

LAND DEVELOPMENT PLAN (LDP)
 MASTERPLAN/ PRELIMINARY SUBMISSION

SITE PLANS
 FOR
COPLEY CENTRE I

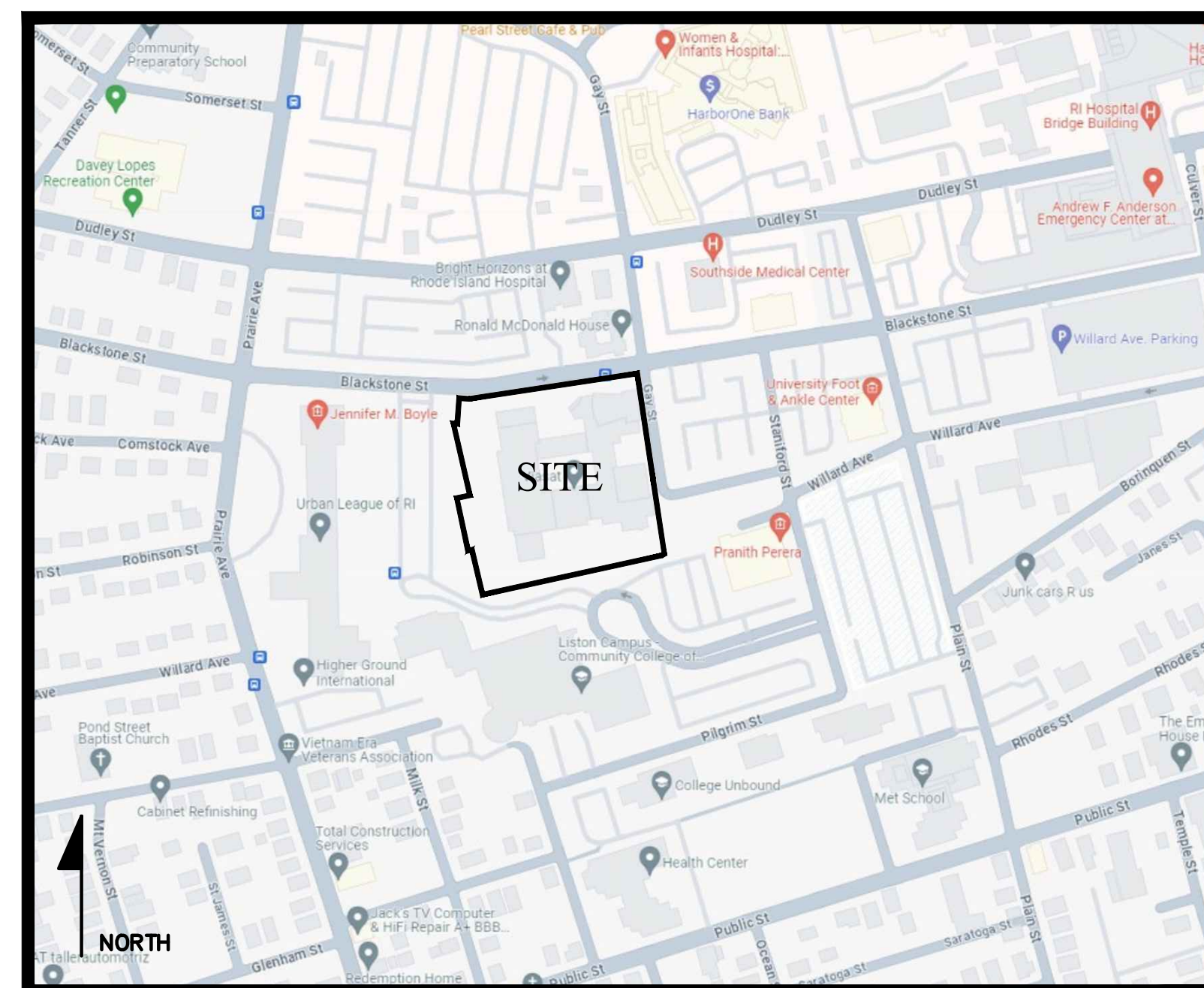
220 BLACKSTONE STREET
 (A.P. 45, LOT 85)
 PROVIDENCE, RHODE ISLAND 02903

PREPARED FOR:
 MARATHON DEVELOPMENT LLC
 500 HARRISON AVENUE, SUITE 4 RB
 BOSTON, MA 02118

PREPARED BY:

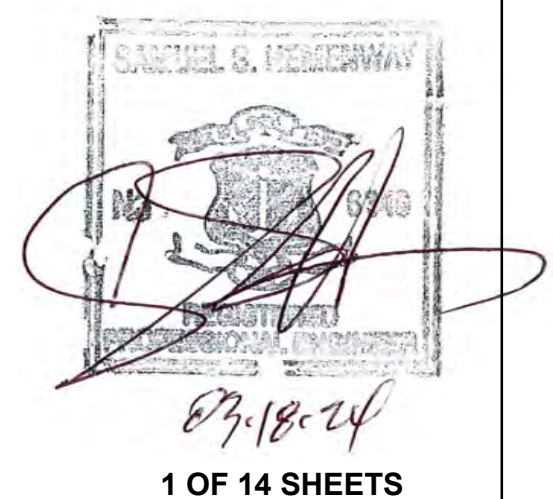


DATE: MARCH, 2024

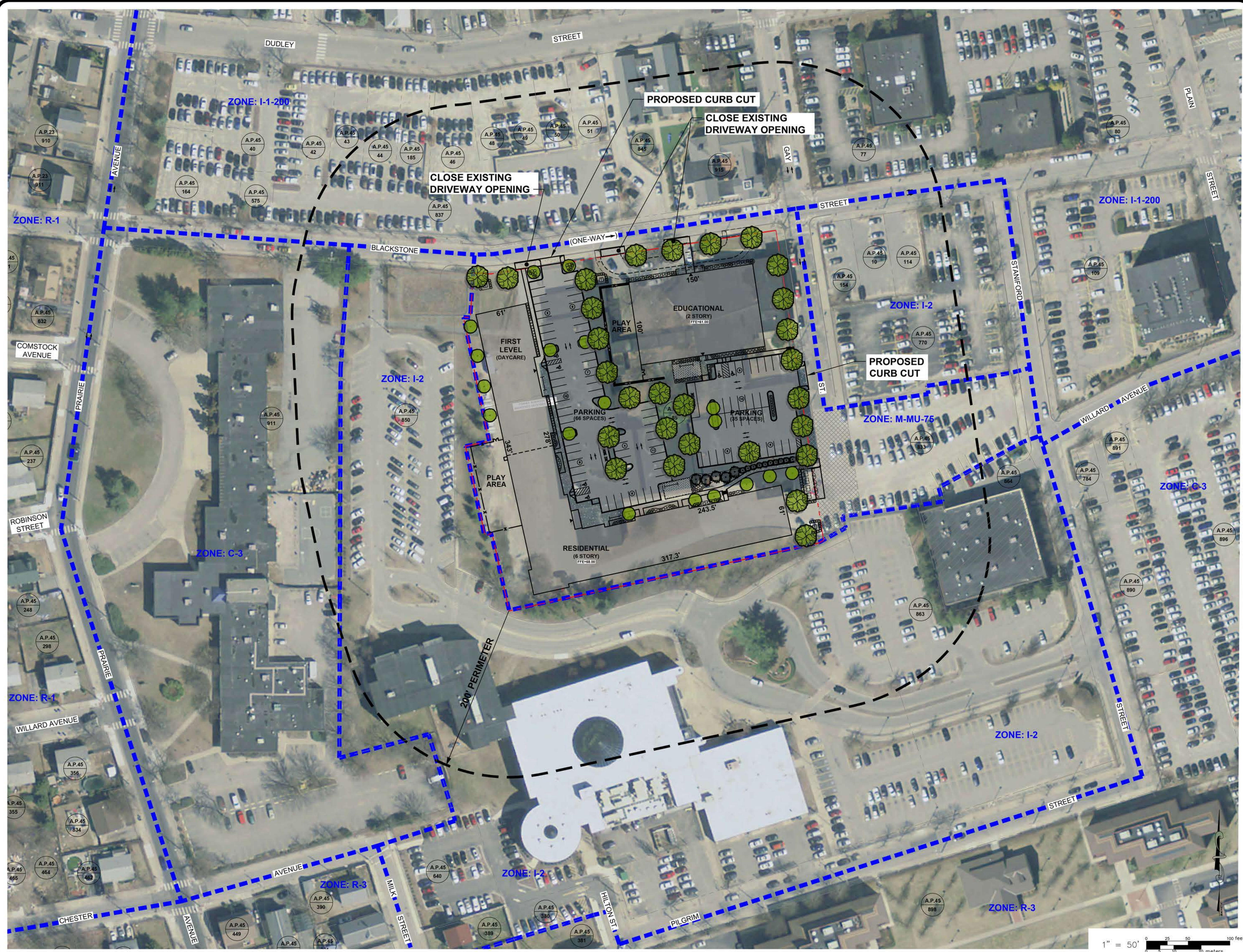


LOCUS MAP
 NOT TO SCALE

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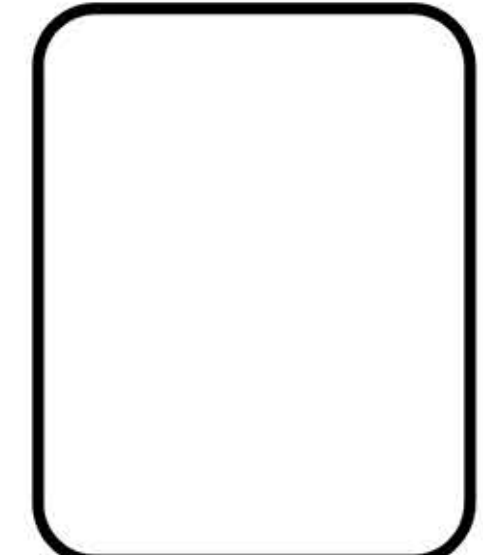
LV:7366-05 220 Blackstone & 23 Staniford (Marathon) - Providence, RI\Map\01-Current\7366-05_Base.dwg, 03/18/2024, kjyngang, 11:53



VICINITY MAP
 FOR
 (A.P.45, LOT 85)
 COPLEY CENTRE I
 220 BLACKSTONE STREET
 PROVIDENCE, RI
 PREPARED FOR
 Marathon Development, LLC.
 500 Harrison Avenue, Suite 4RB

NO.	REVISION	BY	DATE

LAND DEVELOPMENT PLAN (LDP)
 MASTER/ PRELIMINARY
 SUBMISSION



GAROFALO
 GAROFALO & ASSOCIATES, INC.
 CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
 LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

85 CORLISS STREET
 P.O. BOX 6145
 PROVIDENCE, R.I. 02940
 TEL. 401-273-6000

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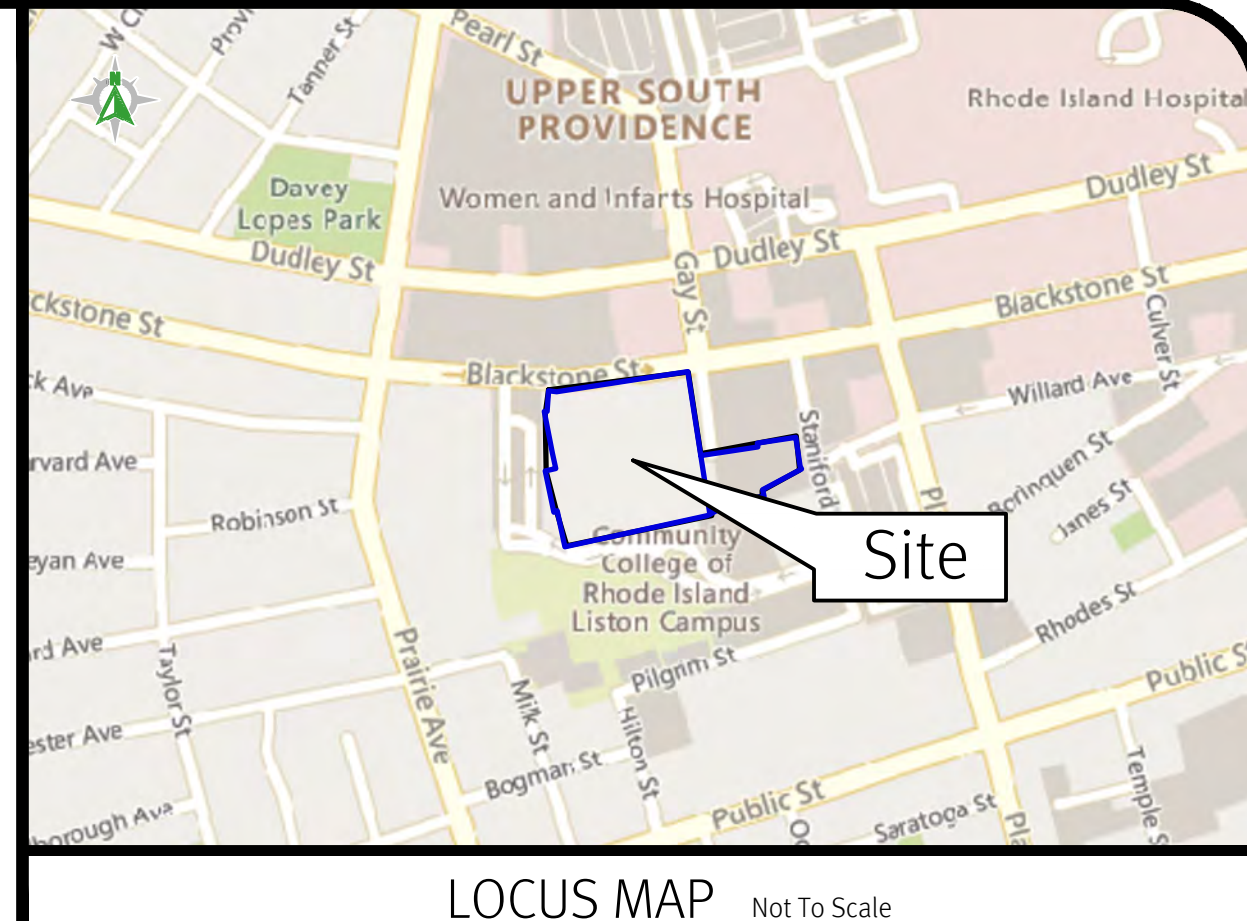
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SHEET
G-1
 2 OF 14 SHEETS



LEGEND

- WATER LINE
- SEWER LINE
- SEWER FORCE MAIN
- GAS LINE
- ELECTRIC LINE
- OVERHEAD WIRES
- DRAINAGE LINE
- MINOR CONTOUR LINE
- MAJOR CONTOUR LINE
- PROPERTY LINE
- ASSESSORS LINE
- TREELINE
- GUARDRAIL
- FENCE
- RETAINING WALL
- STONE WALL
- DEED BOOK/PAGE
- ASSESSOR'S PLAT
- HANDICAPPED
- NOW OR FORMERLY
- LANDSCAPING
- RECORD
- CHORD ANGLE
- DRILL HOLE
- IRON ROD/PIPE
- BOUND
- SIGN POST
- SEWER CLEANOUT
- HYDRANT
- UNKNOWN MANHOLE
- BOLLARD
- SOIL EVALUATION
- CATCH BASIN
- DOUBLE CATCH BASIN
- WATER VALVE
- GAS VALVE
- WETLAND FLAG
- DRAINAGE MANHOLE
- FLARED END SECTION
- GUY POLE
- UTILITY/POWER POLE
- LIGHTPOST
- WELL
- MONITORING WELL
- BENCH MARK
- TREE



LOCUS MAP Not To Scale

GENERAL NOTES

- THE PARCEL IS FOUND ON ASSESSOR'S PLAT 45, LOTS 85, 797, & 833 IN THE CITY OF PROVIDENCE, PROVIDENCE COUNTY, RHODE ISLAND.
- THE OWNER PER DEED BOOK 1235, PAGE 324 IS 220 BLACKSTONE STREET, LLC.
- THE PARCEL IS LOCATED IN ZONE X AND X SHADED PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 44007C0613G, DATED MARCH 2, 2009.
- THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
- FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON SEPTEMBER 13 AND 15, 2021. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THOSE DATES.
- THIS PLAN ASSUMES RECORDING OF ADMINISTRATIVE SUBDIVISION BY DIPRETE ENGINEERING DATED 3/4/2022 UNRECORDED.

PLAN REFERENCES

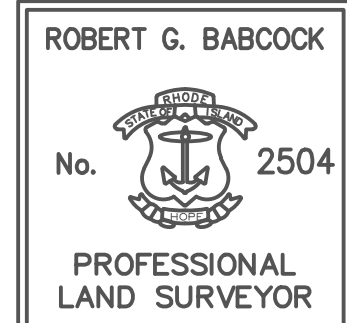
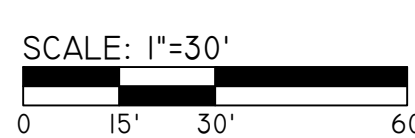
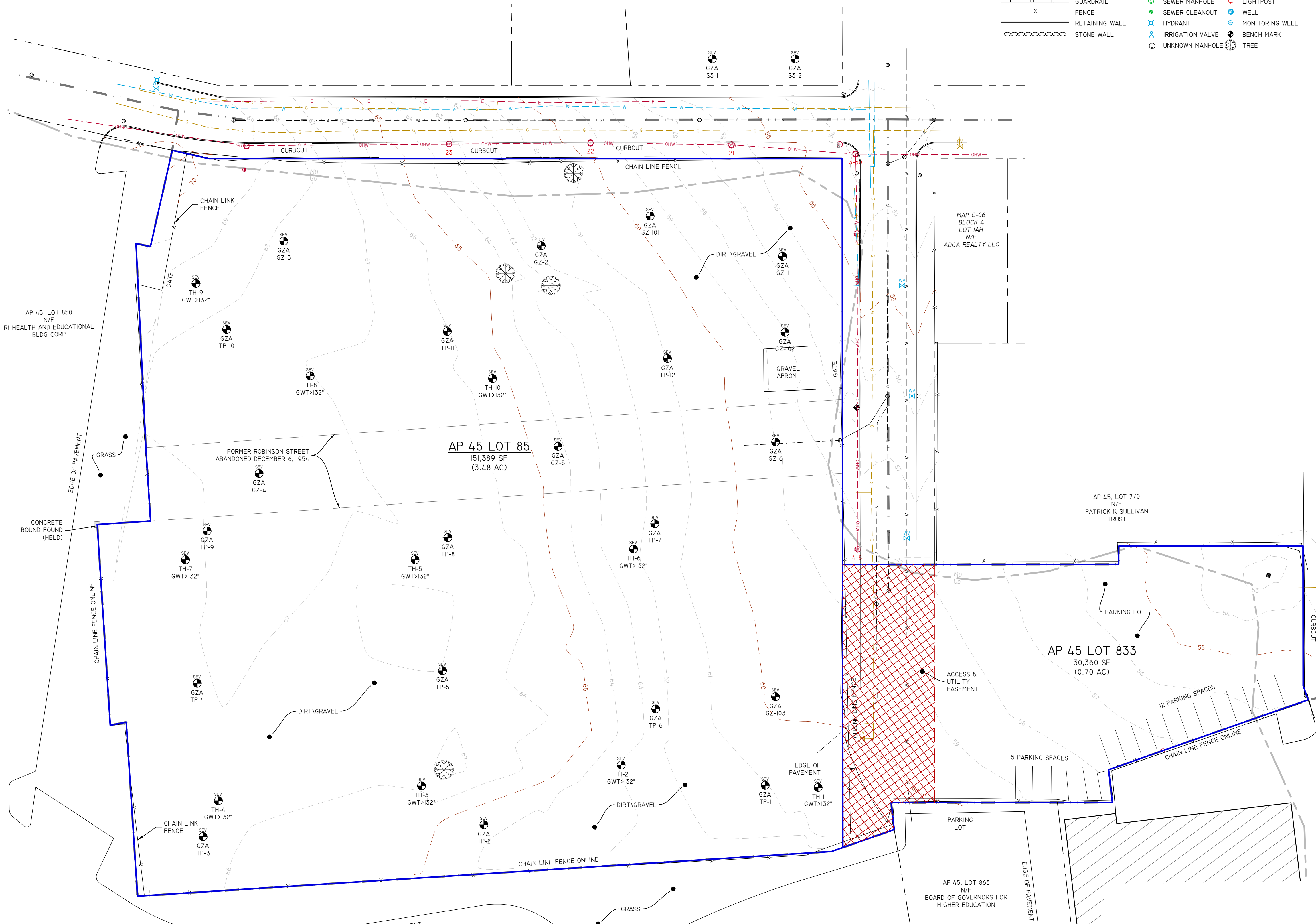
- REPLAT NO 2 OF LAND BELONGING TO PROVIDENCE REDEVELOPMENT AGENCY WITHIN THE WILLARD CENTER UNIT 2 PROJECT AREA UR RI 1-3 PLAT BOOK 42, PAGE 24.
- REPLAT OF LAND BELONGING TO PROVIDENCE REDEVELOPMENT AGENCY WITH THE WILLARD CENTER UNIT ONE PROJECT AREA D2-AI PLAT BOOK 43, PAGE 22.

ZONING NOTES

- THE PARCEL IS ZONED M-MU-75 PER THE ASSESSOR'S ONLINE DATABASE.
- THE ZONING ORDINANCE SECTION 802 LISTS THE DIMENSIONAL REGULATIONS AS FOLLOWS:

MINIMUM LOT AREA	NONE
MINIMUM HEIGHT	75 FEET
MINIMUM FRONT YARD	NONE, IF RESIDENTIAL ON OPPOSITE SIDE OF STREET THEN 10'
MINIMUM SIDE YARD	NONE, IF ABUTTING RESIDENTIAL DISTRICT THEN 10'
MINIMUM CORNER SIDE YARD	NONE, IF RESIDENTIAL ON OPPOSITE SIDE OF STREET THEN 10'
MINIMUM REAR YARD	NONE, IF ABUTTING RESIDENTIAL DISTRICT THEN 20'

THE ABOVE NOTES ARE BASED ON INFORMATION FROM THE CITY OF PROVIDENCE ASSESSOR'S ONLINE DATABASE AND THEIR ZONING ORDINANCE ONLY. ANY SPECIAL PERMITS OR VARIANCES SPECIFIC TO THIS SITE ARE NOT TAKEN INTO CONSIDERATION. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.



ROBERT G. BABCOCK, RIPLS #2504, COA #LS.000A160
5/21/22

SURVEYOR'S CERTIFICATE

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:
• LIMITED CONTENT BOUNDARY SURVEY (PERIMETER) CLASS I
THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: ADMINISTRATIVE SUBDIVISION TO SUBDIVIDE LOT 797 INTO PARCEL A AND PARCEL B AND MERGE PARCEL A WITH LOT 85 AND PARCEL B WITH LOT 833.

Diprete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

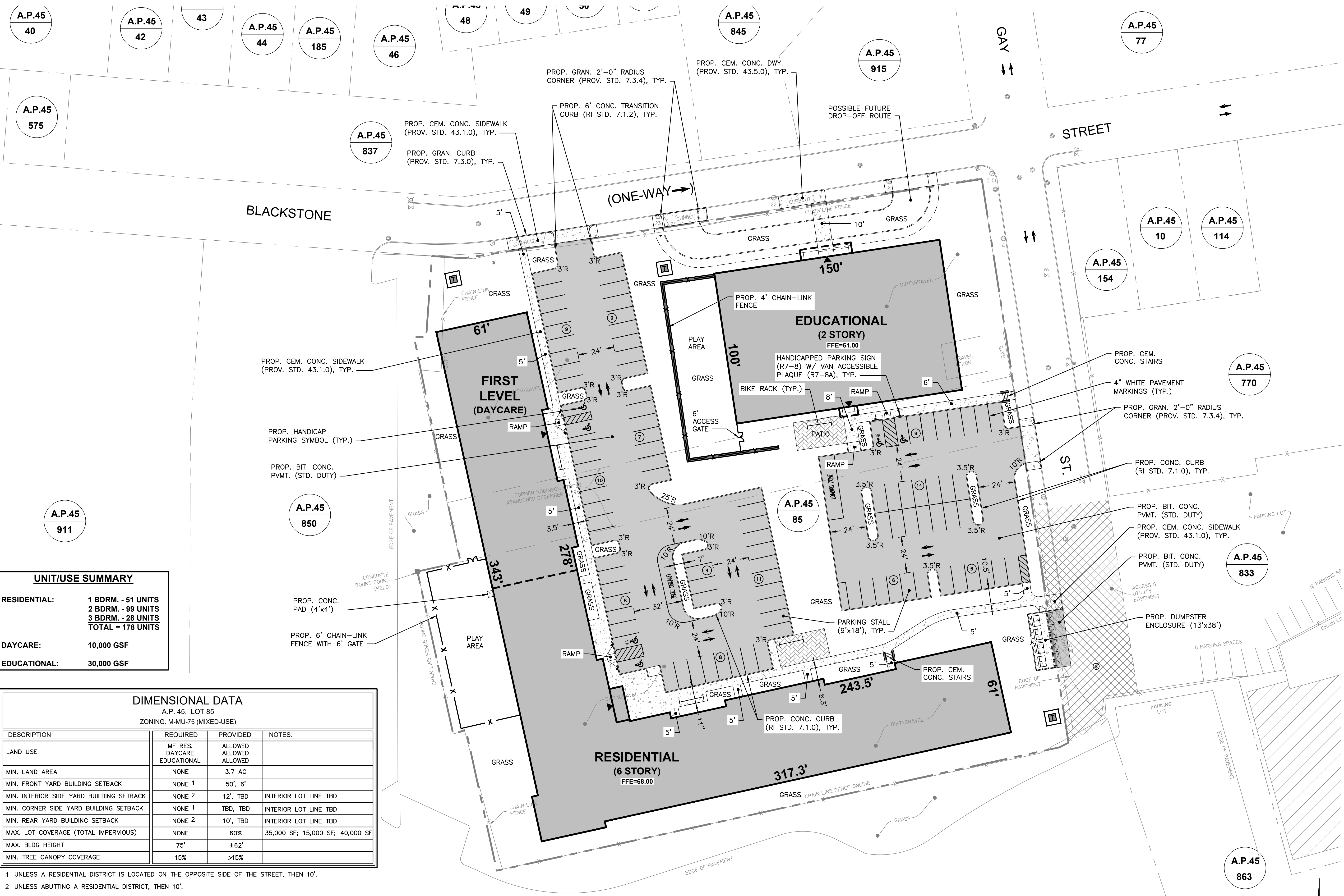
Boston • Providence • Newport

DANA R. NISSET
No. 11876
REGISTERED PROFESSIONAL ENGINEER CIVIL

NO.	DATE	DESCRIPTION	BY	DT.
1	08-27-2022	ADMINISTRATIVE & FINAL SUBDIVISION	B.A.W.	
2	09-15-2022	PROVIDENCE, RI	B.A.W.	
3	09-15-2022	PROVIDENCE, RI	B.A.W.	
4	09-15-2022	PROVIDENCE, RI	B.A.W.	
5	09-15-2022	PROVIDENCE, RI	B.A.W.	
6	09-15-2022	PROVIDENCE, RI	B.A.W.	
7	09-15-2022	PROVIDENCE, RI	B.A.W.	
8	09-15-2022	PROVIDENCE, RI	B.A.W.	
9	09-15-2022	PROVIDENCE, RI	B.A.W.	
10	09-15-2022	PROVIDENCE, RI	B.A.W.	
11	09-15-2022	PROVIDENCE, RI	B.A.W.	
12	09-15-2022	PROVIDENCE, RI	B.A.W.	
13	09-15-2022	PROVIDENCE, RI	B.A.W.	
14	09-15-2022	PROVIDENCE, RI	B.A.W.	
15	09-15-2022	PROVIDENCE, RI	B.A.W.	
16	09-15-2022	PROVIDENCE, RI	B.A.W.	
17	09-15-2022	PROVIDENCE, RI	B.A.W.	
18	09-15-2022	PROVIDENCE, RI	B.A.W.	
19	09-15-2022	PROVIDENCE, RI	B.A.W.	
20	09-15-2022	PROVIDENCE, RI	B.A.W.	
21	09-15-2022	PROVIDENCE, RI	B.A.W.	
22	09-15-2022	PROVIDENCE, RI	B.A.W.	
23	09-15-2022	PROVIDENCE, RI	B.A.W.	
24	09-15-2022	PROVIDENCE, RI	B.A.W.	
25	09-15-2022	PROVIDENCE, RI	B.A.W.	
26	09-15-2022	PROVIDENCE, RI	B.A.W.	
27	09-15-2022	PROVIDENCE, RI	B.A.W.	
28	09-15-2022	PROVIDENCE, RI	B.A.W.	
29	09-15-2022	PROVIDENCE, RI	B.A.W.	
30	09-15-2022	PROVIDENCE, RI	B.A.W.	
31	09-15-2022	PROVIDENCE, RI	B.A.W.	
32	09-15-2022	PROVIDENCE, RI	B.A.W.	
33	09-15-2022	PROVIDENCE, RI	B.A.W.	
34	09-15-2022	PROVIDENCE, RI	B.A.W.	
35	09-15-2022	PROVIDENCE, RI	B.A.W.	
36	09-15-2022	PROVIDENCE, RI	B.A.W.	
37	09-15-2022	PROVIDENCE, RI	B.A.W.	
38	09-15-2022	PROVIDENCE, RI	B.A.W.	
39	09-15-2022	PROVIDENCE, RI	B.A.W.	
40	09-15-2022	PROVIDENCE, RI	B.A.W.	
41	09-15-2022	PROVIDENCE, RI	B.A.W.	
42	09-15-2022	PROVIDENCE, RI	B.A.W.	
43	09-15-2022	PROVIDENCE, RI	B.A.W.	
44	09-15-2022	PROVIDENCE, RI	B.A.W.	
45	09-15-2022	PROVIDENCE, RI	B.A.W.	
46	09-15-2022	PROVIDENCE, RI	B.A.W.	
47	09-15-2022	PROVIDENCE, RI	B.A.W.	
48	09-15-2022	PROVIDENCE, RI	B.A.W.	
49	09-15-2022	PROVIDENCE, RI	B.A.W.	
50	09-15-2022	PROVIDENCE, RI	B.A.W.	
51	09-15-2022	PROVIDENCE, RI	B.A.W.	
52	09-15-2022	PROVIDENCE, RI	B.A.W.	
53	09-15-2022	PROVIDENCE, RI	B.A.W.	
54	09-15-2022	PROVIDENCE, RI	B.A.W.	
55	09-15-2022	PROVIDENCE, RI	B.A.W.	
56	09-15-2022	PROVIDENCE, RI	B.A.W.	
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58	09-15-2022	PROVIDENCE, RI	B.A.W.	
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62	09-15-2022	PROVIDENCE, RI	B.A.W.	
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65	09-15-2022	PROVIDENCE, RI	B.A.W.	
66	09-15-2022	PROVIDENCE, RI	B.A.W.	
67	09-15-2022	PROVIDENCE, RI	B.A.W.	
68	09-15-2022	PROVIDENCE, RI	B.A.W.	
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71	09-15-2022	PROVIDENCE, RI	B.A.W.	
72	09-15-2022	PROVIDENCE, RI	B.A.W.	
73	09-15-2022	PROVIDENCE, RI	B.A.W.	
74	09-15-2022	PROVIDENCE, RI	B.A.W.	
75	09-15-2022	PROVIDENCE, RI	B.A.W.	
76	09-15-2022	PROVIDENCE, RI	B.A.W.	
77	09-15-2022	PROVIDENCE, RI	B.A.W.	
78	09-15-2022	PROVIDENCE, RI	B.A.W.	
79	09-15-2022	PROVIDENCE, RI	B.A.W.	
80	09-15-2022	PROVIDENCE, RI	B.A.W.	
81	09-15-2022	PROVIDENCE, RI	B.A.W.	
82	09-15-2022	PROVIDENCE, RI	B.A.W.	
83	09-15-2022	PROVIDENCE, RI	B.A.W.	
84	09-15-2022	PROVIDENCE, RI	B.A.W.	
85	09-15-2022	PROVIDENCE, RI	B.A.W.	
86	09-15-2022	PROVIDENCE, RI	B.A.W.	
87	09-15-2022	PROVIDENCE, RI	B.A.W.	
88	09-15-2022	PROVIDENCE, RI	B.A.W.	
89	09-15-2022	PROVIDENCE, RI	B.A.W.	
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96	09-15-2022	PROVIDENCE, RI	B.A.W.	
97	09-15-2022	PROVIDENCE, RI	B.A.W.	
98	09-15-2022	PROVIDENCE, RI	B.A.W.	
99	09-15-2022	PROVIDENCE, RI	B.A.W.	
100	09-15-2022	PROVIDENCE, RI	B.A.W.	

