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ENGINEERING DESIGN SERVICES
INCORPORATED

MECHANICAL ENGINEER:

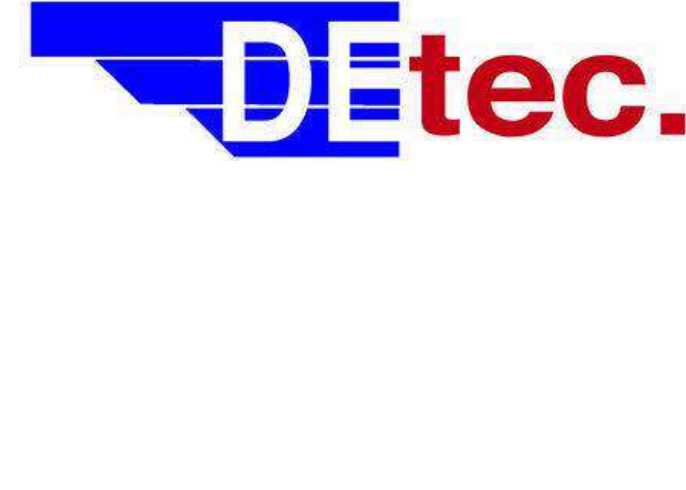
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odeh
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Stuctural Engineer

Odeh Engineers
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Landscape Architecture

LANDSCAPE ARCHITECTURE:


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SECURE OUR CITY
Security before you need it

Security:

Secure Our City
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PROJECT:

MARY E. FOGARTY ELEMENTARY SCHOOL

199 OXFORD STREET
PROVIDENCE, RI 02905



OWNER:

PROVIDENCE SCHOOL DEPARTMENT
717 WESTMINSTER STREET,
PROVIDENCE RI 02903

DRAWING LIST:

<u>CIVIL</u>	
C0.1	CLASS I EXISTING CONDITIONS SURVEY
C1.0	GENERAL NOTES & LEGEND
C2.0	EXISTING CONDITIONS & DEMOLITION PLAN
C2.0	SITE PLAN
C3.0	GRADING, DRAINAGE & UTILITY PLAN
C.40	SOIL EROSION AND SEDIMENT CONTROL PLAN
C.50	SOIL EROSION AND SEDIMENT CONTROL DETAILS
C.60	SITE DETAILS NO. 1
C.70	SITE DETAILS NO. 2

<u>LANDSCAPE</u>	
L1.0	LANDSCAPE PLAN
L2.0	LANDSCAPE DETAILS & NOTES

<u>ARCHITECTURAL</u>	
A-101	FIRST FLOOR PLAN
A-102	SECOND FLOOR PLAN
A-103	THIRD FLOOR PLAN
A-104	ROOF PLAN
A-301	EXTERIOR ELEVATIONS
A-302	EXTERIOR ELEVATIONS
AC1.0	SITE PHOTOS
AC1.1	SITE PHOTOS
AC1.2	SITE PHOTOS
AC1.4	BUILDING HEIGHT DIAGRAM

MARY E. FOGARTY
ELEMENTARY SCHOOL



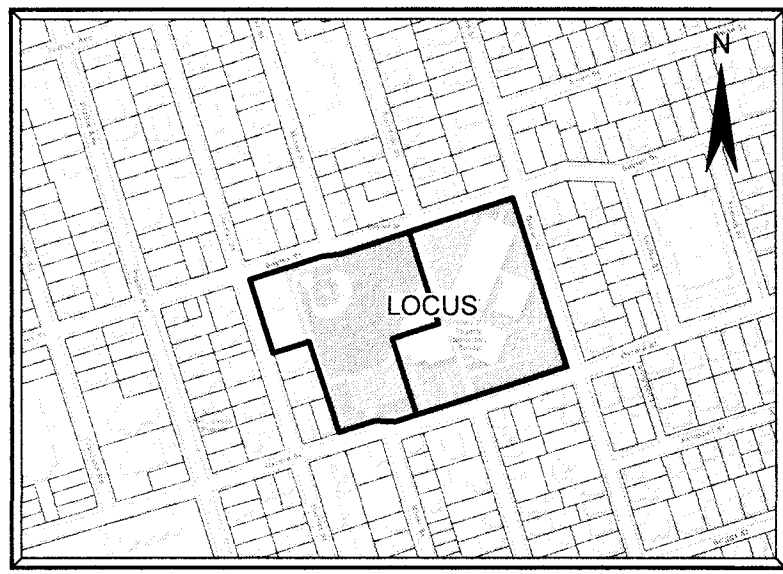
LOCUS MAP



PRELIMINARY PLAN
REVIEW

JULY 22, 2024

REFERENCE:
1. DEED BK 9975 / PG 325
2. PROVIDENCE ENGINEERING PLAN #061898
3. PC 251 ENTITLED "PLAT OF LAND IN CRANSTON, BELONGING WHEN PLATTED TO HENRY HOLDEN, OF PROVIDENCE R.I. RUN OUT BY S. B. CUSHING, A.D. 1848."



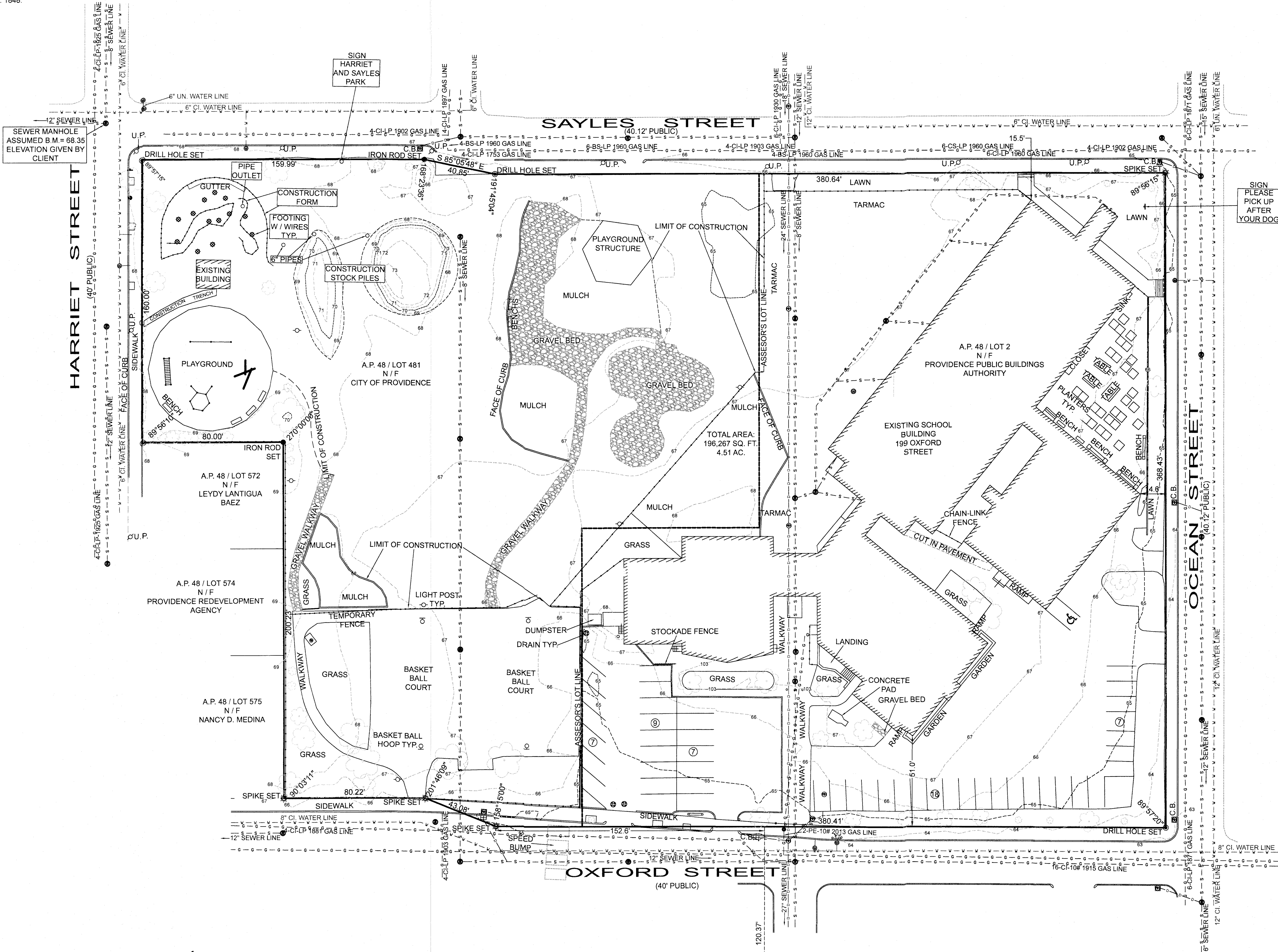
LOCUS MAP
NOT TO SCALE

ZONING DISTRICT PS

MINIMUM LOT AREA:	NONE
MINIMUM LOT FRONTAGE:	NONE
MINIMUM SETBACKS: FRONT:	10 FT.
SIDE:	8 FT.
CORNER SIDE:	10 FT.
REAR:	25 FT.
MAXIMUM BUILDING HEIGHT:	50 FT.

LEGEND

AP	ASSESSOR'S PLAT
N/F	NOW OR FORMERLY
●	IRON ROD
⊙	DRILL HOLE
⊗	GIN SPIKE / MAG NAIL
■	GRANITE BOUND
⊕	MANHOLE
⊞	CATCH BASIN / C.B.
⊗	GAS GATE
⊗	WATER GATE
⊗	HYDRANT
⊗	SEWER MANHOLE
⊗	ELECTRIC MANHOLE
⊗	UTILITY POLE
⊗	SIGN
⊗	LIGHT POLE



THIS PLAN DOES NOT GUARANTEE THE EXISTENCE OR NON-EXISTENCE OF UNDERGROUND UTILITIES. THE LOCATION OF EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND MAY NOT BE ACCURATE. THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY "DIGSAFE" AT 1-888-344-7233.

SURVEY CLASSIFICATION:
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:
TYPE OF BOUNDARY SURVEY:
LIMITED CONTENT BOUNDARY SURVEY
DATA ACCUMULATION SURVEY
MEASUREMENT SPECIFICATION:
CLASS I
CLASS III

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
TO ESTABLISH LOCATION OF EXISTING STRUCTURES AND FEATURES ON THE SITE, AND STAKE RECORD BOUNDARY LINES.
BY: *Richard T. Bzdyra* DATE: 7/24/23
RICHARD T. BZDYRA, PLS., LICENSE #1786, COA # LS-A60

THE FOLLOWING TYPES OF EVIDENCE WERE USED TO CONSTRUCT THIS SURVEY: RECORDED FOUND MONUMENTS IF ANY, NON-RECORDED MONUMENTS, LINES OF POSSESSION, AND OTHER EVIDENCE RELATIVE TO THE DEED OR PLAT. THE BOUNDARY SOLUTION IS THE COMPILATION OF INFORMATION TO DETERMINE THE MOST PROBABLE LOCATION OF THE SURVEYED PARCEL.

EXISTING CONDITIONS SURVEY

A.P. 48 / LOTS 2 & 481
199 OXFORD STREET
PROVIDENCE, R.I. 02905
SCALE: 1"=30' DATE: JULY 19, 2023

PREPARED FOR:
D'AMICO ENGINEERING TECHNOLOGY, INC.
C/O: DAVID M. D'AMICO
2080 MINERAL SPRING AVENUE
NORTH PROVIDENCE, R.I. 02911
PHONE: (401) 787-0491

PREPARED BY:
OCEAN STATE PLANNERS, INC.
1255 OAKLAWN AVENUE, CRANSTON, R.I. 02920
PHONE: (401) 483-9596 info@osplanners.com

JOB NO. 10572 / DWG. NO. 10572 - (ZTDS)

GRAPHIC SCALE: 1" = 30'
0 30 60 90

GENERAL:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) OF ALL MATERIALS INDICATED ON THE PLANS IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
2. STOCKPILES OF EARTH MATERIALS SHALL NOT BE LOCATED ADJACENT TO DRAINAGE STRUCTURES.
3. ALL DISTURBED AREAS OUTSIDE OF THE PAVED AREAS WILL RECEIVE A MINIMUM OF 6" OF LOAM AND SEED.
4. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SURVEY LAYOUT SERVICES FOR THE WORK AND SHALL SUBMIT "AS-BUILT" DRAWINGS OF ALL WORK, WHICH SHALL BE STAMPED AND CERTIFIED BY A RHODE ISLAND REGISTERED PROFESSIONAL LAND SURVEYOR.
5. ANY ITEM OF WORK NOT SPECIFICALLY INDICATED ON THE PLANS BUT IS REQUIRED FOR THE COMPLETE CONSTRUCTION OF THE PROJECT WILL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND INCLUDED IN THE CONTRACT BID PRICE. IT WILL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL EXISTING SITE CONDITIONS.
6. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR ACTUAL SIZE OF THE PROPOSED BUILDING WORK RELATED TO BUILDINGS.
7. WHERE NECESSARY TO REMOVE CURBS, CATCH BASINS OR DRAINS TO COMPLETE WORK, THE CONTRACTOR SHALL REPLACE SUCH ITEMS TO THE SATISFACTION OF THE CITY/OWNER AT NO ADDITIONAL COST TO THE OWNER.
8. ANY EXISTING PIPE OR UTILITY DAMAGED BY THE CONTRACTORS OPERATIONS SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR AT NO COST TO THE OWNER OR CITY.
9. THE CONTRACTOR SHALL RESTORE TO ITS ORIGINAL CONDITION OR REPLACE TREES, SHRUBS, FENCES, SIGNS, GUARDRAILS, DRIVEWAYS, SIDEWALKS AND ANY OTHER OBJECT AFFECTED BY THIS OPERATION.
10. THE TOPS OF ALL VALVE BOXES AND CURB BOXES SHALL BE FLUSH WITH GROUND OR PAVEMENT SURFACE LEVEL AND PLUMB, UNLESS OTHERWISE DIRECTED.
11. ROADWAYS SHALL BE LEFT PASSABLE AT ALL TIMES. CLOSURE OF ROADWAY IS NOT PERMITTED.
12. THE CONTRACTOR SHALL PROVIDE ACCESS TO ALL DRIVEWAYS AT COMPLETION OF EACH DAYS WORK.
13. WATER SERVICE SHALL BE MAINTAINED AT ALL TIMES.
14. ALL LEDGE TO BE REMOVED BY MECHANICAL MEANS.
15. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN THE DRY. THE CONTRACTOR SHALL PROVIDE, OPERATE AND MAINTAIN ALL PUMPS, DRAINS, WET PUMPS, SCREENS, OR OTHER FACILITIES NECESSARY TO CONTROL, COLLECT AND DISPOSE OF ALL SURFACE AND SUBSURFACE WATER ENCOUNTERED IN THE PERFORMANCE OF THE WORK.
16. ALL IMPORTED FILL MATERIAL SHALL BE CLEAN FILL, FREE OF DEBRIS AND ORGANIC MATTER. MATERIAL SHALL BE SUBJECT TO TESTING IF SO DIRECTED BY THE OWNER OR ENGINEER.
17. SITE TOPOGRAPHY BASED ON ASSUMED DATUM AS NOTED ON THE PLANS.

LAYOUT NOTE(S):

THE LAYOUT SHOWN REPRESENTS A GRAPHICAL DESIGN, AND PRIOR TO THE CONSTRUCTION, THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL LAND SURVEYOR (PLS) REGISTERED IN THE STATE OF RHODE ISLAND TO SET AND VERIFY ALL LINES AND GRADES. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY ITEMS FOUND WHICH DO NOT MATCH THE PLANS MUST BE BROUGHT TO THE ENGINEERS ATTENTION PRIOR TO CONSTRUCTION FOR REVIEW. NO WORK SHALL PROCEED UNTIL AUTHORIZED BY THE ENGINEER.

GENERAL CONTRACTOR NOTES & REQUIREMENTS:

1. THE CONTRACTOR IS TO NOTIFY DIG SAFE PRIOR TO CONSTRUCTION.
2. A PRE-CONSTRUCTION MEETING IS REQUIRED. THE ARCHITECT AND ENGINEER OF RECORD AND CITY ENGINEER SHALL BE NOTIFIED PRIOR TO CONSTRUCTION.
3. CONTRACTOR TO OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS (IF APPLICABLE) PRIOR TO THE START OF CONSTRUCTION.
4. ALL CATCH BASINS AND MANHOLES TO BE 4FT DIAMETER UNLESS SPECIFIED OTHERWISE.
5. COMPACT, LOAM & SEED ALL DISTURBED AREAS. ADDITIONAL EROSION CONTROLS MAY BE REQUIRED BY THE SITE OR CITY ENGINEER.
6. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE. DEVIATIONS OR CHANGES WILL NOT BE ALLOWED UNLESS APPROVED BY THE ENGINEER.
7. THE CONTRACTOR SHALL VERIFY THE PROPOSED LAYOUT WITH ITS RELATIONSHIP TO THE EXISTING SITE SURVEY. THE CONTRACTOR SHALL ALSO VERIFY ALL DIMENSIONS, SITE CONDITIONS, AND MATERIAL SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING OR PROCEEDING WITH WORK.
8. METHODS AND MATERIALS USED IN THE CONSTRUCTION OF IMPROVEMENTS FOR THIS PROJECT SHALL CONFORM TO THE CURRENT CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE CITY OF CENTRAL FALLS AND THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION.
9. THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION AND VERIFY ALL DIMENSIONS, SITE CONDITIONS, AND MATERIALS SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING OR PROCEEDING WITH WORK.
10. CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION OR BLASTING AT LEAST TWO WORKING DAYS, BUT NOT MORE THEN TEN WORKING DAYS, PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION. ALL WATER, GAS, SEWER AND OTHER UTILITIES SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
11. THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL AND ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THE PROJECT, EXCEPTING FOR LIABILITY ARISING FROM "THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER."
12. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AND TO TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING FACILITIES ON THESE PLANS; HOWEVER, THIS INFORMATION IS SHOWN FOR THE CONTRACTORS CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. THE CONTRACTOR SHALL CONTACT THE UTILITY COMPANIES FOR EXACT LOCATION OF THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE ANY AND ALL DAMAGED MADE TO UTILITIES BY THE CONTRACTOR.
13. ALL SITE WORK, INCLUDING BUT NOT LIMITED TO, BITUMINOUS PAVEMENT, ROADWAY CONSTRUCTION, AGGREGATE MATERIALS, DRAINAGE STRUCTURES, CURBING, SIDEWALK, LANDSCAPING, SAW CUTTING, ETC. SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, 2013 EDITION (WITH LATEST ADDENDA) AND THE RIDOT STANDARD DETAILS, 1998 EDITION (WITH LATEST ADDENDA).

BMP MAINTENANCE SCHEDULE:

1. ALL MAINTENANCE (INCLUDING CLEANING) REQUIRED DURING THE CONSTRUCTION PHASE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL INCLUDE:
 - A. MEASURES NEEDED TO ENSURE THE PROPER OPERATION OF THE STORMWATER RUNOFF (DRAINAGE) AND WATER QUALITY CONTROL SYSTEMS TO INCLUDE INSPECTION, CLEANING AND REPAIRS ALL PIPES, INTAKE AND DISCHARGE STRUCTURES, CATCH BASIN SUMPS, AND MANHOLES.
 - B. INSPECTION OF ALL SLOPES, BERMS, AND OTHER CONTROL STRUCTURES FOR STRUCTURAL INTEGRITY/STABILITY AND EVIDENCE OF SOIL EROSION PROCESSES, AND MAINTENANCE OF THESE STRUCTURES IF NECESSARY. INSPECTIONS SHALL BE PERFORMED FOLLOWING ALL RAIN EVENTS OF 1/2 INCH RAINFALL OR MORE IN A 24-HOUR PERIOD, OR BI-MONTHLY IF NO RAINFALL EVENT OCCURS.
 2. UPON COMPLETION OF THE PROJECT CONSTRUCTION, AND PRIOR TO VACATING THE SITE, THE CONTRACTOR SHALL CONDUCT A FINAL INSPECTION AND CLEANING OF THE DRAINAGE SYSTEM AND ALL ASSOCIATED STRUCTURES.
 3. AFTER THE COMPLETION OF THE ENTIRE PROJECT TO THE SATISFACTION OF THE OWNER OR ENGINEER, ALL MAINTENANCE OF THE DRAINAGE SYSTEM SHALL THEN BE THE RESPONSIBILITY OF THE OWNER OR HIS/HER APPROVED AGENTS.
 4. AFTER THE COMPLETION OF PROJECT CONSTRUCTION AND THE FINAL STABILIZATION OF THE ENTIRE SITE, THE INSPECTION AND MAINTENANCE OF ALL STORMWATER FACILITIES MUST BE PERFORMED AS FOLLOWS:
 - A. ANY REQUIRED REPAIR AND REPLACEMENT OF DRAINAGE STRUCTURES OR FACILITIES SHALL BE DONE PROMPTLY TO ENSURE PROPER FUNCTIONING OF THE SYSTEM.
 - B. CATCH BASINS, MANHOLES, AND THE DETENTION BASIN SHALL BE INSPECTED AT LEAST ONCE PER YEAR AND ANY SEDIMENT OR DEBRIS WITHIN THE SUMPS SHALL BE REMOVED. SEDIMENTS SHALL BE REMOVED FROM THE DETENTION BASIN DURING THE FIRST YEAR OF OPERATION AND EVERY 5-YEARS THEREAFTER. MORE FREQUENT REMOVALS MAY BE NECESSARY IF THE SEDIMENT STORAGE CAPACITY OF THE FOREBAY OR POND IS EXCEEDED OR WHEN THE SEDIMENT DEPTHS REACH 6 INCHES, WHICHEVER COMES FIRST.
 - C. ALL DESIGN, CLEANING, AND MAINTENANCE OF THE STORMWATER DRAINAGE SYSTEM SHALL FOLLOW AT LEAST THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION MINIMUM STANDARDS, SECTION 708.03. WHERE APPROPRIATE, PROCEDURES REGARDING THE DRAINAGE DESIGN, AND THE INSPECTION AND MAINTENANCE OF THE STORMWATER DRAINAGE SYSTEM SHALL BE FOLLOWED AS OUTLINED IN THE "RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL" (RIDEM/RICRMC, JUNE 30, 2004).
 - D. ANY TRASH, DEBRIS, ETC. SHALL BE REMOVED IMMEDIATELY FROM WETLAND AREAS, DETENTION BASINS, SWALES AND PIPE OUTLETS.
 - E. DETENTION BASINS AND SWALES SHALL BE MOWED AT LEAST ONCE DURING THE GROWING SEASON TO PREVENT UNWANTED WOODY GROWTH.
 - F. SWALES AND DETENTION AREAS; SHALL BE INSPECTED AFTER MAJOR STORM EVENTS OR AN ANNUAL BASIS. REPAIRS SHALL BE PERFORMED IMMEDIATELY AS CONDITIONS WARRANT. BARE SPOTS AND ERODED ARE AS SHALL BE RESEEDD IMMEDIATELY FOLLOWING OBSERVATION. ALL LITTER AND TRASH SHALL BE REMOVED DURING INSPECTIONS.
 - G. CATCH BASINS, MANHOLES AND DRAIN LINES; AN INSPECTION MUST OCCUR ON AN ANNUAL BASIS BY QUALIFIED PERSONNEL TO ENSURE PROPER OPERATION. THE INSPECTION SHOULD, AS A MINIMUM, CONCENTRATE ON THE FOLLOWING:
 - * DAMAGE TO GRATES AND/OR COVER
 - * EVIDENCE OF STANDING WATER
 - * DEBRIS REMOVAL
 - * STRUCTURAL ALIGNMENT/ INTEGRITY
- ANY DEFICIENCY NOTED DURING THE INSPECTION SHALL BE IMMEDIATELY REPAIRED OR REPLACED.
- H. SEDIMENT REMOVAL: ALL REMOVED SEDIMENT IS TO BE TESTED TO DETERMINE POLLUTANT CONTENT. THE SEDIMENT IS TO BE PROPERLY DISPOSED IN UPLAND AREAS BASED UPON THE TEST RESULTS AND LOCAL, STATE, AND FEDERAL REGULATIONS.

MAINTENANCE AND PROTECTION OF TRAFFIC NOTE(S):

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PRECINCT PROTECTION. ALL TEMPORARY AND VEHICULAR SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST REVISIONS OF MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES 2009, INCLUDING ALL REVISIONS (M.U.T.C.D.).
2. TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE TRAFFIC CONTROL DIVIDES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC.
3. THE PRIVATE VEHICLES OF CONSTRUCTION WORKERS SHALL NOT BE PARKED WITHIN THE STATES OR CITY'S RIGHT-OF-WAY.
4. ALL MAINTENANCE AND PROTECTION OF TRAFFIC CONTROL SETUPS, SIGNS CHANNELING DEVICES, ETC. SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, 1988 EDITION, INCLUDING REVISION 3, SEPTEMBER 3, 1993 AND SUBSEQUENT ADDENDA.
5. SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH THE R.I.D.O.T. SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL STATE AND LOCAL PERMITS PRIOR TO START OF CONSTRUCTION. THESE PERMITS SHALL INCLUDED BUT ARE NOT LIMITED TO, ROAD OPENING, SOIL EROSION, BUILDING, WATER CONNECTION AND SEWER CONNECTION PERMIT(S). CONTRACTOR SHALL REFER TO TOWN ENGINEERING AND BUILDING DEPARTMENT FOR ALL APPLICABLE PERMITS.

ADS PIPE INSTALLATION NOTES:

1. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A STABLE DEPTH AND REPLACE WITH A FOUNDATION OF CLASS I OR II MATERIAL AS DEFINED IN ASTM D2321, "STANDARD PRACTICE FOR INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY-FLOW APPLICATIONS," LATEST EDITION; AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A WOVEN GEOTEXTILE FABRIC.
2. BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II, OR III AND INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION. UNLESS OTHERWISE SPECIFIED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" FOR 4" TO 24" DIA. & 6" FOR 30" TO 60" DIA.
3. HAUNCHING AND INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II, OR III AND INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
4. UNLESS OTHERWISE SPECIFIED BY THE ENGINEER, MINIMUM TRENCH WIDTHS SHALL BE AS FOLLOWS:

NOMINAL DIA. (IN)	MINIMUM TRENCH WIDTH (IN)
6"	23"
8"	25"
10"	28"
12"	31"
15"	34"
18"	39"
5. MINIMUM COVER: RECOMMENDED DEPTHS OF COVER FOR VARIOUS LIVE LOADING CONDITIONS ARE SUMMARIZED IN THE FOLLOWING TABLE. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TAKEN FROM THE TOP OF PIPE TO THE GROUND SURFACE.

CONDITION	SURFACE LIVE LOADING COVER (IN)	MINIMUM RECOMMENDED COVER (IN)
H25 (FLEXIBLE PAVEMENT)	12"	
H25 (RIGID PAVEMENT)	12"	
HEAVY CONSTRUCTION	48"	

DRAINAGE INSTALLATION NOTES:

1. ALL RIM ELEVATIONS SHOWN ARE APPROXIMATE AND ARE TO BE SET FLUSH WITH FINAL GRADES.
2. THE DESIGN ENGINEER MUST SUBMIT AN AS BUILT PLAN AND A CERTIFICATION TO THE CITY ENGINEER THAT THE CONSTRUCTION IS IN COMPLIANCE WITH THE DESIGN PLANS FOR ALL ELEMENTS OF THE STORM OR DRAINAGE SYSTEM PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
3. THE PROPOSED DRAINAGE LINES SHALL BE ADS N-12 (HDP) OR AN APPROVED EQUAL AS INDICATED ON THESE PLANS.
4. ALL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH H-20 LOADING CHARACTERISTICS.

DRAINAGE SYSTEM MAINTENANCE SCHEDULE:

1. ALL MAINTENANCE (INCLUDING CLEANING) REQUIRED DURING THE CONSTRUCTION PHASE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL INCLUDE:
 - INSPECTION, REPAIR AND/OR REPLACEMENT OF CATCH BASIN INLET PROTECTION.
 - REMOVAL OF SEDIMENT FROM DRAINAGE STRUCTURES AND PIPES DURING AND FOLLOWING THE END OF CONSTRUCTION.
2. MEASURES NEEDED TO ENSURE THE PROPER OPERATION OF THE STORMWATER RUNOFF (DRAINAGE) AND WATER QUALITY CONTROL SYSTEMS TO INCLUDE INSPECTION, CLEANING AND REPAIRS TO ALL PIPES, INTAKE AND DISCHARGE STRUCTURES (INCLUDING RIP-RAP SPLASH PADS), DETENTION PONDS, SWALES, CATCH BASIN SUMPS, AND MANHOLES.
3. INSPECTION OF ALL SLOPES, BERMS, AND OTHER CONTROL STRUCTURES (INCLUDING ROADWAY SIDE SLOPES, FOR STRUCTURAL INTEGRITY/STABILITY AND EVIDENCE OF SOIL EROSION PROCESSES, AND MAINTENANCE OF THESE STRUCTURES IF NECESSARY. INSPECTIONS SHALL BE PERFORMED FOLLOWING ALL RAIN EVENTS OF 1/2 INCH RAINFALL OR MORE IN A 24-HOUR PERIOD, OR BI-MONTHLY IF NO RAINFALL.
4. UPON COMPLETION OF PROJECT CONSTRUCTION, AND PRIOR TO VACATING THE SITE, THE CONTRACTOR SHALL CONDUCT A FINAL INSPECTION, REPAIR ANY VEGETATIVE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES (SEEDING, PLANTING, ETC.) WHERE REQUIRED, AND REPAIR (OR REMOVE WHERE APPROPRIATE) ANY TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL DEVICES. AFTER PERMANENT SOIL STABILIZATION ON THE ENTIRE SITE HAS OCCURRED, ALL TEMPORARY CONTROL MEASURES (EXCLUDING STAKED HAYBALES) MUST BE REMOVED.
5. REPLANTING, REGRADING, OR OTHER REPAIRS NEEDED AS A RESULT OF SOIL EROSION AND SEDIMENTATION PROCESSES SHALL BE DONE PROMPTLY TO ENSURE PROPER FUNCTIONING OF THE ENTIRE SYSTEM.
6. WHEN ALL CONSTRUCTION IS COMPLETED, THE SITE HAS BEEN STABILIZED TO PREVENT EROSION AND SEDIMENTATION BY A WELL ESTABLISHED VEGETATIVE COVER, AND THE DRAINAGE IMPROVEMENTS HAVE BEEN INSPECTED AND ACCEPTED BY THE CITY AND THE OWNER, THE PARTY RESPONSIBLE FOR LONG TERM MAINTENANCE, INSPECTION AND REPAIRS TO ALL DRAINAGE FACILITIES SHOWN ON THESE PLANS, SHALL BE THE OWNER OF THE LOT OR LOTS ON WHICH THE DRAINAGE FACILITIES ARE LOCATED INCLUDING THE LUL, DETENTION BASIN, SWALES, PIPES AND CATCHBASINS.
7. ANY TRASH, DEBRIS, ETC. SHOULD BE REMOVED FROM THE DETENTION BASIN, SUBSURFACE STORMWATER MANAGEMENT AREA, SWALE(S), INLETS, AND PIPE OUTLETS.
8. CATCH BASINS, MANHOLES AND DRAIN LINES: AN INSPECTION MUST OCCUR ON AN ANNUAL BASIS BY QUALIFIED PERSONAL TO ENSURE PROPER OPERATION. THE INSPECTION SHOULD, AS A MINIMUM, CONCENTRATE ON THE FOLLOWING:
 - * DAMAGE TO GRATE AND COVER
 - * EVIDENCE OF STANDING WATER
 - * DEBRIS REMOVAL
 - * STRUCTURAL ALIGNMENT/ INTEGRITYANY DEFICIENCY NOTED DURING THE INSPECTION WILL BE IMMEDIATELY REPAIRED OR REPLACED.
9. THE GRASSED AREAS SHALL BE INSPECTED AT LEAST TWICE PER YEAR TO CHECK FOR EROSION PROBLEMS. PROBLEM AREAS SHALL BE RE-SEEDD IMMEDIATELY TO STABILIZE EXPOSED SOIL, THEREBY PREVENTING EROSION AND POTENTIAL CLOGGING OF OUTFLOW DEVICES.
10. AN AREA SHALL BE SET ASIDE IN THE DEVELOPMENT SITE IN, AN UPLAND LOCATION OUTSIDE OF JURISDICTIONAL WETLANDS FOR THE PURPOSE OF SEDIMENT DISPOSAL, IF AN OFF SITE DISPOSAL AREA IS NOT FEASIBLE.
11. SEDIMENT REMOVED FROM THE BASIN(S) SHALL BE TESTED FOR HEAVY METALS AND OTHER CONTAMINANTS FOLLOWING OPERATION. IF IT IS FOUND THAT SEDIMENTS ARE CONTAMINATED THEY SHALL BE TRANSPORTED TO A STATE APPROVED DISPOSAL SITE.

