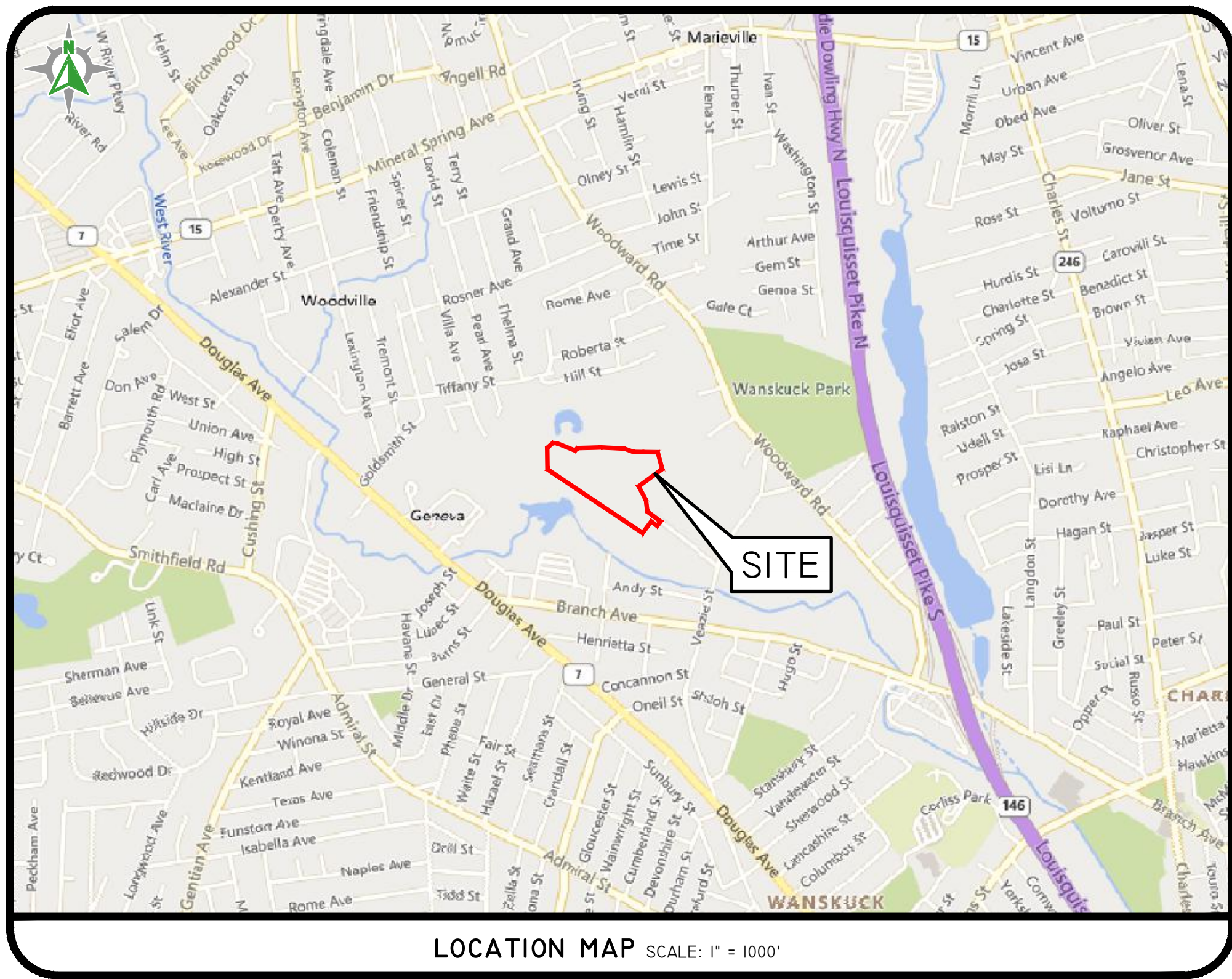


MASTER PLAN SUBMISSION

NEW PROVIDENCE BUSINESS PARK

70 HOUGHTON STREET
PROVIDENCE, RHODE ISLAND
ASSESSOR'S PLAT 78 LOT 457



SHEET LIST TABLE

- 1 Cover Sheet
 - 2 Aerial Half-Mile Radius & USGS Map
 - 3 Existing Conditions Plan
 - 4 Site Layout Plan
 - 5 200' Radius Map
 - 6 Landscape Plan
- 1 of 1 Building Elevations