EXISTING ANALYSIS PLAN
BLACKSTONE STREET APARTMENTS
ASSESSOR'S PLAT 45, LOTS 85, 797 & 833
220 BLACKSTONE ST., PROVIDENCE, RHODE ISLAND
PREPARED FOR:
AP BUILDING COMPANY
41 SHERFIELD BLVD, SUITE 150
SEVEN FIELDS, PA 66046

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UNIT/USE SUMMARY

RESIDENTIAL:	1 BDRM. - 51 UNITS 2 BDRM. - 99 UNITS 3 BDRM. - 28 UNITS TOTAL = 178 UNITS
DAYCARE:	10,000 GSF
EDUCATIONAL:	30,000 GSF

DIMENSIONAL DATA
A.P. 45, LOT 85
ZONING: M-MU-75 (MIXED-USE)

DESCRIPTION	REQUIRED	PROVIDED	NOTES:
LAND USE	MF RES. DAYCARE EDUCATIONAL	ALLOWED ALLOWED ALLOWED	
MIN. LAND AREA	NONE	3.7 AC	
MIN. FRONT YARD BUILDING SETBACK	NONE 1	50', 6'	
MIN. INTERIOR SIDE YARD BUILDING SETBACK	NONE 2	12', TBD	INTERIOR LOT LINE TBD
MIN. CORNER SIDE YARD BUILDING SETBACK	NONE 1	TBD, TBD	INTERIOR LOT LINE TBD
MIN. REAR YARD BUILDING SETBACK	NONE 2	10', TBD	INTERIOR LOT LINE TBD
MAX. LOT COVERAGE (TOTAL IMPERVIOUS)	NONE	60%	35,000 SF; 15,000 SF; 40,000 SF
MAX. BLDG HEIGHT	75'	±62'	
MIN. TREE CANOPY COVERAGE	15%	>15%	

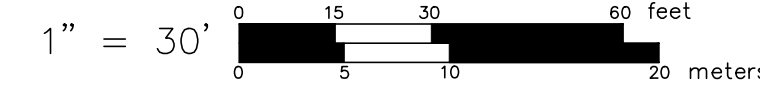
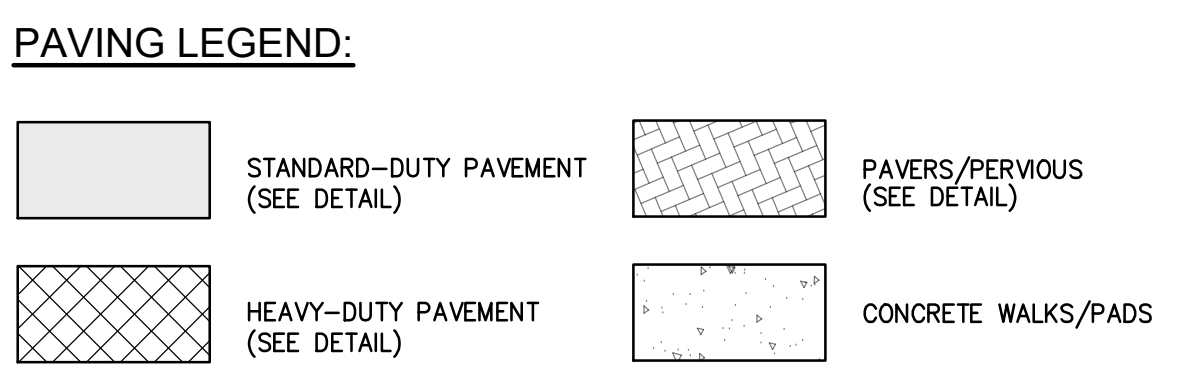
- UNLESS A RESIDENTIAL DISTRICT IS LOCATED ON THE OPPOSITE SIDE OF THE STREET, THEN 10'.
- UNLESS ABUTTING A RESIDENTIAL DISTRICT, THEN 10'.

PARKING REQUIREMENTS (ARTICLE 14)

DESCRIPTION	REQ (AUTO)	PROVIDED	REQ (LOAD)	PROVIDED	REQ (BIKE)	PROVIDED
DWELLING-MULTI-FAMILY: CAR:1 PER DWELLING UNIT BICYCLE:1 PER 5 DWELLINGS	178	56	1	1	36	>36
DAYCARE: CAR:1 PER 1,000 GFA BICYCLE:N/A	10	10	-	0	-	0
EDUCATIONAL: CAR:1 PER 3 EMPLOYEES BICYCLE:3 PER CLASSROOM	12 (EST.)	35	1	1	30	>30
PROJECT TOTAL	200	101**	2	2	66	>66

** ZONING RELIEF REQUIRED.

- DEVELOPEMENT NOTES:**
- THIS PLAN IS SCHEMATIC ONLY AND INTENDED TO PROVIDE GENERAL DEVELOPMENT CONDITIONS FOR MASTERPLAN APPROVAL. FINAL LAYOUT AND BUILDING DIMENSIONS MAY VARY DURING SUBSEQUENT STAGES OF REVIEW.
 - NO WETLAND, WATERCOURSES OR COASTAL FEATURES HAVE BEEN IDENTIFIED WITHIN 200-FOOT OF THE PROJECT(S).
 - THE PROJECT(S) FALL WITHIN RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT (RIDEM) JURISDICTION:
 - THE PROJECT DOES NOT REQUIRE PERMITTING UNDER RULES REGARDING THE FRESHWATER WETLAND ACT.
 - CONSTRUCTION REQUIRES COVERAGE UNDER THE RI GENERAL PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.



SITE LAYOUT
FOR
(A.P.45, LOT 85)
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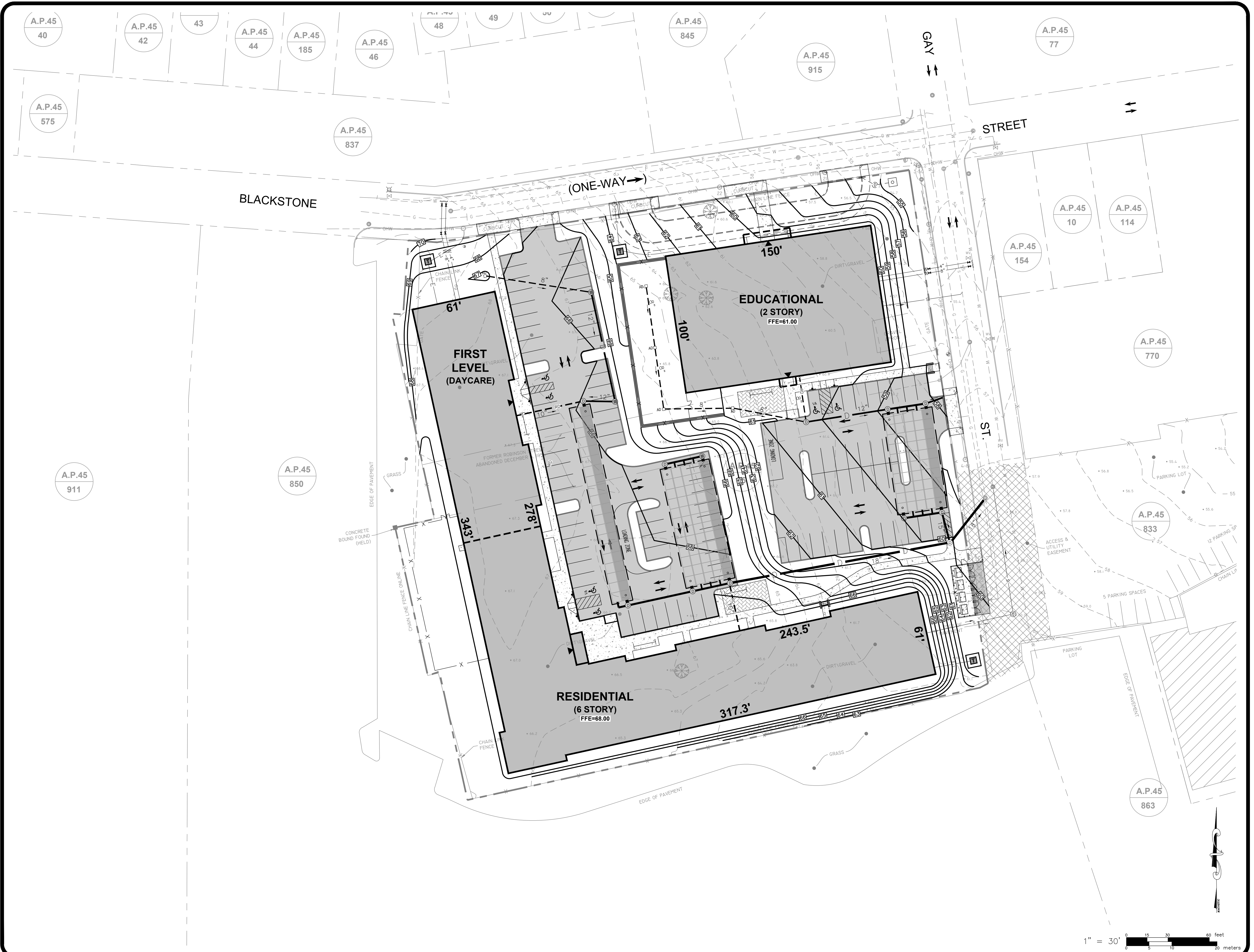
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PROVIDENCE, RI 02940
TEL: 401-273-6000

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SHEET
C-200
5 OF 14 SHEETS

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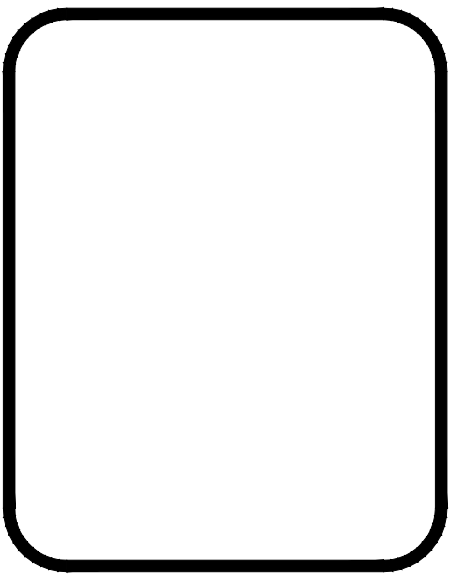


GRADING PLAN

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GAROFALO

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LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

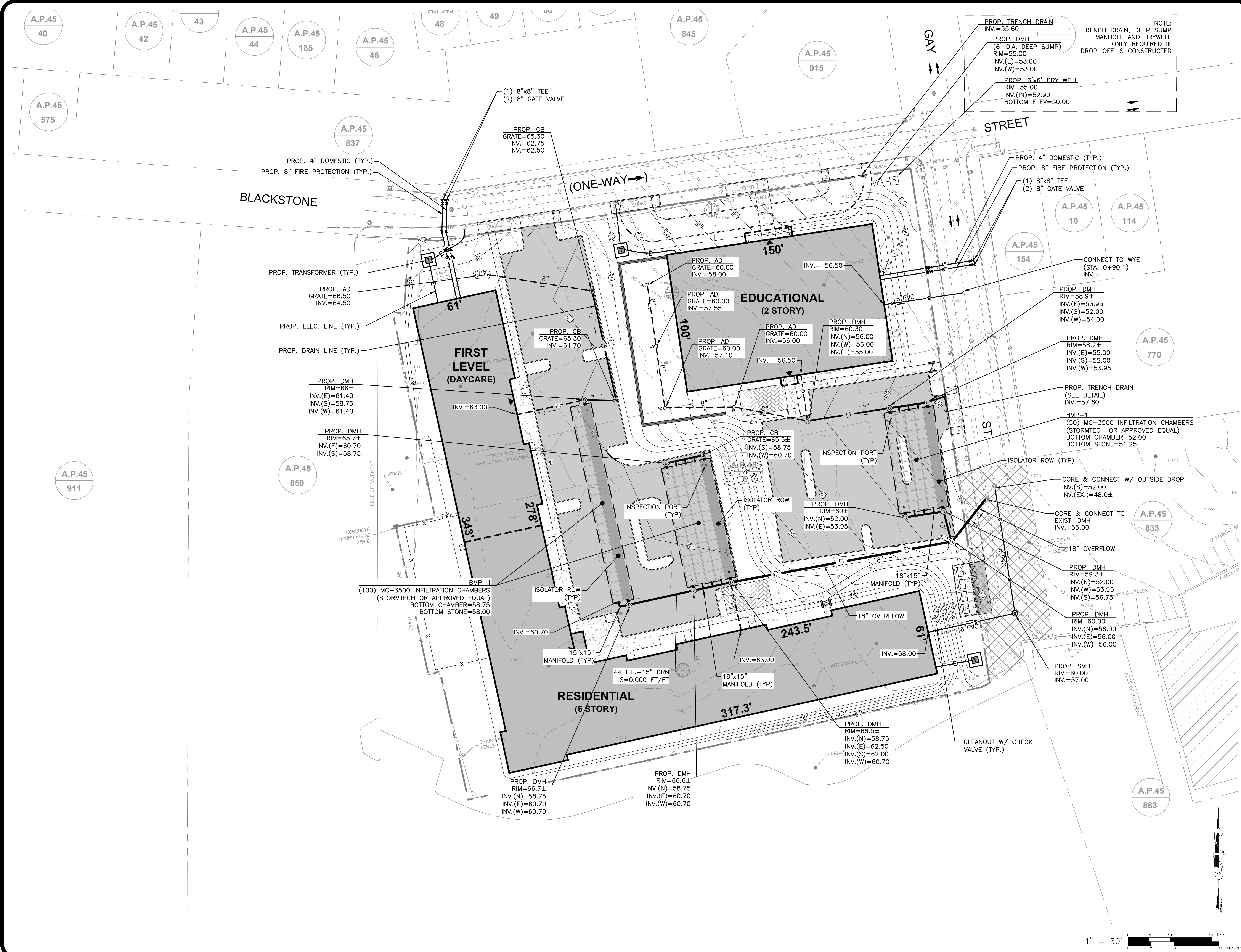
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 TEL. 401-273-6000

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SHEET
C-300
 6 OF 14 SHEETS

L:\7366-05_220 Blackstone & 23 Stratford (Marathon) - Providence, RI\Map\01-Current\7366-05_Base.dwg 03/18/2024 kjinggang 11:55



UTILITY PLAN

FOR
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 COPLEY CENTRE I
 220 BLACKSTONE STREET
 PROVIDENCE, RI
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 500 Harrison Avenue, Suite 4RB

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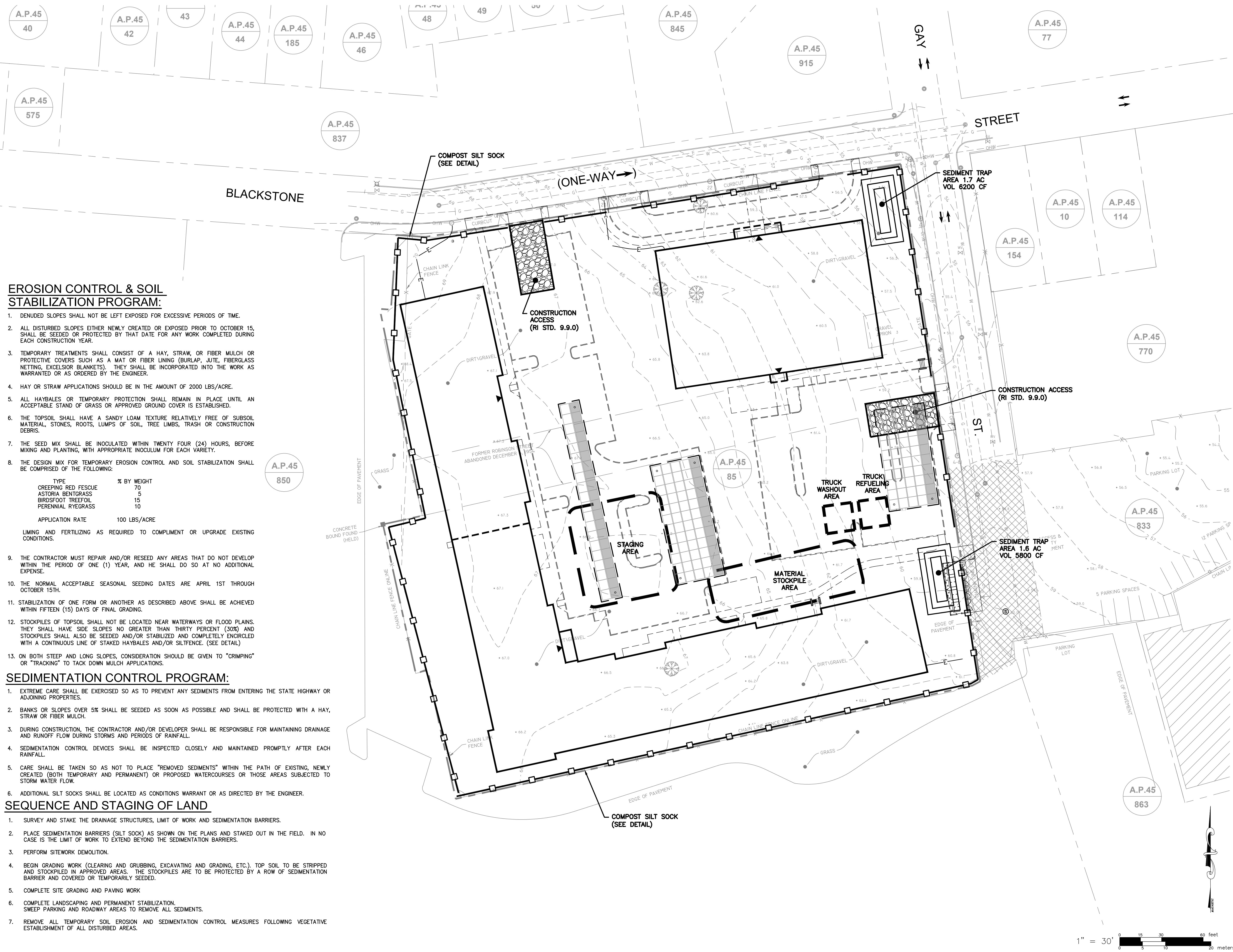
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SHEET
C-400
 7 OF 14 SHEETS

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EROSION CONTROL & SOIL STABILIZATION PROGRAM:

- DENUDED SLOPES SHALL NOT BE LEFT EXPOSED FOR EXCESSIVE PERIODS OF TIME.
- ALL DISTURBED SLOPES EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15, SHALL BE SEEDED OR PROTECTED BY THAT DATE FOR ANY WORK COMPLETED DURING EACH CONSTRUCTION YEAR.
- TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.
- HAY OR STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 2000 LBS/ACRE.
- ALL HAYBALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
- THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS.
- THE SEED MIX SHALL BE INOCULATED WITHIN TWENTY FOUR (24) HOURS, BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
- THE DESIGN MIX FOR TEMPORARY EROSION CONTROL AND SOIL STABILIZATION SHALL BE COMPRISED OF THE FOLLOWING:

TYPE	% BY WEIGHT
CREeping RED FESCUE	70
ASTORIA BENTGRASS	5
BIRDFOOT TREFFOIL	15
PERENNIAL RYEGRASS	10

APPLICATION RATE 100 LBS./ACRE

LIMING AND FERTILIZING AS REQUIRED TO COMPLIMENT OR UPGRADE EXISTING CONDITIONS.
- THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE (1) YEAR, AND HE SHALL DO SO AT NO ADDITIONAL EXPENSE.
- THE NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1ST THROUGH OCTOBER 15TH.
- STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN FIFTEEN (15) DAYS OF FINAL GRADING.
- STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS OR FLOOD PLAINS. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN THIRTY PERCENT (30%) AND STOCKPILES SHALL ALSO BE SEEDED AND/OR STABILIZED AND COMPLETELY ENCROLED WITH A CONTINUOUS LINE OF STAKED HAYBALES AND/OR SILTFENCE. (SEE DETAIL)
- ON BOTH STEEP AND LONG SLOPES, CONSIDERATION SHOULD BE GIVEN TO "CRIMPING" OR "TRACKING" TO TACK DOWN MULCH APPLICATIONS.

SEDIMENTATION CONTROL PROGRAM:

- EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY SEDIMENTS FROM ENTERING THE STATE HIGHWAY OR ADJOINING PROPERTIES.
- BANKS OR SLOPES OVER 5% SHALL BE SEEDED AS SOON AS POSSIBLE AND SHALL BE PROTECTED WITH A HAY, STRAW OR FIBER MULCH.
- DURING CONSTRUCTION, THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING STORMS AND PERIODS OF RAINFALL.
- SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL.
- CARE SHALL BE TAKEN SO AS NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATERCOURSES OR THOSE AREAS SUBJECTED TO STORM WATER FLOW.
- ADDITIONAL SILT SOCKS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.

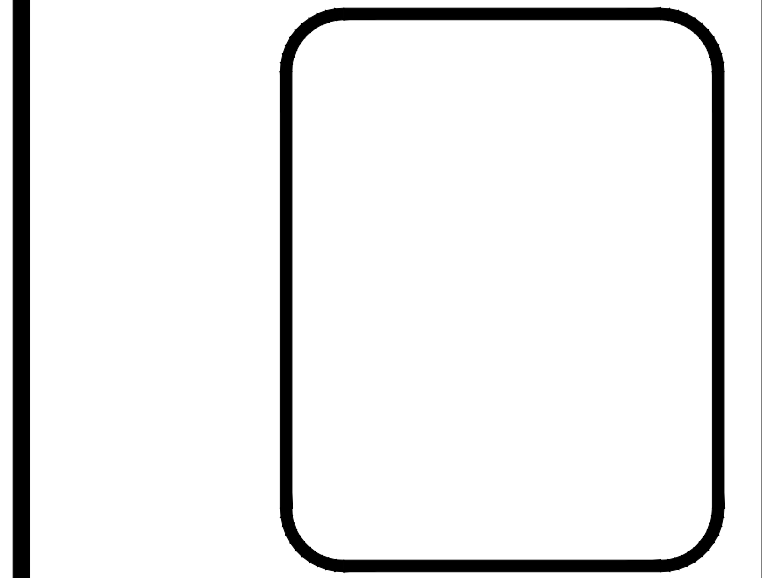
SEQUENCE AND STAGING OF LAND

- SURVEY AND STAKE THE DRAINAGE STRUCTURES, LIMIT OF WORK AND SEDIMENTATION BARRIERS.
- PLACE SEDIMENTATION BARRIERS (SILT SOCK) AS SHOWN ON THE PLANS AND STAKED OUT IN THE FIELD. IN NO CASE IS THE LIMIT OF WORK TO EXTEND BEYOND THE SEDIMENTATION BARRIERS.
- PERFORM SITWORK DEMOLITION.
- BEGIN GRADING WORK (CLEARING AND GRUBBING, EXCAVATING AND GRADING, ETC.). TOP SOIL TO BE STRIPPED AND STOCKPILED IN APPROVED AREAS. THE STOCKPILES ARE TO BE PROTECTED BY A ROW OF SEDIMENTATION BARRIER AND COVERED OR TEMPORARILY SEEDED.
- COMPLETE SITE GRADING AND PAVING WORK
- COMPLETE LANDSCAPING AND PERMANENT STABILIZATION. SWEEP PARKING AND ROADWAY AREAS TO REMOVE ALL SEDIMENTS.
- REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES FOLLOWING VEGETATIVE ESTABLISHMENT OF ALL DISTURBED AREAS.

SOIL EROSION AND SEDIMENT CONTROL PLAN
 FOR
(A.P.45, LOT 85)
COPLEY CENTRE I
220 BLACKSTONE STREET
PROVIDENCE, RI
 PREPARED FOR
 Marathon Development, LLC.
 500 Harrison Avenue, Suite 4RB

NO.	REVISION	BY	DATE

LAND DEVELOPMENT PLAN (LDP)
 MASTER/ PRELIMINARY
 SUBMISSION



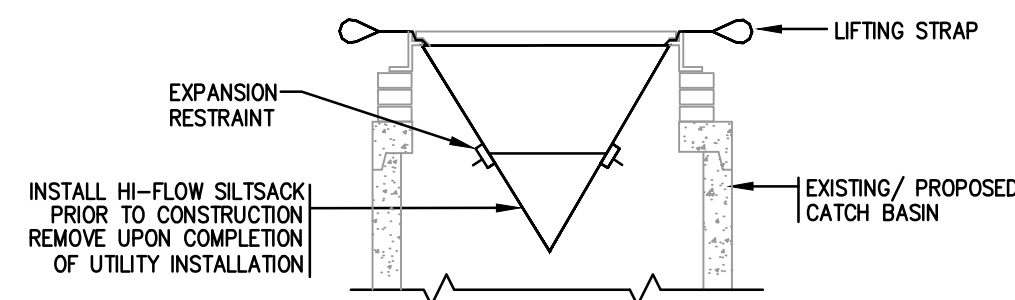
GAROFALO
 GAROFALO & ASSOCIATES, INC.
 CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
 LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

85 CORLISS STREET
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 PROVIDENCE, R.I. 02940
 TEL. 401-273-6000

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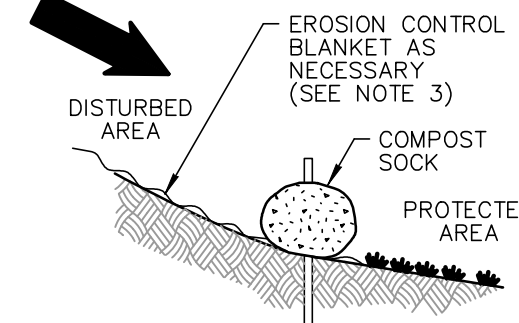
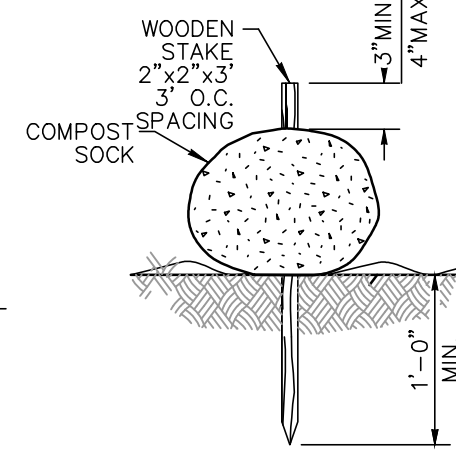
JOB NO. 7366-05	DRAWN BY K.J.A.
DWG. NO. 7366-05_BASE	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
DATE: MARCH, 2024	

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C-500
 8 OF 14 SHEETS

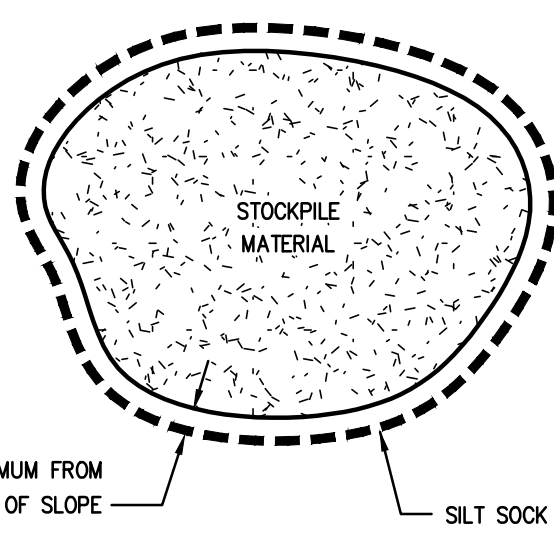


SILTSACK AT CATCH BASIN
NOT TO SCALE

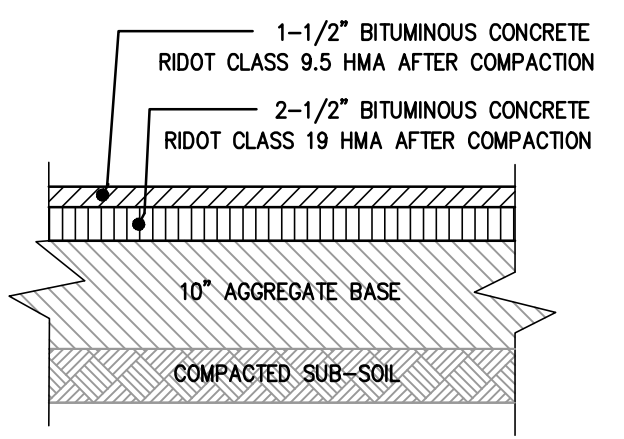
- NOTES:
1. COMPOST SOCK SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS. COMPOST SOCK SHALL BE A MINIMUM OF 8" IN DIAMETER.
 2. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.
 3. WHEN PLACING COMPOST SOCK ON SLOPES, USE EROSION CONTROL BLANKET IF SPECIFIED ON PLANS.
 4. ALWAYS INSTALL COMPOST SOCK PERPENDICULAR TO SLOPE AND ALONG CONTOUR LINES.
 5. REMOVE SEDIMENT FROM THE UP-SLOPE SIDE OF THE COMPOST SOCK WHEN ACCUMULATION HAS REACHED 1/2 OF THE EFFECTIVE HEIGHT OF THE COMPOST SOCK.



