

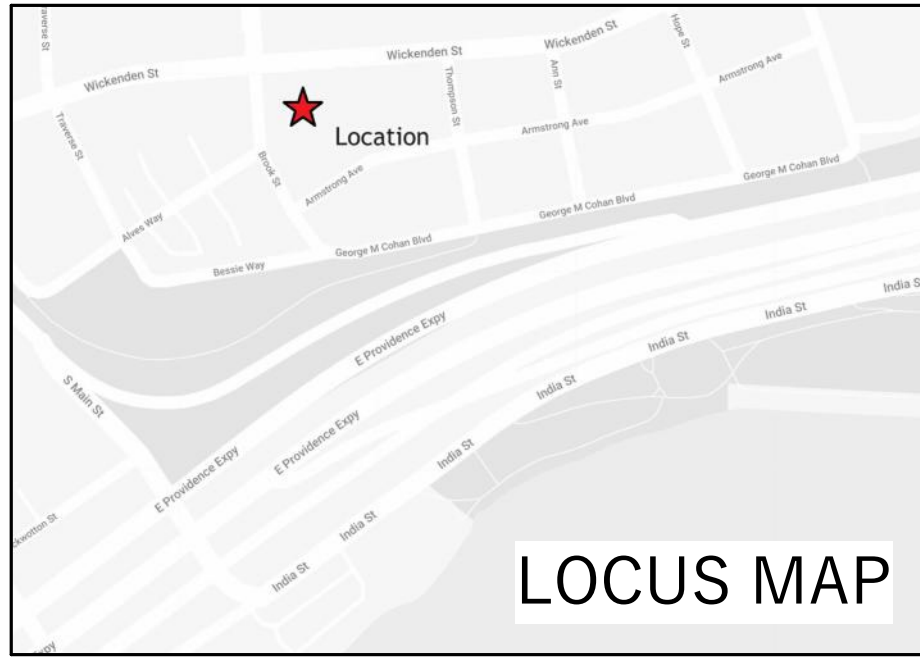
FOXPOINT MIXED-USE REDEVELOPMENT

269 WICKENDEN STREET, PROVIDENCE RI



LIST OF DRAWINGS - CPC

No.	Sheet Name
PP-00.00	COVER SHEET
PP-00.01	RENDERING
PP-CP.00	EXISTING SITE PLAN
PP-CP.01	PROPOSED SITE PLAN
PP-CP.02	STORMWATER MANAGEMENT PLAN
PP-CP.03	DETAIL SHEET
PP-LP.00	LANDSCAPE PLAN
PP-A0.01	OFF-STREET LOADING PLANS
PP-A0.02	AVERAGE GRADE AND BUILDING HEIGHT
PP-A1.00	CELLAR PLAN
PP-A1.01	C2-WICKENDEN STREET PLAN
PP-A1.02	1ST FLOOR PLAN
PP-A1.03	TYPICAL PLAN - 2nd thru 4th FLOORS
PP-A1.04	5th FLOOR AND ROOF DECK PLAN
PP-A1.05	ROOF PLAN
PP-A2.00	NORTH AND WEST ELEVATIONS
PP-A2.01	SOUTH AND EAST ELEVATIONS
PP-A2.02	DEVELOPMENT RENDERINGS
PP-A2.03	EXTERIOR LIGHTING AND PHOTOMETRICS
PP-A2.04	SIGNAGE INFORMATION
PP-A3.00	BUILDING SECTION - A and B
PP-A3.01	BUILDING SECTION - C, D, and E



PROJECT INFORMATION:

- 500: DISTRICT
C-2 COMMERCIAL
- 501: USE (TABLE 12-1)
MIXED USE
-75 RESIDENTIAL APARTMENT UNITS
-2 COMMERCIAL UNITS
- 502: DIMENSIONAL STANDARDS (TABLE 5-1)
• MIN. LOT - NONE
• MAX. BUILDING HEIGHT - 4 STORY/50 FEET (PROPOSED)
5 STORY + CELLAR 65'-9"
• MAX. LOT COVERAGE - NONE
• MAX. IMPERV. SURFACE - NONE
• FRONT SETBACK - BUILD-TO_0'-5'
• INT. SIDE SETBACK - NONE
• CORNER SIDE SETBACK - BUILD-TO_0' TO 5'
• REAR SETBACK - NONE (20' ABUTTING RESIDENTIAL DISTRICT)
- 503: DESIGN STANDARDS
• BUILD-TO
-FRONT_60%
-CORNER SIDE_40%
• GROUND FLOOR USE
IN C-2 DISTRICT, RESIDENTIAL AND PARKING USES ARE PROHIBITED ON THE GROUND FLOOR WITHIN 20 FEET OF THE MAIN STREET.
- 1402: BICYCLE PARKING
• 1 PER 5 DWELLING UNITS
• 80% LONG-TERM - 20% SHORT-TERM
- 1403: OFF-STREET LOADING (TABLE 14-2)
• MULTI-FAMILY - 1 PER 40,000 SF
• COMMERCIAL - 1 PER 20,000 SF
- 1410: PARKING EXEMPTIONS
• ALL LOTS 10,000SF OR LESS - EXEMPT FROM PARKING

CPC-APPROVED MASTER PLAN RELIEF ITEMS:

- 502: DIMENSIONAL WAIVER (TABLE 5-1)
• 1 STORY - 16'-5" INCREASE (GRANTED)
503. DESIGN WAIVER
• A.3 - FENESTRATION
SILL HEIGHT WITHIN 2'-0" OF ADJACENT GRADE
• A.8 - GROUND FLOOR USE
RESIDENTIAL USE WITHIN 20'-0" OF WICKENDEN ST.

Table 5-1: Dimensional Standards

Bulk Standards	Allowed	PARCEL	Requested Relief
Zoning District		C-2	
Historic District		No	
Min. Lot Area SF	None	10,108 SF	
Min. Building Height	9' Residential 11' Non Residential		
Max. Building Height	50' - 4 Stories	5 Stories - 65'-9"	1 Story - 16' -5" (Granted)
Max. Building Coverage	None		
Max. Impervious Coverage	None		
Min. Setback Requirements			
Front Setback	Build-To Zone 0'-5' required build-to 60% of front lot line	0'	
Interior Side Setback	None - 10' @ Residential	10'	
Corner Side Setback	Build-To Zone 0'-5'	0'	
Rear Setback	None - 20' @ Residential	3.7'	
Table 13-2 Permitted Encroachments			
Areaway	Max. 4'	4'	
Porch - unenclosed	8' into side setback	3'	
Encroachment into the Public Right-of-Way			
Habitation	Max. 4'	3'	
Table 14-1 Off-Street Vehicle and Loading			
Bicycle	1 per 5 dwellings	16	
Parking	1 per dwelling unit for lots over 10,000 SF	Exempt due to lot size	
Loading	Multi-Family 40,000sf - 1 space Commercial 20,000sf - 1 space	1	

SUBMISSION: MAJOR LAND DEVELOPMENT - PRELIMINARY PLAN SUBMISSION
DATE: 2/11/2025

APPLICANT	OWNER	ARCHITECT	SITE / SURVEY
FOX POINT CAPITAL LLC 269 WICKENDEN STREET PROVIDENCE, RI 617.803.6964	FOX POINT CAPITAL LLC 269 WICKENDEN STREET PROVIDENCE, RI 617.803.6964	PROVIDENCE ARCHITECTURE + BUILDING Co. 244 WEYBOSSET STREET PROVIDENCE, RI 919.886.2426	InSite ENGINEERING SERVICES, LLC 501 GREAT ROAD, UNIT 104 NORTH SMITHFIELD, RI 401.762.2870

The **PROVIDENCE**
ARCHITECTURE &
BUILDING Co.

Revision Schedule		
No.	Date	Description

Project Name:
FOXPOINT MIXED-USE REDEVELOPMENT
269 WICKENDEN STREET, PROVIDENCE RI

Sheet Name:
COVER SHEET

Stamp:	
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Project No.:	.
Checked By:	PABco
Drawn By:	PABco
Scale:	As indicated
Date:	2/11/2025
Current Issue:	Preliminary Plan
Drawing No.	PP-00.00



WICKENDEN STREET - RENDERING

Revision Schedule	
No.	Description

Project Name:
FOXPOINT MIXED-USE REDEVELOPMENT
269 WICKENDEN STREET, PROVIDENCE RI

Sheet Name:
RENDERING

Stamp:

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Project No.: .