EROSION CONTROL & SOIL STABILIZATION PROGRAM:

1. DENuded SLOPES SHALL NOT BE LEFT UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASON.
2. THE SEED MIX SHALL BE INOCULATED WITHIN 24 HOURS, BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
3. THE DESIGN MIX SHALL BE COMPRISED OF THE FOLLOWING CONSTRUCTION MIX:

MIXTURE	% BY WGT.	SEEDING DATES
RED FESCUE	75	APRIL 1 - JUNE 15
COLONIAL BENTGRASS	5	AUG. 15 - OCT. 15
PERENNIAL RYEGRASS	5	
BIRDSFOOT TREFOIL	15	
		TOTAL 100% PER ACRE
4. TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR A FIBER LINING (JUTE, BURLAP, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED.
5. HAY OR STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 3,000 - 4,000 LBS. PER ACRE.
6. STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED IMMEDIATELY AFTER FINAL GRADING.

WATER INSTALLATION NOTES:

1. ALL INSTALLATIONS, JOINTS, CONSTRUCTION METHODS AND MATERIALS SHALL BE ACCORDING TO THE PROVIDENCE WATER SUPPLY BOARD REQUIREMENTS, ANWA STANDARDS AND GOVERNMENTAL REQUIREMENTS.
2. INSTALLATION OF ALL WATER CONVEYANCES, MAINS, PIPES OR LINES SHALL BE IN ACCORDANCE WITH THE DUCTILE IRON PIPE RESEARCH ASSOCIATIONS INSTALLATION MANUAL AND ANSI/AWWA C300 AND ALL OTHER REQUIREMENTS OF THE PROVIDENCE WATER SUPPLY BOARD.
3. WATER PIPES SHALL TYPICALLY BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM SEWER PIPES, AND AT A MINIMUM DEPTH OF COVER EQUAL TO 5'. WHERE A NEW WATER PIPE IS LESS THAN 18 INCHES CLEAR DISTANCE ABOVE A SEWER OR WHERE A WATER PIPE PASSES BENEATH A SEWER OR STORM DRAIN, ENCASE THE SEWER OR DRAIN IN 6" OF CONCRETE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE CROSSING WATER PIPE.
4. ALL SYSTEM COMPONENTS AND CONSTRUCTION METHODS: SUCH AS PIPE, THRUST BLOCKS, FITTINGS, CASTINGS, ETC. SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION. THIS SUBMISSION SHALL INCLUDE MANUFACTURERS LITERATURE, SHOP DRAWINGS, PROPOSED CONSTRUCTION METHODS, ETC.
5. WATER LINE TRENCH TO BE AWWA TYPE 5 - A METALIZED DETECTABLE IDENTIFICATION TAPE 2" IN WIDTH, BLUE IN COLOR AND PRINTED WITH "CAUTION WATERLINE BURIED BELOW" SHALL BE UTILIZED OVER ALL MAINS. TAPE SHALL BE SET AT APPROXIMATELY 1" BELOW FINISHED GRADE.
6. THE CONTRACTOR SHALL RECEIVE VERIFICATION FROM THE ENGINEER AS TO THE APPROPRIATE SIZE OF THE DOMESTIC WATER AND FIRE PROTECTION LINE SHOWN ON THE PLANS PRIOR TO ORDERING WATER PIPE RELATED ITEMS.
7. SPECIFIC BENDS ARE SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL PROVIDE ADDITIONAL BENDS AS NECESSARY TO INSTALL THE PIPE AT THE REQUIRED DEPTH AND ALIGNMENT.

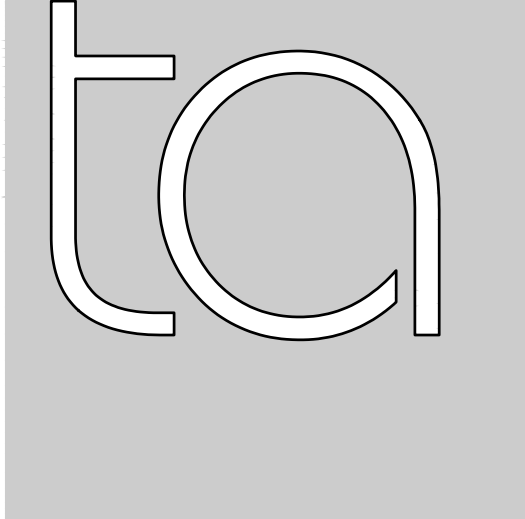
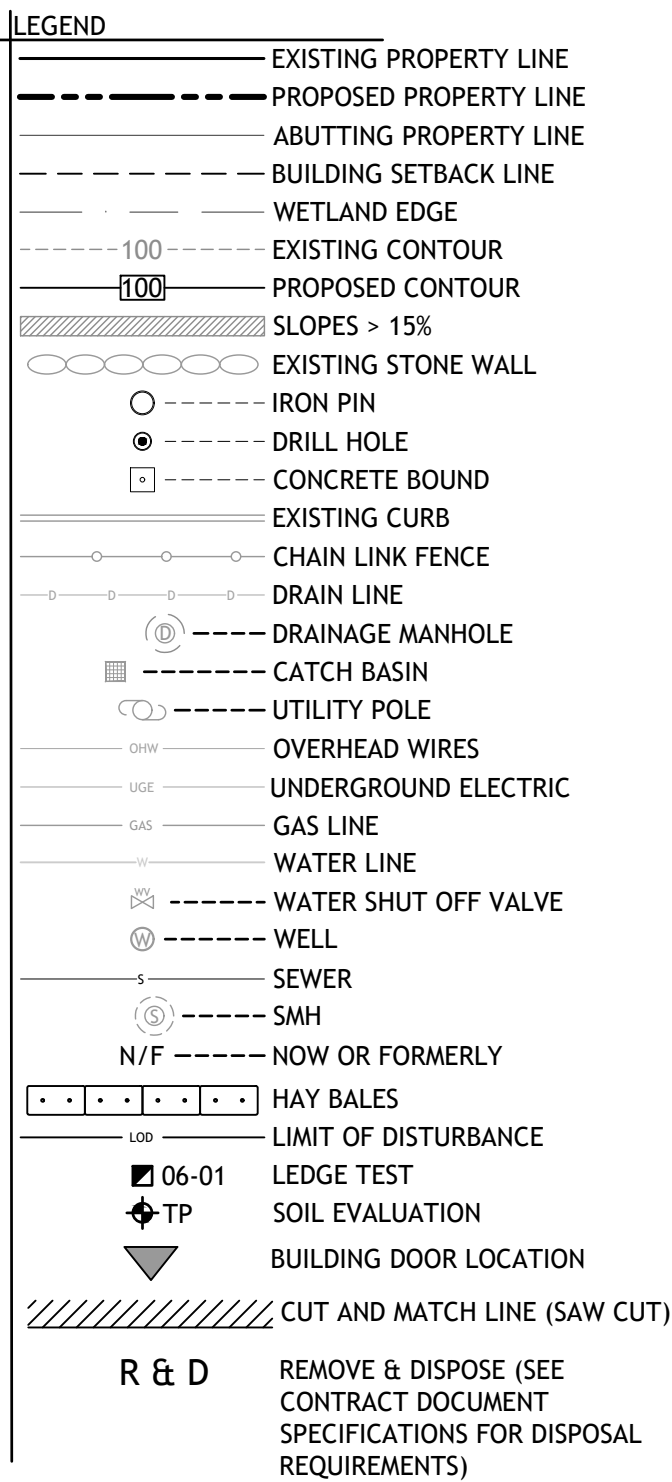
REQUIRED INFILTRATION SETBACKS

1. THE PROPOSED INFILTRATION SYSTEMS MEETS THE 3' MINIMUM SEPARATION DISTANCE BETWEEN THE DESIGN BOTTOM OF THE STRUCTURE AND THE SEASONAL HIGH WATER TABLE. THOUGH THE TEST HOLE ONLY WENT TO 10' BASED ON THE SIZE OF THE BACKLOG. NO SIGHT WAS DETECTED IN THE HOLE AND IS ESTIMATED TO BE 10' TO 12' BELOW THIS ELEVATION.
2. THE PROPOSED INFILTRATION SYSTEM MEETS THE 5' MINIMUM SEPARATION DISTANCE BETWEEN THE DESIGN BOTTOM OF THE STRUCTURE AND BEDROCK.
3. THE PROPOSED INFILTRATION SYSTEM IS NOT WITHIN 25 FEET OF ANY SEPTIC SYSTEM COMPONENT.
4. THE PROPOSED INFILTRATION SYSTEM IS NOT WITHIN 200 FEET OF ANY SURFACE DRINKING WATER SUPPLIES AND THEIR RESPECTIVE TRIBUTARIES.
5. THE PROPOSED INFILTRATION SYSTEM IS NOT WITHIN 150 FEET OF ANY COASTAL FEATURE.
6. THE PROPOSED INFILTRATION SYSTEM IS NOT WITHIN 50 FEET OF ANY SURFACE WETLAND OR COASTAL WETLAND.
7. THE PROPOSED INFILTRATION SYSTEM IS NOT WITHIN 10 FEET OF ANY BUILDING FOUNDATION AND THE PROPOSED FOUNDATION FLOOR ELEVATION IS ABOVE THE INVERT OF THE PROPOSED INFILTRATION SYSTEM.

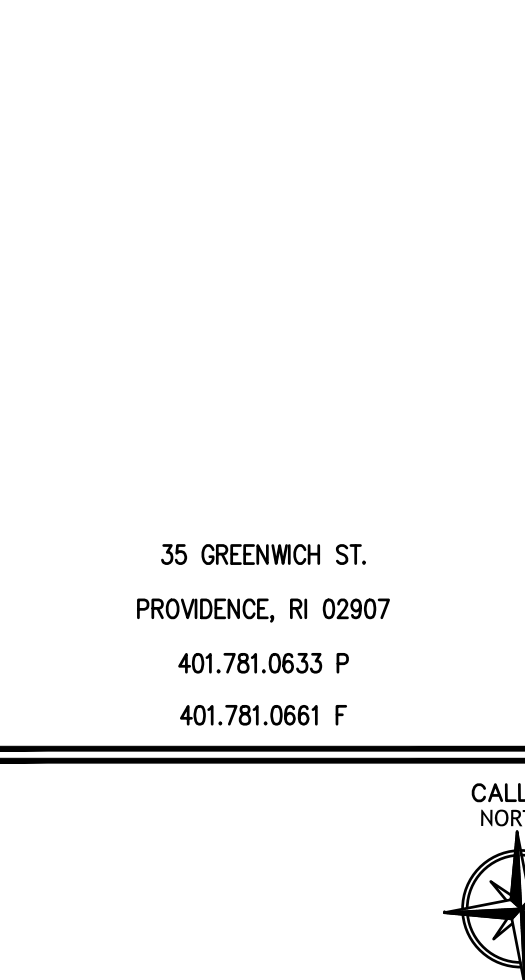
NOTE:
IF ANY SETBACK IS LESS THAN THE REQUIRED SETBACK AS DETERMINED BY THE GOVERNING AGENCY, THE GOVERNING AGENCY SHALL SUPERSEDE ABOVE BULLETED SETBACK(S). REFER TO THE LOCAL BUILDING OFFICIAL FOR DETAILED SETBACK CRITERIA.

CITY DPW AND RIDOT NOTES:

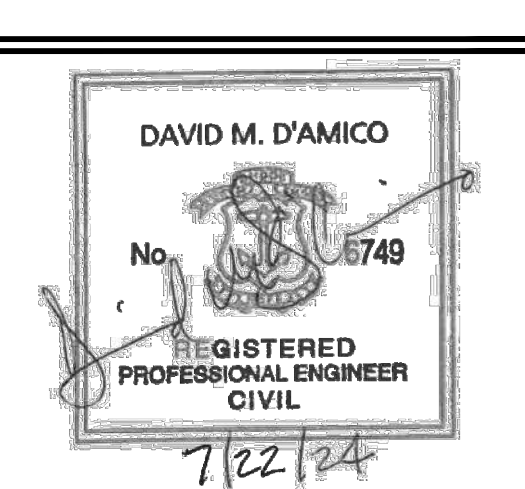
1. ALL WORK WITHIN RIDOT RIGHT-OF-WAYS, INCLUDING BUT NOT LIMITED TO, BITUMINOUS PAVEMENT, ROADWAY CONSTRUCTION, AGGREGATE MATERIALS, DRAINAGE STRUCTURES, CURBING, SIDEWALK, LANDSCAPING, SAW CUTTING, ETC. SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, 2004 EDITION (WITH LATEST ADDENDA) AND THE RIDOT STANDARD DETAILS, 1998 EDITION (WITH LATEST ADDENDA).
2. A SEPARATE RIDOT UTILITY PERMIT APPLICATION AND APPROVAL IS REQUIRED FOR ANY UTILITY WORK (INCLUDING SEWER, WATER, GAS, ELECTRIC, ETC.) WITHIN THE STATE RIGHT-OF-WAY TO BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
3. ALL WORK WITHIN THE CITY RIGHT-OF-WAYS, INCLUDING BUT NOT LIMITED TO, BITUMINOUS PAVEMENT, ROADWAY CONSTRUCTION, AGGREGATE MATERIALS, DRAINAGE STRUCTURES, CURBING, SIDEWALKS, LANDSCAPING, SAW CUTTING, ETC. SHALL CONFORM TO THE CITY'S STANDARD DETAILS AVAILABLE AT <https://www.providenceri.gov/public-works/forms/> under "Reports + Publications" or at <https://www.providenceri.gov/wp-content/uploads/2019/06/Providence-DPW-Standard-Details.pdf>



KEY PLAN



OWNER:



CITY OF PROVIDENCE

Providence City Hall
25 Dorrance Street
Providence, RI 02903

PROJECT:

NEW SCHOOL:

MARY E. FOGARTY
ELEMENTARY
SCHOOL

199 OXFORD STREET
Providence, RI 02903

CONTENT:

GENERAL
NOTES &
LEGEND

STATUS:

STAGE III PRELIMINARY PLAN PERMIT

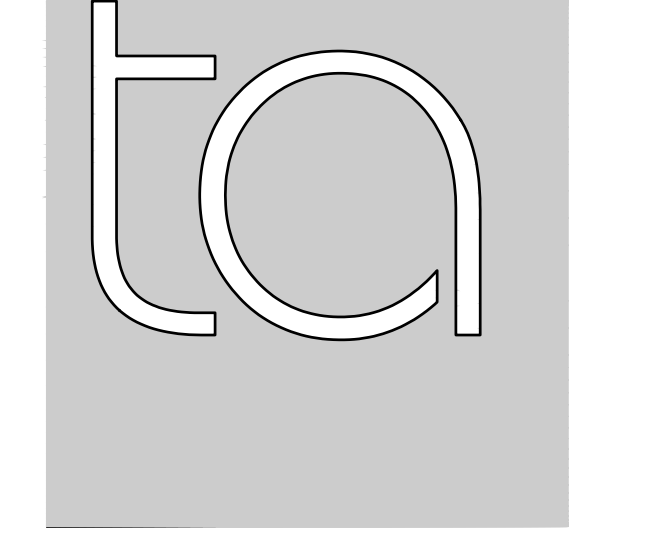
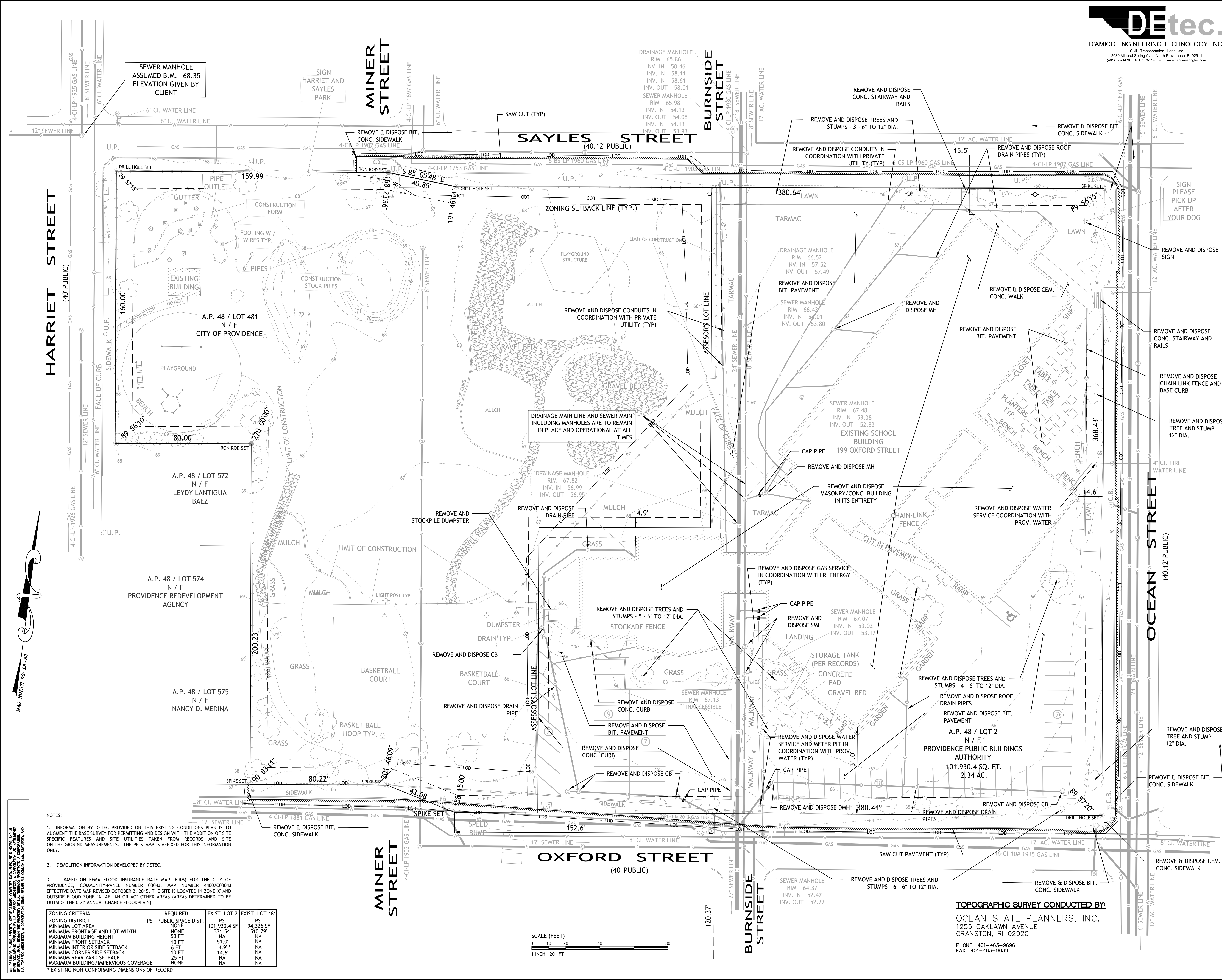
DATE:	REV. #	DESCRIPTION
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REVISIONS:

DATE:	JULY 22, 2024
JOB No:	
DRWN BY:	D.M.D.
CHECKED BY:	D.M.D.
SCALE:	AS NOTED

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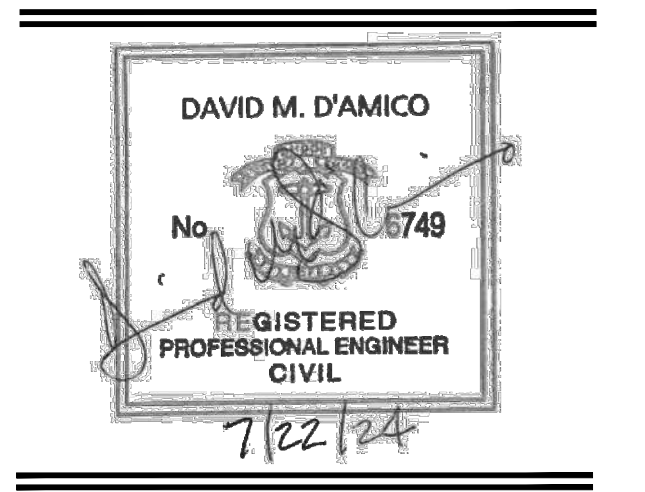


TORRADO
ARCHITECTS

35 GREENWICH ST.
PROVIDENCE, RI 02907
401.781.0633 P
401.781.0661 F



KEY PLAN



OWNER:
CITY OF PROVIDENCE
Providence City Hall
25 Dorrance Street
Providence, RI 02903

PROJECT:
NEW SCHOOL:
MARY E. FOGARTY
ELEMENTARY
SCHOOL

199 OXFORD STREET
Providence, RI 02903

CONTENT:

**EXISTING
CONDITIONS
AND
DEMOLITION
PLAN**

STATUS:
STAGE III PRELIMINARY PLAN PERMIT

DATE:	REV. #	DESCRIPTION
REVISIONS:		

DATE:	JULY 22, 2024
JOB No:	
DRWN BY:	D.M.D.
CHECKED BY:	D.M.D.
SCALE:	AS NOTED
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SHEET	OF

NOTES:

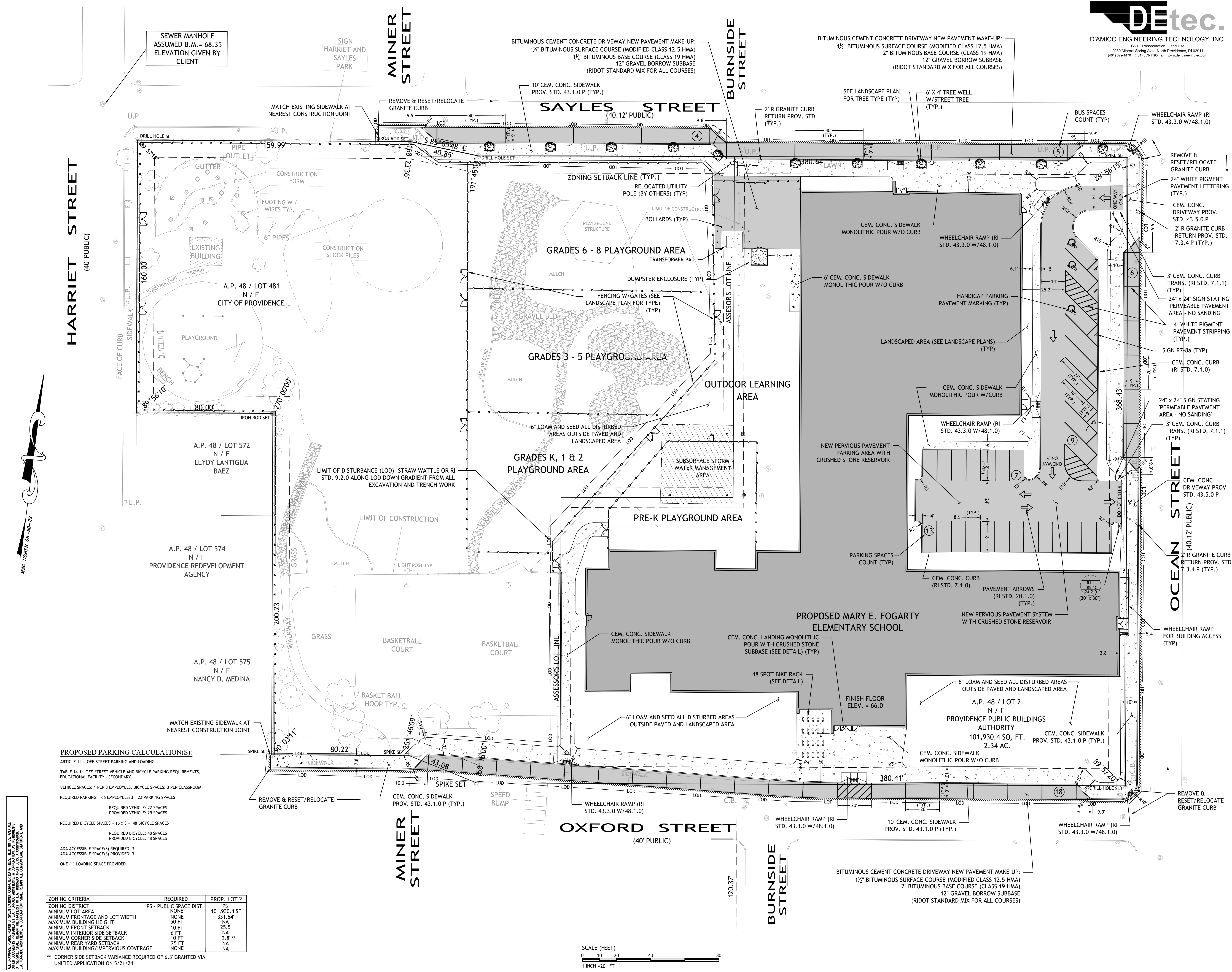
1. INFORMATION BY DETEC PROVIDED ON THIS EXISTING CONDITIONS PLAN IS TO AUGMENT THE BASE SURVEY FOR PERMITTING AND DESIGN WITH THE ADDITION OF SITE SPECIFIC FEATURES AND SITE UTILITIES TAKEN FROM RECORDS AND SITE ON-THE-GROUND MEASUREMENTS. THE PE STAMP IS AFFIXED FOR THIS INFORMATION ONLY.

2. DEMOLITION INFORMATION DEVELOPED BY DETEC.

3. BASED ON FEMA FLOOD INSURANCE RATE MAP (FIRM) FOR THE CITY OF PROVIDENCE, COMMUNITY-PANEL NUMBER 0304J, MAP NUMBER 4407C0304J EFFECTIVE DATE: MAP REVISED OCTOBER 2, 2015, THE SITE IS LOCATED IN ZONE "X" AND OUTSIDE FLOOD ZONE "A", "AE", "AH" OR "AO" OTHER AREAS (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).

ZONING CRITERIA	REQUIRED	EXIST. LOT 2	EXIST. LOT 481
ZONING DISTRICT	PS - PUBLIC SPACE DIST.	PS	PS
MINIMUM LOT AREA	NONE	101,930.4 SF	94,326 SF
MINIMUM FRONTAGE AND LOT WIDTH	NONE	331.54'	510.79'
MAXIMUM BUILDING HEIGHT	50 FT	NA	NA
MINIMUM FRONT SETBACK	10 FT	51.0'	NA
MINIMUM INTERIOR SIDE SETBACK	6 FT	4.9'	NA
MINIMUM CORNER SIDE SETBACK	10 FT	NA	NA
MINIMUM REAR YARD SETBACK	25 FT	NA	NA
MAXIMUM BUILDING/IMPERVIOUS COVERAGE	NONE	NA	NA

* EXISTING NON-CONFORMING DIMENSIONS OF RECORD



PROPOSED PARKING CALCULATION(S):

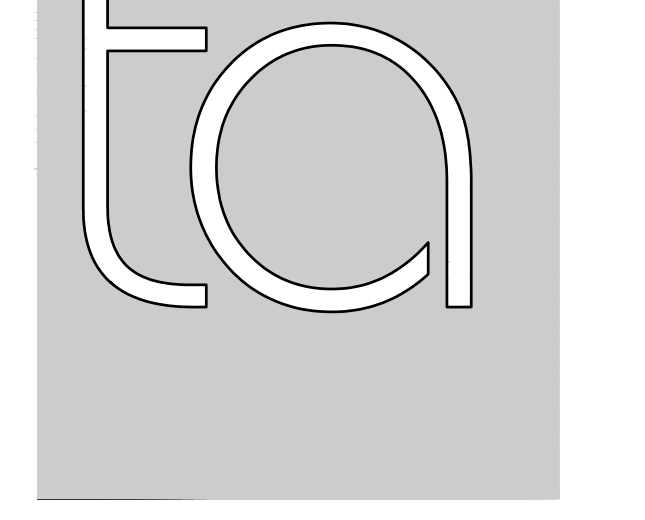
ARTICLE 14 - OFF-STREET PARKING AND LOADING
TABLE 14-1: OFF-STREET VEHICLE AND BICYCLE PARKING REQUIREMENTS, EDUCATIONAL FACILITY - SECONDARY
VEHICLE SPACES: 1 PER 3 EMPLOYEES, BICYCLE SPACES: 3 PER CLASSROOM
REQUIRED PARKING = 66 EMPLOYEES/3 = 22 PARKING SPACES
REQUIRED VEHICLE: 22 SPACES
PROVIDED VEHICLE: 29 SPACES
REQUIRED BICYCLE SPACES = 16 x 3 = 48 BICYCLE SPACES
REQUIRED BICYCLE: 48 SPACES
PROVIDED BICYCLE: 48 SPACES
ADA ACCESSIBLE SPACE(S) REQUIRED: 3
ADA ACCESSIBLE SPACE(S) PROVIDED: 3
ONE (1) LOADING SPACE PROVIDED

ZONING CRITERIA	REQUIRED	PROP. LOT 2
ZONING DISTRICT	PS - PUBLIC SPACE DIST.	PS
MINIMUM LOT AREA	NONE	101,930.4 SF
MINIMUM FRONTAGE AND LOT WIDTH	NONE	331.54'
MAXIMUM BUILDING HEIGHT	50 FT	NA
MINIMUM FRONT SETBACK	10 FT	25.5'
MINIMUM INTERIOR SIDE SETBACK	6 FT	NA
MINIMUM CORNER SIDE SETBACK	10 FT	3.8' **
MINIMUM REAR YARD SETBACK	25 FT	NA
MAXIMUM BUILDING/IMPERVIOUS COVERAGE	NONE	NA

** CORNER SIDE SETBACK VARIANCE REQUIRED OF 6.3' GRANTED VIA UNIFIED APPLICATION ON 5/21/24

DEtec.