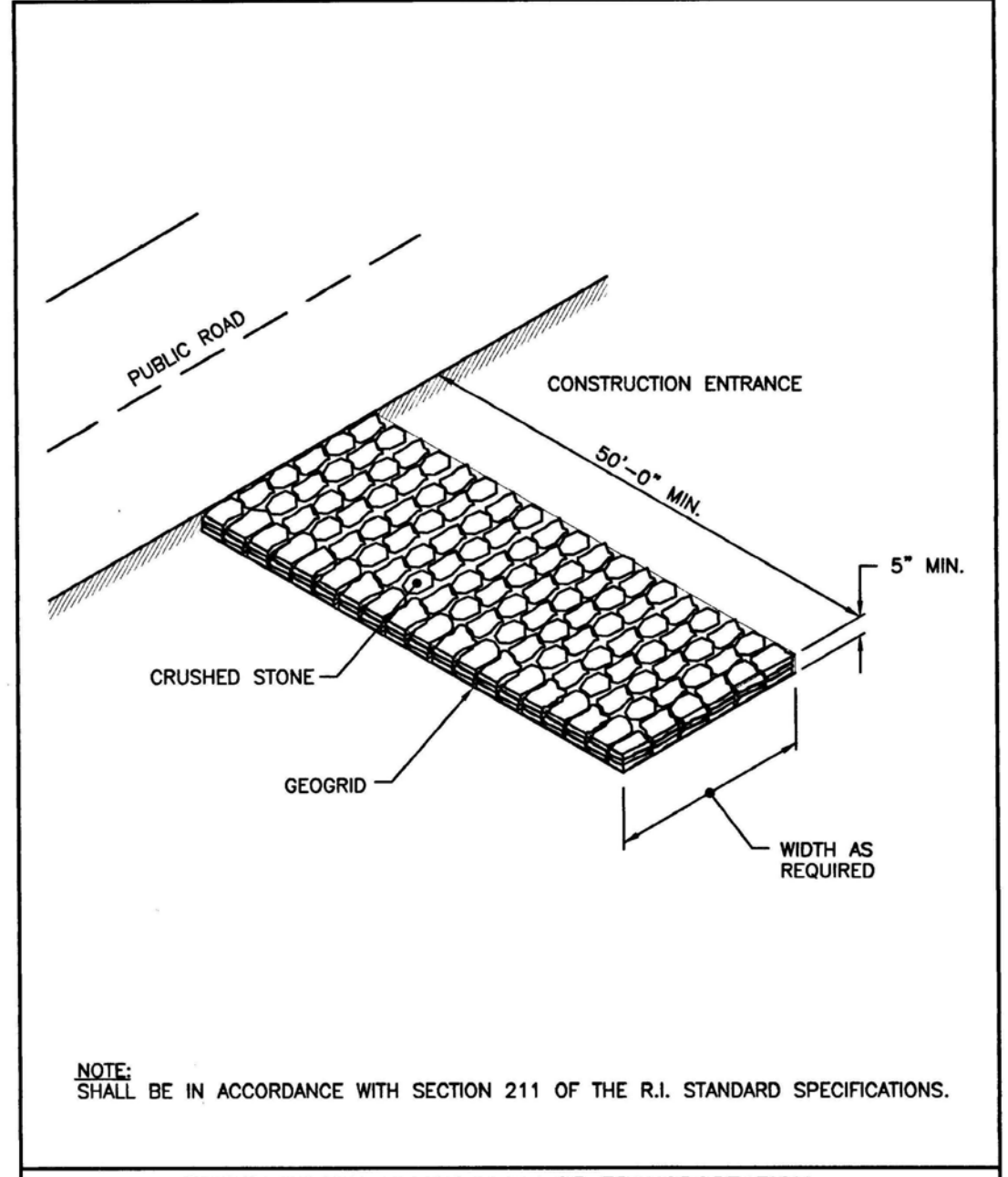
COMPOST SILT SOCK
NOT TO SCALE



STOCKPILE PROTECTION
NOT TO SCALE



STANDARD-DUTY PAVEMENT
(PARKING AND TRAVEL LANES)



NOTE: SHALL BE IN ACCORDANCE WITH SECTION 211 OF THE R.I. STANDARD SPECIFICATIONS.

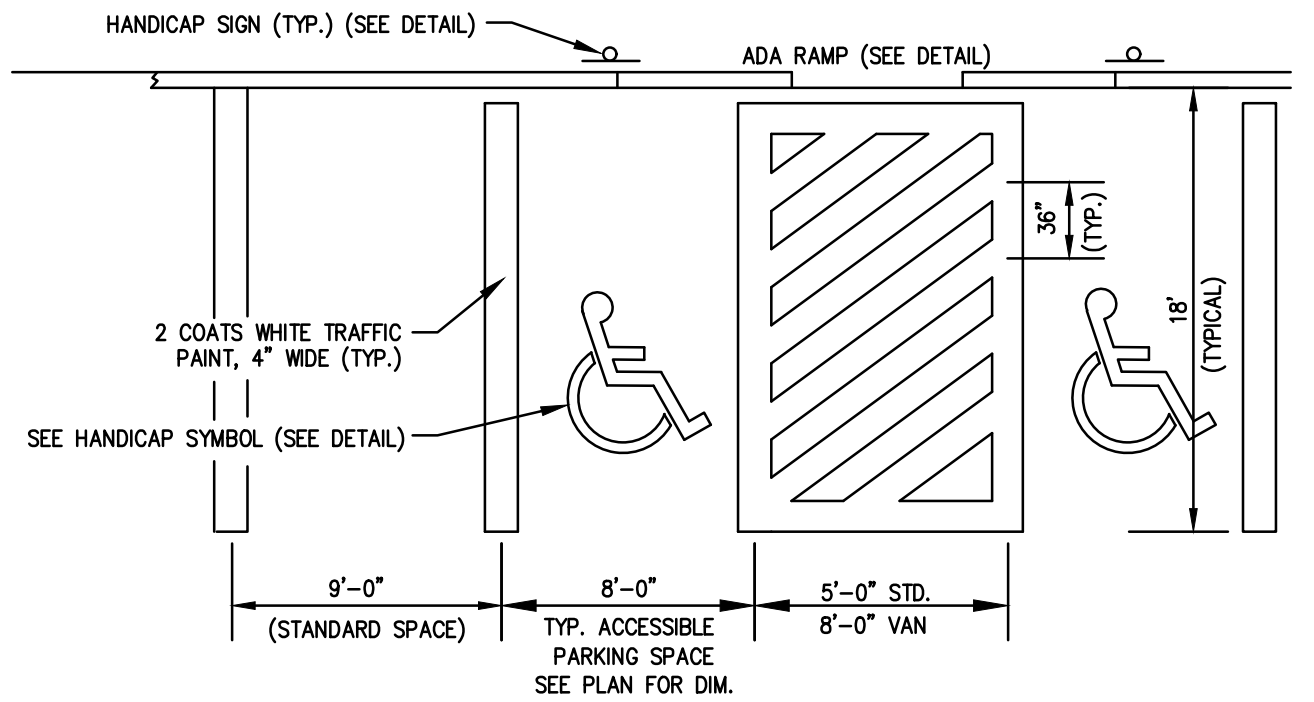
RHODE ISLAND DEPARTMENT OF TRANSPORTATION

REVISIONS		
NO.	BY	DATE

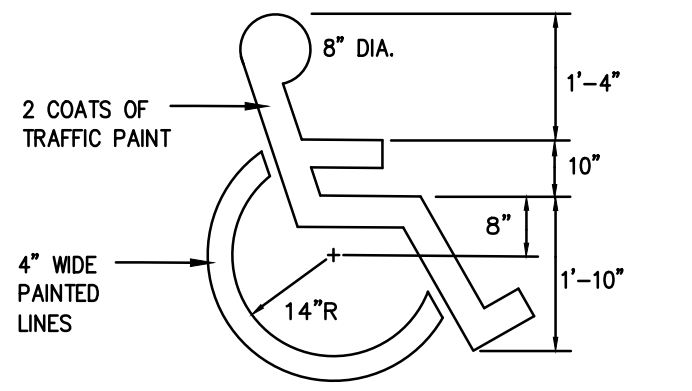
CONSTRUCTION ACCESS

James J. Garofalo JUN 15, 1998
Thomas J. Garofalo
 JUN 15, 1998

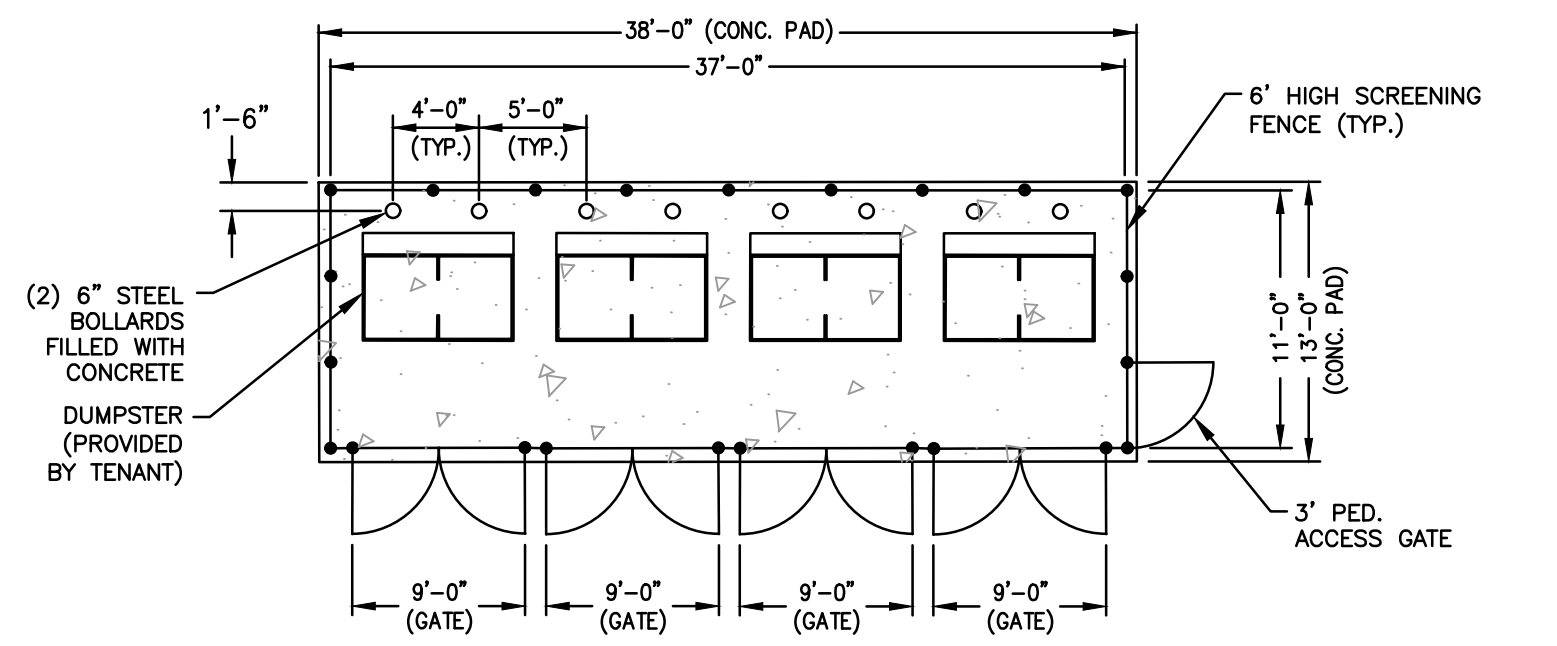
R.I. STANDARD **9.9.0**



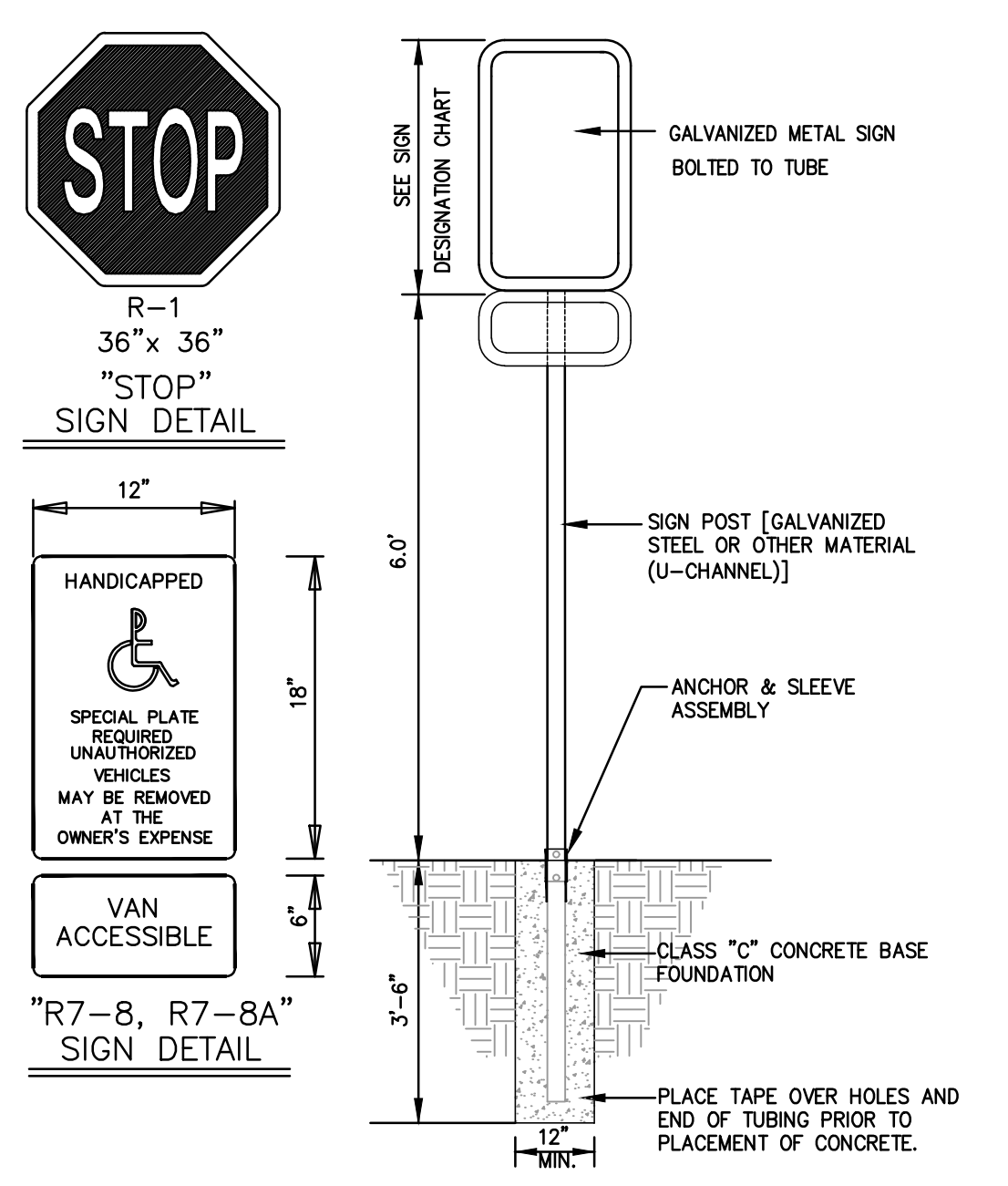
PAVEMENT STRIPING
NOT TO SCALE



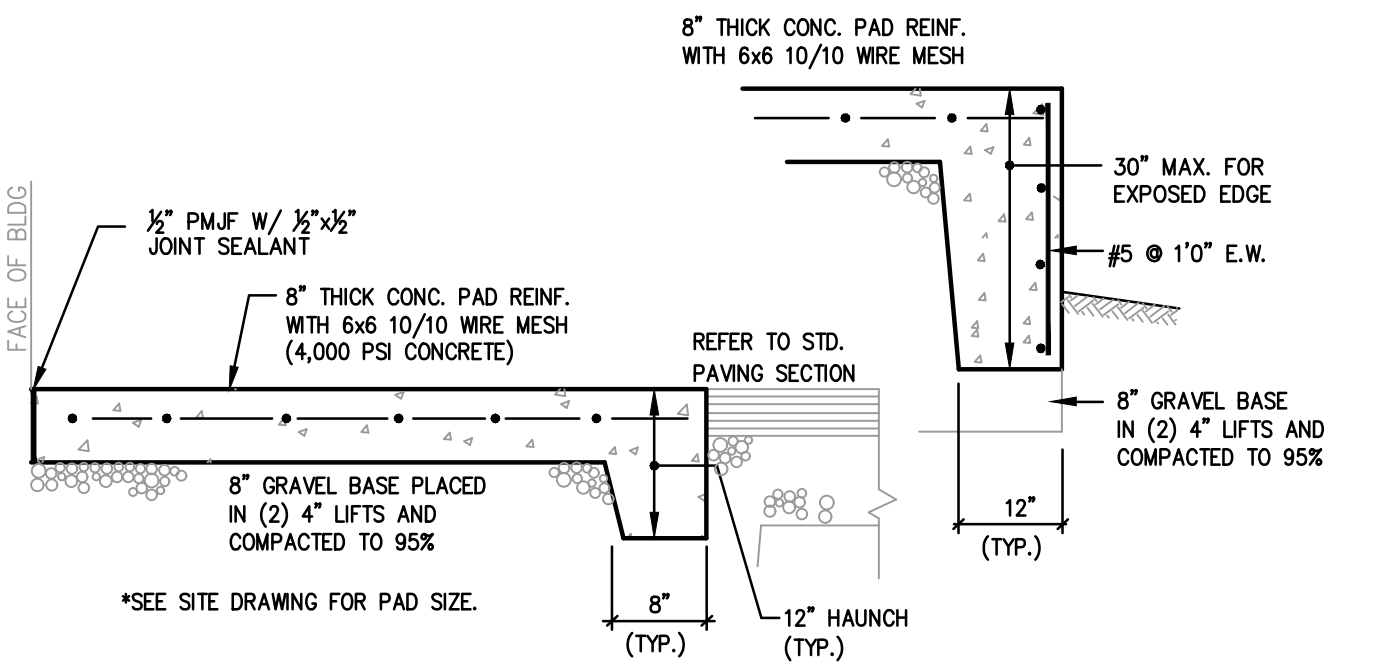
HANDICAP SYMBOL
NOT TO SCALE



DUMPSTER ENCLOSURE
NOT TO SCALE



SIGNAGE
NOT TO SCALE



DUMPSTER/ GENERATOR/ EQUIPMENT PADS
NOT TO SCALE

- NOTES:
1. CONCRETE PADS AND ENTRANCES SHALL BE 6" MINIMUM THICKNESS AND DUMPSTER PADS SHALL BE 8" MINIMUM THICKNESS REINFORCED CONCRETE.
 2. PADS SHALL BE INSTALLED WITH CONTRACTION JOINTS AGAINST ALL STRUCTURAL FEATURES AND/OR AT 24" CENTERS. TOOLED JOINTS SHALL BE INSTALLED AT 6" MAXIMUM SPACING EACH WAY.

CONSTRUCTION DETAILS - 1

FOR
 (A.P.45, LOT 85)
COPLEY CENTRE I
PROVIDENCE, RI

PREPARED FOR
 Marathon Development, LLC.
 500 Harrison Avenue, Suite 4RB

NO.	REVISION	BY	DATE

LAND DEVELOPMENT PLAN (LDP)
 MASTER/ PRELIMINARY
 SUBMISSION

GAROFALO
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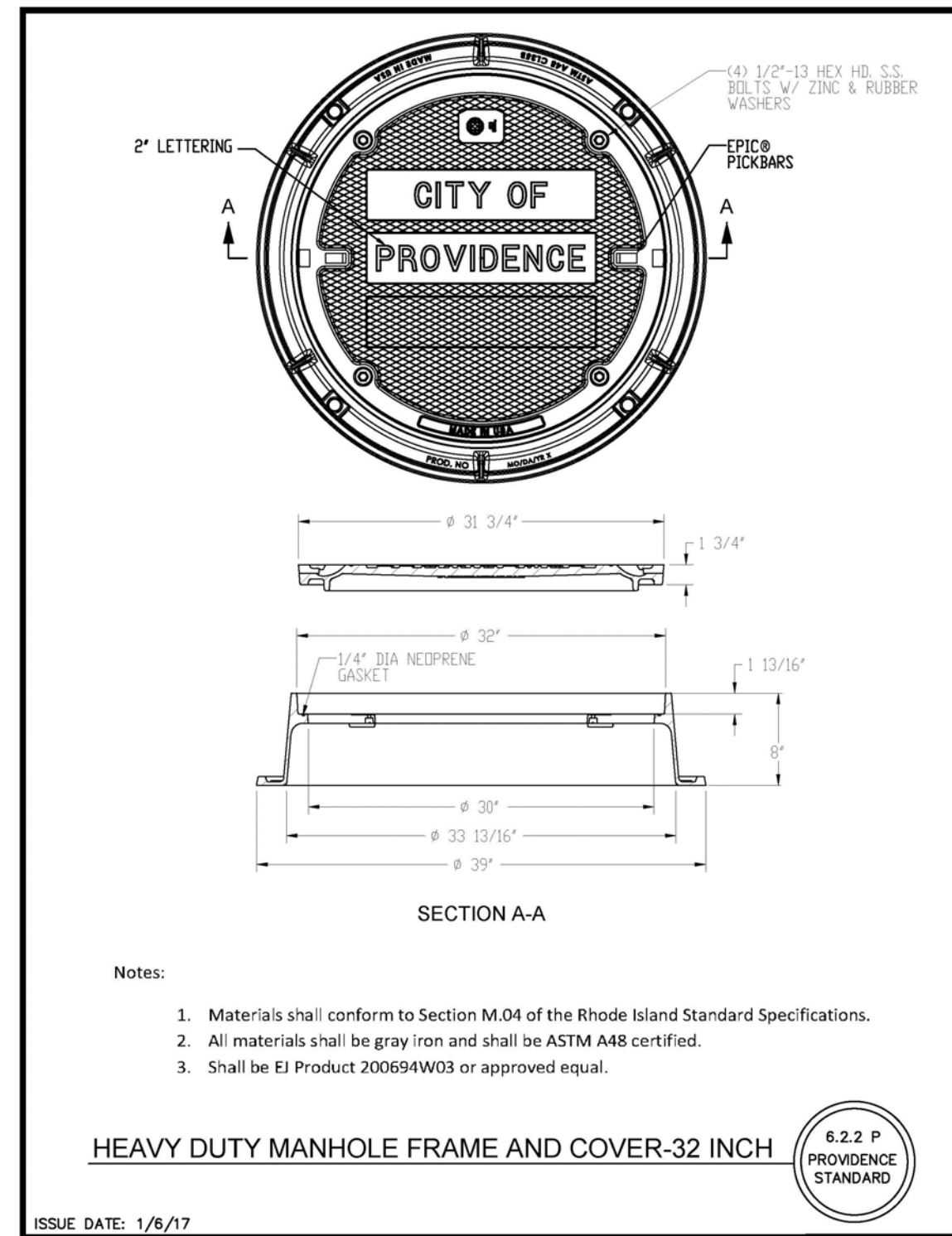
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JOB NO. 7366-05	DRAWN BY K.J.A.
DWG. NO. 7366-05_DETAILS	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
DATE: MARCH, 2024	

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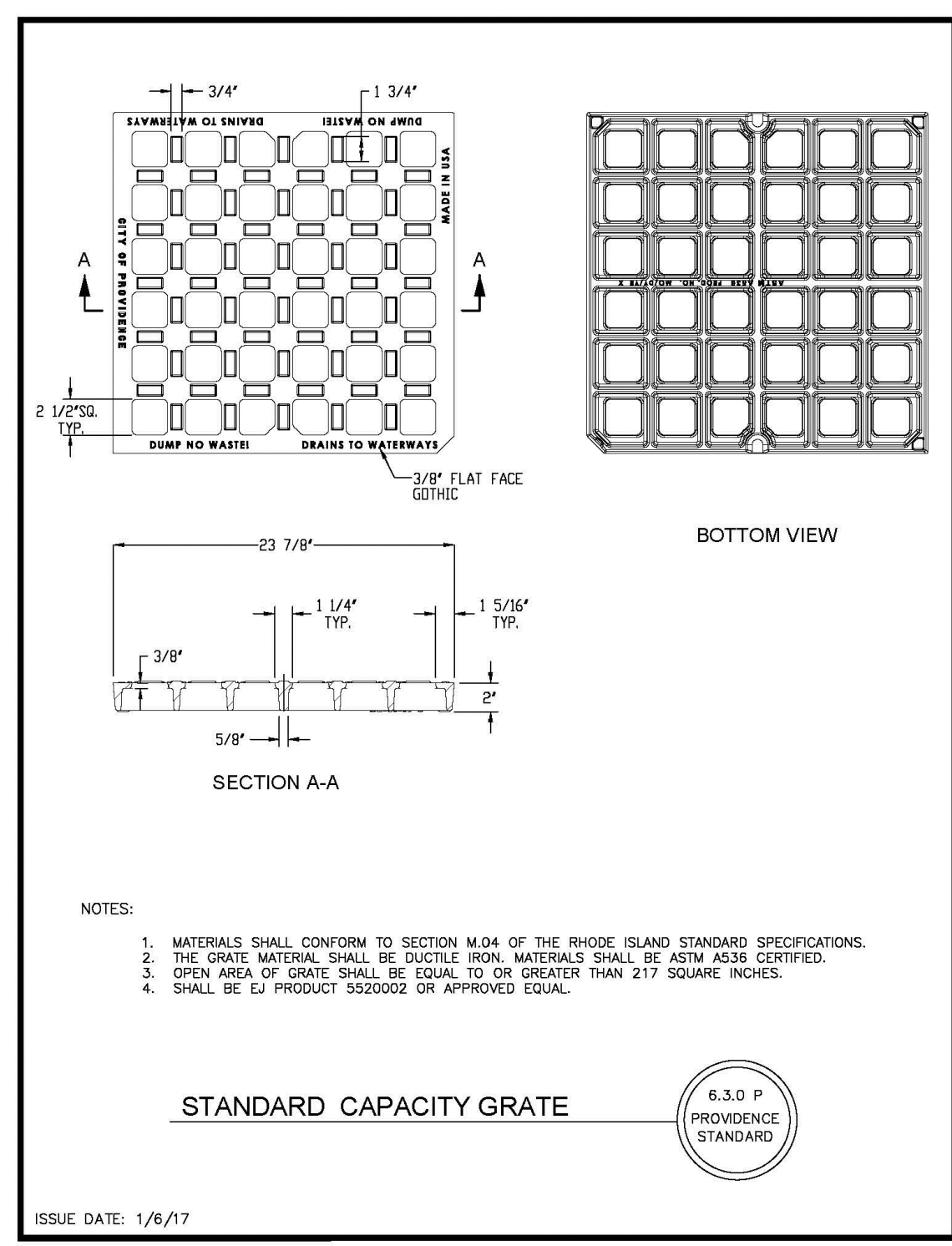


- Notes:
1. Materials shall conform to Section M.04 of the Rhode Island Standard Specifications.
 2. All materials shall be gray iron and shall be ASTM A48 certified.
 3. Shall be El Product 200694W03 or approved equal.

HEAVY DUTY MANHOLE FRAME AND COVER-32 INCH



ISSUE DATE: 1/6/17

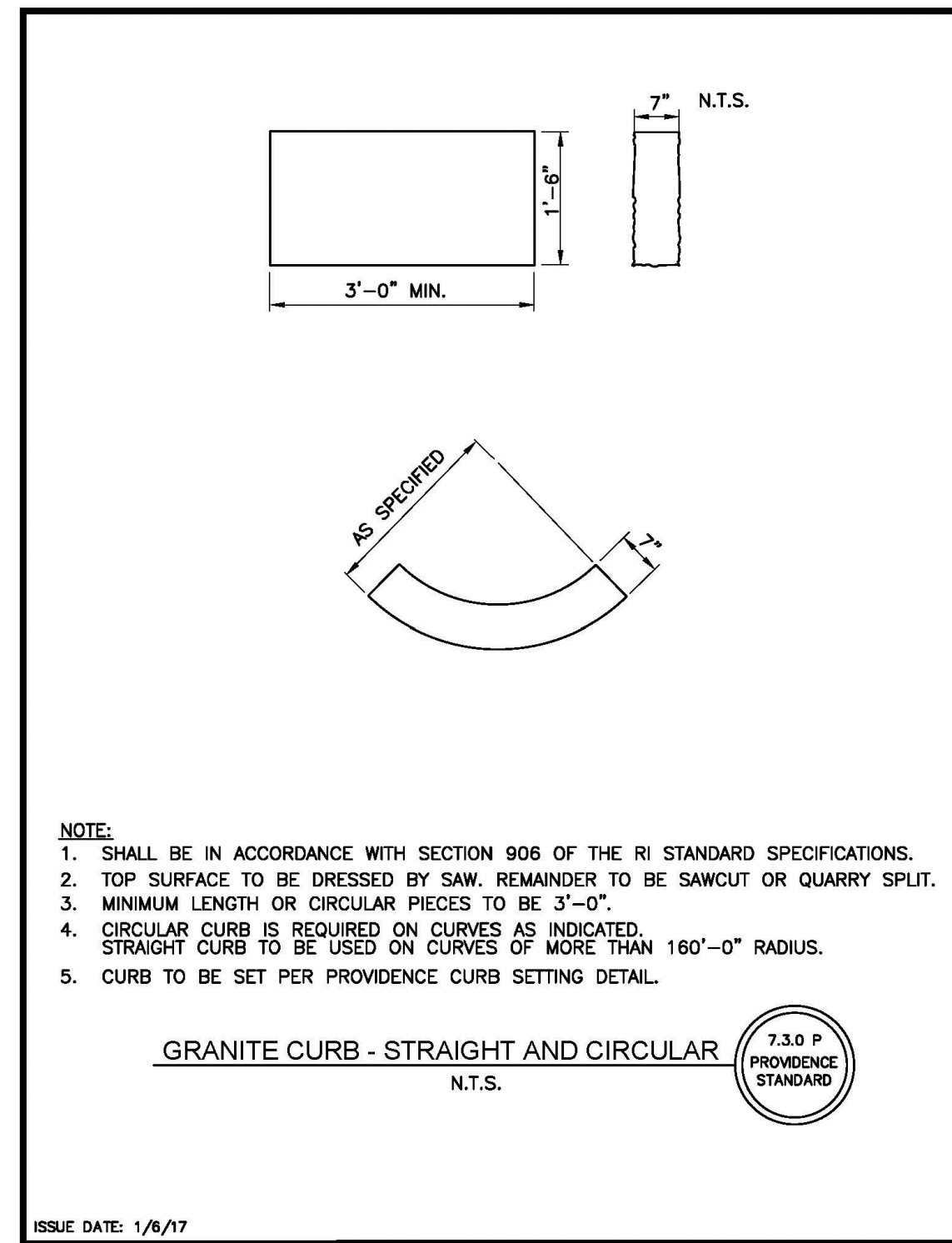


- Notes:
1. MATERIALS SHALL CONFORM TO SECTION M.04 OF THE RHODE ISLAND STANDARD SPECIFICATIONS.
 2. THE GRATE MATERIAL SHALL BE DUCTILE IRON. MATERIALS SHALL BE ASTM A536 CERTIFIED.
 3. OPEN AREA OF GRATE SHALL BE EQUAL TO OR GREATER THAN 217 SQUARE INCHES.
 4. SHALL BE El PRODUCT 552002 OR APPROVED EQUAL.

