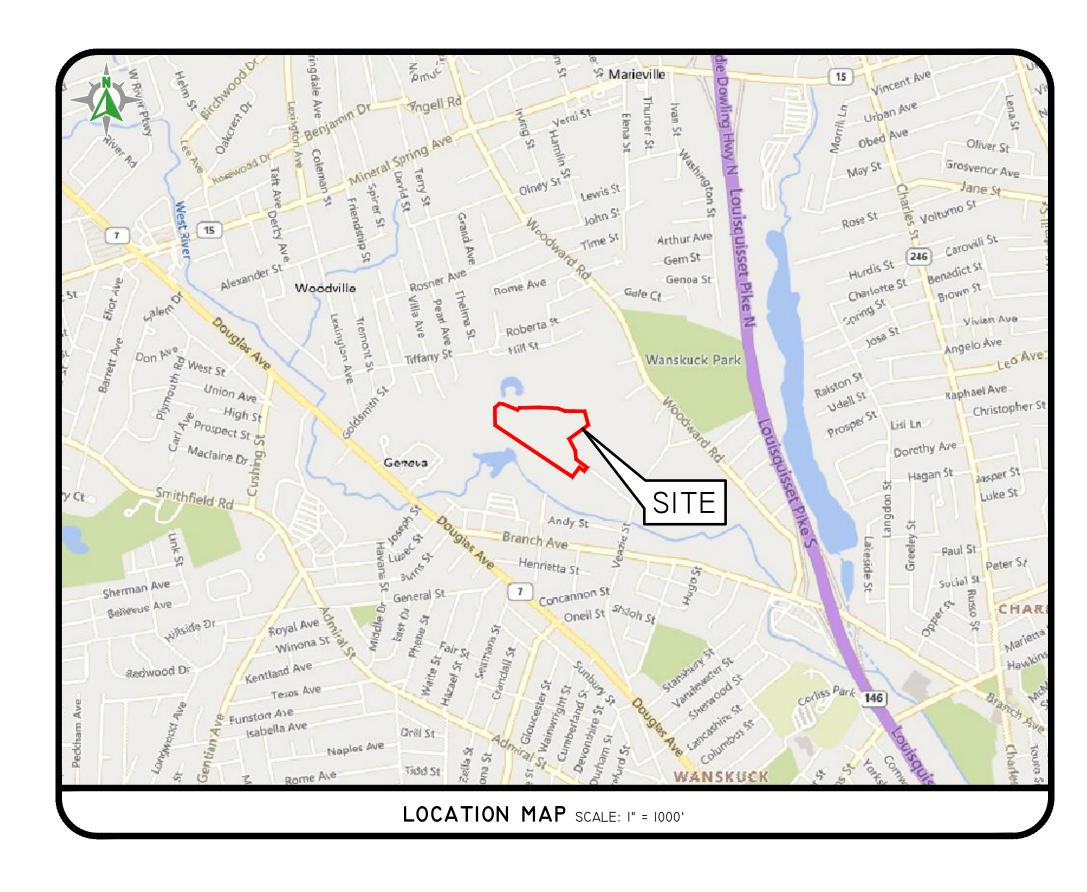
# MASTER PLAN SUBMISSION

# NEW PROVIDENCE BUSINESS PARK

70 HOUGHTON STREET PROVIDENCE, RHODE ISLAND

ASSESSOR'S PLAT 78 LOT 457



# SHEET LIST TABLE

- Cover Sheet
- 2 Aerial Half-Mile Radius & USGS Map
- Existing Conditions Plan
- Site Layout Plan
- 200' Radius Map
- Landscape Plan
- **Building Elevations**

# **GENERAL NOTES:**

- I. THE SITE IS LOCATED ON THE CITY OF PROVIDENCE, RHODE ISLAND ASSESSOR'S PLAT 78 LOT 457.
- 2. THE SITE IS APPROXIMATELY 9.0± ACRES AND IS ZONED M-MU-75.
- 3. THE OWNER OF AP 78 LOT 457 IS: PROVIDENCE REDEVELOPMENT AGENCY 400 WESTMINSTER ST

4. THIS SITE IS LOCATED IN FEMA FLOOD ZONES X. REFERENCE FEMA FLOOD INSURANCE RATE MAP

PROVIDENCE, RI 02903-3222

ZONE X (UNSHADED) - THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. ZONE X ARE AREAS WHERE THERE IS MINIMAL FLOODING.

44007C0302H, MAP REVISED OCTOBER 02, 2015. (FLOOD PLAIN DESCRIPTIONS SHOWN ABOVE)