D'AMICO ENGINEERING TECHNOLOGY, INC.
Civil - Transportation - Land Use
2080 Mineral Spring Ave., North Providence, RI 02911
(401) 622-1470 (401) 353-1190 fax www.dengrtecm.com

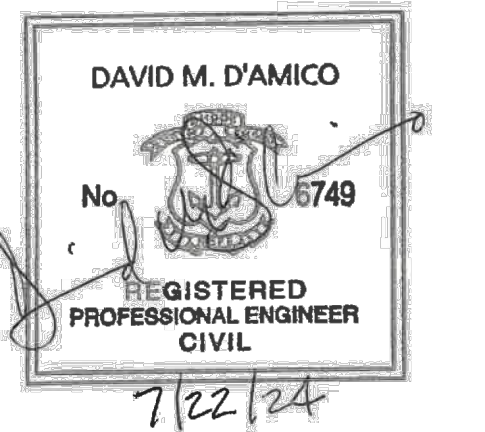


TORRADO ARCHITECTS

35 GREENWICH ST.
PROVIDENCE, RI 02907
401.781.0633 P
401.781.0661 F



KEY PLAN



OWNER:

CITY OF PROVIDENCE

Providence City Hall
25 Dorrance Street
Providence, RI 02903

PROJECT:

NEW SCHOOL:

MARY E. FOGARTY
ELEMENTARY
SCHOOL

199 OXFORD STREET
Providence, RI 02903

CONTENT:

SITE PLAN

STATUS:

STAGE III PRELIMINARY PLAN PERMIT

DATE:	REV. #	DESCRIPTION
REVISIONS:		

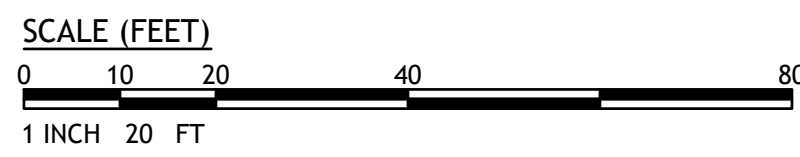
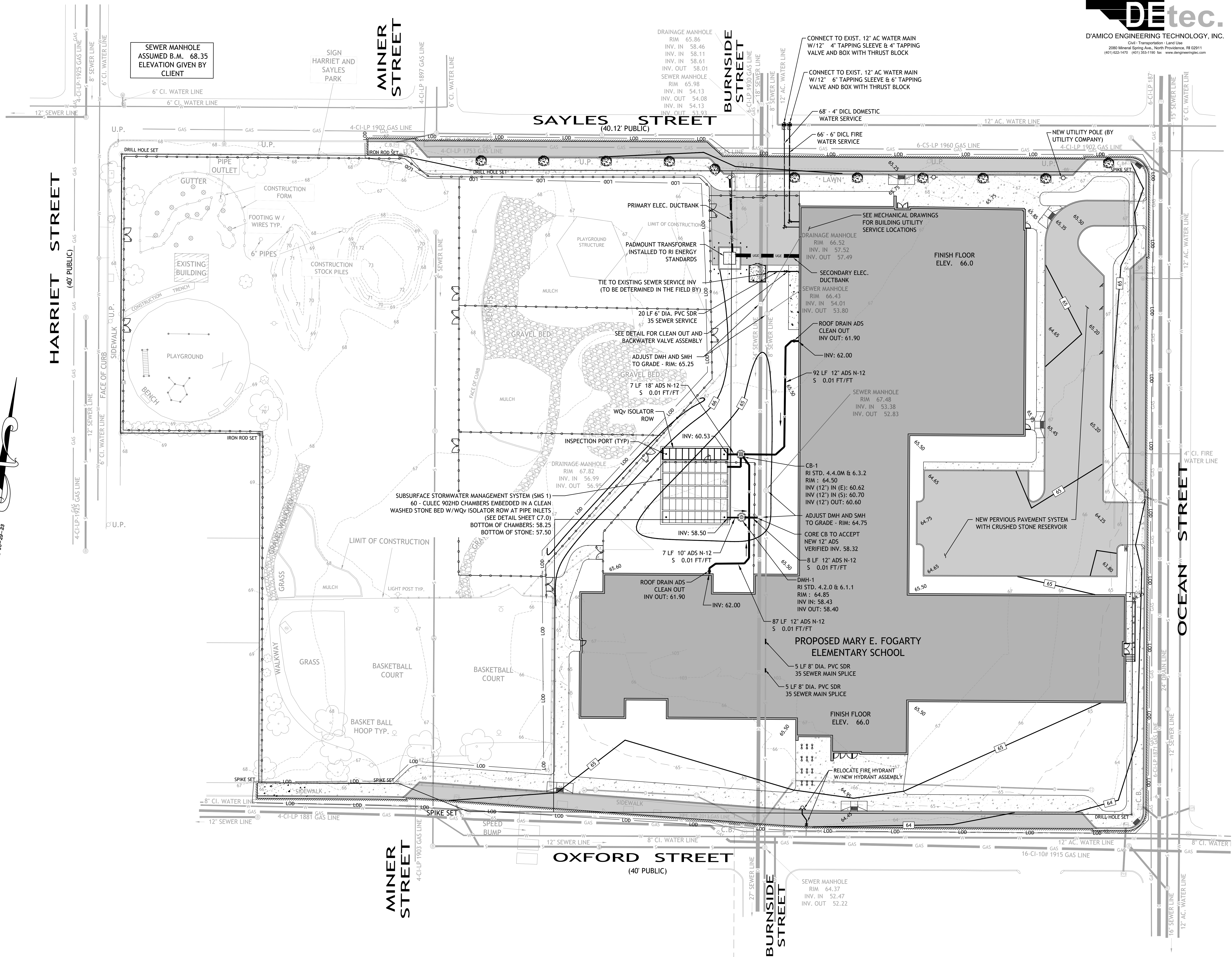
DATE: JULY 22, 2024
JOB No:
DRWN BY: D.M.D.
CHECKED BY: D.M.D.
SCALE: AS NOTED

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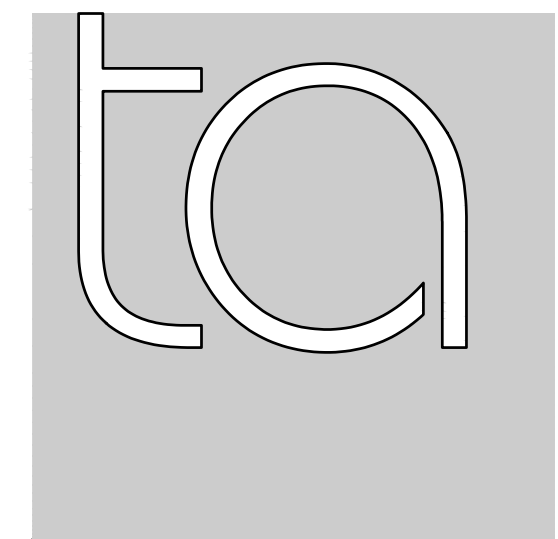
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ALL DRAWINGS, PLANS, SPECIFICATIONS, COMPUTER DATA FILES, FIELD NOTES, AND ALL OTHER DOCUMENTS PREPARED BY LA TORRADO ARCHITECTS, A CORPORATION, OR INSTRUMENTS LA TORRADO ARCHITECTS, A CORPORATION, SHALL REMAIN THE PROPERTY OF LA TORRADO ARCHITECTS, A CORPORATION.

MAC NORTH 06-29-23



DEtec.
D'AMICO ENGINEERING TECHNOLOGY, INC.
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2080 Mineral Spring Ave., North Providence, RI 02911
(401) 622-1470 (401) 353-1190 fax www.dengneeringtec.com

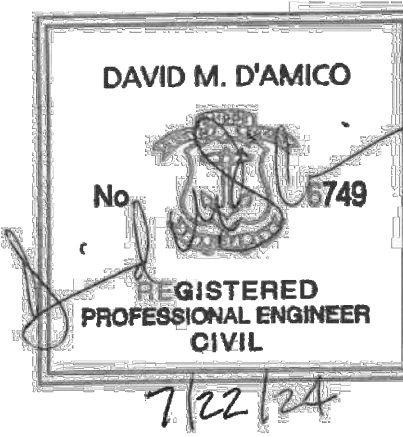


TORRADO
ARCHITECTS

35 GREENWICH ST.
PROVIDENCE, RI 02907
401.781.0633 P
401.781.0661 F



KEY PLAN



OWNER:

CITY OF PROVIDENCE

Providence City Hall
25 Dorrance Street
Providence, RI 02903

PROJECT:

NEW SCHOOL:

**MARY E. FOGARTY
ELEMENTARY
SCHOOL**

199 OXFORD STREET
Providence, RI 02903

CONTENT:

**GRADING,
DRAINAGE
AND
UTILITY
PLAN**

STATUS:

STAGE III PRELIMINARY PLAN PERMIT

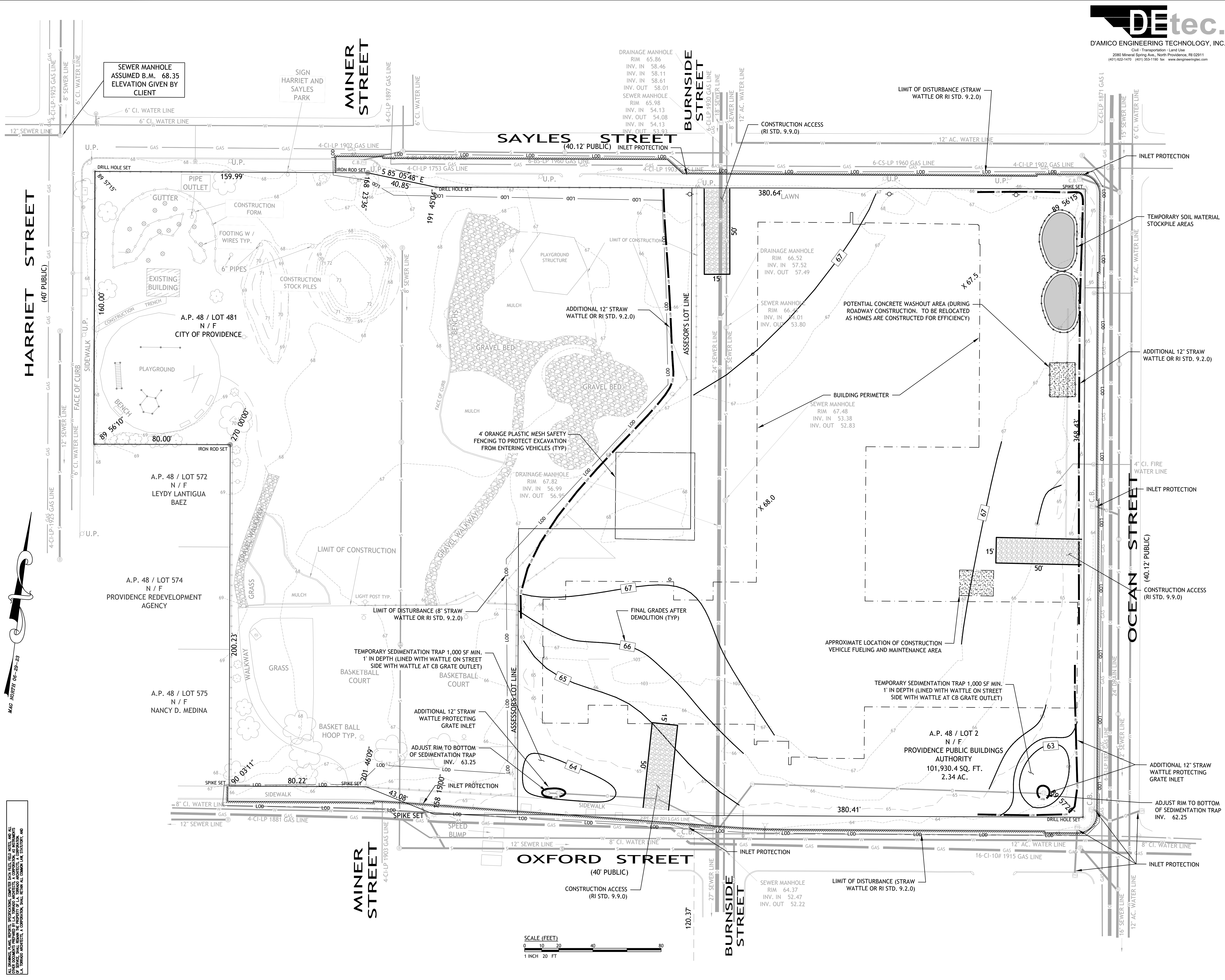
DATE:	REV. #	DESCRIPTION
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REVISIONS:

DATE:	JULY 22, 2024
JOB No:	
DRWN BY:	D.M.D.
CHECKED BY:	D.M.D.
SCALE:	AS NOTED

C3.0

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ALL DIMENSIONS, SCALE, REPORTS, SPECIFICATIONS, CONTRACT, BIDDING, AND ALL OTHER DOCUMENTS PREPARED BY LA TORRADO ARCHITECTS, A CORPORATION, AS INSTRUMENTS OF SERVICE, SHALL BE THE PROPERTY OF LA TORRADO ARCHITECTS, A CORPORATION, AND SHALL REMAIN AT ALL TIMES THE PROPERTY OF LA TORRADO ARCHITECTS, A CORPORATION.

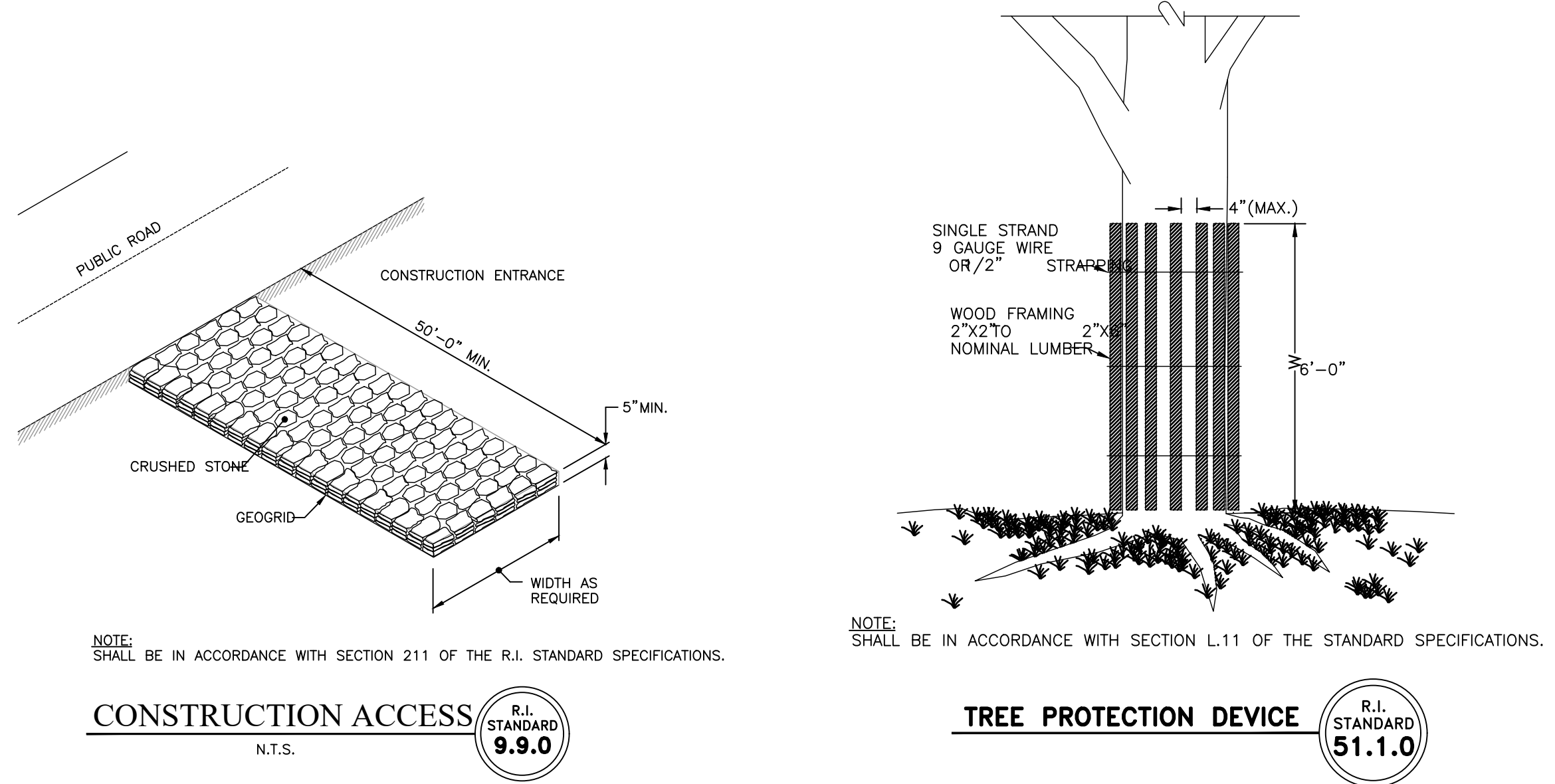
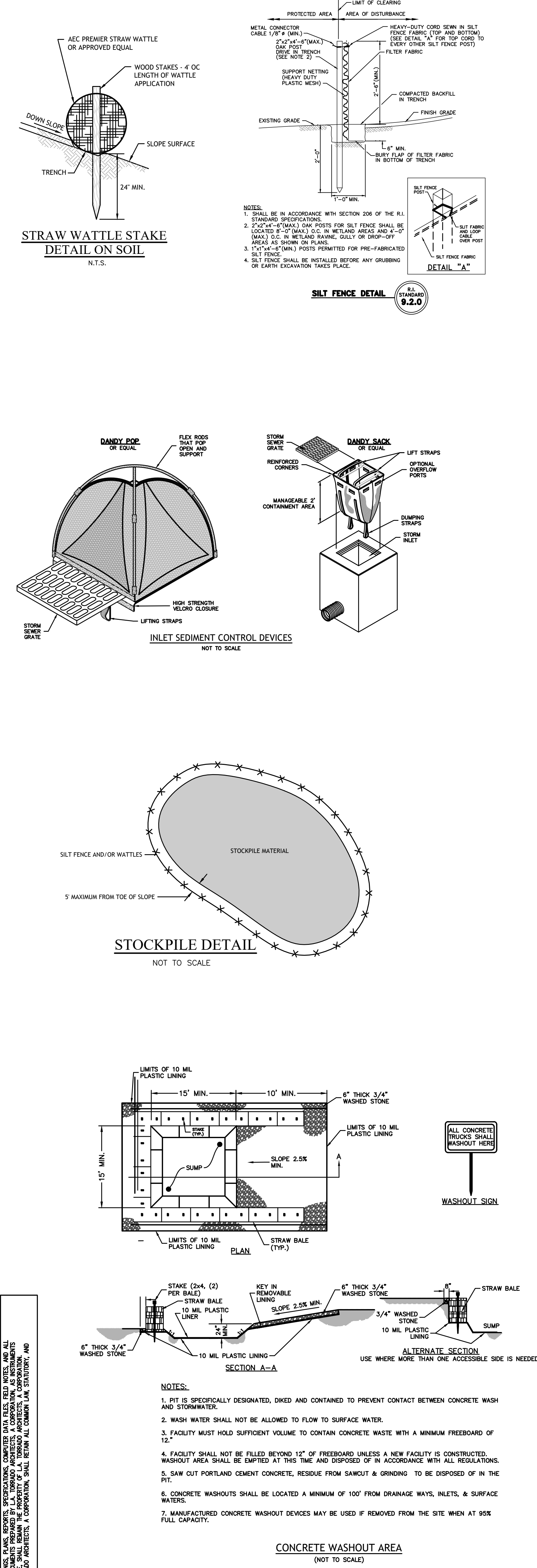


Figure 2. Minimum Top Width for Temporary Sediment Trap Embankments Based on Height of Embankment

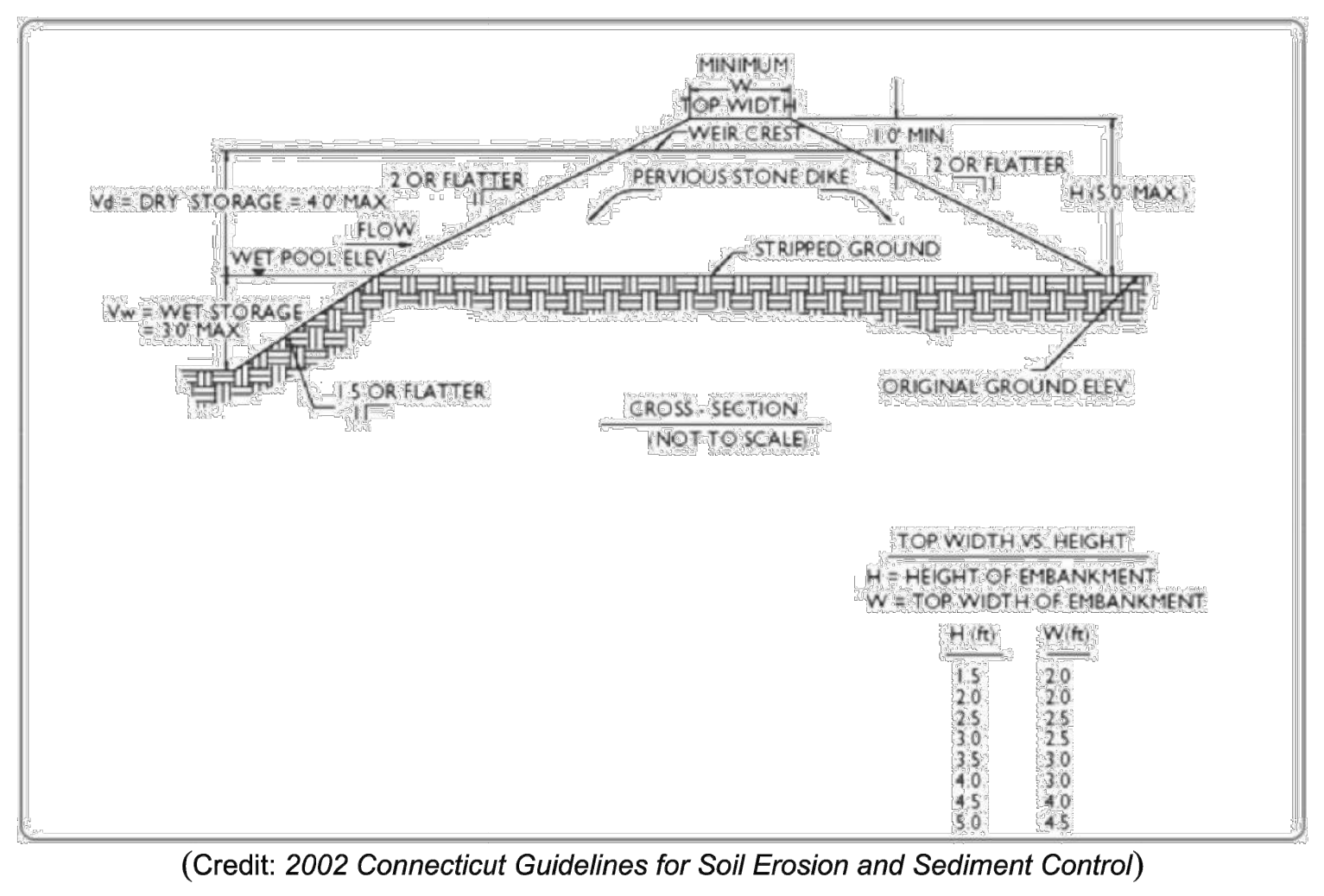
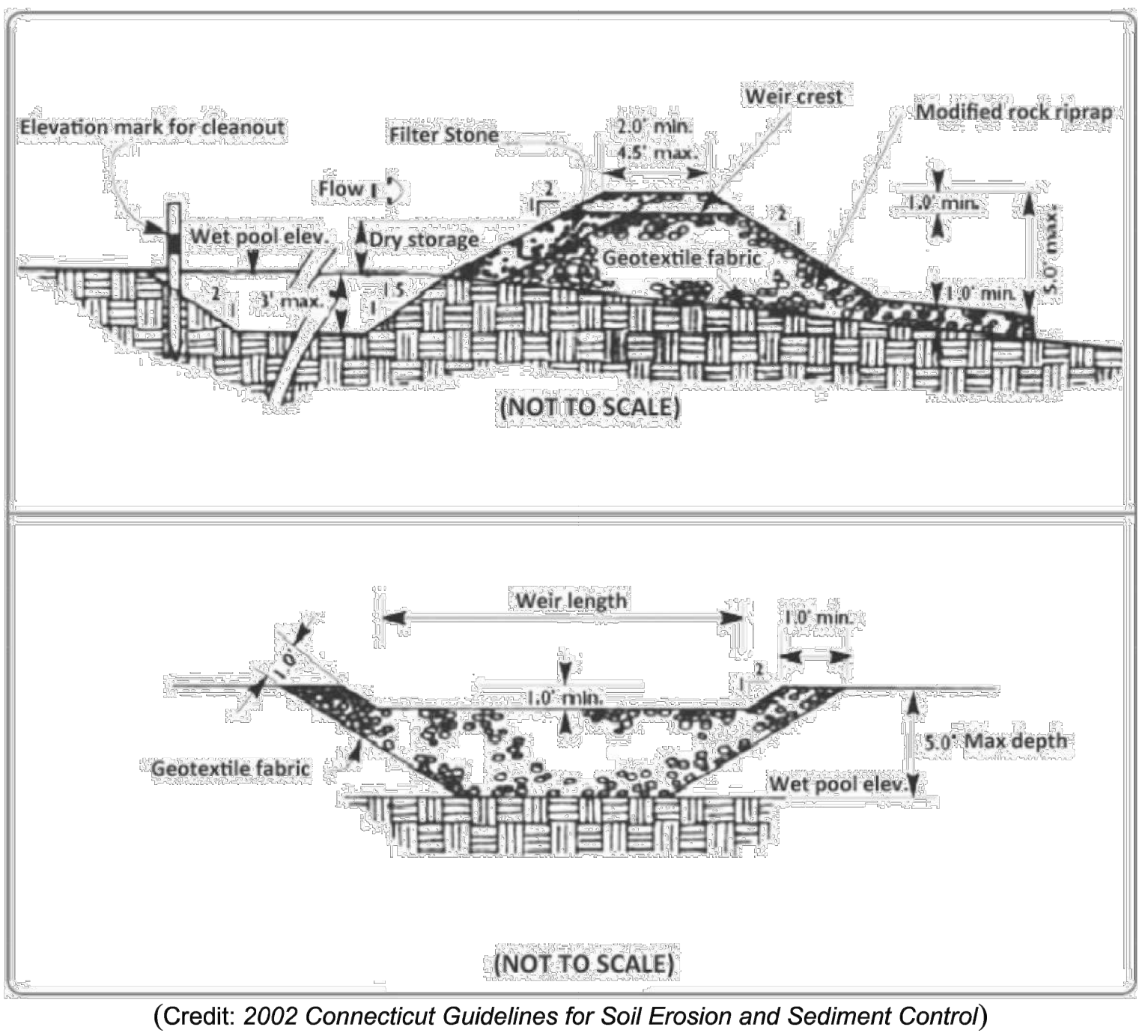


Figure 3. Views of a Temporary Sediment Trap Outlet



TEMPORARY SEDIMENT TRAP DETAIL
N.T.S.

EROSION AND SEDIMENTATION CONTROL NOTES

1. THE CONTRACTOR AND RELEVANT SUBCONTRACTOR SHALL READ AND UNDERSTAND THE RIPDES GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY (GENERAL PERMIT) AND THE SITE SPECIFIC SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC) PREPARED FOR THE PROJECT. ALL EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST REVISION.
2. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE CONDITIONS ISSUED FOR THE PROJECT BY RIDEM AND BE RESPONSIBLE FOR CONFORMANCE WITH ALL PERMIT REQUIREMENTS AND CONSTRUCTION DOCUMENTS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING OR INSTALLING ALL TEMPORARY SEDIMENT AND EROSION CONTROLS AS SHOWN ON THESE PLANS AND SHALL MAINTAIN ALL EROSION CONTROL MEASURES AS NECESSARY DURING THE ENTIRE CONSTRUCTION PERIOD.
4. ANTI-TRACKING PADS (R.I. STD. DETAIL 9.9.0) SHALL BE PROVIDED AT ALL POINTS OF EGRESS OR INGRESS AND SHALL BE MAINTAINED TO LIMIT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROAD.
5. EROSION CONTROL BARRIERS SHALL BE INSTALLED AS SHOWN ON THE EROSION CONTROL PLAN PRIOR TO COMMENCEMENT OF CONSTRUCTION OPERATIONS.
6. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A WEEKLY BASIS AND AFTER EACH STORM EVENT OF 0.25 INCH OR GREATER DURING CONSTRUCTION TO INSURE THAT CHANNELS, DITCHES AND PIPES ARE CLEAR OF DEBRIS AND THAT THE EROSION CONTROL BARRIERS ARE INTACT. IDENTIFIED DEFICIENCIES SHALL BE CORRECTED IMMEDIATELY.
7. DUST SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
8. THE CONTRACTOR SHALL CLEAN AND MAINTAIN EROSION CONTROL BARRIER WHEN SEDIMENT ACCUMULATES TO ONE HALF THE HEIGHT OF THE BARRIER. MATERIAL COLLECTED FROM THE SEDIMENTATION BARRIERS SHALL BE REMOVED AS NECESSARY AND DISPOSED IN AN UPLAND AREA.
9. THE CONTRACTOR SHALL SCHEDULE HIS WORK TO ALLOW THE FINISHED SUB GRADE ELEVATIONS TO DRAIN PROPERLY WITHOUT PONDING. SPECIFICALLY, ALLOW WATER TO ESCAPE WHERE PROPOSED CURB MAY RETAIN RUNOFF PRIOR TO APPLICATION OF SURFACE PAVING. PROVIDE TEMPORARY POSITIVE DRAINAGE, AS REQUIRED, TO STABILIZED DISCHARGE POINTS.
10. INSTALLATION OF THE EROSION CONTROL BARRIERS AS ILLUSTRATED IS INTENDED TO REPRESENT THE MINIMUM SEDIMENTATION CONTROL FACILITIES NECESSARY TO MEET ANTICIPATED SITE CONDITIONS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AS CONDITIONS WARRANT TO AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
11. REQUIRED SEDIMENTATION CONTROL FACILITIES MUST BE PROPERLY ESTABLISHED, CLEARLY VISIBLE AND IN OPERATION PRIOR TO INITIATING ANY LAND CLEARING ACTIVITY AND/OR OTHER CONSTRUCTION RELATED WORK. SUCH FACILITIES SHALL REPRESENT THE LIMIT OF WORK. WORKERS SHALL BE INFORMED THAT NO CONSTRUCTION ACTIVITY IS TO OCCUR BEYOND THE LIMIT OF WORK AT ANY TIME THROUGHOUT THE CONSTRUCTION PERIOD.
12. THE CONTRACTOR SHALL MAINTAIN A SUFFICIENT RESERVE OF VARIOUS EROSION CONTROL MATERIALS ONSITE AT ALL TIMES FOR EMERGENCY PURPOSES OR ROUTINE MAINTENANCE.
13. EXISTING CATCH BASINS AND STORM DRAIN INLETS SHALL BE PROTECTED WITH APPROPRIATE TEMPORARY INLET PROTECTION IN ACCORDANCE WITH THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK.
14. DE-WATERING WASTE WATERS PUMPED FROM EXCAVATIONS SHALL BE CONVEYED BY HOSE TO AN UPLAND AREA AND DISCHARGED ONTO STRAW BALE CORRALS OR SEDIMENTATION BAGS.
15. THE CONTRACTOR SHALL NOT REMOVE ANY TEMPORARY SEDIMENT CONTROL BARRIERS UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN PERMANENTLY STABILIZED.
16. CONSTRUCTION SITE WASTE MATERIALS SHALL BE PROPERLY CONTAINED ONSITE AND DISPOSED OFF SITE AT A LOCATION IN ACCORDANCE WITH THE LOCAL AND STATE REGULATIONS.
17. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 14 DAYS UPON COMPLETION OF WORK IN THAT AREA.
18. ALL DRAINAGE STRUCTURES SHALL BE CLEARED OF ACCUMULATED SEDIMENT PRIOR TO ACCEPTANCE OF FINAL PROJECT.
19. NEWLY VEGETATED AREAS SHALL BE MAINTAINED REGULARLY TO ENSURE VEGETATED SURFACES.
20. EROSION AND SEDIMENTATION CONTROLS SHALL B E UTILIZED AS SHOWN ON THE PLANS. POTENTIAL EROSION AND SEDIMENTATION PROBLEMS ASSOCIATED WITH THE CONSTRUCTION OF THE PROJECT SHALL BE AVOIDED THROUGH THE PROJECT SCHEDULING AND THE USE OF APPROPRIATE STANDARD CONTROLS (RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL HANDBOOK) AS ILLUSTRATED ON THE PROJECT PLANS.
21. WHERE EROSION CONTROLS ARE NEEDED ON IMPERVIOUS SURFACES, THE CONTRACTOR SHALL PROVIDE SAND BAG EROSION CONTROL BARRIER.
22. TEMPORARY DIVERSION (TD) MAY CONSIST OF A DITCH OR SWALE, OR MAY BE ACHIEVED USING WOOD CHIPS, COIR LOGS, OR SIMILAR MATERIALS.
23. TEMPORARY SEDIMENT TRAPS (TST) AND TEMPORARY SWALES (TSW) SHALL BE SIZED BY THE CONTRACTOR USING THE PARAMETERS CONTAINED IN THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK.

