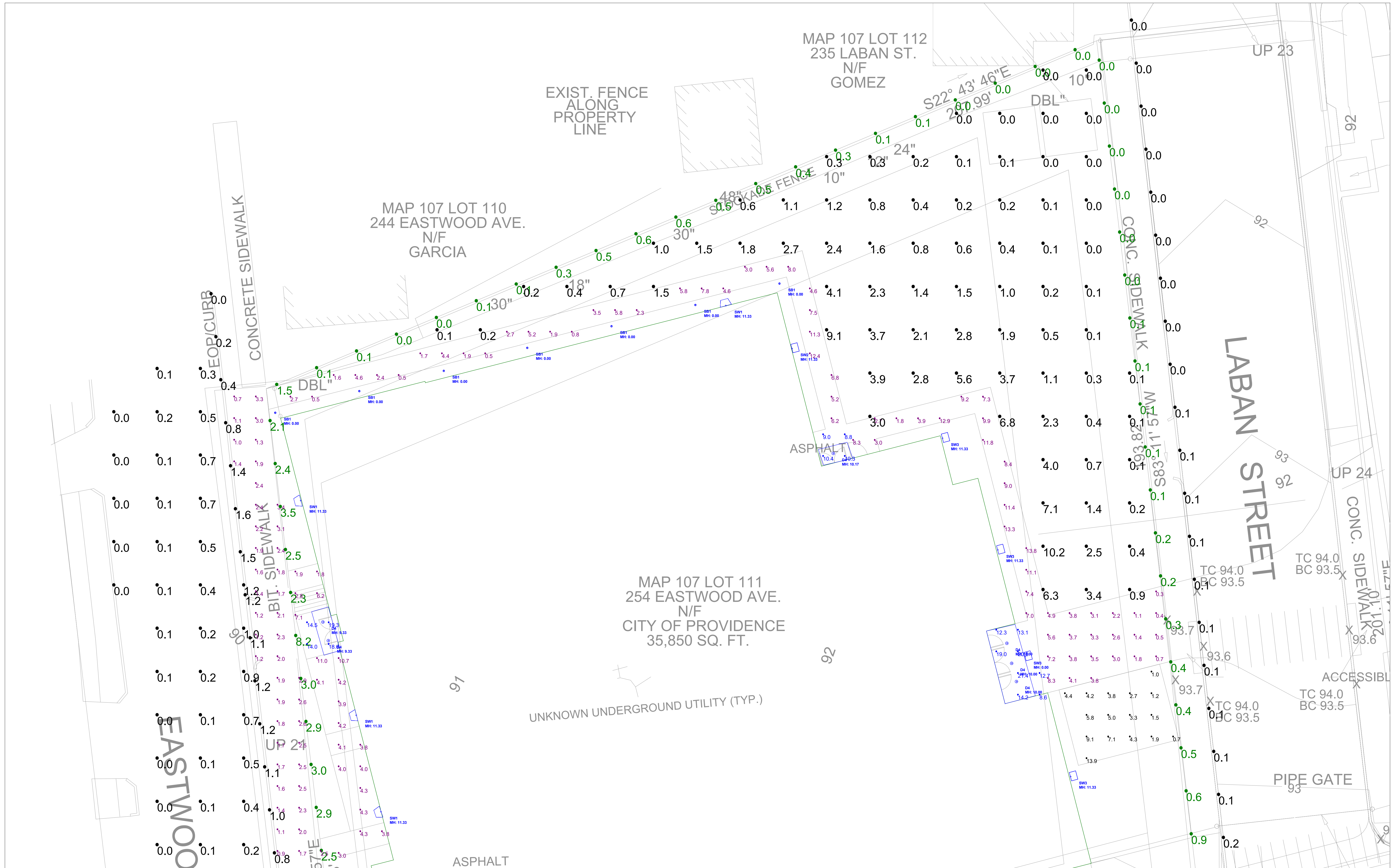


Overall Layout:



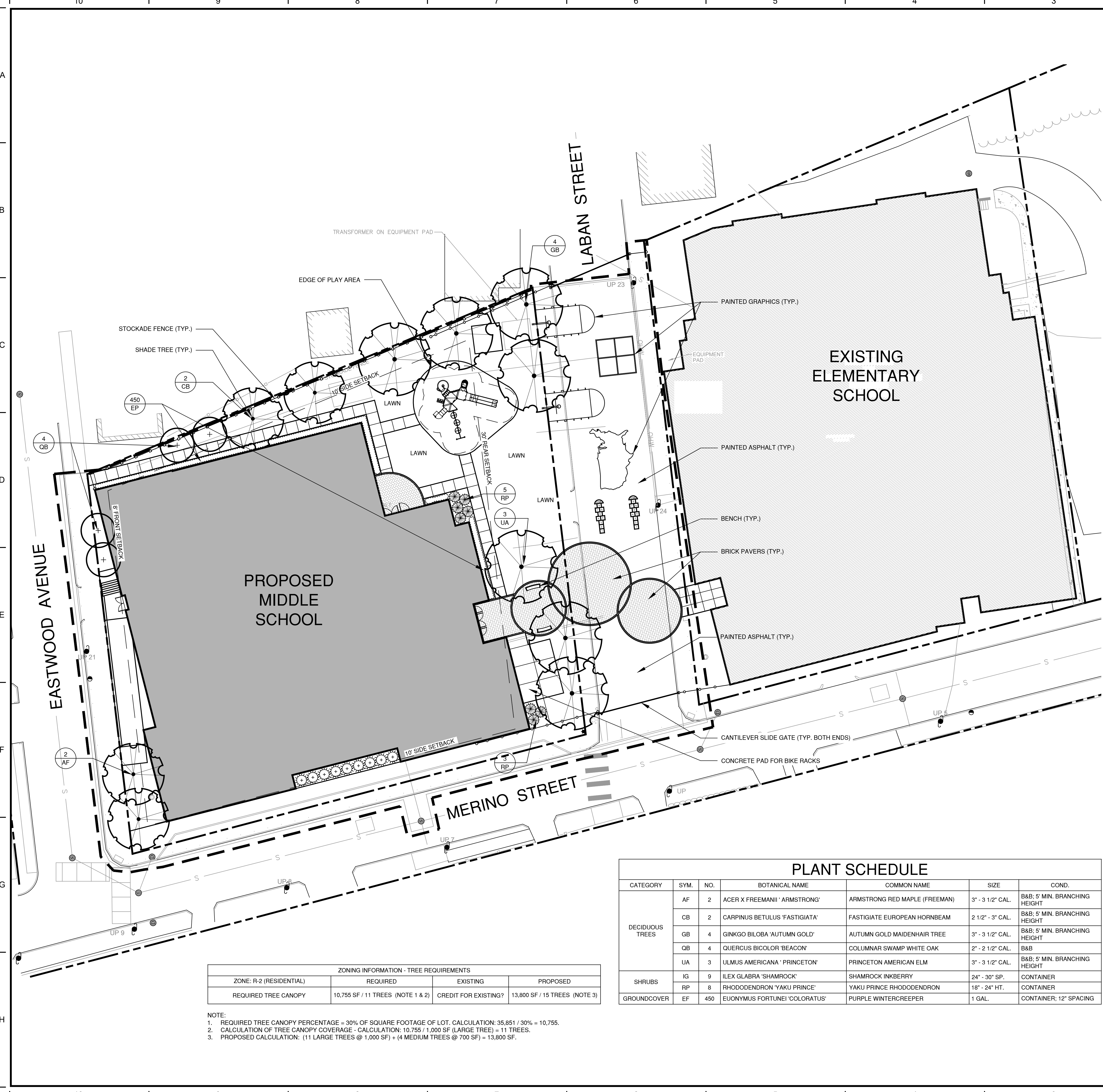
Scale: 1 inch= 20 Ft.