- 5. THE BOUNDARY SHOWN ON THIS PLAN IS COMPILED FROM DOCUMENTS OF RECORD AND NOT TO BE CONSTRUED AS A BOUNDARY SURVEY. THIS COMPILATION PLAN HAS BEEN PREPARED FROM SOURCES OF INFORMATION AND DATA WHOSE POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED. THE PROPERTY LINES DEPICTED HEREIN DO NOT REPRESENT A BOUNDARY OPINION, AND OTHER INFORMATION DEPICTED IS SUBJECT TO SUCH CHANGES AS AN AUTHORITATIVE FIELD
- 6. CONTOUR DATA SHOWN ON THIS PLAN CONFORMS TO A T-4 TOPOGRAPHICAL SURVEY STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS; SAID DATA IS BASED ON ELEVATION INFORMATION THAT WAS COLLECTED WITH AIRBORNE LIDAR TECHNOLOGY FOR THE ENTIRE AREA OF RHODE ISLAND BETWEEN APRIL 22 AND MAY 6, 2011 AS PART OF THE NORTHEAST LIDAR PROJECT. THIS DATA'S POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED BY DIPRETE ENGINEERING AND IS SUBJECT TO CHANGES AN AUTHORITATIVE FIELD SURVEY MAY DISCLOSE.
- 7. THE SITE IS NOT WITHIN A:
  - GROUNDWATER PROTECTION AREA (RIDEM) NATURAL HERITAGE AREAS (RIDEM) GROUNDWATER PROTECTION OVERLAY DISTRICT (TOWN)
- 8. THE SITE IS WITHIN A
  - HISTORIC DISTRICT (CITY) LOCAL CONSERVATION AREA (CITY)
- 9. WETLAND EDGES FROM RIGIS MAPPING AND ARE TO BE CONSIDERED APPROXIMATE.

#### **SOIL INFORMATION:**

(REFERENCE: SOIL MAPPING OBTAINED FROM RIGIS. SOIL GEOGRAPHIC DATA DEVELOPED BY THE RHODE ISLAND SOIL SURVEY PROGRAM IN PARTNERSHIP WITH THE NATIONAL COOPERATIVE SOIL SURVEY) SOIL NAME DESCRIPTION