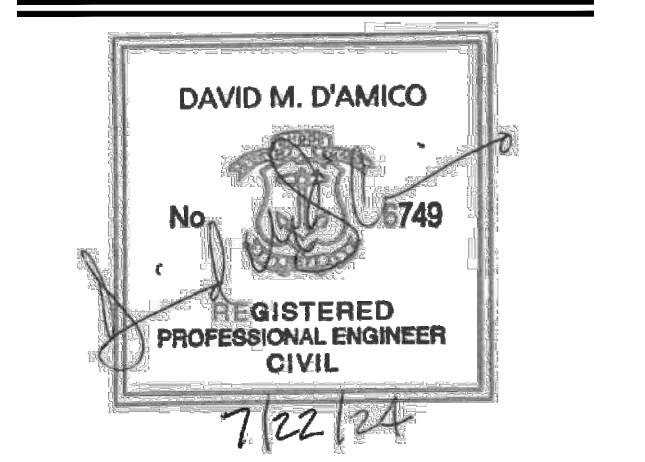
STORM WATER MANAGEMENT SYSTEM INSPECTION AND MAINTENANCE NOTES
DURING CONSTRUCTION (CONTRACTOR'S RESPONSIBILITY)

1. THE CONTRACTOR SHALL REMOVE SEDIMENT AND DEBRIS FROM ALL CATCH BASINS, MANHOLES, AND THE DRAINAGE SYSTEM ON A ROUTINE BASIS, IMMEDIATELY FOLLOWING SITE STABILIZATION, AND PRIOR TO PROJECT COMPLETION AND ACCEPTANCE.
2. THE CLOSED DRAINAGE SYSTEM AND ASSOCIATED STRUCTURES SHALL B E CLEANED AND FLUSHED BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION AND MAINTENANCE OF THE DRAINAGE SYSTEM UNTIL ACCEPTANCE OF THE SYSTEM BY THE ENGINEER AND THE CITY OF PAWTUCKET. THE OWNER OF THE SITE SHALL BE RESPONSIBLE FOR THE LONG-TERM INSPECTION AND MAINTENANCE OF THE DRAINAGE SYSTEM.
3. ANY ACCUMULATION OF PONDING WATER IN AREAS WITHIN THE LIMITS OF DISTURBANCE, OTHER THAN DESIGNATED AREAS, SHALL BE REMOVED ACCORDINGLY AND PREVENTED IN THE FUTURE.

POST CONSTRUCTION (OWNER'S RESPONSIBILITY)

1. TRASH, LITTER, SEDIMENT AND OTHER DEBRIS SHALL BE REMOVED FROM ANY STORMWATER MANAGEMENT SYSTEM FACILITY (INCLUDING BUT NOT LIMITED TO CAST BASINS, MANHOLES, AND INLET) A MINIMUM OF TWO TIMES PER YEAR, PREFERABLY IN THE SPRING AND FALL, AT THE COST OF THE OWNER.
2. THE PARKING LOT AND ENTRY DRIVE SHALL BE SWEEP BY THE OWNER AS EARLY AS POSSIBLE EVERY SPRING AND ONCE IN THE FALL TO REMOVE SEDIMENTS.
3. ALL CLEANING AND MAINTENANCE OF STORMWATER MANAGEMENT SYSTEMS SHALL BE THE RESPONSIBILITY OF THE OWNER.

KEY PLAN



OWNER:
CITY OF PROVIDENCE
Providence City Hall
25 Dorrance Street
Providence, RI 02903

PROJECT:
NEW SCHOOL:
**MARY E. FOGARTY
ELEMENTARY
SCHOOL**

199 OXFORD STREET
Providence, RI 02903

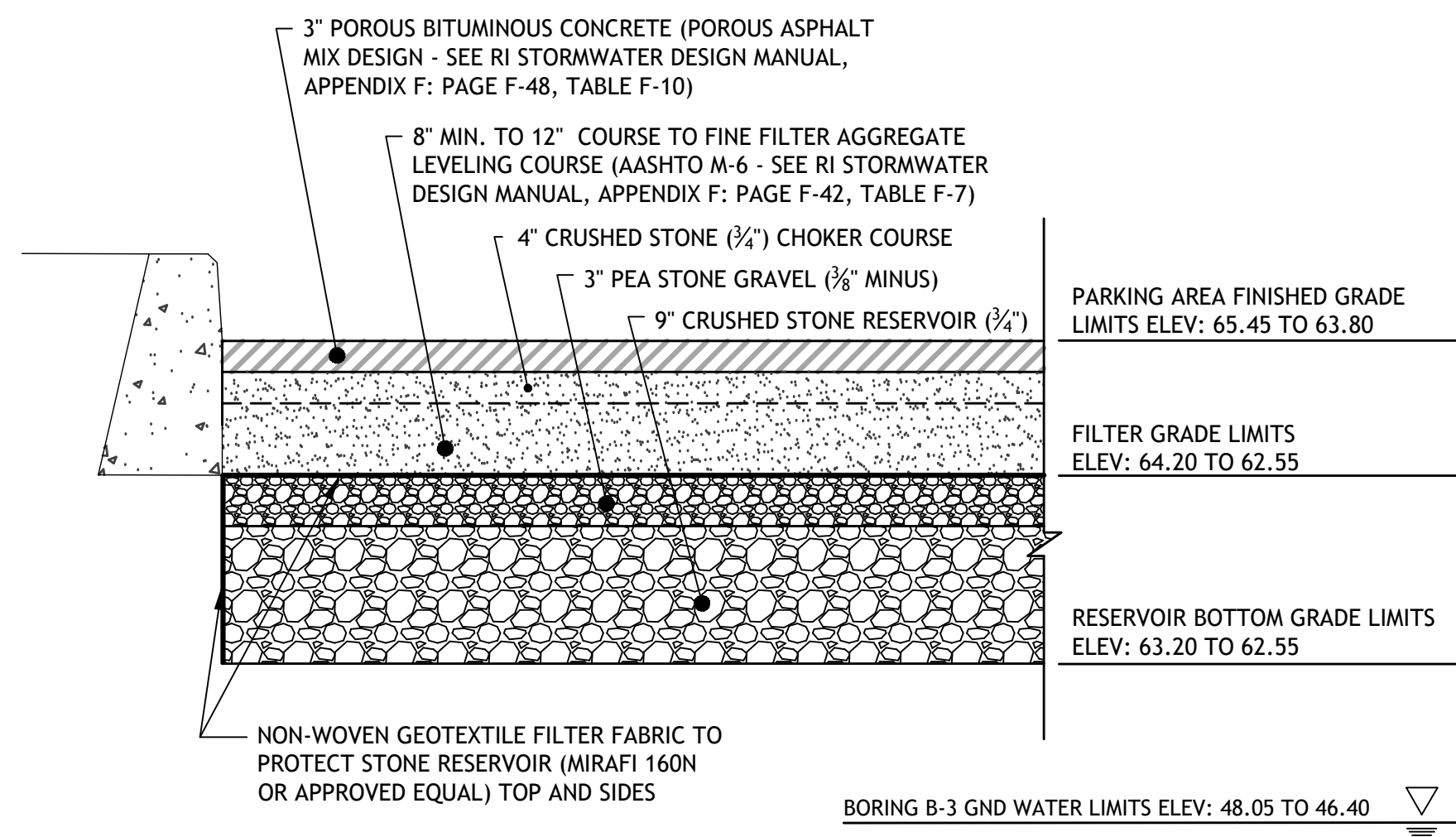
CONTENT
**SOIL EROSION
AND
SEDIMENT
CONTROL
DETAILS**

STATUS:
STAGE III PRELIMINARY PLAN PERMIT

DATE:	REV. #	DESCRIPTION

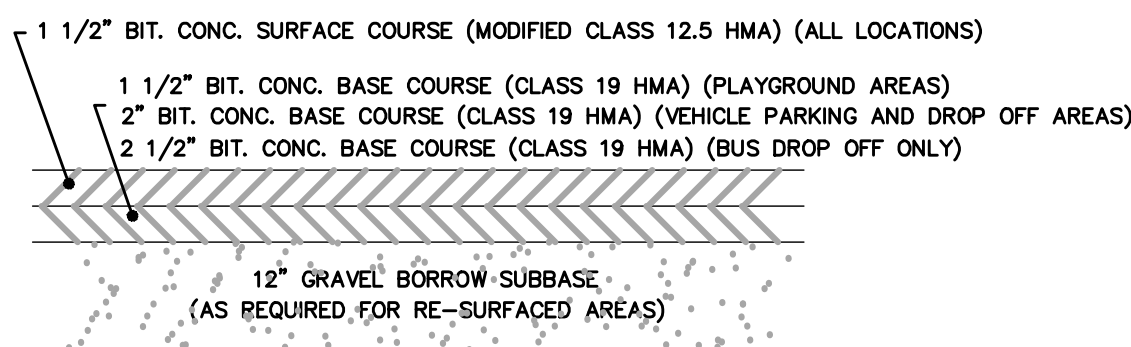
REVISIONS:
DATE: JULY 22, 2024
JOB No:
DRWN BY: D.M.D.
CHECKED BY: D.M.D.
SCALE: AS NOTED

ALL DRAWINGS, PLANS, REPORTS, SPECIFICATIONS, COMPUTER DATA FILES, FIELD NOTES, AND ALL OTHER DOCUMENTS PREPARED BY LA TORRADO ARCHITECTS, A CORPORATION, OR INSTRUMENTS LA TORRADO ARCHITECTS, A CORPORATION, SHALL REMAIN THE PROPERTY OF LA TORRADO ARCHITECTS, A CORPORATION.

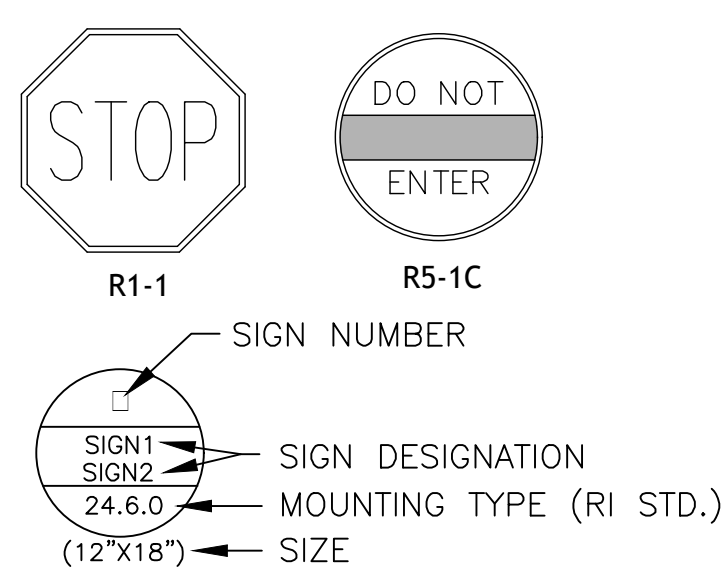
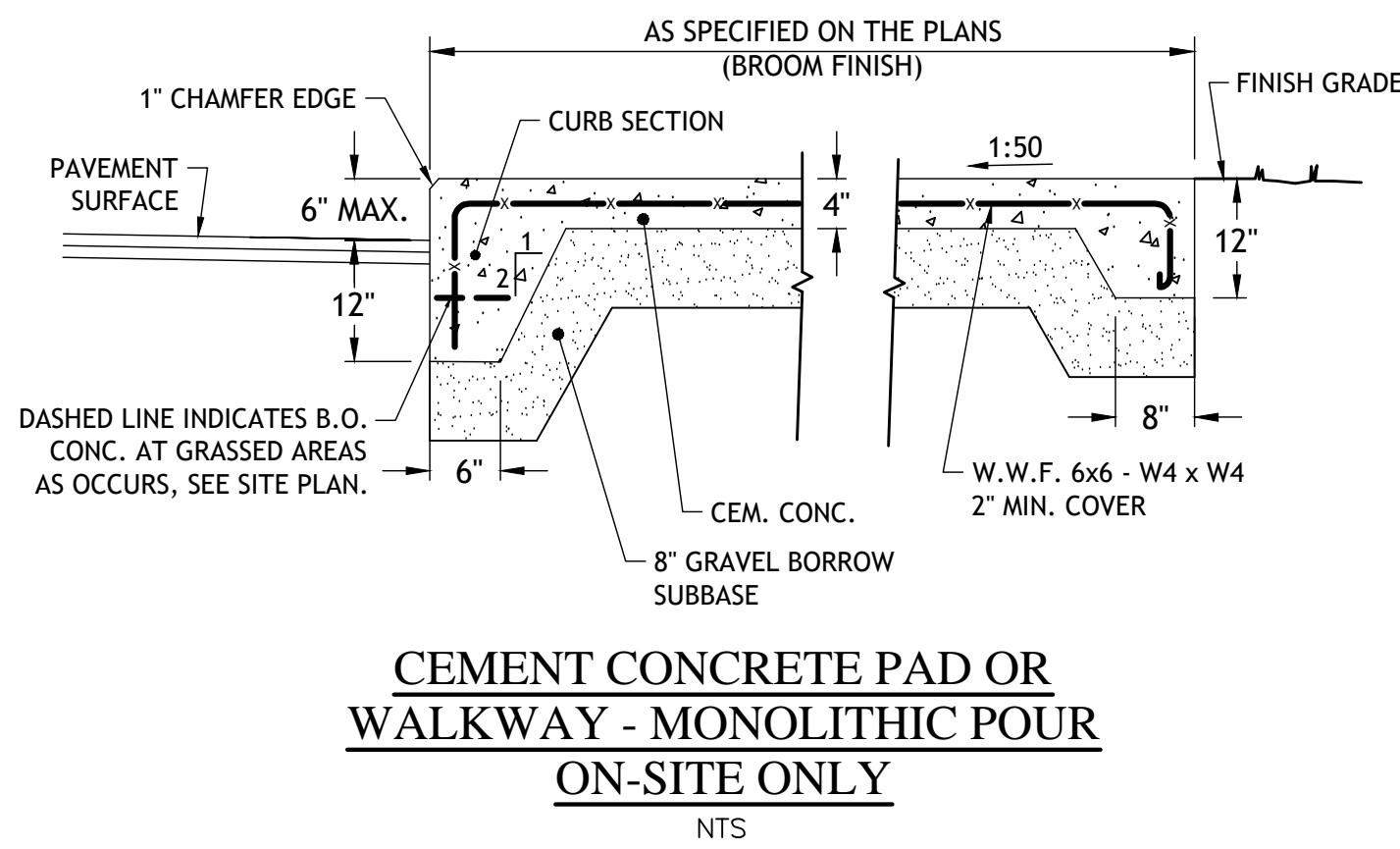


SIEVE ANALYSIS AND PERMEABILITY TESTS IN ACCORDANCE WITH RIDEM SPECIFICATIONS OF ALL MATERIALS TO BE UTILIZED MUST BE CONDUCTED AND APPROVED BY THE ENGINEER BEFORE INSTALLATION OF THE PERVIOUS PAVEMENT PROCEEDS.

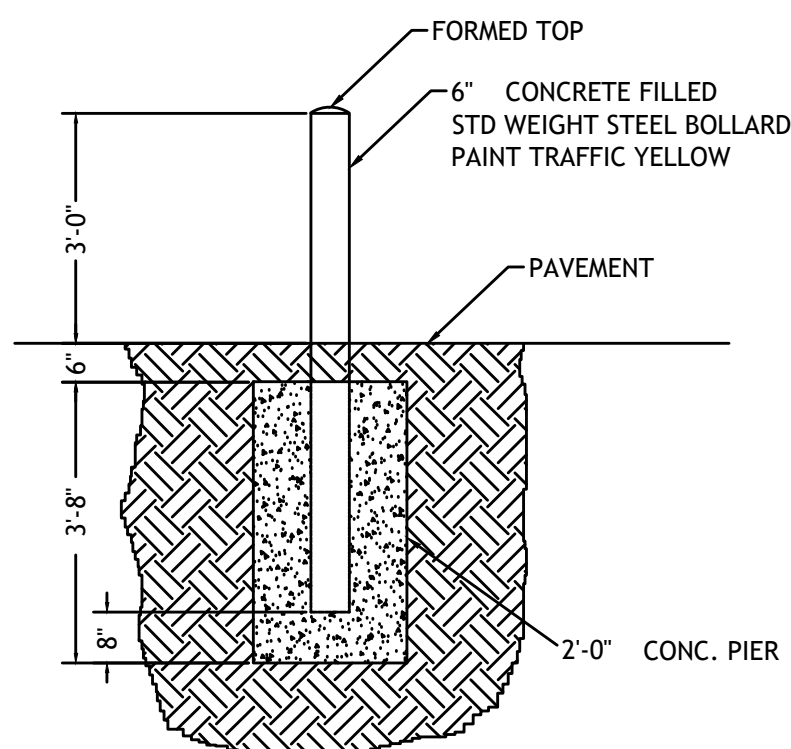
PERVIOUS PAVEMENT SUB-BASE MAKEUP DETAIL NOT TO SCALE



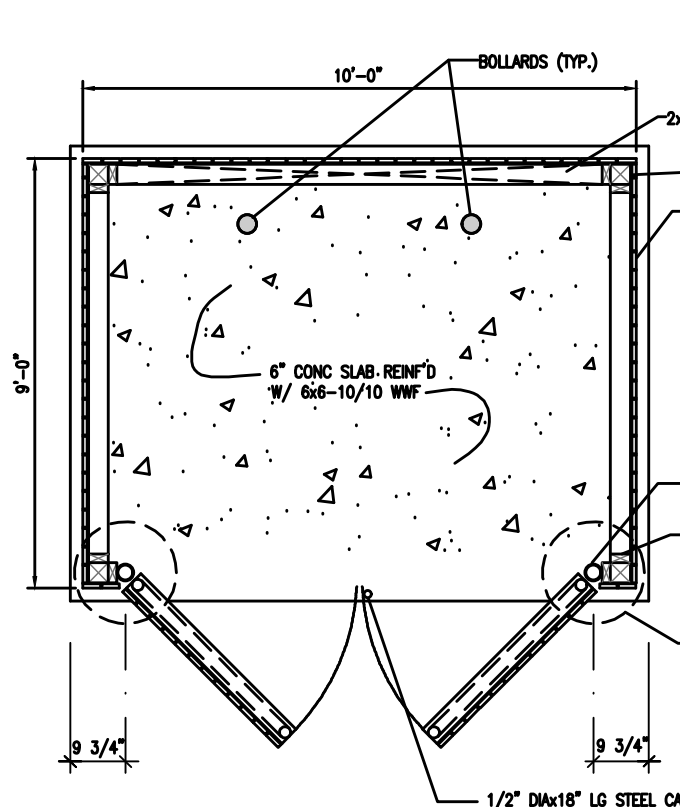
PAVEMENT CROSS SECTION - ON-SITE NOT TO SCALE



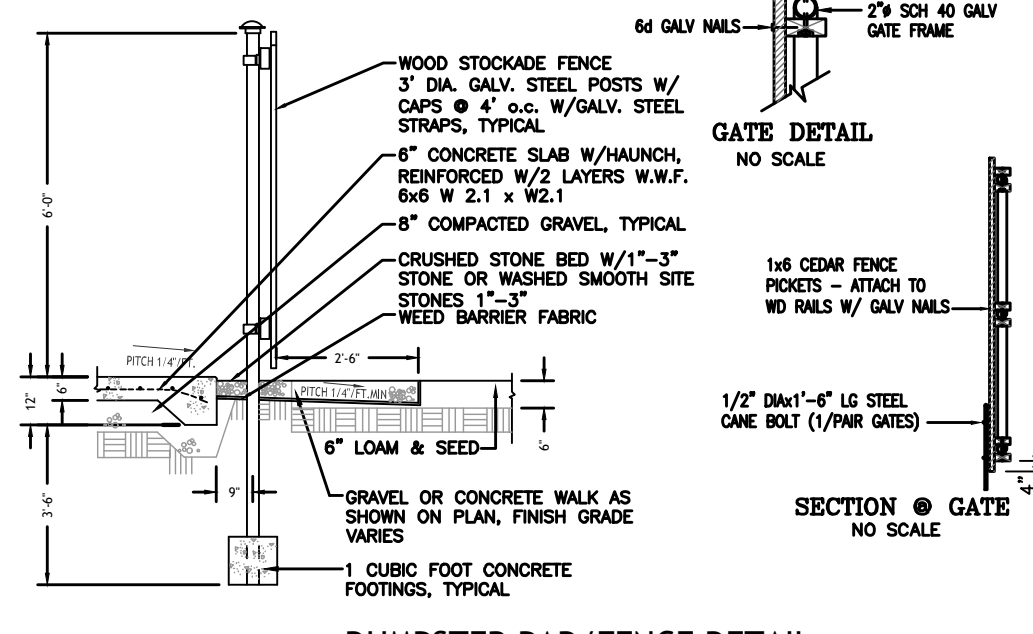
SIGN LEGEND



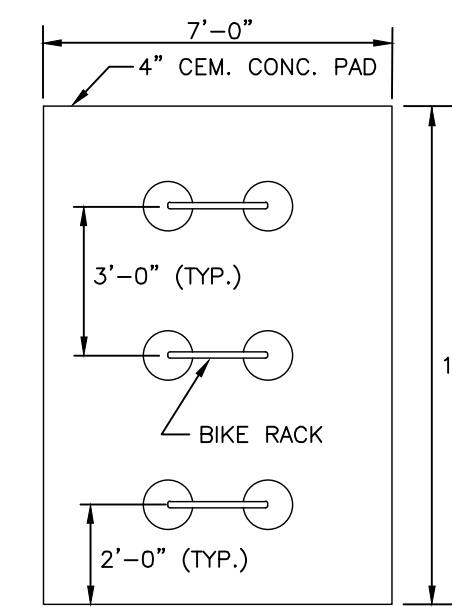
TYPICAL BOLLARD DETAIL NOT TO SCALE



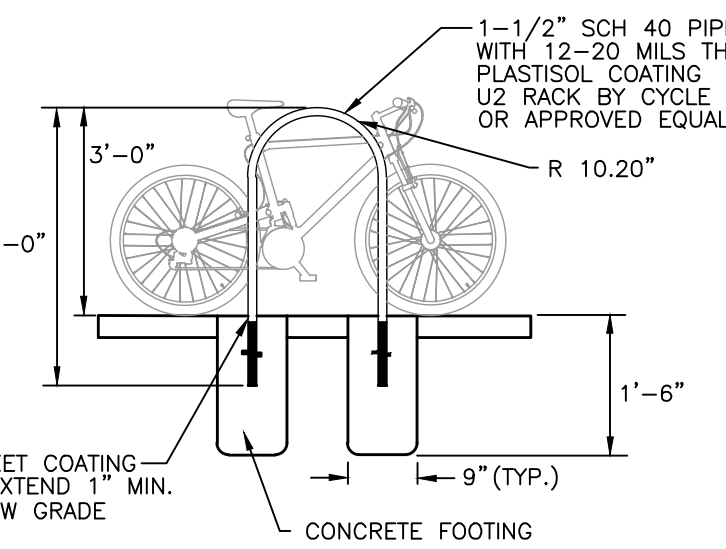
DUMPSTER ENCLOSURE PLAN NOT TO SCALE



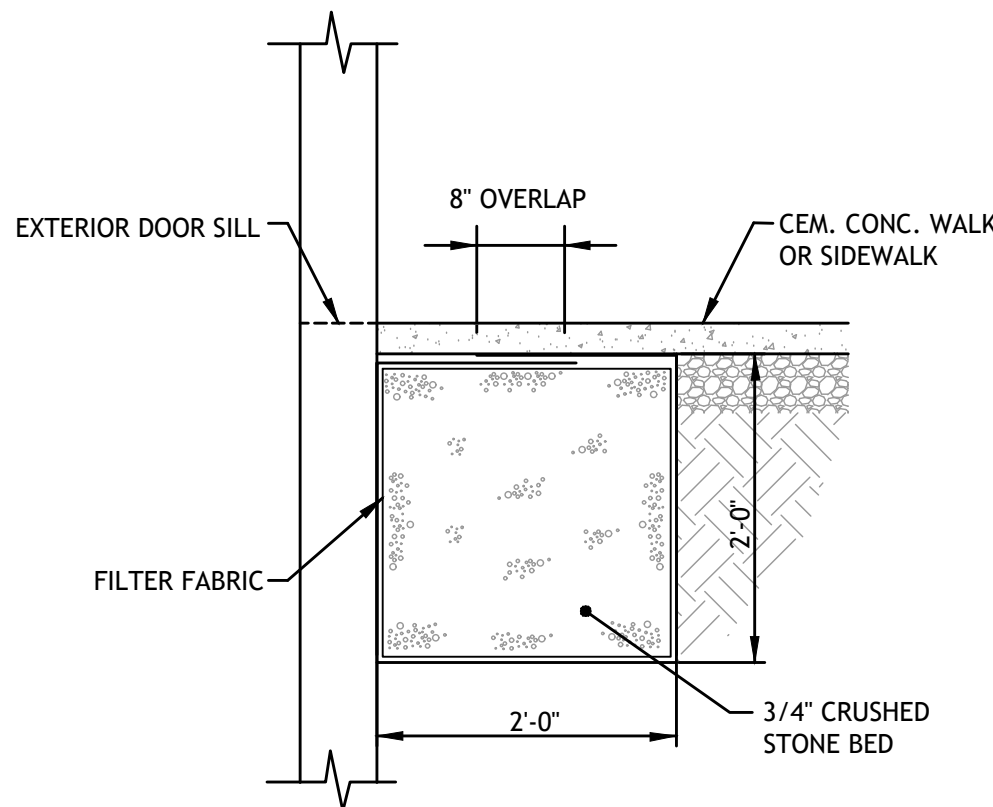
DUMPSTER PAD/FENCE DETAIL SCALE: 1/2\"/>



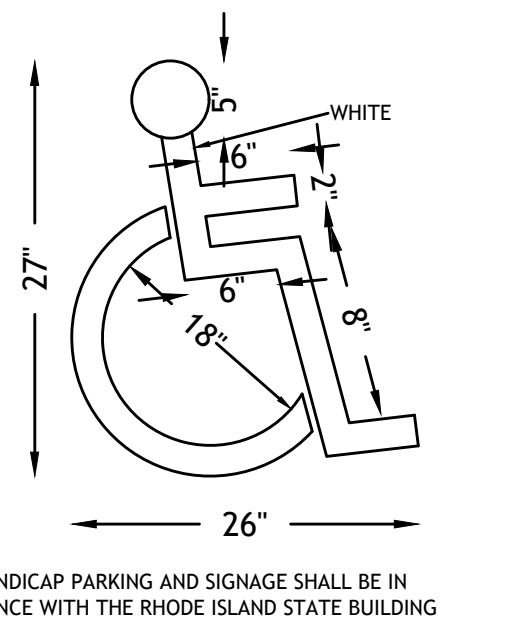
TYPICAL BIKE RACK LAYOUT PLAN



TYPICAL BIKE RACK DETAIL NOT TO SCALE



ADA PARKING STALLS NOT TO SCALE



ADA PAVEMENT MARKING NOT TO SCALE



ADA PARKING SIGNS NOT TO SCALE

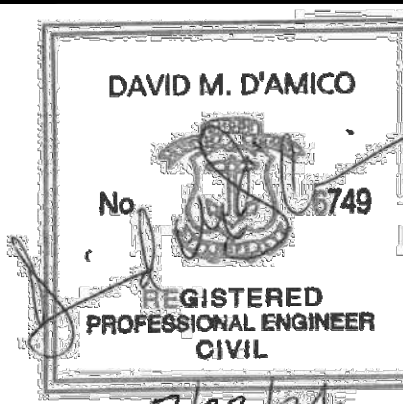
TORRADO ARCHITECTS

35 GREENWICH ST.
PROVIDENCE, RI 02907
401.781.0633 P
401.781.0661 F

CALL
NORTH



KEY PLAN



OWNER:

CITY OF PROVIDENCE

Providence City Hall
25 Dorrance Street
Providence, RI 02903

PROJECT:

NEW SCHOOL:

MARY E. FOGARTY ELEMENTARY SCHOOL

199 OXFORD STREET
Providence, RI 02903

CONTENT:

SITE DETAILS PLAN NO. 1

STATUS:

