

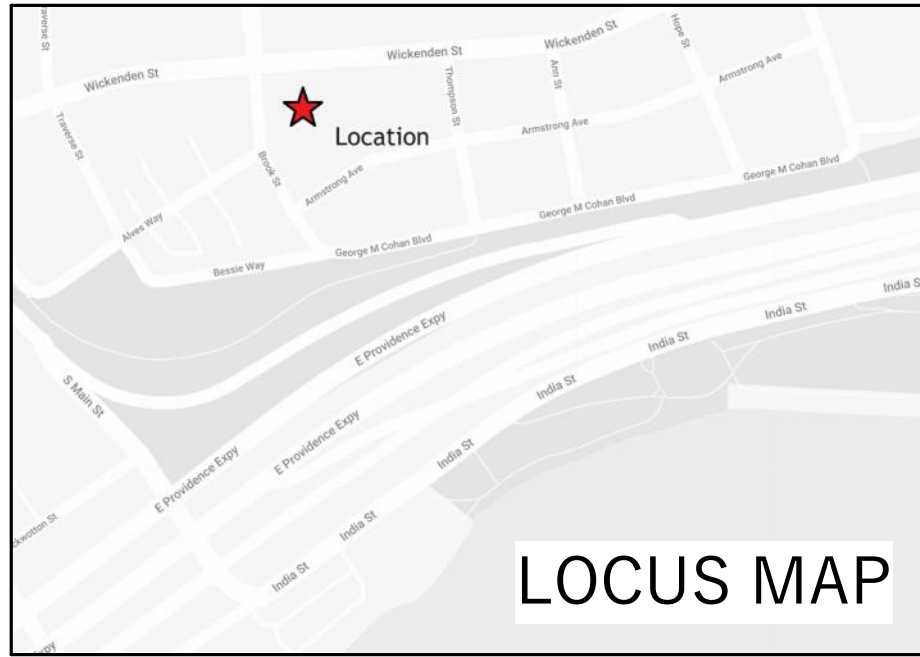
FOXPOINT MIXED-USE REDEVELOPMENT

269 WICKENDEN STREET, PROVIDENCE RI



LIST OF DRAWINGS - CPC

No.	Sheet Name
PP-00.00	COVER SHEET
PP-00.01	RENDERING
PP-CP.00	EXISTING SITE PLAN
PP-CP.01	PROPOSED SITE PLAN
PP-CP.02	STORMWATER MANAGEMENT PLAN
PP-CP.03	DETAIL SHEET
PP-LP.00	LANDSCAPE PLAN
PP-A0.01	OFF-STREET LOADING PLANS
PP-A0.02	AVERAGE GRADE AND BUILDING HEIGHT
PP-A1.00	CELLAR PLAN
PP-A1.01	C2-WICKENDEN STREET PLAN
PP-A1.02	1ST FLOOR PLAN
PP-A1.03	TYPICAL PLAN - 2nd thru 4th FLOORS
PP-A1.04	5th FLOOR AND ROOF DECK PLAN
PP-A1.05	ROOF PLAN
PP-A2.00	NORTH AND WEST ELEVATIONS
PP-A2.01	SOUTH AND EAST ELEVATIONS
PP-A2.02	DEVELOPMENT RENDERINGS
PP-A2.03	EXTERIOR LIGHTING AND PHOTOMETRICS
PP-A2.04	SIGNAGE INFORMATION
PP-A3.00	BUILDING SECTION - A and B
PP-A3.01	BUILDING SECTION - C, D, and E



PROJECT INFORMATION:

500: DISTRICT
C-2 COMMERCIAL

501: USE (TABLE 12-1)
MIXED USE
-75 RESIDENTIAL APARTMENT UNITS
-2 COMMERCIAL UNITS

502: DIMENSIONAL STANDARDS (TABLE 5-1)
• MIN. LOT - NONE
• MAX. BUILDING HEIGHT - 4 STORY/50 FEET (PROPOSED)
5 STORY + CELLAR
65'-9"
• MAX. LOT COVERAGE - NONE
• MAX. IMPERV. SURFACE - NONE
• FRONT SETBACK - BUILD-TO_0'-5'
• INT. SIDE SETBACK - NONE
• CORNER SIDE SETBACK - BUILD-TO_0' TO 5'
• REAR SETBACK - NONE (20' ABUTTING RESIDENTIAL DISTRICT)

503: DESIGN STANDARDS
• BUILD-TO
-FRONT_60%
-CORNER SIDE_40%
• GROUND FLOOR USE
IN C-2 DISTRICT, RESIDENTIAL AND PARKING USES ARE PROHIBITED ON THE GROUND FLOOR WITHIN 20 FEET OF THE MAIN STREET.

1402: BICYCLE PARKING
• 1 PER 5 DWELLING UNITS

1403: OFF-STREET LOADING (TABLE 14-2)
• MULTI-FAMILY - 1 PER 40,000 SF
• COMMERCIAL - 1 PER 20,000 SF

1410: PARKING EXEMPTIONS
• ALL LOTS 10,000SF OR LESS - EXEMPT FROM PARKING

CPC-APPROVED MASTER PLAN RELIEF ITEMS:

502: DIMENSIONAL WAIVER (TABLE 5-1)
• 1 STORY - 16'-5" INCREASE (GRANTED)

503. DESIGN WAIVER
• A.3 - FENESTRATION
SILL HEIGHT WITHIN 2'-0" OF ADJACENT GRADE
• A.8 - GROUND FLOOR USE
RESIDENTIAL USE WITHIN 20'-0" OF WICKENDEN ST.

Table 5-1: Dimensional Standards

Bulk Standards	Allowed	PARCEL A	PARCEL B	Requested Relief
Zoning District		C-2	C-2	
Historic District		No	No	
Min. Lot Area SF	None	10,000 SF	108 SF	
Min. Building Height	9' Residential 11' Non Residential			
Max. Building Height	50' - 4 Stories	5 Stories - 65'-9"		1 Story - 16' -5" (Granted)
Max. Building Coverage	None			
Max. Impervious Coverage	None			
Min. Setback Requirements				
Front Setback	Build-To Zone 0'-5' required build-to 60% of front lot line	0'	n/a	
Interior Side Setback	None - 10' @ Residential	10'	n/a	
Corner Side Setback	Build-To Zone 0'-5'	0'	n/a	
Rear Setback	None - 20' @ Residential	3.7'	n/a	
Table 13-2 Permitted Encroachments				
Areaway	Max. 4"	4'	n/a	
Porch - unenclosed	8' into side setback	3'	n/a	
Encroachment into the Public Right-of-Way				
Habitation	Max. 4"	3'	n/a	
Table 14-1 Off-Street Vehicle and Loading				
Bicycle	1 per 5 dwellings	16	n/a	
Parking	1 per dwelling unit for lots over 10,000 SF	Exempt due to lot size	n/a	
Loading	Multi-Family 40,000sf - 1 space Commercial 20,000sf - 1 space	1	n/a	

The **PROVIDENCE**
ARCHITECTURE &
BUILDING Co.

Revision Schedule			
No.	Date	Description	

Project Name:
FOXPOINT MIXED-USE REDEVELOPMENT
269 WICKENDEN STREET, PROVIDENCE RI

Sheet Name:
COVER SHEET

Stamp:

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Project No.:

Checked By: PABco

Drawn By: PABco

Scale: As indicated

Date: 1/10/2025

Current Issue: Preliminary Plan

Drawing No.

PP-00.00

SUBMISSION: MAJOR LAND DEVELOPMENT - PRELIMINARY PLAN SUBMISSION
DATE: 1/10/2025

APPLICANT	OWNER	ARCHITECT	SITE / SURVEY
FOX POINT CAPITAL LLC 269 WICKENDEN STREET PROVIDENCE, RI 617.803.6964	FOX POINT CAPITAL LLC 269 WICKENDEN STREET PROVIDENCE, RI 617.803.6964	PROVIDENCE ARCHITECTURE + BUILDING Co. 244 WEYBOSSET STREET PROVIDENCE, RI 919.886.2426	InSite ENGINEERING SERVICES, LLC 501 GREAT ROAD, UNIT 104 NORTH SMITHFIELD, RI 401.762.2870

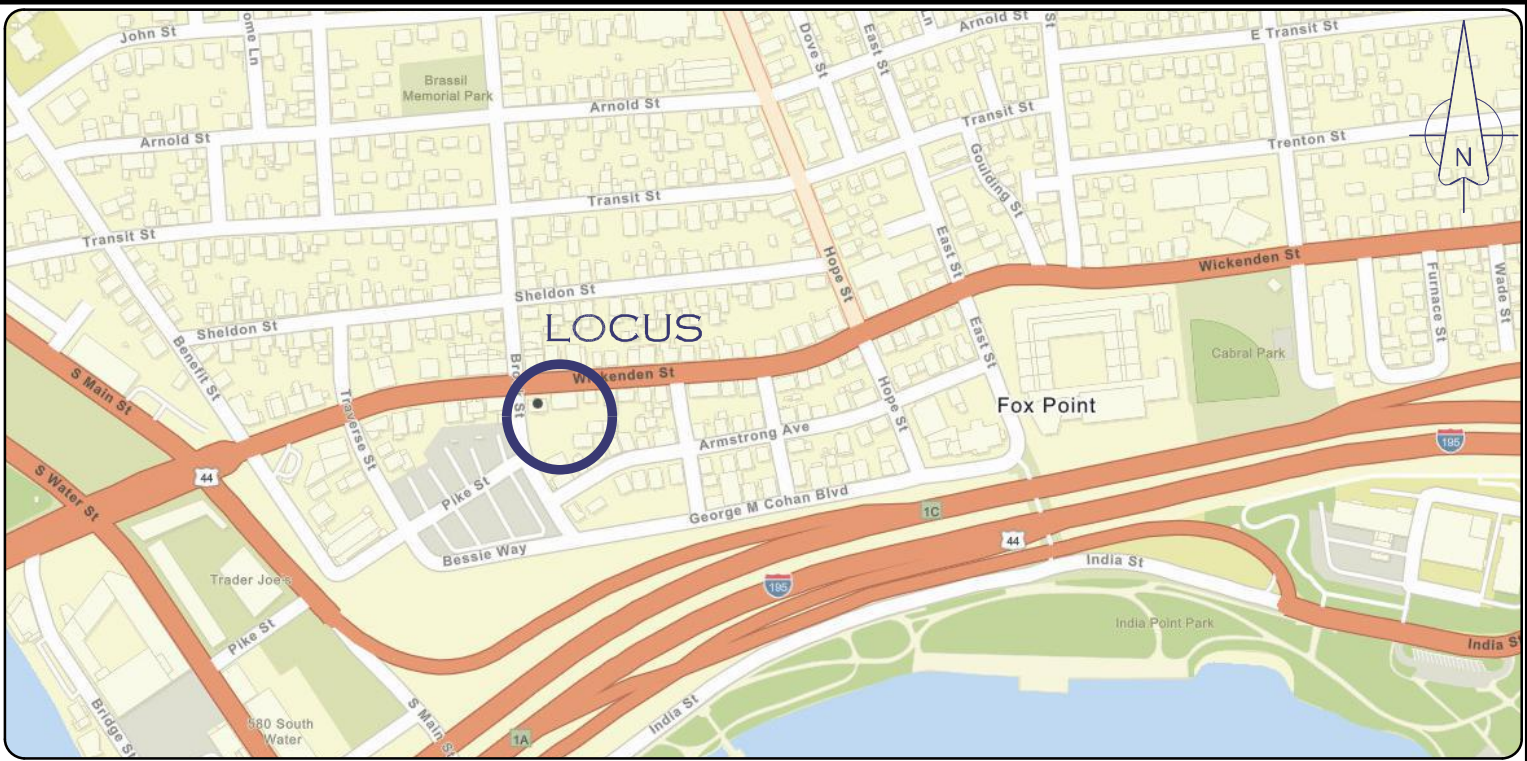
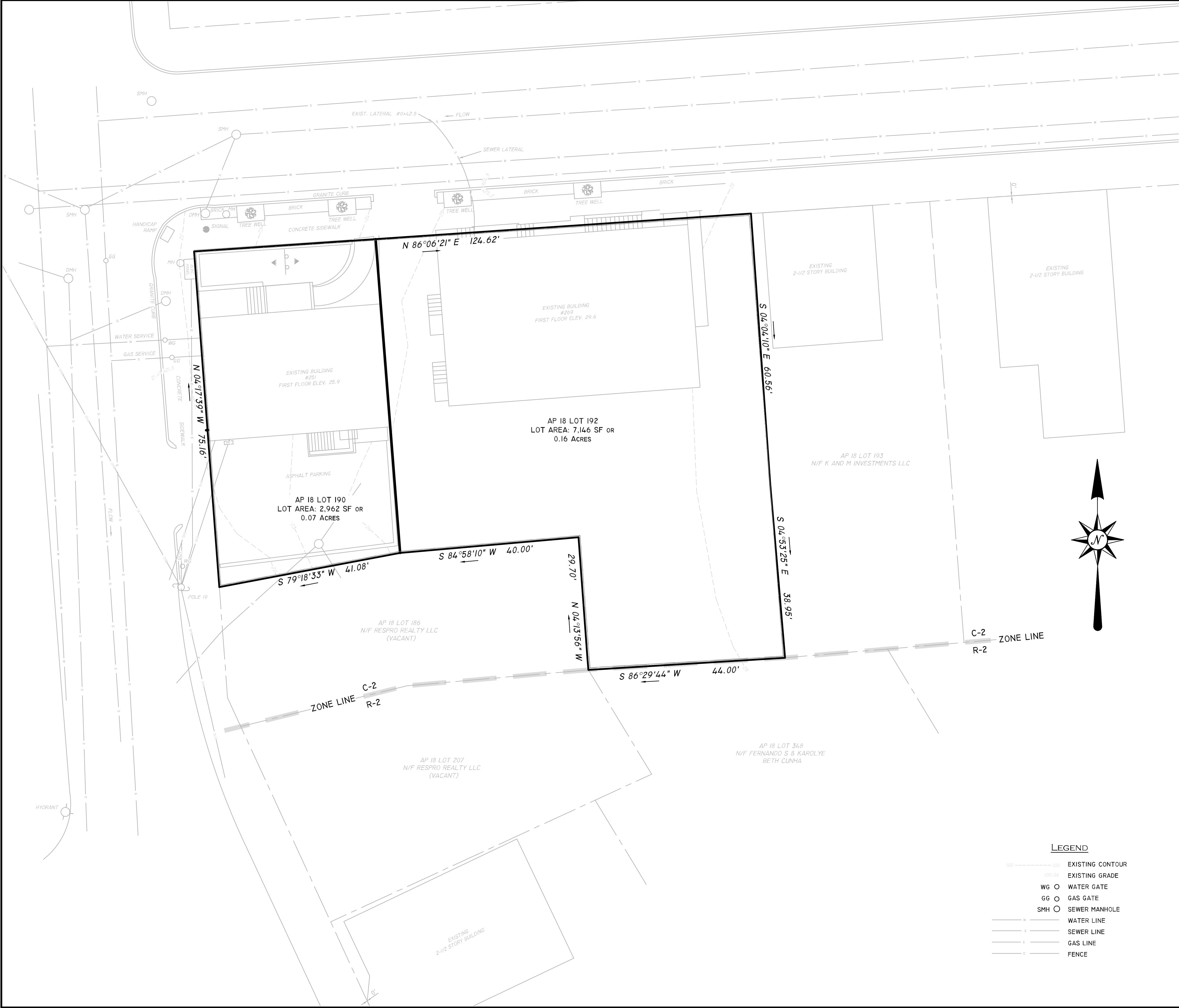


WICKENDEN STREET - RENDERING

Revision Schedule			
No.	Date	Description	

Project Name: FOXPOINT MIXED-USE REDEVELOPMENT 269 WICKENDEN STREET, PROVIDENCE RI	Sheet Name: RENDERING
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Stamp:	
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Project No.: .	
Checked By:	Checker
Drawn By:	Author
Scale:	
Date:	1/10/2025
Current Issue:	Preliminary Plan
Drawing No.	PP-00.01



- GENERAL NOTES:**
- OWNER: FOX POINT CAPITAL LLC - 269 WICKENDON STREET, PROVIDENCE, RI 02903
 - ZONING DISTRICT: C-2
 - TOTAL LOT AREA PARCEL A: 10,000 SF - TOTAL AREA PARCEL B: 108 SF.
 - DEED REFERENCE: LOT 190 - DEED BOOK 12765 PAGE 107; LOT 192 - BOOK 12468 PAGE 210.
 - THERE IS NO OBSERVATION OF EARTHMOVING, CONSTRUCTION OR LANDFILL.
 - ELEVATIONS BASED ON NAVD83. ADD 8.75 FEET TO CONVERT TO PROVIDENCE SEWER DATUM.
 - THE PROPERTY SHOWN IS NOT LOCATED WITHIN A FEDERALLY DESIGNATED FLOOD HAZARD AREA AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP FOR THE CITY OF PROVIDENCE, RHODE ISLAND, MAP No. 44007C0309K DATED: 10/02/2015.
 - SITE DOES NOT FALL WITHIN THE CITY HISTORIC DISTRICT.
 - UTILITIES SHOWN ARE BASED ON FIELD OBSERVATIONS AND DATA OBTAINED BY CITY PROVIDENCE DEPARTMENT OF PUBLIC WORKS AND UTILITY COMPANIES. LOCATIONS SHOULD NOT BE CONSTRUED AS BEING COMPLETELY ACCURATE OR COMPLETE. *DIGSAFE MUST BE NOTIFIED BEFORE THE START OF ANY EXCAVATIONS OR CONSTRUCTION.
 - THERE ARE NO WETLAND AREAS ON THE PROPERTY SHOWN.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE FINDINGS SUCH A REPORT MIGHT DISCLOSE. PROPERTY LINES SHOWN ON THIS SURVEY/PLAT REPRESENT CURRENT PHYSICAL FIELD CONDITIONS AND EVIDENCE OF APPARENT POSSIBLE POSSESSION, ANY REFERENCES TO PUBLIC RECORDS HEREON REFLECTS TO THOSE RECORDS NECESSARY TO ESTABLISH THE BOUNDARIES SHOWN HEREON AND REFERENCE TO THE SAME DOES NOT, AND IS NOT INTENDED TO CONSTITUTE A TITLE SEARCH OR TITLE OPINION.

ZONING DISTRICT: C-2

MINIMUM LOT AREA: NONE
MINIMUM BUILDING HEIGHT: 16'
MINIMUM FIRST STORY HEIGHT: 9' RESIDENTIAL USE
11' NON-RESIDENTIAL USE
MAXIMUM BUILDING HEIGHT: 50'. NOT TO EXCEED 4 STORIES
MAXIMUM BUILDING COVERAGE: NONE
TOTAL MAXIMUM IMPERVIOUS SURFACE: NONE
MINIMUM FRONT YARD: BUILD TO ZONE OF 0'-5'
(THE REQUIRED BUILD-TO PERCENTAGE IS 60% OF THE FRONT LOT LINE)
MINIMUM INTERIOR SIDE YARD: NONE UNLESS ABUTTING RESIDENTIAL DISTRICT, THEN 10'
MINIMUM CORNER SIDE YARD: BUILD TO ZONE OF 0'-5'
(THE REQUIRED BUILD-TO PERCENTAGE IS 40% OF THE CORNER SIDE LOT LINE)
MINIMUM REAR YARD: NONE UNLESS ABUTTING RESIDENTIAL DISTRICT, THEN 20'

CERTIFICATION:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:
-LIMITED CONTENT BOUNDARY SURVEY: CLASS 1
-TOPOGRAPHIC ACCURACY: T-4
STATEMENT OF PURPOSE
THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND THE PREPARATION OF THE PLAN IS AS FOLLOWS:
EXISTING CONDITIONS.