Checked By: Checker

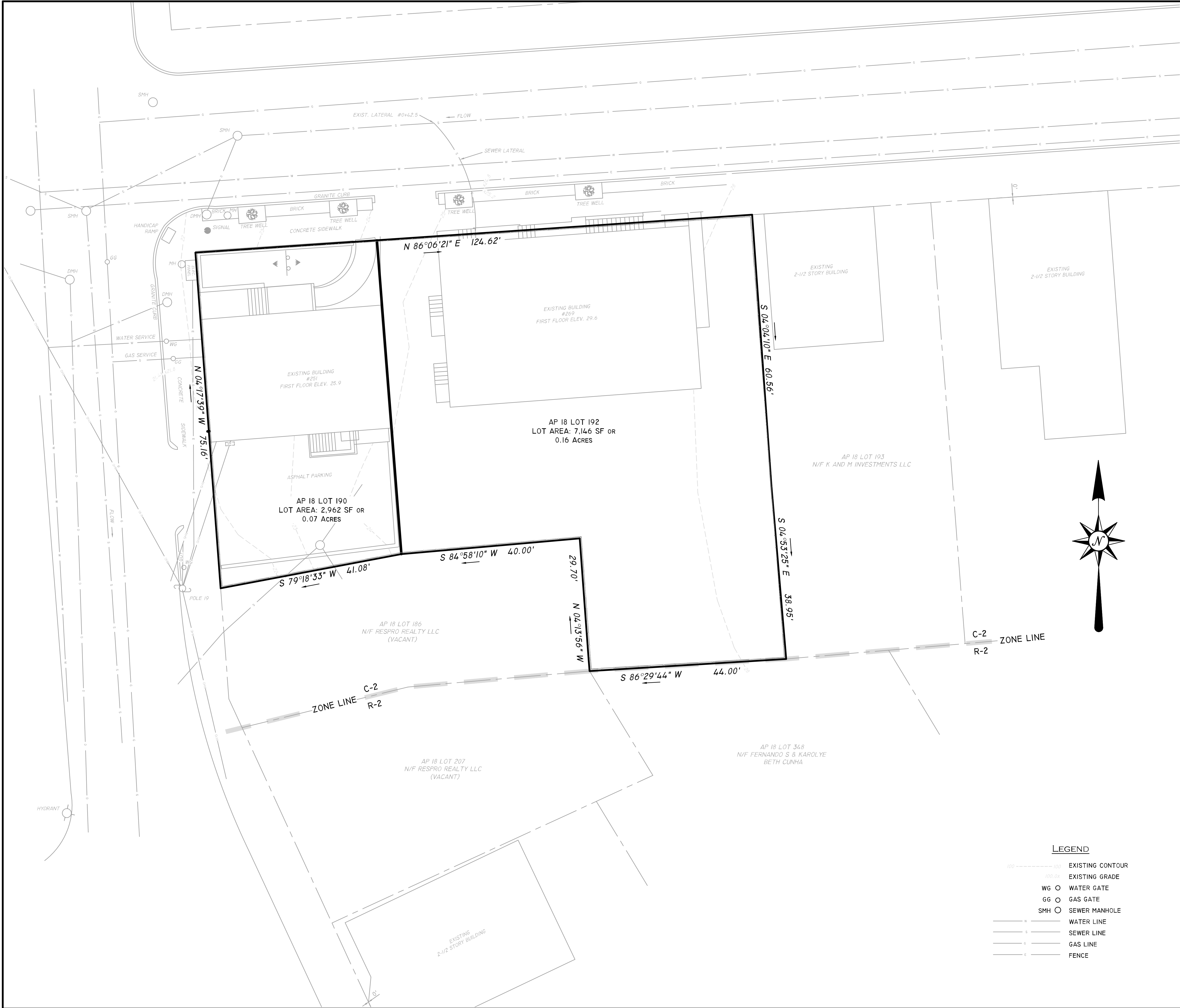
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Scale:

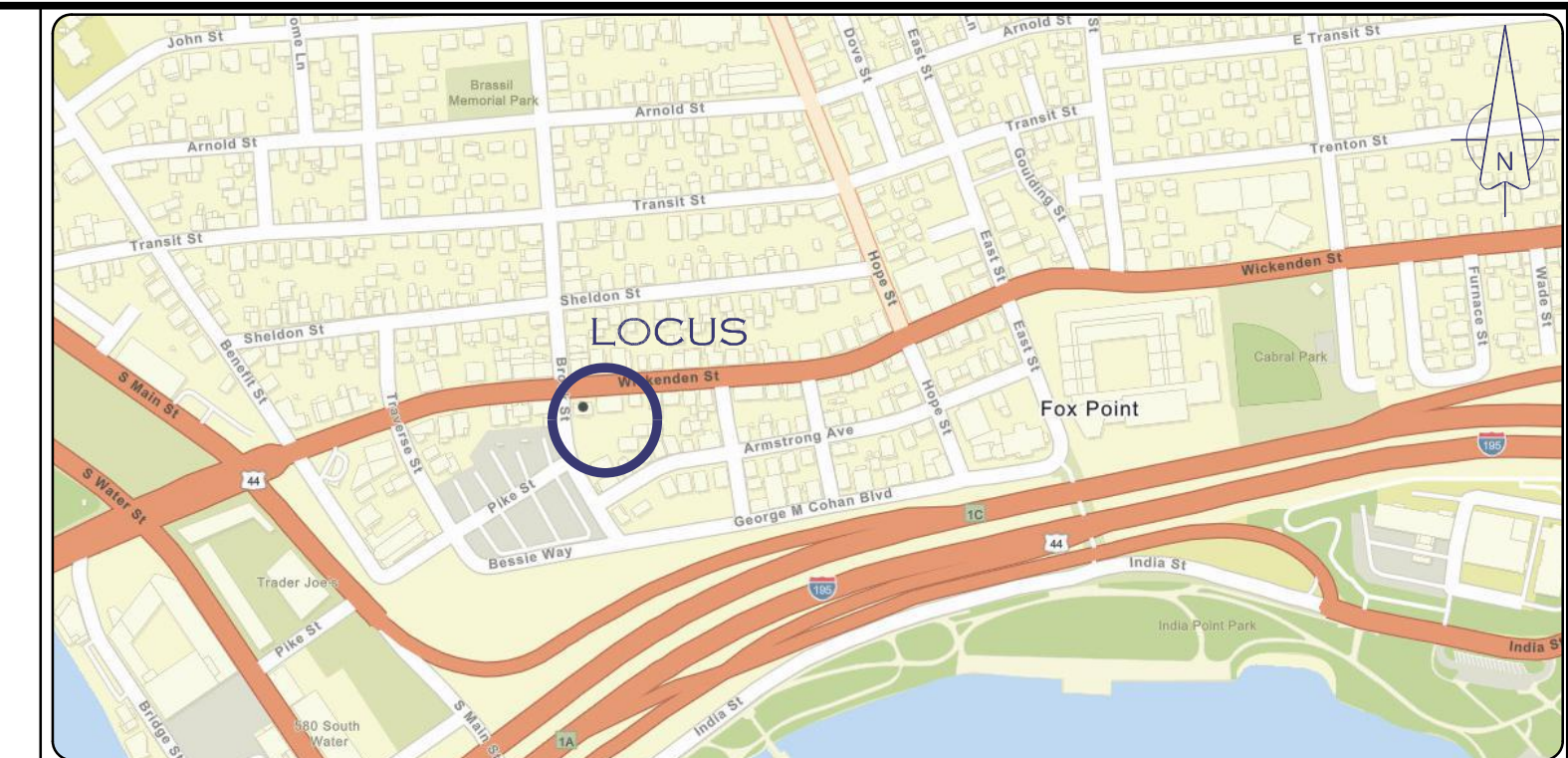
Date: 2/11/2025

Current Issue: Preliminary Plan

Drawing No.
PP-00.01



- LEGEND**
- EXISTING CONTOUR
 - EXISTING GRADE
 - WATER GATE
 - GAS GATE
 - SEWER MANHOLE
 - WATER LINE
 - SEWER LINE
 - GAS LINE
 - FENCE



- GENERAL NOTES:**
- OWNER: FOX POINT CAPITAL LLC - 269 WICKENDEN STREET, PROVIDENCE, RI 02903
 - ZONING DISTRICT: C-2
 - TOTAL PARCEL AREA: 10,108 SF.
 - DEED REFERENCE: LOT 190 - DEED BOOK 12765 PAGE 107; LOT 192 - BOOK 12468 PAGE 210.
 - THERE IS NO OBSERVANCE OF EARTHMOVING, CONSTRUCTION OR LANDFILL.
 - ELEVATIONS BASED ON NAVD88. ADD 8.75 FEET TO CONVERT TO PROVIDENCE SEWER DATUM.
 - THE PROPERTY SHOWN IS NOT LOCATED WITHIN A FEDERALLY DESIGNATED FLOOD HAZARD AREA AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP FOR THE CITY OF PROVIDENCE, RHODE ISLAND, MAP No. 44007C0309K DATED: 10/02/2015.
 - SITE DOES NOT FALL WITHIN THE CITY HISTORIC DISTRICT.
 - UTILITIES SHOWN ARE BASED ON FIELD OBSERVATIONS AND DATA OBTAINED BY CITY PROVIDENCE DEPARTMENT OF PUBLIC WORKS AND UTILITY COMPANIES. LOCATIONS SHOULD NOT BE CONSTRUED AS BEING COMPLETELY ACCURATE OR COMPLETE. *DIGSAFE MUST BE NOTIFIED BEFORE THE START OF ANY EXCAVATIONS OR CONSTRUCTION.
 - THERE ARE NO WETLAND AREAS ON THE PROPERTY SHOWN.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE FINDINGS SUCH A REPORT MIGHT DISCLOSE. PROPERTY LINES SHOWN ON THIS SURVEY/PLAT REPRESENT CURRENT PHYSICAL FIELD CONDITIONS AND EVIDENCE OF APPARENT POSSIBLE POSSESSION, ANY REFERENCES TO PUBLIC RECORDS HEREON REFLECTS TO THOSE RECORDS NECESSARY TO ESTABLISH THE BOUNDARIES SHOWN HEREON AND REFERENCE TO THE SAME DOES NOT, AND IS NOT INTENDED TO CONSTITUTE A TITLE SEARCH OR TITLE OPINION.

ZONING DISTRICT: C2

MINIMUM LOT AREA: NONE
MINIMUM BUILDING HEIGHT: 16'
MINIMUM FIRST STORY HEIGHT: 9' RESIDENTIAL USE
11' NON-RESIDENTIAL USE
MAXIMUM BUILDING HEIGHT: 50'. NOT TO EXCEED 4 STORIES
MAXIMUM BUILDING COVERAGE: NONE
TOTAL MAXIMUM IMPERVIOUS SURFACE: NONE
MINIMUM FRONT YARD: BUILD TO ZONE OF 0'-5'
(THE REQUIRED BUILD-TO PERCENTAGE IS 60% OF THE FRONT LOT LINE)
MINIMUM INTERIOR SIDE YARD: NONE UNLESS ABUTTING RESIDENTIAL DISTRICT, THEN 10'
MINIMUM CORNER SIDE YARD: BUILD TO ZONE OF 0'-5'
(THE REQUIRED BUILD-TO PERCENTAGE IS 40% OF THE CORNER SIDE LOT LINE)
MINIMUM REAR YARD: NONE UNLESS ABUTTING RESIDENTIAL DISTRICT, THEN 20'

GRAPHIC SCALE

(IN FEET)
1 INCH = 10' FT.

CERTIFICATION:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

-LIMITED CONTENT BOUNDARY SURVEY: CLASS 1
-TOPOGRAPHIC ACCURACY: T-4
STATEMENT OF PURPOSE
THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND THE PREPARATION OF THE PLAN IS AS FOLLOWS:
EXISTING CONDITIONS.