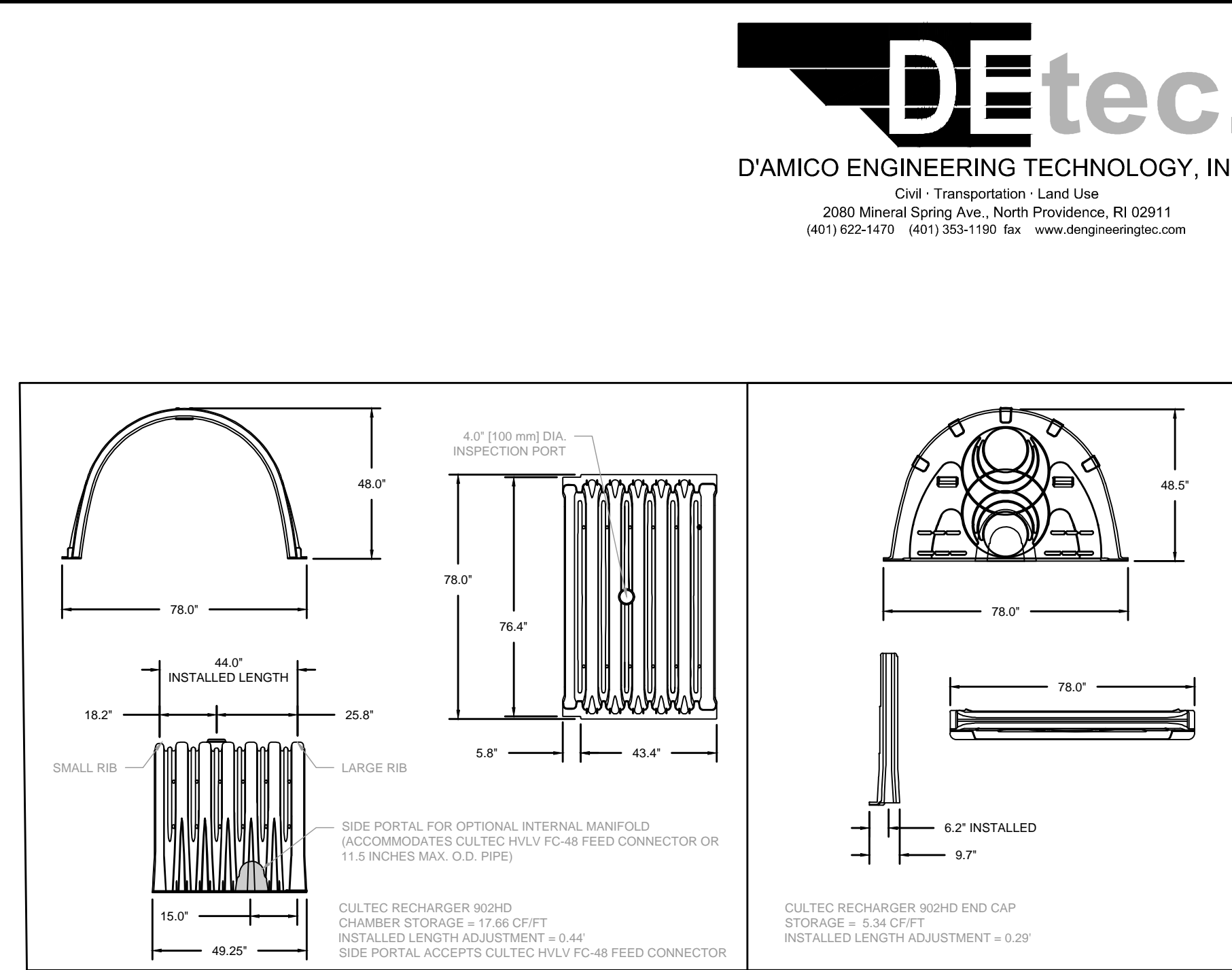
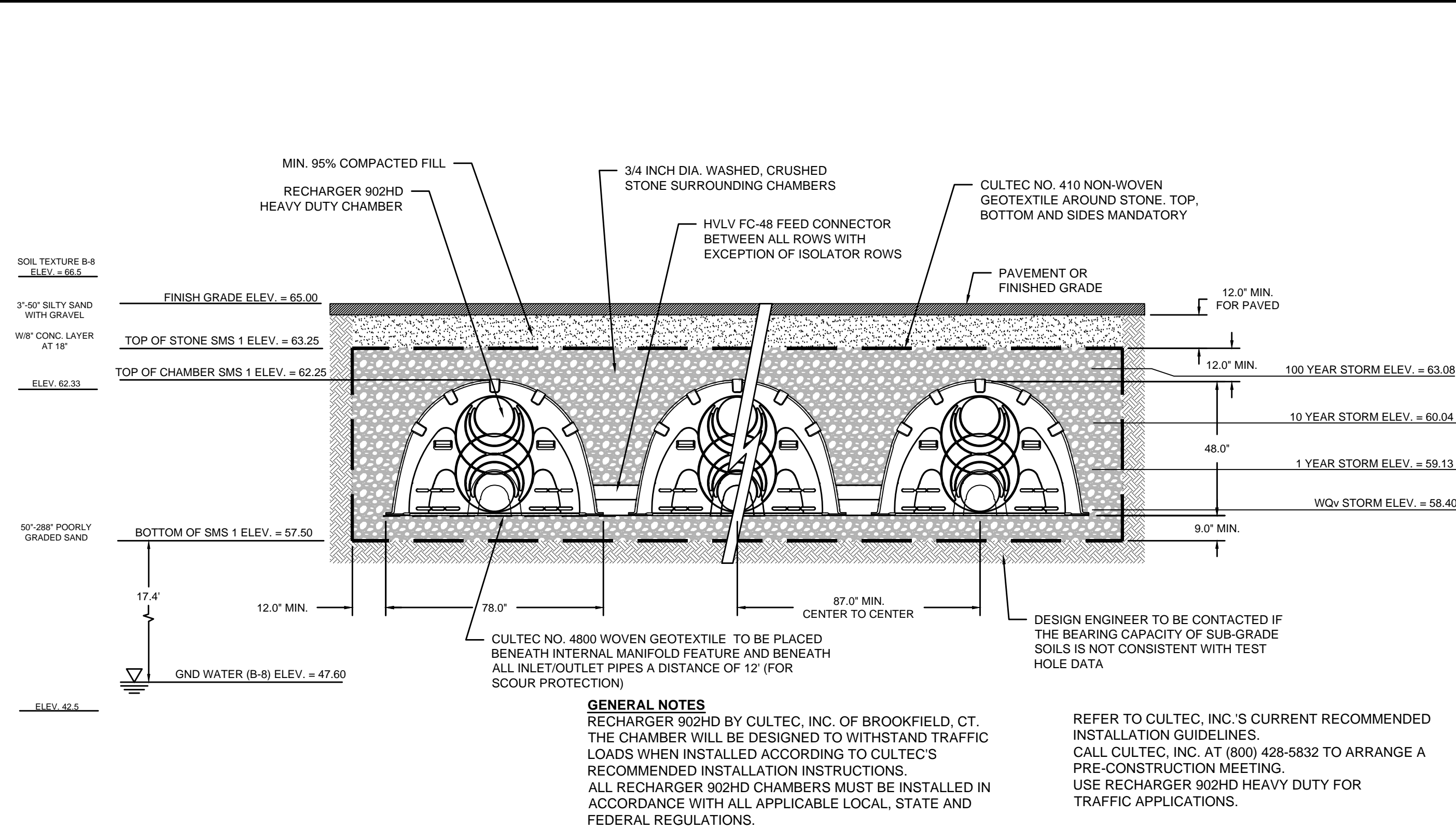
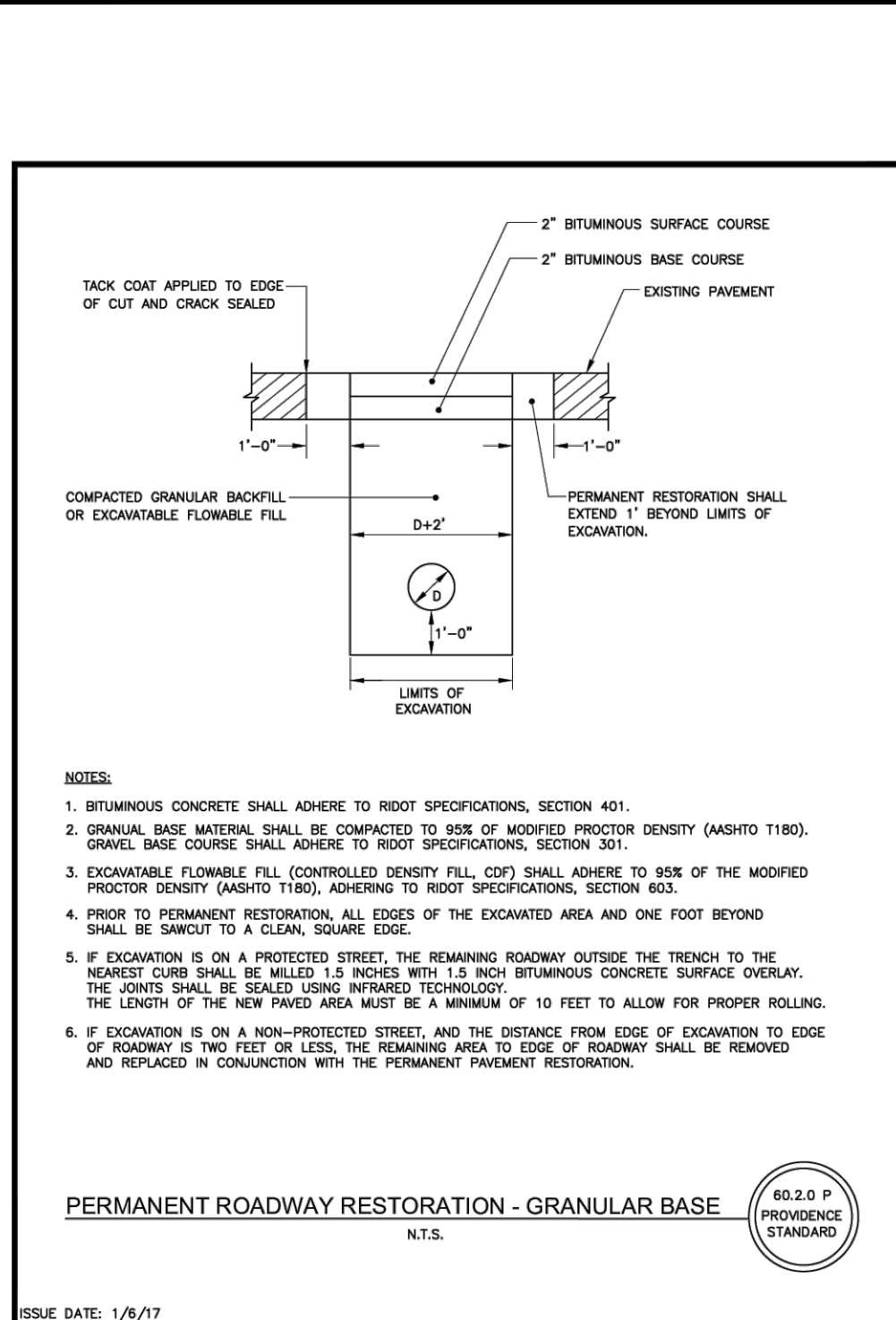
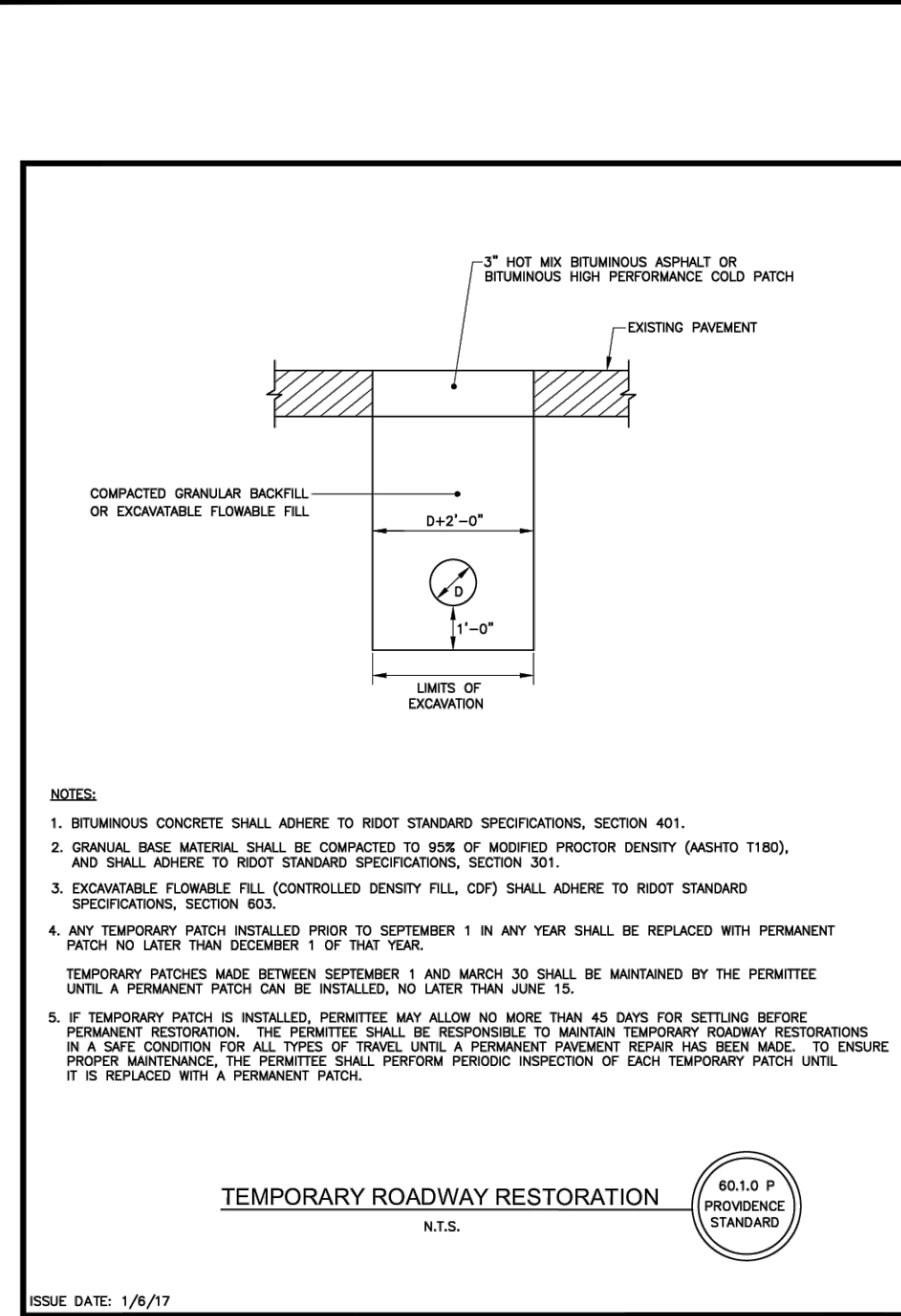
STAGE III PRELIMINARY PLAN PERMIT

DATE:	REV. #	DESCRIPTION
REVISIONS:		

DATE: JULY 22, 2024
JOB No:
DRWN BY: D.M.D.
CHECKED BY: D.M.D.
SCALE: AS NOTED

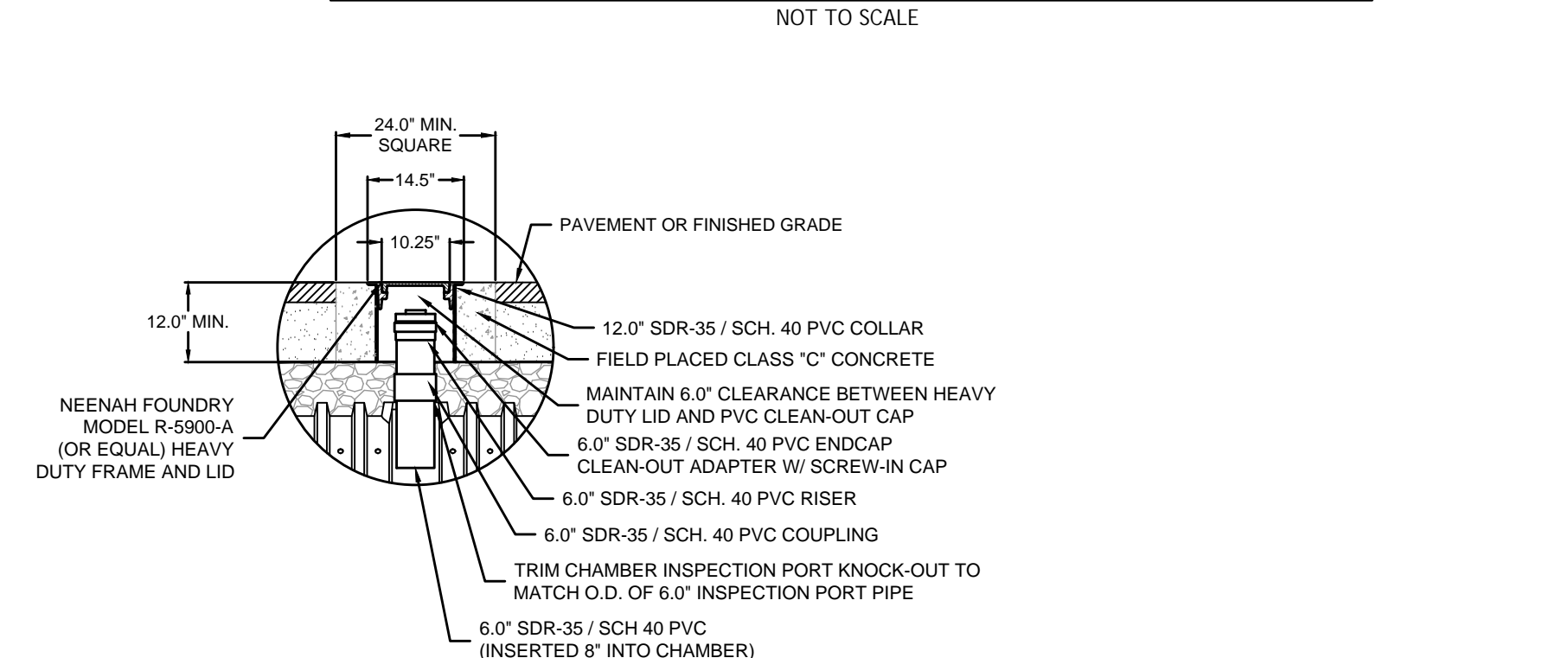
C6.0

SHEET OF

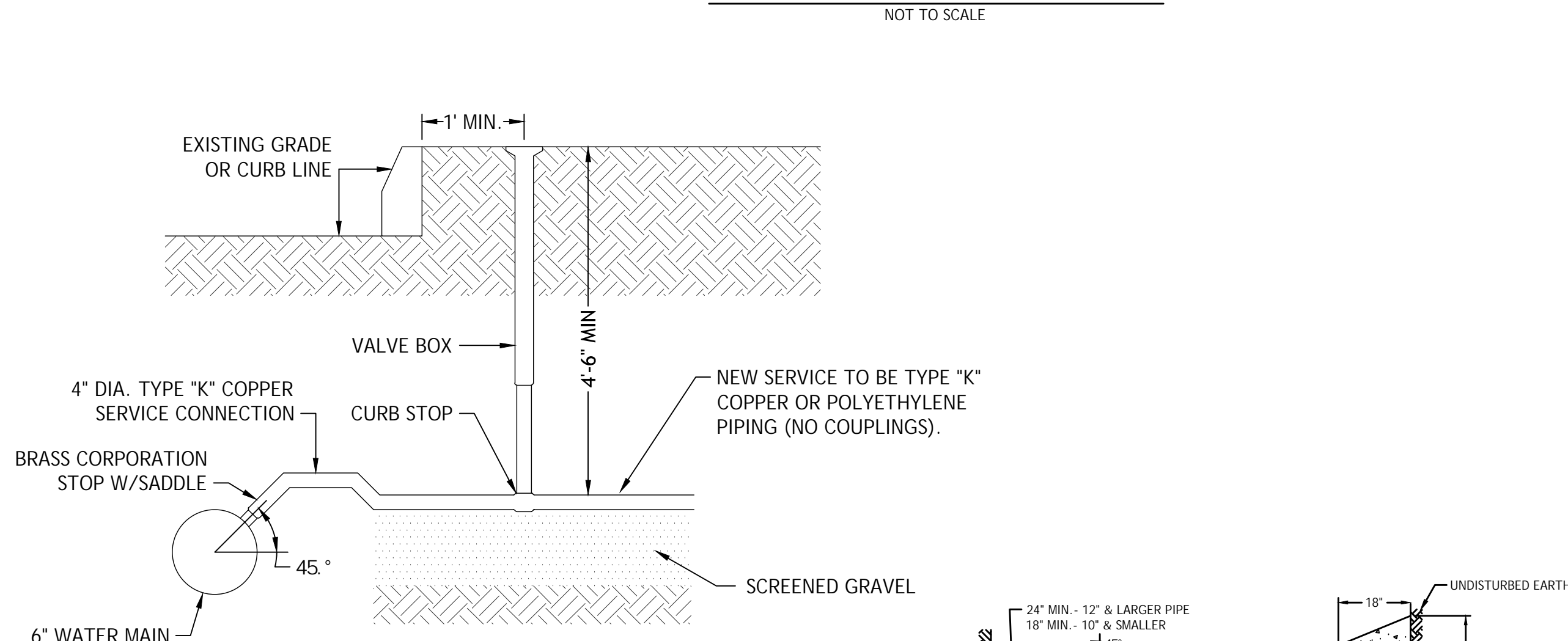


PIPE	A	B
6" (150 mm)	N/A	N/A
8" (200 mm)	N/A	N/A
10" (250 mm)	N/A	N/A
12" (300 mm)	29.50" (749 mm)	2.25" (57 mm)
15" (375 mm)	26.50" (673 mm)	2.25" (57 mm)
18" (450 mm)	23.50" (597 mm)	2.50" (64 mm)
24" (600 mm)	16.50" (420 mm)	3.00" (76 mm)

CULTEC RECHARGER 902HD CHAMBER DETAILS

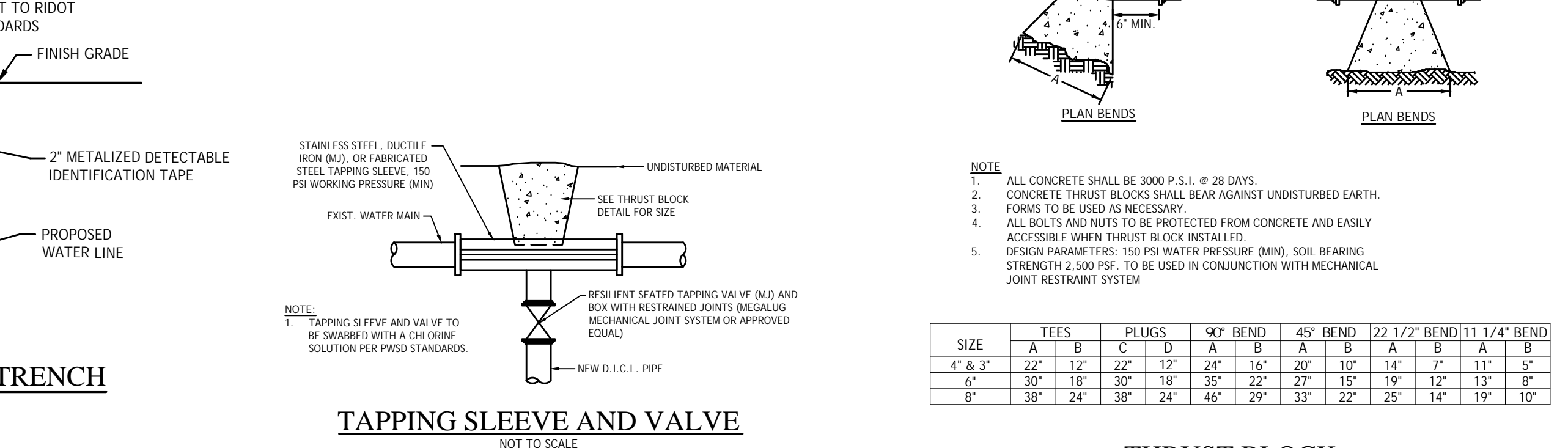


WQv BMP ISOLATOR ROW

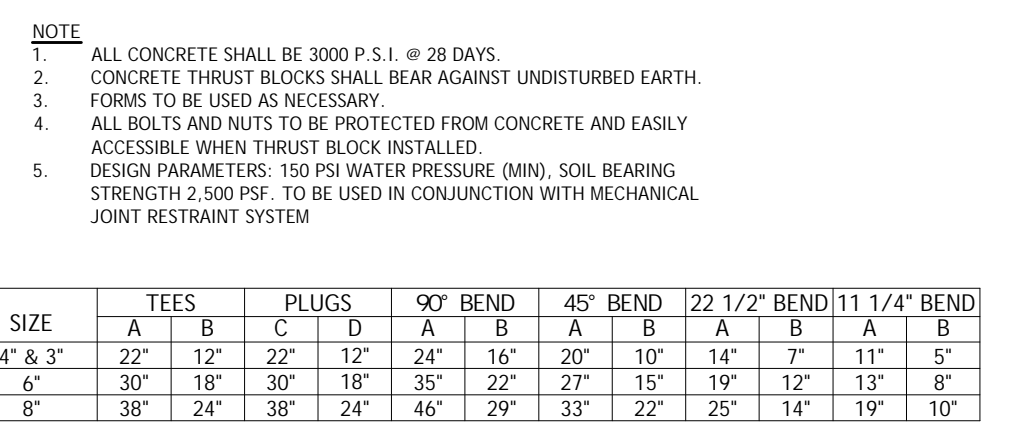


- NOTE:
- SERVICE MATERIALS PER QDC SPECIFICATION.
 - SERVICE LINE FROM CURB BOX TO BUILDING SHALL BE INSPECTED, TESTED AND APPROVED BY THE PROVIDENCE WATER SUPPLY BOARD INSPECTOR.