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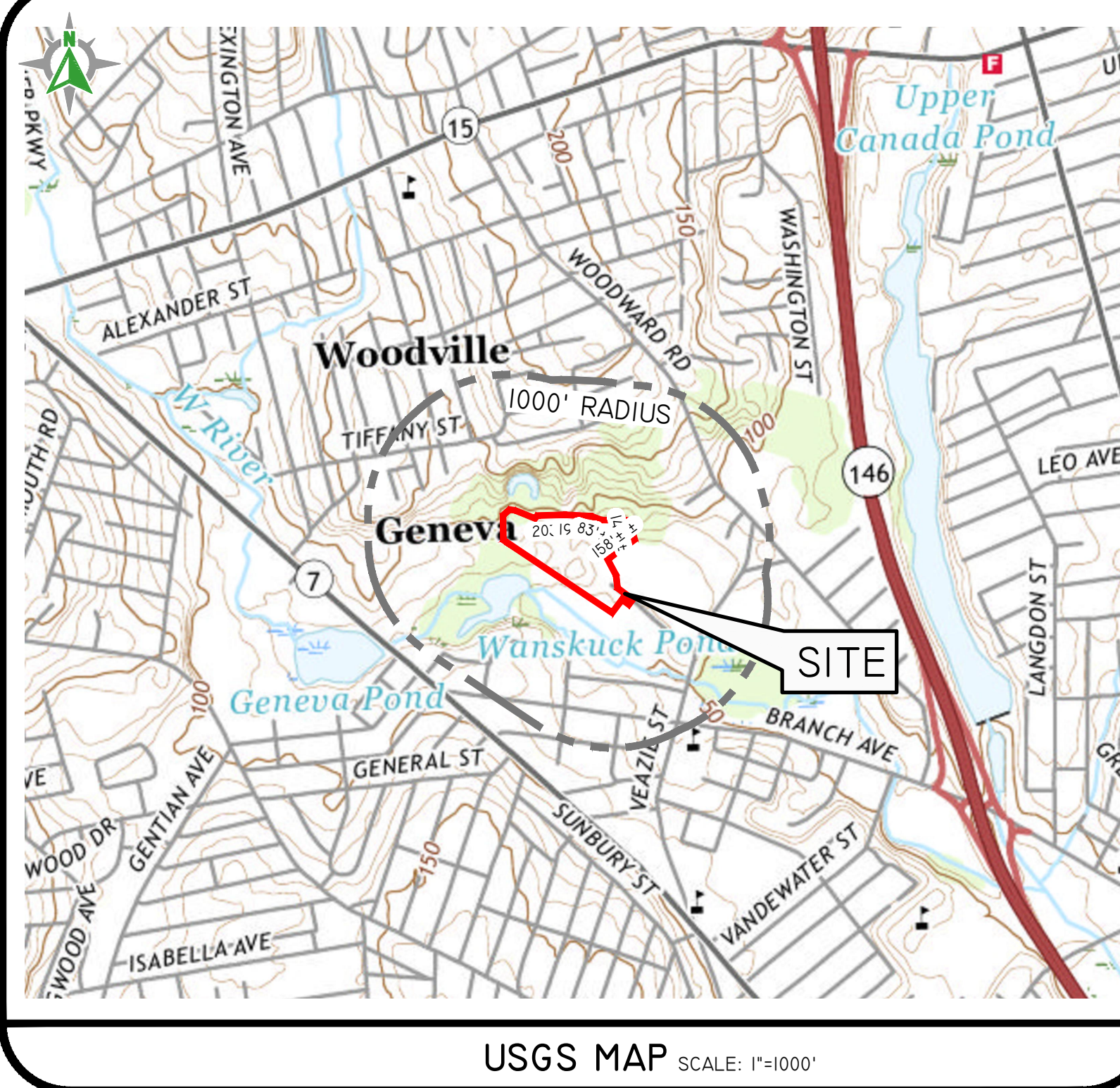
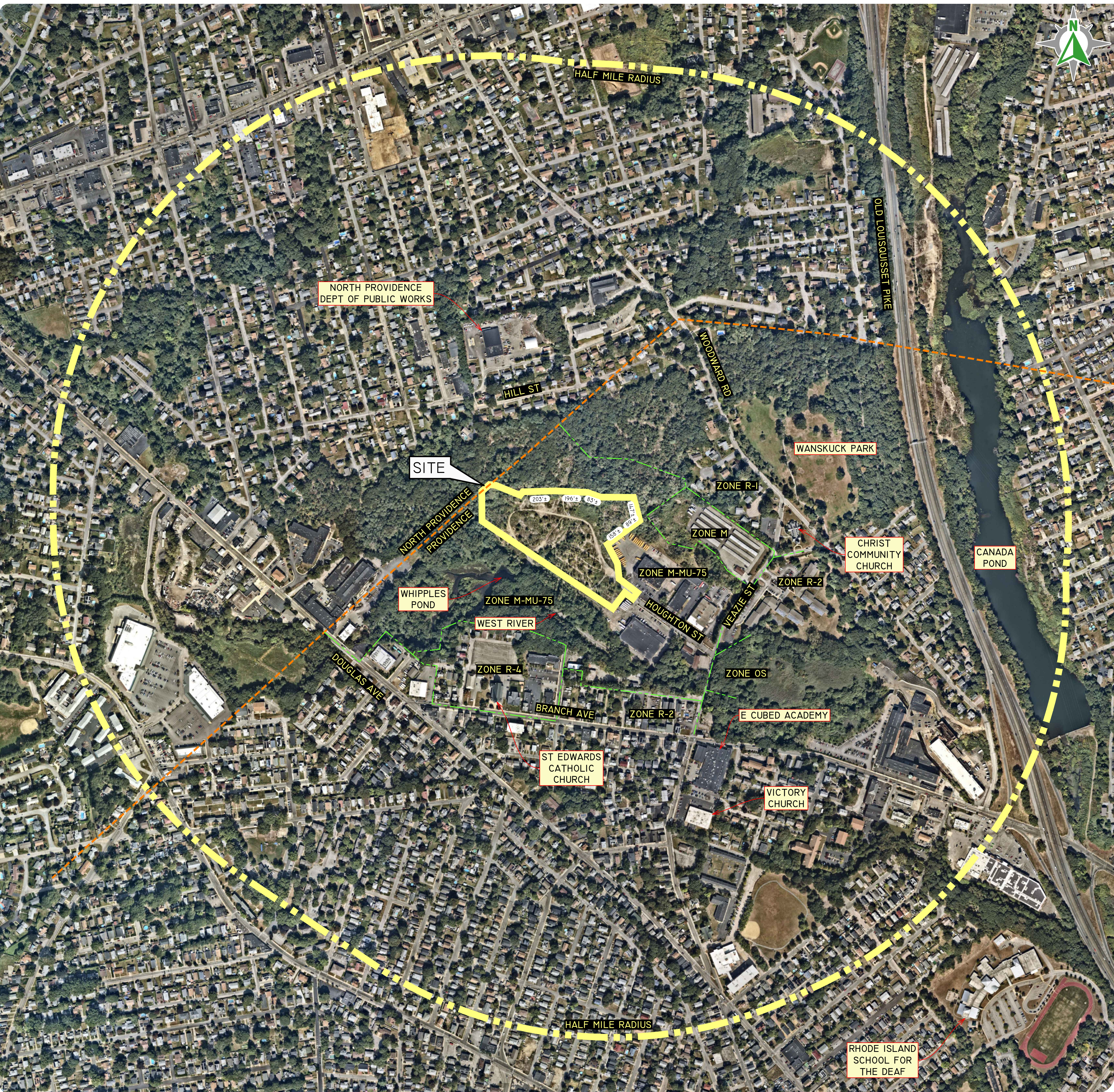