Marc N. Nyberg
MARC N. NYBERG LICENSE No. 1797 COA No. A52

EXISTING SITE PLAN

ASSESSOR'S PLAT 18 LOTS 190 & 192
251 & 269 WICKENDEN STREET
PROVIDENCE, RHODE ISLAND

PREPARED FOR: FOX POINT CAPITAL, LLC
244 WEYBOSSET STREET, FLOOR 1, PROVIDENCE, RI 02903

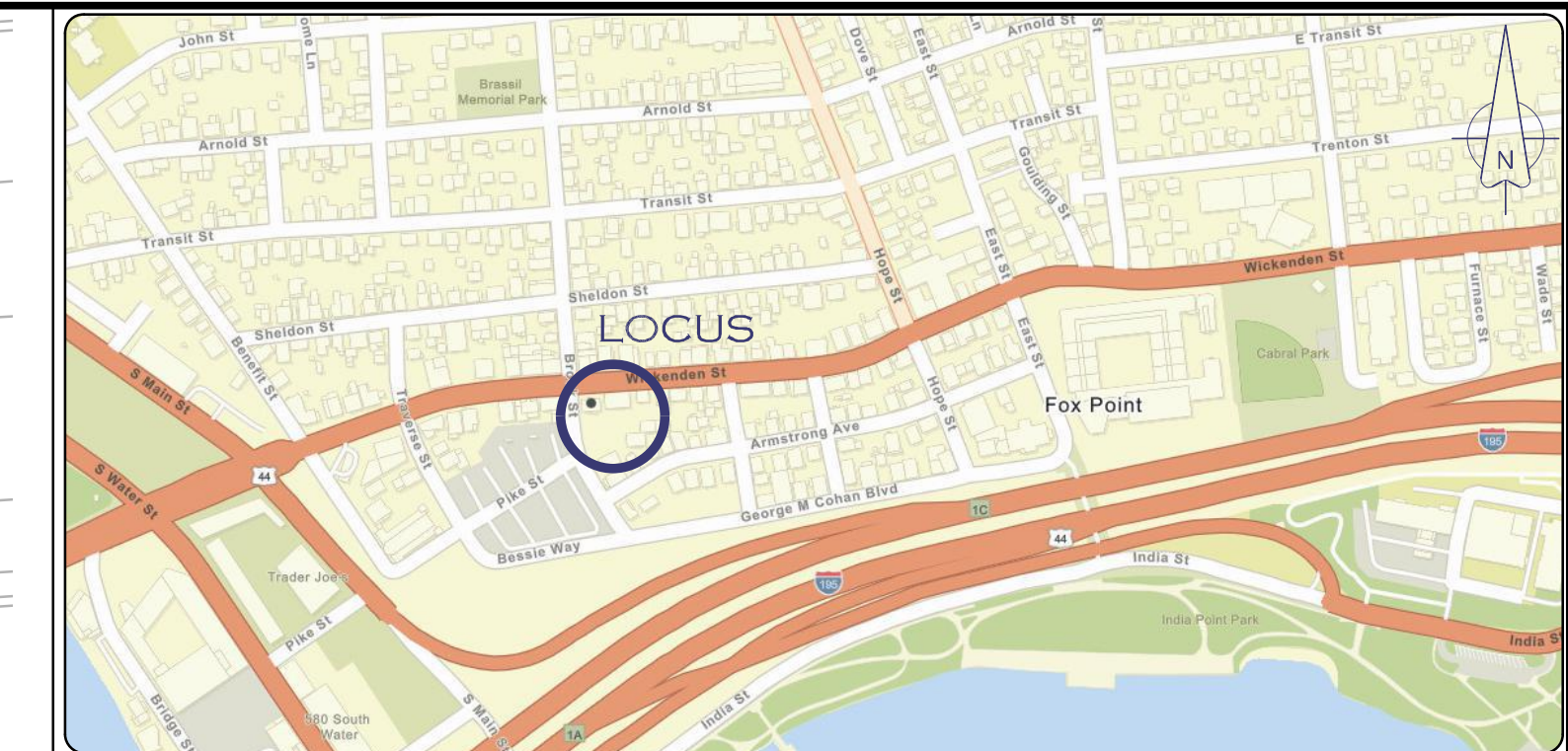
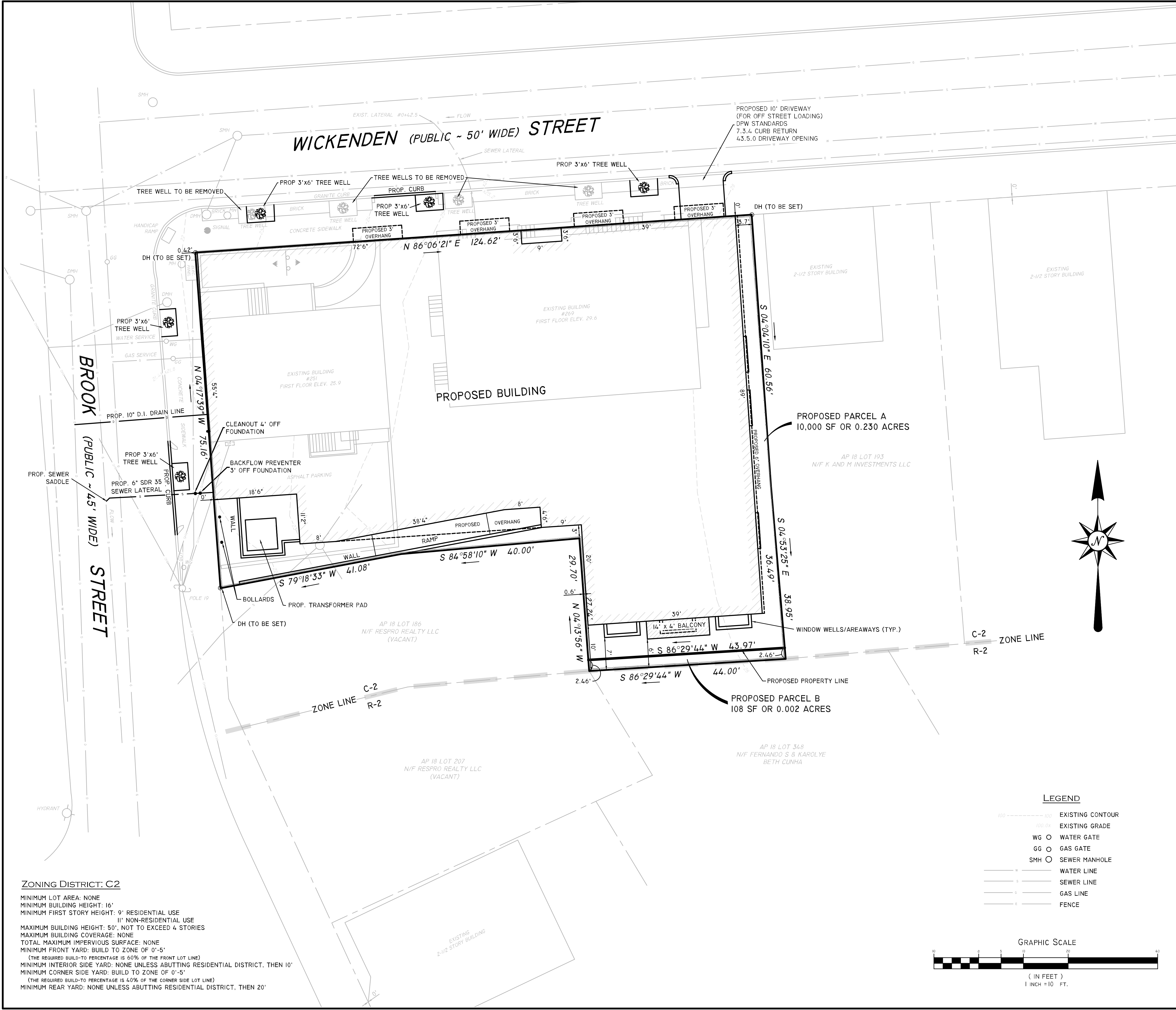
JOB # 23-148	SCALE: 1" = 10'	DRAWN BY: LMB	DATE: 1-10-25
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REVISED:

InSite Professional Complex, Suite 1
1539 Fall River Avenue, Seekonk, MA 02771
Phone: (508) 336-4300 Fax: (508) 336-4558

501 Great Road, Unit 104
North Smithfield, RI 02896
Phone: (401) 762-2870 Fax: (401) 762-2871
Web Address: InSiteEngineers.com

SHEET PP-CP.00



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 - STORMWATER MAY NOT BE TIED INTO THE THE SANITARY SEWER CONNECTION.
 - THERE ARE NO WETLAND AREAS ON THE PROPERTY SHOWN.
 - REPAIR ALL SIDEWALKS AS NECESSARY.
 - MINIMUM 3 FEET REQUIRED BETWEEN TREE WELLS AND BACK OF SIDEWALK.
 - STORMWATER MUST BE CONTROLLED ON THE SITE TO THE EXTENT POSSIBLE.
 - ALL CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY MUST BE IN ACCORDANCE WITH THE CITY'S STANDARD DETAILS AT: <https://www.providence.ri.gov/public-works/forms/under-reports-publications> OR AT <https://www.providence.ri.gov/wp-content/uploads/2019/06/PROVIDENCE-DPW-STANDARD-DETAILS.PDF> SIDEWALK CONSTRUCTION TO CONFORM TO DETAILS 4.3.3.0, 4.3.3.1, 4.3.3.2 & 4.8.1.0.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE FINDINGS SUCH A REPORT MIGHT DISCLOSE. PROPERTY LINES SHOWN ON THIS SURVEY/PLAT REPRESENT CURRENT PHYSICAL FIELD CONDITIONS AND EVIDENCE OF APPARENT POSSIBLE POSSESSION. ANY REFERENCES TO PUBLIC RECORDS HEREON REFLECTS TO THOSE RECORDS NECESSARY TO ESTABLISH THE BOUNDARIES SHOWN HEREON AND REFERENCE TO THE SAME DOES NOT, AND IS NOT INTENDED TO CONSTITUTE A TITLE SEARCH OR TITLE OPINION.

TABLE 5-1: DIMENSIONAL STANDARDS				
Bulk Standards	Allowed	PARCEL A	PARCEL B	Requested Relief
Zoning District		C-2	C-2	
Historic District		No	No	
Min. Lot Area SF	None	10,000 SF	108 SF	
Min. Building Height	9' Residential 11' Non Residential		n/a	
Max. Building Height	50' - 4 Stories	5 Stories - 65'-9"	n/a	1 Story - 10' -5" (Granted)
Max. Building Coverage	None	n/a	n/a	
Max. Impervious Coverage	None	n/a	n/a	
Min. Setback Requirements				
Front Setback	Build-To Zone 0'-5' required build-to 60% of front lot line	0'	n/a	
Interior Side Setback	None - 10' @ Residential	10'	n/a	
Corner Side Setback	Build-To Zone 0'-5'	0'	n/a	
Rear Setback	None - 20' @ Residential	3.7'	n/a	
Table 13-2 Permitted Encroachments				
Away	Max. 4'	4'	n/a	
Porch - unenclosed	8' into side setback	3'	n/a	
Encroachment into the Public Right-of-Way				
Habitation	Max. 4'	3'	n/a	
Table 14-1 Off-Street Vehicle and Loading				
Bicycle	1 per 5 dwellings	16	n/a	
Parking	1 per dwelling unit	None - Exempt	n/a	
Loading	Multi-Family 40,000sf - 1 space Commercial 20,000sf - 1 space	1	n/a	

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-TOPOGRAPHIC ACCURACY: T-4

STATEMENT OF PURPOSE

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND THE PREPARATION OF THE PLAN IS AS FOLLOWS:

PROPOSED BUILDING.

Marc N. Nyberg
MARC N. NYBERG LICENSE No. 1797 COA No. A52

PROPOSED SITE PLAN

MARC N. NYBERG
No. 1797
PROFESSIONAL LAND SURVEYOR

PROFESSIONAL SEAL

ASSESSOR'S PLAT 18 LOTS 190 & 192
251 & 269 WICKENDEN STREET
PROVIDENCE, RHODE ISLAND

PREPARED FOR: FOX POINT CAPITAL, LLC
244 WEYBOSSET STREET, FLOOR 1, PROVIDENCE, RI 02903

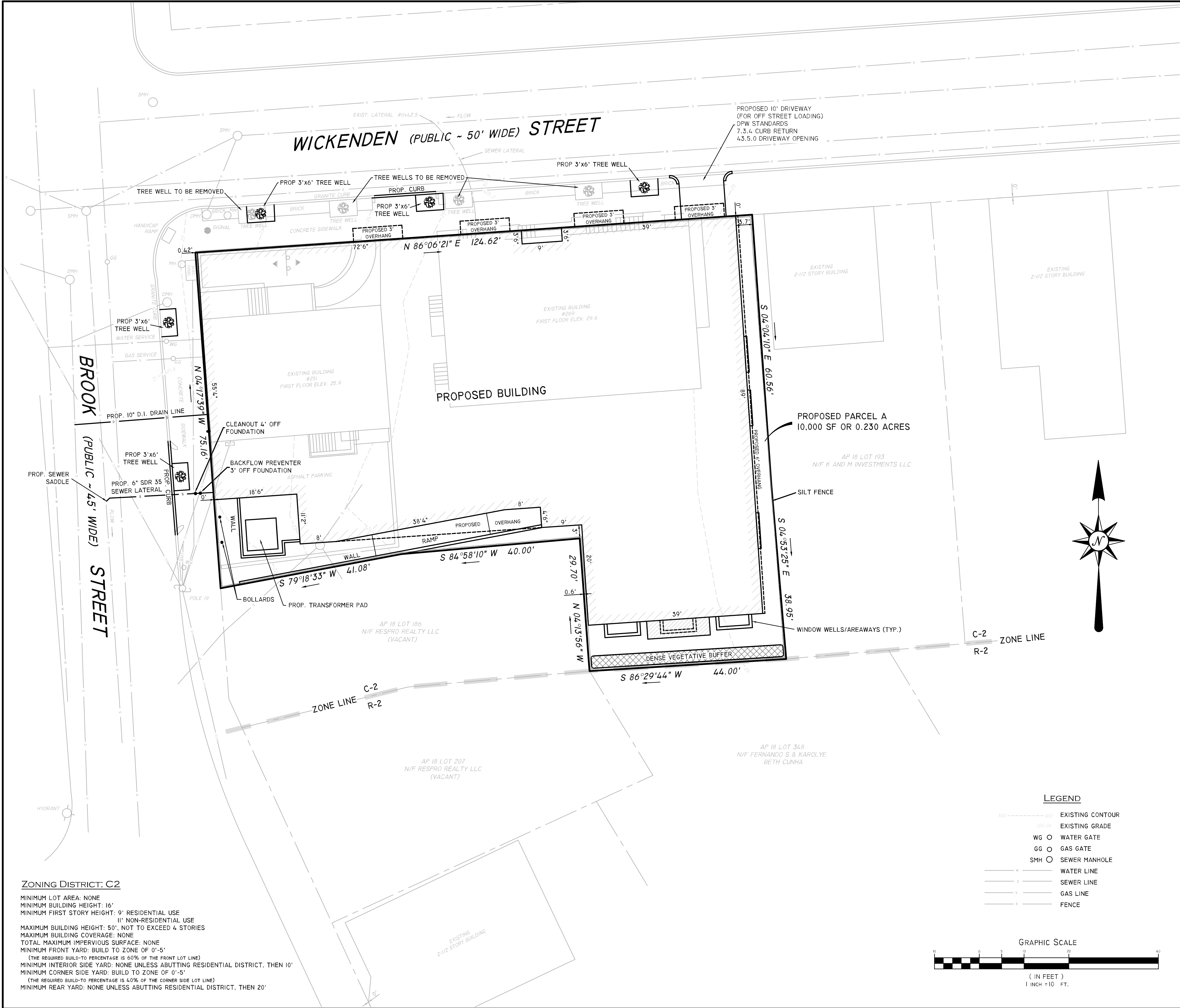
JOB # 23-148 SCALE: 1" = 10' DRAWN BY: LMB DATE: 1-10-25

REVISED:

INSITE Engineering Services, LLC
PROFESSIONAL ENGINEERS | LAND SURVEYORS
Precision. Clarity. Certainty.

501 Great Road, Unit 104
North Smithfield, RI 02896
Phone: (401) 762-2870 Fax: (401) 762-2871
Web Address: InsiteEngineers.com

SHEET PP-CP.01



LOCATION MAP (NOT TO SCALE)

GENERAL NOTES:

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- MINIMUM 3 FEET REQUIRED BETWEEN TREE WELLS AND BACK OF SIDEWALK.
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STORMWATER MANAGMENT PLAN

- LIMITED GUTTERS AND DOWNSPOUTS FROM PITCHED ROOFS TO BE DIVERTED TO VEGETATIVE AREAS ON SITE. SITE TO BE GRADED TO RETAIN STORMWATER ON SITE TO AVOID RUNOFF.
- STORMWATER MAY NOT BE TIED INTO SANITARY SEWER LINE, ONLY DEDICATED STORMWATER (RAIN) LINE.

SEDIMENT CONTROL PLAN

- THROUGHOUT CONSTRUCTION, APPROPRIATE MEASURES WILL BE TAKEN TO AVOID EROSION & PREVENT SEDIMENT FROM LEAVING THE SITE. MEASURES SHALL INCLUDE TEMPORARY SILT FENCING AT THE PERIMETER OF THE SITE AT ALL LOT LINES. ADDITIONALLY, HIGH-FLOW INLET PROTECTION FILTERS, SUCH AS GUTTERBUDDIES, WILL BE INSTALLED WHERE THE SITE MEETS THE CURB/ROW TO PREVENT SEDIMENT FROM FLOWING INTO THE CITY'S STORMWATER SYSTEM DURING CONSTRUCTION.
- EROSION CONTROL TO BE INSPECTED PERIODICALLY OR AFTER SIGNIFICANT RAINFALL, AND REPAIRED OR REPLACED AS NECESSARY.
- EROSION CONTROL SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE AND AREA HAS STABILIZED.