WATER SERVICE CONNECTION

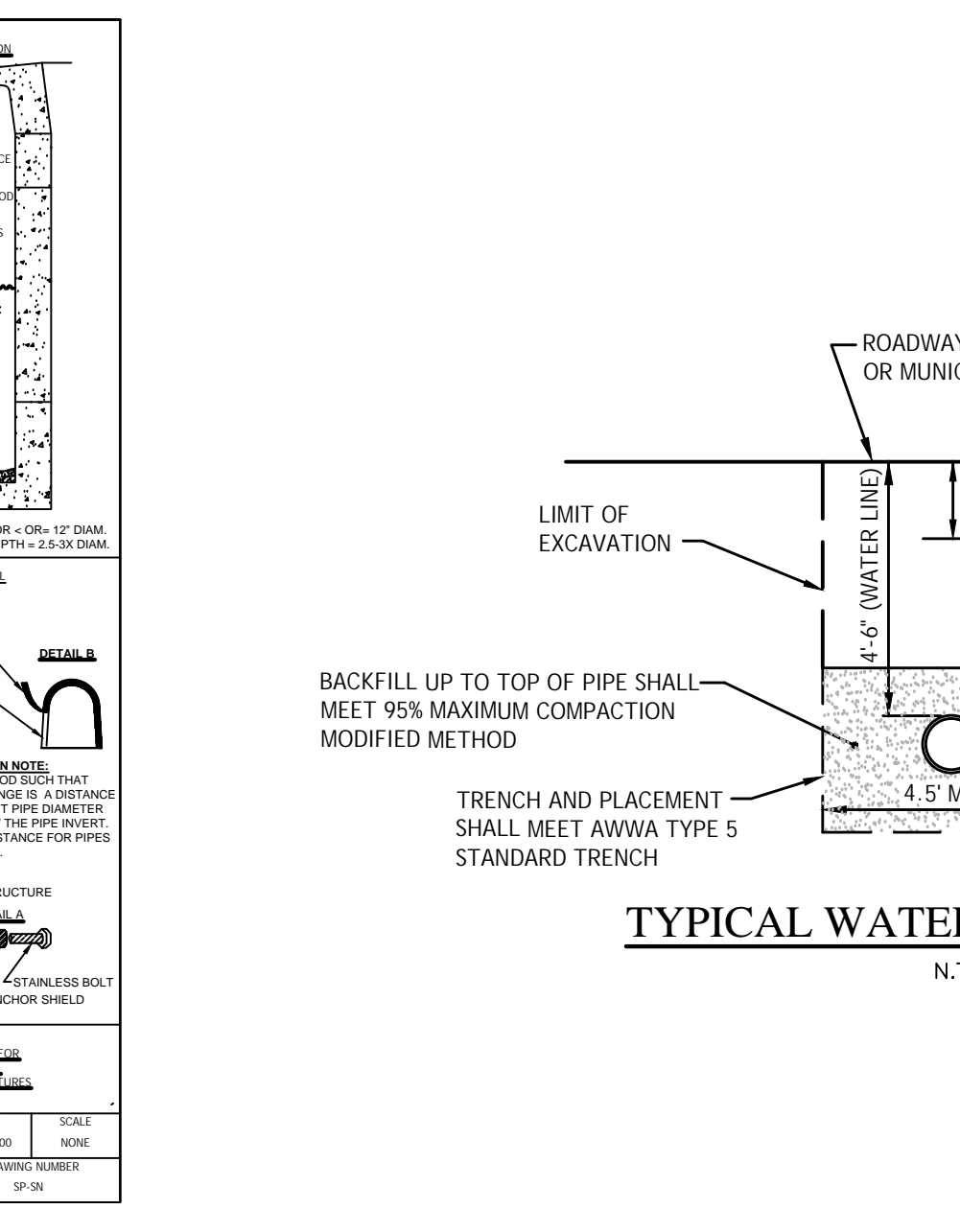
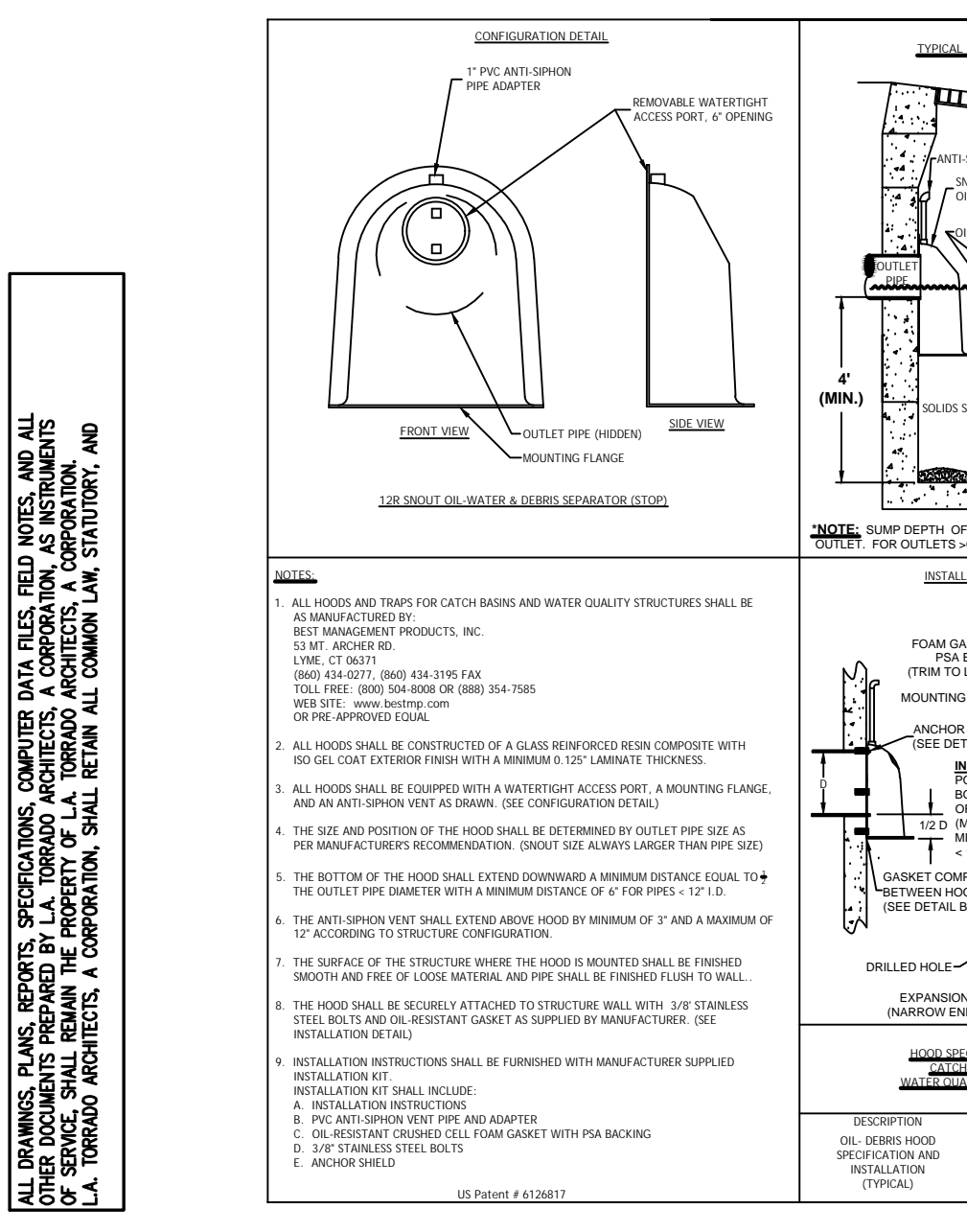
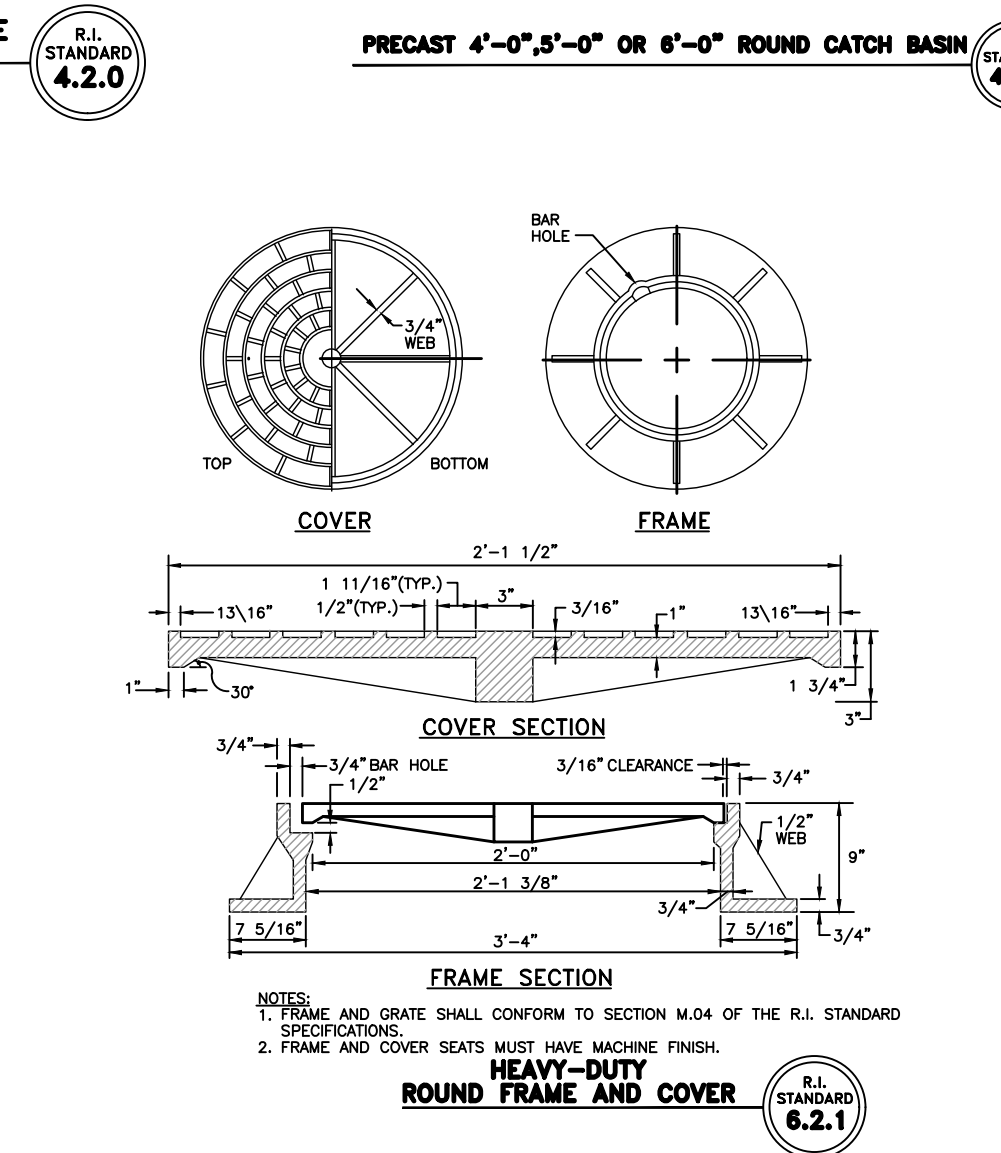
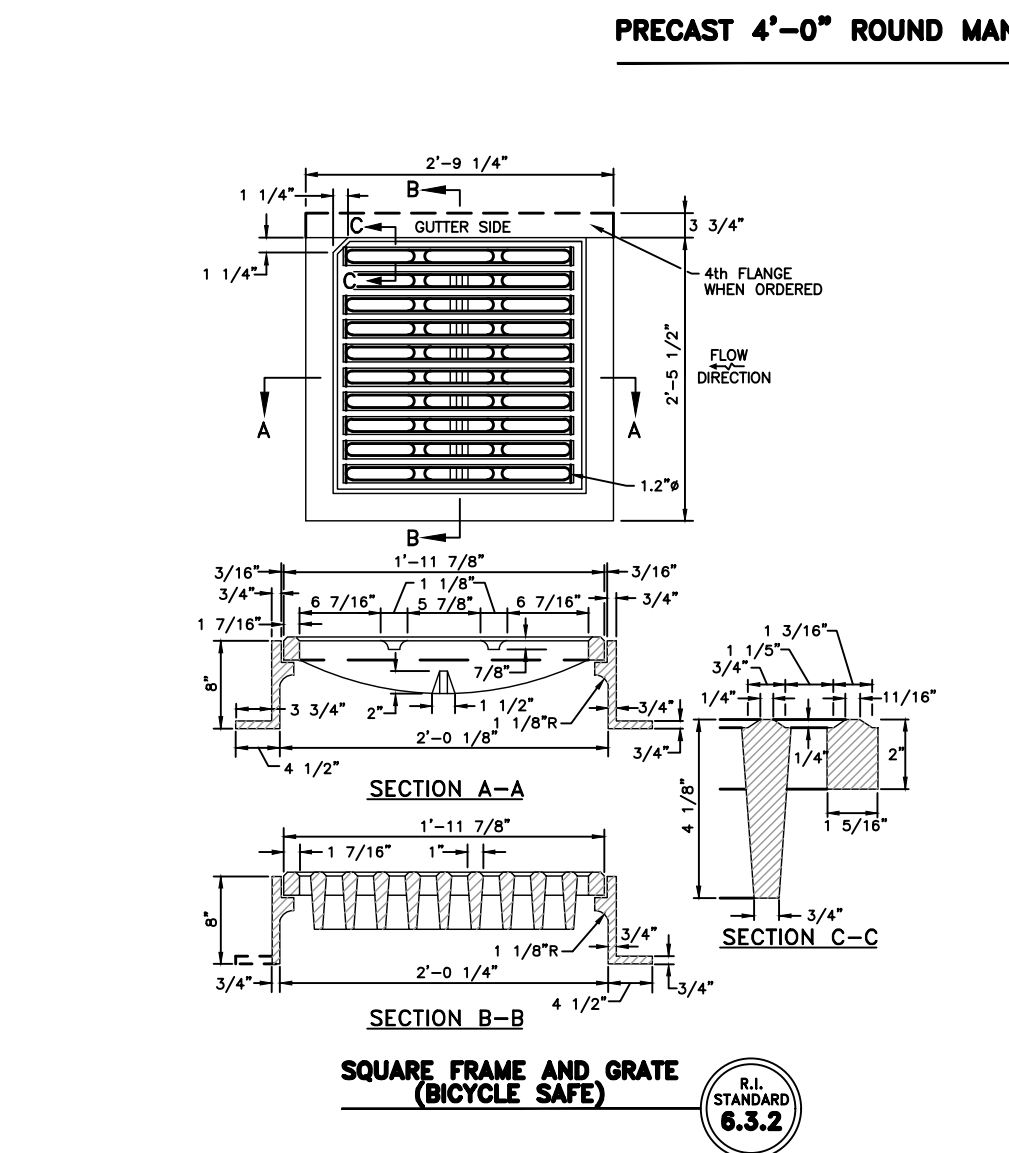
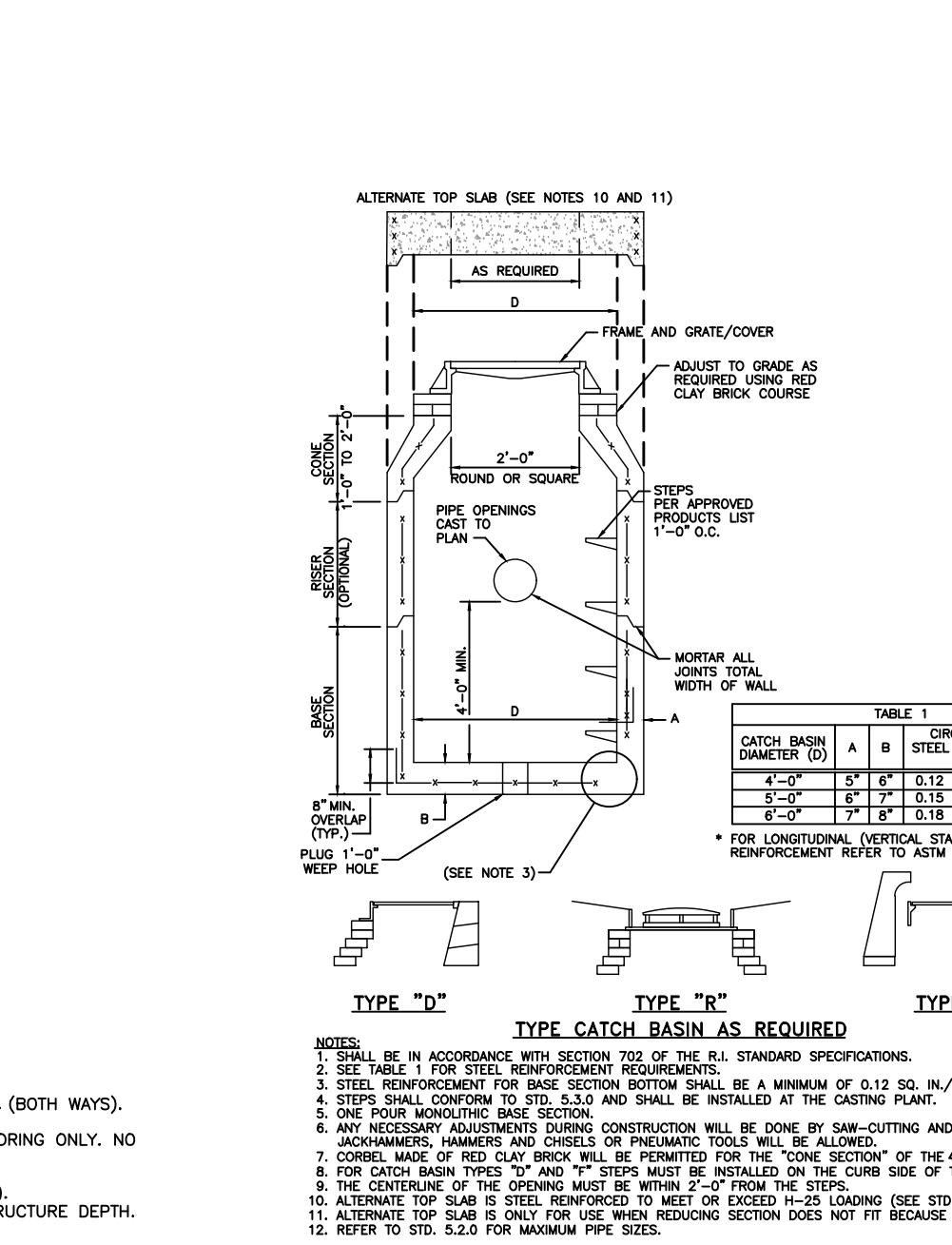
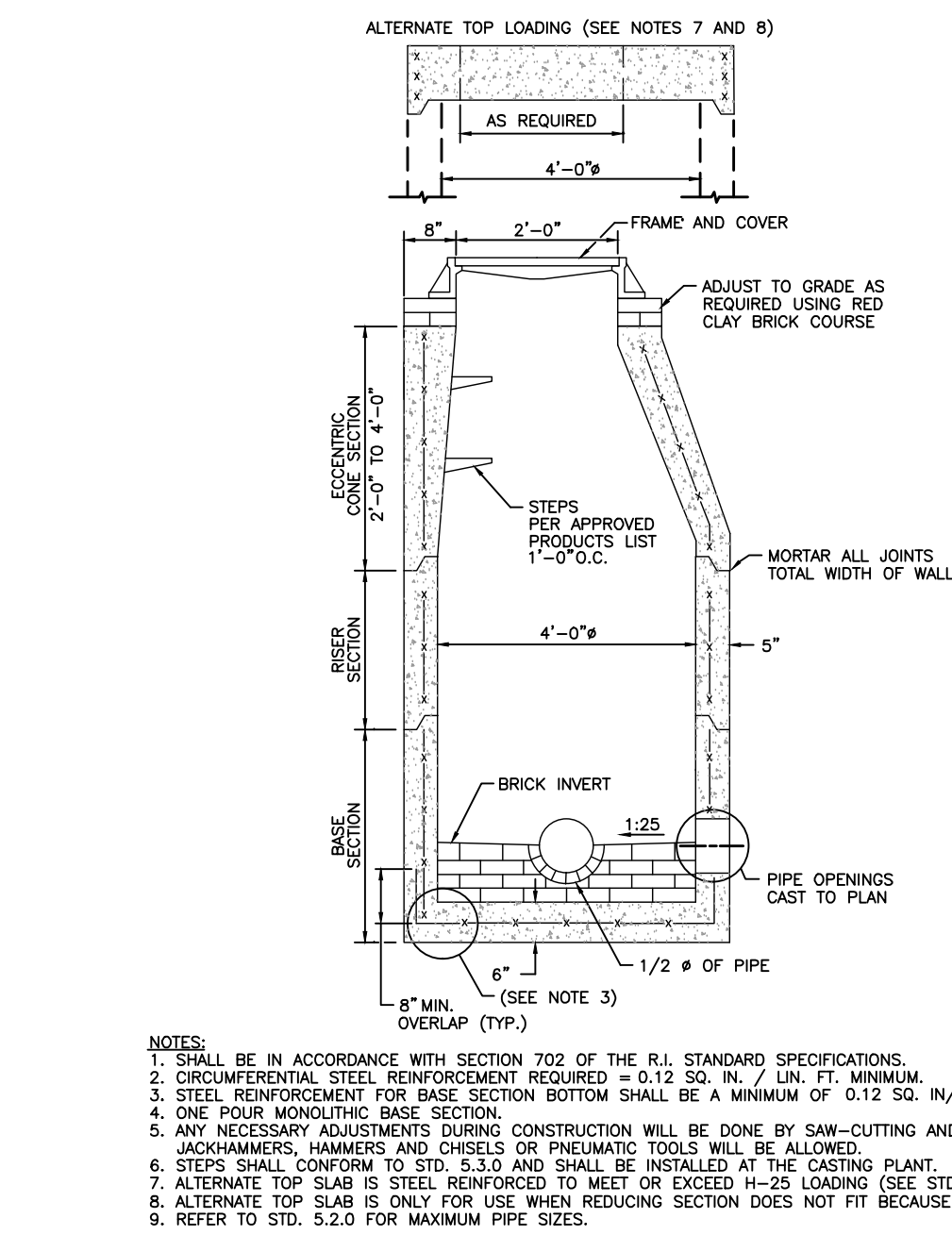


THRUST BLOCK



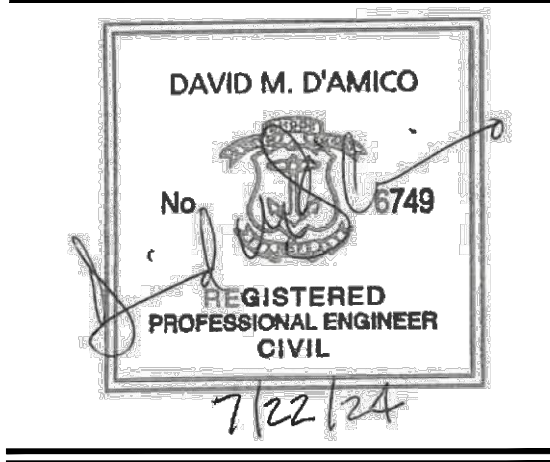
SEWER SERVICE LATERAL DETAIL

NOT TO SCALE



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KEY PLAN



CITY OF PROVIDENCE

Providence City Hall
25 Dorrance Street
Providence, RI 02903

PROJECT:

NEW SCHOOL: MARY E. FOGARTY ELEMENTARY SCHOOL

199 OXFORD STREET
Providence, RI 02903

CONTENT:

SITE DETAILS PLAN NO. 2

STATUS: STAGE III PRELIMINARY PLAN PERMIT

DATE:	REV. #	DESCRIPTION
REVISIONS:		

DATE: JULY 22, 2024
JOB No: D.M.D.
DRAWN BY: D.M.D.
CHECKED BY: D.M.D.
SCALE: AS NOTED

C7.0
SHEET OF

SEWER MANHOLE
ASSUMED B.M. = 68.35
ELEVATION GIVEN BY
CLIENT

HARRIET STREET
(40' PUBLIC)

MINER STREET

BURNSIDE STREET

SAYLES STREET
(40.12' PUBLIC)

Diane C. Soule & Associates, ASLA
Landscape Architecture
422 Farnum Pike
Smithfield, Rhode Island 02917
www.dianesouleandassociates.com
401.231.0736
email: diane@dcaa.ws



TORRADO
ARCHITECTS

35 GREENWICH ST.
PROVIDENCE, RI 02907
401.781.0633 P
401.781.0661 F

PROJECT:

PROJECT:

NEW SCHOOL:

MARY E. FOGARTY
ELEMENTARY
SCHOOL

199 OXFORD STREET
Providence, RI 02905

CONTENT:

LANDSCAPE
PLAN

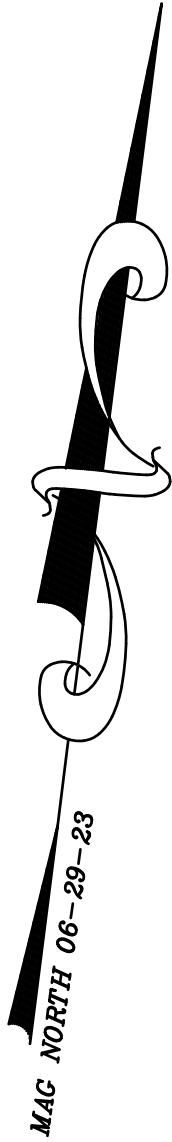
STATUS:

PRELIMINARY PLAN REVIEW

DATE: REV. # DESCRIPTION
REVISIONS:

DATE: JULY 22, 2024
JOB No:
DRWN BY: D.C.S.
CHECKED BY: D.C.S.
SCALE: AS NOTED

L1.0
SHEET OF



A.P. 48 / LOT 572
N / F
LEYDY LANTIGUA
BAEZ

A.P. 48 / LOT 574
N / F
PROVIDENCE REDEVELOPMENT
AGENCY

A.P. 48 / LOT 575
N / F
NANCY D. MEDINA

Existing tree to remain
(typical)

GRADES 6 - 8 PLAYGROUND AREA

GRADES 3 - 5 PLAYGROUND AREA

GRADES K-2
PLAYGROUND AREA

PRE-K
PLAYGROUND AREA

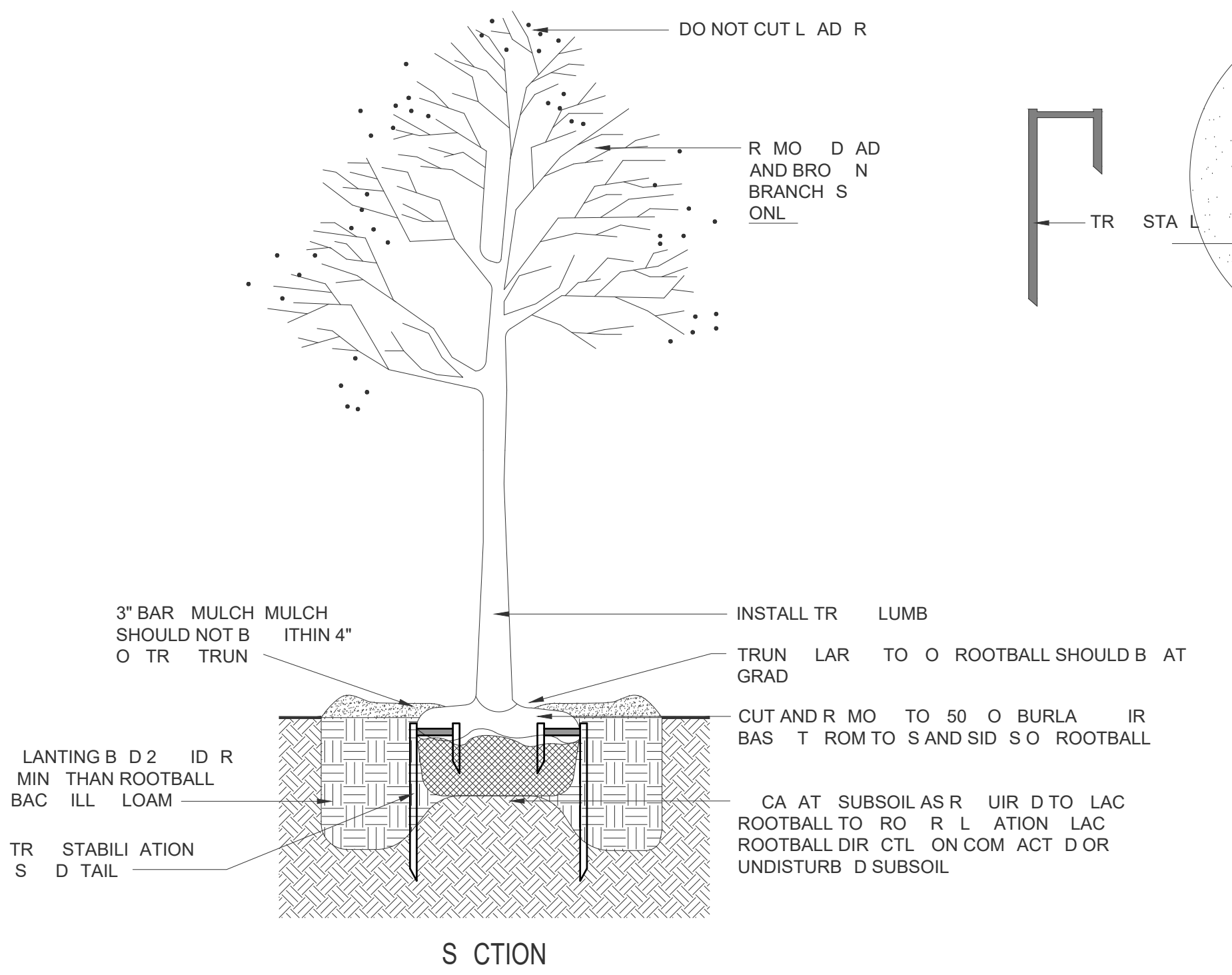
PROPOSED MARY E. FOGARTY
ELEMENTARY SCHOOL

FINISH FLOOR
ELEV. = 66.0

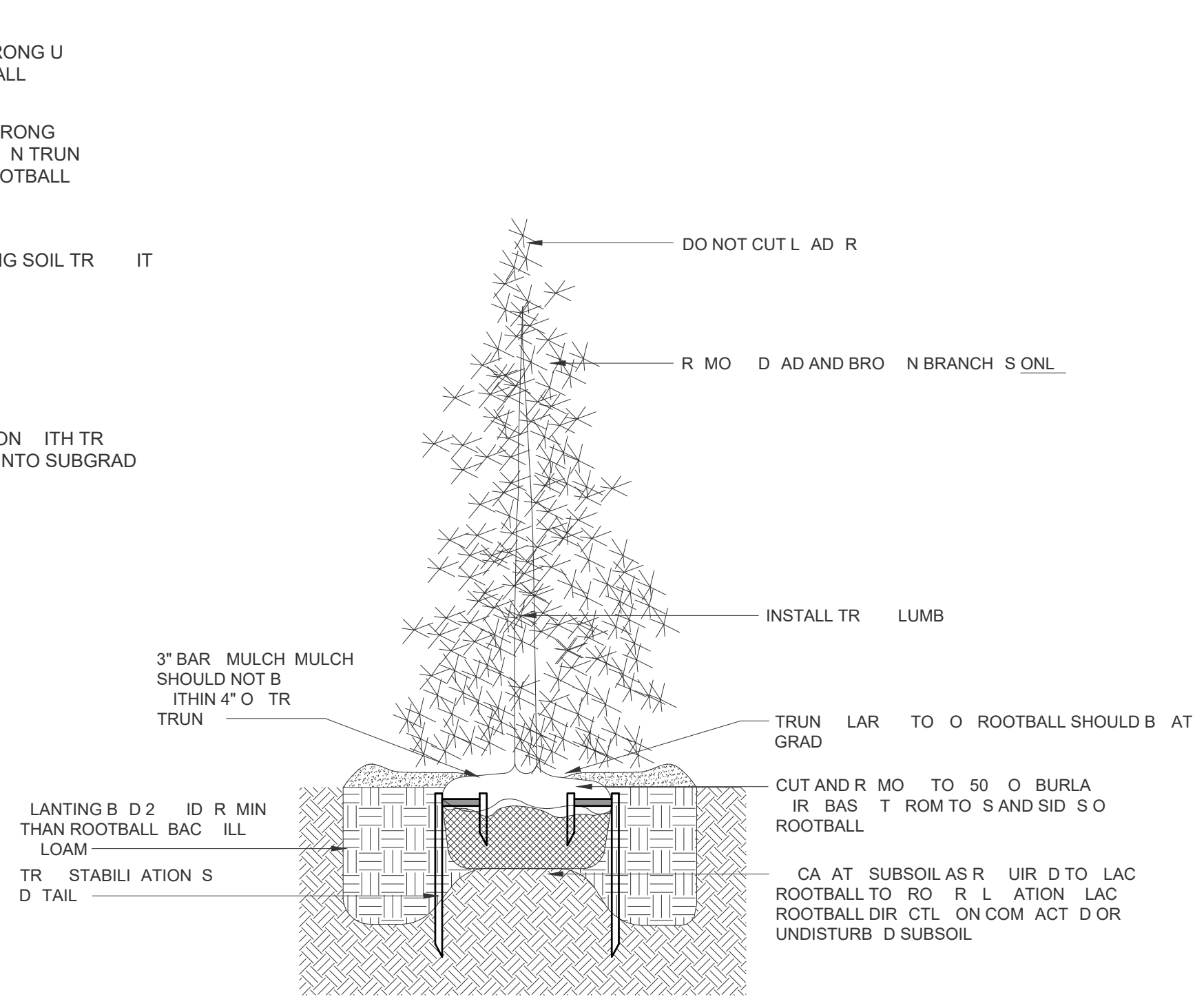
SCALE (FEET)
0 10 20 40 80
1 INCH = 20 FT

PROVIDENCE LANDSCAPE PLANNING DATA
ARTICLE 15 ZONING ORDINANCE, Trees and Landscaping

ZONING CRITERIA	REQUIRED	PROPOSED	ARTICLE 15
SIZE OF SHADE TREES AT PLANTING	2" CALIPER	2 1/2" CALIPER	1502.C.1
SIZE OF EVERGREEN TREES AT PLANTING	6 FEET HIGH	6 FEET HIGH	1502.C.2
SIZE OF ORNAMENTAL TREES AT PLANTING	2 INCH CALIPER	2 INCH CALIPER	1502.C.4
SIZE OF LARGE SHRUBS AT PLANTING	3 FEET HIGH	3 FEET HIGH	1502.C.4
SIZE OF SMALL SHRUBS AT PLANTING	18 INCHES HIGH	18 INCHES HIGH	1502.C.4
REQUIRED TREE CANOPY	30% OF TOTAL LOT FOR PS ZONE CALCULATIONS: Total Lot square footage = 196,267 SF X 30% = 58,880 square feet minimum shading required.	59,000 SQUARE FEET PROVIDED CALCULATIONS: 46 large trees (1,000sf)=46,000 square feet (proposed) 13 large trees (13,000sf)=1,300 square feet (existing)	1503.C.1
PARKING LOT PERIMETER LANDSCAPE STRIP	PERIMETER LANDSCAPE STRIP SHALL BE MINIMUM 5 FEET WIDE AND HAVE 1 SHADE TREE EVERY 25 FEET SPACED LINEARLY. THE LANDSCAPE STRIP SHALL BE PLANTED OVER A MINIMUM OF 60% OF ITS LENGTH WITH LARGE SHRUBS. CALCULATIONS: Ocean Street Parking Lot=180 linear feet excluding curb cuts or 6 shade trees (avg 1' AND 96 linear feet of shrubs	PERIMETER LANDSCAPE 5 FEET WIDE AT PARKING LOT PERIMETER 9 SHADE TREES AND 140 LINEAR FEET OF SHRUBS	1504.A-C
INTERIOR PARKING LOT LANDSCAPING	PARKING LOTS OVER 20,000 GROSS SQUARE FEET: 1 ISLAND EVERY 10 SPACES 10% LANDSCAPING 1 SHADE TREE/ISLAND	N/A PARKING LOT UNDER 20,000 SQUARE FEET (11,503 SF)	1505.A-E
SCREENING OF PARKING LOTS FROM RESIDENTIAL DISTRICTS	4 FOOT SCREEN REQUIRED BETWEEN RESIDENTIAL LOT AND PARKING	N/A - NO PARKING ADJACENT TO RESIDENTIAL DISTRICTS	1506

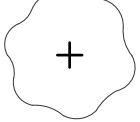
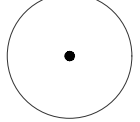
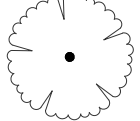
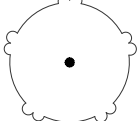
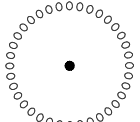
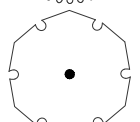

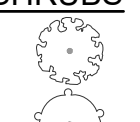
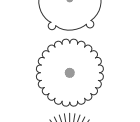
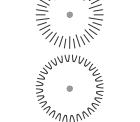
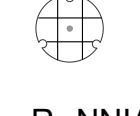