Layout East:



Scale: 1 inch= 10 Ft.

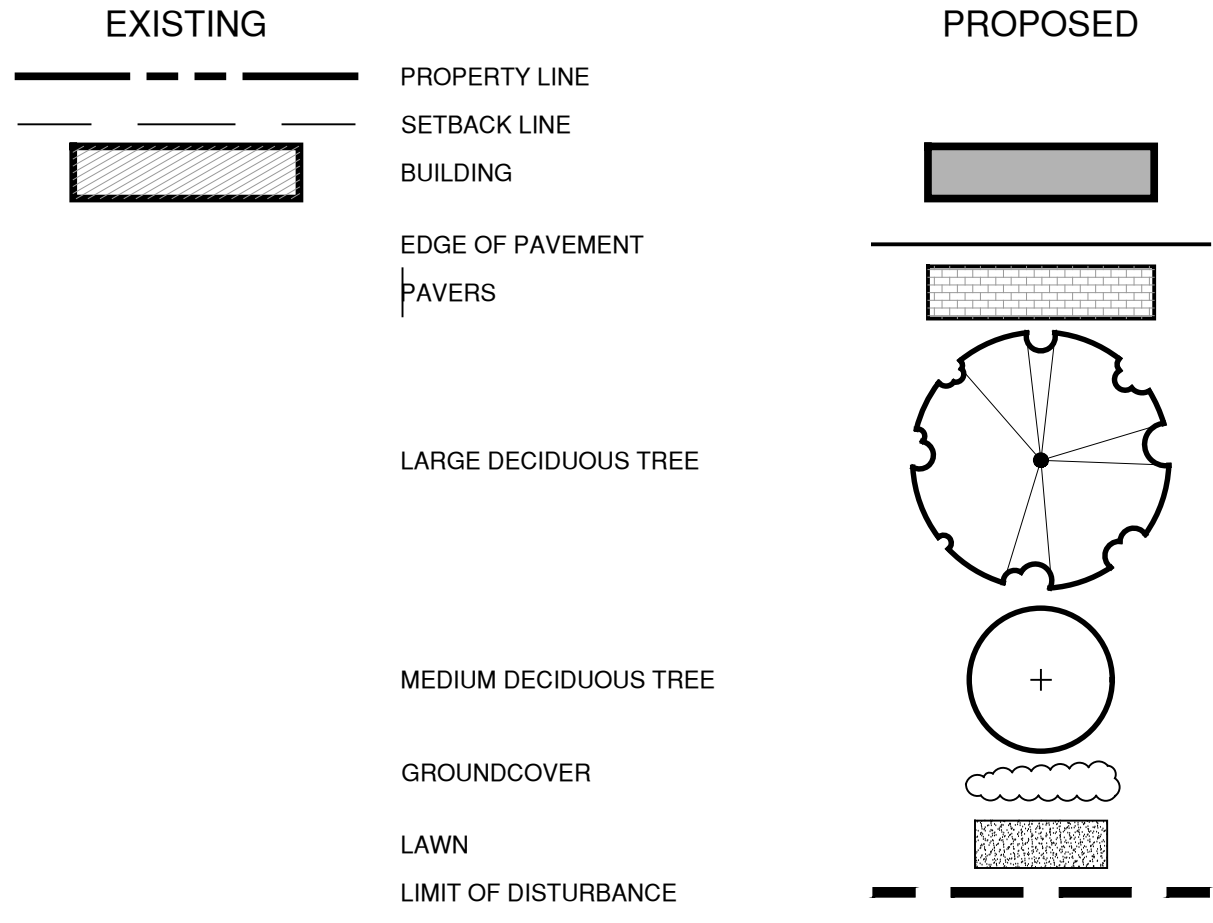
C:\Users\mdelha\FHI Studio\0257 PRV02AR Spaziano Middle School - General\DWG\2057-SitePlan.dwg 3/13/2024 5:25:55 PM mdelha