CANTON-CHARLTON-ROCK OUTCROP COMPLEX, I5 TO 35 PERCENT SLOPES UDORTHENTS-URBAN LAND COMPLEX URBAN LAND

# EXISTING LEGEND NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS

PROPERTY LINE ASSESSORS LINE CITY/TOWN LINE ZONING LINE BUILDING WETLAND EDGE AND HATCH

BRUSHLINE

RETAINING WALL MINOR CONTOUR LINE MAJOR CONTOUR LINE

SOILS LINES

25' WETLAND BUFFER 50' WETLAND BUFFER 75' WETLAND BUFFER 100' RIVERFRONT BUFFER

FEMA BOUNDARY

WETLAND LINE & FLAG

GROUNDWATER OVERLAY GROUNDWATER RECHARGE AREA GROUNDWATER RESERVOIR NATURAL HERITAGE

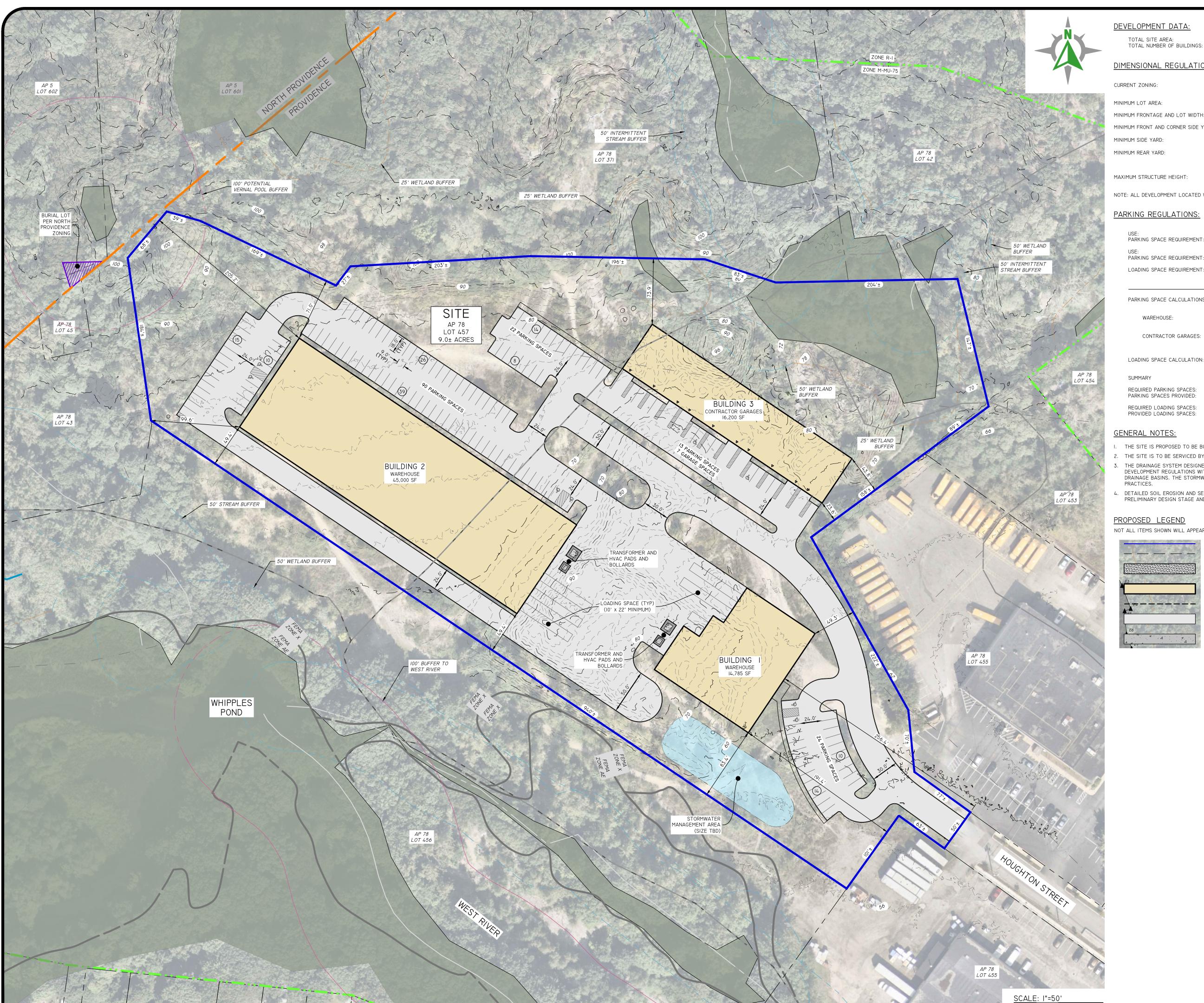
COMMUNITY WELLHEAD PROTECTION NON-COMMUNITY WELLHEAD PROTECTION

BRANDON D. CARR

REGISTERED PROFESSIONAL ENGINEER CIVIL

EXISTING CONDITIONS PLAN

NEW PROVIDENCE BUSINESS PARK
ASSESSOR'S PLAT 78 LOT 457
PROVIDENCE, RHODE ISLAND
PREPARED FOR:
COLLEGE HILL DEVELOPMENT, LLC
10 GREENE STREET, PROVIDENCE, RHODE ISLAND 02904



# DEVELOPMENT DATA:

TOTAL SITE AREA: 9.0± ACRES TOTAL NUMBER OF BUILDINGS:

# **DIMENSIONAL REGULATIONS:**

CURRENT ZONING:	RENT ZONING: M-MU-75 REQUIRE		R-I (RESIDENTIAL) REQUIRED PROVIDE	
MINIMUM LOT AREA:	N/A		5,000 SF	394,875± 9
MINIMUM FRONTAGE AND LOT WIDTH:	N/A		50'	50'
MINIMUM FRONT AND CORNER SIDE YARD:	0'	(10' IF ACROSS FROM RESIDENTIAL DISTRICT)	30'	256.4'
MINIMUM SIDE YARD:	0'	(10' IF ABUTTING A RESIDENTIAL DISTRICT)	6'	23.6'
MINIMUM REAR YARD:	0'	(20' IF ABUTTING A RESIDENTIAL DISTRICT)	25% LOT DEPTH OR 25' WHICHEVER IS LESS	205.2'

NOTE: ALL DEVELOPMENT LOCATED WITHIN THE M-MU-75 ZONE

# PARKING REGULATIONS:

PARKING SPACE REQUIREMENT: I SPACE PER 20,000 SF GFA OF WAREHOUSE SPACE

CONTRACTOR GARAGE 2 SPACES PER UNIT (BASED ON SIMILAR USES IN OTHER MUNICIPALITIES) PARKING SPACE REQUIREMENT:

40' MAX 3 STORIES

LOADING SPACE REQUIREMENT: 20K-100K GFA = I SPACE

IOOK-200K GFA = 2 SPACES +I SPACE PER 50K ADDITIONAL

PARKING SPACE CALCULATIONS:

59,795 SF ( BUILDINGS | & 2 ) 59,795 / 20,000 = 3 SPACES WAREHOUSE:

7 UNITS (BUILDING 3) 7 x 2 = 14 SPACES

<100,000 SF = I LOADING SPACE REQUIRED LOADING SPACE CALCULATION:

SUMMARY

REQUIRED PARKING SPACES:

149 SURFACE PARKING SPACES, 14 GARAGE SPACES PARKING SPACES PROVIDED: 2 SPACES

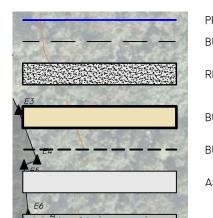
REQUIRED LOADING SPACES: PROVIDED LOADING SPACES: 6 SPACES

# **GENERAL NOTES:**

- . THE SITE IS PROPOSED TO BE BUILT IN (I) PHASE.
- THE SITE IS TO BE SERVICED BY PUBLIC WATER AND PUBLIC SEWER.
- THE DRAINAGE SYSTEM DESIGNED WILL MEET THE CITY OF PROVIDENCE'S SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WITH THE USE OF CATCH BASINS, CULVERTS, AND UNDERGROUND DRAINAGE BASINS. THE STORMWATER MANAGEMENT SYSTEM MEETS THE RIDEM BEST MANAGEMENT
- 4. DETAILED SOIL EROSION AND SEDIMENT CONTROL MEASURES TO BE INCORPORATED AT THE PRELIMINARY DESIGN STAGE AND WILL CONFORM TO THE RIDEM BEST MANAGEMENT PRACTICES.