STANDARD CAPACITY GRATE



ISSUE DATE: 1/6/17

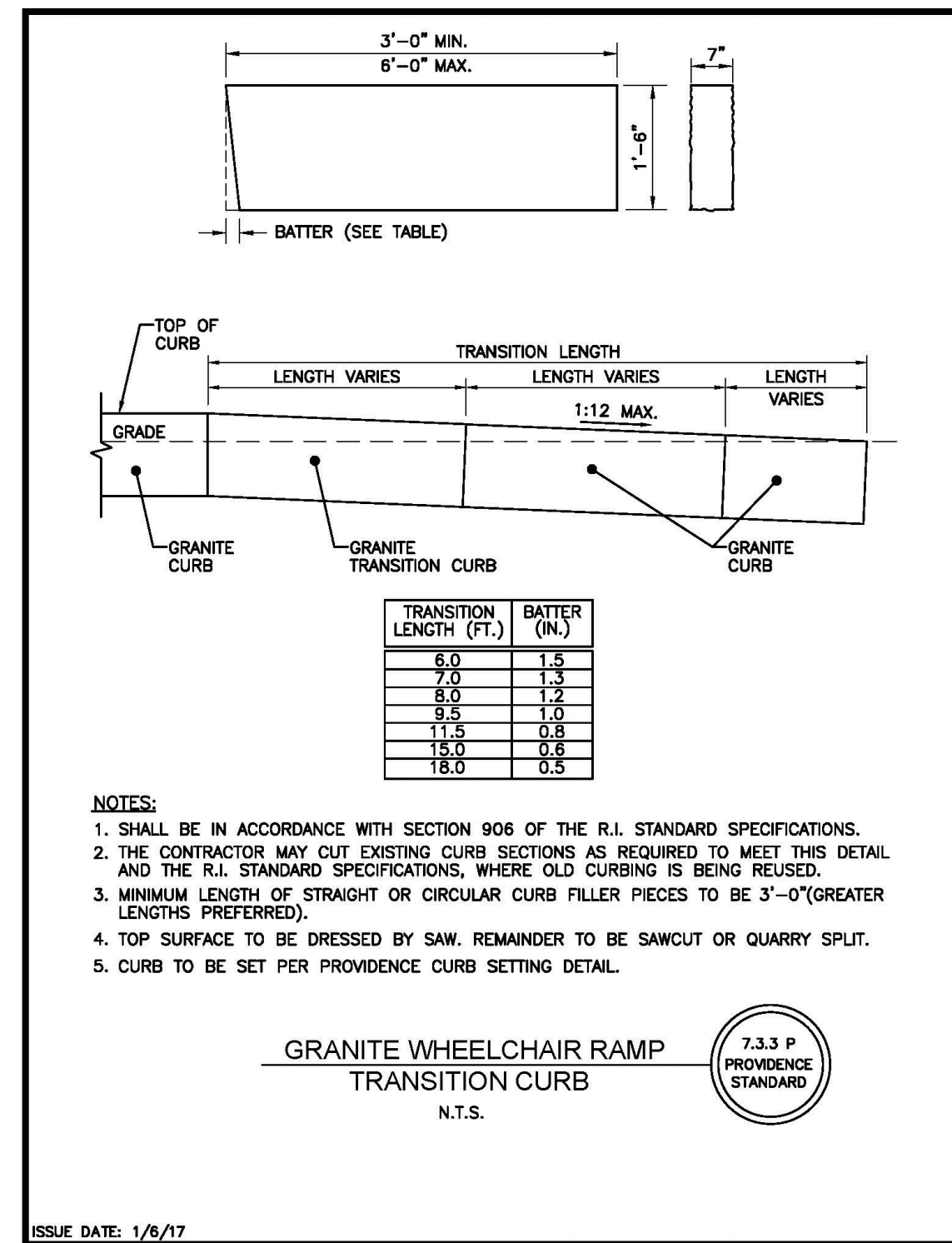


- NOTE:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. TOP SURFACE TO BE DRESSED BY SAW. REMAINDER TO BE SAWCUT OR QUARRY SPLIT.
 3. MINIMUM LENGTH OR CIRCULAR PIECES TO BE 3'-0\".
 4. CIRCULAR CURB IS REQUIRED ON CURVES AS INDICATED. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 160'-0\" RADIUS.
 5. CURB TO BE SET PER PROVIDENCE CURB SETTING DETAIL.

GRANITE CURB - STRAIGHT AND CIRCULAR



ISSUE DATE: 1/6/17

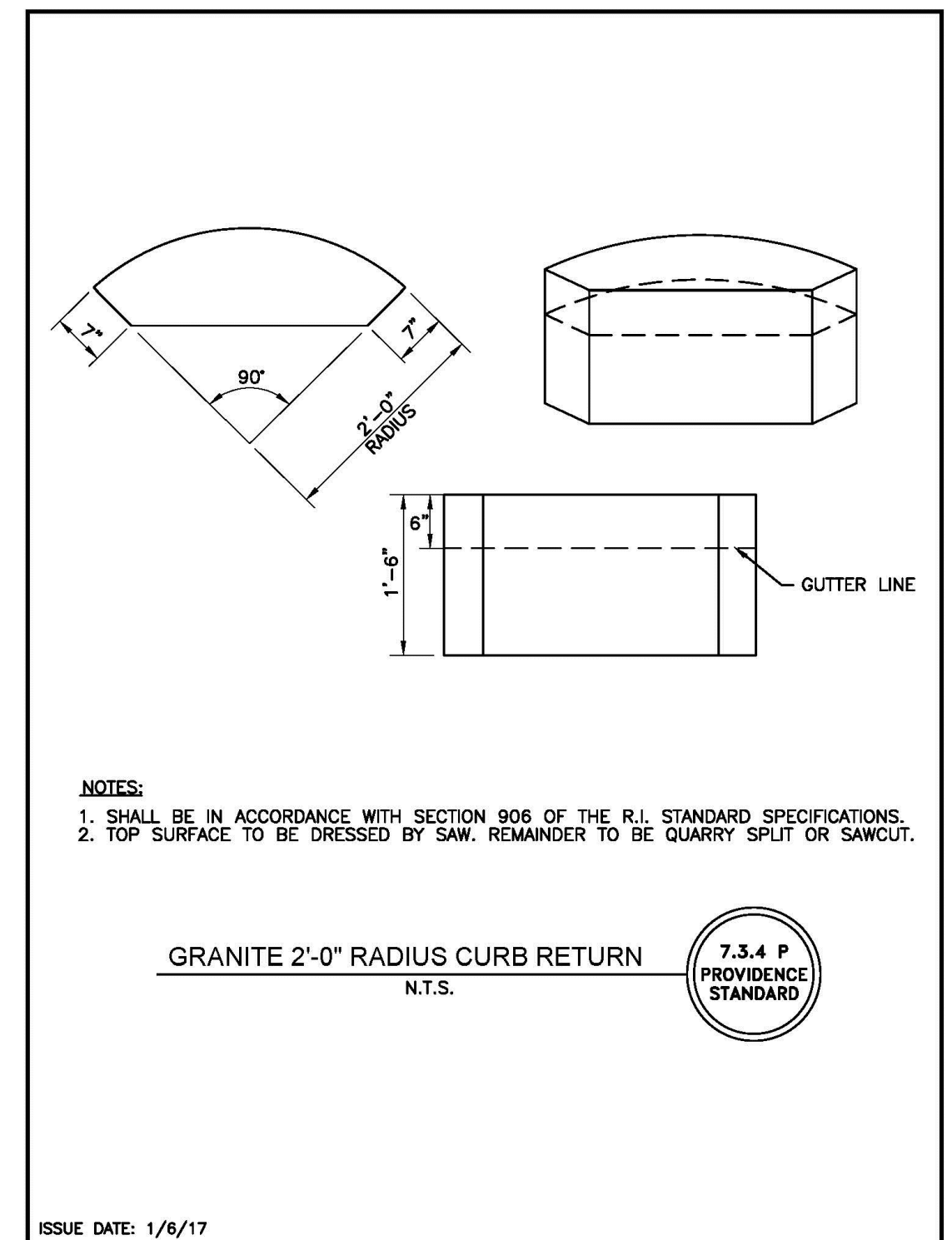


- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. THE CONTRACTOR MAY CUT EXISTING CURB SECTIONS AS REQUIRED TO MEET THIS DETAIL AND THE R.I. STANDARD SPECIFICATIONS, WHERE OLD CURBING IS BEING REUSED.
 3. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR CURB FILLER PIECES TO BE 3'-0\" (GREATER LENGTHS PREFERRED).
 4. TOP SURFACE TO BE DRESSED BY SAW. REMAINDER TO BE SAWCUT OR QUARRY SPLIT.
 5. CURB TO BE SET PER PROVIDENCE CURB SETTING DETAIL.

GRANITE WHEELCHAIR RAMP TRANSITION CURB



ISSUE DATE: 1/6/17

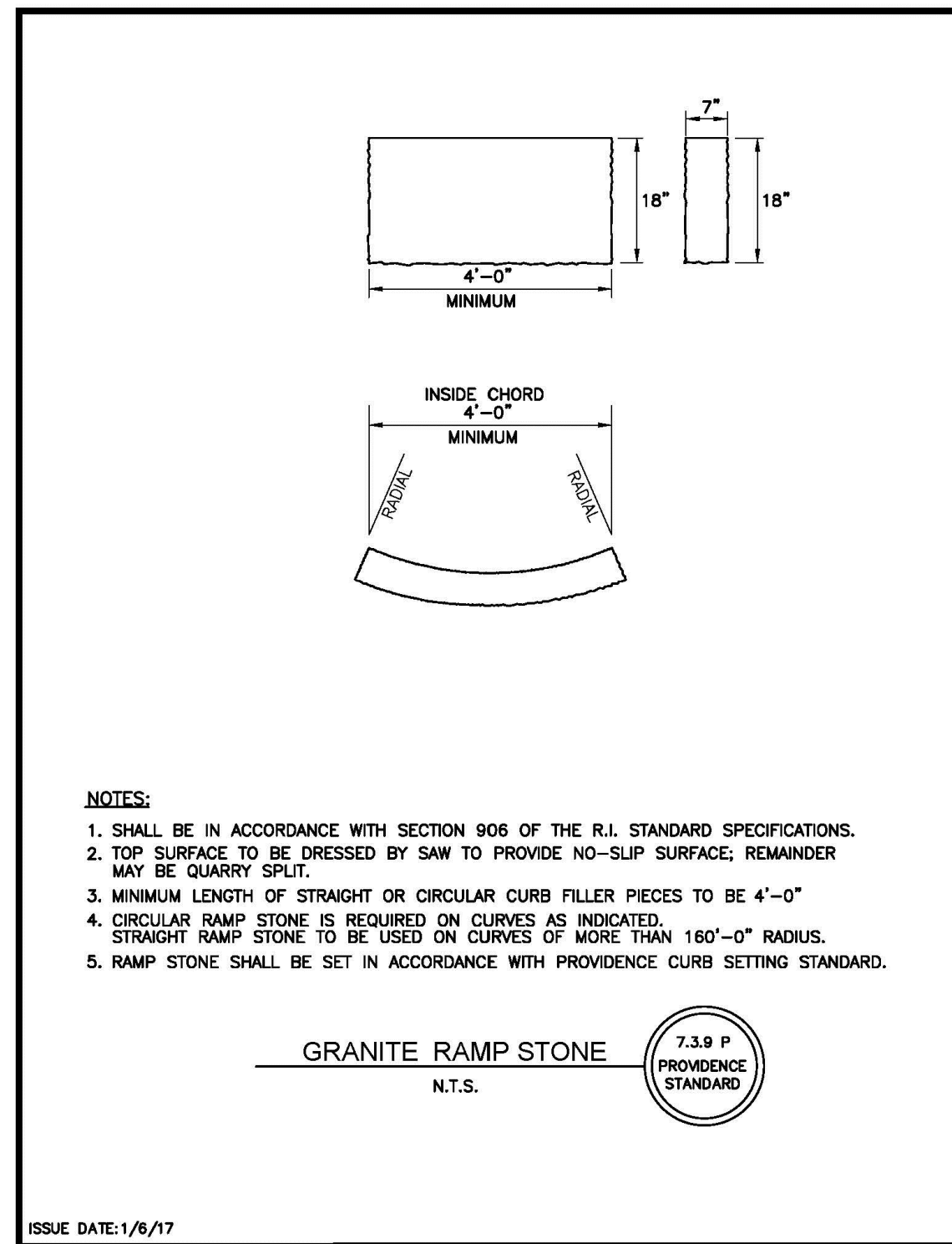


- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. TOP SURFACE TO BE DRESSED BY SAW. REMAINDER TO BE QUARRY SPLIT OR SAWCUT.

GRANITE 2'-0" RADIUS CURB RETURN

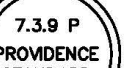


ISSUE DATE: 1/6/17

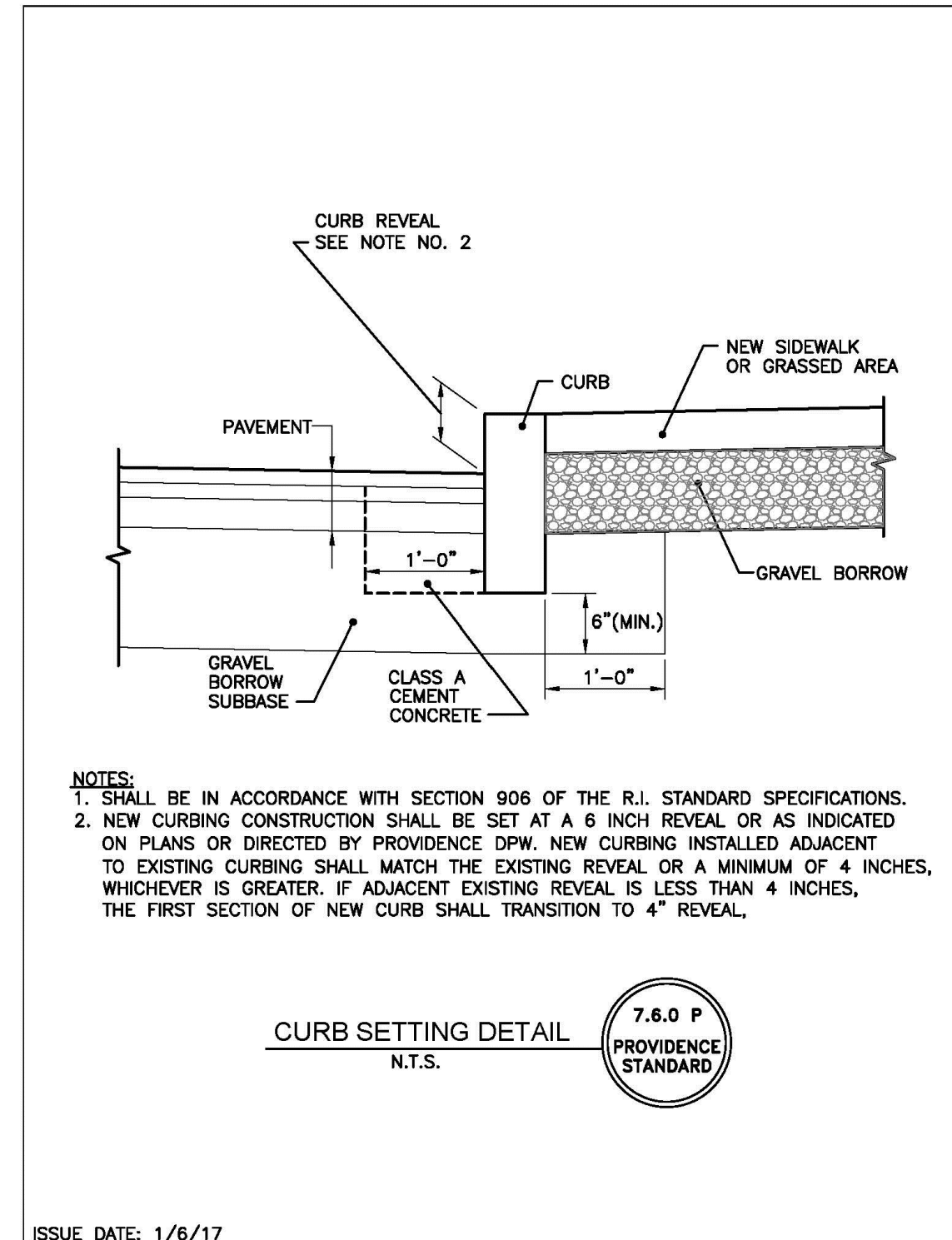


- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. TOP SURFACE TO BE DRESSED BY SAW TO PROVIDE NO-SLIP SURFACE; REMAINDER MAY BE QUARRY SPLIT.
 3. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR CURB FILLER PIECES TO BE 4'-0\".
 4. CIRCULAR RAMP STONE IS REQUIRED ON CURVES AS INDICATED. STRAIGHT RAMP STONE TO BE USED ON CURVES OF MORE THAN 160'-0\" RADIUS.
 5. RAMP STONE SHALL BE SET IN ACCORDANCE WITH PROVIDENCE CURB SETTING STANDARD.

GRANITE RAMP STONE



ISSUE DATE: 1/6/17

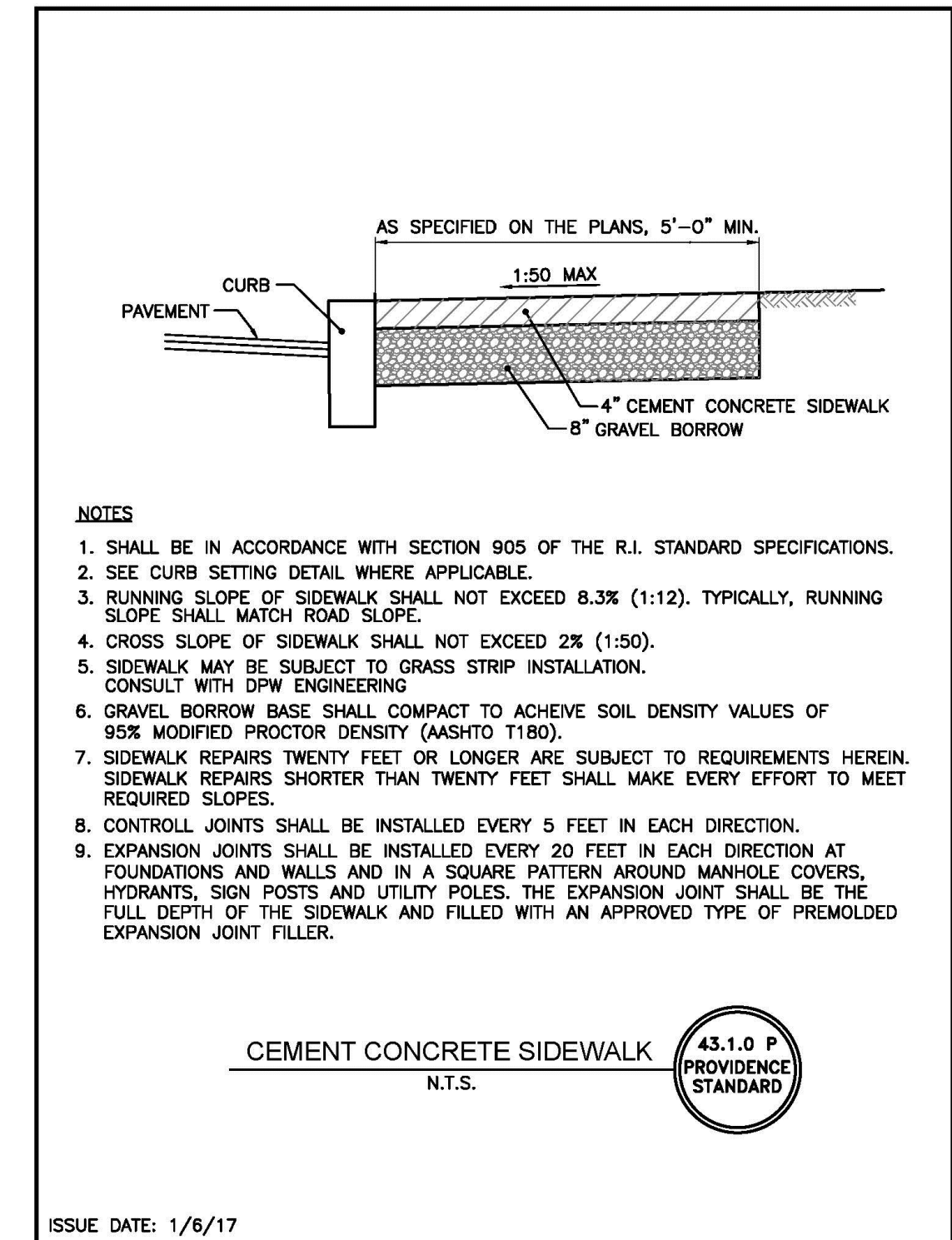


- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. NEW CURBING CONSTRUCTION SHALL BE SET AT A 6 INCH REVEAL OR AS INDICATED ON PLANS OR DIRECTED BY PROVIDENCE DPW. NEW CURBING INSTALLED ADJACENT TO EXISTING CURBING SHALL MATCH THE EXISTING REVEAL OR A MINIMUM OF 4 INCHES, WHICHEVER IS GREATER. IF ADJACENT EXISTING REVEAL IS LESS THAN 4 INCHES, THE FIRST SECTION OF NEW CURB SHALL TRANSITION TO 4\" REVEAL.

CURB SETTING DETAIL



ISSUE DATE: 1/6/17



- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 2. SEE CURB SETTING DETAIL WHERE APPLICABLE.
 3. RUNNING SLOPE OF SIDEWALK SHALL NOT EXCEED 8.3% (1:12). TYPICALLY, RUNNING SLOPE SHALL MATCH ROAD SLOPE.
 4. CROSS SLOPE OF SIDEWALK SHALL NOT EXCEED 2% (1:50).
 5. SIDEWALK MAY BE SUBJECT TO GRASS STRIP INSTALLATION. CONSULT WITH DPW ENGINEERING.
 6. GRAVEL BORROW BASE SHALL COMPACT TO ACHIEVE SOIL DENSITY VALUES OF 95% MODIFIED PROCTOR DENSITY (AASHTO T180).
 7. SIDEWALK REPAIRS TWENTY FEET OR LONGER ARE SUBJECT TO REQUIREMENTS HEREIN. SIDEWALK REPAIRS SHORTER THAN TWENTY FEET SHALL MAKE EVERY EFFORT TO MEET REQUIRED SLOPES.
 8. CONTROLL JOINTS SHALL BE INSTALLED EVERY 5 FEET IN EACH DIRECTION.
 9. EXPANSION JOINTS SHALL BE INSTALLED EVERY 20 FEET IN EACH DIRECTION AT FOUNDATIONS AND WALLS AND IN A SQUARE PATTERN AROUND MANHOLE COVERS, HYDRANTS, SIGN POSTS AND UTILITY POLES. THE EXPANSION JOINT SHALL BE THE FULL DEPTH OF THE SIDEWALK AND FILLED WITH AN APPROVED TYPE OF PREMOLDED EXPANSION JOINT FILLER.

CEMENT CONCRETE SIDEWALK



ISSUE DATE: 1/6/17

CONSTRUCTION DETAILS - 2

FOR
 (A.P.45, LOT 85)
 COPLEY CENTRE I
 PROVIDENCE, RI
 PREPARED FOR
 Marathon Development, LLC.
 500 Harrison Avenue, Suite 4RB

NO.	REVISION	BY	DATE

LAND DEVELOPMENT PLAN (LDP)
 MASTER/ PRELIMINARY
 SUBMISSION

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 CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
 LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

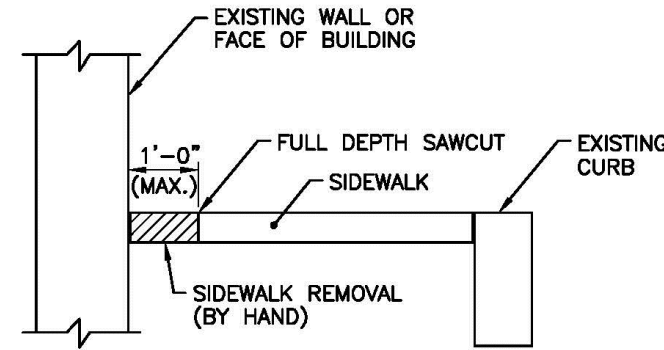
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 TEL. 401-273-6000

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DWG. NO. 7366-05_DETAILS	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: MARCH, 2024

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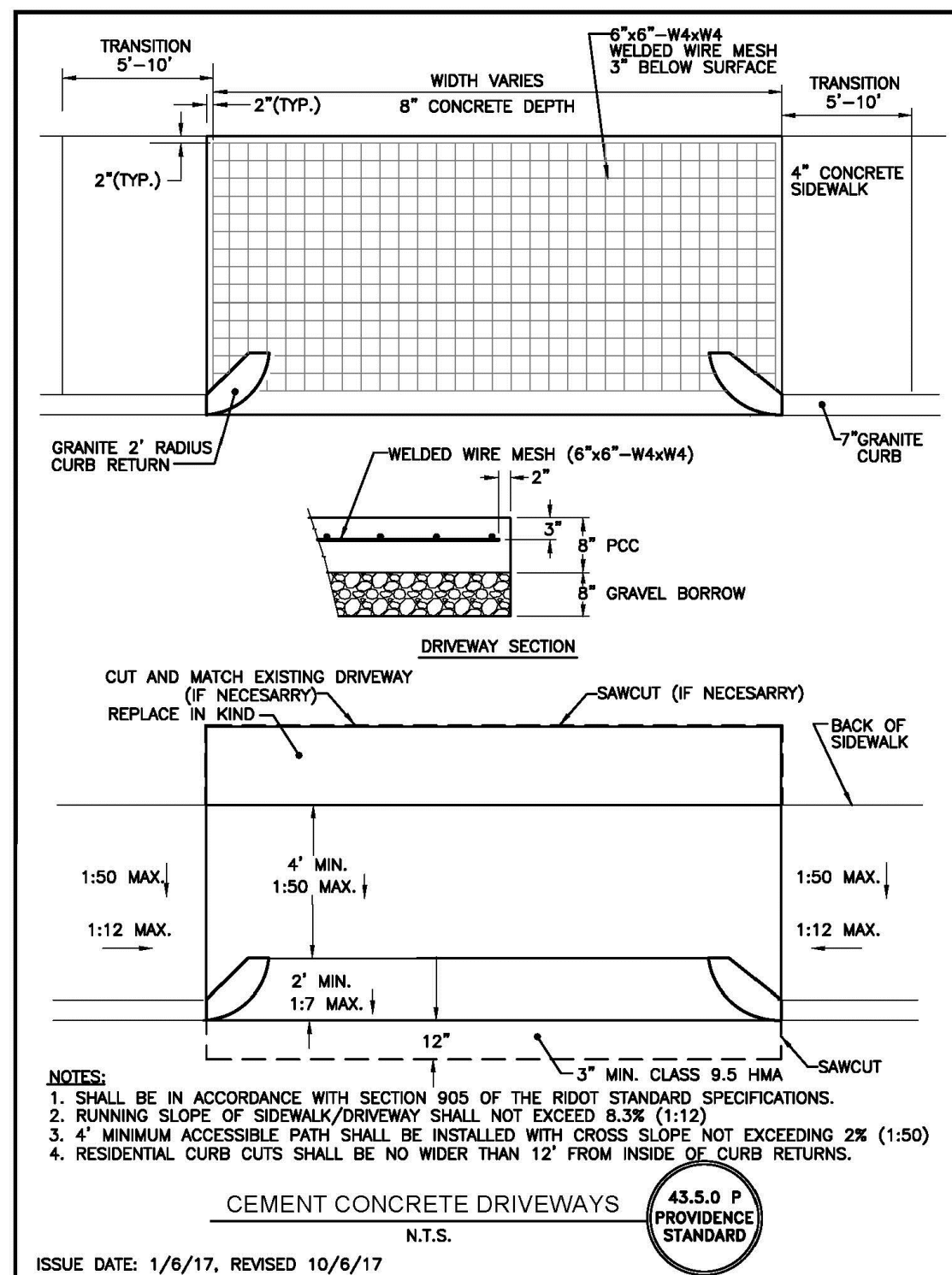


- NOTES:
1. IN AREAS WHERE SIDEWALKS ARE TO BE REMOVED IN FRONT OF EXISTING WALLS OR BUILDINGS, THE CONTRACTOR SHALL SAWCUT ONE (1) FOOT (MAXIMUM) IN FRONT OF THE WALL/BUILDING AND REMOVE THE SIDEWALK STRUCTURE BY HAND.
 2. IN THE EVENT THAT THE EXISTING SIDEWALK IS A STRUCTURAL ELEMENT OF THE WALL/BUILDING, THE EXISTING SIDEWALK IN FRONT OF THESE STRUCTURES WILL REMAIN IN-PLACE AND A NEW SIDEWALK CONSTRUCTED TO MATCH THE EXISTING SECTION.
 3. ANY DAMAGE TO THE WALL OR BUILDING BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE CITY.

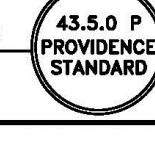
SIDEWALK REMOVAL DETAIL
N.T.S.