PHOTO OBTAINED FROM NEARMAP.
DATE OF PHOTOGRAPHY 09-12-2024.
SCALE: 1"=300'

DiPrete Engineering
Engineers - Planners - Surveyors
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Two Stafford Court, Cranston, RI 02920 • Tel 401-943-1000

BRANDON D. CARR

REGISTERED PROFESSIONAL ENGINEER
CIVIL

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NO.	DATE	DESCRIPTION	DESIGN BY	BY
1	11/8/2024	DRAWING PLAN SUBMISSION	J.W.S.	J.W.S.

AERIAL HALF-MILE RADIUS & USGS MAP
NEW PROVIDENCE BUSINESS PARK
ASSESSOR'S PLAT 78 LOT 457
PROVIDENCE, RHODE ISLAND
COLLEGE HILL DEVELOPMENT, LLC
10 GREENE STREET, PROVIDENCE, RHODE ISLAND 02904
DE JOB NO. 0809-003 BOX COPYRIGHT 2024 BY DIPRETE ENGINEERING ASSOCIATES, INC.

PREPARED FOR:
COLLEGE HILL DEVELOPMENT, LLC
10 GREENE STREET, PROVIDENCE, RHODE ISLAND 02904

SHEET **2** OF 6

Z:\DEMAN\PROJECTS\0809-003 LEAZE STREET\AUTOCAD DRAWINGS\0809-003-888-457R - 2024.DWG PLOTTER: 11/8/2024



GENERAL NOTES:

- THE SITE IS LOCATED ON THE CITY OF PROVIDENCE, RHODE ISLAND ASSESSOR'S PLAT 78 LOT 457.
- THE SITE IS APPROXIMATELY 9.0± ACRES AND IS ZONED M-MU-75.
- THE OWNER OF AP 78 LOT 457 IS: PROVIDENCE REDEVELOPMENT AGENCY
400 WESTMINSTER ST
PROVIDENCE, RI 02903-3222
- THIS SITE IS LOCATED IN FEMA FLOOD ZONES X. REFERENCE FEMA FLOOD INSURANCE RATE MAP 44007C0302H, MAP REVISED OCTOBER 02, 2015. (FLOOD PLAIN DESCRIPTIONS SHOWN ABOVE)

ZONE X (UNSHADED) - THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. ZONE X ARE AREAS WHERE THERE IS MINIMAL FLOODING.
- THE BOUNDARY SHOWN ON THIS PLAN IS COMPILED FROM DOCUMENTS OF RECORD AND NOT TO BE CONSTRUED AS A BOUNDARY SURVEY. THIS COMPILATION PLAN HAS BEEN PREPARED FROM SOURCES OF INFORMATION AND DATA WHOSE POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED. THE PROPERTY LINES DEPICTED HEREIN DO NOT REPRESENT A BOUNDARY OPINION, AND OTHER INFORMATION DEPICTED IS SUBJECT TO SUCH CHANGES AS AN AUTHORITATIVE FIELD SURVEY MAY DISCLOSE.
- CONTOUR DATA SHOWN ON THIS PLAN CONFORMS TO A T-4 TOPOGRAPHICAL SURVEY STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS; SAID DATA IS BASED ON ELEVATION INFORMATION THAT WAS COLLECTED WITH AIRBORNE LIDAR TECHNOLOGY FOR THE ENTIRE AREA OF PROVIDENCE BETWEEN APRIL 22 AND MAY 6, 2011 AS PART OF THE NORTHEAST LIDAR PROJECT. THIS DATA'S POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED BY DIPRETE ENGINEERING AND IS SUBJECT TO CHANGES AN AUTHORITATIVE FIELD SURVEY MAY DISCLOSE.
- THE SITE IS NOT WITHIN A:
GROUNDWATER PROTECTION AREA (RIDEM)
NATURAL HERITAGE AREAS (RIDEM)
GROUNDWATER PROTECTION OVERLAY DISTRICT (TOWN)
- THE SITE IS WITHIN A
HISTORIC DISTRICT (CITY)
LOCAL CONSERVATION AREA (CITY)
- WETLAND EDGES FROM RIGIS MAPPING AND ARE TO BE CONSIDERED APPROXIMATE.