Marc N. Nyberg
MARC N. NYBERG LICENSE No. 1797 COA No. A52

EXISTING SITE PLAN

ASSESSOR'S PLAT 18 LOTS 190 & 192
251 & 269 WICKENDEN STREET
PROVIDENCE, RHODE ISLAND

PREPARED FOR: FOX POINT CAPITAL, LLC
244 WEYBOSSET STREET, FLOOR 1, PROVIDENCE, RI 02903

JOB # 23-148 SCALE: 1" = 10' DRAWN BY: LMB DATE: 2/11/2025

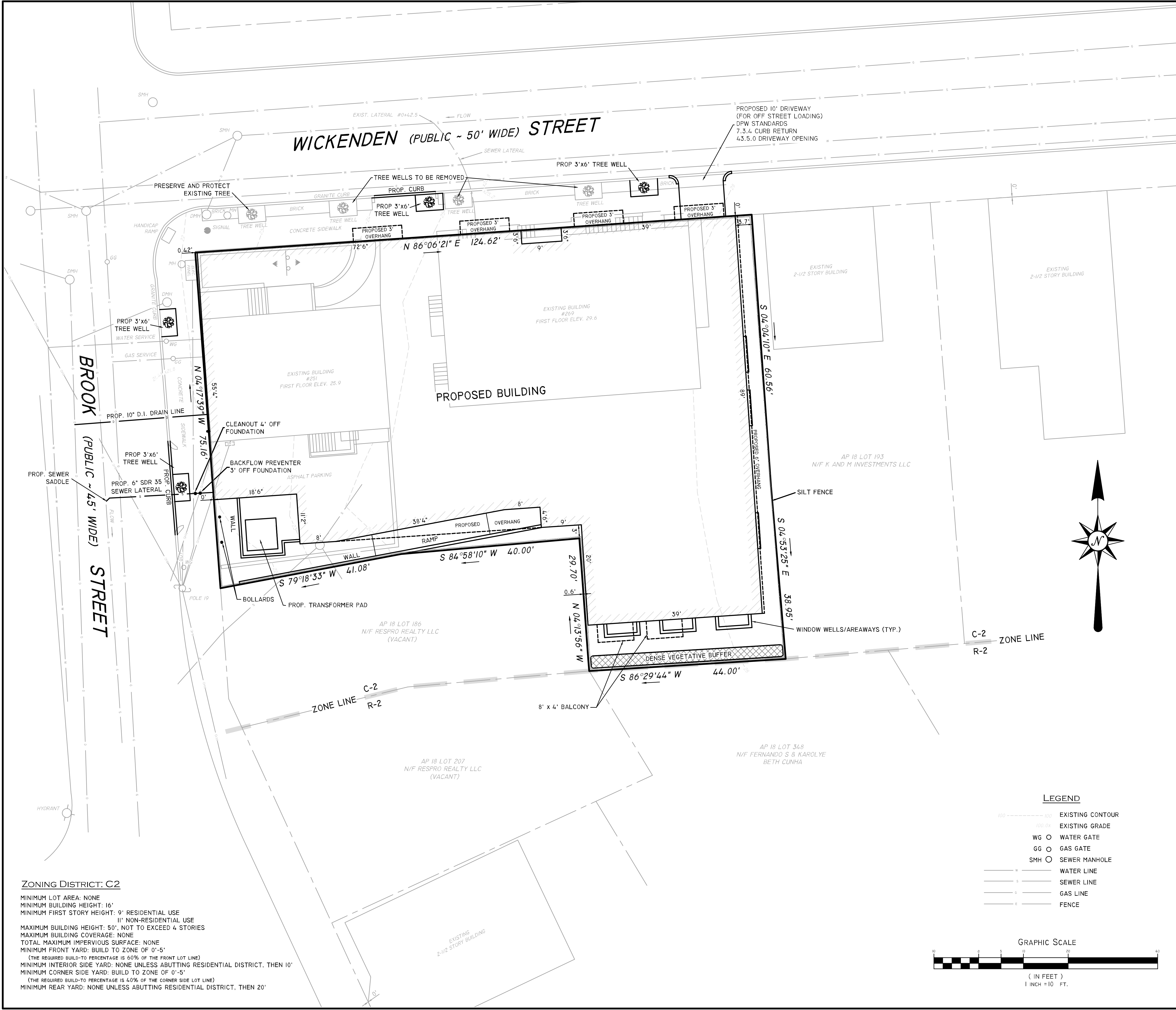
REVISED:

PROFESSIONAL SEAL

INSITE Engineering Services, LLC
PROFESSIONAL ENGINEERS | LAND SURVEYORS
Precision. Clarity. Certainty.

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SHEET PP-CP.00



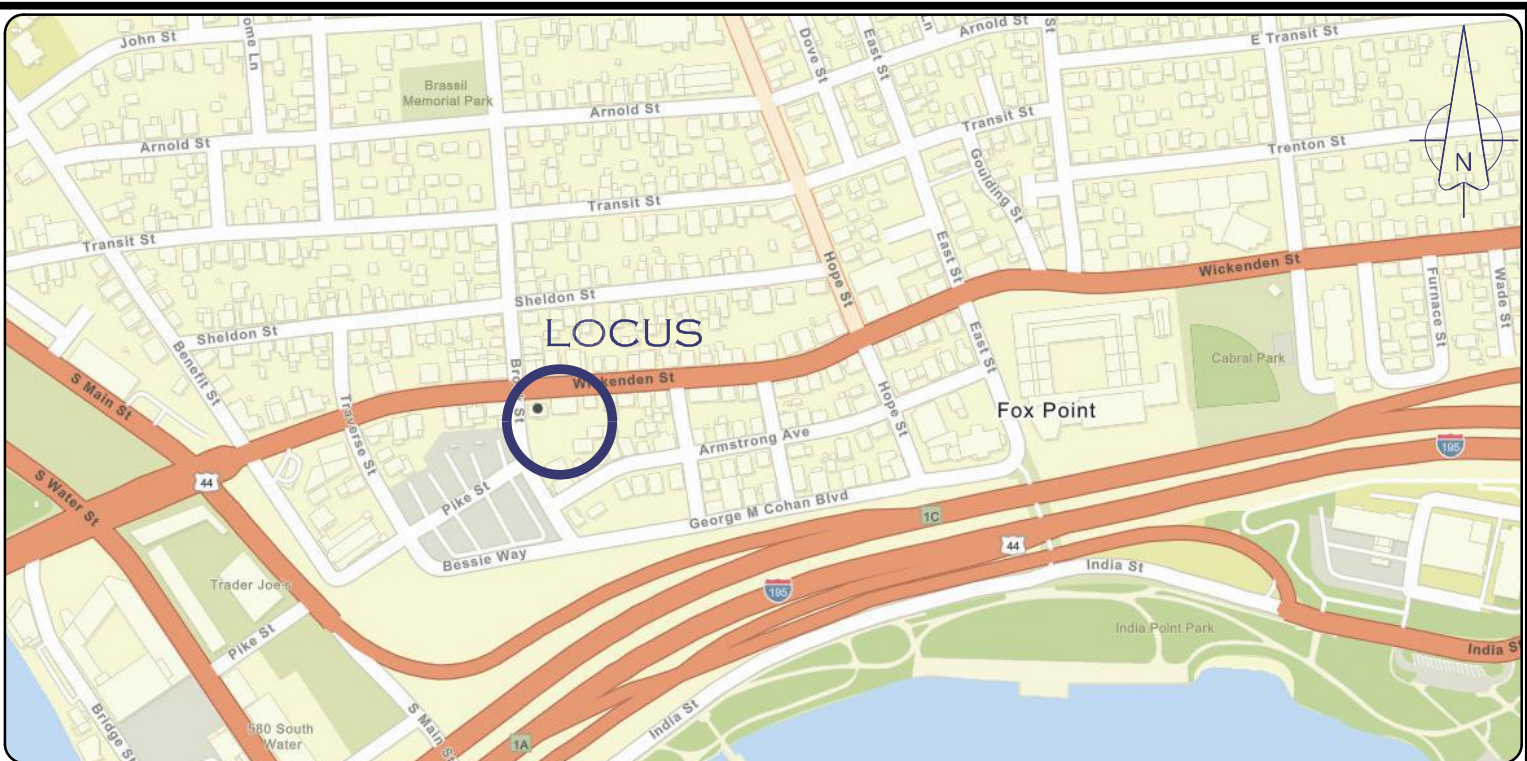
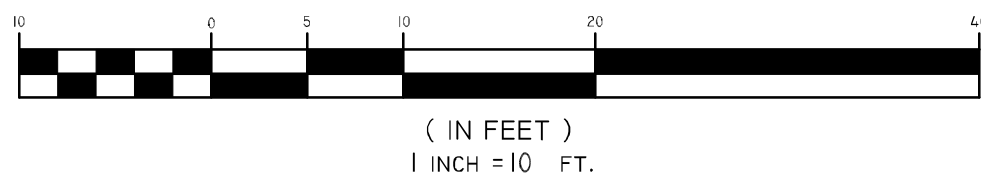
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(THE REQUIRED BUILD-TO PERCENTAGE IS 60% OF THE CORNER SIDE LOT LINE)
MINIMUM REAR YARD: NONE UNLESS ABUTTING RESIDENTIAL DISTRICT, THEN 20'

LEGEND

- 100' --- 100' EXISTING CONTOUR
- 100.0X EXISTING GRADE
- WG ○ WATER GATE
- GG ○ GAS GATE
- SMH ○ SEWER MANHOLE
- W — WATER LINE
- S — SEWER LINE
- G — GAS LINE
- F — FENCE

GRAPHIC SCALE



LOCATION MAP (NOT TO SCALE)

GENERAL NOTES:

1. OWNER: FOX POINT CAPITAL LLC - 269 WICKENDEN STREET, PROVIDENCE, RI 02903
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10. STORMWATER MAY NOT BE TIED INTO THE THE SANITARY SEWER CONNECTION.
11. THERE ARE NO WETLAND AREAS ON THE PROPERTY SHOWN.
12. REPAIR ALL SIDEWALKS AS NECESSARY.
13. MINIMUM 3 FEET REQUIRED BETWEEN TREE WELLS AND BACK OF SIDEWALK.
14. STORMWATER MUST BE CONTROLLED ON THE SITE TO THE EXTENT POSSIBLE.
15. ALL CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY MUST BE IN ACCORDANCE WITH THE CITY'S STANDARD DETAILS AT: <https://www.providence.ri.gov/public-works/forms/> UNDER 'REPORTS+PUBLICATIONS' OR AT <https://www.providence.ri.gov/wp-content/uploads/2019/06/Providence-DPW-Standard-Details.pdf>
16. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE FINDINGS SUCH A REPORT MIGHT DISCLOSE. PROPERTY LINES SHOWN ON THIS SURVEY/PLAT REPRESENT CURRENT PHYSICAL FIELD CONDITIONS AND EVIDENCE OF APPARENT POSSIBLE POSSESSION. ANY REFERENCES TO PUBLIC RECORDS HEREON REFLECTS TO THOSE RECORDS NECESSARY TO ESTABLISH THE BOUNDARIES SHOWN HEREON AND REFERENCE TO THE SAME DOES NOT, AND IS NOT INTENDED TO CONSTITUTE A TITLE SEARCH OR TITLE OPINION.