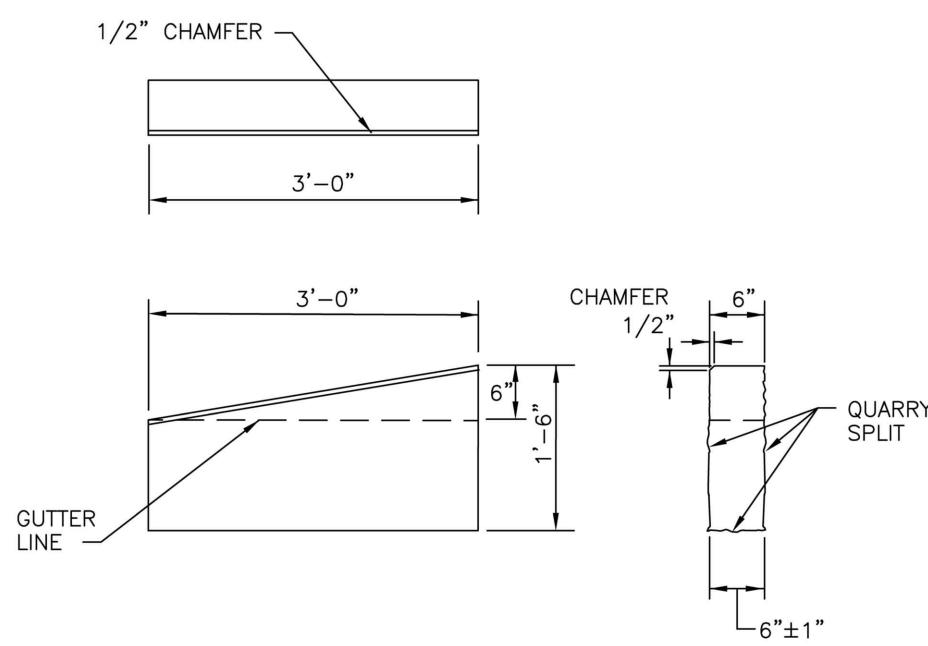
ISSUE DATE: 1/6/17



CEMENT CONCRETE DRIVEWAYS
N.T.S.



ISSUE DATE: 1/6/17, REVISED 10/6/17

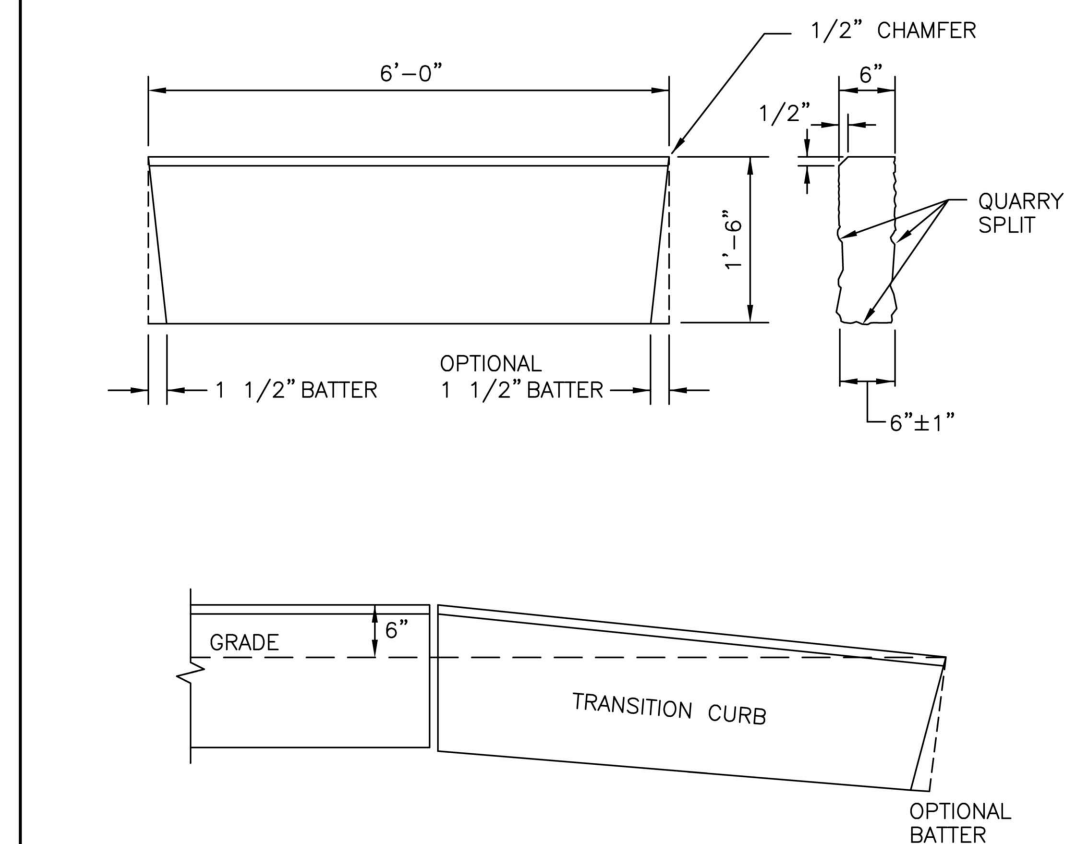


- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. TOP SURFACE TO BE DRESSED BY SAW. REMAINDER MAY BE QUARRY SPLIT.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION
3'-0" GRANITE TRANSITION CURB

NO.	BY	DATE
1	M.P.	Mar 2005
2	M.P.	Jan 2010
3	M.P.	Sep 2012

J. G. Gable
 R. J. Gable
 JUN 15, 1998
 R.I. STANDARD 7.3.1

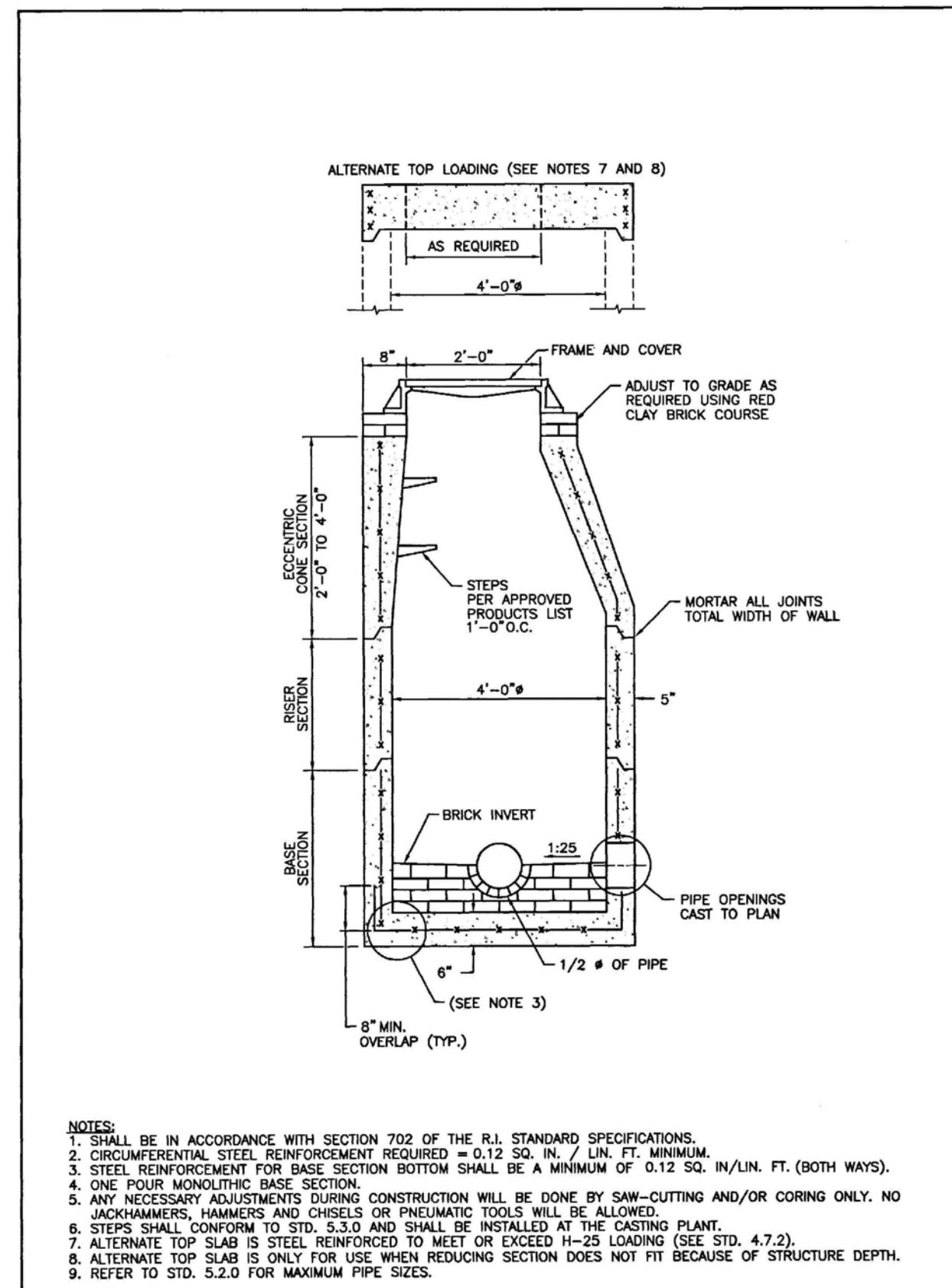


- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. THE CONTRACTOR MAY CUT EXISTING CURB SECTIONS AS REQUIRED TO MEET THIS DETAIL AND THE R.I. STANDARD SPECIFICATIONS, WHERE OLD CURBING IS BEING REUSED.
 3. TOP SURFACE TO BE DRESSED BY SAW. REMAINDER MAY BE QUARRY SPLIT.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION
6'-0" GRANITE TRANSITION CURB

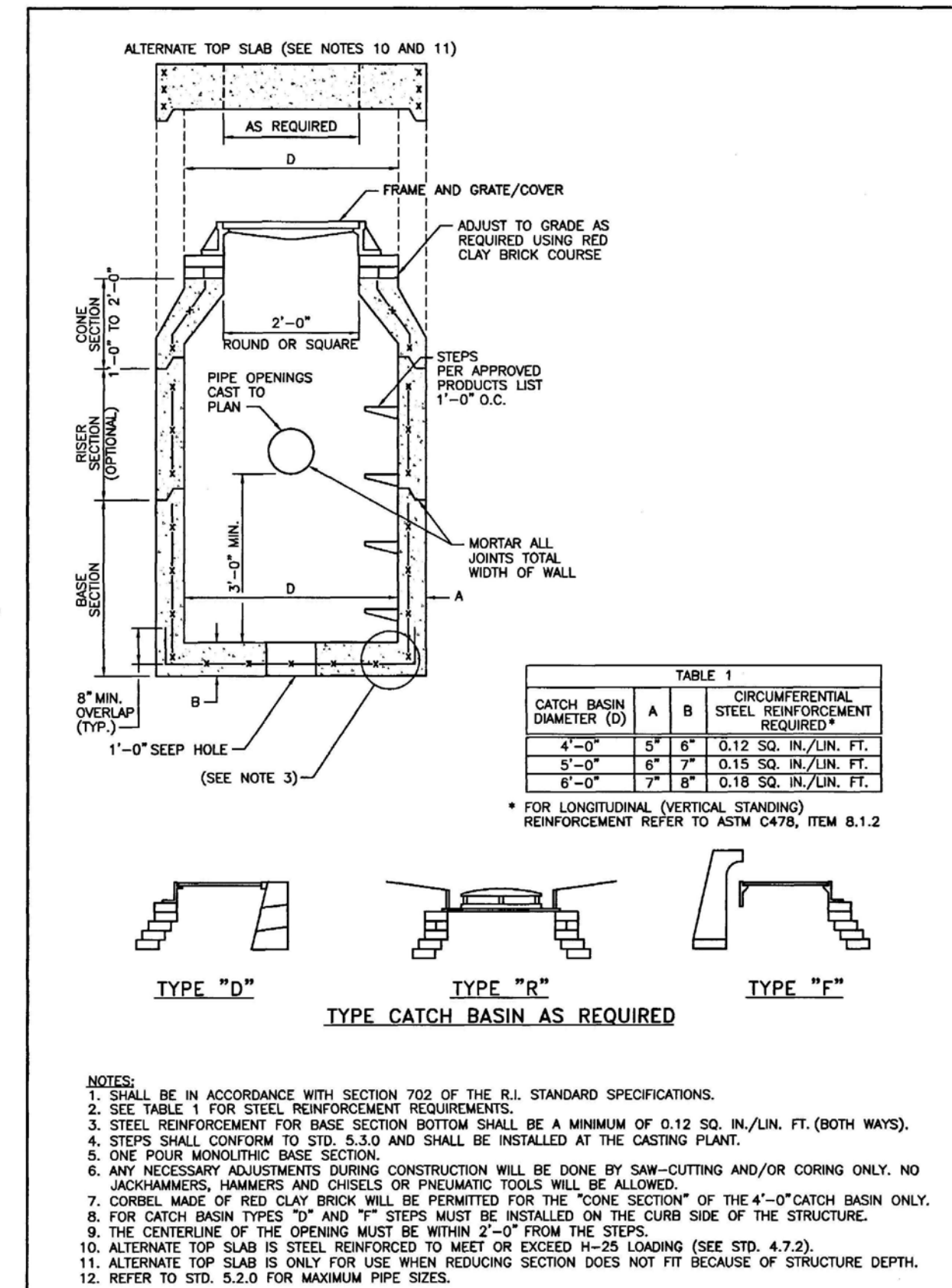
NO.	BY	DATE
1	M.P.	Mar 2005
2	M.P.	Sep 2012

J. G. Gable
 R. J. Gable
 JUN 15, 1998
 R.I. STANDARD 7.3.2



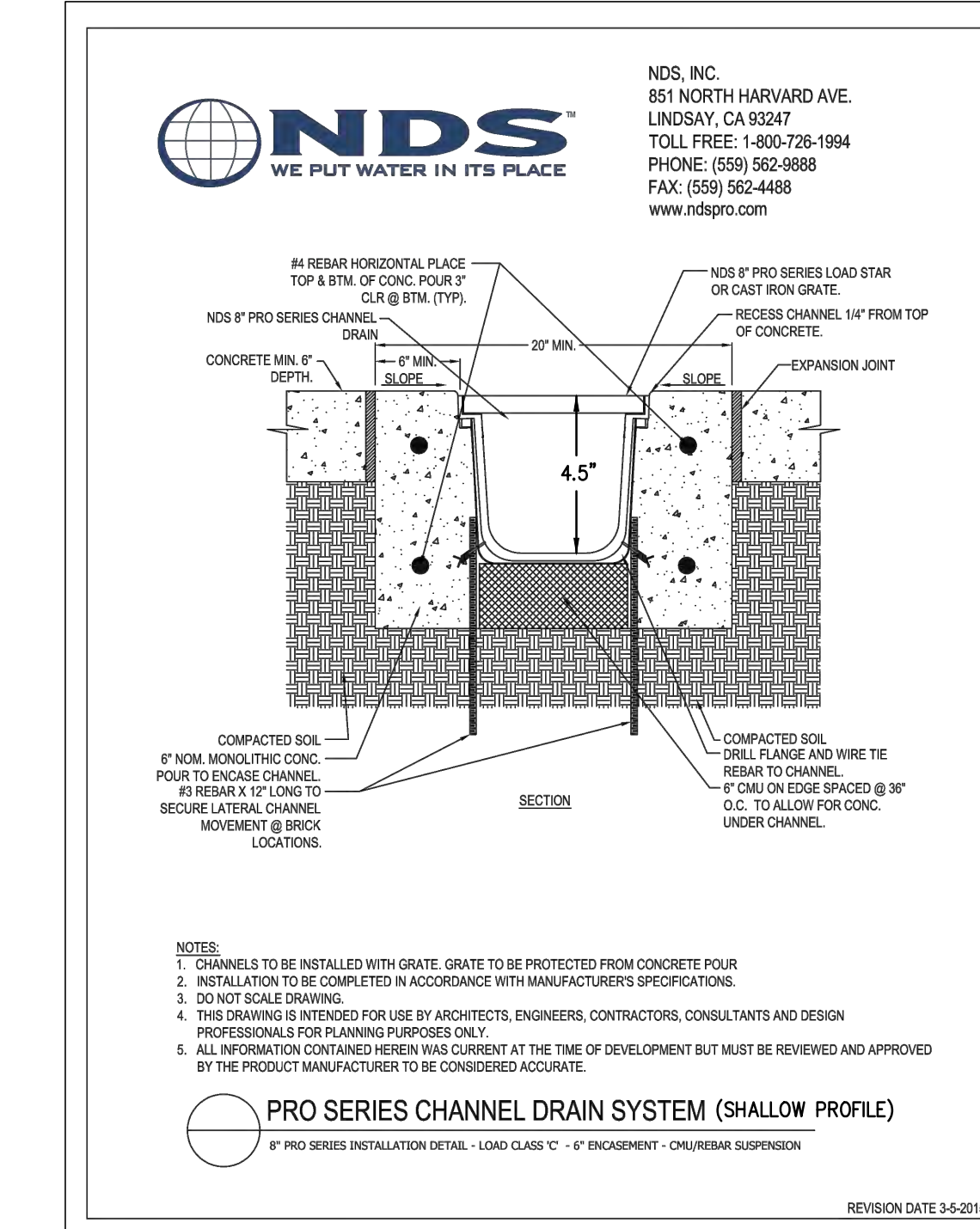
- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATIONS.
 2. CIRCUMFERENTIAL STEEL REINFORCEMENT REQUIRED = 0.12 SQ. IN. / LIN. FT. MINIMUM.
 3. STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQ. IN./LIN. FT. (BOTH WAYS).
 4. ONE FOUR MONOLITHIC BASE SECTION.
 5. ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
 6. STEPS SHALL CONFORM TO STD. 5.3.0 AND SHALL BE INSTALLED AT THE CASTING PLANT.
 7. ALTERNATE TOP SLAB IS STEEL REINFORCED TO MEET OR EXCEED H-25 LOADING (SEE STD. 4.7.2).
 8. ALTERNATE TOP SLAB IS ONLY FOR USE WHEN REDUCING SECTION DOES NOT FIT BECAUSE OF STRUCTURE DEPTH.
 9. REFER TO STD. 5.2.0 FOR MAXIMUM PIPE SIZES.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION			
PRECAST 4'-0" ROUND MANHOLE			
NO.	BY	DATE	
JUN 15, 1998			



- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATIONS.
 2. SEE TABLE 1 FOR STEEL REINFORCEMENT REQUIREMENTS.
 3. STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQ. IN./LIN. FT. (BOTH WAYS).
 4. STEPS SHALL CONFORM TO STD. 5.3.0 AND SHALL BE INSTALLED AT THE CASTING PLANT.
 5. ONE FOUR MONOLITHIC BASE SECTION.
 6. ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
 7. CORBEL MADE OF RED CLAY BRICK WILL BE PERMITTED FOR THE "CONE SECTION" OF THE 4'-0" CATCH BASIN ONLY.
 8. FOR CATCH BASIN TYPES "D" AND "R" STEPS MUST BE INSTALLED ON THE CURB SIDE OF THE STRUCTURE.
 9. THE CENTERLINE OF THE OPENING MUST BE WITHIN 2'-0" FROM THE STEPS.
 10. ALTERNATE TOP SLAB IS STEEL REINFORCED TO MEET OR EXCEED H-25 LOADING (SEE STD. 4.7.2).
 11. ALTERNATE TOP SLAB IS ONLY FOR USE WHEN REDUCING SECTION DOES NOT FIT BECAUSE OF STRUCTURE DEPTH.
 12. REFER TO STD. 5.2.0 FOR MAXIMUM PIPE SIZES.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION			
PRECAST 4'-0", 5'-0", OR 6'-0" ROUND CATCH BASIN			
NO.	BY	DATE	
JUN 15, 1998			



- NOTES:
1. CHANNELS TO BE INSTALLED WITH GRATE. GRATE TO BE PROTECTED FROM CONCRETE POUR.
 2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 3. DO NOT SCALE DRAWING.
 4. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
 5. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

PRO SERIES CHANNEL DRAIN SYSTEM (SHALLOW PROFILE)
8" PRO SERIES INSTALLATION DETAIL - LOAD CLASS 'C' - 6" ENCASUREMENT - CHANNEL REBAR SUSPENSION
REVISION DATE 3-6-2015

TECHNICAL SPECIFICATIONS

8" Pro Series Grate

19 1/8" x 7 7/8" Grate Opening

Part #: 838
Material: High Impact Glass Reinforced Nylon
Color: Light Gray
Use for 8" Pro Series Channel
Grate Opening: 1/2" x 5-3/4"
Open Surface Area: 30.85 Sq. Inches Per Foot.
Head Pressure / Flow rate:
1" = 133.47 GPM per Foot
0.5" = 94.37 GPM per Foot
Weight Per Each: 3.89 lbs.
UV inhibitor

Class C
Load of 170,000 psi
Recommended for heavy-duty pneumatic tire trucks and tractor trailers at speeds less than 20 mph.
H-20 rated.

ADA Compliant

CONSTRUCTION DETAILS - 3

FOR
(A.P.45, LOT 85)
COPLEY CENTRE I
220 BLACKSTONE STREET
PROVIDENCE, RI
PREPARED FOR
Marathon Development, LLC.
500 Harrison Avenue, Suite 4RB

NO.	REVISION	BY	DATE

LAND DEVELOPMENT PLAN (LDP)
MASTER/PRELIMINARY
SUBMISSION

GAROFALO
GAROFALO & ASSOCIATES, INC.
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

85 CORLISS STREET
P.O. BOX 6145
PROVIDENCE, RI 02940
TEL: 401-273-6000

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JOB NO. 7366-05	DRAWN BY K.J.A.
DWG. NO. 7366-05-DETAILS	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: MARCH, 2024

SHEET
C-602
11 OF 14 SHEETS

L:\7366-05-220 Blackstone & 23 Standford (Marathon) - Providence, RI\dwg\01-Current\7366-05_Details.dwg 03/18/2024 kjayyong 11:57

L:\7366-05-220 Blackstone & 23 Standard (Marathon) - Providence, RI\Map\01-Current\7366-05_Details.dwg, 03/18/2024, kjyngang, 11:57

SIGNS UP TO 12 SQ. FT.

SIGNS UP TO 28 SQ. FT.

TYPICAL POST AT LEDGE LESS THAN 3'-0" BELOW GRADE

RHODE ISLAND DEPARTMENT OF TRANSPORTATION
SIGN POST SELECTION AND INSTALLATION DETAILS
SQUARE POST (SIGNS UP TO 8'-0" Wx4'-0" H)
DATE: JUNE 15, 1998
R.I. STANDARD 24.1.0

RHODE ISLAND DEPARTMENT OF TRANSPORTATION
CHAIN LINK FENCE
5'-0" TO 6'-0"
DATE: JUNE 15, 1998
R.I. STANDARD 31.2.0

RHODE ISLAND DEPARTMENT OF TRANSPORTATION
WHEELCHAIR RAMP
DATE: JUNE 15, 1998
R.I. STANDARD 43.3.0

RHODE ISLAND DEPARTMENT OF TRANSPORTATION
DETECTABLE WARNING PANEL PLACEMENT
DATE: JUNE 15, 1998
R.I. STANDARD 48.1.0

1899CGS
APPROX. DRAIN AREA = 118.72 SQ. IN.
APPROX. WEIGHT WITH FRAME = 85.50 LBS.

ADS Nyloplast
DATE: 05-08-98
MATERIAL: DUCTILE IRON
TITLE: 18 IN STANDARD GRATE ASSEMBLY - TYPE C
DWG NO: 705-110-213

AREA DRAIN - FRAME & COVER
NOT TO SCALE

NYLOPLAST 18" DRAIN BASIN: 2818AG __ X

ADS Nyloplast
DATE: 04-04-98
MATERIAL: NYLOPLAST
TITLE: 18 IN DRAIN BASIN QUICK-SPIN INSTALLATION DETAIL
DWG NO: 705-110-091

AREA DRAIN
NOT TO SCALE

CONSTRUCTION DETAILS - 4

FOR
(A.P.45, LOT 85)
COPLEY CENTRE I
220 BLACKSTONE STREET
PROVIDENCE, RI

PREPARED FOR
Marathon Development, LLC.
500 Harrison Avenue, Suite 4RB

NO.	REVISION	BY	DATE

LAND DEVELOPMENT PLAN (LDP)
MASTER/PRELIMINARY
SUBMISSION

GAROFALO
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CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
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SCALE: AS SHOWN	APPROVED S.B.G.
SHEET	DATE: MARCH, 2024

C-603

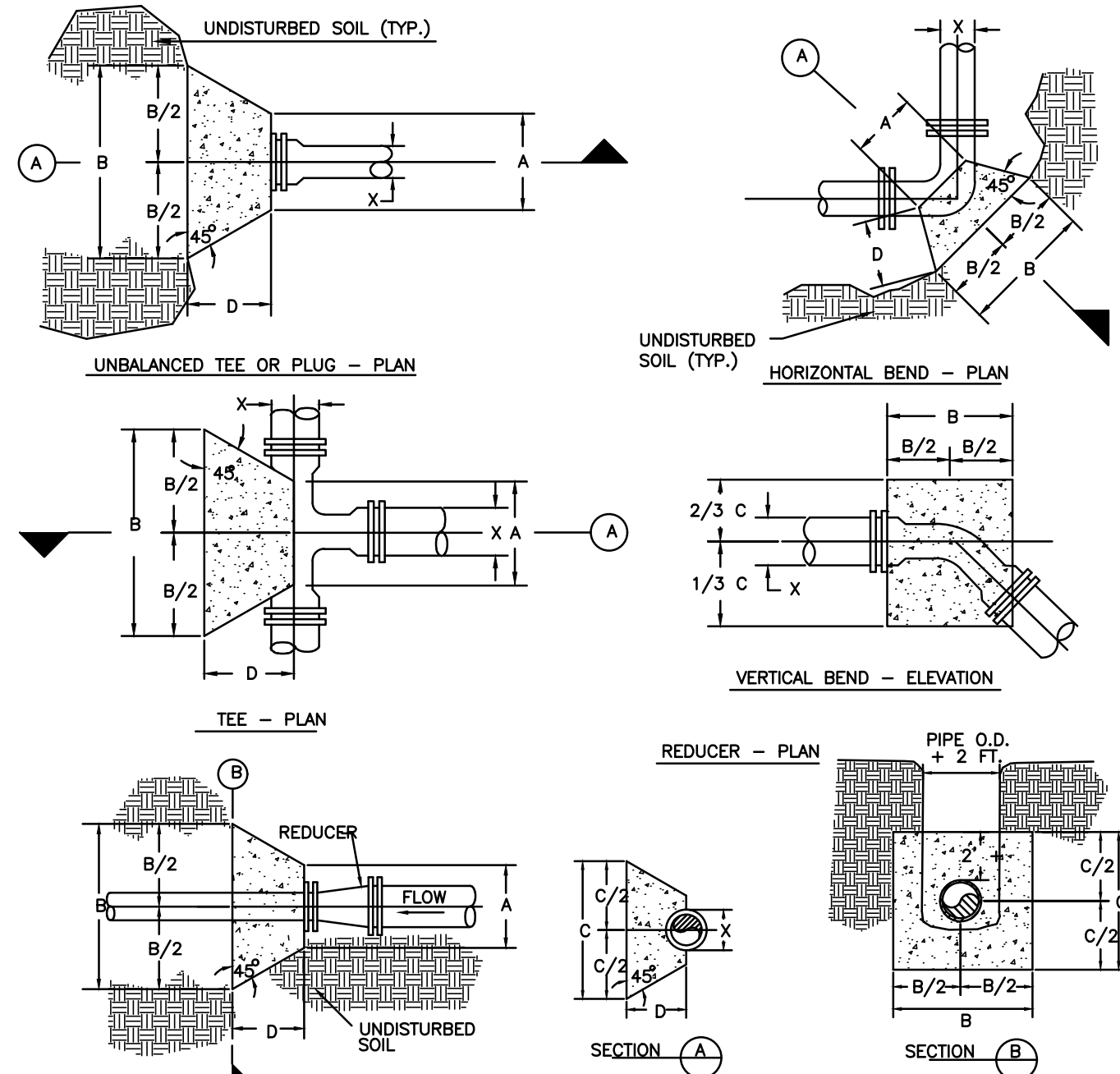
Line Pressure = 150 PSI Soil Pressure = 2000 PSF				
Pipe Size X	A	B	C	D
90 DEGREE BEND				
6"	0'-11"	1'-9"	1'-9"	1'-6"
45 DEGREE BEND				
6"	0'-11"	1'-6"	1'-6"	1'-0"

Line Pressure = 150 PSI Soil Pressure = 2000 PSF				
Pipe Size X	A	B	C	D
11 1/4 DEGREE BEND				
6"	0'-9"	1'-0"	1'-0"	1'-0"
22 1/2 DEGREE BEND				
6"	0'-9"	1'-3"	1'-3"	1'-0"

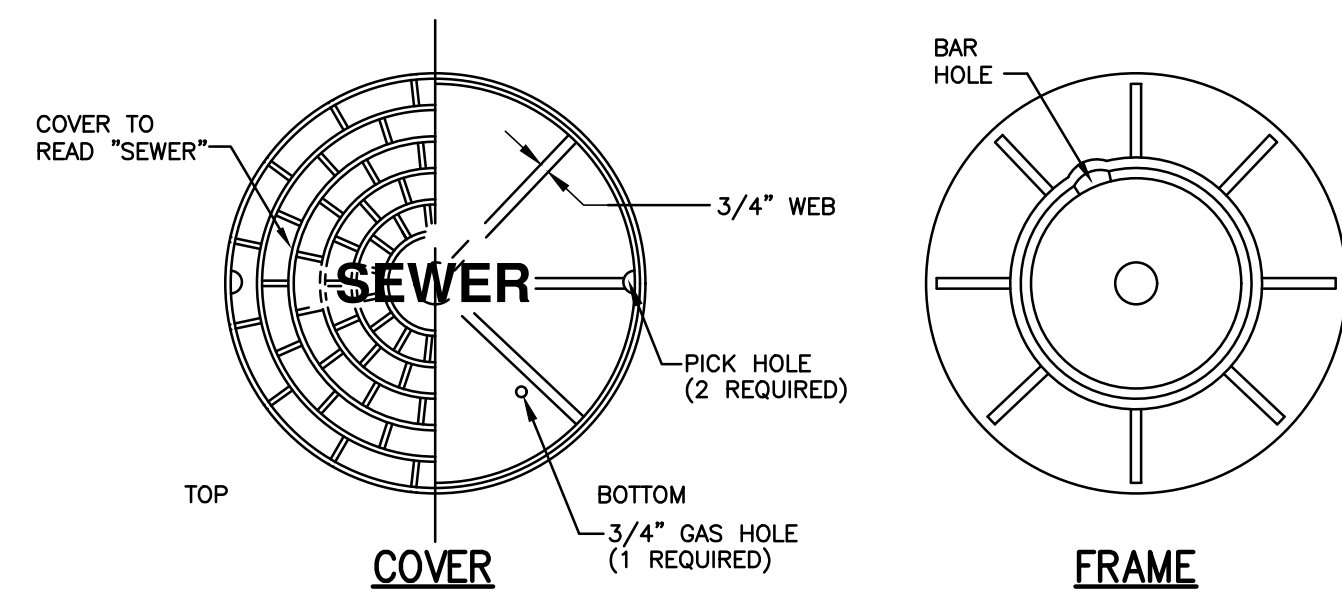
Line Pressure = 150 PSI Soil Pressure = 2000 PSF				
Pipe Size X	A	B	C	D
Unbalanced Tee & Plug				
6"	1'-2"	1'-6"	1'-6"	1'-0"
Tee				
6"	0'-11"	1'-6"	1'-6"	1'-3"

NOTES:
1. BLOCKING SHALL BE CLASS "C" CONCRETE; "SACKCRETE" WILL NOT BE ALLOWED.