# PROPOSED LEGEND

NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS



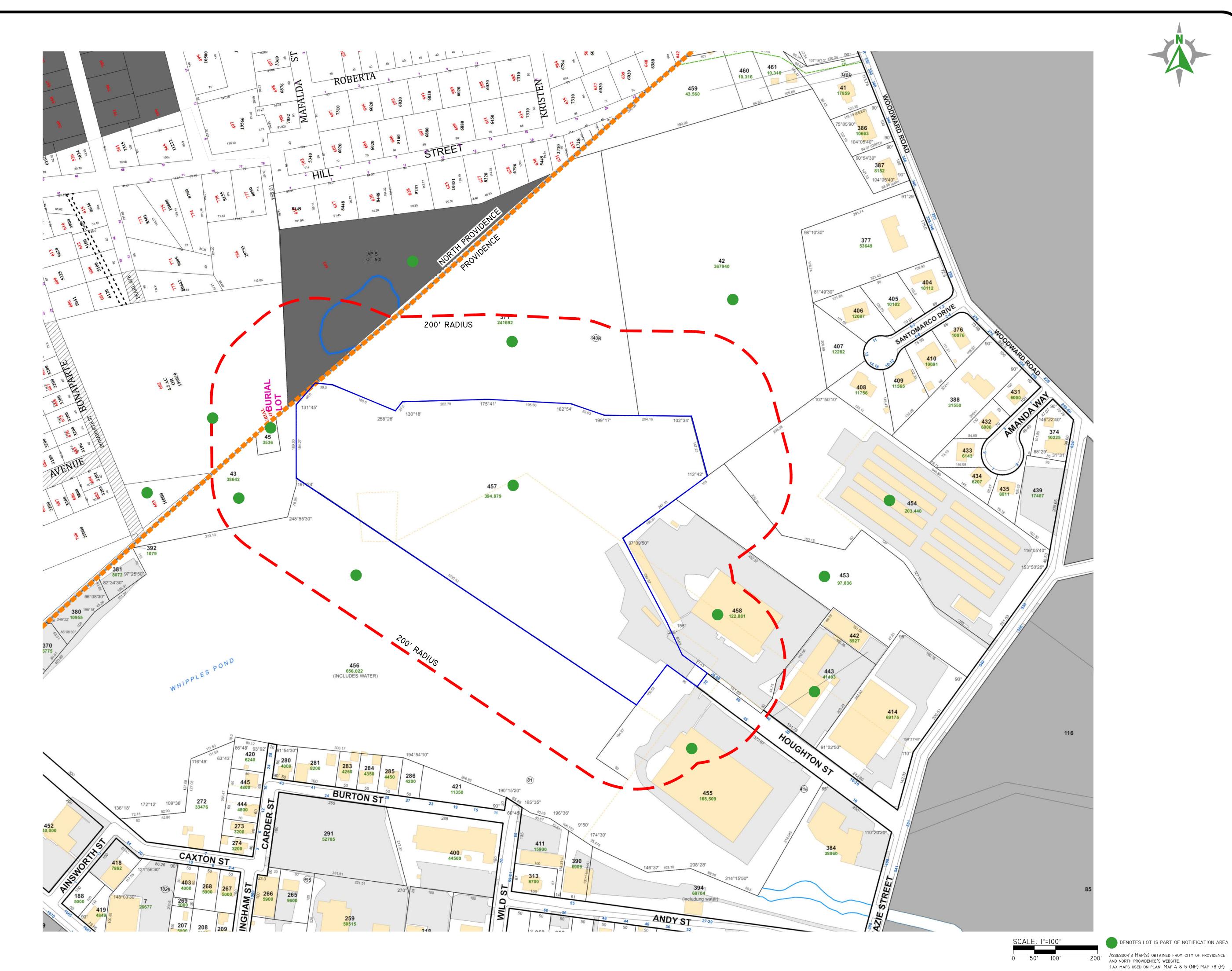
BUILDING SETBACKS RETAINING WALL

BUILDING FOOTPRINT BUILDING OVERHANG

ASPHALT PAVEMENT

BRANDON D. CARR

REGISTERED PROFESSIONAL ENGINEER CIVIL



Engineering

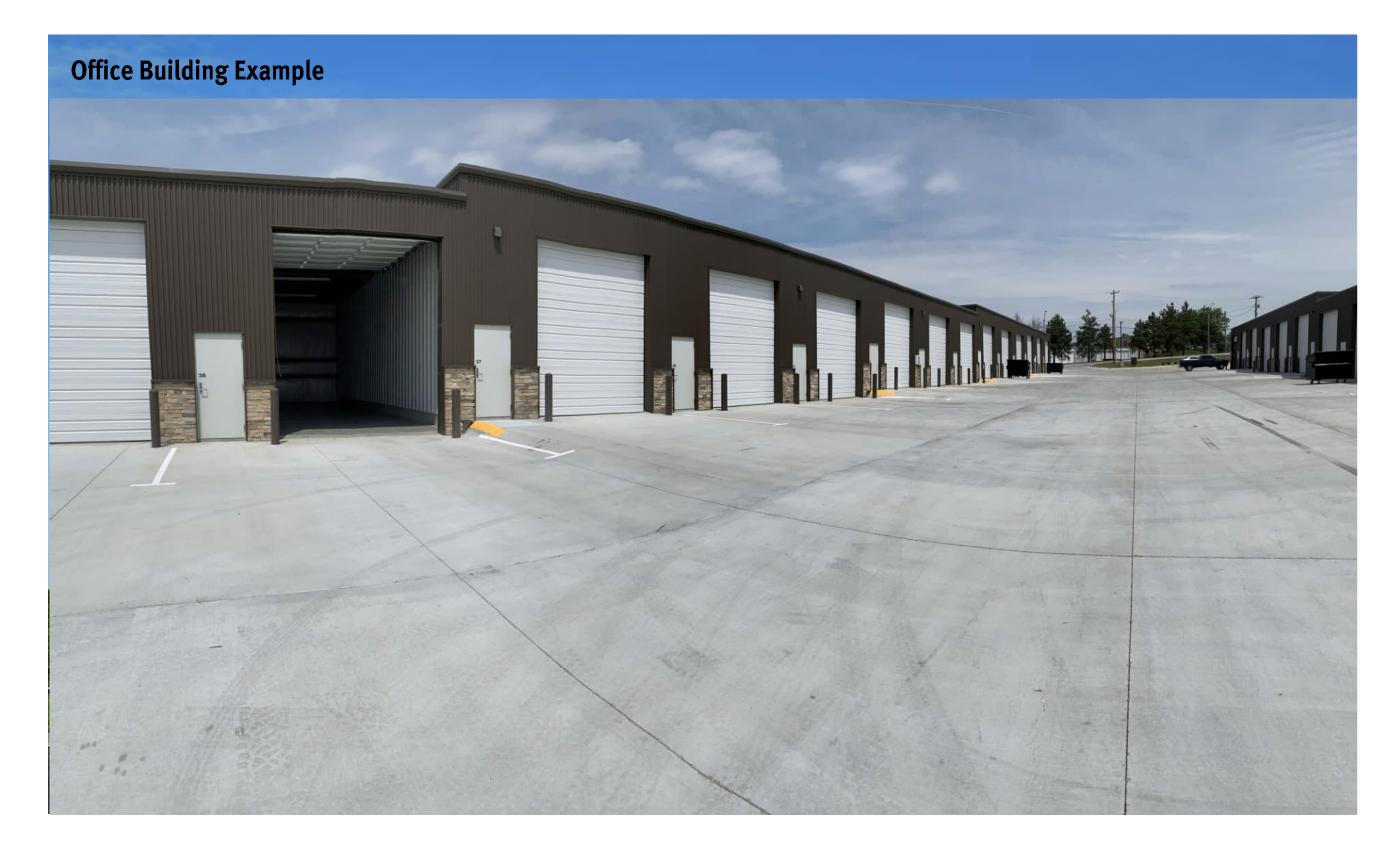
**DiPrete** 

BRANDON D. CARR

REGISTERED PROFESSIONAL ENGINEER CIVIL

200' RADIUS MAP

NEW PROVIDENCE BUSINESS PARK
ASSESSOR'S PLAT 78 LOT 457
PROVIDENCE, RHODE ISLAND
PREPARED FOR:
COLLEGE HILL DEVELOPMENT, LLC
IO GREENE STREET, PROVIDENCE, RHODE ISLAND 0290





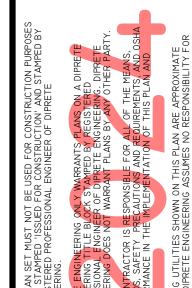


DiPrete Engineering

### PLANTING NOTES:

- CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS BY NOTIFYING DIG-SAFE (811) AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION OR SITE PREPARATION AND ANY/OR ALL LOCAL UTILITY COMPANIES AS REQUIRED.
- 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS BY THE CONTRACTOR. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR THIS PROJECT.
- 6. CONTRACTOR TO PROVIDE A TWO (2) YEAR GUARANTEE FOR ALL MATERIALS. CONTRACTOR GUARANTEES THAT PLANTS WILL REMAIN HEALTHY FOR TWO (2) GROWING SEASONS. CONTRACTOR TO MAINTAIN ALL PLANTING AND LAWNS UNTIL FINAL PROJECT ACCEPTANCE. GUARANTEE PERIOD TO COMMENCE AT FINAL ACCEPTANCE. ANY REPLACEMENT PLANTS SHALL BE OF THE SAME SIZE AND SPECIES AS SPECIFIED WITH NEW GUARANTEE COMMENCING ON THE DATE OF REPLACEMENT.
- ALL PLANT MATERIAL SHALL CONFORM, IN ALL RESPECTS, TO THE GUIDELINES OF "THE AMERICAN STANDARD FOR NURSERY STOCK," LATEST EDITION, PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, INC. ALL PLANTS SHALL BE NURSERY GROWN AND SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST TWO (2)