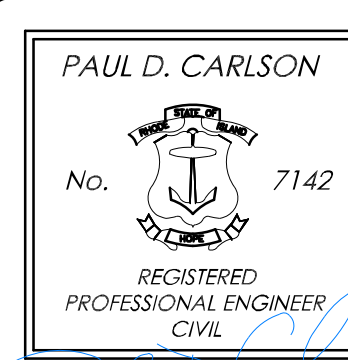
STORMWATER MANAGMENT PLAN

1. LIMITED GUTTERS AND DOWNSPOUTS FROM PITCHED ROOFS TO BE DIVERTED TO VEGETATIVE AREAS ON SITE. SITE TO BE GRADED TO RETAIN STORMWATER ON SITE TO AVOID RUNOFF.
2. STORMWATER MAY NOT BE TIED INTO SANITARY SEWER LINE, ONLY DEDICATED STORMWATER (RAIN) LINE.

SEDIMENT CONTROL PLAN

1. THROUGHOUT CONSTRUCTION, APPROPRIATE MEASURES WILL BE TAKEN TO AVOID EROSION & PREVENT SEDIMENT FROM LEAVING THE SITE. MEASURES SHALL INCLUDE TEMPORARY SILT FENCING AT THE PERIMETER OF THE SITE AT ALL LOT LINES. ADDITIONALLY, HIGH-FLOW INLET PROTECTION FILTERS, SUCH AS GUTTERBUDDIES, WILL BE INSTALLED WHERE THE SITE MEETS THE CURB/ROW TO PREVENT SEDIMENT FROM FLOWING INTO THE CITY'S STORMWATER SYSTEM DURING CONSTRUCTION.
2. EROSION CONTROL TO BE INSPECTED PERIODICALLY OR AFTER SIGNIFICANT RAINFALL, AND REPAIRED OR REPLACED AS NECESSARY.
3. EROSION CONTROL SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE AND AREA HAS STABILIZED.