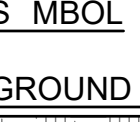



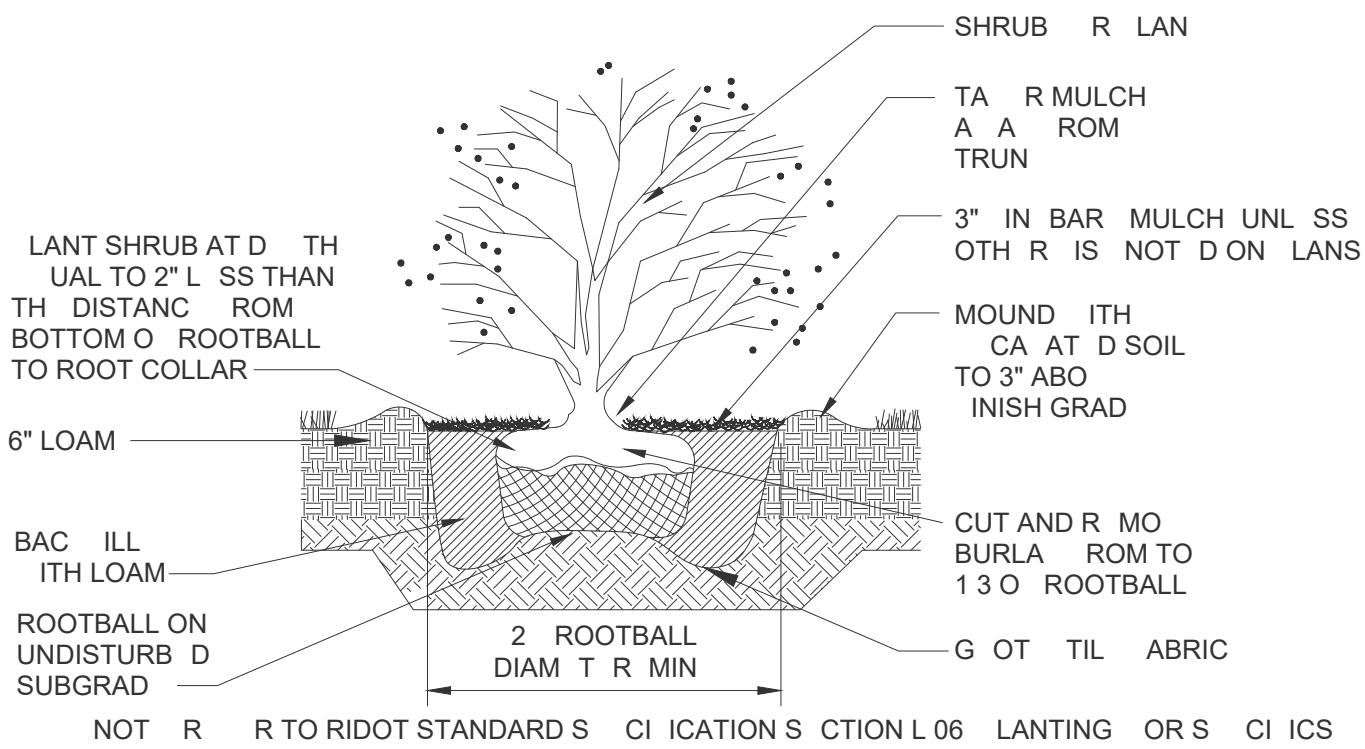
TREE PLANTING DETAIL
no scale



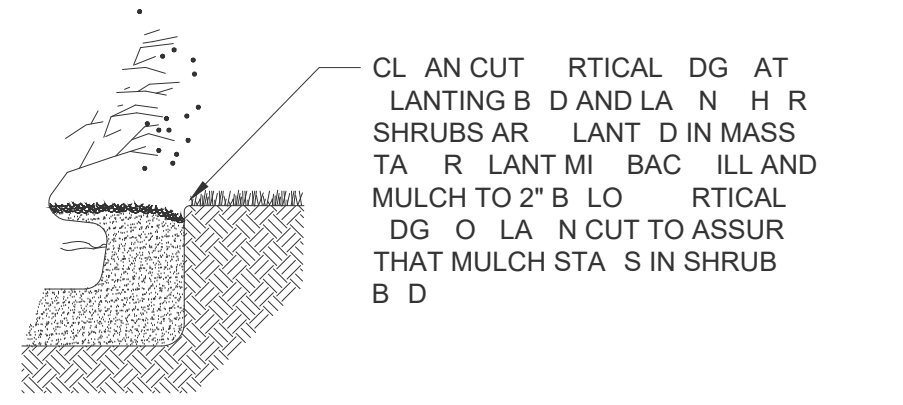
EVERGREEN TREE PLANTING DETAIL
no scale

PLANT SCHEDULE

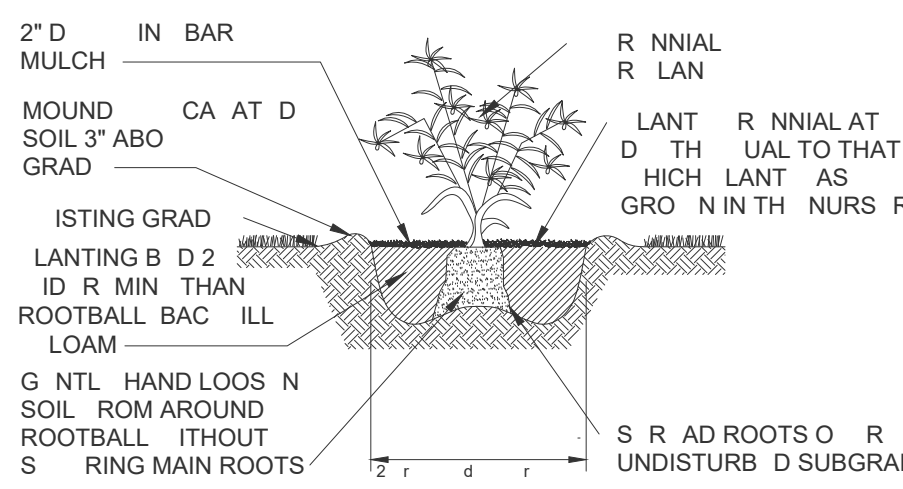
S MBOL	COD	BOTANICAL COMMON NAM			SI	CONTAIN R	T	D TAIL	R MAR S
D CIDUOUS TR S									
	AA	A	r r r	Ar r	Ar r	R d M	2" C	B B	10
	GB	G		r	S r r	r S r G	2" C	B B	12 M r
	GSM	G d	r	S d	r TM S d	r L	2" C	B B	8
	LT3	L r d	dr	r T	Tr		2" C	B B	2
	TG2	T	rd Gr	r Gr	r L	L d	2" C	B B	11
	UA	U	r	A	U r	C	2" C	B B	2
RGR N TR S									
	TOT3	T	d	T	T	Ar r	3 H	B B	22
SHRUBS									
	CH	C	r	H	rd S	r	5	CONT	16
	HMS	H dr	r	d S	r TM B	r H dr	5	B B	10
	IGD	I	r D	I	rr H		3 4 HT	B B	16
	IN2	I	r N rd	N rd I	rr		CONT	3	37
	JB3	J	r r	B r H r r	B r H r r	r Cr J r	3	CONT	32
	RM9	R d d	dr	M	M	R d d dr	5	CONT	12
R NNIALS									
	HO4	H	r	S d Or	S d Or	D	1	CONT	34
S MBOL COD BOTANICAL COMMON NAM SI CONTAIN R S ACING T D TAIL R MAR S									
GROUND CO RS									
	CATT	C	r d r	T T	r C	r	1	30"	76



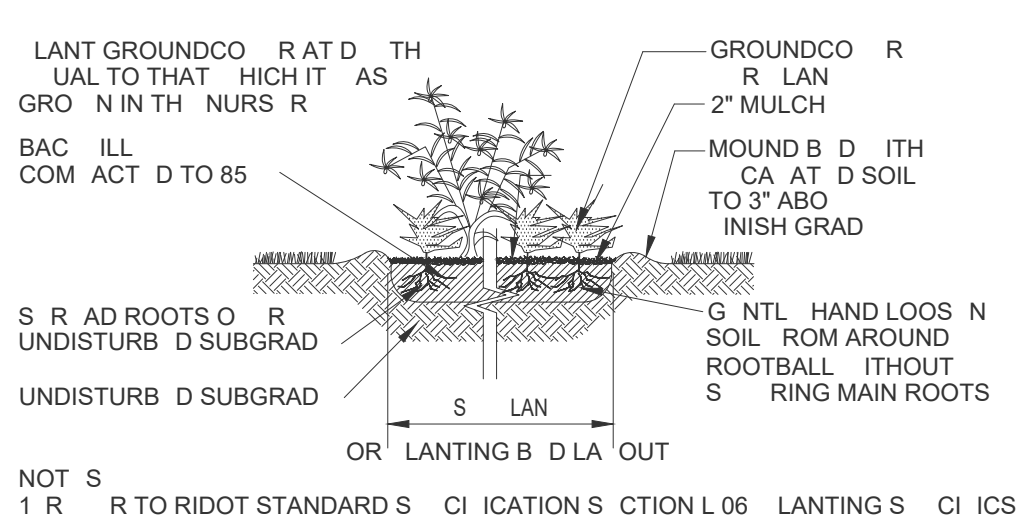
SHRUB PLANTING DETAIL
no scale



SHRUB PLANTING AT LAWN EDGE
no scale



PERENNIAL PLANTING DETAIL
no scale



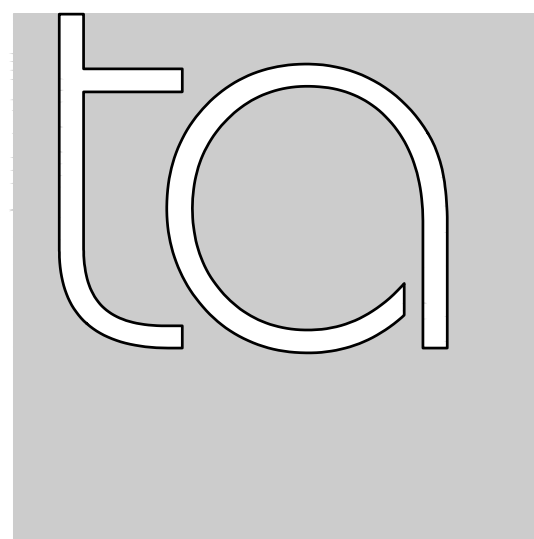
GROUND COVER PLANTING DETAIL
no scale

LANDSCA NOT S

- 1 GUARANT THAT U ON COM L TION AND INAL ACC TANC LANDSCA LANTINGS CON ORM TO R UIR M NTS O CONTRACT DOCUM NTS RO ID A ARRANT OR TR LANTINGS OR A MINIMUM O T O 2 ARS INCLUDING T O 2 CONTINUOUS GRO ING S ASONS COMM NC ARRANT ON DAT ID NTI I D IN TH C RTI ICAT O INAL COM L TION
- 2 R LAC M NTS LANTS O SAM SI AND S CI S ASS CI I D LANT D IN TH N T GRO ING S ASON ITH N ARRANT AND T ND D MAINT NANC S R IC COMM NCING ON TH DAT O R LAC M NT
- 3 LANT MAT RIALS SHALL B O SI AND CALI R R UIR D AND CON ORM TO TH R UIR M NTS D SCRIB D IN TH LAT ST DITION O AM RICAN STANDARD OR NURS R STOC UBLISH D B TH AM RICAN ASSOCIATION O NURS R M N
- 4 LANTS O OTH R INDS THAN THOS NAM D IN TH LANT SCH DUL SHALL NOT B ACC T D ITHOUT A RO AL R LAC M NT LANTS LARG R IN SI THAN ISTING MA B US D I A RO DB TH A RO ID D US O LARG R LANTS DO S NOT INCR AS CONTRACT RIC
- 5 A RO SSIONAL HORTICULTURIST NURS R MAN SHALL B CONSULT D TO D T RM IN TH RO R TIM TO MO AND INSTALL LANT MAT RIAL SO THAT STR SS TO TH LANT IS MINIMI D LANTING O D CIDUOUS MAT RIAL MA B CONTINU D DURING INT R MONTHS RO ID D TH R IS NO ROST IN TH GROUND AND ROST R TO SOIL LANTING MI TUR SAR US D
- 6 UNL SS OTH R IS A RO DB TH A ALL LANTS SHALL B NURS R GRO N IN ACCORDANC ITH GOOD HORTICULTURAL RACTIC S AND SHALL HA B N GRO NUND R CLIMATIC CONDITIONS SIMILAR TO THOS IN TH LOCALIT O TH ROJ CT OR AT L AST T O 2 ARS
- 7 S T LANTS LUMB AND AT SUCH A L L THAT A T R S TTL M NT TH B AR TH SAM R LATION TO TH SURROUNDING GROUND AS TH BOR TO TH GROUND ROM HIGH TH R DUG S TTL BAC ILL MAT RIAL OR LANTS THOROUGH R RO RL B IRMING OR TAM ING ACCOM AN BAC ILLING ITH THOROUGH AT RING UNL SS OTH R IS A RO D ORM SAUC RCA ABL O HOLDING AT R AROUND INDI IDUAL LANTS
- 8 RTILI SHRUB B DS ITH 10 6 4 RTILI RAT TH RAT O 3 OUNDS R 100 S UAR TO SUR AC AR A BROADCAST A L TH RTILI RUNI OR ML TO TH SUR AC B DS AND OR INTO TH U RT O 2 INCH SO SOIL RTILI INDI IDUAL TR SAT TH RAT O ON 1 AGRI ORM LL T RINCHO TR DIAM T R OLLO MANU ACTUR R S RITT N INSTRUCTIONS A L A S CONDA LICATION O RTILI R TO ALL LANT IT MS AT TH SAM S CI I D RAT SO R TH MULCH AT TH ND O AN IGH T RIOD
- 9 CONTAIN R GRO N MAT RIALS R MO LANT ROM CONTAIN R AND "BUTT R L " ROOT BALL OR OTH R IS S R AD OUT ROOTS ON S TTING MOUND BAC ILL SHALL B SI T D THROUGH TH M AND SOLID I RM D
- 10 A T R LANTING RUN ONL BRO NOR D ORM D BRANCH S AND IN SUCH MANN R AS TO R S R NATURAL CHARACT RO LANT
- 11 IMM DIAT L A T R LANTING STA TR SO R I 5 TAS INDICAT DON D TAIL DRA ING INDICAT D OR A RO DB TH O N RS R R S NTATI MULCH SHALL A LI D A MINIMUM O THR 3 INCH S IN D TH IN ALL LANTING B DS AS INDICAT DON TH DRA INGS
- 12 TH LANTS SHALL B AT R DIMM DIAT L OLLO ING LANTING R RABL H N T O THIRDS O TH BAC ILL HAS B N LAC D SO ALL AIR OC TS AR R MO D AND TH LANT RO RL S T ADDITIONAL AT RING SHALL B MAD AT L AST ONC R THR 3 SUNL SS OTH R IS DIR CT D UNTIL INAL ACC TANC O TH LANT MAT RIAL
- 13 INSTALL JUT M SH ROSION CONTROL ABRIC H R INAL GRAD SAR 3 1 33 OR GR AT R R MANU ACTUR R S INSTRUCTIONS
- 14 UNL SS OTH R IS S CI I D CONTRACTOR TO LOAM AND S D ALL DISTURB DAR AS S DING NOT US UNI RSIT O RHOD ISLAND NO 2 IM RO DS D MI OR UAL TR RUNNING NOT STR T TR S SHOULD B RUN D TO MAINTAIN A MINIMAL BRANCH H IGH T O 8 ITHIN T O 2 ARS O INSTALLATION O TH TR
- 15 LANDSCA STABILISM NT AND MAINT NANC NOT CONTRACTOR SHALL NSUR THAT ALL LA NAR AS AND LANTINGS AR ULL STABILISH D AND ACC TABL TO TH O N RS R R S NTATI RIOR TO R LIN UISHING TH IRR S ONSIBILITI S OR MAINT NANC O TH S AR AS
- 16 TR ROT CTION NOT NO MAT RIAL T M ORAR SOILD OSIT OR CA ATION SHALL OCCUR ITHIN OUR T O SHRUBS OR ITHIN T O TO TH DRI LIN O AN SHRUBS OR TR S TO R MAIN AN R TAIN D ISTING G TATION SHALL B ROT CT D AS RD TAIL ON LAN

SCALE (FEET)
0 10 20 40 60 80
1 INCH = 20 FT

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PROJECT:

PROJECT:

NEW SCHOOL:

MARY E. FOGARTY
ELEMENTARY
SCHOOL

199 OXFORD STREET
Providence, RI 02903

CONTENT:

LANDSCAPE
DETAILS &
NOTES

PRELIMINARY PLAN REVIEW

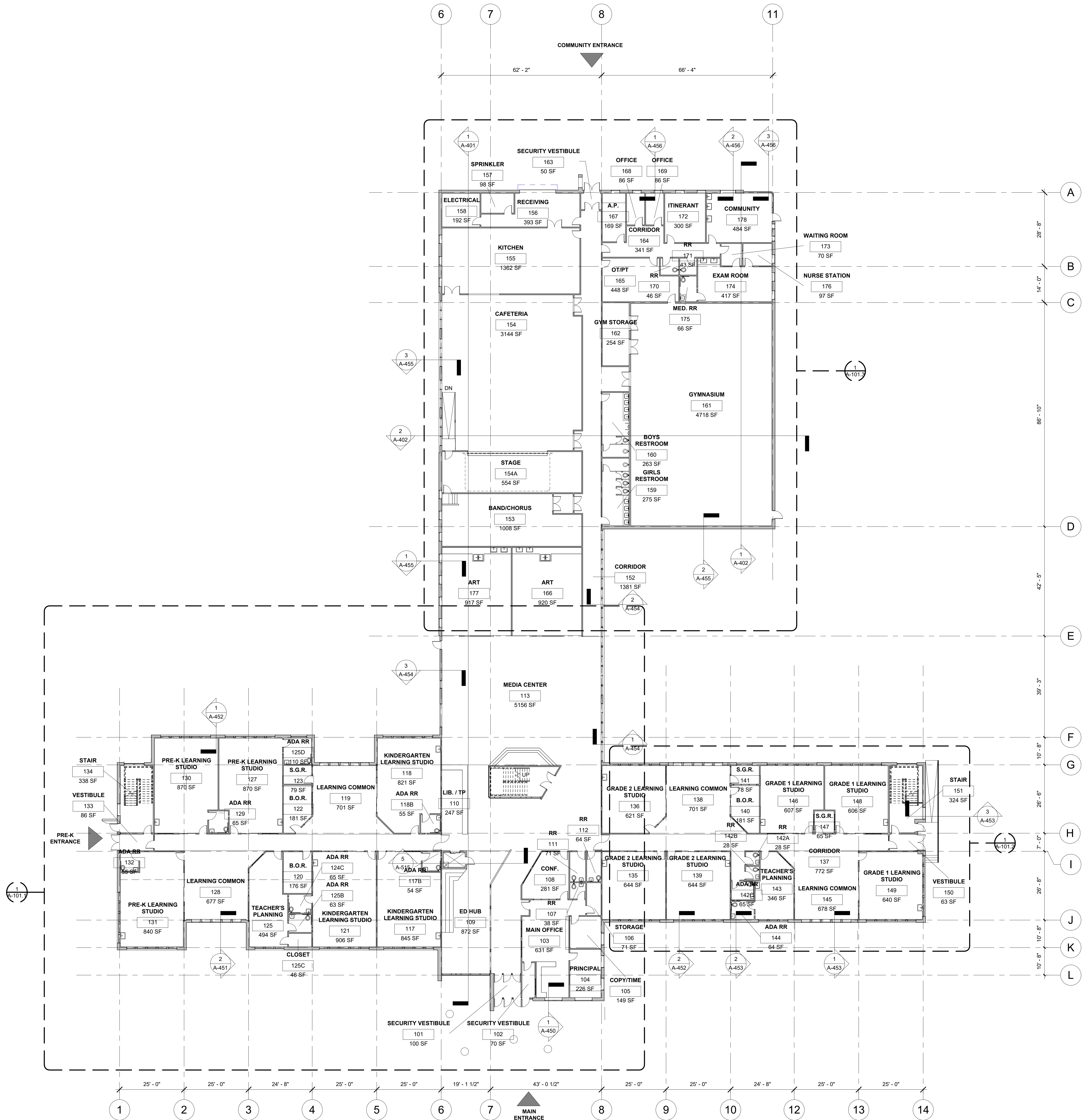
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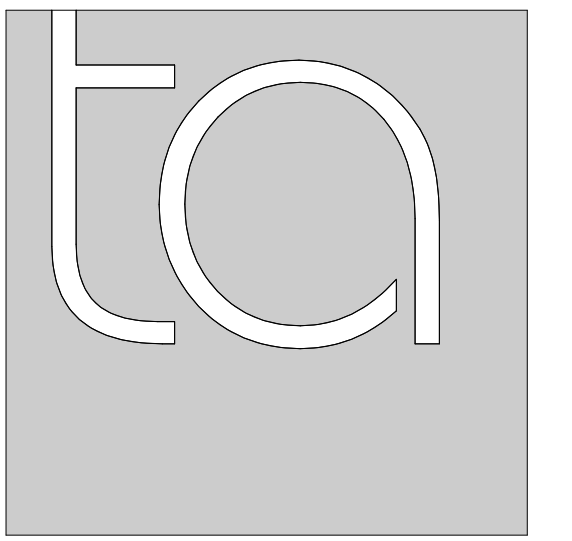
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1 FIRST FLOOR PLAN
1/16" = 1'-0"



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PRELIMINARY PLAN
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FIRST FLOOR
PLAN

DATE REV. # DESCRIPTION

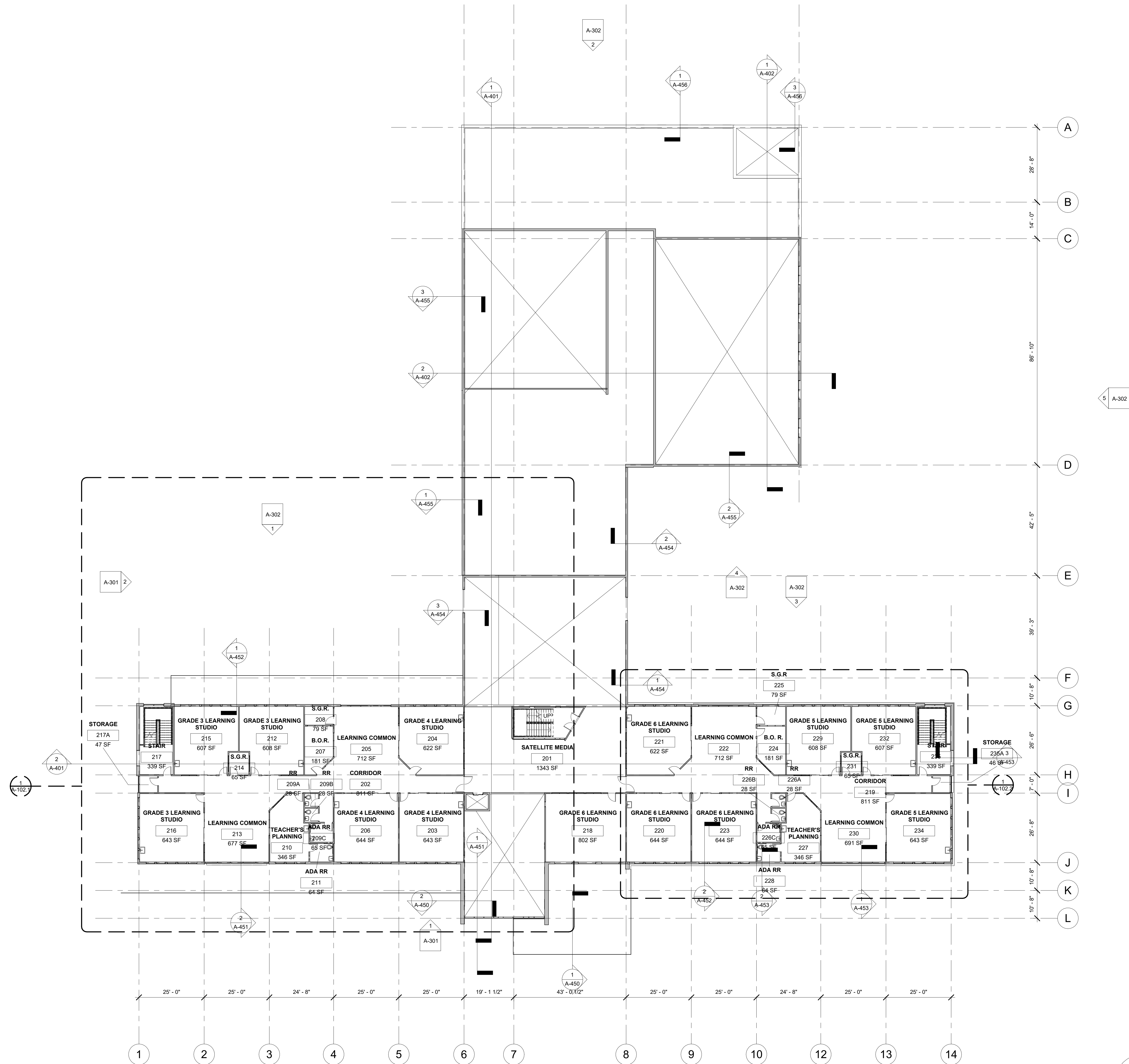
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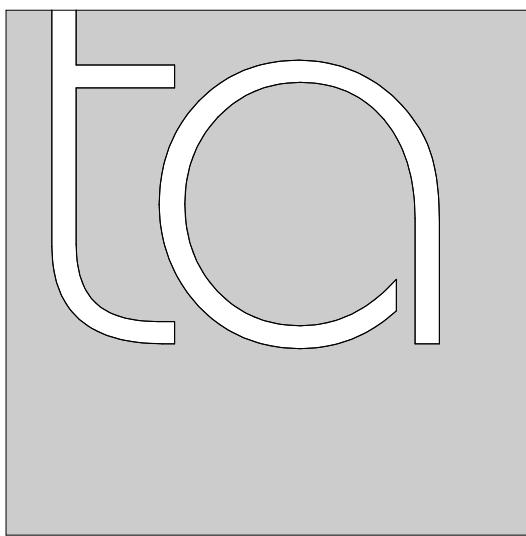
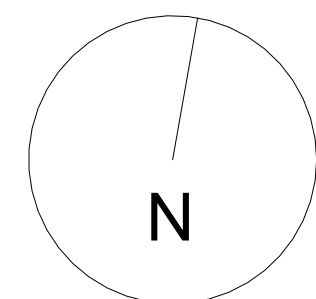
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1 SECOND FLOOR PLAN
1/16" = 1'-0"



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SECOND FLOOR
PLAN

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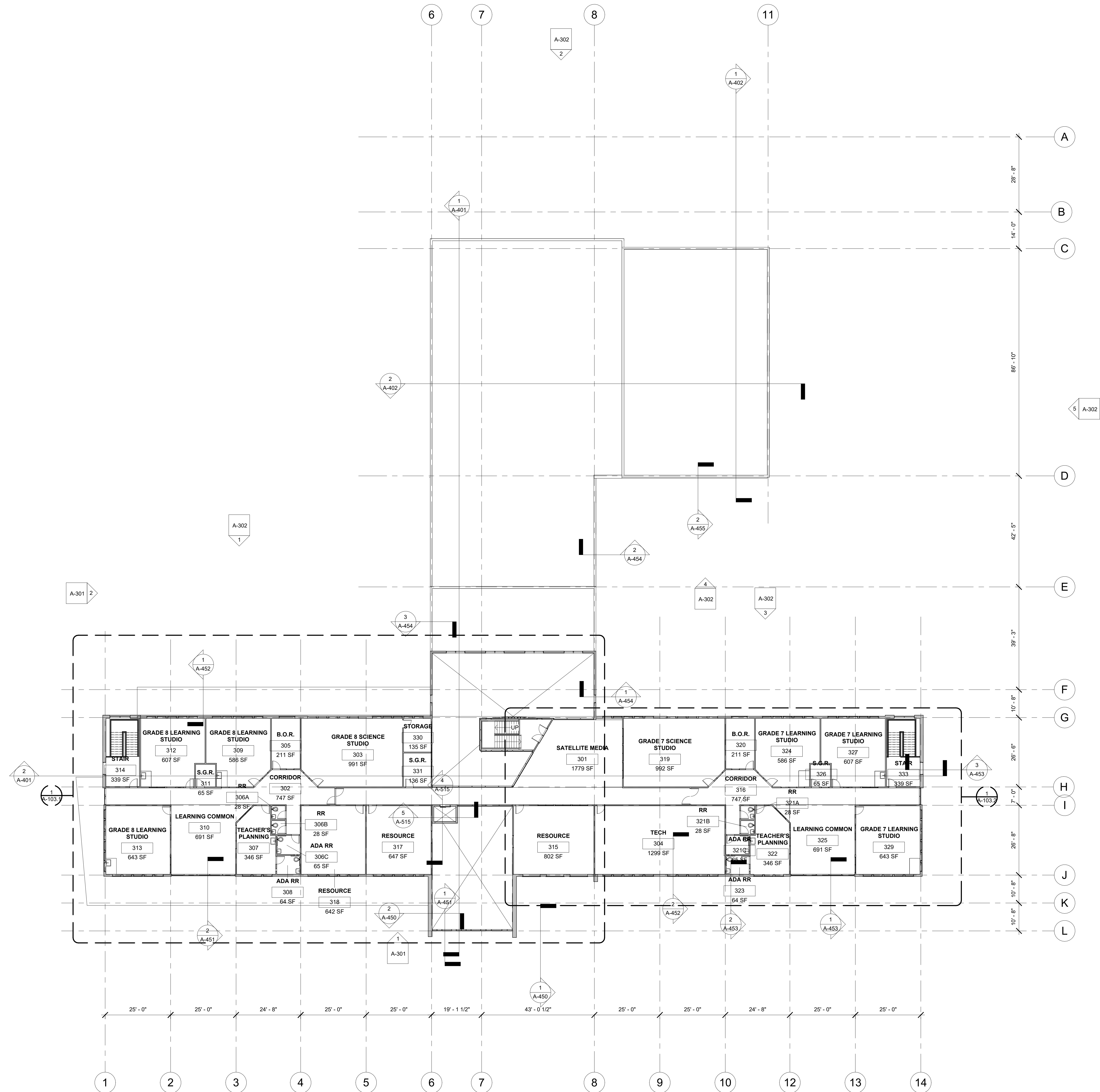
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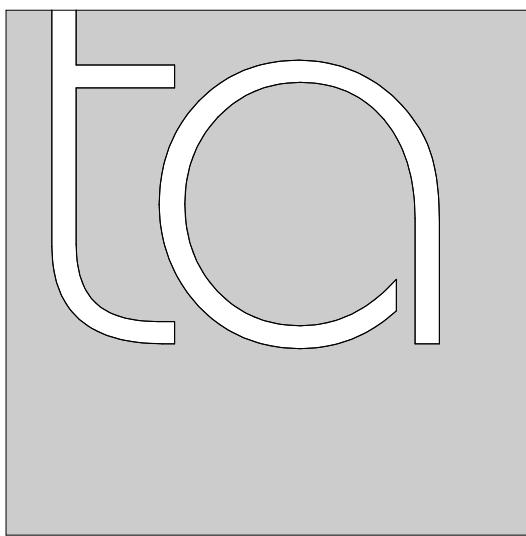
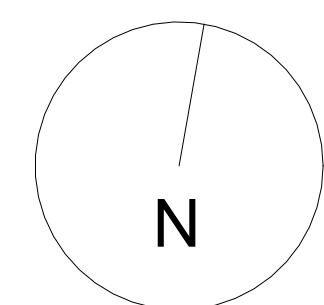
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1 3rd Floor Plan
1/16" = 1'-0"



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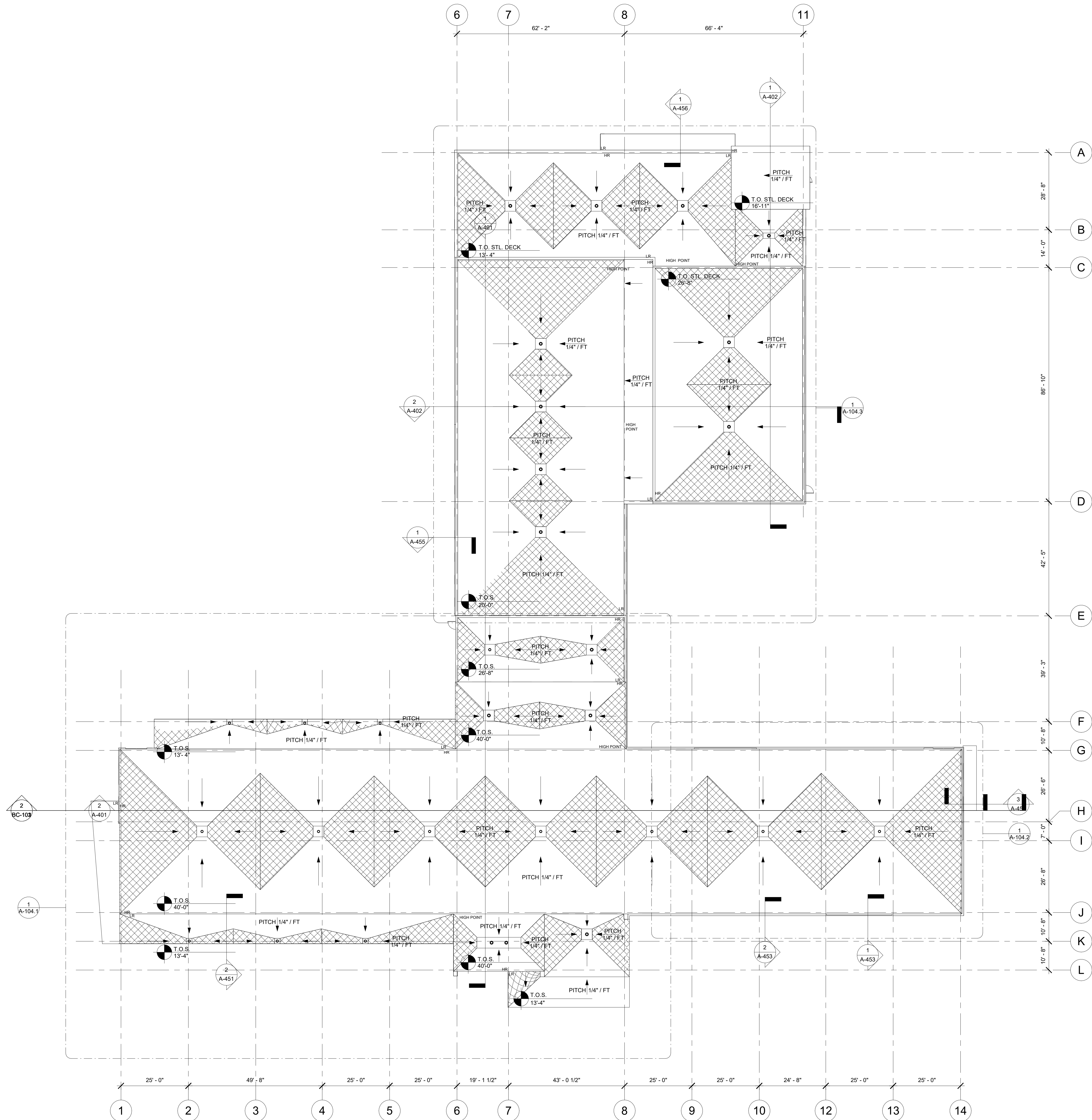
THIRD FLOOR
PLAN

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A-103		
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ROOF ABBREVIATION LEGEND		
ABBREV.	DESCRIPTION	DET.
EF	EXHAUST FAN	
VP	VENTILATION PIPE	3/A5.0
OS	OVERFLOW SCUPPER	2/A5.0 6/A5.0
EXP. JT.	EXPANSION JOINT	
(N.I.C.)	NOT IN CONTRACT	
RD	ROOF DRAIN	1/A5.0
RH	ROOF HATCH	9/A5.0
SK	SKYLIGHT	
HR	HIGH ROOF	
LR	LOW ROOF	
OSP	OVERFLOW SPILL OUT	

ROOF LEGEND	
	A
	B
	C
	D

SCOPE OF NEW ROOF WORK	
1.	AT NEW ROOF, PVC MEMBRANE FULLY ADHERED TO 1/2" COVER BOARD, 1/2" COVER BOARD & 5" MIN. TAPERED (1/4" PER FT.) RIGID INSULATION TO BE MECHANICALLY FASTENED TO FLAT METAL DECK, SEE TAPERED INSULATION PLAN IN SPEC.
2.	ALL NEW ROOF TOP EQUIPMENT INCLUDING MEP CONNECTIONS TO HAVE 8" HIGH MIN. CURB ABOVE NEW ROOF MEMBRANE.
4.	RAISE ALL FLASHINGS TO ACCEPT NEW ROOF SYSTEM. PROVIDE 160Z ZINC COATED FLASHINGS AT BRICK MASONRY.
5.	PROVIDE WOOD BLOCKING TO MATCH HEIGHT OF RIGID INSULATION AS INDICATED. WOOD TO BE KILN DRIED, SOUTHERN PINE OR DOUGLAS FIR, STRUCTURAL GRADE #2 OR BETTER, PLYWOOD TO BE EXTERIOR GRADE.
6.	ALL VENT PIPES LOCATED WITHIN 25'-0" FROM ANY ROOFTOP UNIT TO BE RAISED TO MEET CODE.
7.	PROVIDE .040" ALUM MANUFACTURED, PREFABRICATED FASCIA WITH FACTORY FINISH AT ALL PARAPETS & ROOF EDGES, U.N.O.