- 5. PLANT SUBSTITUTION SELECTION MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. 6. ALL PLANTS TO BE PLANTED SO THAT AFTER SETTLEMENT THEY BEAR THE SAME RELATION TO THE SURROUNDING GROUND AS TO THEIR ORIGINAL GRADE BEFORE DIGGING.
- 7. CREATE SAUCER AROUND INDIVIDUAL PLANTS CAPABLE OF HOLDING WATER. ALL PLANTS TO BE FLOODED WITH CLEAN WATER TWICE WITHIN THE FIRST 24 HOURS OF PLANTING. ADDITIONAL WATERING SHALL BE
- 8. ALL PLANTS TO RECEIVE A MINIMUM OF THREE (3) INCHES OF HARDWOOD MULCH AND SHALL COVER PLANTING BEDS WITHIN 72 HOURS AFTER PLANTING AS SHOWN ON DRAWINGS.
- 9. TRIM BROKEN AND DEAD BRANCHES FROM TREES AND SHRUBS AFTER PLANTING. NEVER CUT A LEADER.
- 10. RECOMMENDED DATES FOR PLANTING ARE MARCH 15 TO JUNE 15 AND SEPTEMBER 15 TO NOVEMBER 15. II. ALL LANDSCAPED AREAS SHALL BE KEPT FREE OF WEEDS AND DEBRIS. ALL VEGETATION WITHIN SAID AREAS SHALL BE MAINTAINED FREE OF PHYSICAL DAMAGE CAUSED BY CHEMICALS, INSECTS, DISEASES,
- LACK OF WATER OR OTHER CAUSES. DAMAGED PLANTS SHALL BE REPLACED WITH THE SAME OR SIMILAR VEGETATION ON AN ANNUAL BASIS.
- 12. ANY DISTURBED AREA OUTSIDE OF PAVEMENT AND BUILDING TO BE LOAMED. LOAM MOVED ON SITE TO BE STOCKPILED AND RETAINED AND TO BE USED AS REQUIRED FOR THE LANDSCAPE DESIGN. LOAM SHALL NOT BE MIXED WITH ANY UNSUITABLE MATERIALS OR SUBSOIL. EXCESS LOAM TO REMAIN ON THE OWNER'S PROPERTY AND ONLY REMOVED WITH THE OWNERS PERMISSION. ALL LOAM SHALL BE FRIABLE, FERTILE, MEDIUM TEXTURED SANDY LOAM THAT IS FREE OF TOXIC MATERIALS TO HEALTHY PLANT GROWTH AND SURVIVAL. LOAM SHALL BE FREE OF MATTER I" OR GREATER IN DIAMETER AND WHEN TESTED SHALL HAVE A PH BETWEEN 5.5 AND 7.5. CONTRACTOR TO PROVIDE 8 INCHES OF GOOD QUALITY, LOAM AND/OR REUSE EXISTING LOAM TO PROVIDE A MINUMUM 6 INCH DEPTH.
- 13. TREES TO BE PRUNED TO MAINTAIN 6' CLEARANCE BELOW LOWEST BRANCHES.