SOIL INFORMATION:

(REFERENCE: SOIL MAPPING OBTAINED FROM RIGIS. SOIL GEOGRAPHIC DATA DEVELOPED BY THE RHODE ISLAND SOIL SURVEY PROGRAM IN PARTNERSHIP WITH THE NATIONAL COOPERATIVE SOIL SURVEY)

SOIL NAME DESCRIPTION

CAD CANTON-CHARLTON-ROCK OUTCROP COMPLEX, 15 TO 35 PERCENT SLOPES
UD UDORTHERNS-URBAN LAND COMPLEX
UR URBAN LAND

EXISTING LEGEND

NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS

	PROPERTY LINE
	ASSESSORS LINE
	CITY/TOWN LINE
	ZONING LINE
	BUILDING
	WETLAND EDGE AND HATCH
	BRUSHLINE
	TREELINE
	GUARDRAIL
	FENCE
	RETAINING WALL
	STONE WALL
	MINOR CONTOUR LINE
	MAJOR CONTOUR LINE
	SOILS LINES
	25' WETLAND BUFFER
	50' WETLAND BUFFER
	75' WETLAND BUFFER
	100' RIVERFRONT BUFFER
	FEMA BOUNDARY
	STREAM
	WETLAND LINE & FLAG
	GROUNDWATER OVERLAY
	GROUNDWATER RECHARGE AREA
	GROUNDWATER RESERVOIR
	NATURAL HERITAGE
	COMMUNITY WELLHEAD PROTECTION
	NON-COMMUNITY WELLHEAD PROTECTION

EXISTING CONDITIONS PLAN

NEW PROVIDENCE BUSINESS PARK
ASSESSOR'S PLAT 78 LOT 457
PROVIDENCE, RHODE ISLAND

PREPARED FOR:
COLLEGE HILL DEVELOPMENT, LLC
10 GREENE STREET, PROVIDENCE, RHODE ISLAND 02904

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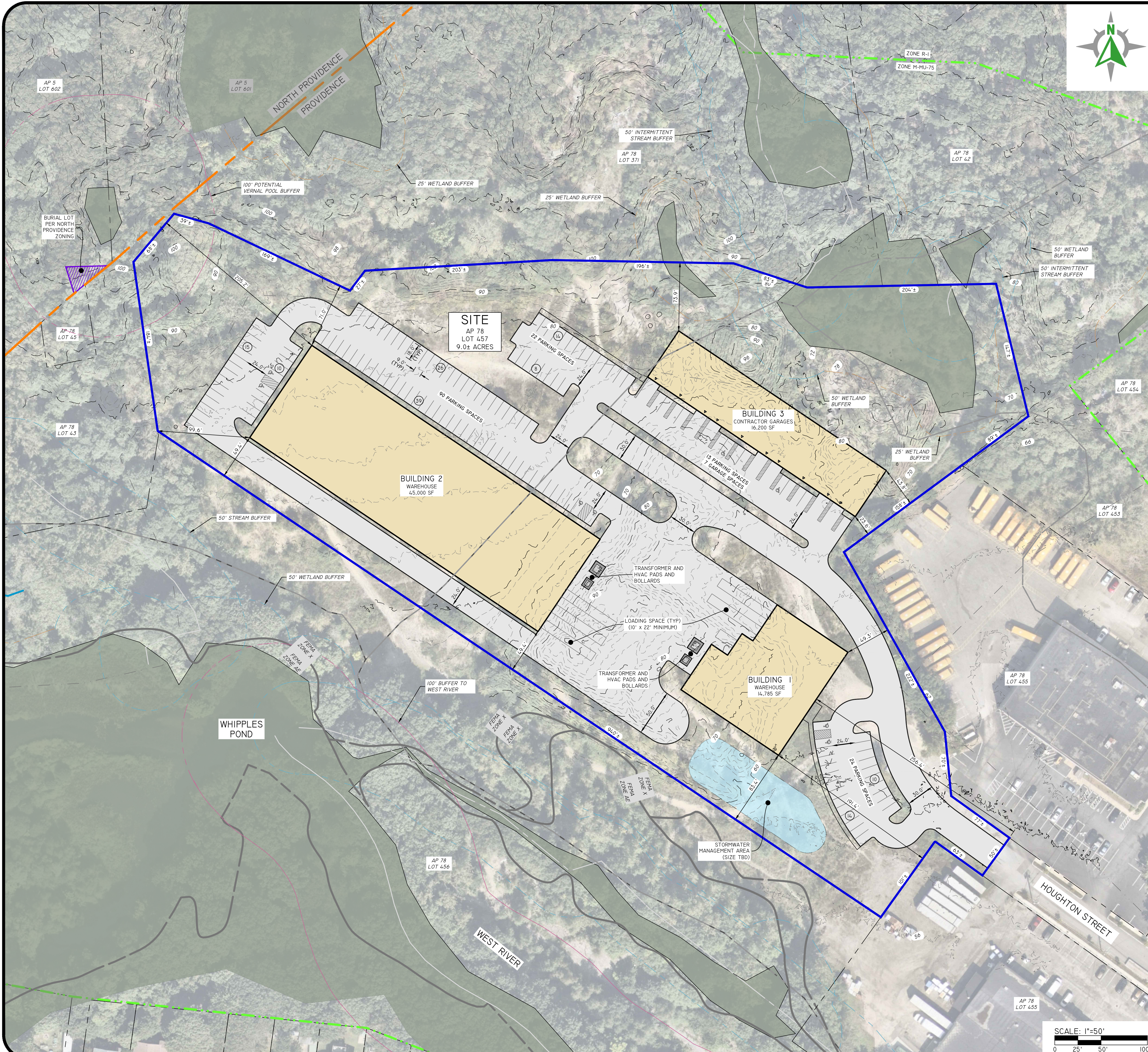
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THE CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY FIELD SURVEYS AND FOR THE ACCURACY OF THE DATA SHOWN ON THIS PLAN. DIPRETE ENGINEERING ASSOCIATES, INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF THE DATA SHOWN ON THIS PLAN.