PLANTING NOTES

1. ALL PLANTING MATERIAL TO BE NURSERY GROWN STOCK SUBJECT TO APPLICABLE A.A.N. STANDARDS.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT LIST. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT LIST AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER NUMBER SHALL APPLY.
3. ALL PLANTS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION AND SHALL BE LOCATED AT THE GROWING SITE BY THE CONTRACTOR, FOR THE APPROVAL OF THE LANDSCAPE ARCHITECT. ANY INSTALLATIONS WHICH WERE NOT APPROVED BY THE LANDSCAPE ARCHITECT AND WHICH ARE SUBSEQUENTLY REQUESTED TO BE REMOVED, WILL BE DONE AT THE CONTRACTORS EXPENSE.
4. PRECISE LOCATION OF ITEMS NOT DIMENSIONED ON THE PLAN ARE TO BE FIELD STAKED BY THE CONTRACTOR AND SHALL BE SUBJECT TO THE REQUIREMENTS SPECIFIED IN THE PREVIOUS NOTE.
5. ALL SHRUB AND TREE PITS SHALL BE MULCHED TO A DEPTH OF 3" WITH SHREDDED PINE BARK MULCH.
6. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGED VEGETATION AND SHALL REPLACE OR REPAIR ANY DAMAGE, AT HIS OWN EXPENSE.
7. ALL SHRUB AND GROUND COVER PLANTING AREAS SHALL HAVE CONTINUOUS BEDS OF TOPSOIL, 18" DEEP.
8. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES IN THE FIELD. WHERE PLANT MATERIAL MAY INTERFERE WITH UTILITIES, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT TO COORDINATE THEIR INSTALLATION.
9. PLANTINGS INSTALLED IN THE DRY SUMMER MONTHS AND/OR LAWN SEEDED OUT OF SPRING OR FALL PERIODS, IF ALLOWED BY OWNER, WILL REQUIRE AGGRESSIVE IRRIGATION PROGRAMS AT THE CONTRACTORS EXPENSE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
10. SUBSTITUTIONS PERMITTED ONLY UPON WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
11. PLANT TAGS TO REMAIN ON ALL PLANT MATERIAL UNTIL FINAL ACCEPTANCE. CONTRACTOR TO THEN REMOVE ALL PLANT TAGS.
12. WHERE A SIZE RANGE IS GIVEN IN THE PLANT SCHEDULE, AT LEAST 50% OF THE PLANTS PROVIDED SHALL BE OF THE LARGER SIZE.
13. CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR ONE YEAR AFTER DATE OF FINAL ACCEPTANCE.
14. CONTRACTOR TO MAINTAIN ALL PLANT MATERIAL UNTIL 60 DAYS AFTER FINAL ACCEPTANCE UNLESS NOTED OTHERWISE IN SPECS.
15. TOPSOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES AND NOT COVERED BY OTHER SITE IMPROVEMENTS.

LEGEND



SEEDING

FERTILIZE ACCORDING TO SOIL TEST OR AT THE RATE OF 1000 LBS. PER ACRE WITH 10-10-10 FERTILIZER. 40% OF THE NITROGEN TO BE A SLOW RELEASE FORM. LIME TO A PH OF 6.5 AT A RATE OF 100 LBS. PER 1000 SF.