STORMWATER MANAGEMENT PLAN



PROFESSIONAL SEAL

ASSESSOR'S PLAT 18 LOTS 190 & 192
251 & 269 WICKENDEN STREET
PROVIDENCE, RHODE ISLAND

PREPARED FOR: FOX POINT CAPITAL, LLC

244 WEYBOSSET STREET, FLOOR 1, PROVIDENCE, RI 02903

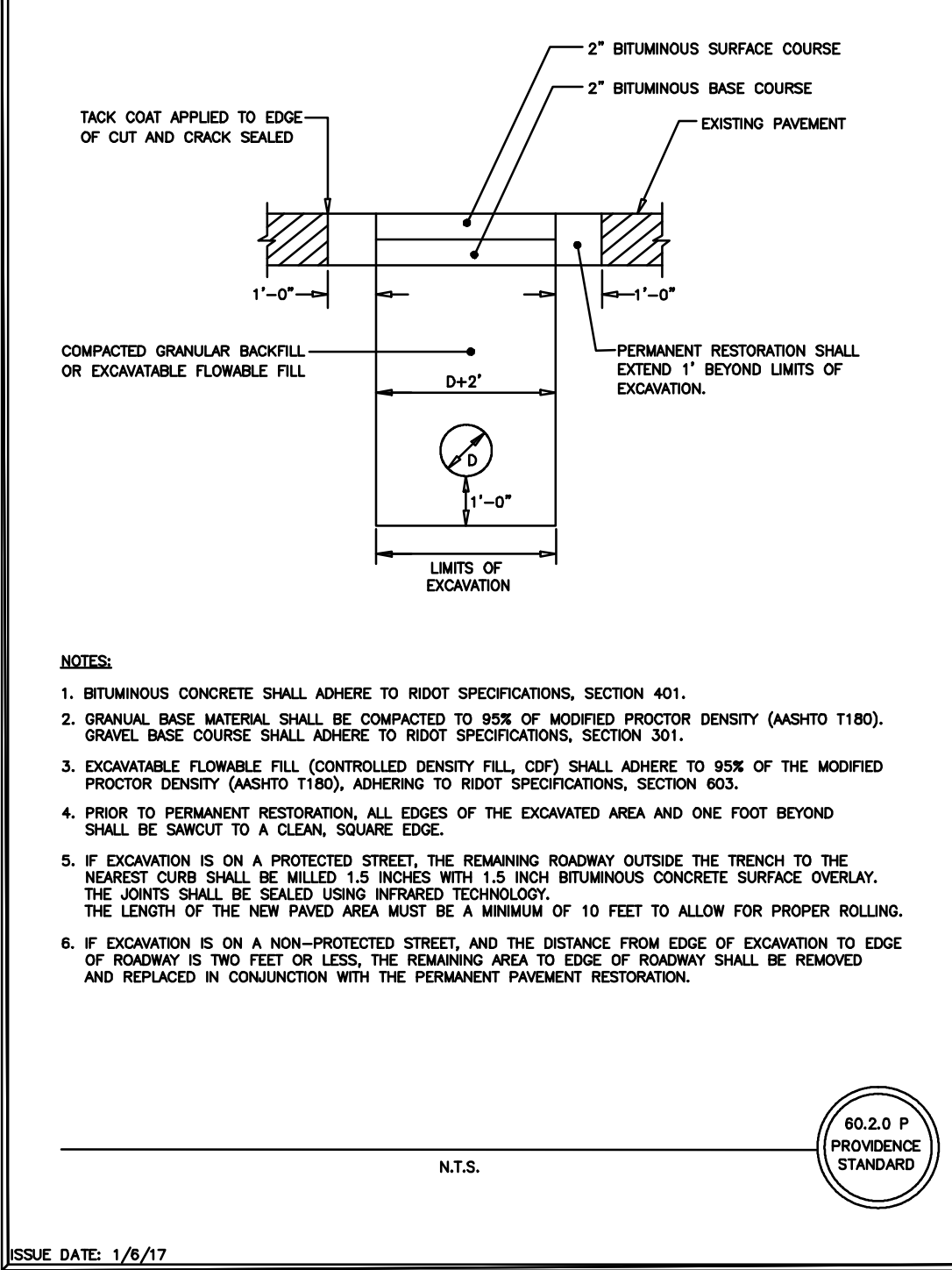
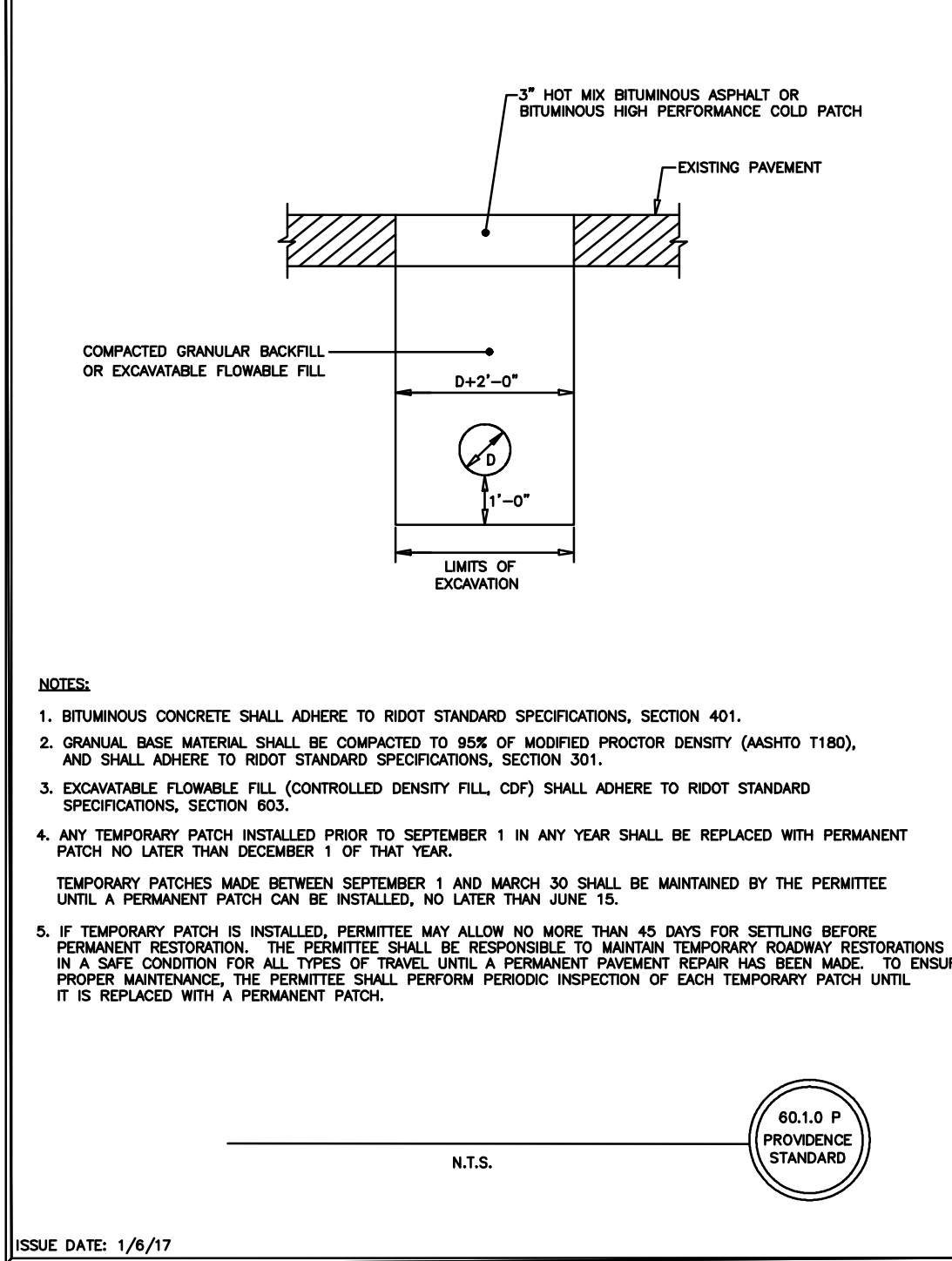
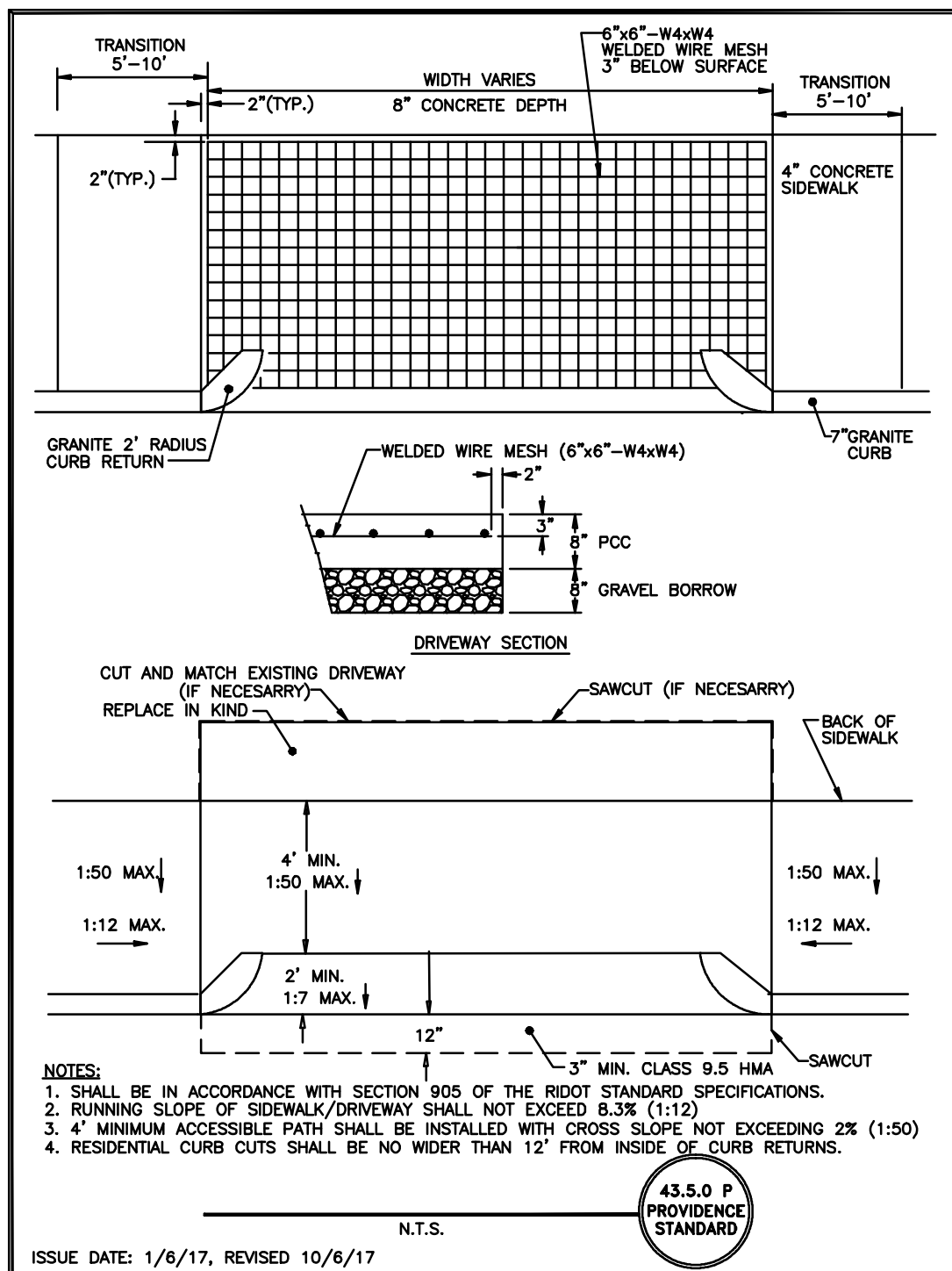
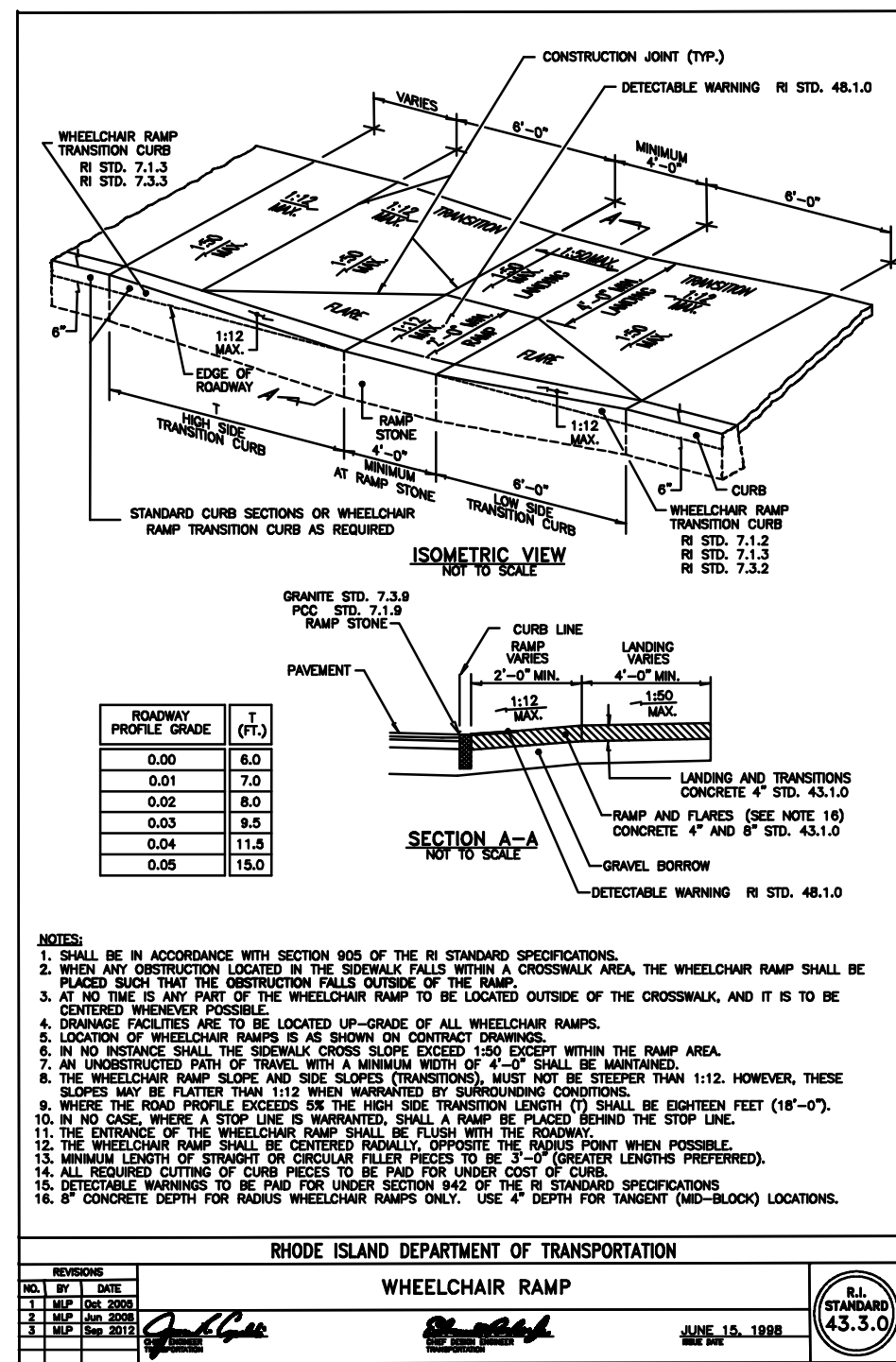
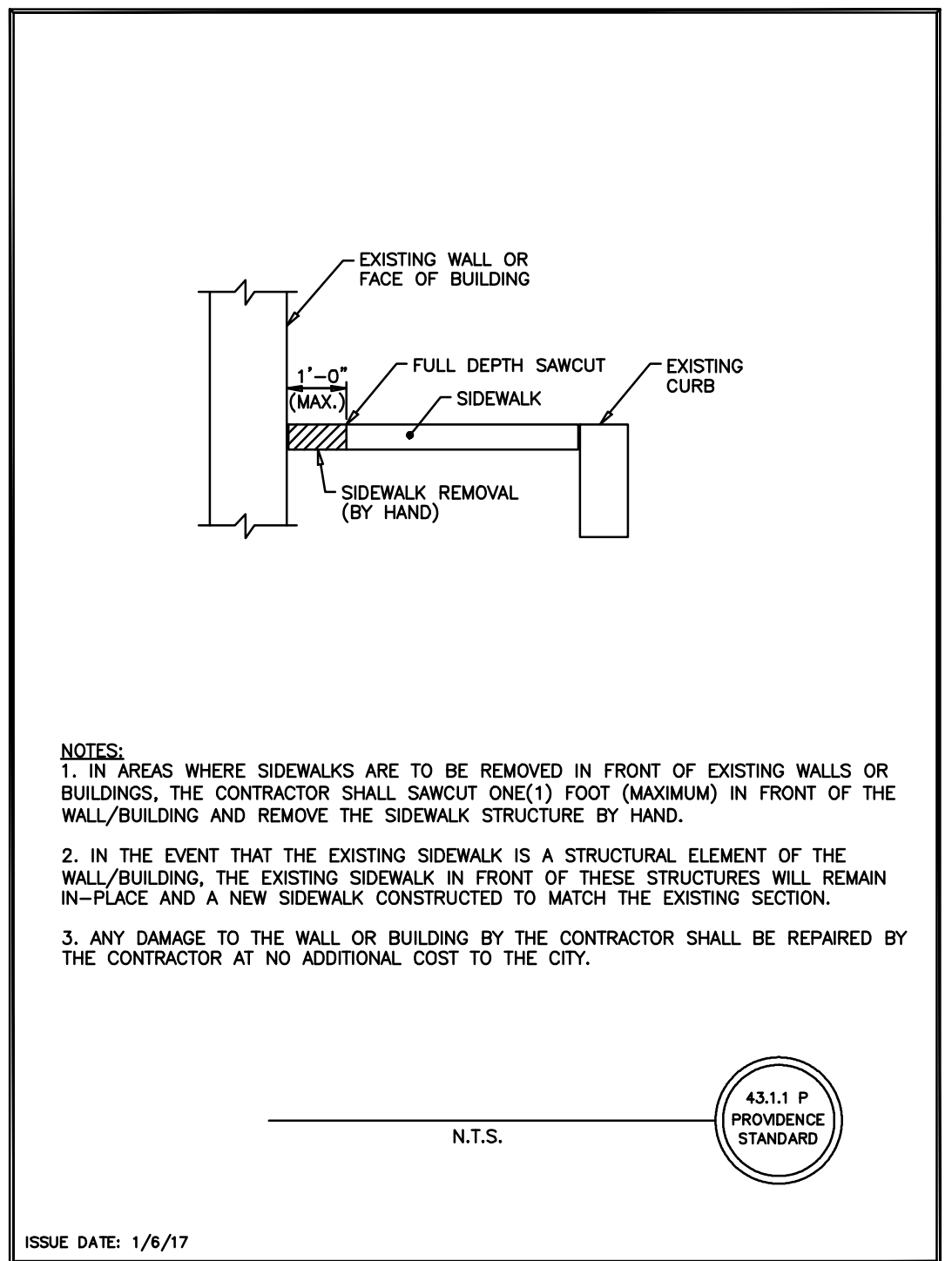
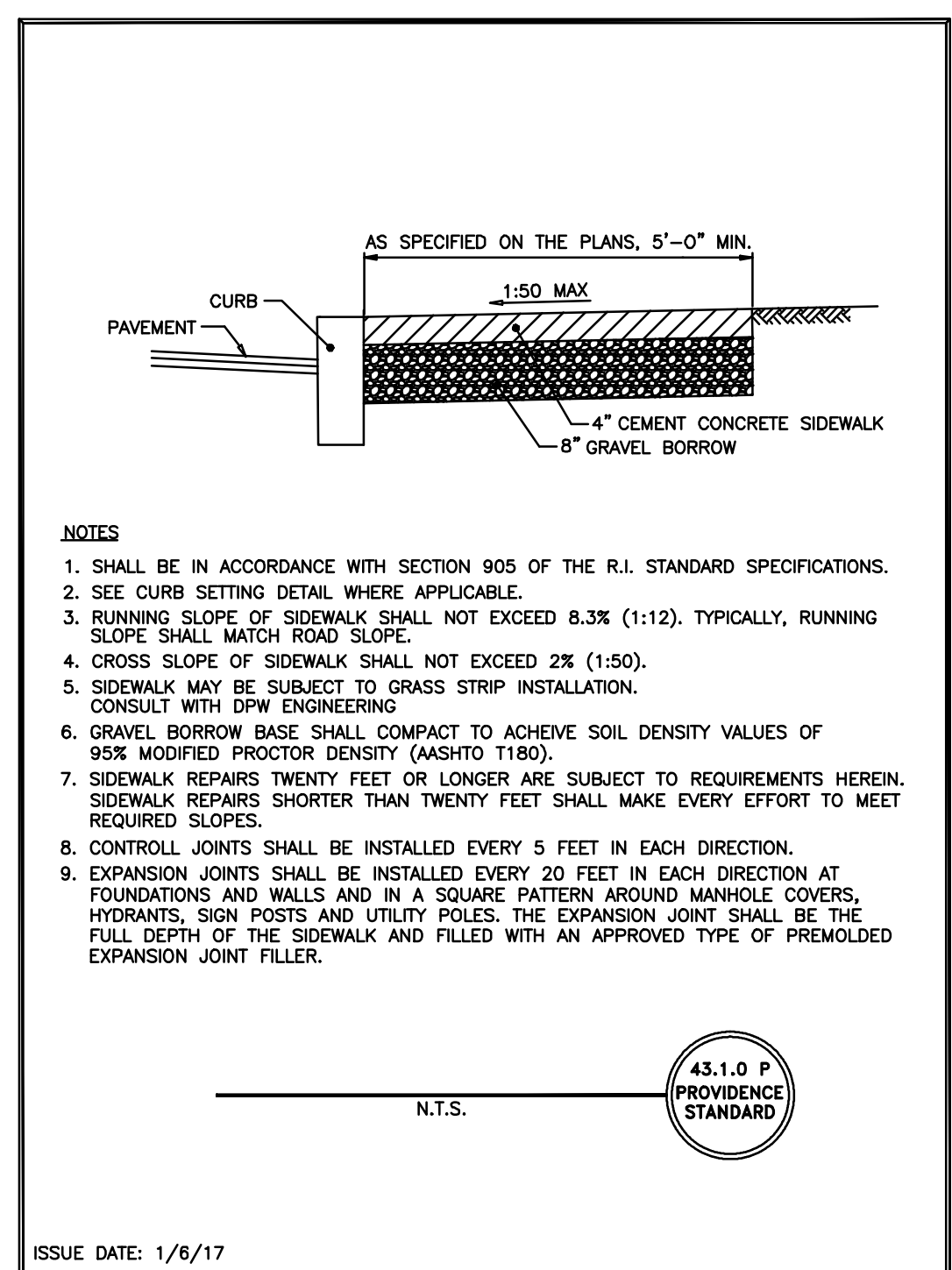