DATE: 11/8/2024
DRAWN BY: J.W.S.

DESIGN BY: B.D.C.



DEVELOPMENT DATA:			
TOTAL SITE AREA:	9.0± ACRES		
TOTAL NUMBER OF BUILDINGS:	3		
DIMENSIONAL REGULATIONS:			
CURRENT ZONING:	M-MU-75 REQUIRED	R-1 (RESIDENTIAL) REQUIRED	PROVIDED
MINIMUM LOT AREA:	N/A	5,000 SF	394,875± SF
MINIMUM FRONTAGE AND LOT WIDTH:	N/A	50'	50'
MINIMUM FRONT AND CORNER SIDE YARD:	0' (10' IF ACROSS FROM RESIDENTIAL DISTRICT)	30'	256.4'
MINIMUM SIDE YARD:	0' (10' IF ABUTTING A RESIDENTIAL DISTRICT)	6'	23.6'
MINIMUM REAR YARD:	0' (20' IF ABUTTING A RESIDENTIAL DISTRICT)	25% LOT DEPTH OR 25' WHICHEVER IS LESS	205.2'
MAXIMUM STRUCTURE HEIGHT:	75'	40' MAX 3 STORIES	
NOTE: ALL DEVELOPMENT LOCATED WITHIN THE M-MU-75 ZONE			
PARKING REGULATIONS:			
USE:	WAREHOUSE		
PARKING SPACE REQUIREMENT:	1 SPACE PER 20,000 SF GFA OF WAREHOUSE SPACE		
USE:	CONTRACTOR GARAGE		
PARKING SPACE REQUIREMENT:	2 SPACES PER UNIT (BASED ON SIMILAR USES IN OTHER MUNICIPALITIES)		
LOADING SPACE REQUIREMENT:	20K-100K GFA = 1 SPACE 100K-200K GFA = 2 SPACES +1 SPACE PER 50K ADDITIONAL		
PARKING SPACE CALCULATIONS:			
WAREHOUSE:	59,795 SF (BUILDINGS 1 & 2) 59,795 / 20,000 = 3 SPACES		
CONTRACTOR GARAGES:	7 UNITS (BUILDING 3) 7 x 2 = 14 SPACES		
LOADING SPACE CALCULATION:	<100,000 SF = 1 LOADING SPACE REQUIRED		
SUMMARY			
REQUIRED PARKING SPACES:	17 SPACES		
PARKING SPACES PROVIDED:	14.9 SURFACE PARKING SPACES, 14 GARAGE SPACES		
REQUIRED LOADING SPACES:	2 SPACES		
PROVIDED LOADING SPACES:	6 SPACES		