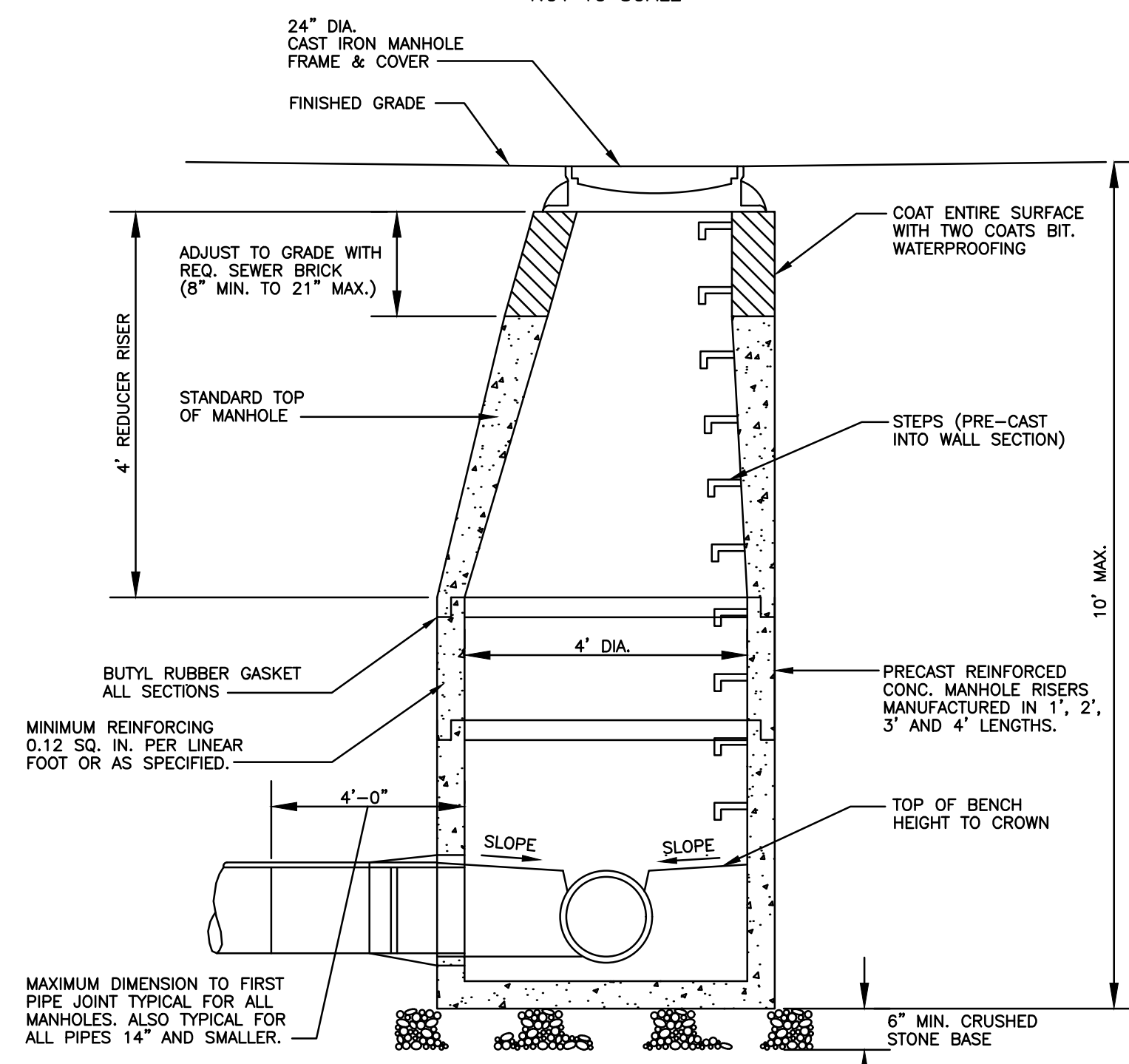
THRUST BLOCK DIMENSIONS
NOT TO SCALE



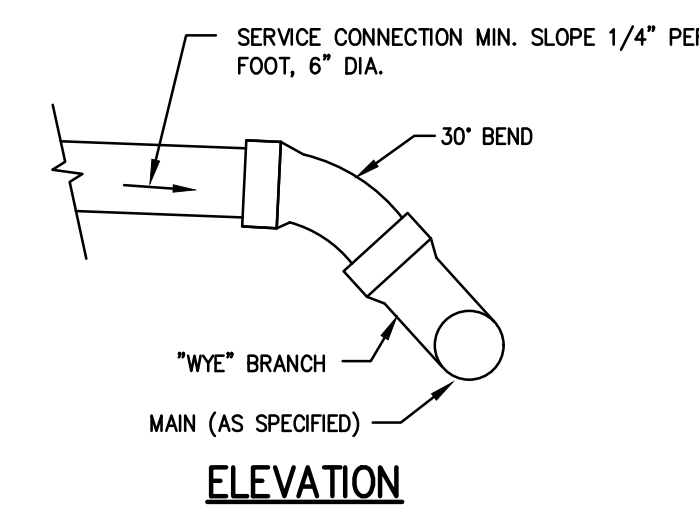
THRUST BLOCK DETAILS
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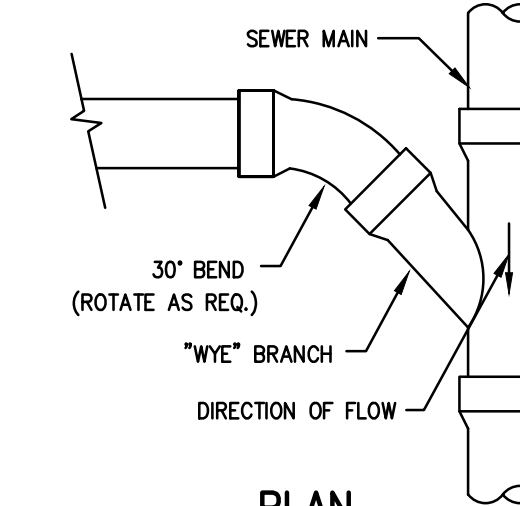
MANHOLE COVER
NOT TO SCALE



SANITARY SEWER MANHOLE DETAIL
NOT TO SCALE



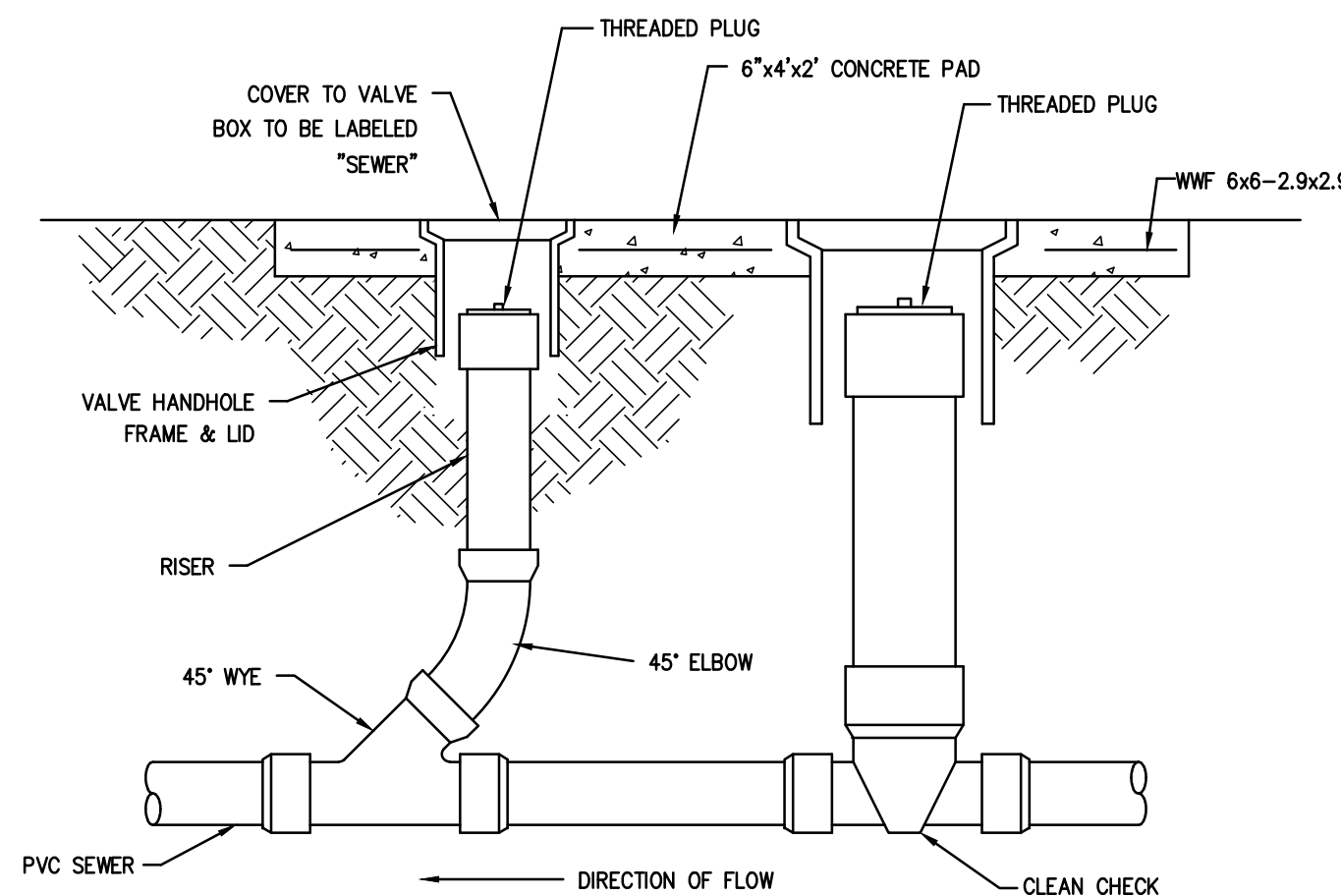
ELEVATION



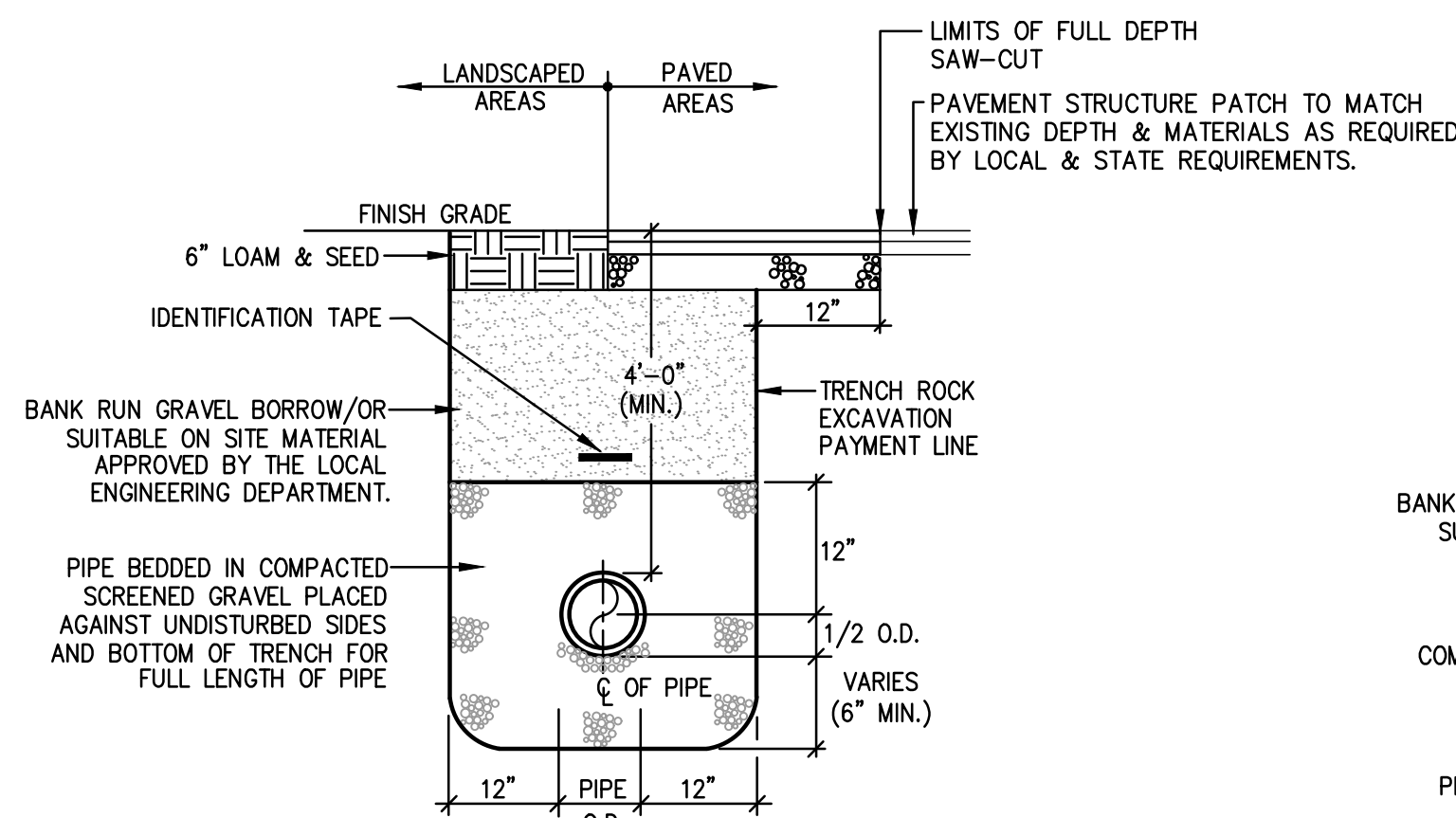
PLAN

NOTES:
1. PIPE AND FITTING MATERIALS TO BE PVC SDR35, MEETING ASTM 3034 FOR USE WITH SANITARY SEWER SYSTEMS.
2. REFER TO "TRENCH SECTION (SEWER)" FOR TRENCHING REQUIREMENTS.

SEWER SERVICE CONNECTION DETAIL
NOT TO SCALE

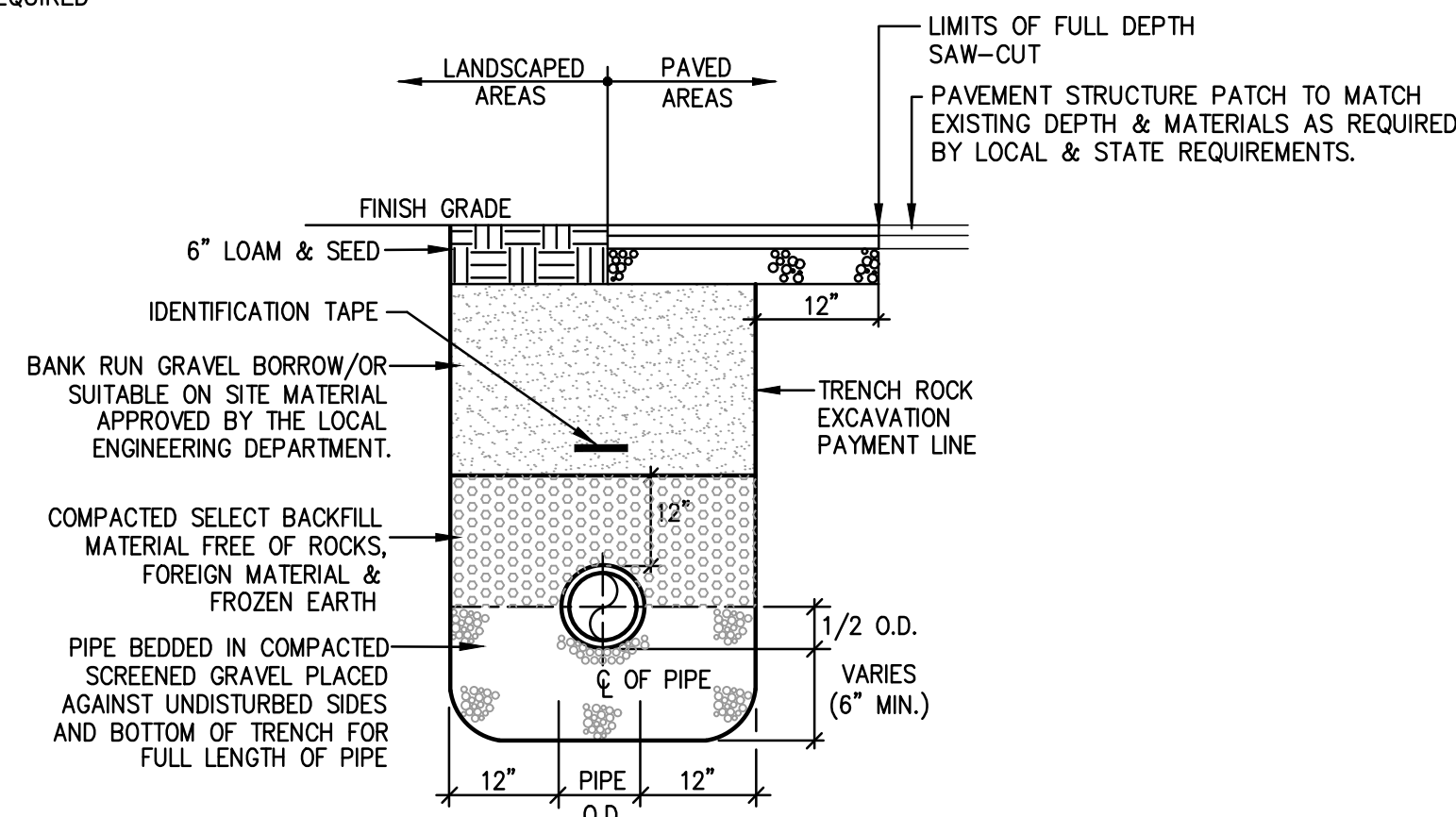


SEWER CLEANOUT W/ CHECK VALVE
NOT TO SCALE



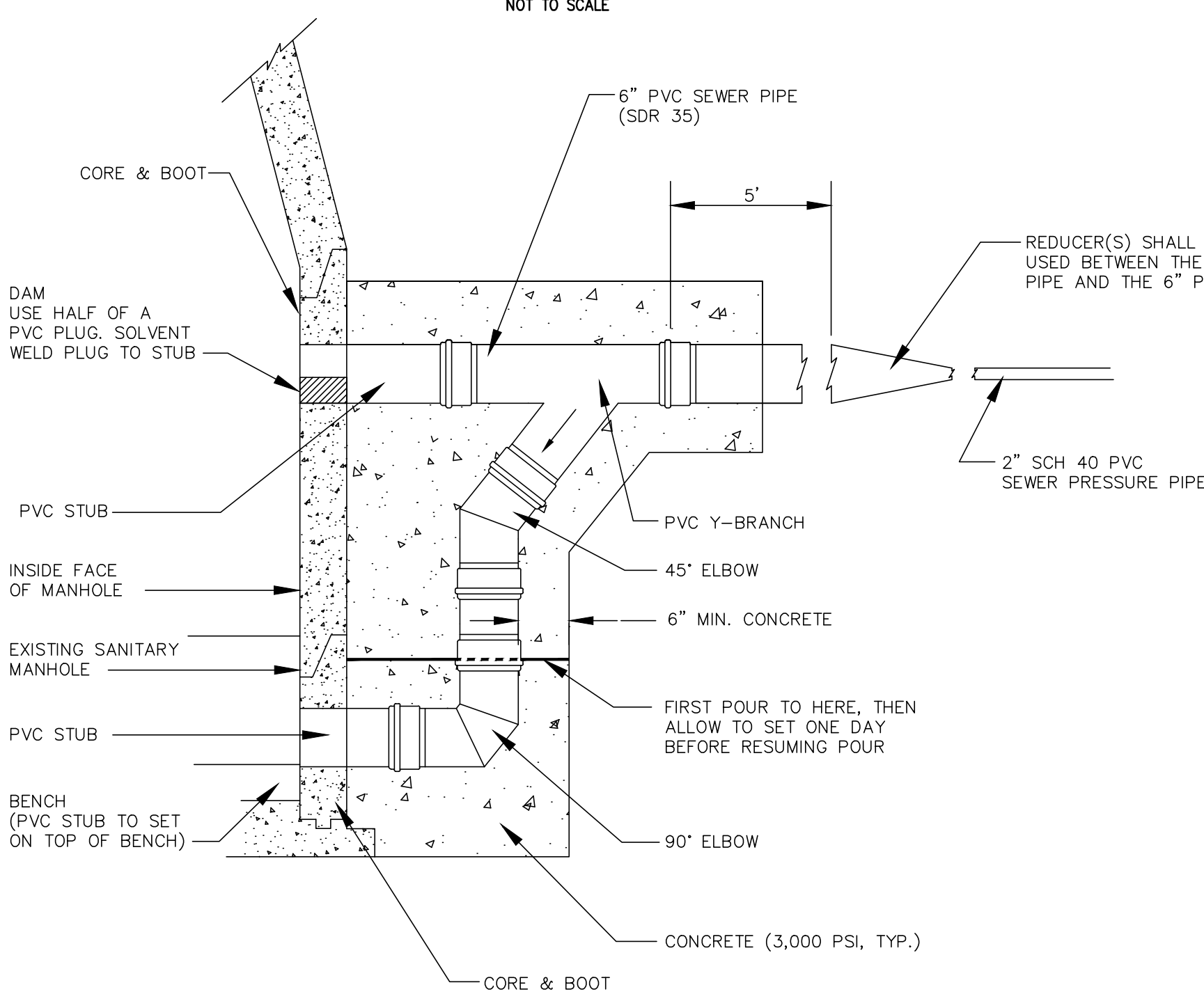
NOTES:
1. METALIZED 2" WIDE BLUE DETECTABLE IDENTIFICATION TAPE WITH THE WORDS "CAUTION - WATER LINE BURIED BELOW" SHALL BE INSTALLED OVER WATER MAINS 12" TO 18" ABOVE UTILITY.
2. EXISTING FOUNDATION SHALL BE REMOVED TO 2" MINIMUM BELOW PROPOSED UTILITIES AND BACKFILLED WITH SELECT BACKFILL TO 95% DENSITY.
3. TRENCH SHALL MEET ANWA TYPICAL TRENCH REQUIREMENTS PROVIDE TRENCH SHEETING & BRACING AS REQUIRED IN ACCORDANCE WITH O.S.H.A. REQUIREMENTS.
4. WHERE TWO (2) WATERLINES ARE INSTALLED WITHIN THE SAME TRENCH, 18" MINIMUM SEPARATION SHALL BE PROVIDED BETWEEN THE TWO.

TYPICAL WATER TRENCH
NOT TO SCALE



NOTES:
1. METALIZED 2" WIDE DETECTABLE IDENTIFICATION TAPE SHALL BE INSTALLED 12" TO 18" ABOVE UTILITY.
2. EXISTING FOUNDATION SHALL BE REMOVED TO 2" MINIMUM BELOW PROPOSED UTILITIES AND BACKFILLED WITH SELECT BACKFILL TO 95% DENSITY.

SEWER/RAIN TRENCH SECTION
NOT TO SCALE



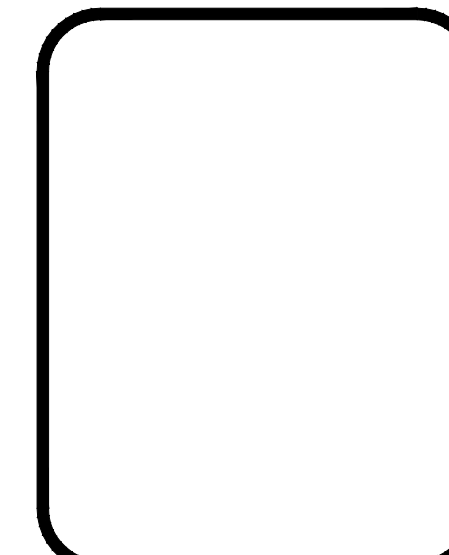
DROP CONNECTION DETAIL
NOT TO SCALE

CONSTRUCTION DETAILS - 5

FOR
(A.P.45, LOT 85)
COPLEY CENTRE I
220 BLACKSTONE STREET
PROVIDENCE, RI
PREPARED FOR
Marathon Development, LLC.
500 Harrison Avenue, Suite 4RB

NO.	REVISION	BY	DATE

LAND DEVELOPMENT PLAN (LDP)
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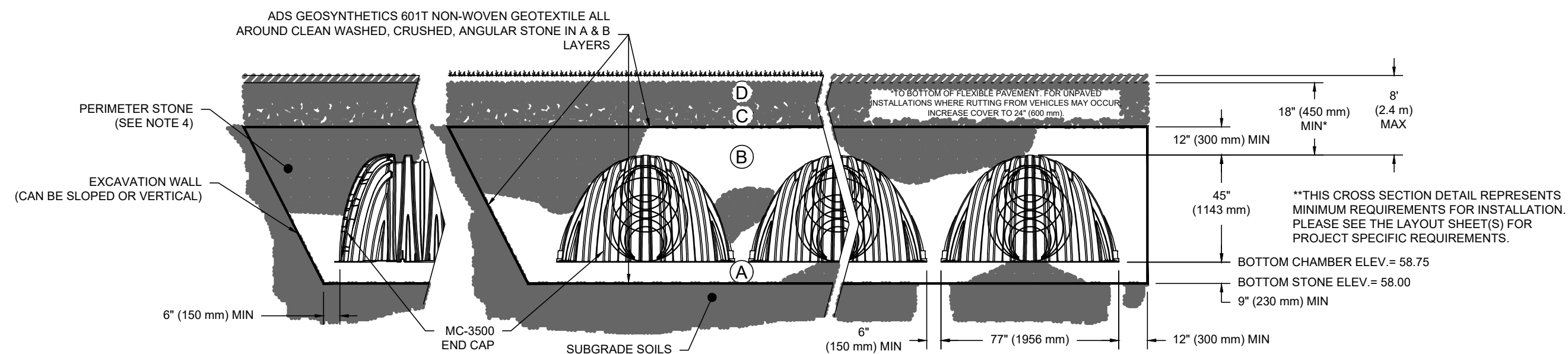
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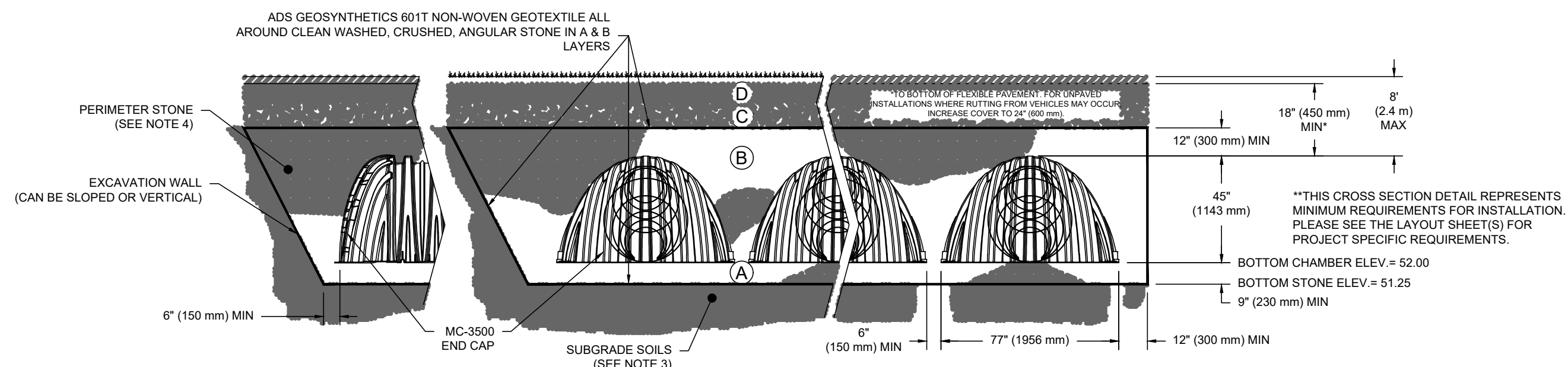
JOB NO. 7366-05	DRAWN BY K.J.A.
DWG. NO. 7366-05-DETAILS	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: MARCH, 2024

SHEET
C-604
13 OF 14 SHEETS

L:\7366-05-220 Blackstone & 23 Standard (Marathon) - Providence, RI\Drawings\Current\7366-05_Details.dwg 03/18/2024 11:57