STORMWATER MANAGEMENT PLAN

ASSESSOR'S PLAT 18 LOTS 190 & 192
251 & 269 WICKENDEN STREET
PROVIDENCE, RHODE ISLAND

PREPARED FOR: FOX POINT CAPITAL, LLC
244 WEYBOSSET STREET, FLOOR 1, PROVIDENCE, RI 02903

JOB # 23-148 SCALE: 1" = 10' DRAWN BY: LMB DATE: 1-10-25

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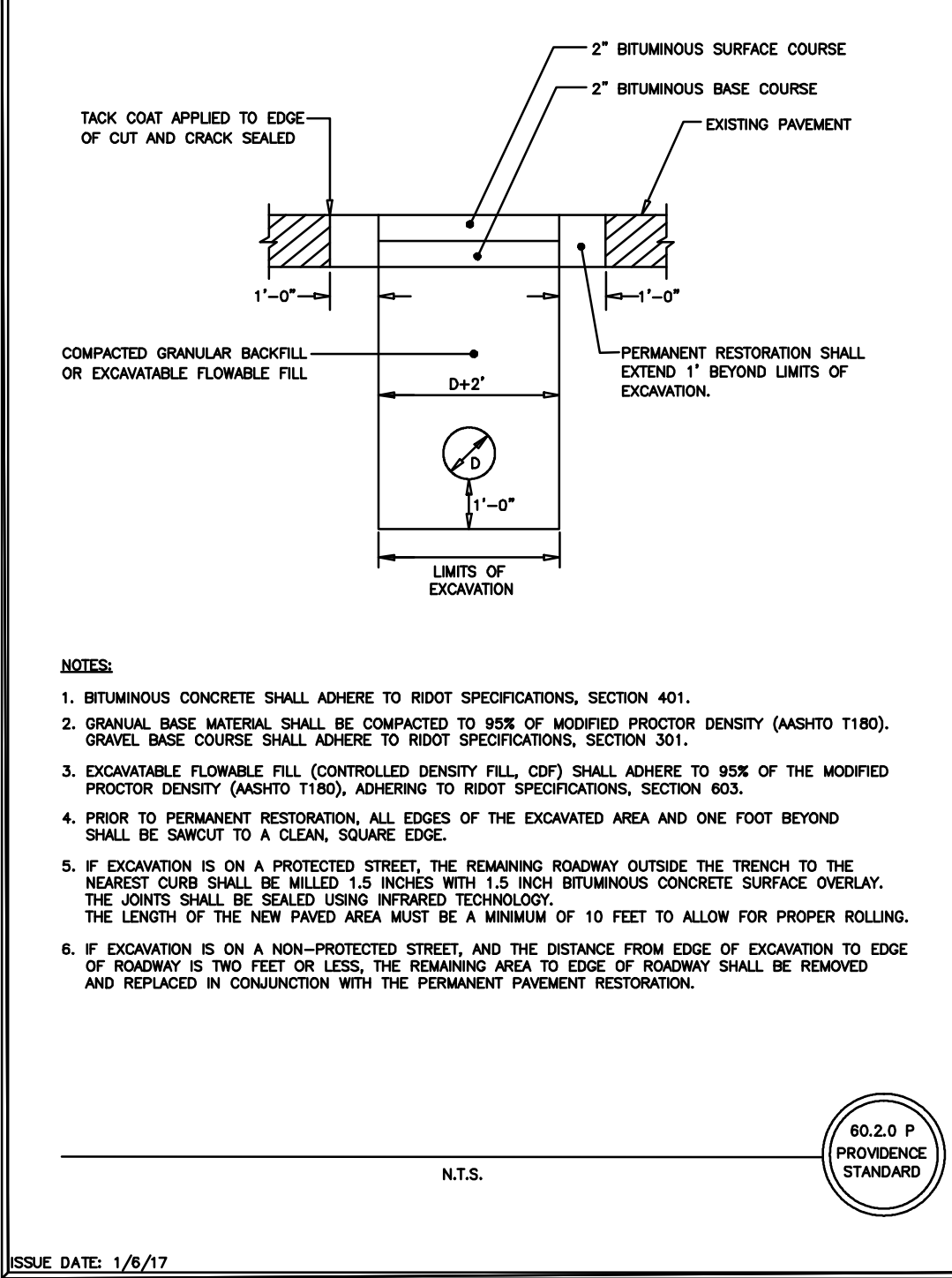
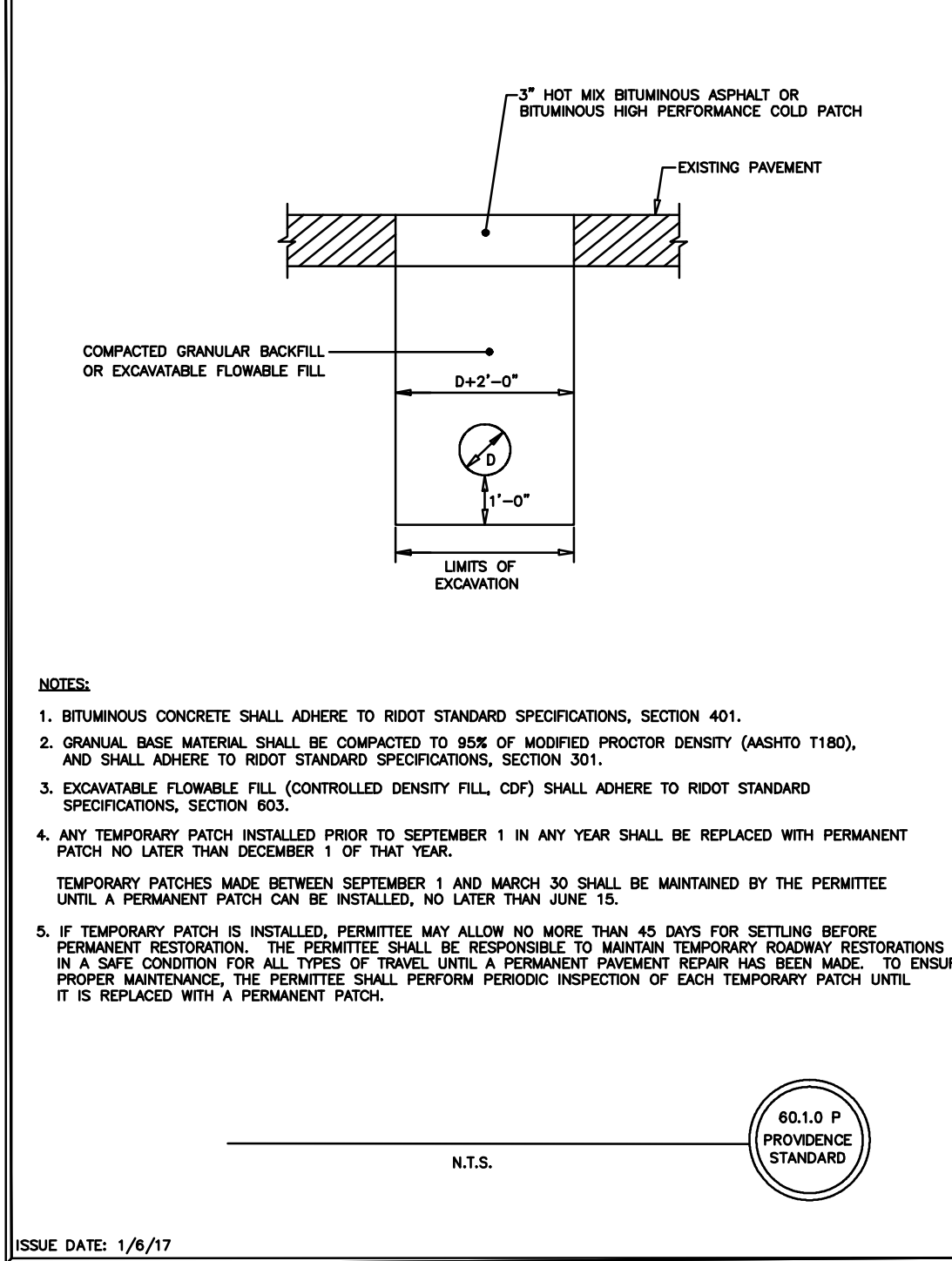
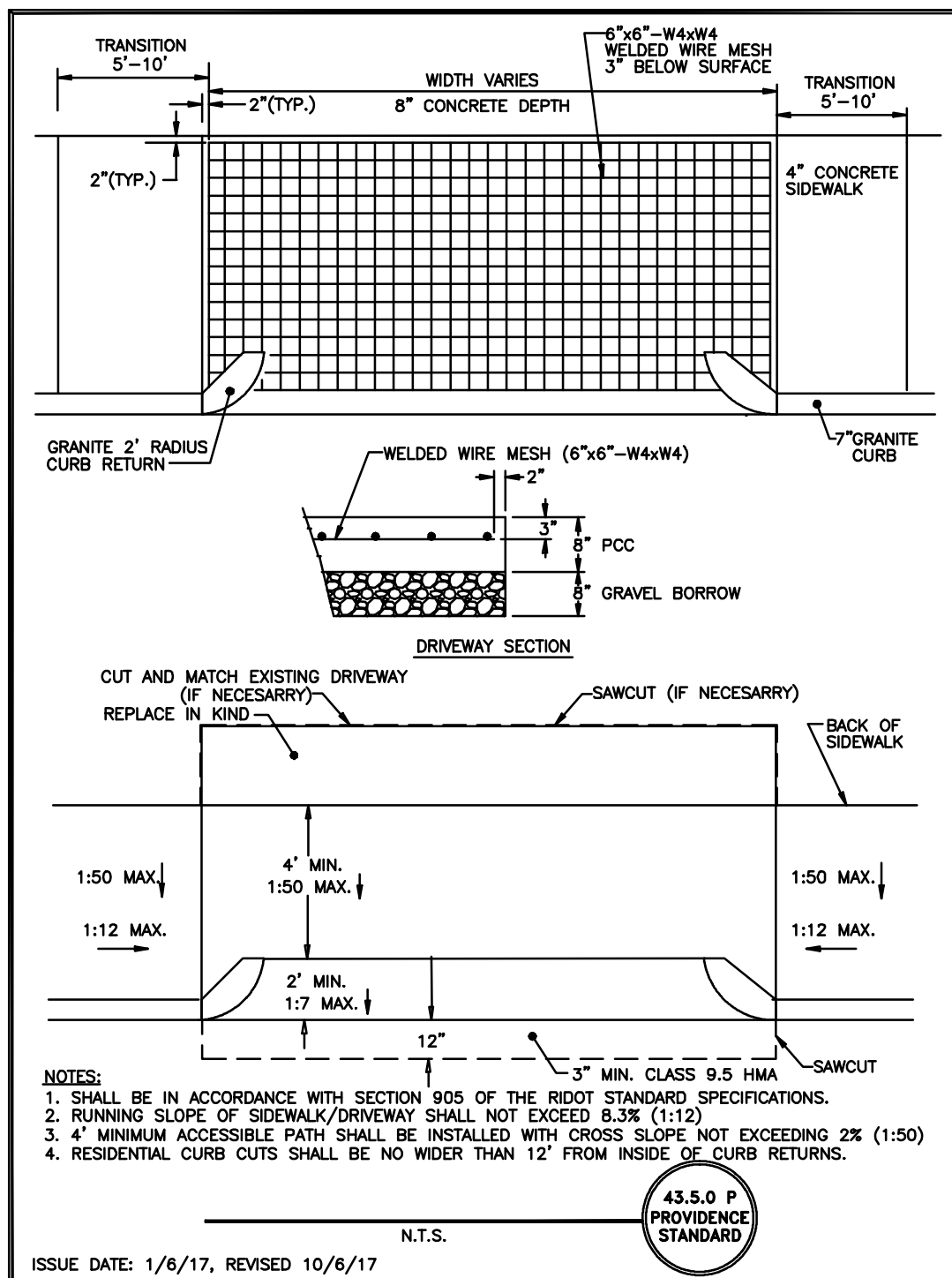
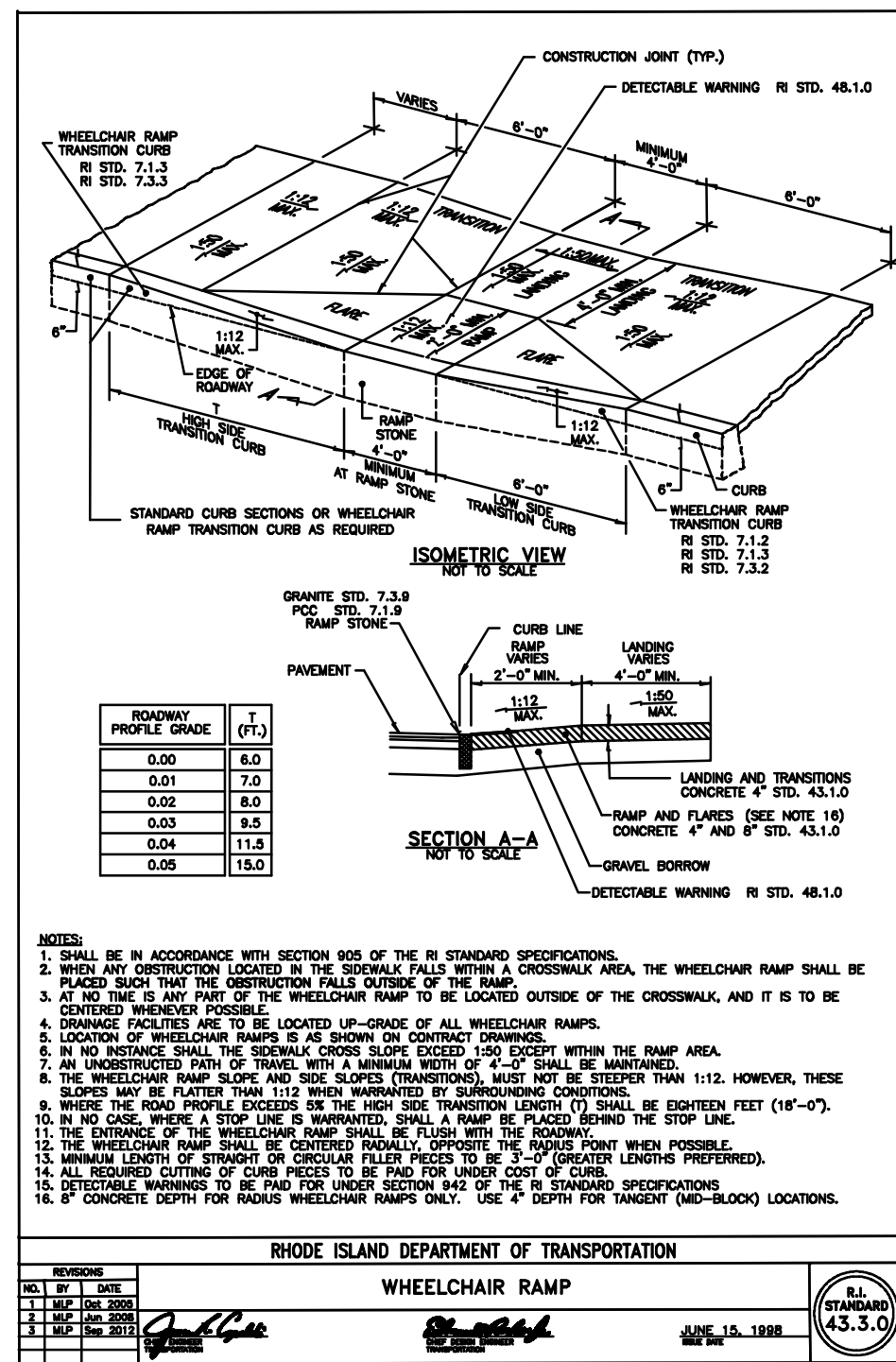
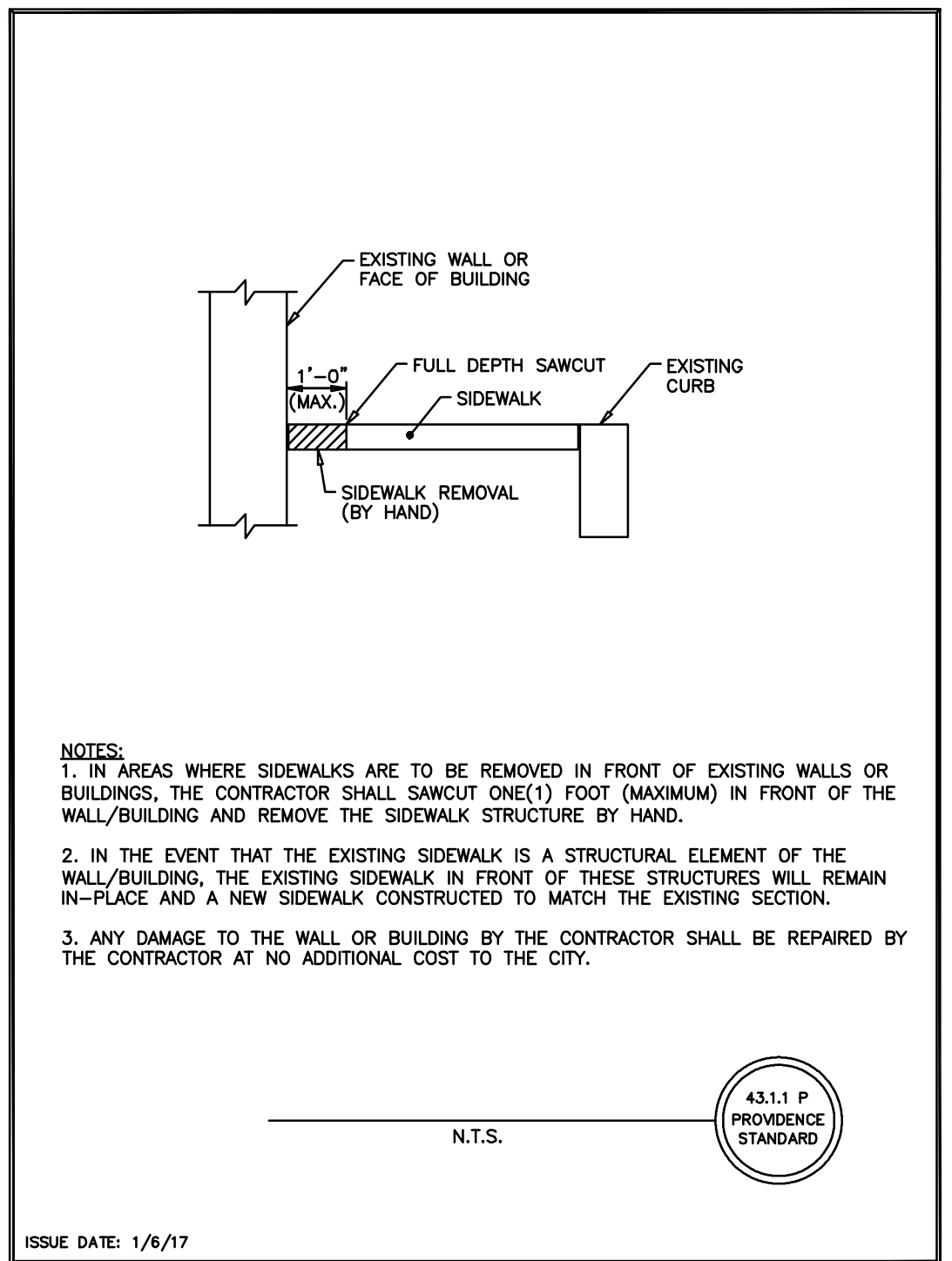
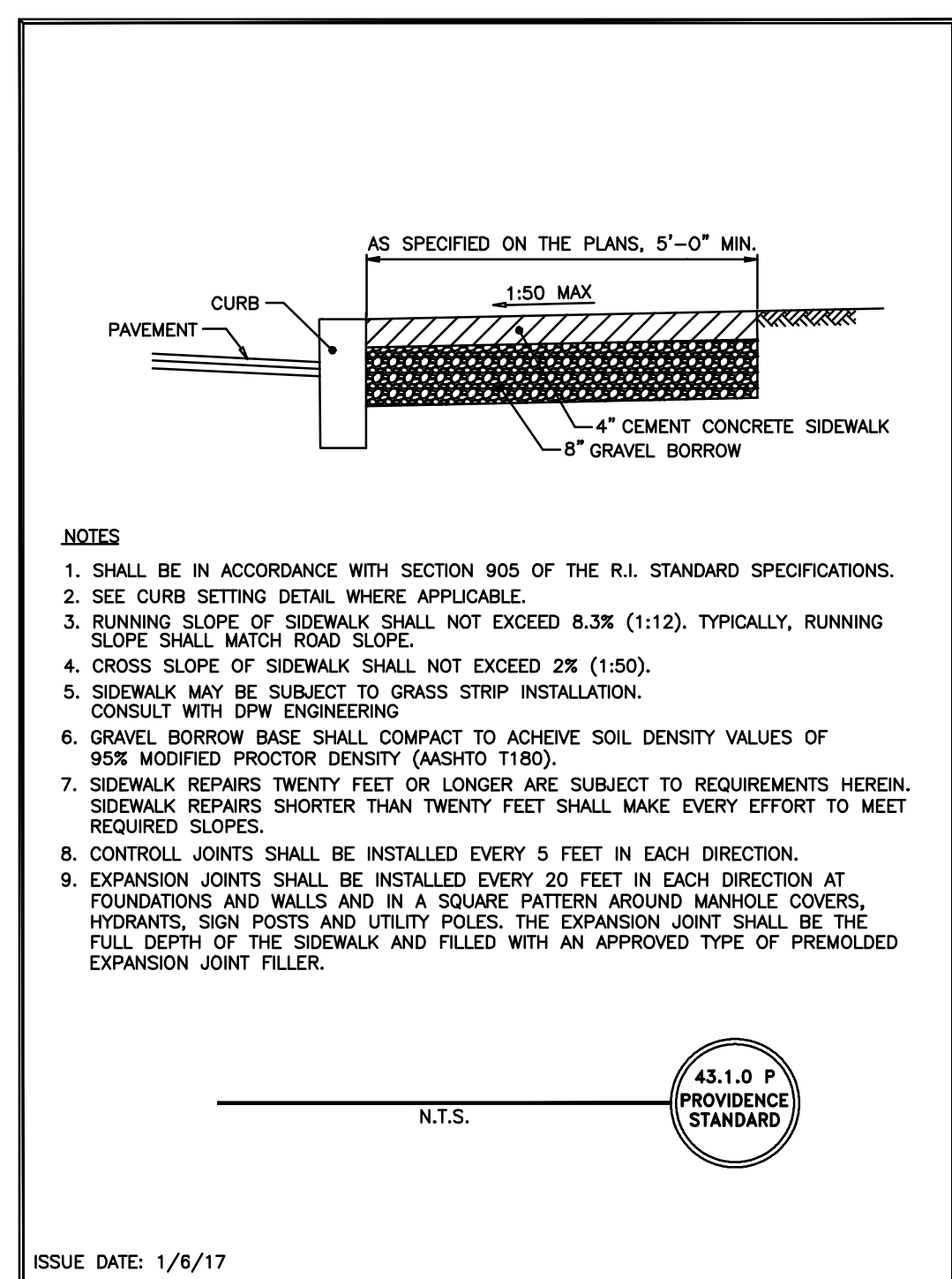
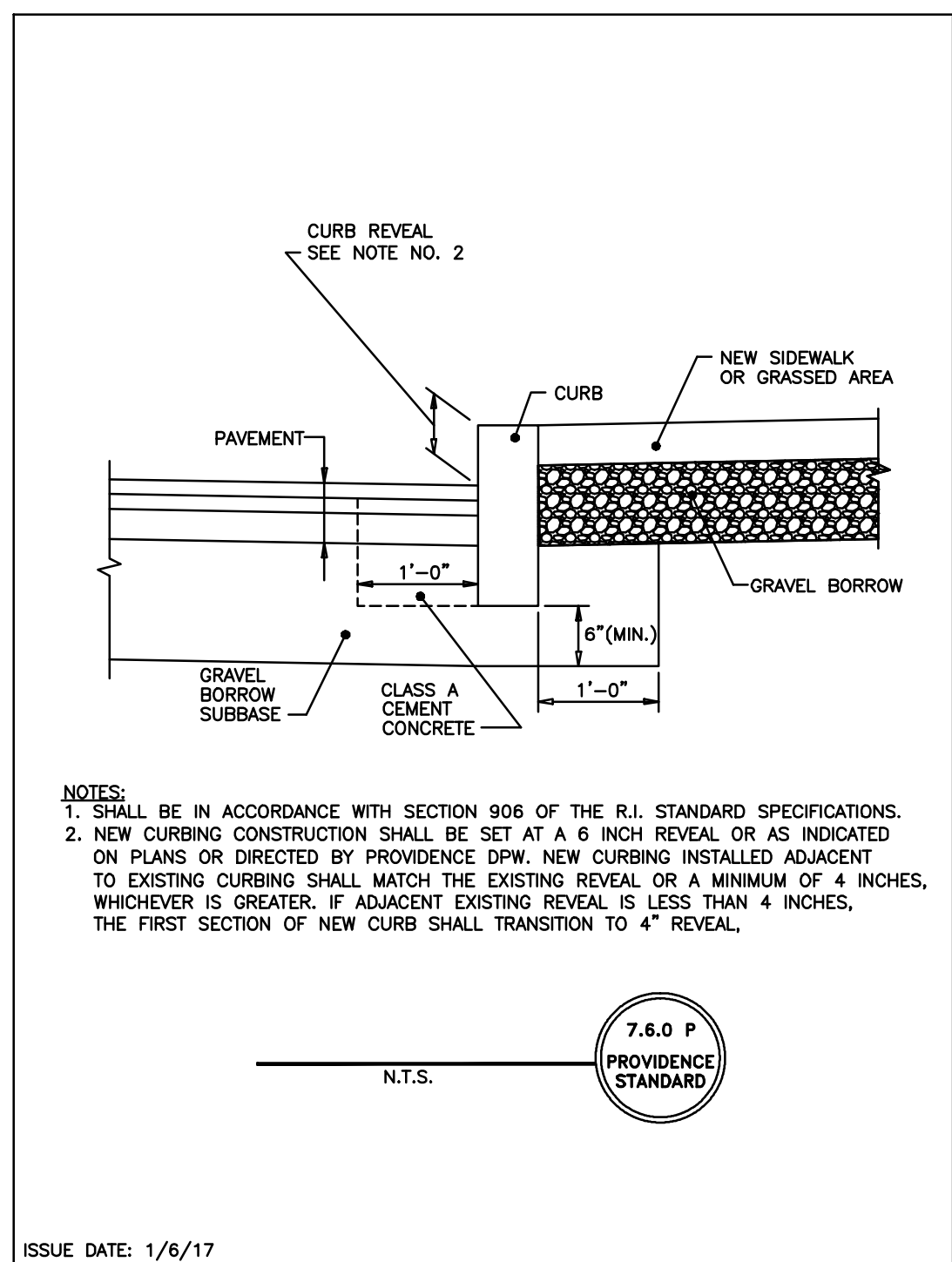
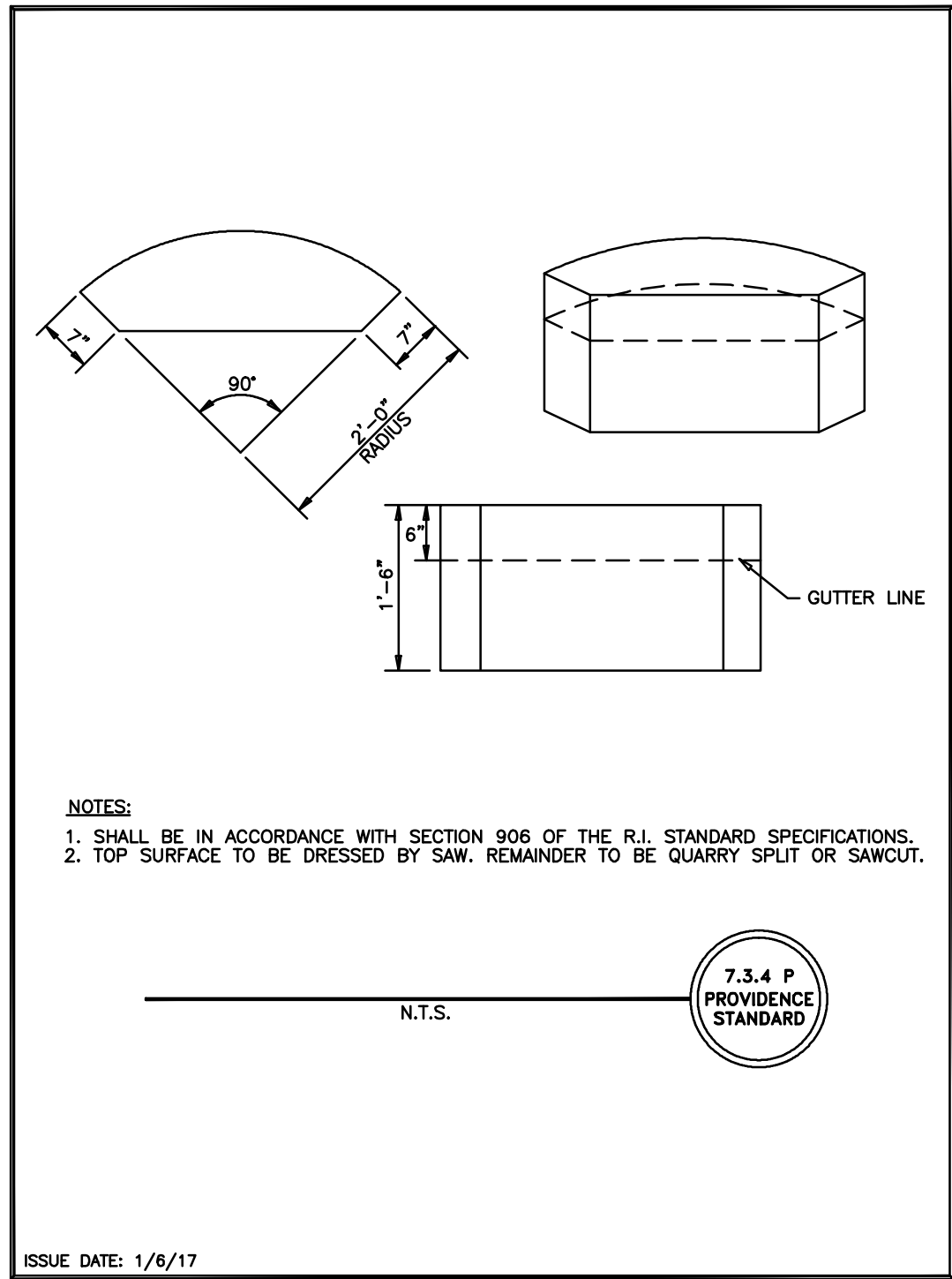
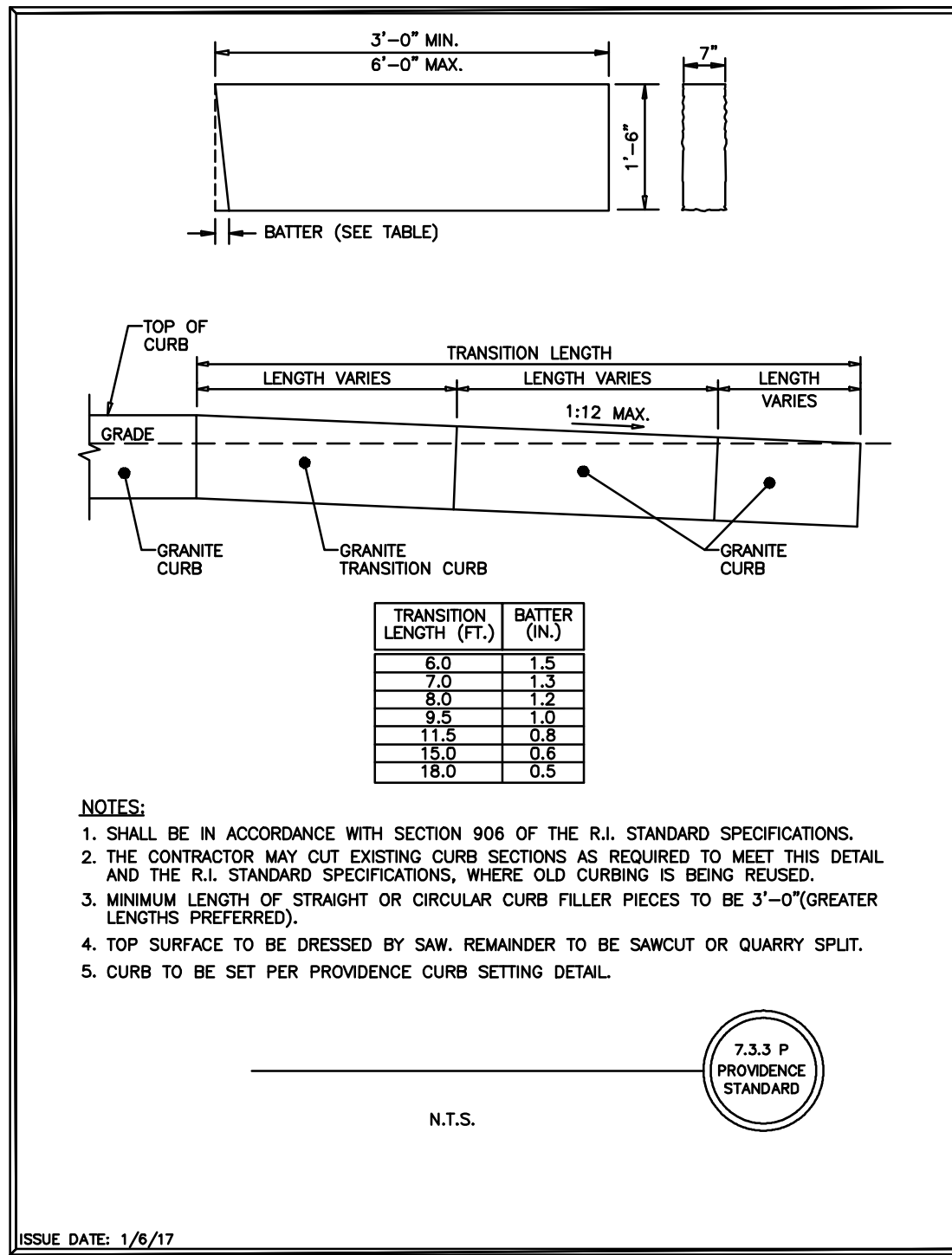
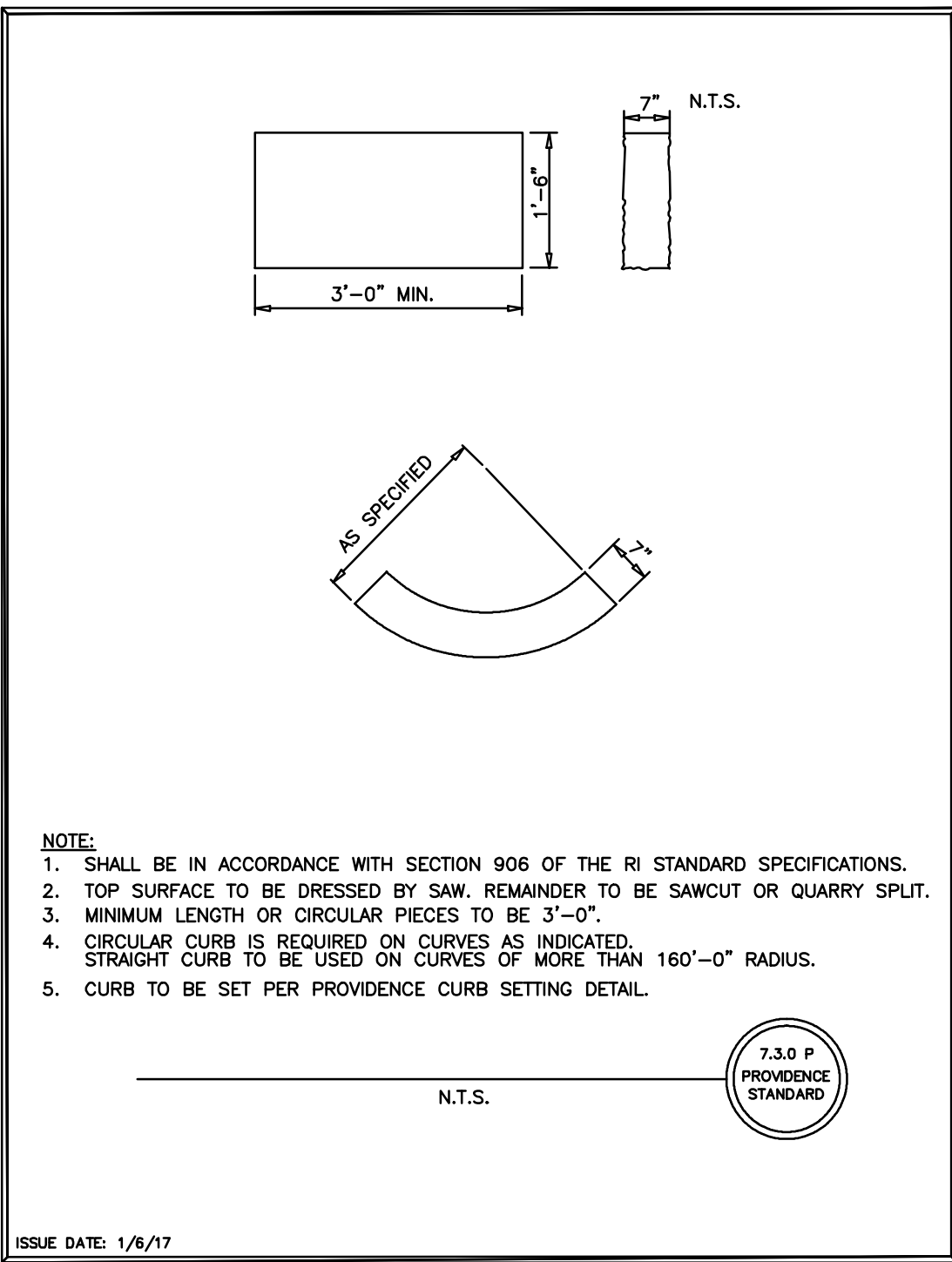
PAUL D. CARLSON
No. 7142
REGISTERED PROFESSIONAL ENGINEER
CIVIL
PROFESSIONAL SEAL