- GENERAL NOTES:
- THE SITE IS PROPOSED TO BE BUILT IN (1) PHASE.
 - THE SITE IS TO BE SERVICED BY PUBLIC WATER AND PUBLIC SEWER.
 - THE DRAINAGE SYSTEM DESIGNED WILL MEET THE CITY OF PROVIDENCE'S SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WITH THE USE OF CATCH BASINS, CULVERTS, AND UNDERGROUND DRAINAGE BASINS. THE STORMWATER MANAGEMENT SYSTEM MEETS THE RIDEM BEST MANAGEMENT PRACTICES.
 - DETAILED SOIL EROSION AND SEDIMENT CONTROL MEASURES TO BE INCORPORATED AT THE PRELIMINARY DESIGN STAGE AND WILL CONFORM TO THE RIDEM BEST MANAGEMENT PRACTICES.

PROPOSED LEGEND	
NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS	
	PROPERTY LINE
	BUILDING SETBACKS
	RETAINING WALL
	BUILDING FOOTPRINT
	BUILDING OVERHANG
	ASPHALT PAVEMENT
	CONCRETE

PREPARED FOR:

COLLEGE HILL DEVELOPMENT, LLC

10 GREENE STREET, PROVIDENCE, RHODE ISLAND 02904

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PREPARED BY:

DIPRETE ENGINEERING ASSOCIATES, INC.

DESIGNED BY:

J.W.S.

DRAWN BY:

J.W.S.

CHECKED BY:

J.W.S.

DATE:

11/8/2024

DESCRIPTION:

ASSASSINATOR'S PLAT 78 LOT 457

SUBMISSION:

ASSASSINATOR'S PLAT 78 LOT 457

DESIGN BY:

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B.D.C.

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11/8/2024

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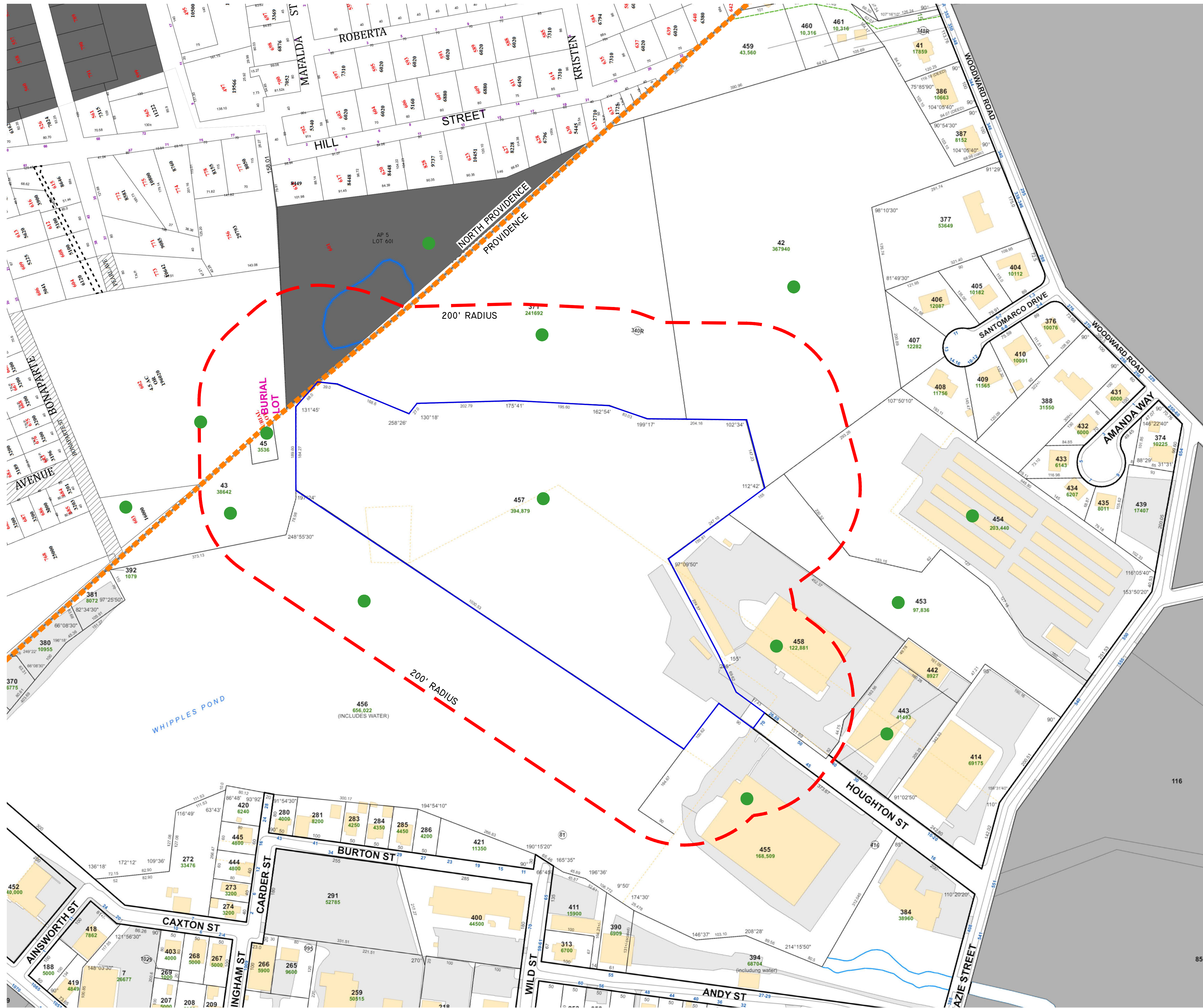
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SCALE: 1"=100'
0 50' 100' 200'