**BMP-1
MC-3500 TYP CROSS SECTION**
NOT TO SCALE



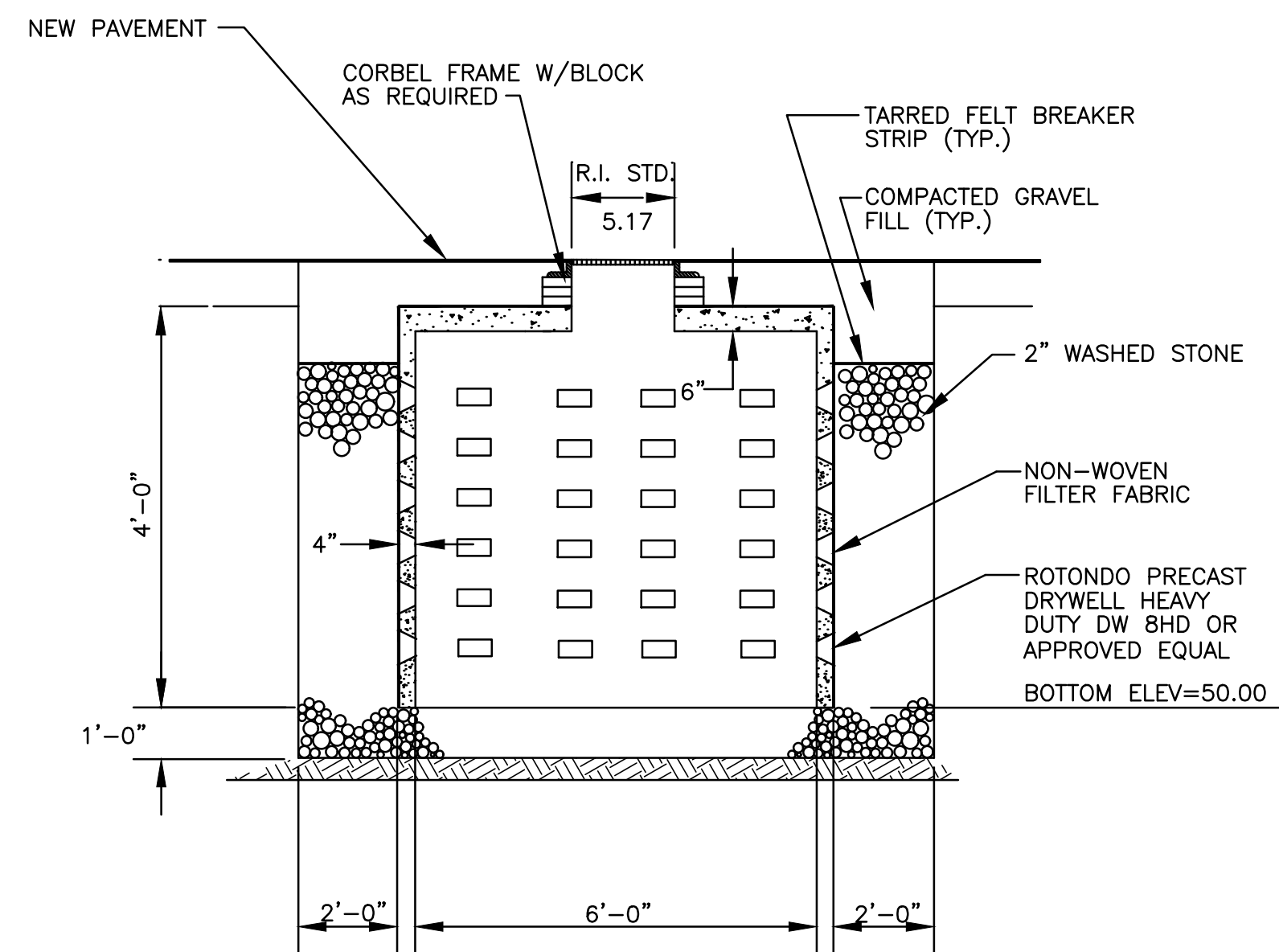
**BMP-2
MC-3500 TYP CROSS SECTION**
NOT TO SCALE

STORMWATER CHAMBER SPECIFICATIONS

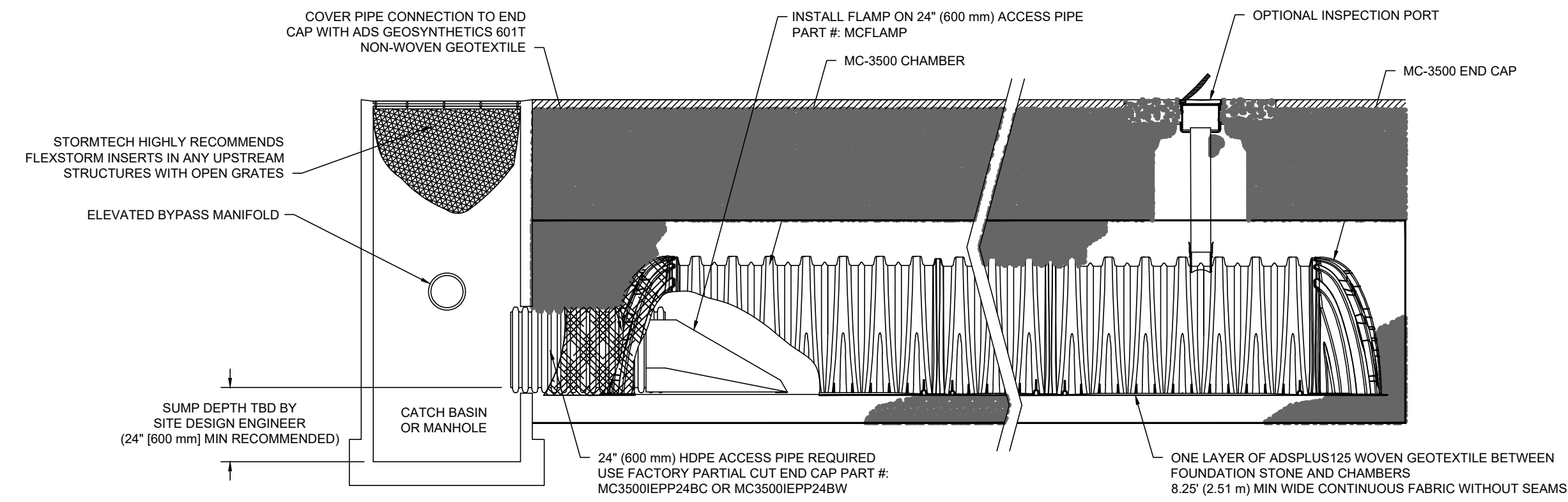
- CHAMBERS SHALL BE STORMTECH MC-3500 OR APPROVED EQUAL.
- CHAMBERS SHALL BE MADE FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORT PANELS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12 ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F 2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- ONLY CHAMBERS THAT ARE APPROVED BY THE ENGINEER WILL BE ALLOWED. THE CONTRACTOR SHALL SUBMIT (3 SETS) OF THE FOLLOWING TO THE ENGINEER FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE:
 - A STRUCTURAL EVALUATION BY A REGISTERED STRUCTURAL ENGINEER THAT DEMONSTRATES THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12 ARE MET.
 - STRUCTURAL CROSS SECTION DETAIL ON WHICH THE STRUCTURAL CROSS SECTION IS BASED.
- THE INSTALLATION OF CHAMBERS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S LATEST INSTALLATION INSTRUCTIONS.

UNDERGROUND INFILTRATION CHAMBER - BMP 1 & 2

NOT TO SCALE



LEACHING DRYWELL DETAIL
NOT TO SCALE



ISOLATOR CHAMBER ROW DETAIL
NOT TO SCALE

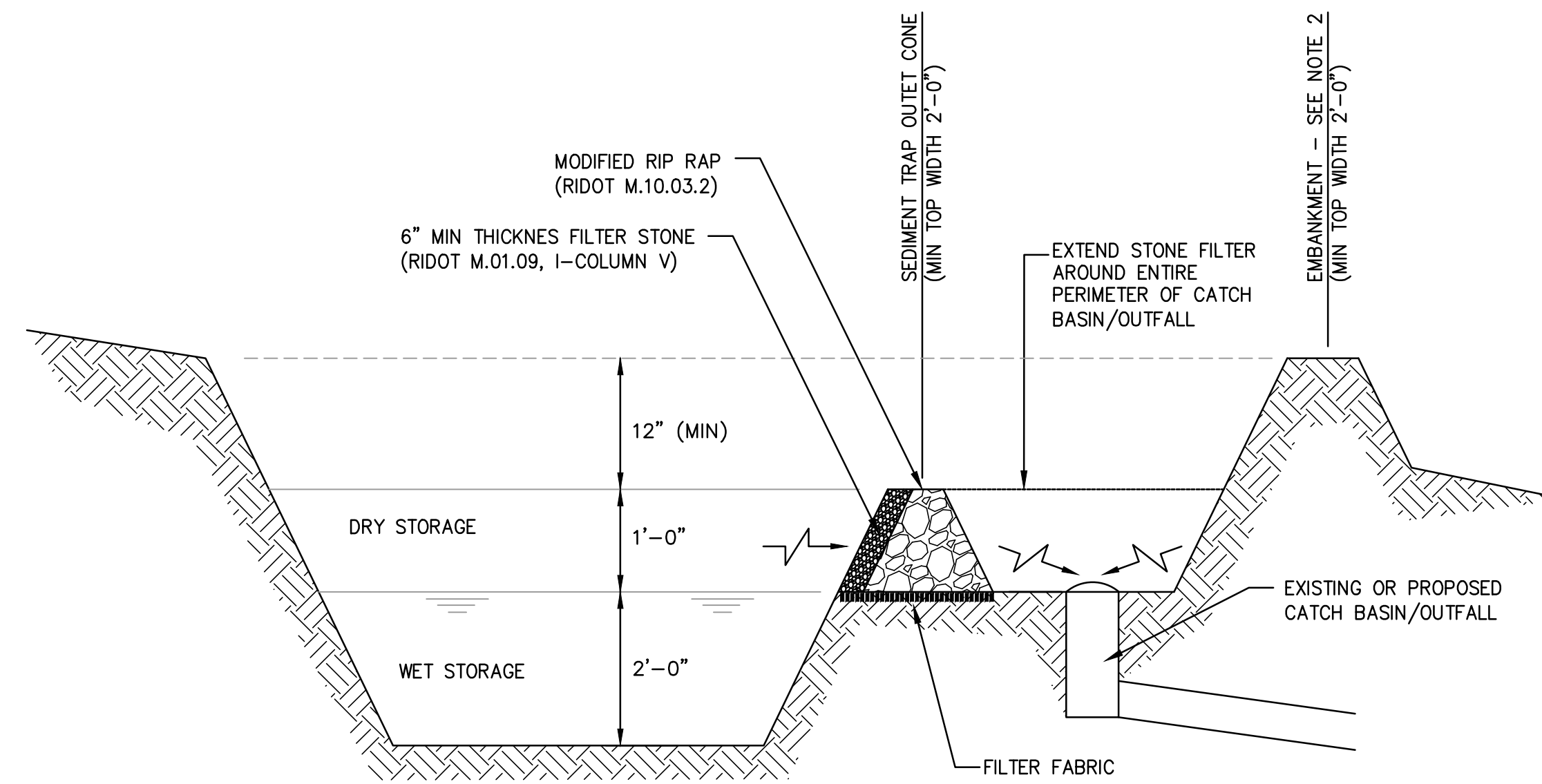
ACCEPTABLE FILL MATERIALS: STORMTECH MC-3500 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP 'D' OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145 ¹ A-1, A-2.4, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 18" (450 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

- PLEASE NOTE:
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 - STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
 - WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
 - ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.
 - WHERE RECYCLED CONCRETE AGGREGATE IS USED IN LAYERS 'A' OR 'B' THE MATERIAL SHOULD ALSO MEET THE ACCEPTABILITY CRITERIA OUTLINED IN TECHNICAL NOTE 6.20 "RECYCLED CONCRETE STRUCTURAL BACKFILL".

UNDERGROUND INFILTRATION CHAMBER

NOT TO SCALE



NOTES:

- SEDIMENTS SHALL BE REMOVED WHEN THEY ACCUMULATE TO 1/2 THE WET STORAGE DEPTH.
- WHERE BERMING IS REQUIRED TO PROVIDE FREEBOARD, SEDIMENT TRAPS EMBANKMENTS SHALL NOT EXCEED 2'.
- WHEN SEDIMENT TRAP IS NOT DIRECTED TO AN EXISTING DRAINAGE STRUCTURE, CONSTRUCT FILTER STRIP IN ACCORDANCE WITH THE RISDISM.

TEMPORARY SEDIMENT TRAP WITH GRAVEL CONE RISER

NOT TO SCALE

CONSTRUCTION DETAILS - 6

FOR
**(A.P.45, LOT 85)
COPLEY CENTRE I
220 BLACKSTONE STREET
PROVIDENCE, RI**
PREPARED FOR
Marathon Development, LLC.
500 Harrison Avenue, Suite 4RB

NO.	REVISION	BY	DATE

LAND DEVELOPMENT PLAN (LDP)
MASTER/ PRELIMINARY
SUBMISSION

GAROFALO
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P.O. BOX 6145
PROVIDENCE, RI 02940
TEL. 401-273-6000

JOB NO. 7366-05	DRAWN BY K.J.A.
DWG. NO. 7366-05_DETAILS	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
DATE: MARCH, 2024	

SHEET
C-605

RZR SERIES - LED

SPECIFICATIONS

POLE DRILLING TEMPLATE

EPA & WEIGHT

PLED™ MODULES

ORDERING INFORMATION

Spec/Order Example: R2B/PLED-IV/ROLED-700mA/CW/277/RAL-8019/S

Luminaire	Optics	LED	Voltage	Mounting	Finish	Options
R2B-G	Type I PLED-I Type II PLED-II	120LED 350mA 700mA 700mA 350mA	120V 277V 480V 277V 347V	1 2-1/8" 2-7/8" 3-9/8" 3-1/2" 4-60"	Black RAL-9005 White RAL-7004 Dark Bronze RAL-8019 White RAL-9005 Premium Finishes	Internal House-Size Cord Exterior Exterior Glass Sheet 3-Position Angle EPN Load Lock Temperature Only 2Pin Tie Lock Temperature Only High-Low Dimming for Ballast Dimming Photometric Sensor Digital Low Dim (DALI) Digital Full Dim (DMX) Back Light Integration Ballast Voltage Sensor Phosphor Coated Ballast MS4311

LPW16 LytePro
LED medium wall sconce

Dimensions

Accessory dimensions (ordered separately)

LED Wattage and Lumen Values

Ordering Code	Total LED's	LED Current	Color Temp	Average System Watts	Lumen Output	BUG Rating (LP7)	Efficiency (LP7)
LPW16-20-WW-G3	16	400	4000K	22	2,325	B1-U0-G1	107
LPW16-30-WW-G3	16	650	4000K	34	4,089	B1-U0-G1	119
LPW16-60-WW-G3	16	900	4000K	48	5,448	B1-U0-G1	114
LPW16-20-WW-G3	16	400	3000K	22	2,310	B1-U0-G1	113
LPW16-30-WW-G3	16	650	3000K	34	3,768	B1-U0-G1	110
LPW16-60-WW-G3	16	900	3000K	48	5,057	B1-U0-G1	108

Predicted lumen depreciation data

Ambient Temperature °C	Calculated Lx Hours	Lx per TM-21	Lumen Maintenance % at 60,000 hrs
up to 40°C	>200,000 hours	>44,000 hours	>96%

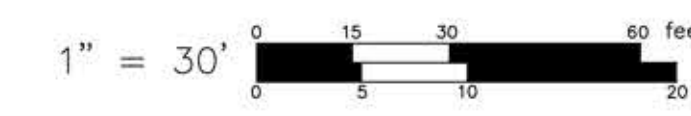
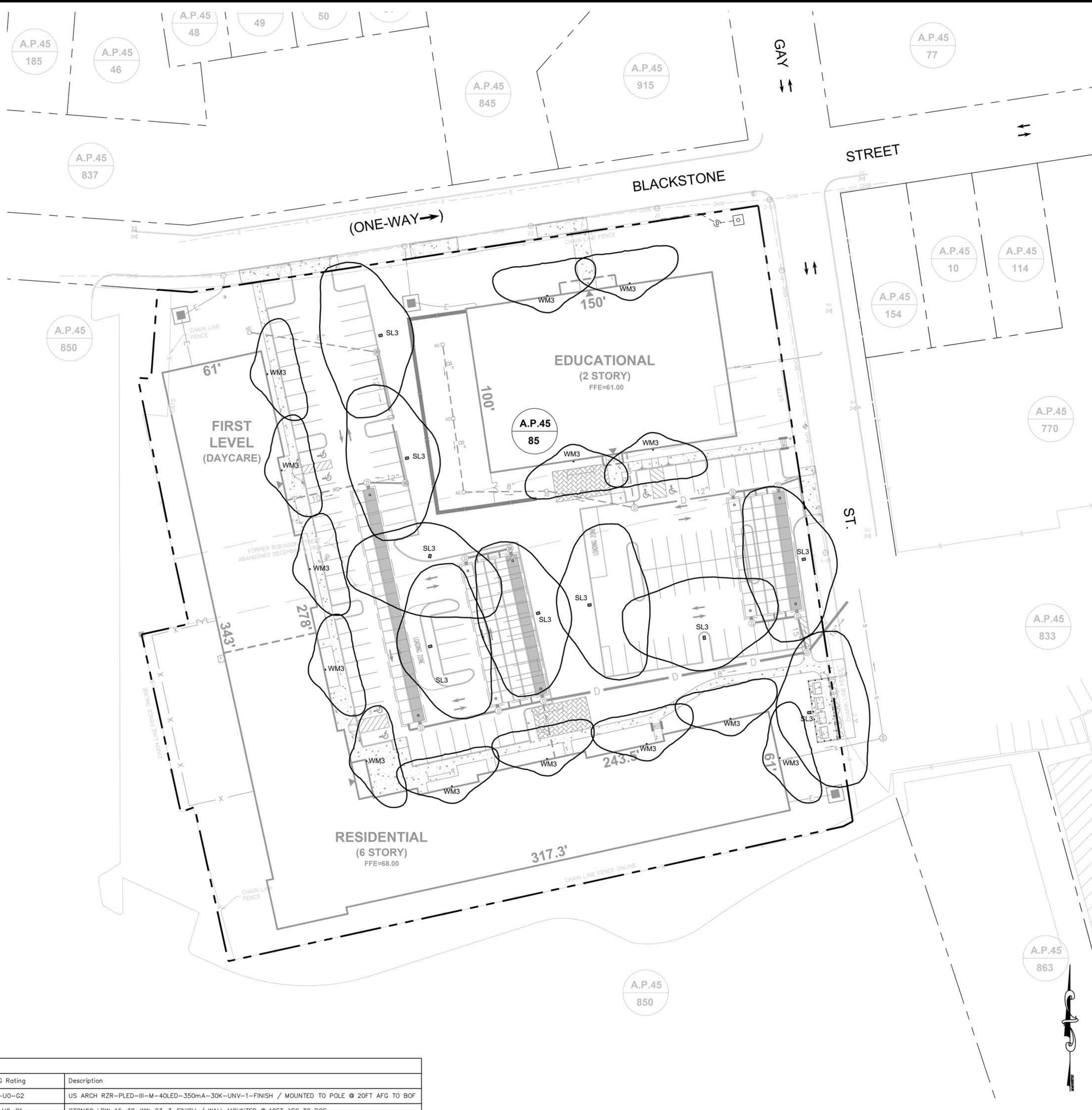
Optical distributions

WM3

WORKPLANE/CALC PLANE: AT FINISH GRADE
MOUNTING HEIGHT: SEE LUMINAIRE SCHEDULE

Luminaire Schedule

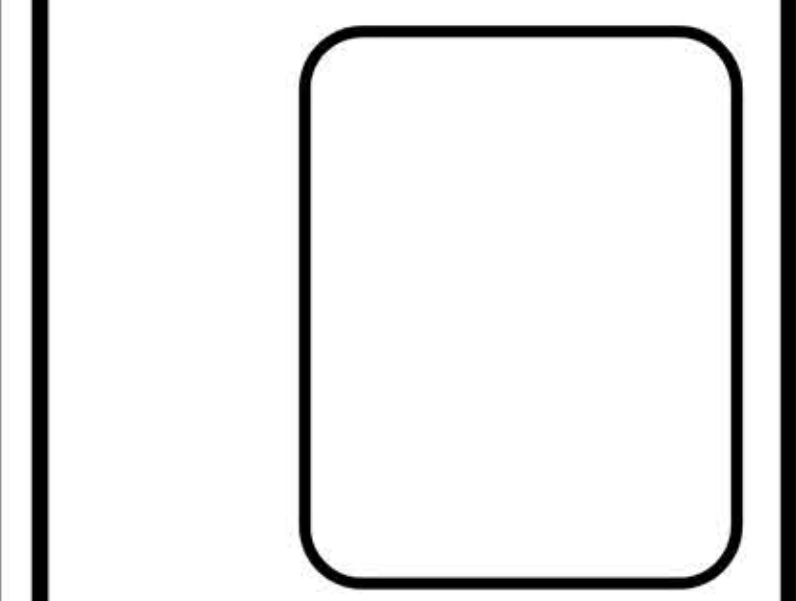
Qty	Label	Arrangement	Lumens	Input Watts	LLF	BUG Rating	Description
9	SL3	Single	6392	42.7	0.900	B2-U0-G2	US ARCH RZR-PLED-III-M-40LED-350mA-30K-UNV-1-FINISH / MOUNTED TO POLE @ 20FT AFG TO BOF
12	WM3	Single	3687	34.3	0.900	B1-U0-G1	STONOCO LPW-16-30-WW-G3-3-FINISH / WALL MOUNTED @ 10FT AFG TO BOF



SITE LIGHTING
FOR
**(A.P.45, LOT 85)
COPLEY CENTRE I
220 BLACKSTONE STREET
PROVIDENCE, RI**
PREPARED FOR
Marathon Development, LLC,
500 Harrison Avenue, Suite 4RB

NO.	REVISION	BY	DATE

LAND DEVELOPMENT PLAN (LDP)
MASTER/ PRELIMINARY
SUBMISSION



GAROFALO
GAROFALO & ASSOCIATES, INC.
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

85 CORLISS STREET
P.O. BOX 6145
PROVIDENCE, R.I. 02940
TEL. 401-273-6000

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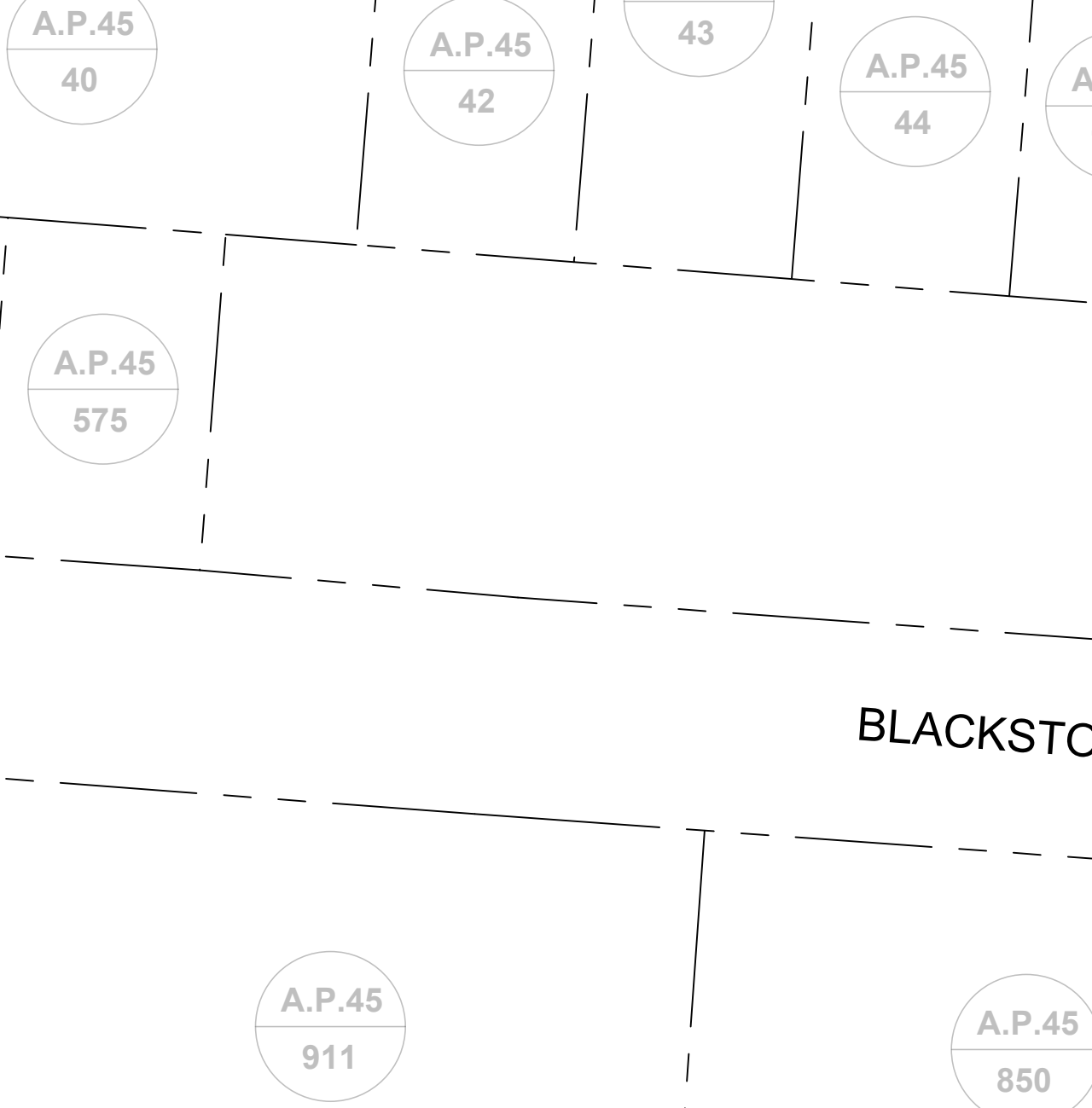
JOB NO. 7366-05	DRAWN BY K.Y.Y.
DWG. NO. 7366-05_SL	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: MARCH, 2024

SHEET

SL-1

1 OF 1 SHEET

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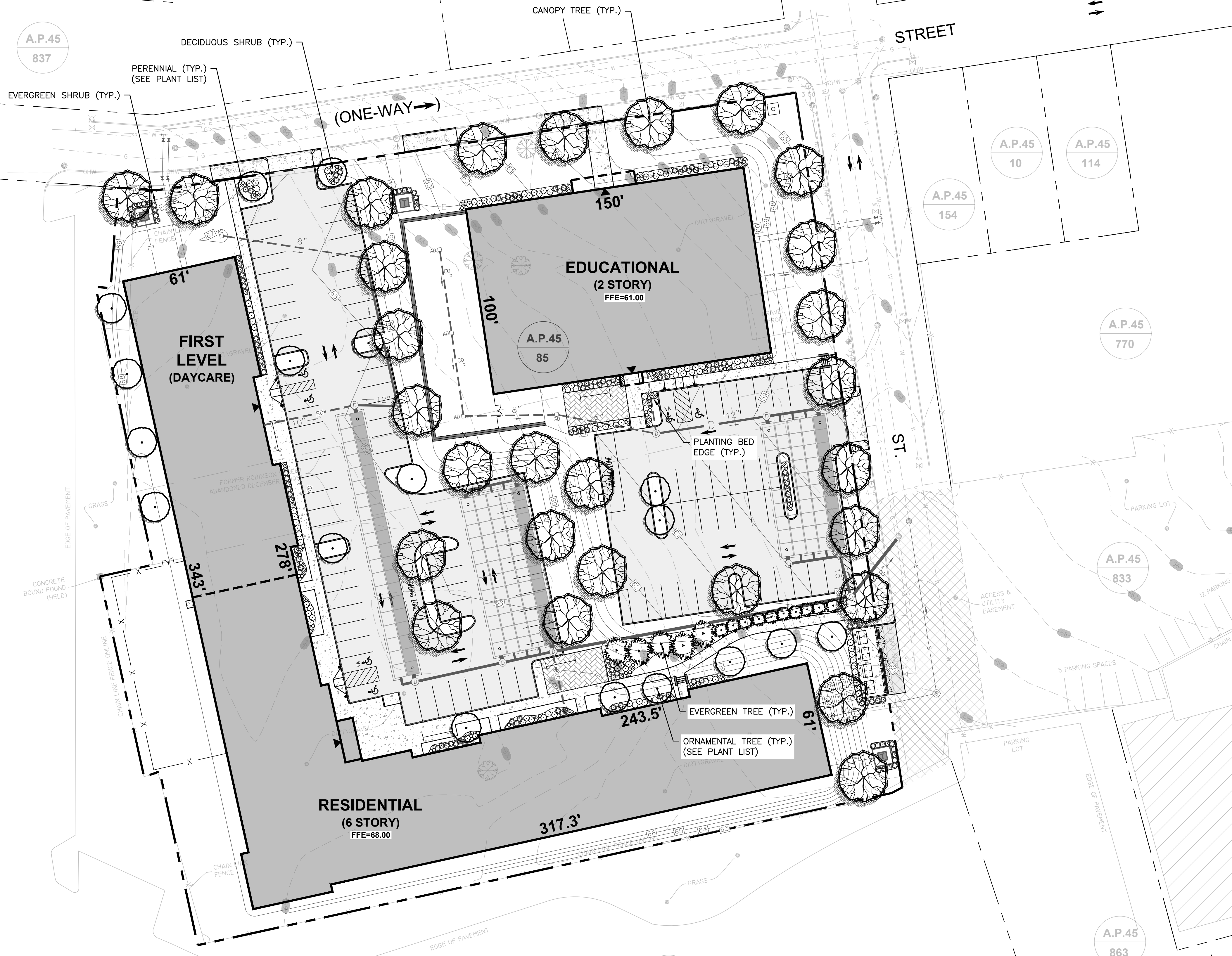


REQUIRED TREE CANOPY (LOT 215: ZONE PS)		
ITEM	REQUIRED	PROPOSED
TOTAL LOT AREA		±151,389 S.F.
REQUIRED TREE CANOPY	15% (±22,708 S.F.)	22% (±33,400± S.F.)(1)
INTERIOR PARKING LOT	10% (±3,595 S.F.)	12% (±4,151± S.F.)(2)

- NOTES:
- REQUIRED TREE CANOPY :
 = 151,389 S.F. (LOTS AREA) x 0.15 (15 REQUIRED PERCENTAGE) = ±22,708 S.F.
 PROVIDED:
 LARGE TREE: 1,000 S.F. = 28 TREES x 1,000 S.F. = 28,000 S.F.
 SMALL TREE: 300 S.F. = 18 TREES x 300 S.F. = 5,400 S.F.
 TOTAL TREE CANOPY COVERAGE = 33,400 S.F.
 *** CANOPY COVERAGE MEETS THE REQUIREMENT OF 15 PERCENT PER ARTICLE.15-1503.C.
 - REQUIRED INTERIOR PARKING LOT LANDSCAPING AREA: 10%
 PARKING LOT AREA ±35,949 S.F.
 = 35,949 S.F. x 0.10 = 3,595 S.F.
 PROVIDED: ±4,151 S.F. = 12%
 *** INTERIOR PARKING LOT MEETS THE REQUIREMENT OF 10 PERCENT PER ARTICLE.15-1505.B.