INSITE Engineering Services, LLC
PROFESSIONAL ENGINEERS | LAND SURVEYORS
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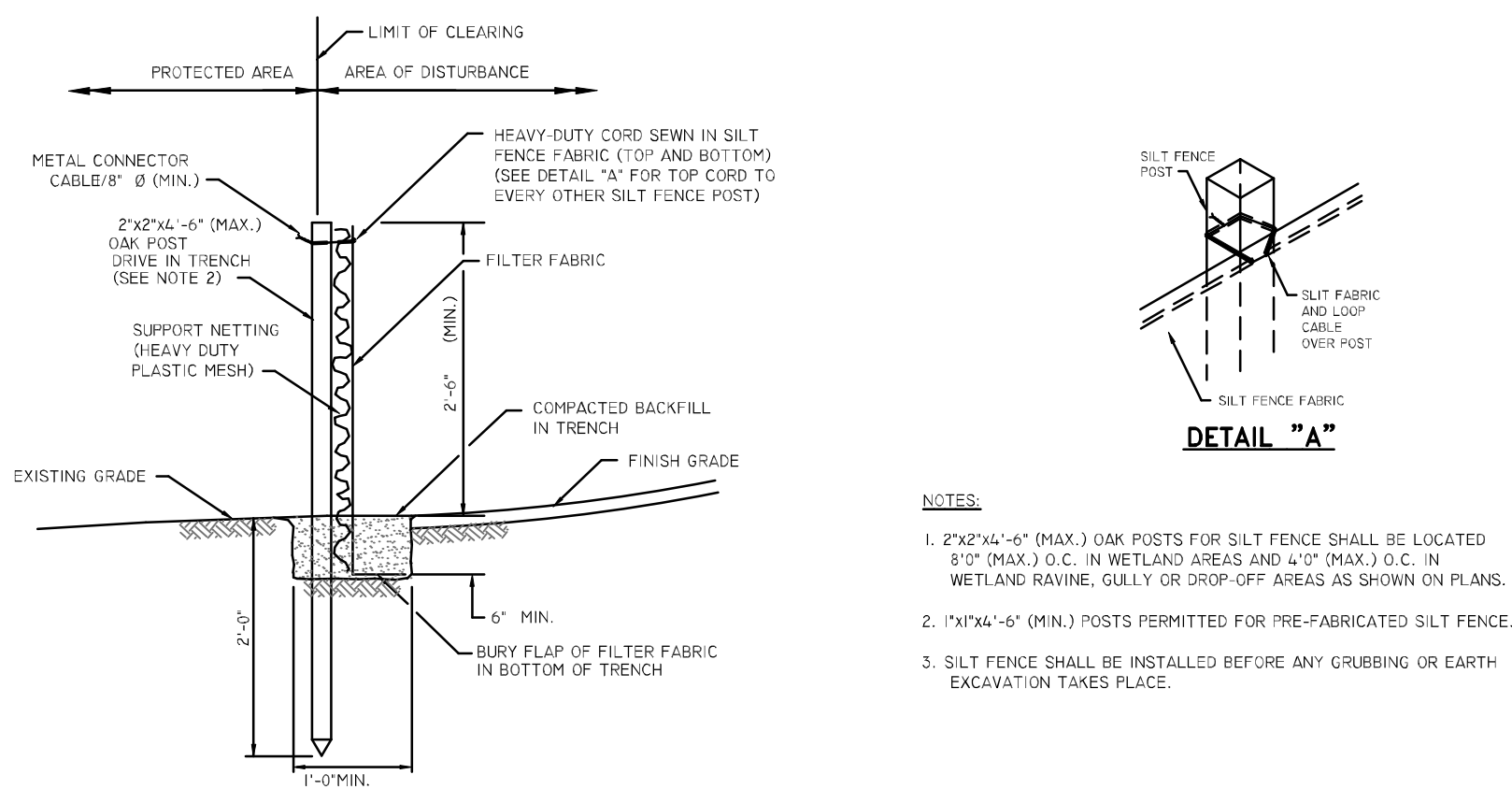
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Phone: (401) 762-2870 Fax: (401) 762-2871
Web Address: InsiteEngineers.com

SHEET
PP-CP.02



SILT FENCE DETAIL



PAUL D. CARLSON

No. 7142

REGISTERED PROFESSIONAL ENGINEER CIVIL

PROFESSIONAL SEAL

ASSESSOR'S PLAT 18 LOTS 190 & 192
251 & 269 WICKENDEN STREET
PROVIDENCE, RHODE ISLAND

PREPARED FOR: Fox Point Capital, LLC
244 WEYBOSSET STREET, FLOOR 1, PROVIDENCE, RI 02903

JOB # 23-148
SCALE: NONE
DRAWN BY: LMB
DATE: 1-10-25

REVISED:

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SHEET PP-CP.03

ARTICLE 15 -
TREES AND LANDSCAPING

1500: LANDSCAPING REQUIRED

- A2 IF LAND WITHIN THE LIMITS OF DISTURBANCE EQUALS MORE THAN 50% OF THE AREA OF THE LOT OR LOTS BEING DEVELOPED, THE ENTIRE DEVELOPMENT SHALL FULLY CONFORM TO THE REQUIREMENTS OF THIS ARTICLE.

1503: ON-SITE LANDSCAPING AND TREES REQUIRED

A GENERAL REQUIREMENTS

1. ALL PORTIONS OF A LOT NOT COVERED BY STRUCTURES OR PAVED SURFACES SHALL BE LANDSCAPED WITH TREES, SHRUBBERY, GRASS, LIVE GROUNDCOVER, AND OTHER PLANTINGS. THE LANDSCAPE DESIGN MAY ALSO INCLUDE THE USE OF STONE, MULCH BEDS, OR OTHER PERVIOUS LANDSCAPING MATERIALS (THIS EXCLUDES PERVIOUS PAVEMENT).

B SIGNIFICANT TREES

1. A SIGNIFICANT TREE IS ANY TREE THAT MEASURES 32 INCHES OR MORE IN DIAMETER AT 4 1/2 FEET ABOVE THE GROUND. NO SIGNIFICANT TREE MAY BE REMOVED WITHOUT PERMISSION OF THE CITY FORESTER
- THERE ARE NO SIGNIFICANT TREES ON-SITE

C REQUIRED TREE CANOPY

1. REQUIRED TREE CANOPY PERCENTAGE
SUFFICIENT TREES SHALL BE RETAINED AND/OR PLANTED ON A LOT SO THAT THE SQUARE FOOTAGE OF VEGATATIVE CANOPY OF SUCH TREES, WHEN MATURE, EQUALS A CERTAIN PERCENTAGE OF THE SQUARE FOOTAGE OF THE LOT. PERCENTAGE IS BY DISTRICT;

d. ALL OTHER DISTRICTS - 15% OF THE LOT

2. CALCULATION OF TREE CANOPY COVERAGE

- a. LARGE: 1,000 SF
b. MEDIUM: 700 SF
c. SMALL: 300 SF

4. STREET TREE ACCOMMODATION

EXISTING OR PLANNED STREET TREES LOCATED IN THE PUBLIC RIGHT-OF-WAY DIRECTLY ADJACENT TO THE LOT LINE MAY BE COUNTED TOWARD THE CANOPY COVERAGE FOR THE LOT.

ARTICLE 15 -
TREES AND LANDSCAPING - PROPOSED

LOT SIZE: 10,000 SF
DISTRICT: ALL OTHER
REQUIRED CANOPY: 15%
CANOPY COVERAGE: SMALL - 300 SF

REQUIRED COVERAGE: 10,000 SF LOT
15%
1,500 SF REQUIRED

PROPOSED COVERAGE: 5 SMALL TREES @ 300 SF
1,500 SF CANOPY COVERAGE

LANDSCAPE MATERIAL LEGEND

- A** DENSE VEGETATIVE BUFFER
B SEED & LOAM
C RETAINING WALL - SPLIT FACE BLOCK WITH CAP
D HARDSCAPE WALK - PAVERS

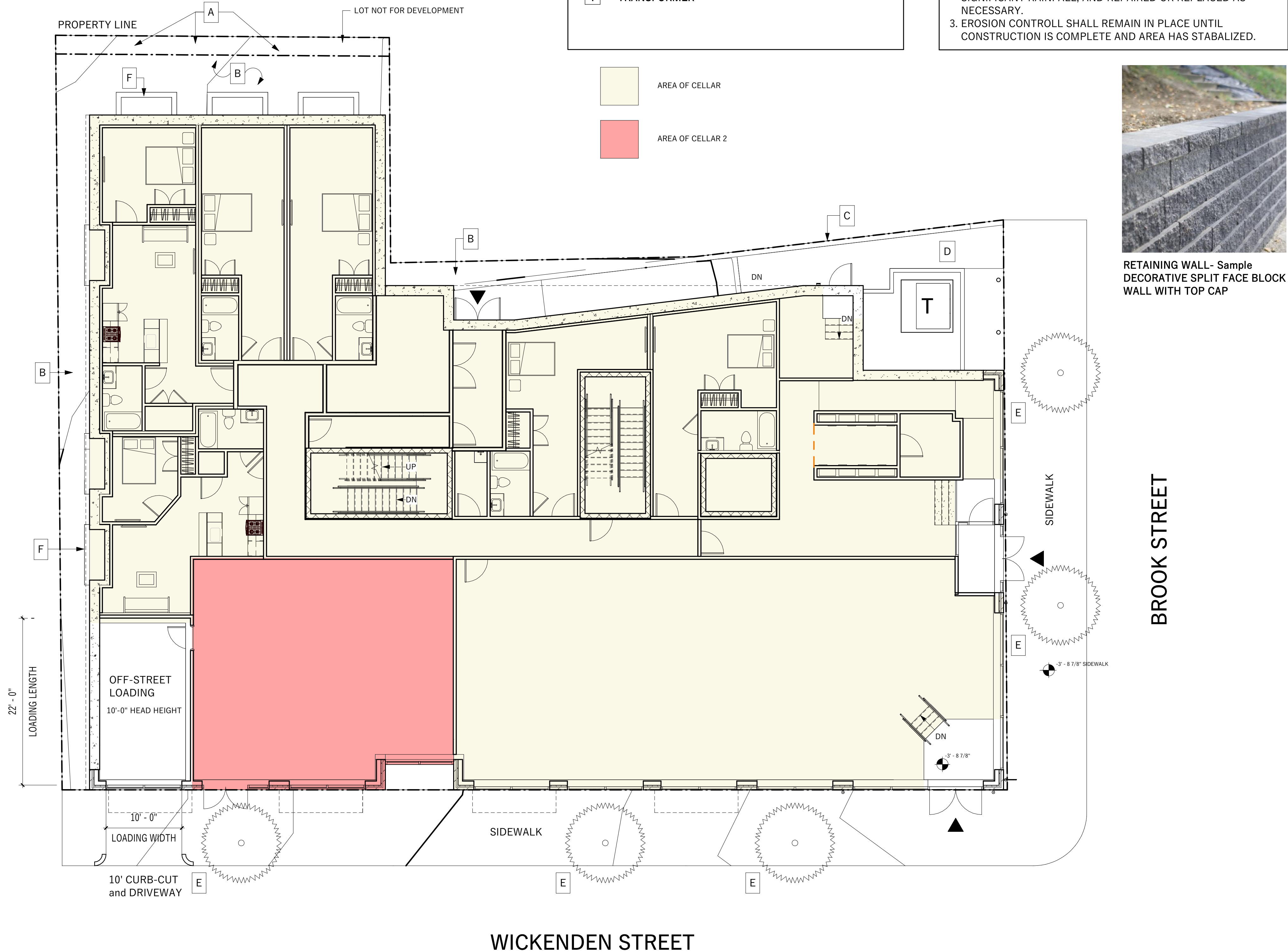
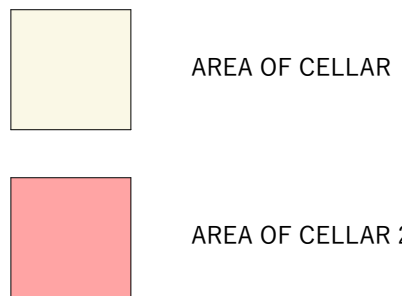
REQUIRED TREES - CANOPY

- E** PROPOSED 3' x 6' TREE & WELL
• COMMON NAME - SARGENT MAPLE
• 1,500 SF CANOPY COVERAGE REQUIRED
• 5 TREES @ 300 SF = 1,500 SF

- F** AREAWAY - WINDOW WELL

UTILITY

- T** TRANSFORMER



STORMWATER AND SEDIMENT

STORMWATER MANAGEMENT STATEMENT:

1. LIMITED GUTTERS AND DOWNSPOUTS FROM PITCHED ROOFS TO BE DIVERTED TO VEGETATIVE AREAS ON SITE. SITE TO BE GRADED TO RETAIN STORMWATER ON SITE TO AVOID RUNOFF.
2. STORMWATER MAY NOT BE TIED INTO SANITARY SEWER LINE, ONLY DEDICATED STORMWATER (DRAIN) LINE.

SEDIMENT CONTROL PLAN:

1. THROUGHOUT CONSTRUCTION: APPROPRIATE MEASURES WILL BE TAKEN TO AVOID EROSION & PREVENT SEDIMENT FROM LEAVING THE SITE. MEASURES SHALL INCLUDE TEMPORARY SILT FENCING AT THE PERIMETER OF THE SITE AT ALL LOT LINES. ADDITIONALLY, HIGH-FLOW INLET PROTECTION FILTERS, SUCH AS GUTTERBUDDIES, WILL BE INSTALLED WHERE THE SITE MEETS THE CURB/ROW TO PREVENT SEDIMENT FROM FLOWING INTO THE CITY'S STORMWATER SYSTEM DURING CONSTRUCTION.
2. EROSION CONTROL TO BE INSPECTED PERIODICALLY OR AFTER SIGNIFICANT RAINFALL, AND REPAIRED OR REPLACED AS NECESSARY.
3. EROSION CONTROL SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE AND AREA HAS STABILIZED.



RETAINING WALL- Sample
DECORATIVE SPLIT FACE BLOCK
WALL WITH TOP CAP

Revision Schedule		
No.	Date	Description

Project Name:
FOXPOINT MIXED-USE REDEVELOPMENT
269 WICKENDEN STREET, PROVIDENCE RI

Sheet Name:
LANDSCAPE PLAN

Stamp:

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Project No.:

Checked By: PABco

Drawn By: PABco

Scale: As indicated

Date: 1/10/2025

Current Issue: Preliminary Plan

Drawing No.