PROPOSED TREES ARE SHOWN TO PROVIDE AN INDICATION OF THE SPECIES THAT WILL BE USED AND TO VERIFY THAT THE 15% CANOPY COVERAGE CAN BE MET WITHIN THE LIMIT OF WORK. FINAL TREE SPECIES/LOCATIONS AND ADDITIONAL PLANTING WILL BE DETERMINED FOR PRELIMINARY



### PROVIDENCE ZONING REGULATIONS ARTICLE 15. TREES AND LANDSCAPING:

1503. ON-SITE LANDSCAPING AND REQUIRED TREES

A.GENERAL REQUIREMENTS 2.ALL EXISTING PLANTINGS THAT ARE MAINTAINED ON A SITE MAY BE COUNTED TOWARD ANY REQUIRED ON-SITE

#### C. REQUIRED TREE CANOPY PERCENTAGE 2. CALCULATIONS FOR TREE CANOPY

THE TOTAL CANOPY COVERAGE FOR A LOT IS THE SUM OF THE CANOPY, AT MATURITY, OF THE INDIVIDUAL TREES LOCATED ON THE LOT. THE SQUARE FOOTAGE OF CANOPY COVER VARIES ACCORDING TO TREE SPECIES. THE CITY FORESTER MAINTAINS A LIST OF TREES SPECIES AND THE EXPECTED SIZE OF THE CANOPY FOR EACH SPECIES, AT MATURITY, WHEN PLANTED.

THE DEVELOPMENT AREA IS LOCATED IN THE M-MU-75 ZONE AND REQUIRES A 15% TREE CANOPY COVERAGE. M-MU-75 ZONE LOT AREA = 396,396± (9.1 AC±)

CANOPY COVERAGE REQUIREMENT: 396,396 SF LOT AREA x 0.15 = 59,459.4 SF (EXISTING)

PROPOSED LIMIT OF WORK AREA = XX SF REQUIRED LIMIT OF WORK CANOPY COVERAGE = XX SF X 0.15 = XX SF

PROPOSED TREE CANOPY COVERAGE: TREE SIZE CANOPY SIZE NO. PROPOSED 75,000 SF LARGE 1.000 SF MEDIUM 700 SF 4,200 SF 3,300 SF

TOTAL PROPOSED CANOPY COVERAGE: 82,500 SF PERCENT PROPOSED LIMIT OF WORK CANOPY COVERAGE: 82,500 SF/ 501,615 SF = (0.164) 16.4% > 15%

#### 1504. PARKING LOT PERIMETER LANDSCAPE STRIP

300 SF

A PERIMETER LANDSCAPE STRIP IS REQUIRED FOR ALL PARKING LOTS THAT ABUT A PUBLIC RIGHT-OF-WAY, EXCLUDING CURB CUTS, AND SHALL BE ESTABLISHED ALONG THE EDGE OF THE PARKING LOT THAT ABUTS SUCH PUBLIC RIGHT-OF-WAY TO SCREEN THE PARKING LOT. THE LANDSCAPE TREATMENT SHALL RUN THE FULL LENGTH OF THE PARKING LOT PERIMETER ALONG THE RIGHT-OF-WAY. THE LANDSCAPE STRIP SHALL BE IMPROVED AS FOLLOWS:

A. THE PERIMETER PARKING LOT LANDSCAPE STRIP SHALL BE A MINIMUM OF FIVE FEET IN DEPTH. THERE SHALL BE A MINIMUM LINEAR DISTANCE OF SIX INCHES BETWEEN WHEELS STOPS OR CURBS AND THE LANDSCAPE STRIP TO ACCOMMODATE VEHICLE BUMPER OVERHANG, WHICH IS NOT INCLUDED IN THE MINIMUM FIVE FOOT CALCULATION.

PARKING LOTS DO NOT ABUT A PUBLIC RIGHT-OF-WAY.

B. ONE SHADE TREE SHALL BE PLANTED FOR EVERY 25 FEET OF LANDSCAPE STRIP LENGTH, SPACED LINEARLY.

#### PARKING LOTS DO NOT ABUT A PUBLIC RIGHT-OF-WAY.

C. THE LANDSCAPE STRIP SHALL ALSO BE PLANTED OVER A MINIMUM OF 60% OF ITS LENGTH WITH SHRUBS, PERENNIALS, NATIVE GRASSES, AND OTHER PLANTING TYPES THAT PROVIDE SCREENING OF A MINIMUM OF THREE FEET IN HEIGHT.