● DENOTES LOT IS PART OF NOTIFICATION AREA
ASSESSOR'S MAP(S) OBTAINED FROM CITY OF PROVIDENCE
AND NORTH PROVIDENCE'S WEBSITE
TAX MAPS USED ON PLAN: MAP 4 & 5 (NP) MAP 78 (P)



200' RADIUS MAP

NEW PROVIDENCE BUSINESS PARK

ASSESSOR'S PLAT 78 LOT 457

PROVIDENCE, RHODE ISLAND

PREPARED FOR:

COLLEGE HILL DEVELOPMENT, LLC

10 GREENE STREET, PROVIDENCE, RHODE ISLAND 02904

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UNLESS STAMPED, ISSUED FOR CONSTRUCTION AND STAMPED BY
ENGINEERING PROFESSIONAL ENGINEER OF CIVIL E

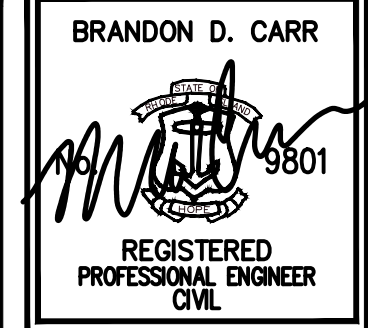
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CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND

EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE
ONLY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR
DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

NO. 1 DATE: 11/18/2024
DESCRIPTION: MASTER PLAN SUBMISSION
DESIGN BY: J.W.S.

BY: J.W.S.
BY: B.D.C.



Diprete Engineering
Engineers - Planners - Surveyors
www.diprete-eng.com

Two Stafford Court, Cranston, RI 02920 • Tel 401-943-1000



Building Elevations

New Providence Business Park
ASSESSOR'S PLAT 78 LOT 457
PROVIDENCE, RHODE ISLAND

PREPARED FOR
CHURCHILL & BANKS, LLC
10 GREENE STREET, PROVIDENCE, RHODE ISLAND 02904

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This regulatory submission set shall not be used for construction purposes unless stamped 'Issued for Construction' and signed by a DiPrete Engineering representative.

The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA conformance in the implementation of this plan and design.

No.	Date	Description	Design By:

DiPrete Engineering

Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-664-6006 www.diprete-eng.com

Boston • Providence • Newport