PP-LP.00

THIS SHEET ILLUSTRATES THE CALCULATIONS
USED TO DETERMINE OFF-STREET LOADING PER
TABLE 14-2

AREA SCHEDULE (GFA - RESIDENTIAL vs. COMMERCIAL)		
Level	Name	Area
Cellar Level	COMMERCIAL 1	2200 SF
Cellar Level	RESIDENTIAL	6048 SF
G2-Wick Street	COMMERCIAL 2	1030 SF
G2-Wick Street	RESIDENTIAL	308 SF
1st Floor	RESIDENTIAL	7286 SF
2nd Floor	RESIDENTIAL	8819 SF
3rd Floor	RESIDENTIAL	8819 SF
4th Floor	RESIDENTIAL	8819 SF
5th Floor	RESIDENTIAL	7348 SF

TABLE 14-2 OFF-STREET LOADING REQUIREMENTS	
USE TYPE	NUMBER OF SPACES
MULTI-FAMILY DWELLING	
40,000 SF OR MORE OF GFA	1 LOADING SPACE
COMMERCIAL	
20,000 - 100,000 GFA	1 LOADING SPACE

GROSS RESIDENTIAL BUILDING SQUARE FOOTAGE	
5TH	7,348 SF
4TH	8,819 SF
3RD	8,819 SF
2ND	8,819 SF
1ST	7,286 SF
G2	308 SF
Cellar	6,048 SF
TOTAL	47,447 SF

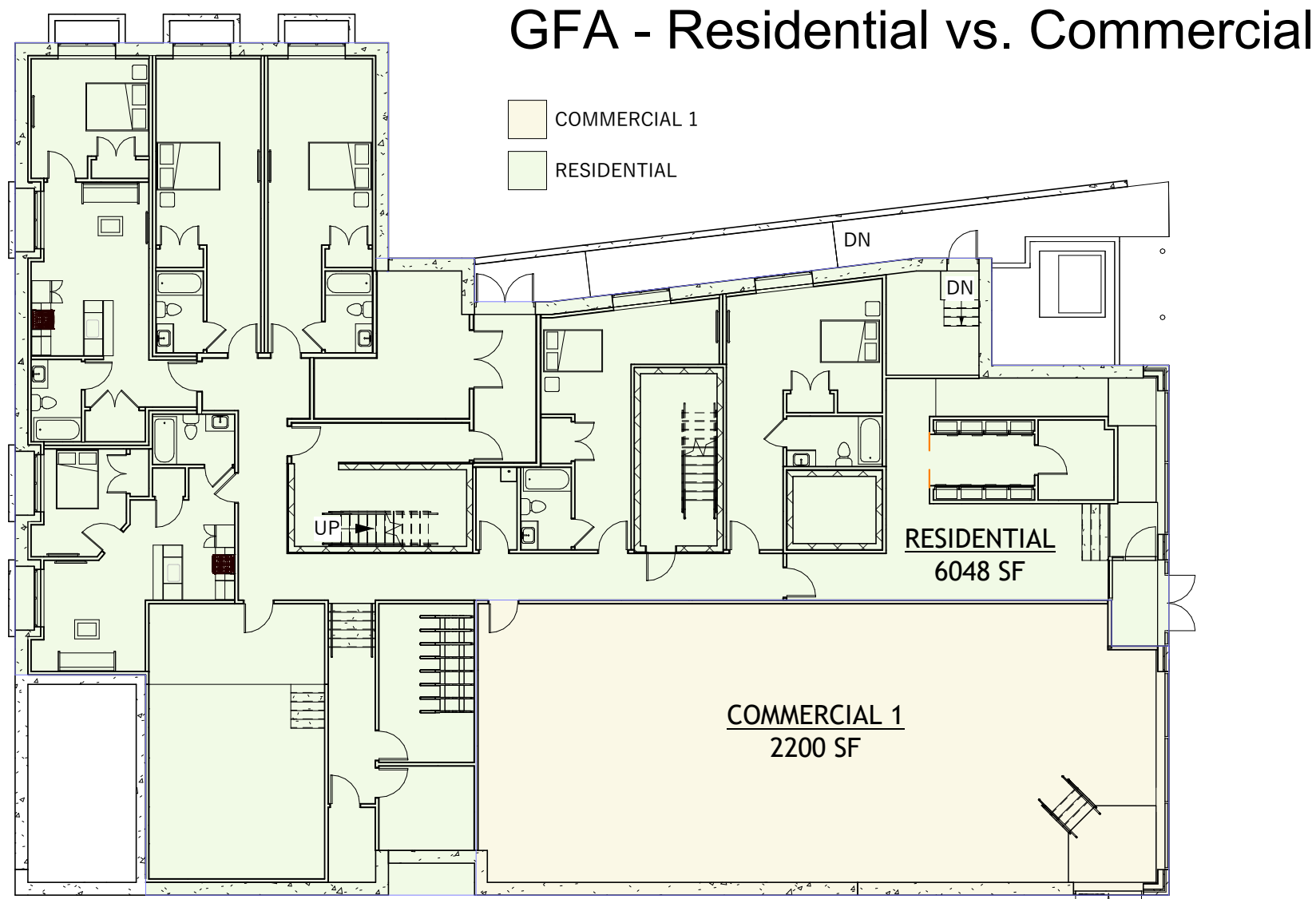
SQUARE FOOTAGE BASED ON RESIDENTIAL FLOOR
SPACE ONLY.

RESIDENTIAL PROGRAM

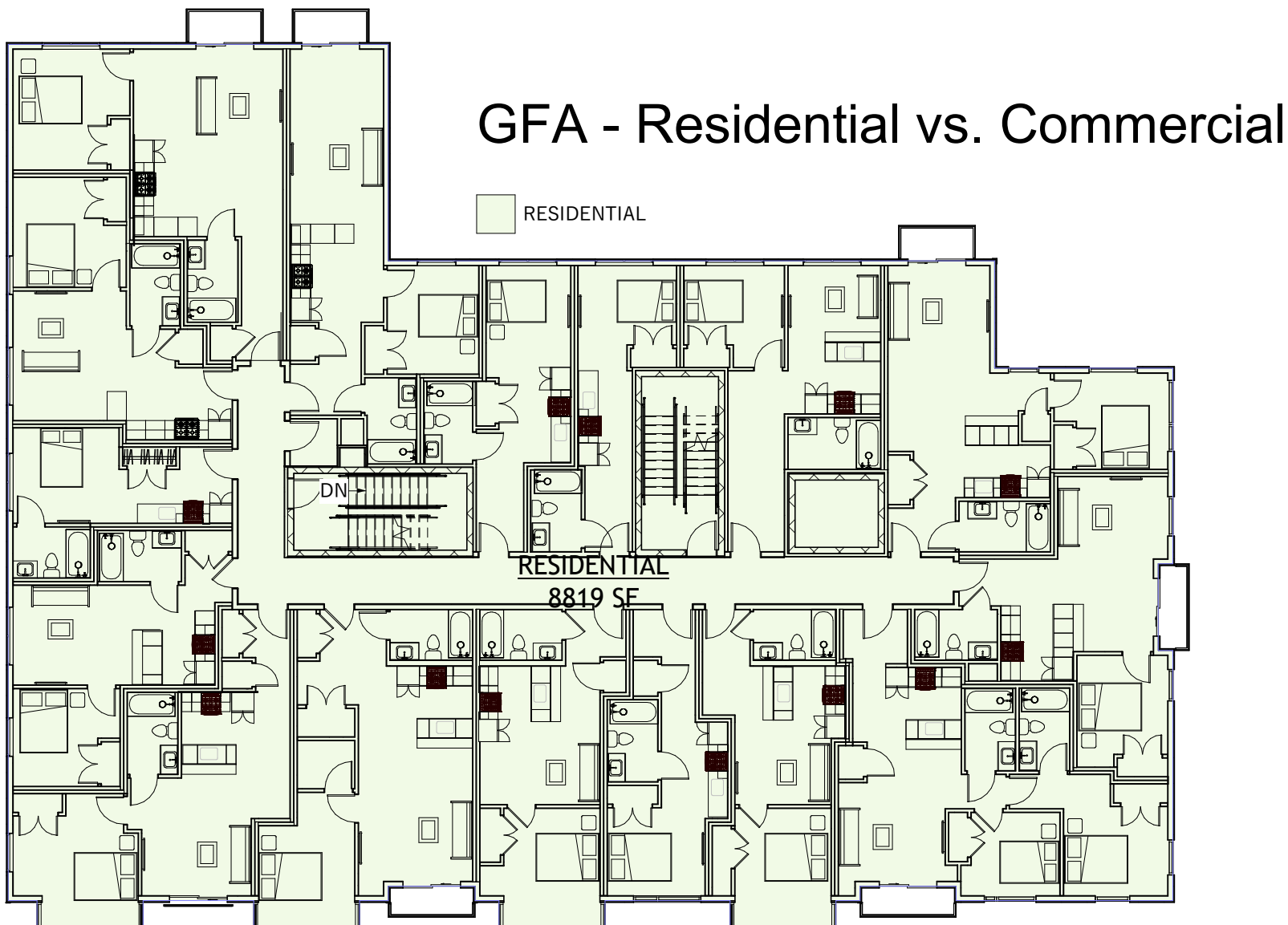
GROSS COMMERCIAL BUILDING SQUARE FOOTAGE	
C1	2,200 SF
C2	1,030 SF
TOTAL	3,230 SF

SQUARE FOOTAGE BASED ON COMMERCIAL FLOOR
SPACE ONLY.

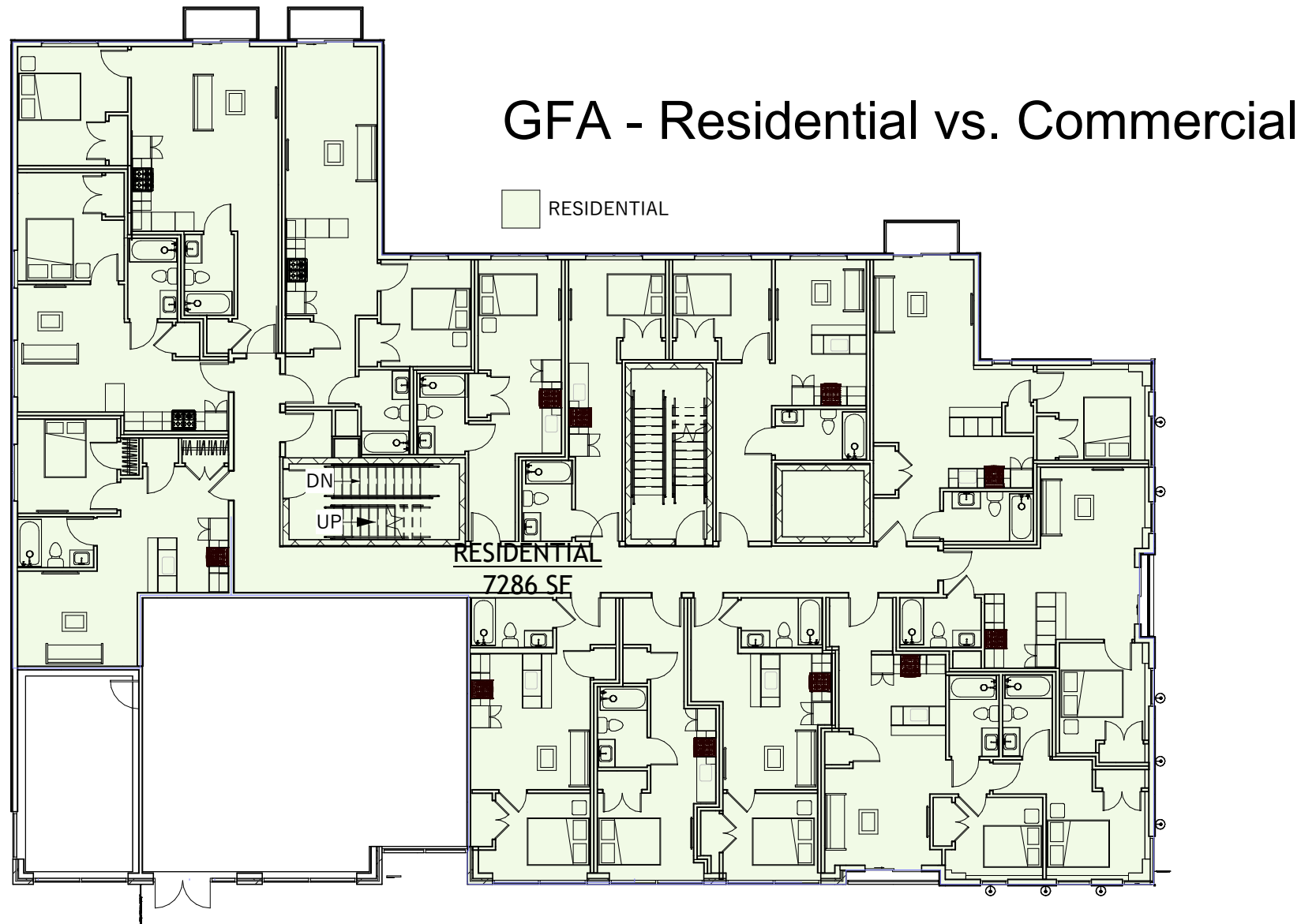
C1 - COMMERCIAL
C2 - COMMERCIAL



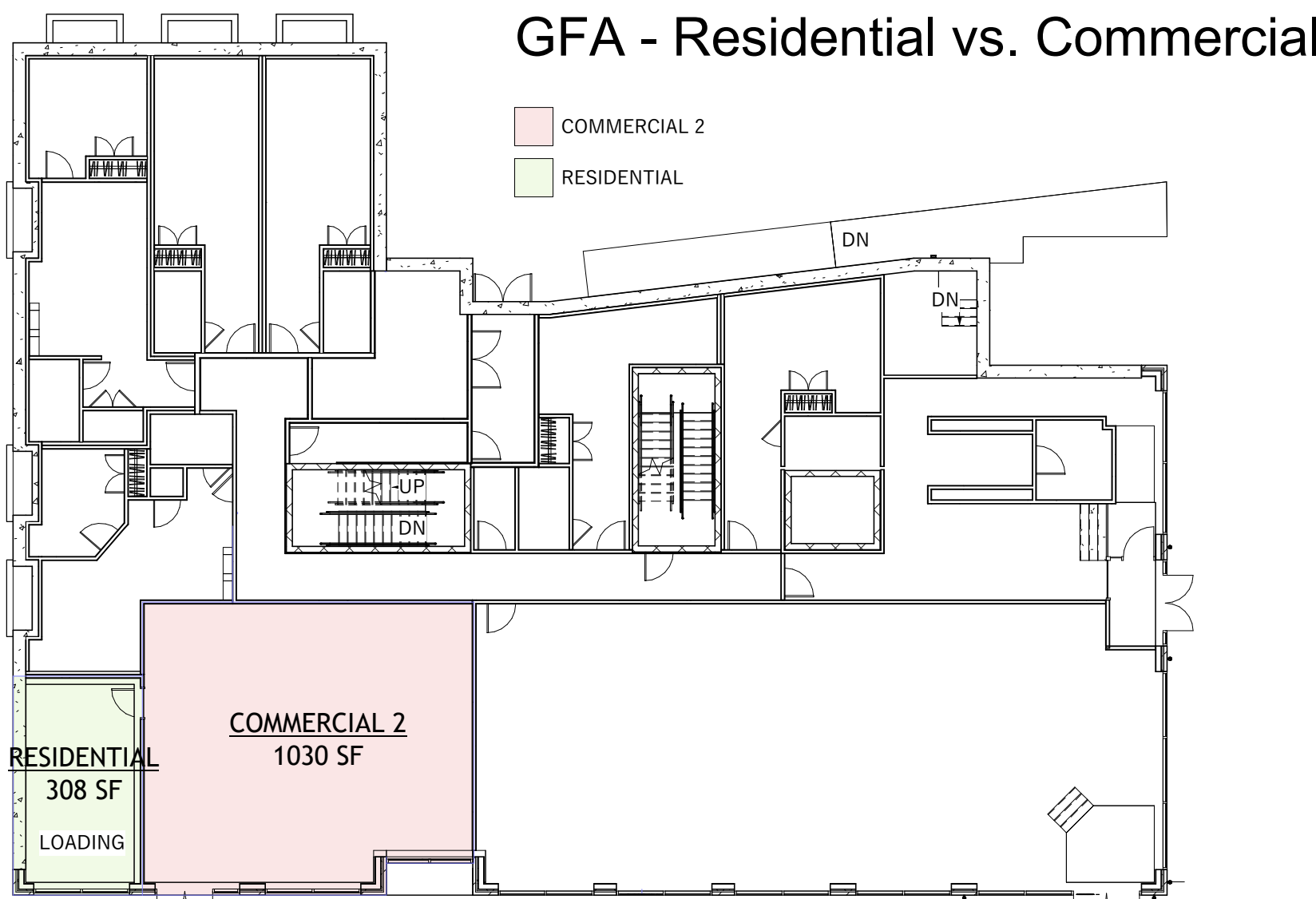
1 Cellar Level Plan
1/16" = 1'-0"



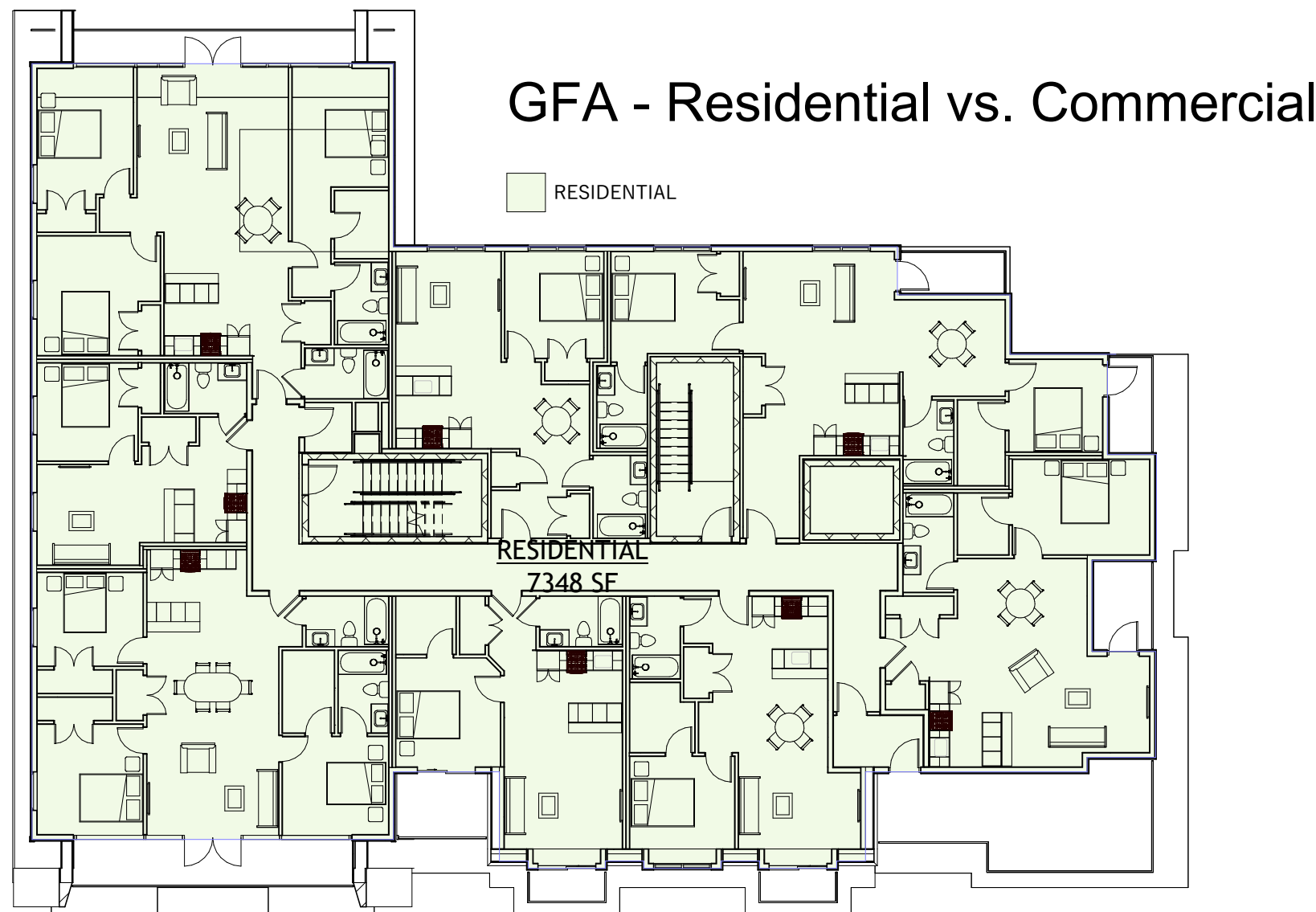
6 2nd Floor Plan
1/16" = 1'-0"



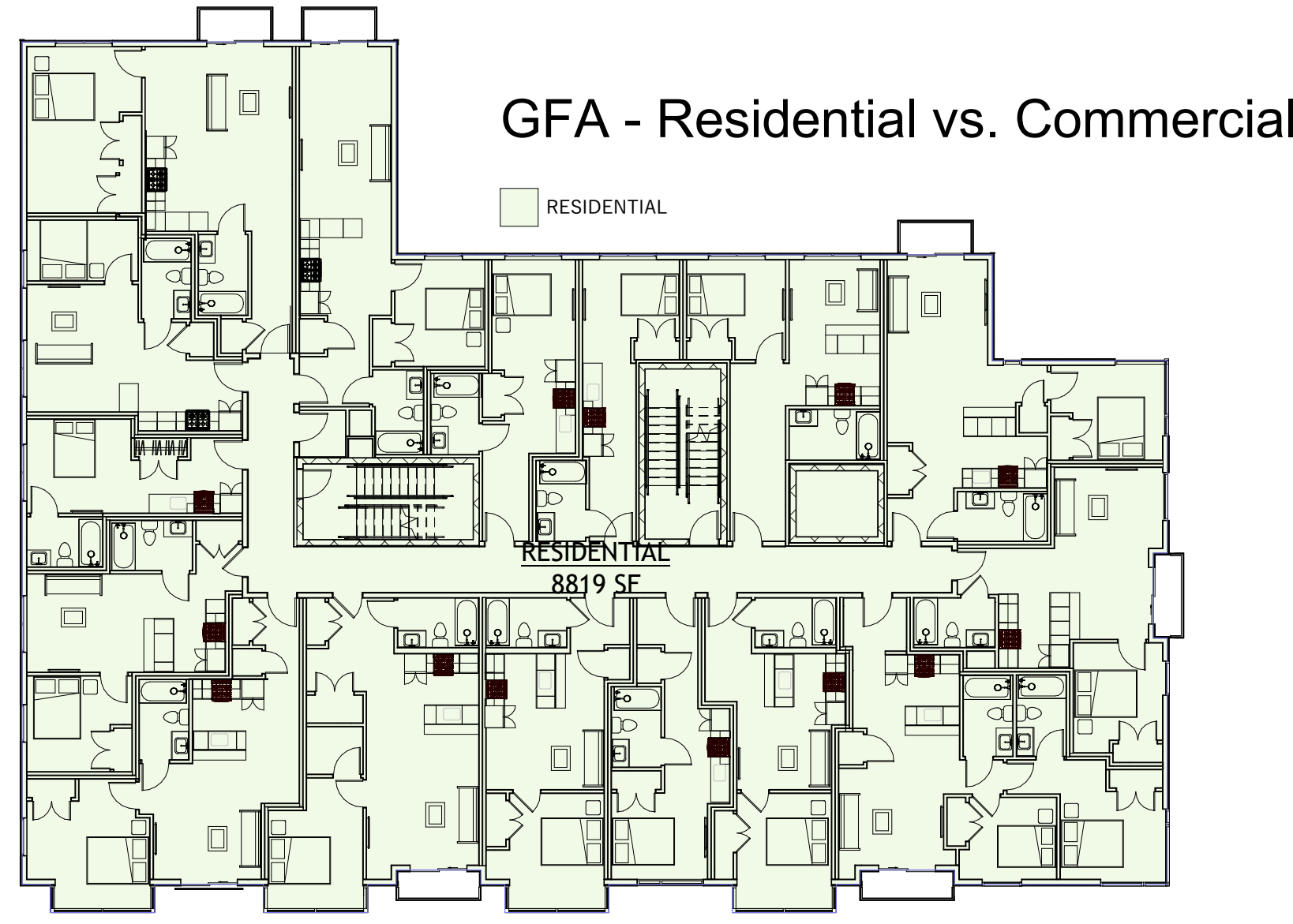
4 1st Floor Plan
1/16" = 1'-0"