#### PARKING LOTS DO NOT ABUT A PUBLIC RIGHT-OF-WAY.

D. ALTERNATIVELY, A LOW FENCE OR PEDESTRIAN WALL A MINIMUM OF THREE FEET TO A MAXIMUM OF FOUR FEET IN HEIGHT MAY BE USED INSTEAD OF SUCH PLANTINGS. WHERE FEASIBLE, PLANT MATERIALS SHALL BE INSTALLED BETWEEN THE SIDEWALK AND THE WALL TO PROVIDE A SOFTENING EFFECT ON THE FENCE OR WALL.

#### NOT APPLICABLE.

E. WHERE EXISTING CONDITIONS OR OTHER PROVISIONS OF THIS ORDINANCE MAKE IT IMPRACTICABLE TO MEET THE PERIMETER LANDSCAPE STRIP REQUIREMENTS, THE CITY FORESTER MAY APPROVE A MODIFICATION TO THE WIDTH OR LOCATION OF THE PERIMETER LANDSCAPE STRIP. OR THE SPACING OR NUMBER OF TREES IN THE PERIMETER LANDSCAPE STRIP, SO LONG AS THERE IS NO NET LOSS OF PLANTED AREA OR NUMBER OF TREES REQUIRED.

F. THE USE OF STORMWATER MANAGEMENT TECHNIQUES SUCH AS RAIN GARDENS AND BIOSWALES IS ENCOURAGED IN LANDSCAPE STRIPS. LANDSCAPED AREAS SHOULD BE DESIGNED FOR THE ABSORPTION OF STORMWATER.

## NOT APPLICABLE.

# 1505. INTERIOR PARKING LOT LANDSCAPING

ALL PARKING LOTS CONSISTING OF 20,000 GROSS SQUARE FEET OR MORE REQUIRE INTERIOR PARKING LOT LANDSCAPING AS DESCRIBED IN THIS SECTION. WHEN THE CALCULATION OF INTERIOR PARKING LOT LANDSCAPING REQUIREMENTS RESULTS IN A FRACTION, SAID FRACTION IS ROUNDED UP.

# THE PARKING AREA IS GREATER THAN 20,000 SQUARE FEET AND INTERIOR PARKING LOT LANDSCAPING IS PROPOSED.

A. ONE PARKING LOT ISLAND SHALL BE PROVIDED BETWEEN EVERY TEN PARKING SPACES. AS PART OF THE LANDSCAPE PLAN APPROVAL, PARKING LOT ISLAND LOCATIONS MAY BE VARIED BASED ON SPECIFIC SITE REQUIREMENTS OR DESIGN SCHEME, BUT THE TOTAL NUMBER OF ISLANDS SHALL BE NO LESS THAN THE AMOUNT REQUIRED OF ONE ISLAND FOR EVERY TEN SPACES.

TOTAL PROPOSED PARKING = 155 SPACES ISLAND REQUIREMENT = I/ IO PARKING SPACES ISLANDS REQUIRED = 155/10 = 16 (15.5) ISLANDS PROVIDED = ISLANDS HAVE BEEN PROVIDED WHERE FEASIBLE

B. IN ADDITION TO PARKING LOT ISLANDS, ADDITIONAL LANDSCAPE AREAS SHALL BE PROVIDED WITHIN THE INTERIOR OF PARKING LOTS. THE

MINIMUM TOTAL LANDSCAPE AREA OF A PARKING LOT, INCLUDING PARKING LOT ISLANDS, SHALL BE 10% OF THE TOTAL PARKING LOT AREA. PARKING LOT PERIMETER LANDSCAPING IS EXCLUDED FROM THE CALCULATION OF TOTAL PARKING LOT AREA.

TOTAL INTERIOR PARKING AREA = 25,110 SF INTERIOR AREA LANDSCAPE REQUIREMENT = 10%

INTERIOR AREA LANDSCAPE REQUIRED = 2,511 SF

INTERIOR AREA LANDSCAPE PROVIDED = 2,982± SF/25,110 SF = 0.118 (11.8%)

C. ALL ROWS OF PARKING SPACES SHALL TERMINATE IN A PARKING LOT ISLAND OR LANDSCAPED AREA.

# ALL PARKING ROWS TERMINATE IN A PARKING LOT ISLAND OR LANDSCAPED AREA.

D. PARKING LOT ISLANDS SHALL BE THE SAME DIMENSION AS THE PARKING STALL AT A MINIMUM. DOUBLE ROWS OF PARKING SHALL PROVIDE PARKING LOT ISLANDS THAT ARE THE SAME DIMENSION AS THE DOUBLE ROW.

# PARKING LOT ISLANDS ARE 8.5' WIDE OR GREATER ARE PROPOSED WHERE FEASIBLE.

E. A MINIMUM OF ONE SHADE TREE SHALL BE PROVIDED FOR EVERY PARKING LOT ISLAND OR LANDSCAPE AREA. IF A PARKING LOT ISLAND EXTENDS THE WIDTH OF A DOUBLE ROW, THEN TWO SHADE TREES ARE REQUIRED.