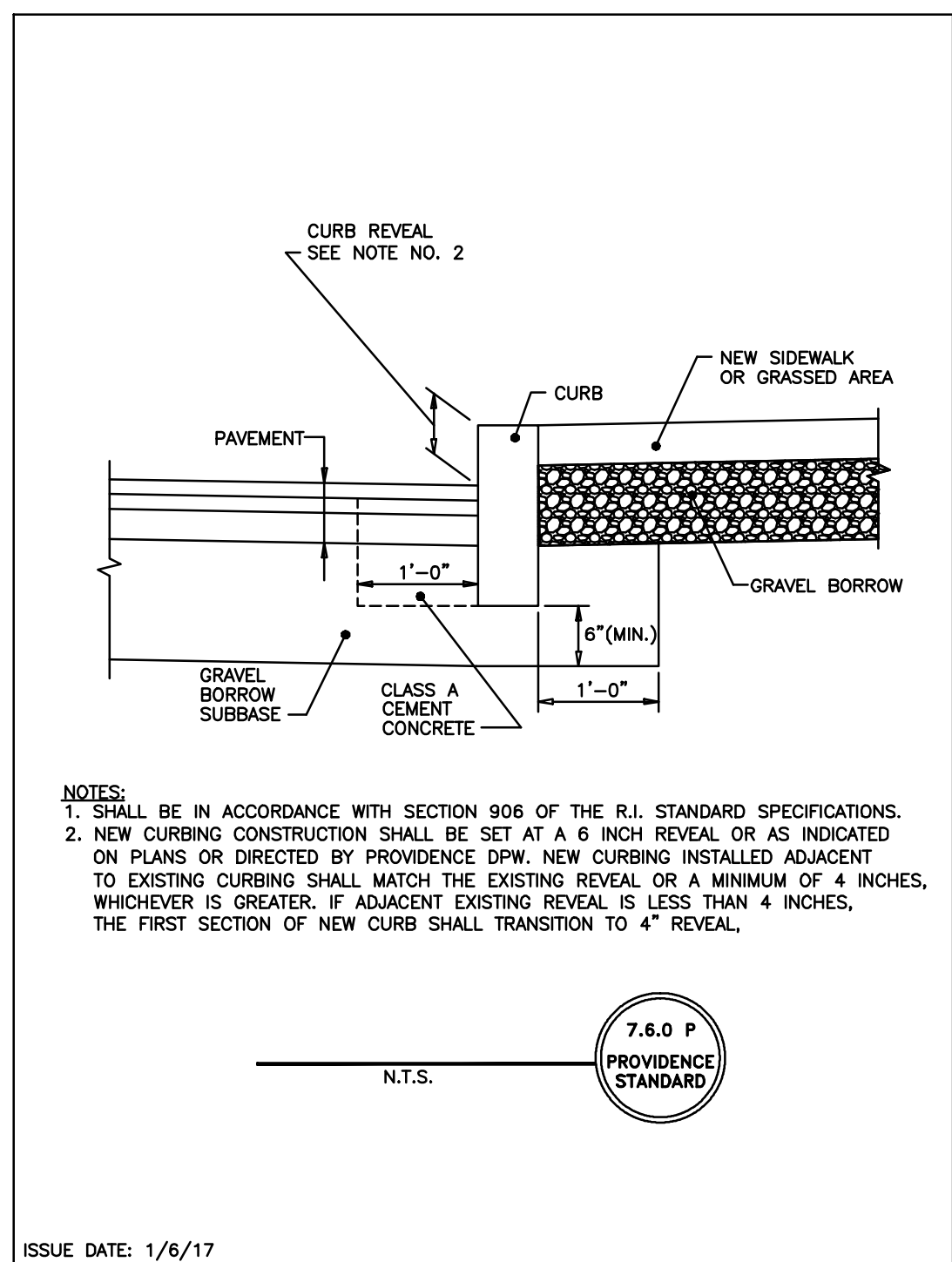
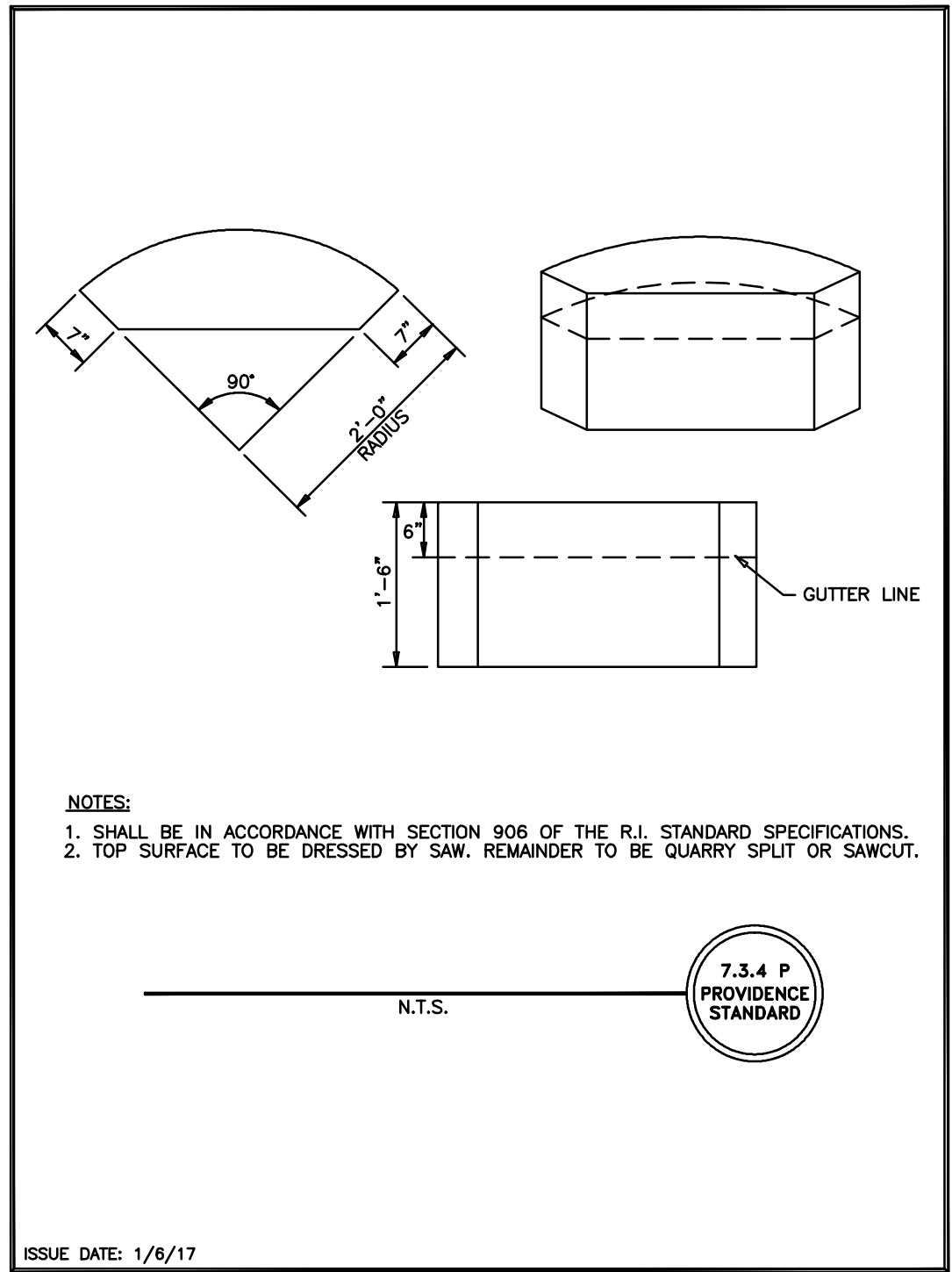
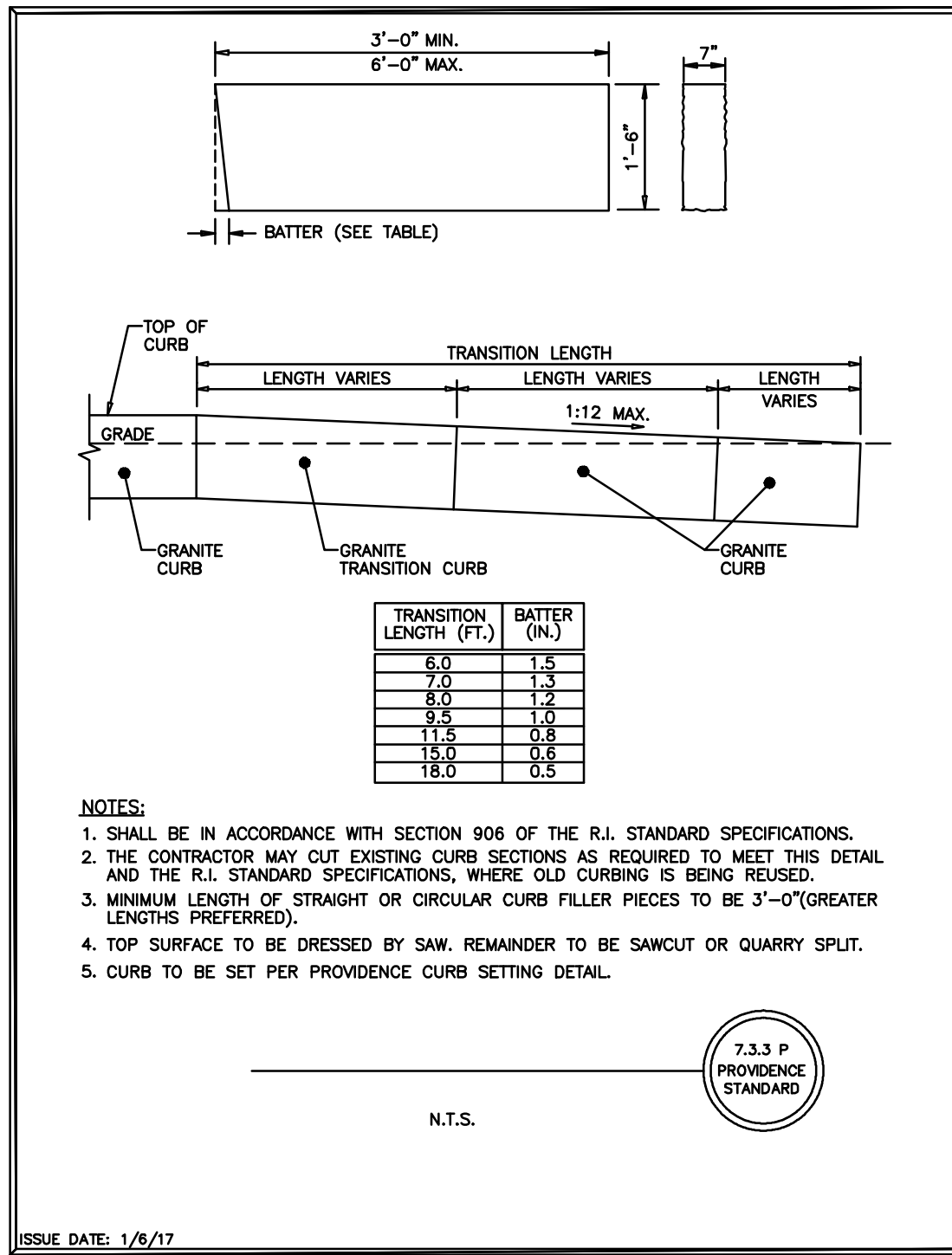
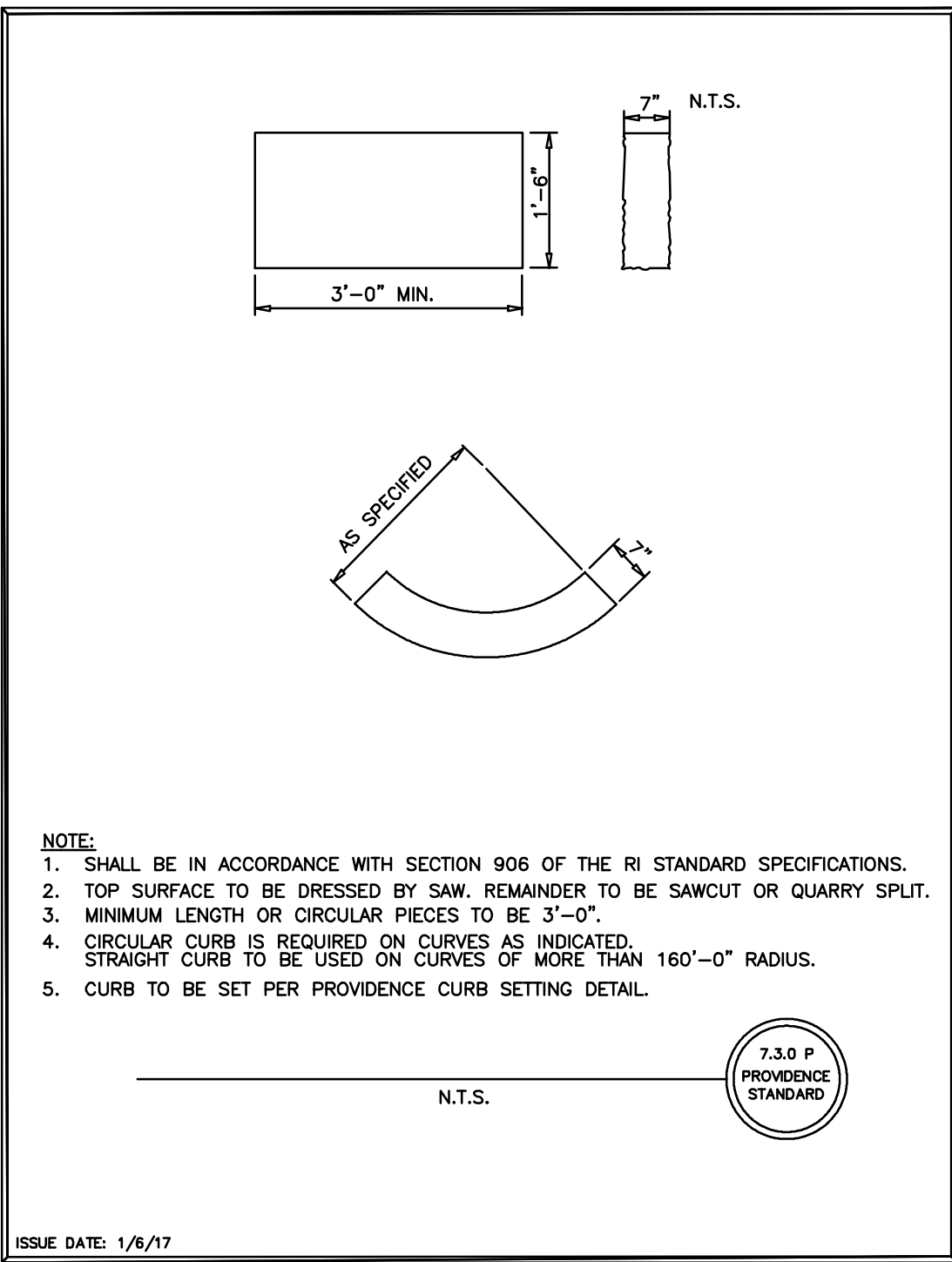
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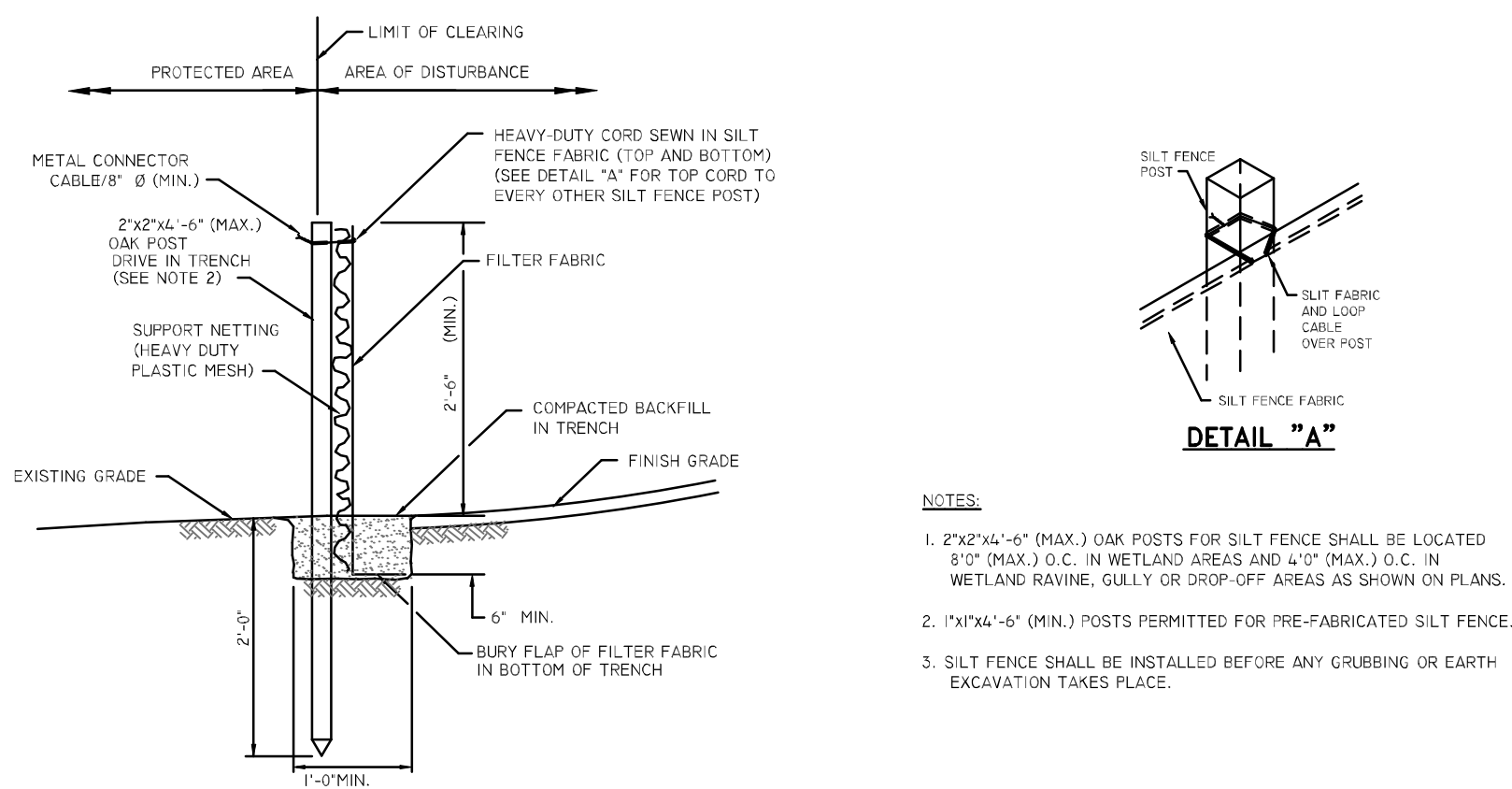