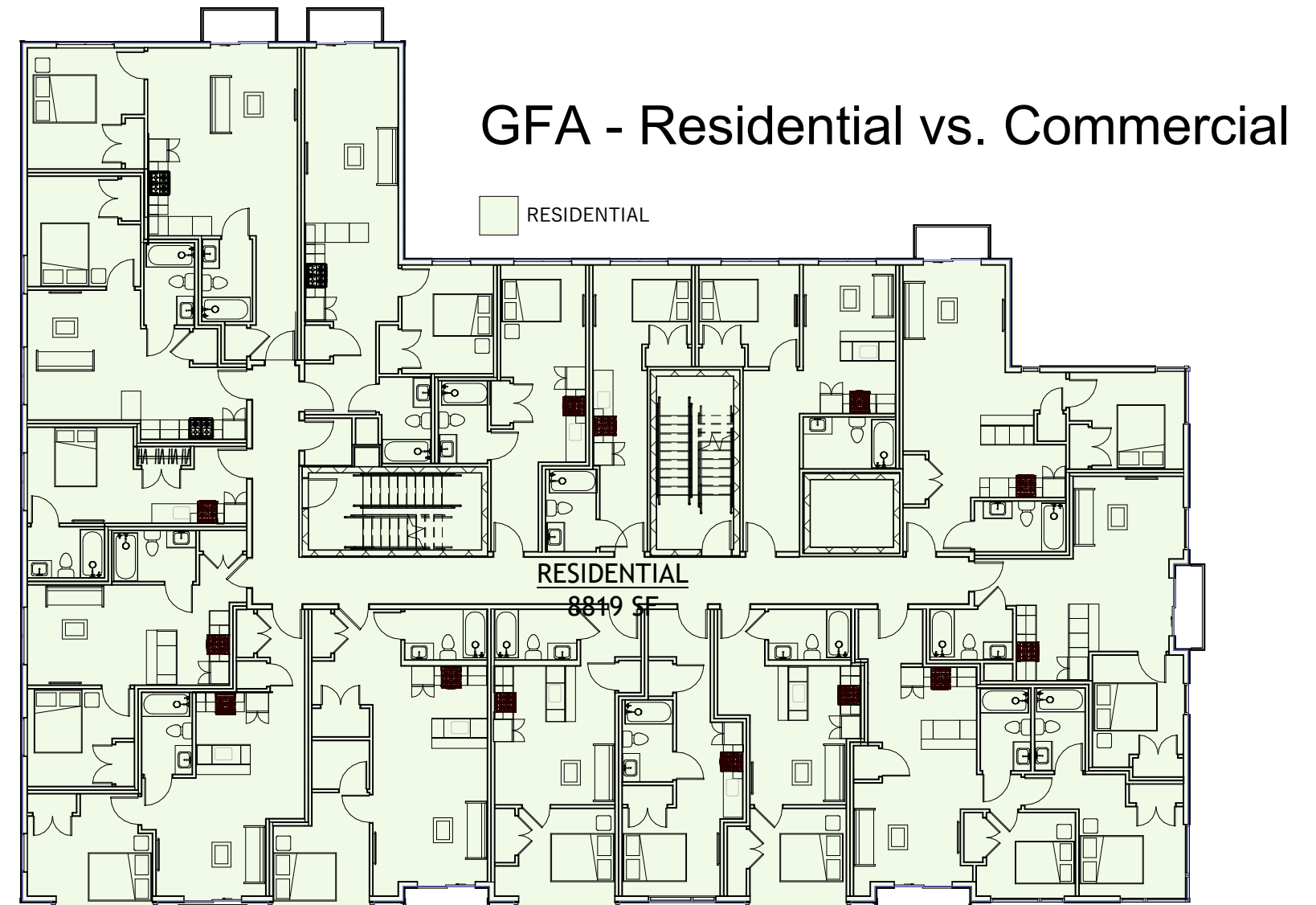
2 G2 - Wickenden Street Plan
1/16" = 1'-0"



7 5th Floor Plan
1/16" = 1'-0"



5 4th Floor Plan
1/16" = 1'-0"



3 3rd Floor Plan
1/16" = 1'-0"

Revision Schedule	
No.	Description

Project Name:
FOXPOINT MIXED-USE REDEVELOPMENT

269 WICKENDEN STREET, PROVIDENCE RI

Sheet Name:
OFF-STREET LOADING PLANS

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Checked By: PABco

Drawn By: PABco

Scale: As indicated

Date: 1/10/2025

Current Issue: Preliminary Plan

Drawing No.

PP-A0.01

Revision Schedule	No.	Date	Description				

Project Name:
FOXPOINT MIXED-USE REDEVELOPMENT
269 WICKENDEN STREET, PROVIDENCE RI

Sheet Name:
AVERAGE GRADE AND BUILDING HEIGHT

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Project No.:	.
Checked By:	PABco
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Scale:	As indicated
Date:	1/10/2025
Current Issue:	Preliminary Plan

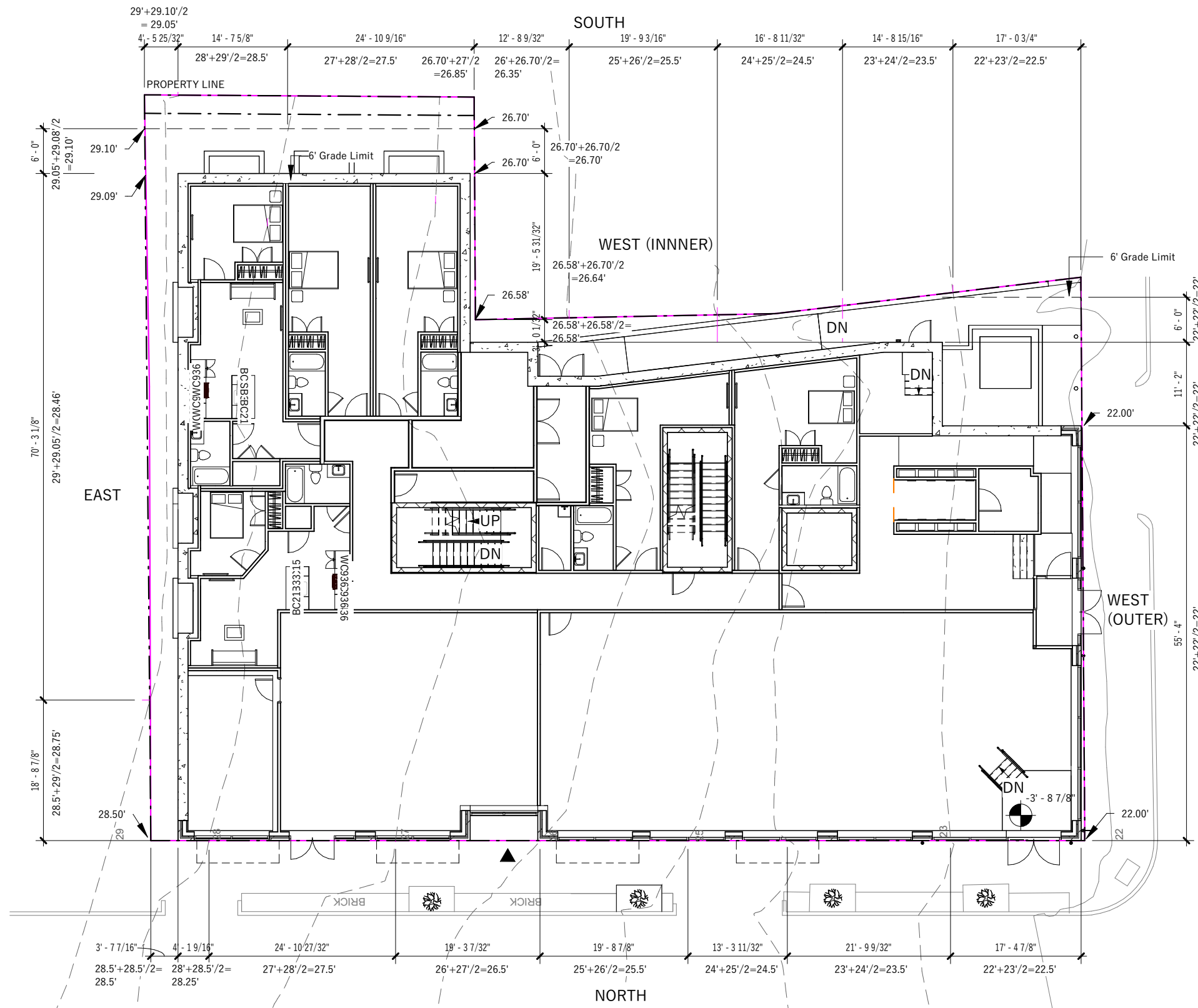
Drawing No.
PP-A0.02

AVERAGE GRADE AND BUILDING HEIGHT

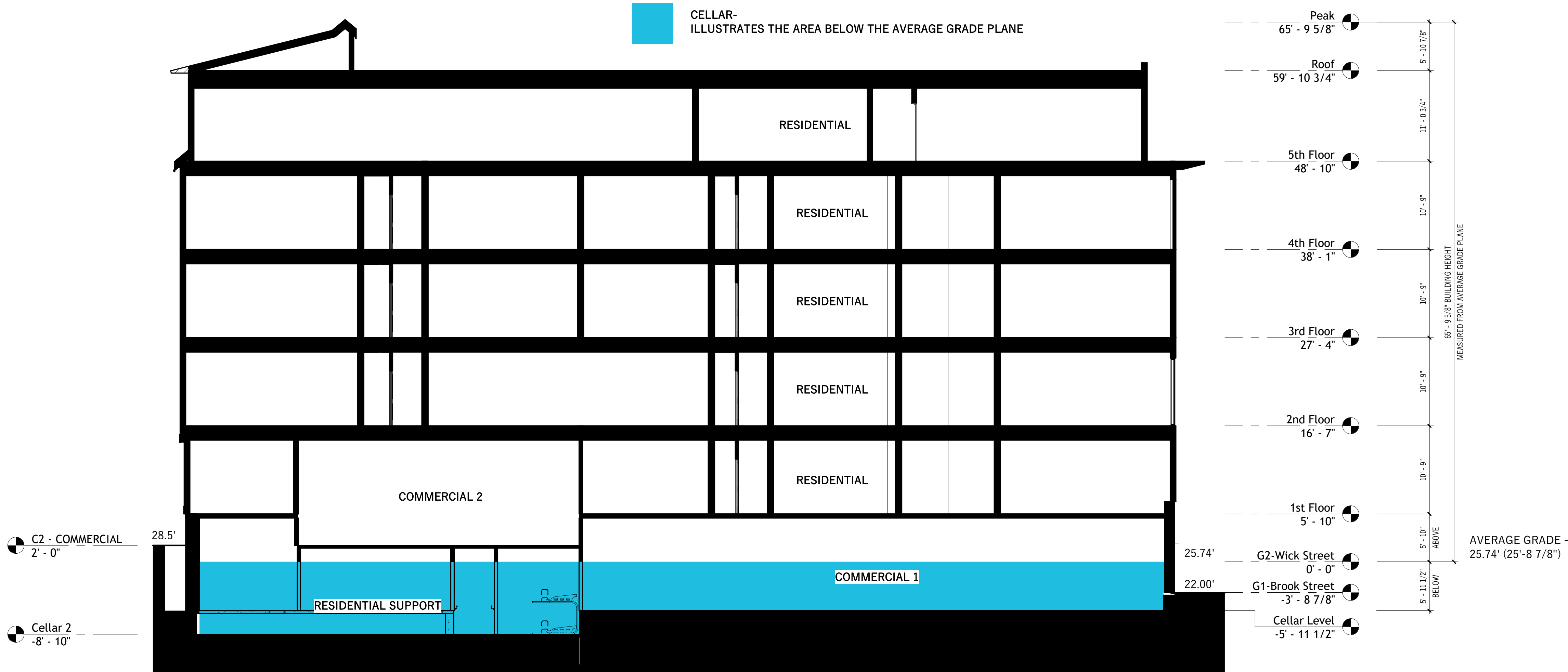
- 202: BUILDING HEIGHT -
BUILDING HEIGHT SHALL BE MEASURED FROM THE AVERAGE, EXISTING
GRADE ELEVATION
- EXEMPT -
BUILDING APPURTENANCES SUCH AS CHIMNEYS, PARAPET WALLS, SKYLIGHTS,
STEEPLES, COOLING TOWERS, ELEVATOR BULKHEADS, STAIR TOWERS.
 - STORY -
THAT PORTION OF A BUILDNG BETWEEN THE UPPER SURFACE OF ANY FLOOR
AND THE UPPER SURFACE OF THE FLOOR NEXT ABOVE
 - GRADE-
A REFERENCE PLANE REPRESENTING THE AVERAGE OF FINISHED GROUND LEVEL ADJOINING
THE BUILDING.
 - CELLAR-
THAT PORTION OF A BUILDING INCLUDED BETWEEN THE UPPER SURFACE OF ITS FLOOR AND
THE UPPER SURFACE OF THE FLOOR NEXT ABOVE, HAVING LESS THAN ONE-HALF ITS
HEIGHT ABOVE THE AVERAGE ELEVATION OF THE FINISHED LOT GRADE

SITE PLAN - CALCULATED AVERAGE GRADE
SEE PLAN ON THIS SHEET WHICH ILLUSTRATED TE CALCULATED AVERAGE GRADE

- AVERAGE GRADE = 25.74' (SITE/SURVEY)
25' - 8 7/8" (ARCHITECTURAL)
- ARCHITECTURAL ELEVATION(S)
25'-8 7/8" = 0'-0"
- SEE THE A3 SERIES - BUILDING SECTIONS FOR FURTHER INFORMATION ILLUSTRATING
VERTICAL HEIGHT

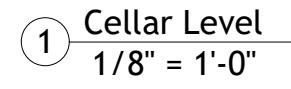


269 WICKENDEN STREET - AVERAGE WEIGHTED GRADE CALCULATIONS			
NORTH			
Avg Segment Elevation (ft)	Length Of Segment (ft)	Avg Elev x Length	Total Avg Elev x Length / Total Length
22.50	17.09	384.53	
23.50	14.75	346.83	
24.50	14.70	354.90	
25.50	19.77	504.14	
26.50	12.69	334.38	
27.50	4.76	127.81	
28.50	20.13	553.58	
29.50	14.61	416.39	
Sub Total	124.12	3147.30	Avg Elev = 25.36
SOUTH			
Avg Segment Elevation (ft)	Length Of Segment (ft)	Avg Elev x Length	Total Avg Elev x Length / Total Length
22.50	17.09	384.53	
23.50	14.75	346.83	
24.50	14.70	354.90	
25.50	19.77	504.14	
26.50	12.69	334.38	
27.50	4.76	127.81	
28.50	20.13	553.58	
29.50	14.61	416.39	
Sub Total	124.98	3206.73	Avg Elev = 25.66
EAST			
Avg Segment Elevation (ft)	Length Of Segment (ft)	Avg Elev x Length	Total Avg Elev x Length / Total Length
28.75	18.74	538.78	
29.05	70.28	2041.05	
29.10	6.00	174.60	
Sub Total	95.00	2754.43	Avg Elev = 28.99
WEST (OUTER)			
Avg Segment Elevation (ft)	Length Of Segment (ft)	Avg Elev x Length	Total Avg Elev x Length / Total Length
22.00	55.33	1217.26	
22.00	11.17	245.74	
22.00	6.00	132.00	
Sub Total	72.50	1595.00	Avg Elev = 22.00
WEST (INNER)			
Avg Segment Elevation (ft)	Length Of Segment (ft)	Avg Elev x Length	Total Avg Elev x Length / Total Length
26.58	3.00	79.74	
26.64	12.50	333.00	
26.70	6.00	160.20	
Sub Total	21.50	572.94	26.65
OVERALL			
Avg Segment Elevation (ft)	Length Of Segment (ft)	Avg Elev x Length	Total Avg Elev x Length / Total Length
North	124.12	3147.30	
South	124.98	3206.73	
East	95.00	2754.43	
West (Outer)	72.50	1595.00	
West (Inner)	21.50	572.94	
Total	438.10	11276.39	25.74
Average Elevation: 25.74' (25'-8 7/8")			



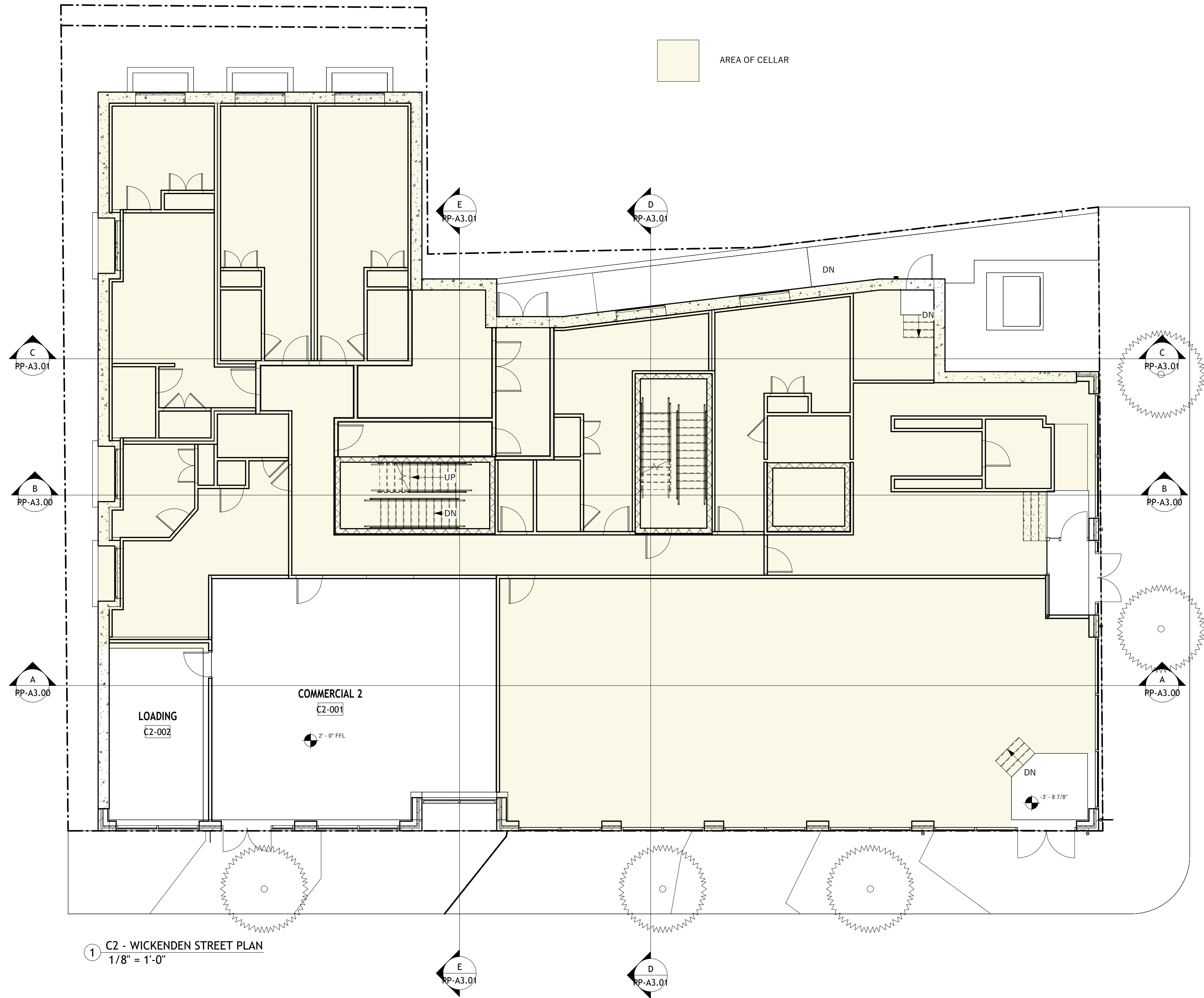
1 BUILDING SECTION - AVERAGE GRADE
1/8" = 1'-0"

2 LANDSCAPE PLAN - AVERAGE GRADE
1/16" = 1'-0"



Sheet Name: CELLAR PLAN

PP-A1.00



Revision Schedule		
No.	Date	Description

Project Name:
FOXPOINT MIXED-USE REDEVELOPMENT
269 WICKENDEN STREET, PROVIDENCE RI

Sheet Name:
C2-WICKENDEN STREET PLAN

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Project No.: .