1 ROOF PLAN
1/16" = 1'-0"



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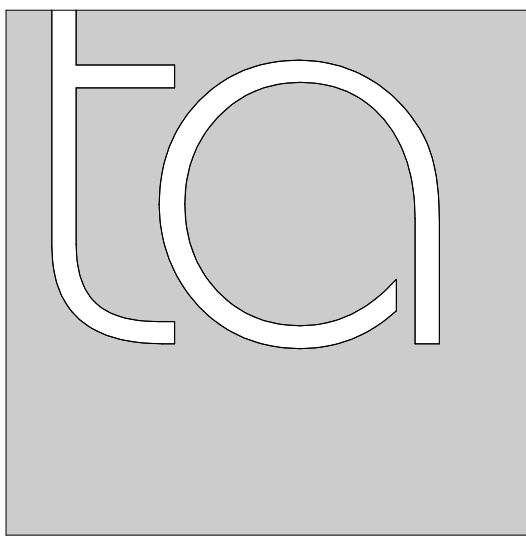
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ROOF PLAN

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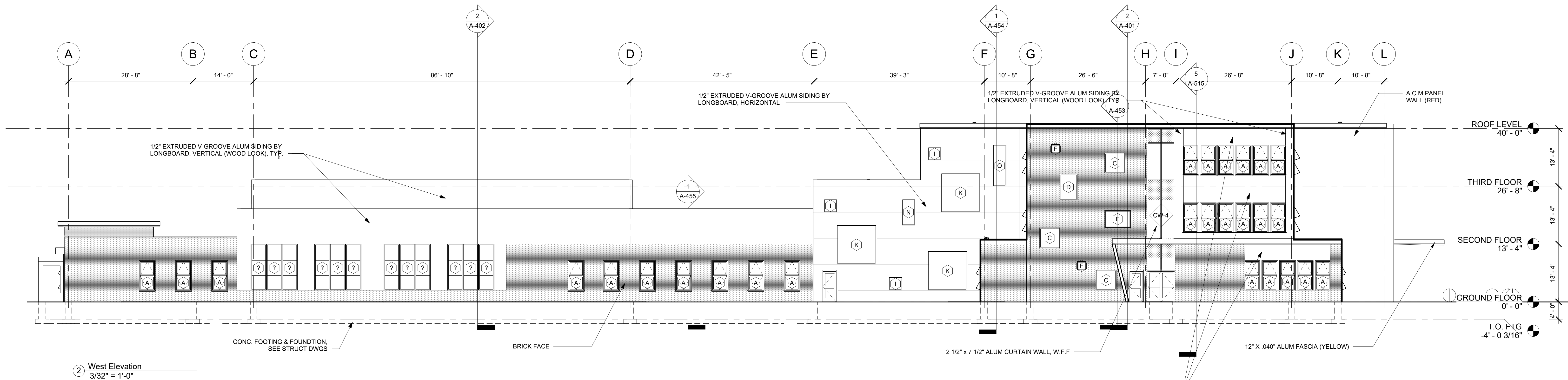
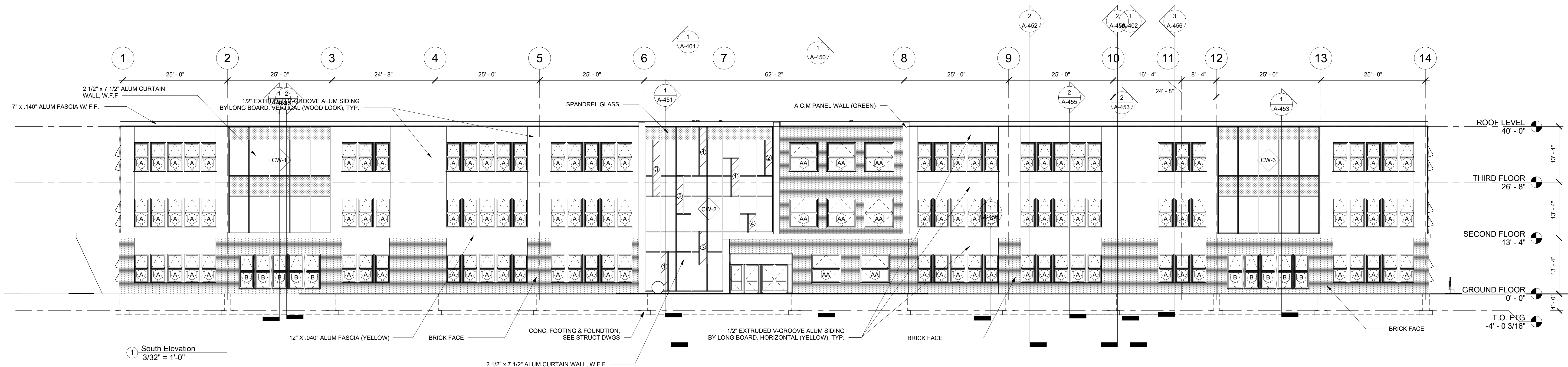


PRELIMINARY PLAN
REVIEW

MARY E. FOGARTY
SCHOOL

199 Oxford Street, Providence, RI 02905

EXTERIOR
ELEVATIONS



TRANSPARENCY CALCULATIONS				
ELEVATION	TOTAL AREA	AREA OF GLAZING	PERCENTAGE OF TRANSPARENCY	NOTES
1A001 SOUTH ELEVATION	12,906.4 SF	5,349.35 SF	43%	
2A001 WEST ELEVATION	9,263.95 SF	1,704.3 SF	18.4%	
1A002 WEST WING NORTH ELEVATION	4,998.96 SF	1,987 SF	39.7%	
2A002 NORTH ELEVATION	4,341.6 SF	608.25 SF	14%	1.
3A002 EAST WING NORTH ELEVATION	5,031.45 SF	2,126.5 SF	42%	
1A002 GYMNASIUM SOUTH ELEVATION	1,800 SF	0 SF	0%	
2A002 EAST ELEVATION	8,579.95 SF	2,349.3 SF	27%	
TOTAL CALCULATIONS	48,523.52 SF	14,124.7 SF	30.3%	
1. CLASSROOM WING ELEVATIONS NOT INCLUDED IN CALCULATIONS FOR THIS ELEVATION DRAWING. SEE 1A002 & 3A002 FOR TRANSPARENCY CALCULATIONS OF THESE ELEVATIONS				

WINDOW GLASS LEGEND	
	1\" INSULATED, CLEAR TEMPERED GLASS
	1\" INSULATED, FROSTED TEMPERED GLASS (LOCATED @ RESTROOMS)
	1\" INSULATED, OPAQUE, TEMPERED GLASS
	1\" INSULATED, TINTED TEMPERED GLASS
	1\" SPANDREL GLASS - COLOR TO BE SELECTED BY ARCHITECT
	1\" BULLET RESEMENT GLASS TINTED - COLOR TO BE SELECTED BY ARCHITECT

TINTED GLASS LEGEND	
	1\" INSULATED, GREEN TEMPERED GLASS, TINTED
	1\" INSULATED, BLUE TEMPERED GLASS, TINTED
	1\" SPANDREL GLASS - RED TEMPERED GLASS, TINTED
	1\" INSULATED, ORANGE TEMPERED GLASS, TINTED

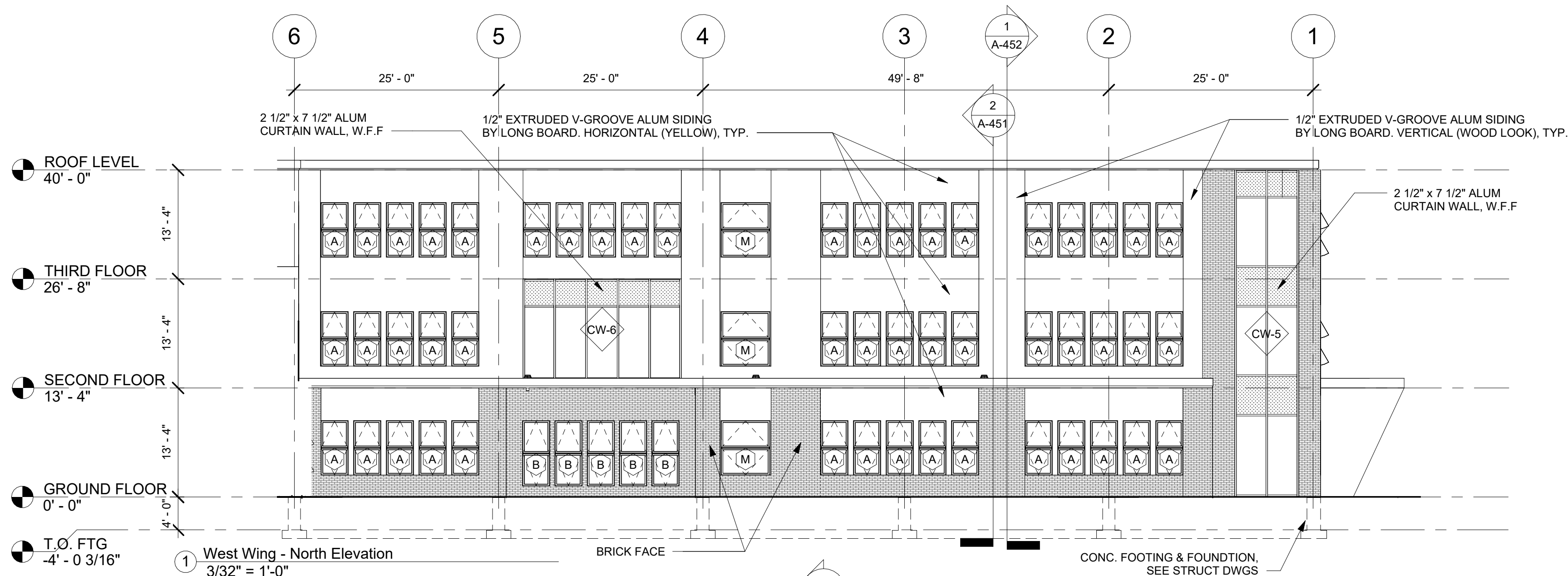
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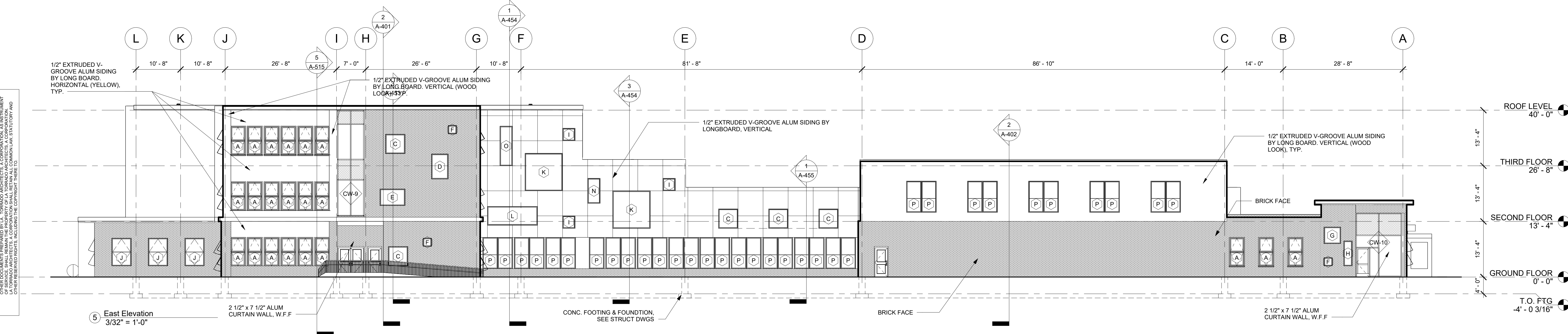
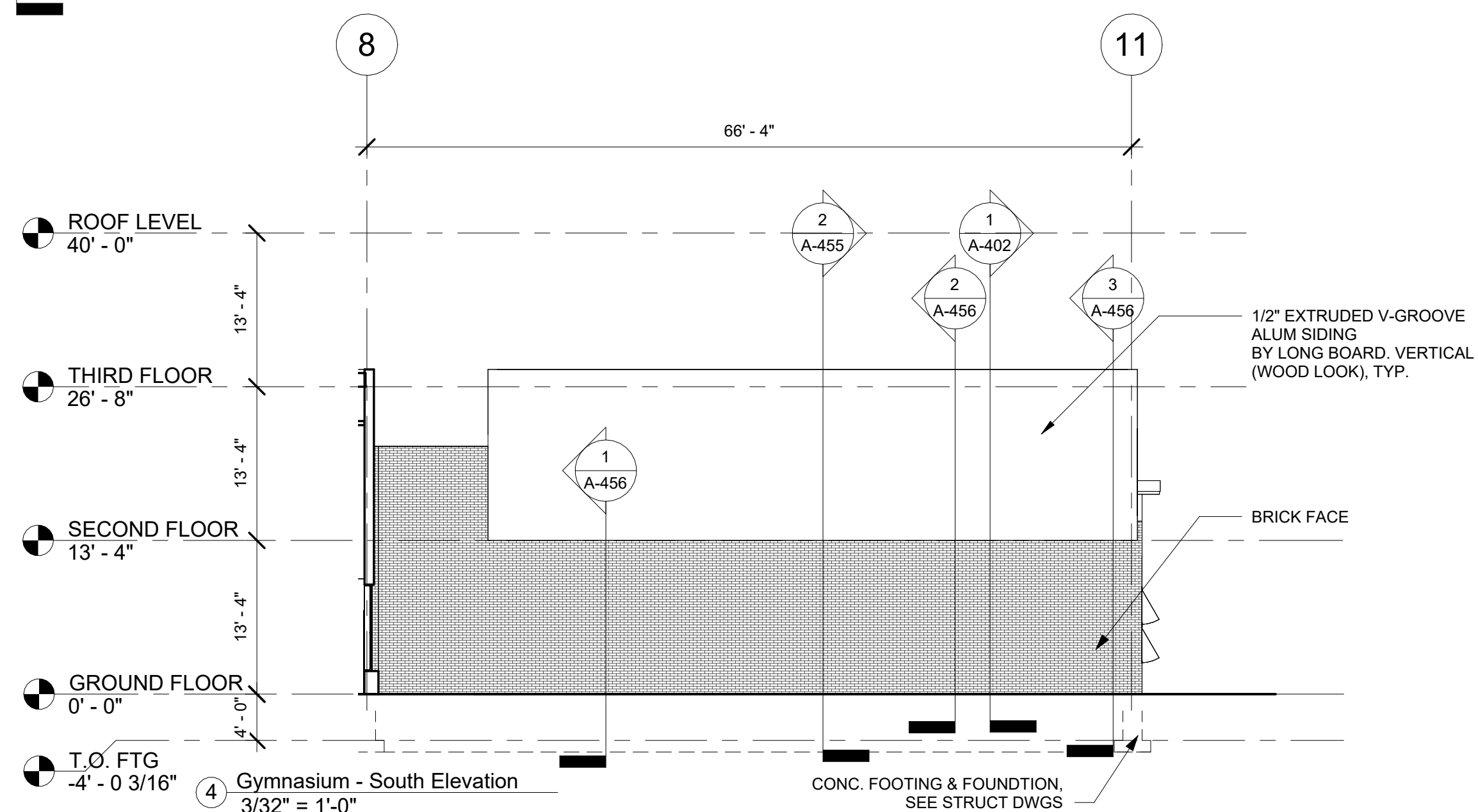
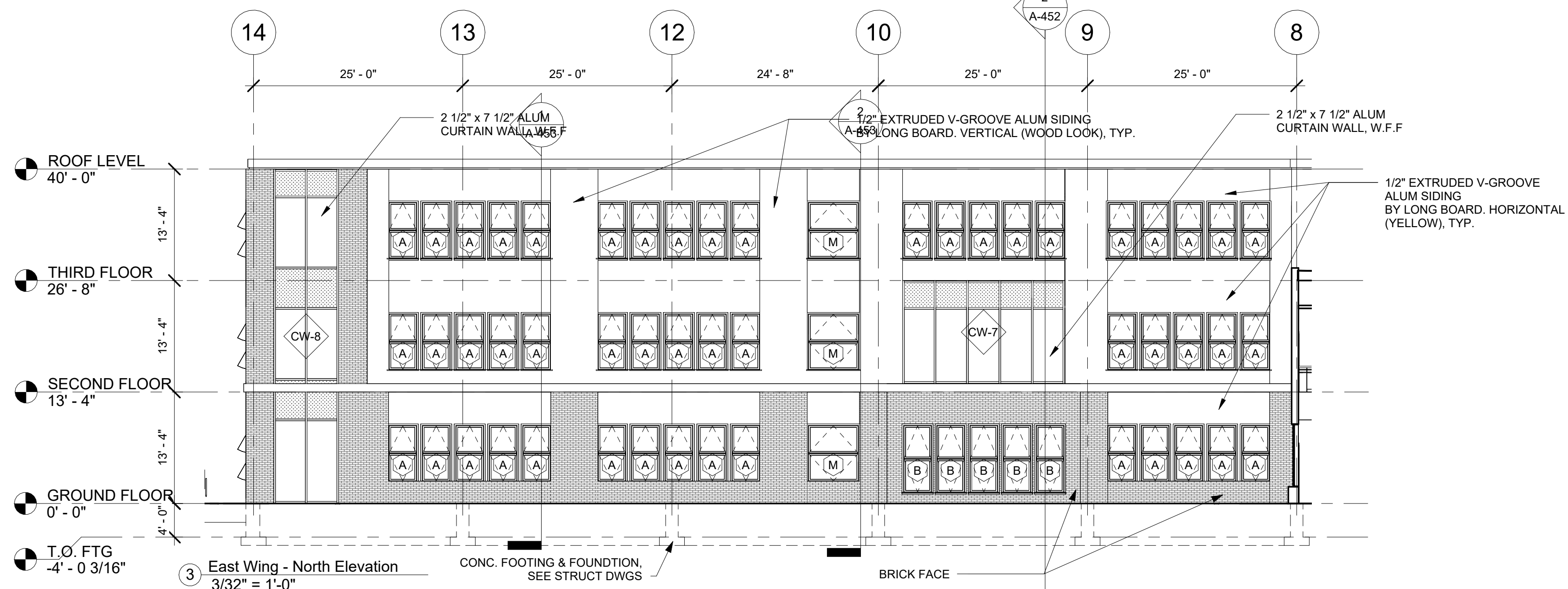
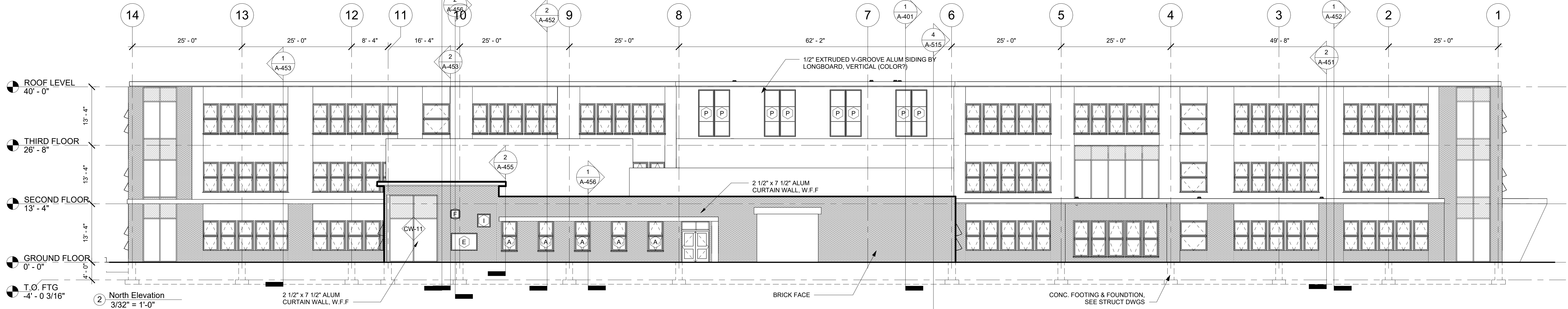


TRANSPARENCY CALCULATIONS			
ELEVATION	TOTAL AREA	AREA OF GLAZING	PERCENTAGE OF TRANSPARENCY
10A301 SOUTH ELEVATION	12,506.4 SF	5,349.35 SF	43%
2/A301 WEST ELEVATION	9,263.05 SF	1,704.3 SF	18.4%
10A302 WEST WING-NORTH ELEVATION	4,998.96 SF	1,987 SF	39.7%
2/A302 NORTH ELEVATION	4,341.6 SF	608.25 SF	14%
3/A302 EAST WING-NORTH ELEVATION	5,031.46 SF	2,126.5 SF	42%
4/A302 GYMNASIUM SOUTH ELEVATION	1,800 SF	0 SF	0%
5/A302 EAST ELEVATION	8,579.05 SF	2,340.3 SF	27%
TOTAL CALCULATIONS	46,523.52 SF	14,124.7 SF	30.3%

1. CLASSROOM WING ELEVATIONS, NOT INCLUDED IN CALCULATIONS, FOR THIS ELEVATION DRAWING. SEE 10A302 & 3/A302 FOR TRANSPARENCY CALCULATIONS OF THESE ELEVATIONS.

WINDOW GLASS LEGEND	
	1\" INSULATED, CLEAR TEMPERED GLASS
	1\" INSULATED, FROSTED TEMPERED GLASS (LOCATED @ RESTROOMS)
	1\" INSULATED, OPAQUE, TEMPERED GLASS
	1\" INSULATED, TINTED TEMPERED GLASS
	1\" SPANDREL GLASS - COLOR TO BE SELECTED BY ARCHITECT
	1\" BULLET RESENTMENT GLASS TINTED - COLOR TO BE SELECTED BY ARCHITECT

TINTED GLASS LEGEND	
	1\" INSULATED, GREEN TEMPERED GLASS, TINTED
	1\" INSULATED, BLUE TEMPERED GLASS, TINTED
	1\" INSULATED, RED TEMPERED GLASS, TINTED
	1\" INSULATED, ORANGE TEMPERED GLASS, TINTED



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PRELIMINARY PLAN
REVIEW

MARY E. FOGARTY
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EXTERIOR
ELEVATIONS

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Ocean Street Photo Looking South



Ocean Street Photo Looking North

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PRELIMINARY PLAN
REVIEW

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Street Views

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Oxford Street Photo Looking East



Oxford Street Photo Looking West



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Street Views

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Sayles Street Photo Looking West



Sayles Street Photo Looking East



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Street Views

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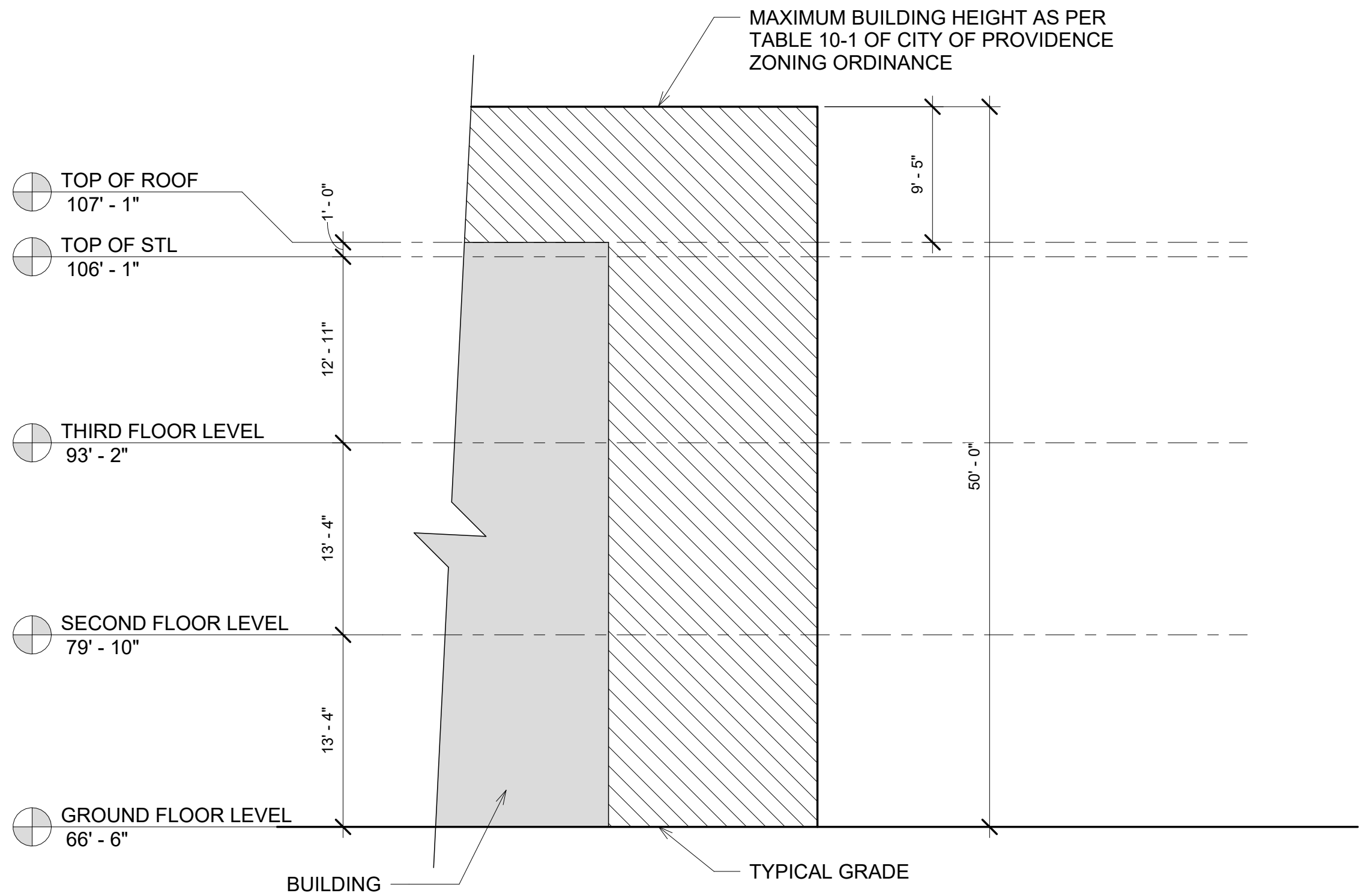
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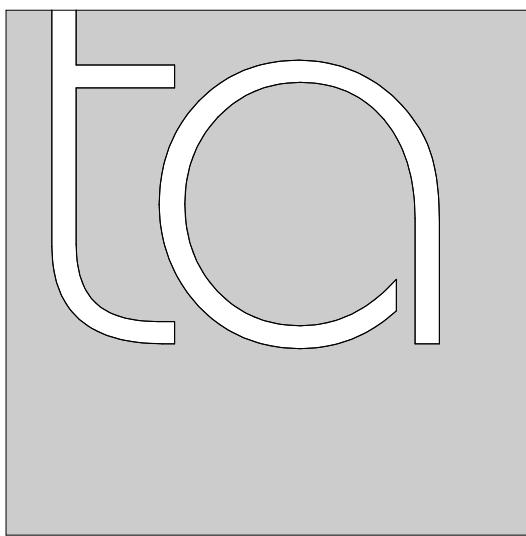
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TABLE 10-1: OPEN SPACE AND PUBLIC SPACE DISTRICT DIMENSIONAL STANDARDS		
	OS	PS
BULK STANDARDS		
MINIMUM LOT AREA	0	0
MINIMUM LOT WIDTH	0	0
MAXIMUM BUILDING HEIGHT	50'	50'
MINIMUM SETBACK REQUIREMENTS		
FRONT SETBACK	10'	10'
INTERIOR SETBACK	6'	6'
CORNER SIDE SETBACK	10'	10'
REAR SETBACK	25'	25'



① AVERAGE BUILDING HEIGHT DIAGRAM
1/8" = 1'-0"

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BUILDING HEIGHT
DIAGRAM

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Schools



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GRADE 6 - GRADE 8 | 4 TRACK

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