# SHADE TREES HAVE BEEN PROVIDED FOR EVERY PARKING LOT ISLAND OR LANDSCAPE AREA WITHIN THE PARKING LOT WHERE FEASIBLE.

F. THE USE OF STORMWATER MANAGEMENT TECHNIQUES SUCH AS RAIN GARDENS AND BIOSWALES IS ENCOURAGED IN LANDSCAPED AREAS. PARKING LOT ISLANDS AND LANDSCAPED AREAS SHOULD BE DESIGNED FOR THE ABSORPTION OF STORMWATER.

# NOT APPLICABLE

G. WHERE EXISTING CONDITIONS OR OTHER PROVISIONS OF THIS ORDINANCE MAKE IT IMPRACTICABLE TO MEET THE INTERIOR PARKING LOT LANDSCAPING REQUIREMENTS, THE CITY FORESTER MAY APPROVE A MODIFICATION TO THE REQUIREMENTS SO LONG AS THERE IS NO NET LOSS OF PLANTED AREA OR NUMBER OF TREES REQUIRED.

# NOT APPLICABLE

# 1507 WATERBODY VEGETATIVE BUFFERS

A. UNLESS OTHERWISE SPECIFIED BY THE RHODE ISLAND COASTAL RESOURCES MANAGEMENT PROGRAM SPECIAL AREA MANAGEMENT PLAN, A VEGETATED BUFFER A MINIMUM OF 25 FEET IN WIDTH IS REQUIRED ADJACENT TO THE ENTIRE LENGTH OF ANY WATER BODY. THIS BUFFER AREA IS MEASURED FROM THE WATER'S EDGE OR THE INLAND EDGE OF A COASTAL SHORELINE FEATURE FOR TIDAL WATERBODIES, AS DEFINED BY THE RHODE ISLAND COASTAL RESOURCES MANAGEMENT PROGRAM.

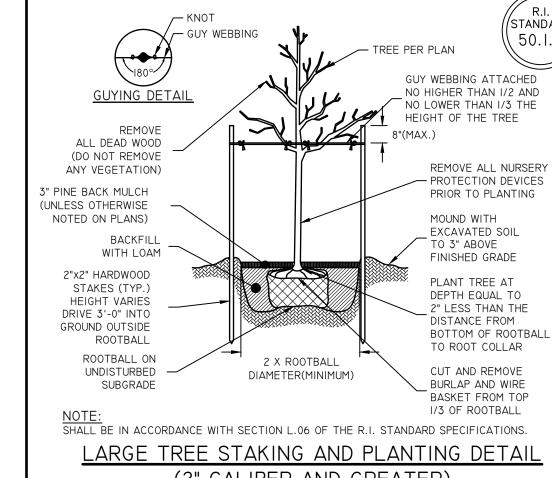
B. THIS BUFFER SHALL INCLUDE TREES AND PLANT MATERIAL THAT FILTER STORMWATER RUNOFF AND HELP TO IMPROVE THE QUALITY OF THE WATER BODY.

C. NO PARKING OR STRUCTURES ARE PERMITTED WITHIN THIS BUFFER. HOWEVER, PAVING FOR A WALKING PATH, BICYCLE PATH, OR ACCESS TO DOCKS, PIERS, OR BEACHES MAY BE INCLUDED WITHIN THIS BUFFER.

NOT APPLICABLE

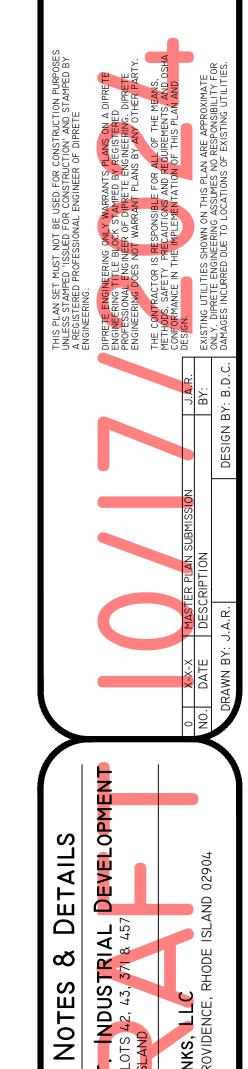
# PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT
TREES					
+	ARO	2	ACER RUBRUM `OCTOBER GLORY` TM	OCTOBER GLORY MAPLE	2/2.5" CAL B&B
	GB	3	GINKGO BILOBA	Maidenhair Tree	2/2.5" CAL B&B
+	GT	3	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER' TM	SHADEMASTER LOCUST	2/2.5" CAL B&B
+	PSK	2	Prunus serrulata `Kwanzan`	FLOWERING CHERRY	2/2.5" CAL B&B
+	PCA	10	Pyrus calleryana `Aristocrat` TM	ARISTOCRAT FLOWERING PEAR	2/2.5" CAL B&B
	QP	8	QUERCUS PALUSTRIS	PIN OAK	2/2.5" CAL B&B
+	QR	3	QUERCUS ROBUR	English Oak	2/2.5" CAL B&B
+	SR	7	SYRINGA RETICULATA	Japanese Tree Lilac	2/2.5" CAL B&B
0	ТС	I	Tilia cordata	LITTLELEAF LINDEN	2/2.5" CAL B&B
+	ZSV	2	ZELKOVA SERRATA `VILLAGE GREEN`	Sawleaf Zelkova	2/2.5" CAL B&B



(2" CALIPER AND GREATER)

NOT TO SCALE



eri

ne

מס ו

4