Checked By: PABco

Drawn By: PABco

Scale: 1/8" = 1'-0"

Date: 1/10/2025

Current Issue: Preliminary Plan

Drawing No.
PP-A1.01



1 1st Floor
1/8" = 1'-0"

Revision Schedule	
No.	Description

Project Name:
FOXPOINT MIXED-USE REDEVELOPMENT
269 WICKENDEN STREET, PROVIDENCE RI

Sheet Name:
1ST FLOOR PLAN

Stamp:

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Project No.:

Checked By: PABco

Drawn By: PABco

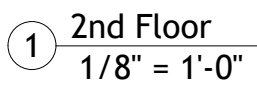
Scale: 1/8" = 1'-0"

Date: 1/10/2025

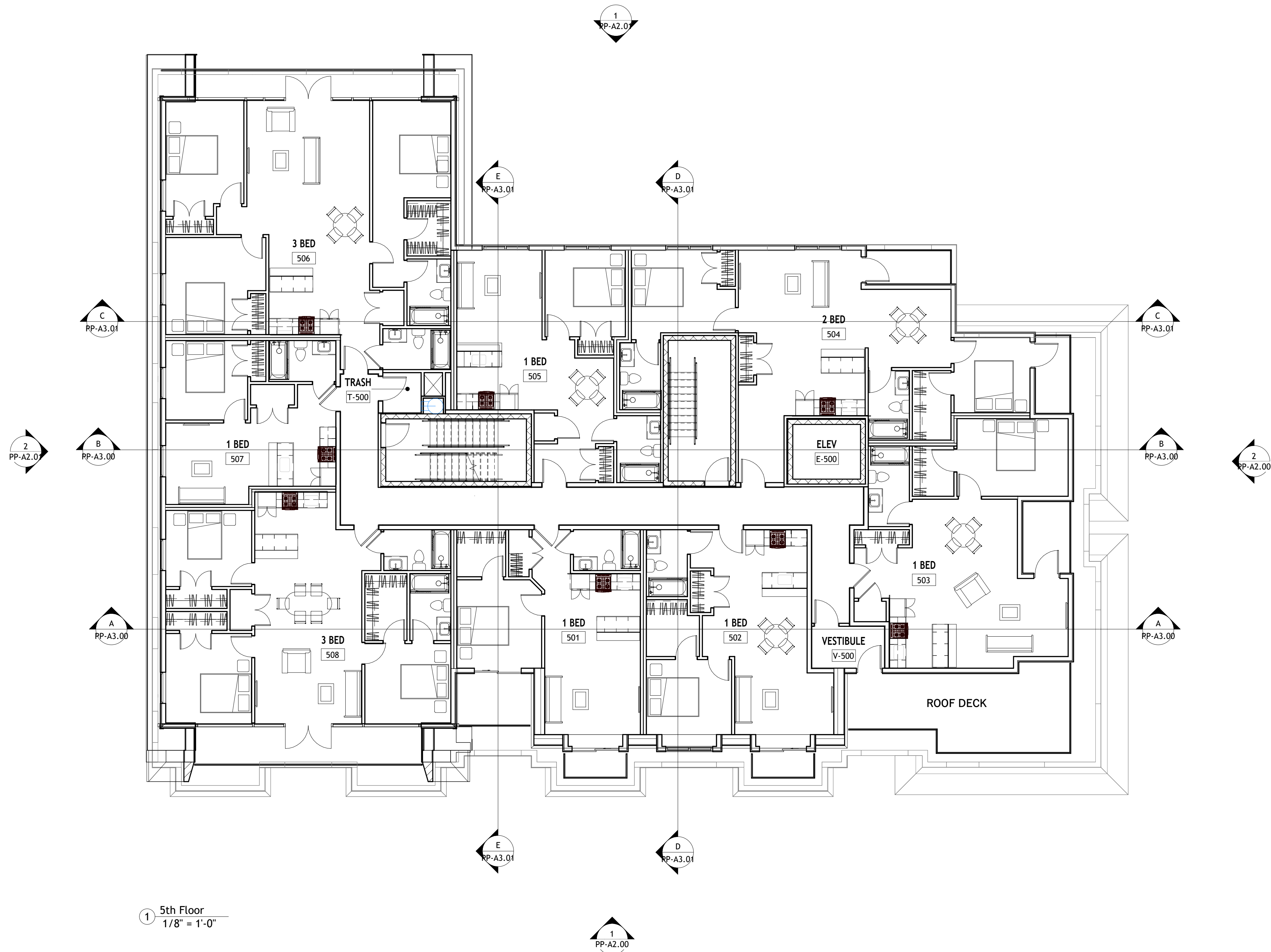
Current Issue: Preliminary Plan

Drawing No.

PP-A1.02



PP-A1.03



Revision Schedule	
No.	Description

Project Name:
FOXPOINT MIXED-USE REDEVELOPMENT
269 WICKENDEN STREET, PROVIDENCE RI

Sheet Name:
5th FLOOR AND ROOF DECK PLAN

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Project No.: .

Checked By: PABco

Drawn By: PABco

Scale: 1/8" = 1'-0"

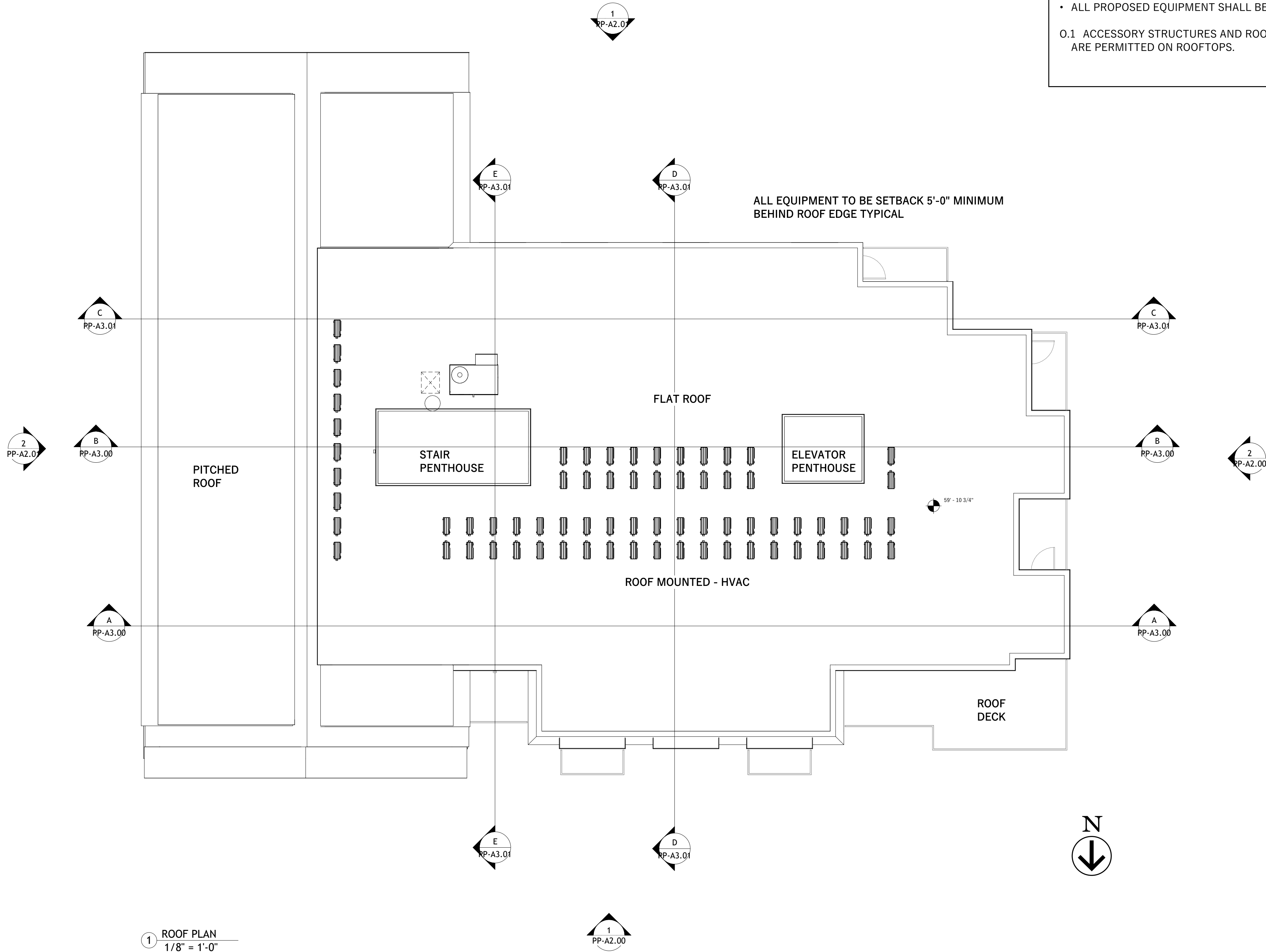
Date: 1/10/2025

Current Issue: Preliminary Plan

Drawing No.

PP-A1.04

1/10/2025 9:26:14 AM



ROOF PLAN NOTES

1302: ACCESSORY STRUCTURES AND USES
L.2 ROOF MOUNTED EQUIPMENT
FOR STRUCTURES THREE OR MORE STORIES IN HEIGHT, ALL ROOF EQUIPMENT SHALL BE SET BACK FROM THE EDGE OF THE ROOF A MINIMUM DISTANCE OF 1 FOOT FOR EVERY 2 FEET BY WHICH THE EQUIPMENT EXTENDS ABOVE THE ROOF.
• ALL PROPOSED EQUIPMENT SHALL BE SET BACK 5'-0" MIN.

O.1 ACCESSORY STRUCTURES AND ROOFTOP FEATURES, INCLUDING ROOF DECKS, ARE PERMITTED ON ROOFTOPS.

Revision Schedule							
No.	Date	Description					

Project Name: FOXPOINT MIXED-USE REDEVELOPMENT 269 WICKENDEN STREET, PROVIDENCE RI	Sheet Name: ROOF PLAN

Stamp:	
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Project No.:	.
Checked By:	PABco
Drawn By:	PABco
Scale:	As indicated
Date:	1/10/2025
Current Issue:	Preliminary Plan

Drawing No.
PP-A1.05

503: FENESTRATION

- GROUND FLOOR FACADES SHALL CONTAIN A TOTAL AREA OF TRANSPARENCY OF 50% OR MORE OF THE WALL AREA OF THE GROUND FLOOR, MEASURED BETWEEN 2' AND 9' ABOVE THE ADJACENT GRADE.
- EACH UPPER STORY FACADE SHALL PROVIDE AREAS OF TRANSPARENCY EQUAL TO AT LEAST 10% OF THE WALL AREA OF THE STORY.

GLAZING AREAS ARE BASED ON FACADE AREAS OF EACH EXTERIOR ELEVATION:

BROOK STREET	20% GLAZED AREA
GROUND FLOOR	
NORTH ELEVATION	45% GLAZED AREA
WEST ELEVATION	23% GLAZED AREA
SOUTH ELEVATION	26% GLAZED AREA
EAST ELEVATION	16% GLAZED AREA

A	FIBER CEMENT HORIZONTAL SIDING
B	FIBER CEMENT SMOOTH PANEL SIDING
C	BRICK VENEER
D	STOREFRONT GLAZING SYSTEM
E	DOUBLE-HUNG WINDOW
F	WINDOW UNIT
G	ARCHITECTURAL ASPHALT SHINGLES
H	BALCONY
I	JULIET BALCONY
J	STANDING SEAM METAL ROOF
K	EXPOSED CONCRETE FOUNDATION WALL
L	SPLIT-FACE BLOCK WALL
M	AREAWAY / WINDOW WELL

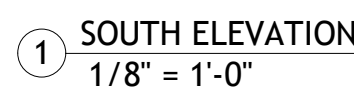
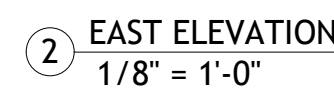
[illegible]

503: FENESTRATION

- GROUND FLOOR FACADES SHALL CONTAIN A TOTAL AREA OF TRANSPARENCY OF 50% OR MORE OF THE WALL AREA OF THE GROUND FLOOR, MEASURED BETWEEN 2' AND 9' ABOVE THE ADJACENT GRADE.
- EACH UPPER STORY FACADE SHALL PROVIDE AREAS OF TRANSPARENCY EQUAL TO AT LEAST 10% OF THE WALL AREA OF THE STORY.

BROOK STREET
GROUND FLOOR

A	FIBER CEMENT HORIZONTAL SIDING
B	FIBER CEMENT SMOOTH PANEL SIDING
C	BRICK VENEER
D	STOREFRONT GLAZING SYSTEM
E	DOUBLE-HUNG WINDOW
F	WINDOW UNIT
G	ARCHITECTURAL ASPHALT SHINGLES
H	BALCONY
I	JULIET BALCONY
J	STANDING SEAM METAL ROOF
K	EXPOSED CONCRETE FOUNDATION WALL
L	SPLIT-FACE BLOCK WALL
M	AREAWAY / WINDOW WELL

[illegible]

Sheet Name: SOUTH AND EAST ELEVATIONS

Project No.:	.
Checked By:	PABco
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Scale:	As indicated
Date:	1/10/2025
Current Issue:	Preliminary Plan
Drawing No.	

PP-A2.01

[illegible]

Project Name: **FOXPOINT MIXED-USE REDEVELOPMENT**
269 WICKENDEN STREET, PROVIDENCE RI

Sheet Name: DEVELOPMENT RENDERINGS

Stamp

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Project No.

Checked By:	PABco
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Scale:

Date:	1/10/2025
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Current Issue: Preliminary Plan

Drawing No.

PP-A2.02



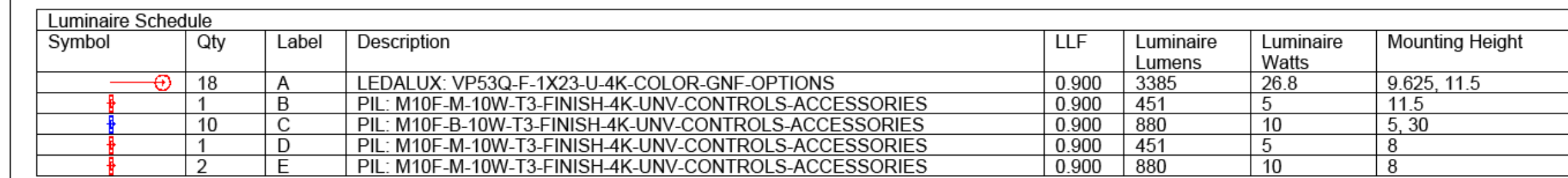
3 Street View 1



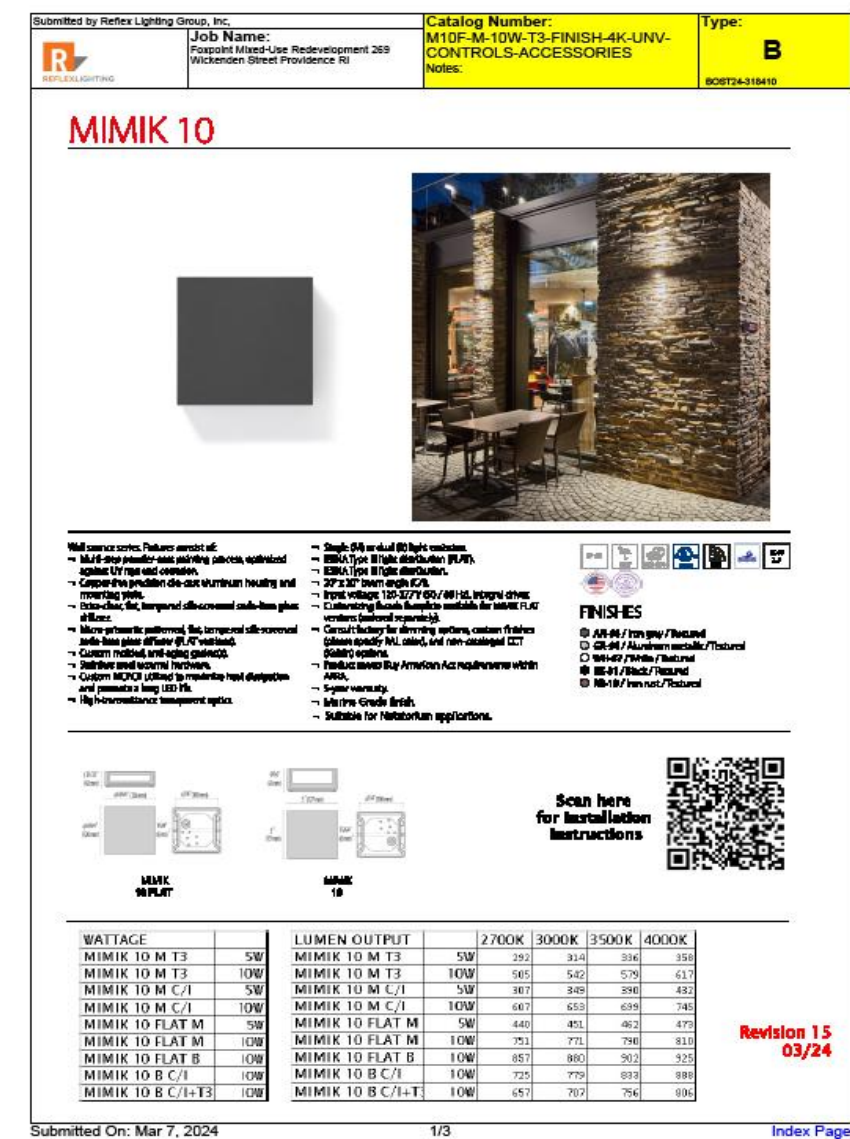
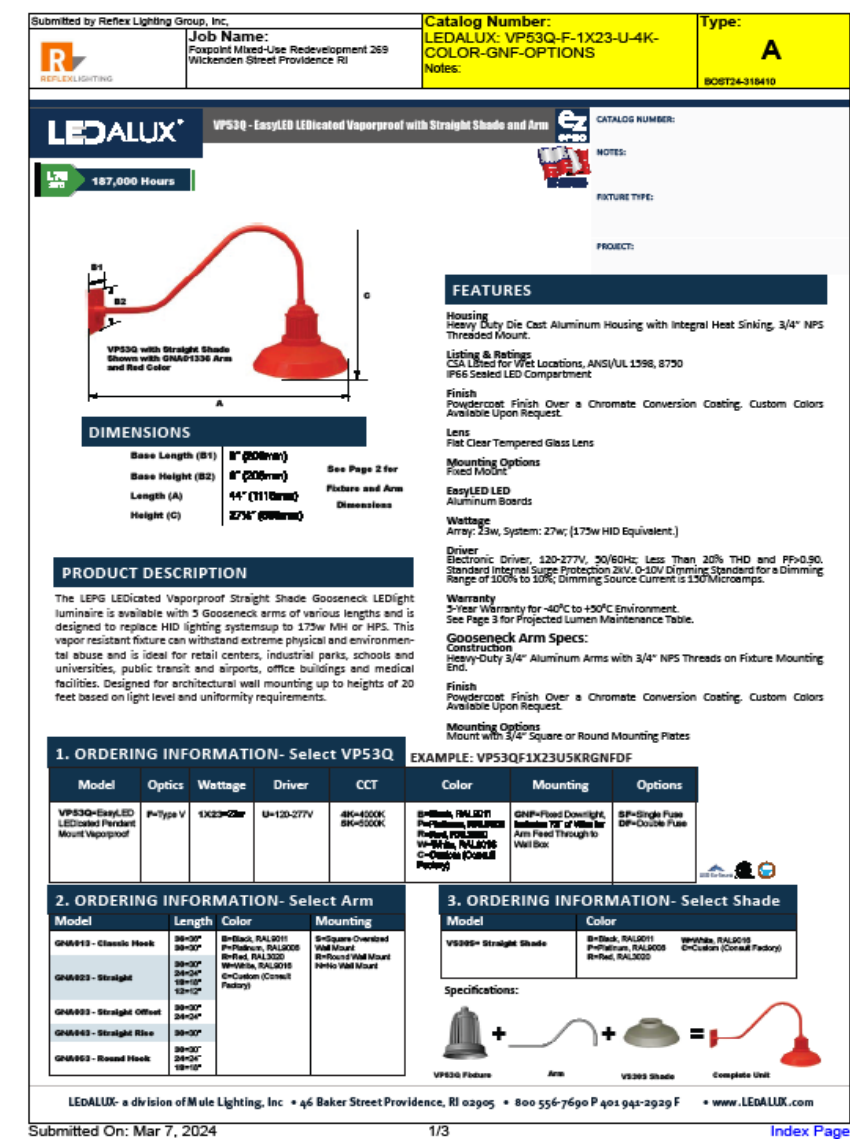
2 Axon Rear View



1 Axon View



Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
PLAN EAST GRADE	Fc	7.72	28.5	0.4	19.30	71.25
PLAN NORTH BALCONY	Fc	2.45	2.8	2.0	1.23	1.40
PLAN SOUTH GRADE	Fc	14.73	31.8	3.3	4.46	9.64
WRAP AROUND PATIO	Fc	2.48	8.1	0.1	24.80	81.00

[illegible]

Project Name: **FOXPOINT MIXED-USE REDEVELOPMENT**
269 WICKENDEN STREET, PROVIDENCE RI

Sheet Name: EXTERIOR LIGHTING AND PHOTOMETRICS

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Scale:

Date: 1/10/2025

Current Issue: Preliminary Plan

Drawing No.

PP-A2.03

1600: SIGNAGE INFORMATION

THE INFORMATION NOTED HERE IS TAKEN FROM ARTICLE 16: SIGNS. THIS PROJECT WILL DEMONSTRATE COMPLIANCE FOR BOTH

- 1606 - SIGNS EXEMPT FROM PERMIT REQUIREMENTS
- 1607 - SIGNS REQUIRING PERMIT

THIS PROJECT PROPOSES TWO(2) SIGN TYPES:

1606 - WINDOW SIGN - THIS SIGN TYPE WILL IDENTIFY (PERMIT NOT REQUIRED)
-PROPERTY ADDRESS
-NAME OF BUSINESS

Q.
SIGNS SHALL BE LIMITED TO 25% OF THE SURFACE OF EACH WINDOW AREA.

1607 - PROJECTING SIGN - THIS SIGN TYPE WILL IDENTIFY (PERMIT REQUIRED)
-NAME OF RESIDENTIAL PROPERTY
-NAME OF BUSINESS

- H.**
1. SIGNS ARE PERMITTED PER TABLE 16-2, SIGN IS DISTRICT C-2 SHALL BE LIMITED TO 20 SF.
 2. ONE SIGN IS PERMITTED PER EACH FACADE OF AN ESTABLISHMENT. SIGNS SHALL BE ABOVE OR ADJACENT TO THE BUILDING ENTRANCE.
 3. SIGNS MAY ENCROACH THE PUBLIC RIGHT-OF-WAY.
 4. SIGN SHALL MAINTAIN A VERTICAL CLEARANCE OF 8'-0".

- NOTE- ALL SIGN NAMES ARE USED TO ILLUSTRATE DESIGN INTENT. FINAL NAME(S) SHALL BE DETERMINED BASED ON END USER.