HART'S WEAR 'N TEAR MIX (1-800-529-2537)
 35% KENTUCKY BLUEGRASS
 35% CREEPING RED FESCUE
 20% METOLLIUS PERENNIAL RYEGRASS
 10% DESCHUTES PERENNIAL RYEGRASS

ALL PLANTING BEDS SHALL BE A CONTINUOUS PIT AS FOLLOWS:
 A. PERENNIALS - 12" DEPTH
 B. SHRUBS - 18" DEPTH

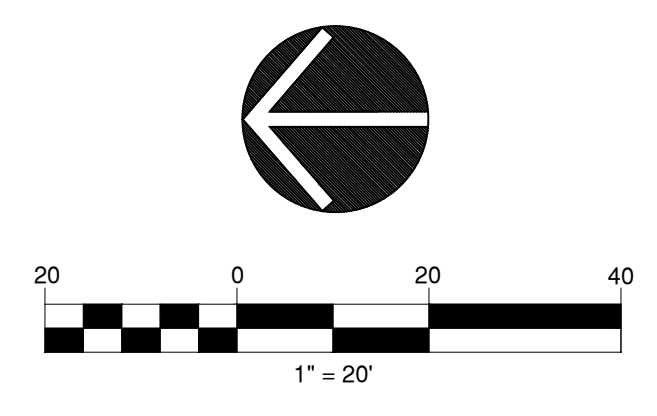
PLANT SCHEDULE

CATEGORY	SYM.	NO.	BOTANICAL NAME	COMMON NAME	SIZE	COND.
DECIDUOUS TREES	AF	2	ACER X FREEMANNI 'ARMSTRONG'	ARMSTRONG RED MAPLE (FREEMAN)	3" - 3 1/2" CAL.	B&B; 5' MIN. BRANCHING HEIGHT
	CB	2	CARPINUS BETULUS 'FASTIGIATA'	FASTIGIATE EUROPEAN HORNBEAM	2 1/2" - 3" CAL.	B&B; 5' MIN. BRANCHING HEIGHT
	GB	4	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD MAIDENHAIR TREE	3" - 3 1/2" CAL.	B&B; 5' MIN. BRANCHING HEIGHT
	QB	4	QUERCUS BICOLOR 'BEACON'	COLUMNAR SWAMP WHITE OAK	2" - 2 1/2" CAL.	B&B
SHRUBS	IG	9	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	24" - 30" SP.	CONTAINER
	RP	8	RHODODENDRON 'YAKU PRINCE'	YAKU PRINCE RHODODENDRON	18" - 24" HT.	CONTAINER
GROUNDCOVER	EF	450	EUONYMUS FORTUNEI 'COLORATUS'	PURPLE WINTERCREEPER	1 GAL.	CONTAINER; 12" SPACING

ZONING INFORMATION - TREE REQUIREMENTS

ZONE: R-2 (RESIDENTIAL)	REQUIRED	EXISTING	PROPOSED
REQUIRED TREE CANOPY	10,755 SF / 11 TREES (NOTE 1 & 2)	CREDIT FOR EXISTING?	13,800 SF / 15 TREES (NOTE 3)

- NOTE:
1. REQUIRED TREE CANOPY PERCENTAGE = 30% OF SQUARE FOOTAGE OF LOT. CALCULATION: 35,851 / 30% = 10,755.
 2. CALCULATION OF TREE CANOPY COVERAGE - CALCULATION: 10,755 / 1,000 SF (LARGE TREE) = 11 TREES.
 3. PROPOSED CALCULATION: (11 LARGE TREES @ 1,000 SF) + (4 MEDIUM TREES @ 700 SF) = 13,800 SF.



Tecton
ARCHITECTS

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ENGAGE | DESIGN | ADVANCE

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PROVIDENCE, RI 02903

Project
SPAZIANO MIDDLE SCHOOL

254 EASTWOOD AVENUE
PROVIDENCE, RI 02909

Seals
PROGRESS SET
NOT FOR CONSTRUCTION

Issues / Revisions

No.	Date	Description
7/28/2023		SCHEMATIC DESIGN
2/29/2024		CITY OF PROV MASTER PLAN
2/29/2024		DESIGN DEVELOPMENT

Drawing Title

Planting Plan

Project Manager: PB Project No: 41037 (P2057)
 Drawn by: AL/MD Scale: AS NOTED

Drawing Number
L-1.0