PLANT LIST:

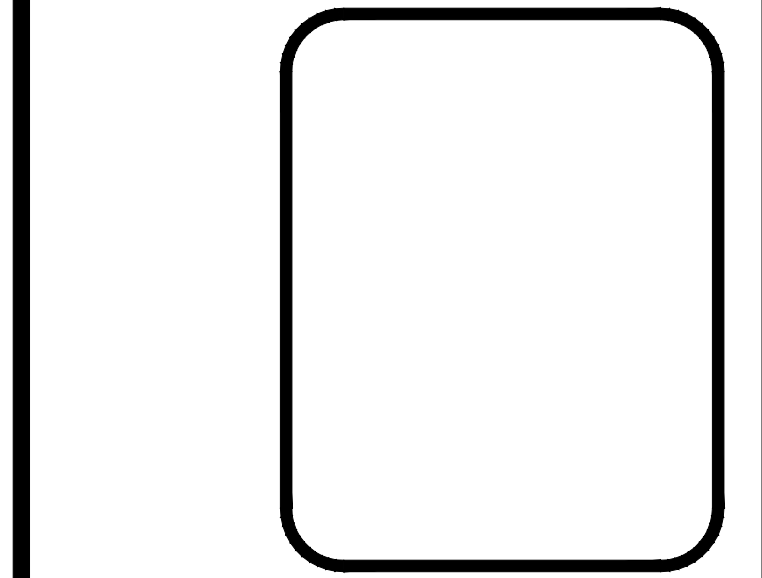
- CANOPY TREE:**
- | | |
|---|--|
| SCIENTIFIC NAME:
ACRE RUBRUM 'OCTOBER GLORY'
GLEDTISIA TR. INTERMIS 'SKYCOLE'
QUERCUS PALUSTRIS
TILIA CORDATA | COMMON NAME:
OCTOBER GLORY RED SUNSET
SKYLINE HONEY LOCUST
PIN OAK
LITTLELEAF LINDEN |
|---|--|
- ORNAMENTAL TREE:**
- | | |
|---|---|
| SCIENTIFIC NAME:
AMELANCHIER 'AUTUMN BRILLIANCE'
CORNUS FLORIDA 'RUBRA'
PRUNUS SERRULATA 'MOUNTH FUJI' | COMMON NAME:
AUTUMN BRILLIANCE SHADBLOW
PINK FLOWERING DOGWOOD
MT. FUJI FLOWERING CHERRY |
|---|---|
- EVERGREEN TREE:**
- | | |
|---|---|
| SCIENTIFIC NAME:
JUNIPERUS VIRGIANIANA
PINUS STROBILIS
THUJA OCCIDENTALIS
THUJA PLICATA | COMMON NAME:
EASTERN RED CEDAR
EASTERN WHITE PINE
AMERICAN ARBORVITAE
WESTERN RED CEDAR |
|---|---|
- SHRUBS, PERENNIAL & GROUND COVER :**
- | | |
|---|--|
| SCIENTIFIC NAME:
AZALEA 'DELAWARE VALLEY WHITE'
BUXUS MICRO. 'GREEN WINTER GREEN'
HEMEROCALLIS 'JOAN SENIOR'
HYDRANGEA MACROPHYLLA 'ENDLESS SUMMER'
ILEX GLABRA 'COMPACTA'
ILEX VERTICALLATE 'RED SPRITE'
JUNIPERUS CONFERTA 'BLUE PACIFIC'
PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'
ROSA 'KNOCK OUT PINK'
RUBECKIA HIRTA
SCHIZACHYRIUM SCOPARIUM | COMMON NAME:
WHITE AZALEA
WINTER GEM BOXWOOD
JOAN SENIOR DAYLILY
ENDLESS SUMMER HYDRANGEA
COMPACT INKBERRY HOLLY
RED SPRITE WINTER BERRY
SHORE JUNIPER
LITTLE BUNNY FOUNTAIN GRASS
KNOCK OUT PINK ROSE
BLACK EYED SUSAN'S
LITTLE BLUESTEM |
|---|--|



LANDSCAPE PLAN
 FOR
 (A.P.45, LOT 85)
 COPLEY CENTRE I
 220 BLACKSTONE STREET
 PROVIDENCE, RI
 PREPARED FOR
 Marathon Development, LLC.
 500 Harrison Avenue, Suite 4RB

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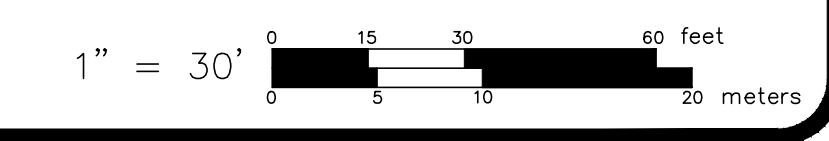
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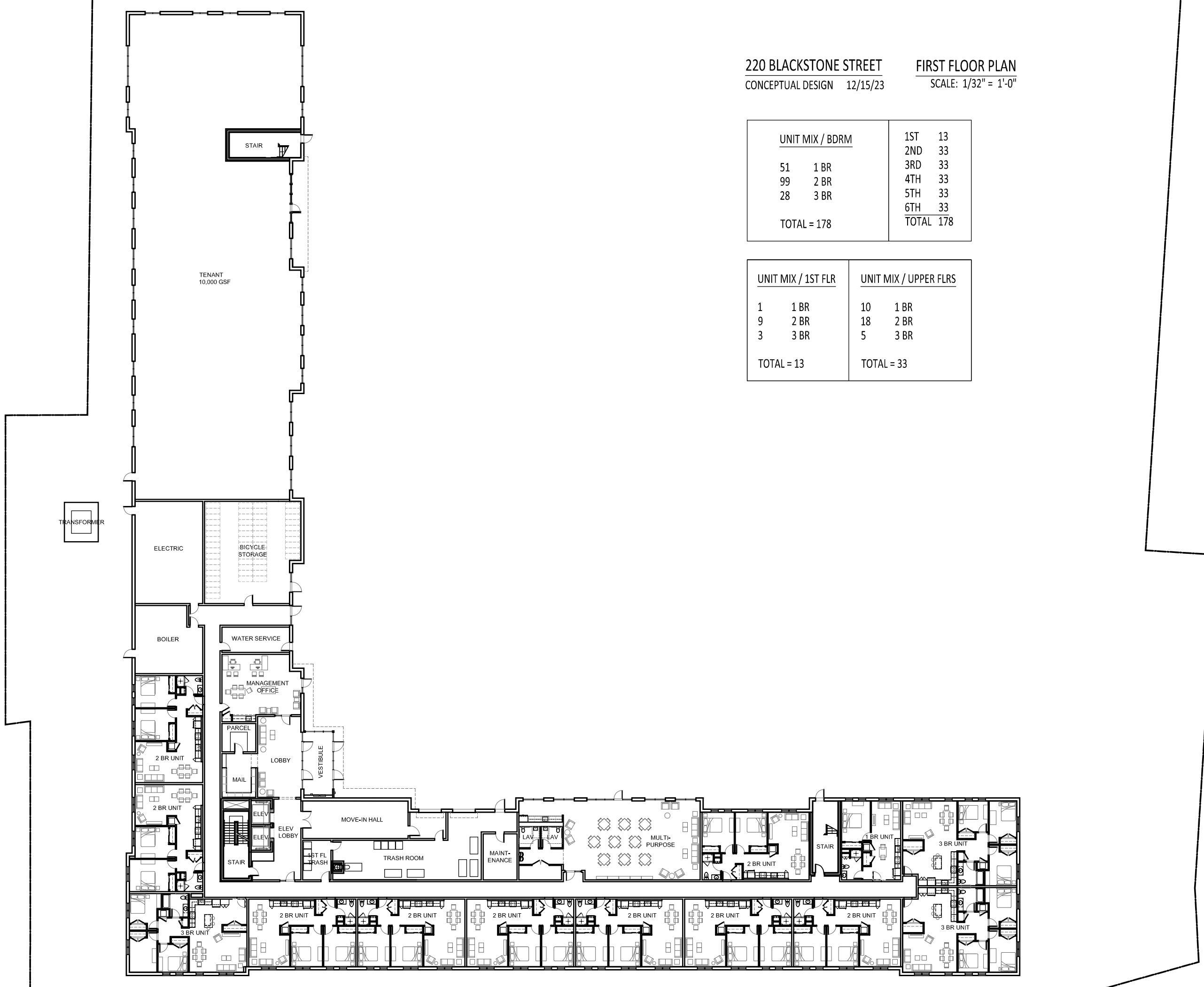


220 BLACKSTONE STREET
CONCEPTUAL DESIGN 12/15/23

FIRST FLOOR PLAN
SCALE: 1/32" = 1'-0"

UNIT MIX / BDRM		1ST	13
51	1 BR	2ND	33
99	2 BR	3RD	33
28	3 BR	4TH	33
		5TH	33
		6TH	33
		TOTAL	178
TOTAL = 178			

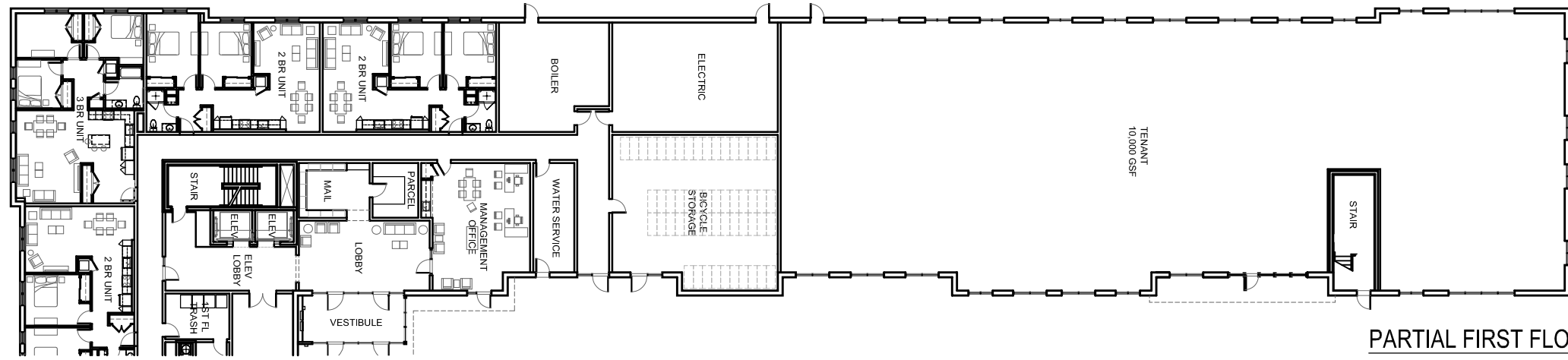
UNIT MIX / 1ST FLR		UNIT MIX / UPPER FLRS	
1	1 BR	10	1 BR
9	2 BR	18	2 BR
3	3 BR	5	3 BR
TOTAL = 13		TOTAL = 33	



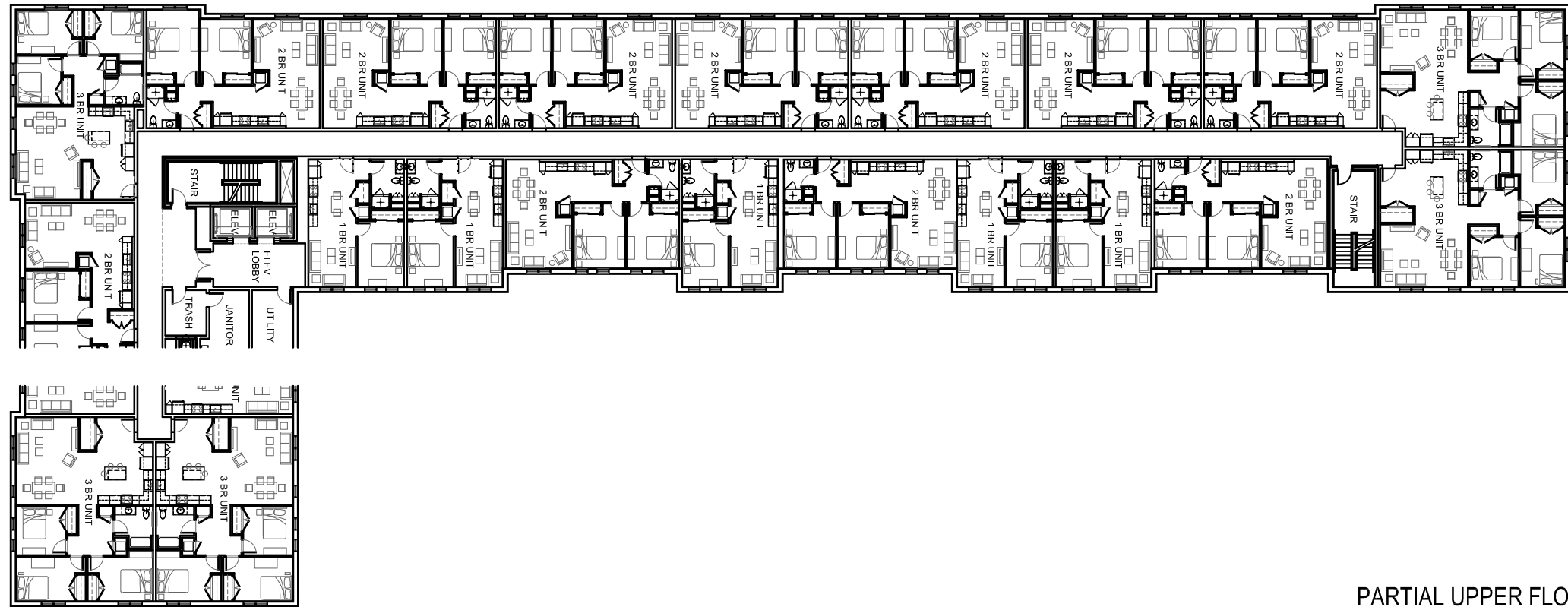
1-FLOOR PLAN
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PARTIAL FIRST FLOOR PLAN



PARTIAL UPPER FLOOR PLAN



2 - ELEVATION PLAN

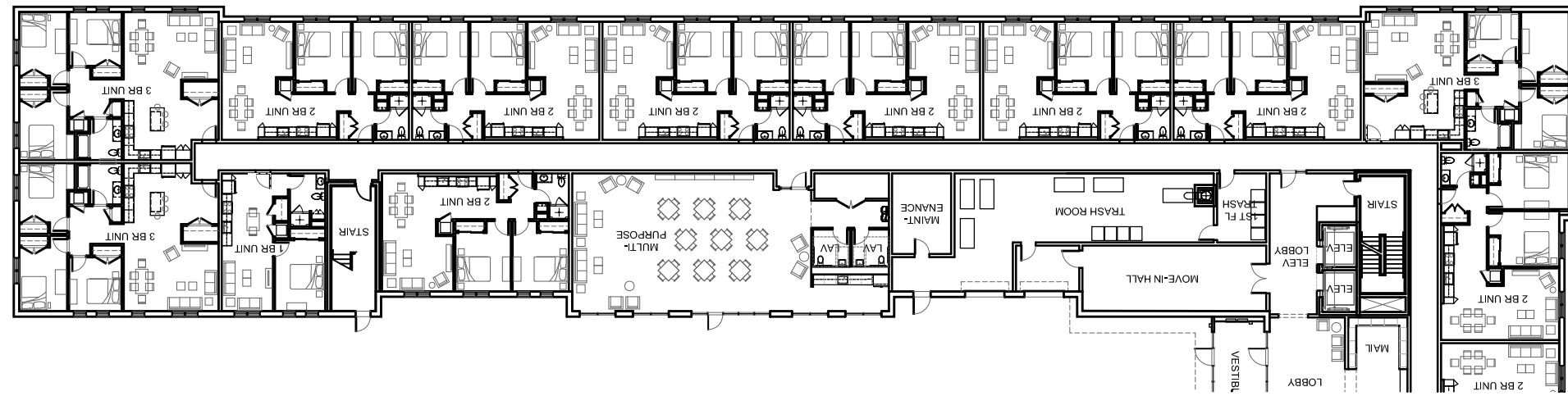
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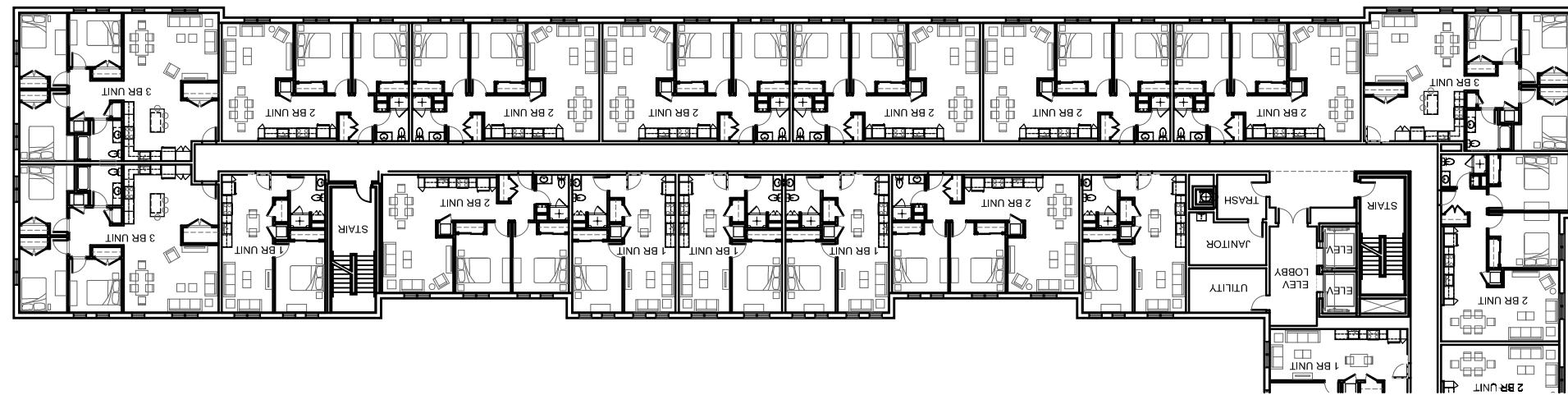
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PROPOSED EAST ELEVATION

SCALE: 1/32" = 1'-0"



PARTIAL FIRST FLOOR PLAN



PARTIAL UPPER FLOOR PLAN



PROPOSED NORTH ELEVATION

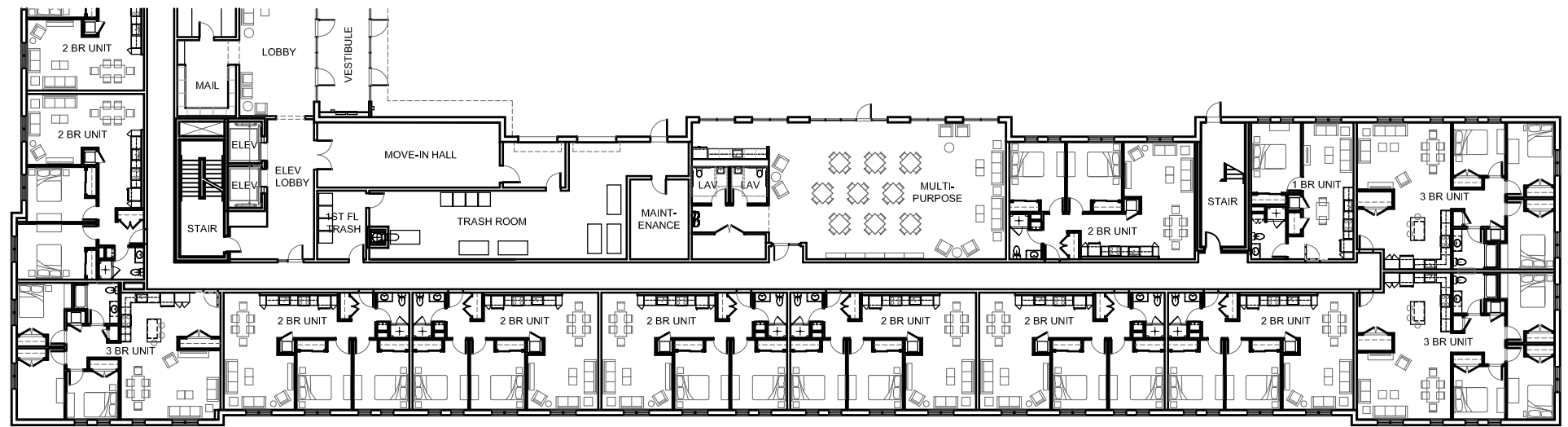
SCALE: 1/32" = 1'-0"

3 - ELEVATION PLAN

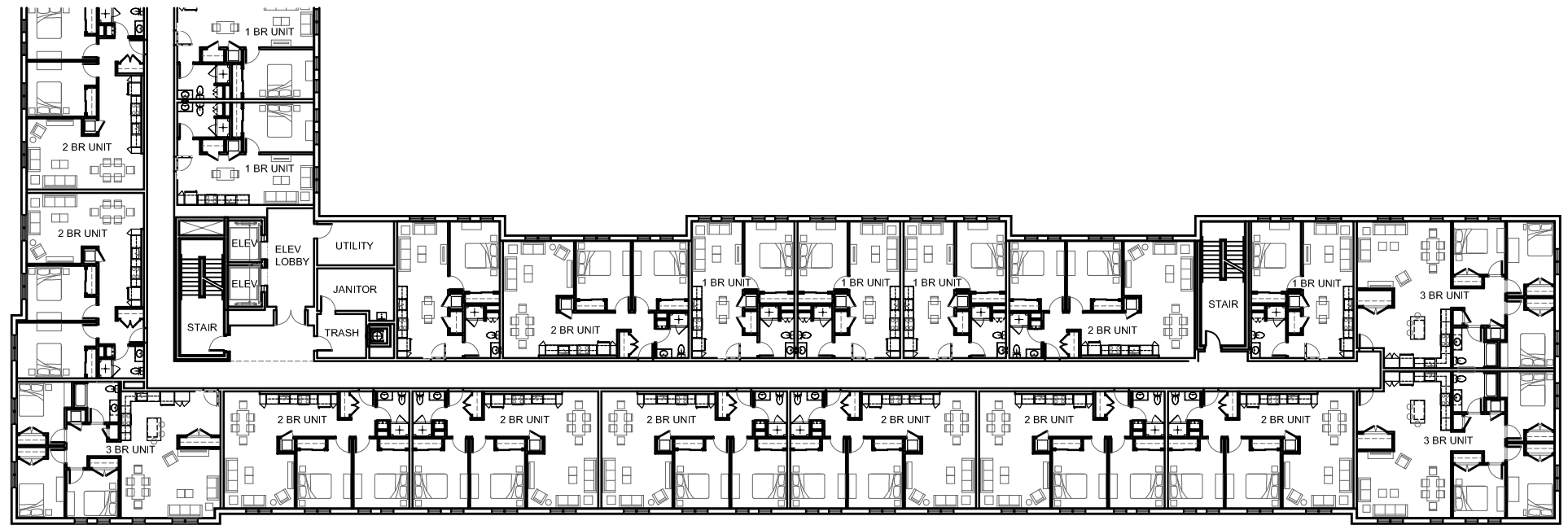
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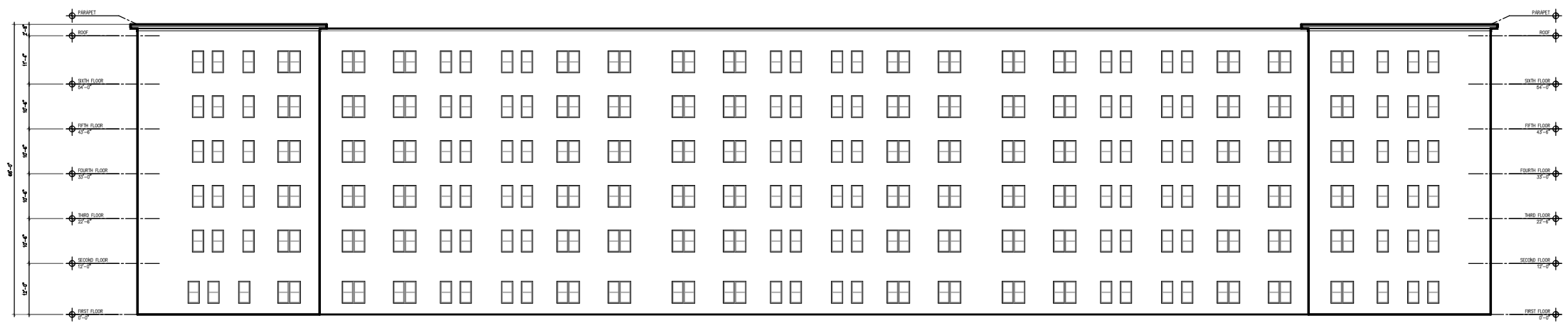
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PARTIAL FIRST FLOOR PLAN



PARTIAL UPPER FLOOR PLAN



PROPOSED SOUTH ELEVATION

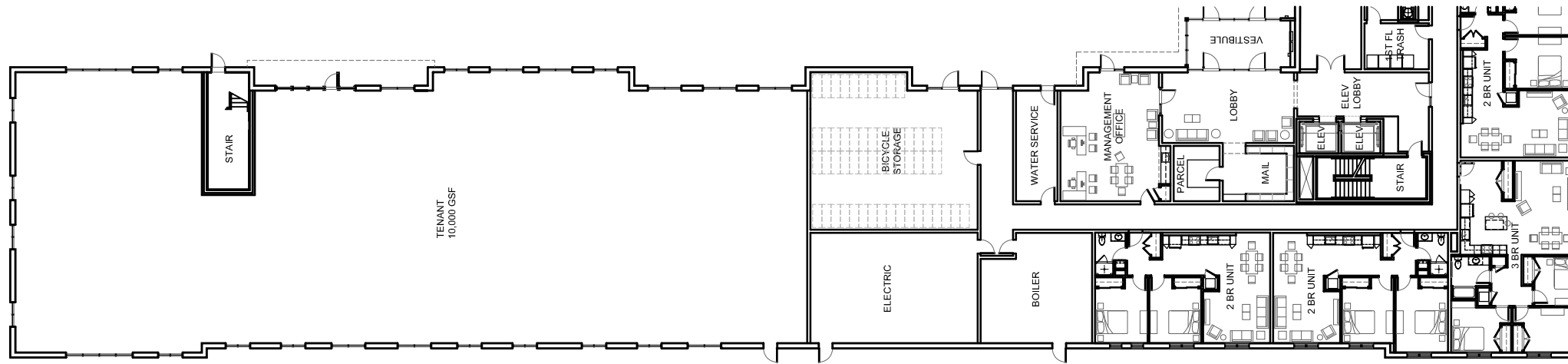
SCALE: 1/32" = 1'-0"

4 - ELEVATION PLAN

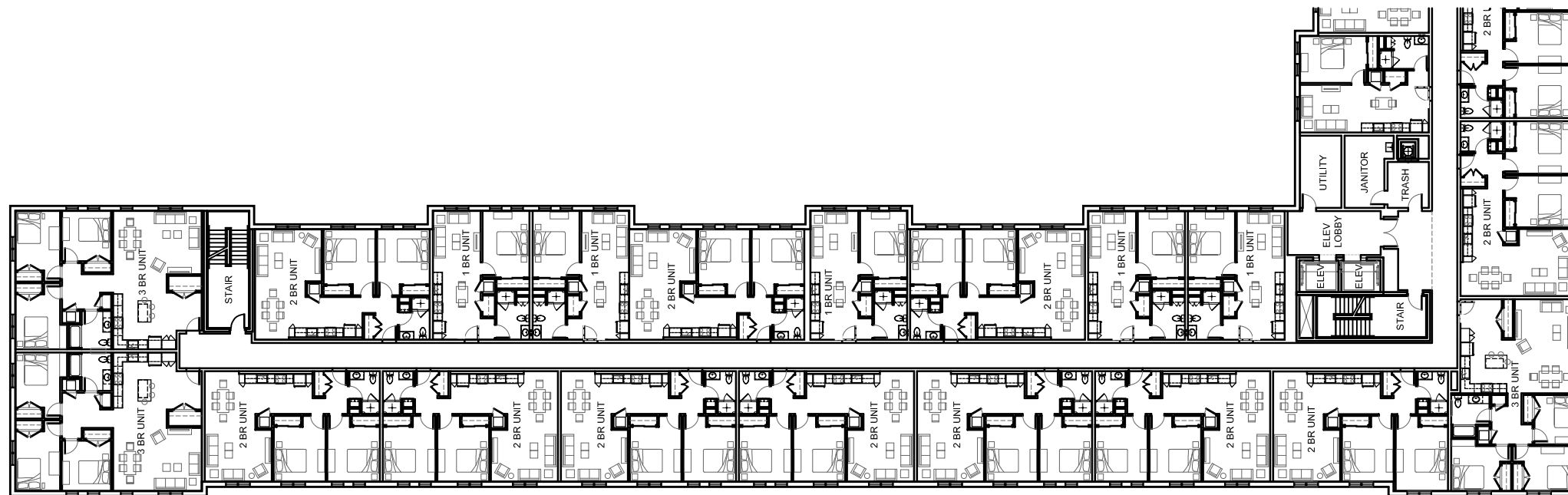
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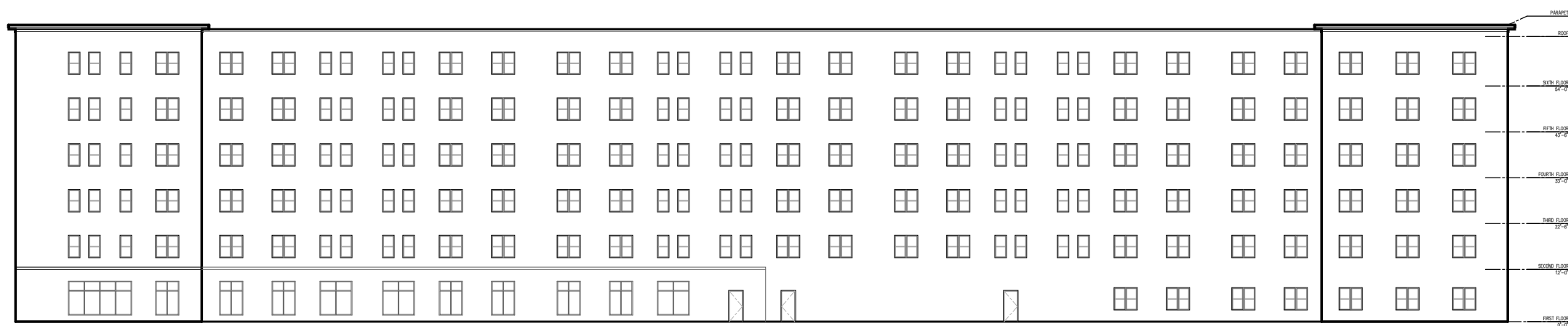
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PARTIAL FIRST FLOOR PLAN



PARTIAL UPPER FLOOR PLAN



5 - ELEVATION PLAN

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PROPOSED WEST ELEVATION

SCALE: 1/32" = 1'-0"