SIGN TYPE LEGEND

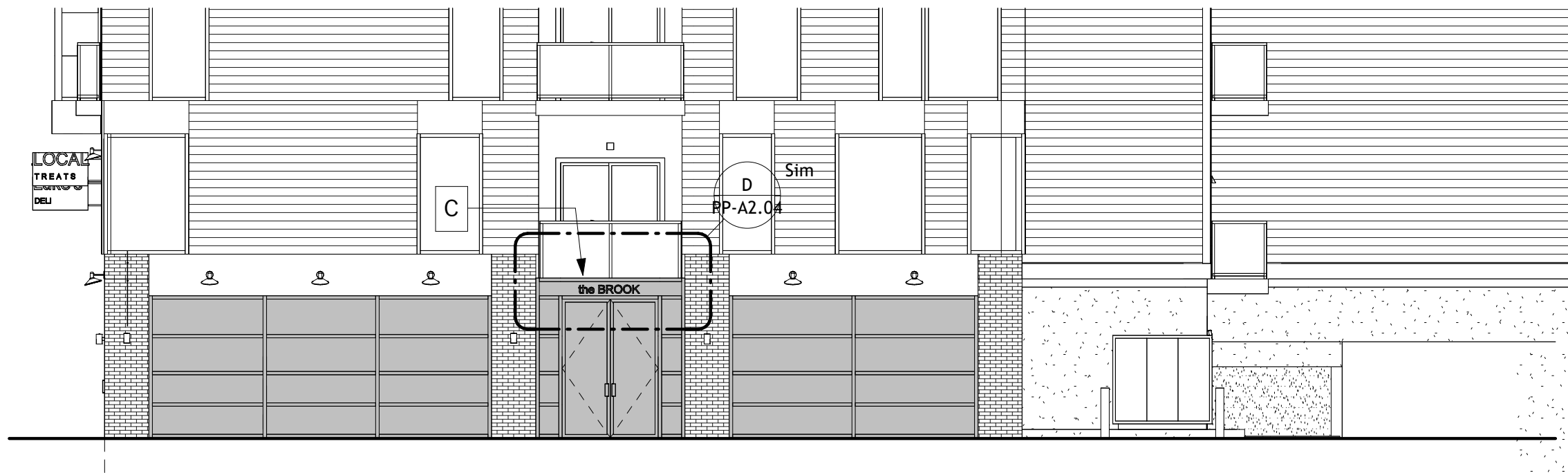
WINDOW SIGN

- A** NAME OF BUSINESS
B NAME OF BUSINESS

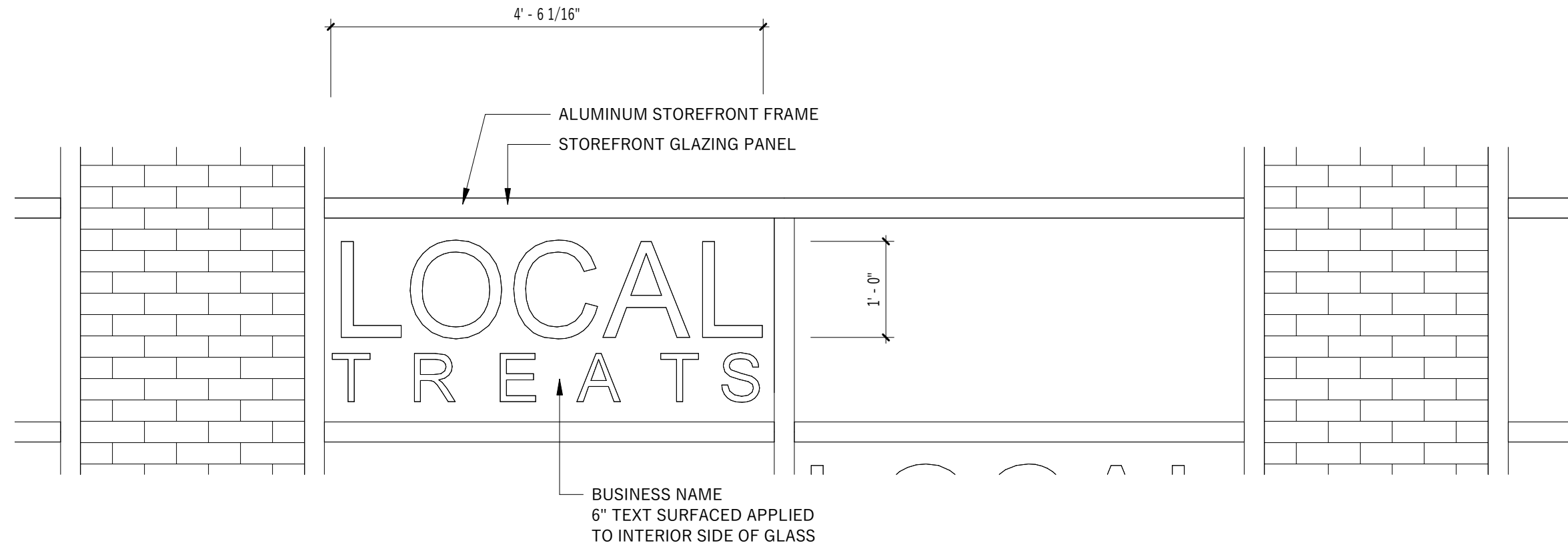
GLAZED AREA

PROJECTING SIGN

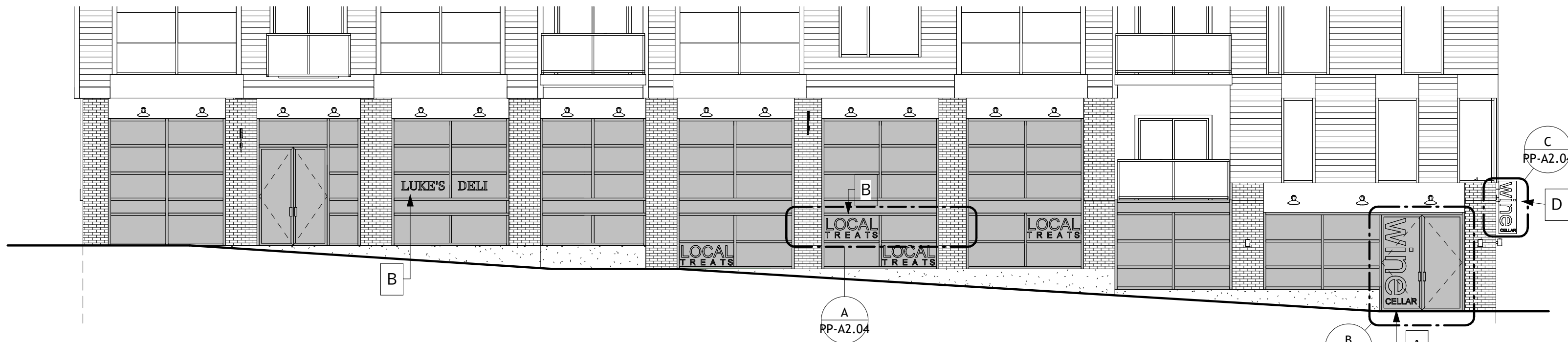
- C** NAME OF RESIDENTIAL PROPERTY
D NAME OF BUSINESS



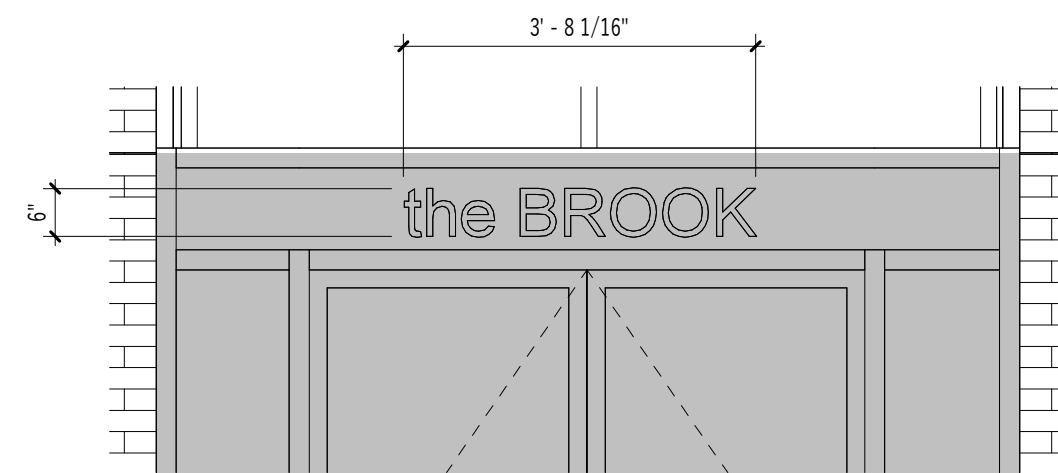
5 WEST ELEVATION - SIGNAGE
1/8" = 1'-0"



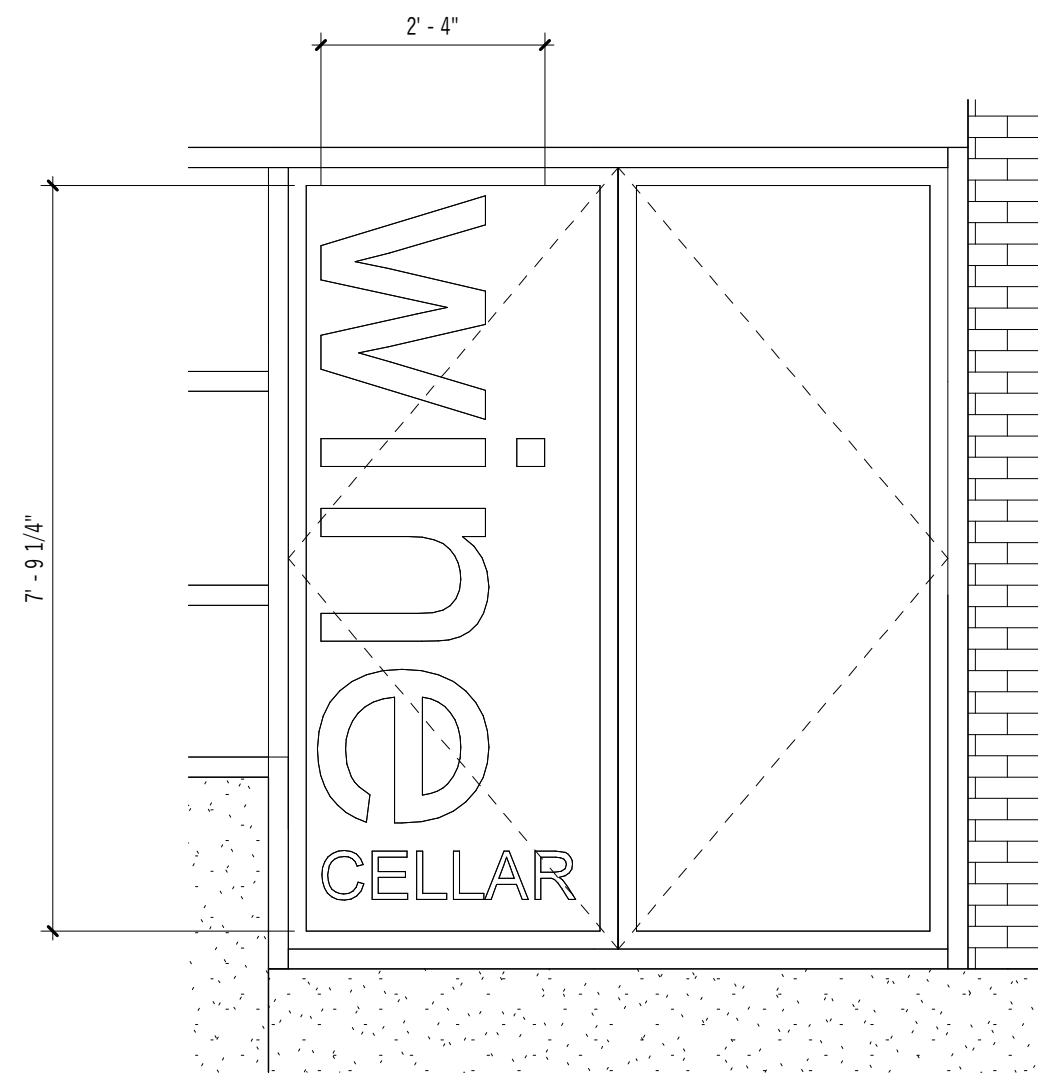
A SIGN TYPE B
3/4" = 1'-0"



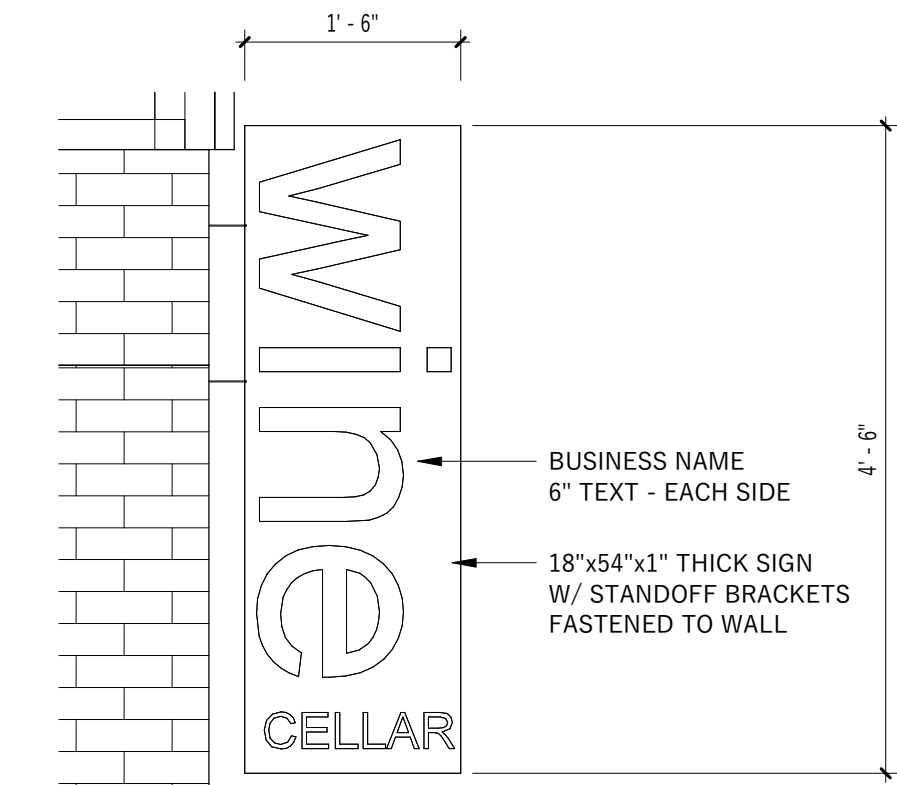
1 NORTH ELEVATION - SIGNAGE
1/8" = 1'-0"



D SIGN TYPE C
1/2" = 1'-0"



B SIGN TYPE A
1/2" = 1'-0"



C SIGN TYPE D
3/4" = 1'-0"

The **PROVIDENCE**
ARCHITECTURE &
BUILDING Co.

Revision Schedule	Description	
	No.	Date

Project Name:
FOXPOINT MIXED-USE REDEVELOPMENT
269 WICKENDEN STREET, PROVIDENCE RI

Sheet Name:
SIGNAGE INFORMATION

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PP-A2.04

[illegible]

Project Name: **FOXPOINT MIXED-USE REDEVELOPMENT**
269 WICKENDEN STREET, PROVIDENCE RI

Sheet Name: BUILDING SECTION - A and B

Stamp:

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Project No.: .

Checked By: PABco

Drawn By: PABco

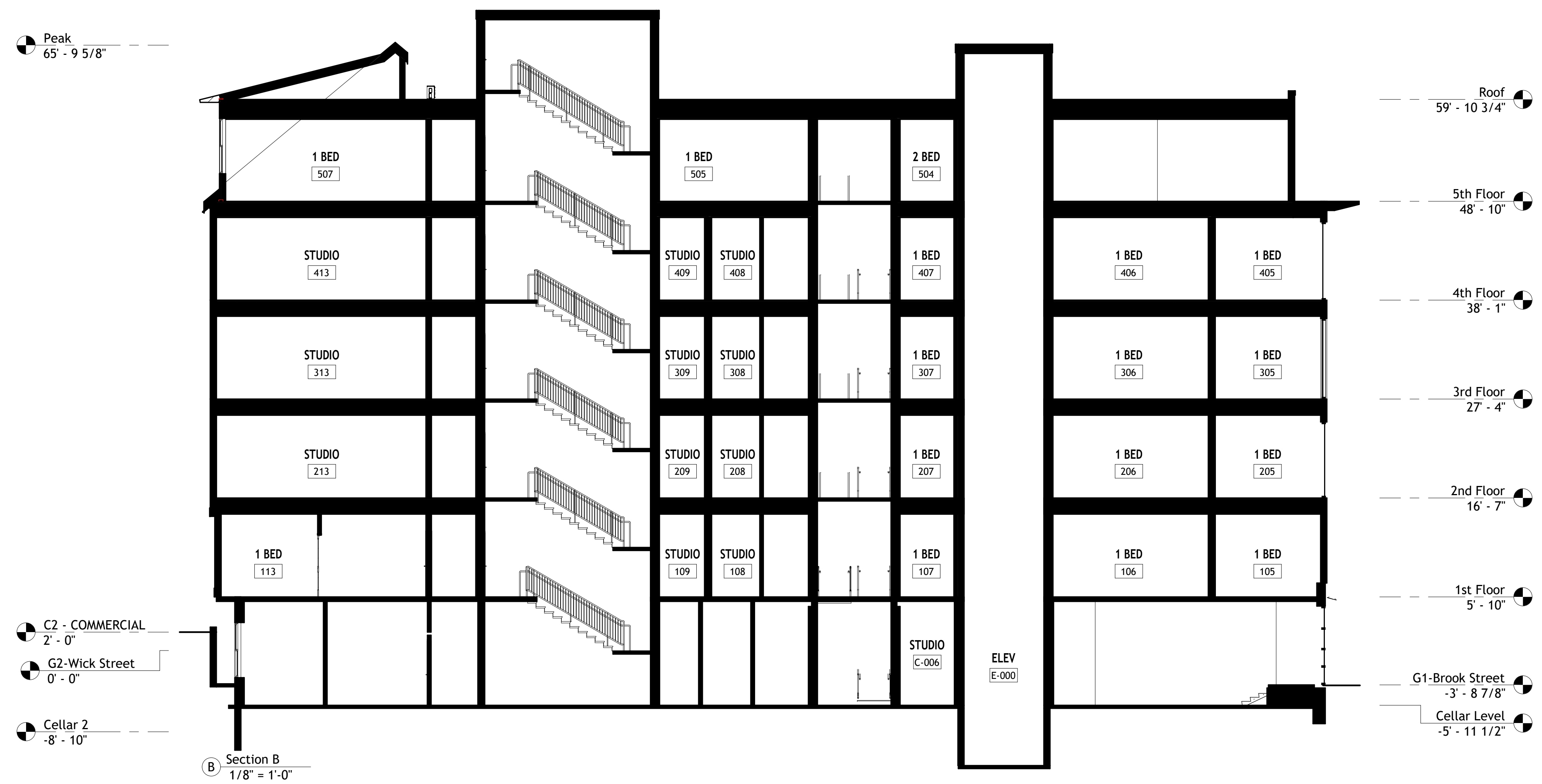
Scale: $1/8" = 1'-0"$

Date: 1/10/2025

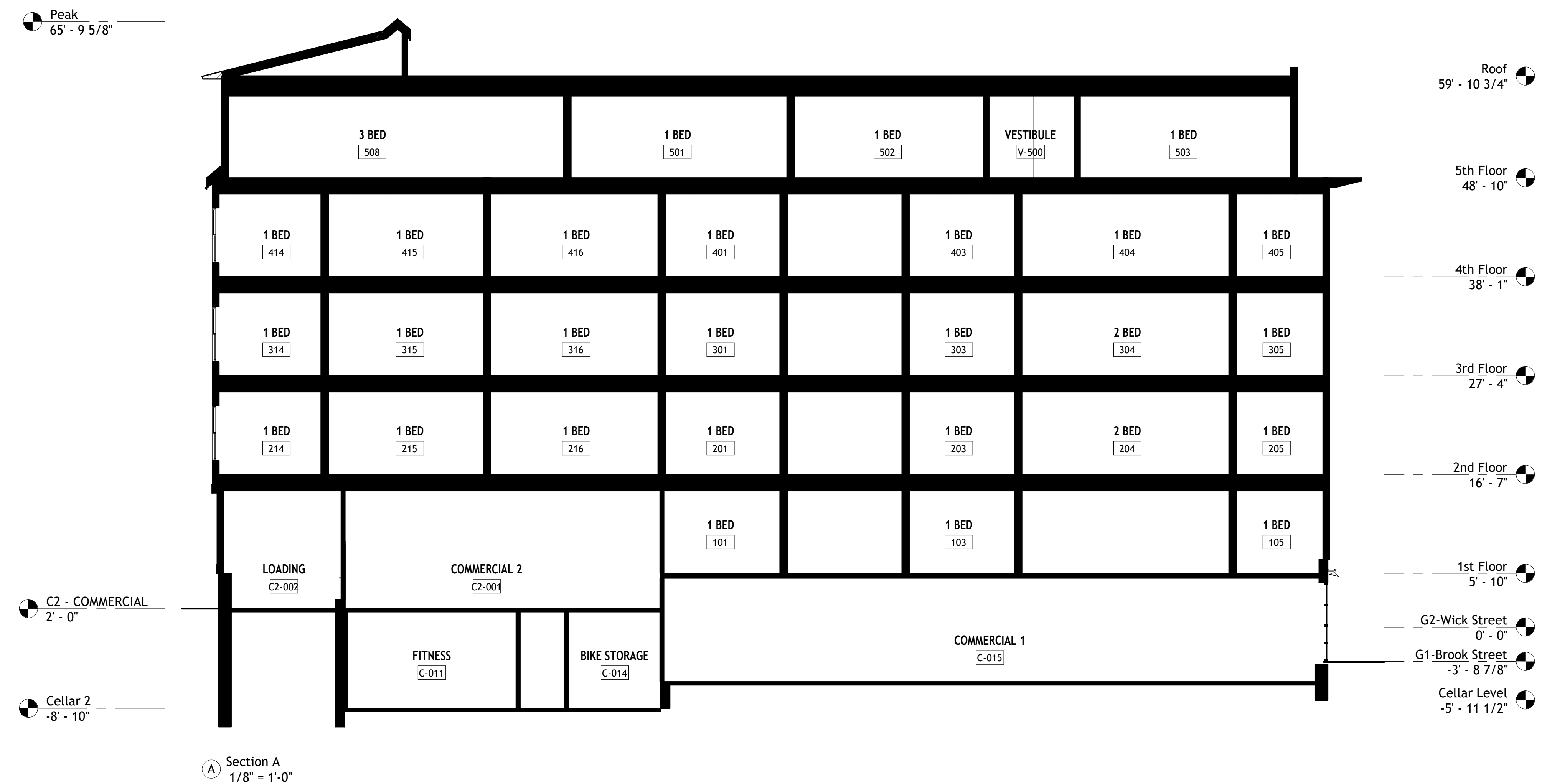
Current Issue:	Preliminary Plan
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Drawing No. _____

PP-A3.00



SEE A1 SHEETS FOR BUILDING CUT LOCATIONS



1/10/2025 9:28:52 AM

Peak
65' - 9 5/8"

C2 - COMMERCIAL
2' - 0"

Cellar 2
-8' - 10"

Section C
1/8" = 1'-0"

SEE A1 SHEETS FOR BUILDING CUT LOCATIONS

G2-Wick Street
0' - 0"
G1-Brook Street
-3' - 8 7/8"
Cellar 2
-8' - 10"

Section E
1/8" = 1'-0"

Roof
59' - 10 3/4"
5th Floor
48' - 10"
4th Floor
38' - 1"
3rd Floor
27' - 4"
2nd Floor
16' - 7"
1st Floor
5' - 10"
Cellar Level
-5' - 11 1/2"

G2-Wick Street
0' - 0"
G1-Brook Street
-3' - 8 7/8"
Cellar 2
-8' - 10"

Section D
1/8" = 1'-0"

Roof
59' - 10 3/4"
5th Floor
48' - 10"
4th Floor
38' - 1"
3rd Floor
27' - 4"
2nd Floor
16' - 7"
1st Floor
5' - 10"
G2-Wick Street
0' - 0"
G1-Brook Street
-3' - 8 7/8"
Cellar Level
-5' - 11 1/2"

The PROVIDENCE
ARCHITECTURE &
BUILDING Co.

Revision Schedule	No.		Date		Description	

Project Name:
FOXPOINT MIXED-USE REDEVELOPMENT
269 WICKENDEN STREET, PROVIDENCE RI

Sheet Name:
BUILDING SECTION - C, D, and E

Stamp:

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Project No.:

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Scale: 1/8" = 1'-0"

Date: 1/10/2025

Current Issue: Preliminary Plan

Drawing No.

PP-A3.01