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SHEET
PP-CP.02



SILT FENCE DETAIL



PAUL D. CARLSON

No. 7142

REGISTERED PROFESSIONAL ENGINEER CIVIL

PROFESSIONAL SEAL

ASSESSOR'S PLAT 18 LOTS 190 & 192
251 & 269 WICKENDEN STREET
PROVIDENCE, RHODE ISLAND

PREPARED FOR: Fox Point Capital, LLC
244 WEYBOSSET STREET, FLOOR 1, PROVIDENCE, RI 02903

JOB # 23-148
SCALE: NONE
DRAWN BY: LMB
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REVISED:

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RAIN GARDEN

BASIS OF DESIGN - THE RAIN GARDEN IS DESIGN TO COLLECT A SMALL AMOUNT OF ROOF RAINWATER AS A MEDIATION MEASURE TO OFFSET THE TOTAL AMOUNT OF STORMWATER BEING DISCHARGE INTO THE CITY SYSTEM. RAINWATER IS WILL BE COLLECTED VIA GUTTER AND DOWNSPOUT AND DIRECTED TO THE DRAINAGE AREA THROUGH PIPING BELOW THE GRADE FOR DISTRIBUTION TO A 4" PERFORATED PIPE ALONG THE LENGTH OF THE RAIN GARDEN.

DRAINAGE AREA - 324 SF (LIMITED ROOF AREA)
RAIN GARDEN - 108 SF
VOLUME - RAIN GARDEN IS SIZED 1/3 OF DRAINAGE AREA BASED ON 1" INCH OF RAINFALL

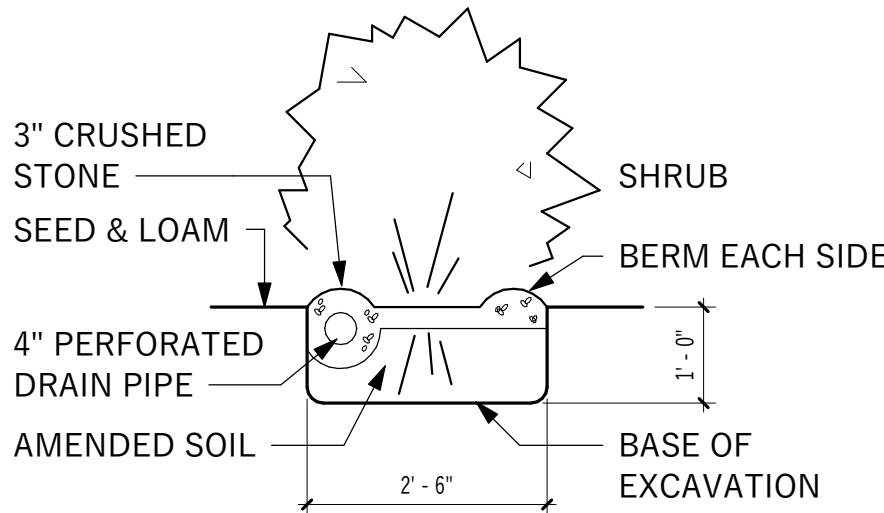
TREE AND PLANT LIST - ZONE 7a				
TYPE	LATIN NAME	COMMON NAME	SIZE	QTY
T4	ACER CAMPESTRE	HEDGE MAPLE	300 sf	2
S1	ILEX GLABRA "SHAMROCK"	INKBERRY	3 GALLON	3



TYPE T4



TYPE S1



2 RAIN GARDEN SECTION
1/2" = 1'-0"

ARTICLE 15 - TREES AND LANDSCAPING

1500: LANDSCAPING REQUIRED

A2 IF LAND WITHIN THE LIMITS OF DISTURBANCE EQUALS MORE THAN 50% OF THE AREA OF THE LOT OR LOTS BEING DEVELOPED, THE ENTIRE DEVELOPMENT SHALL FULLY CONFORM TO THE REQUIREMENTS OF THIS ARTICLE.

1503: ON-SITE LANDSCAPING AND TREES REQUIRED

A GENERAL REQUIREMENTS

1. ALL PORTIONS OF A LOT NOT COVERED BY STRUCTURES OR PAVED SURFACES SHALL BE LANDSCAPED WITH TREES, SHRUBBERY, GRASS, LIVE GROUNDCOVER, AND OTHER PLANTINGS. THE LANDSCAPE DESIGN MAY ALSO INCLUDE THE USE OF STONE, MULCH BEDS, OR OTHER PERVIOUS LANDSCAPING MATERIALS (THIS EXCLUDES PERVIOUS PAVEMENT).

B SIGNIFICANT TREES

1. A SIGNIFICANT TREE IS ANY TREE THAT MEASURES 32 INCHES OR MORE IN DIAMETER AT 4 1/2 FEET ABOVE THE GROUND. NO SIGNIFICANT TREE MAY BE REMOVED WITHOUT PERMISSION OF THE CITY FORESTER

- THERE ARE NO SIGNIFICANT TREES ON-SITE

C REQUIRED TREE CANOPY

1. REQUIRED TREE CANOPY PERCENTAGE SUFFICIENT TREES SHALL BE RETAINED AND/OR PLANTED ON A LOT SO THAT THE SQUARE FOOTAGE OF VEGETATIVE CANOPY OF SUCH TREES, WHEN MATURE, EQUALS A CERTAIN PERCENTAGE OF THE SQUARE FOOTAGE OF THE LOT. PERCENTAGE IS BY DISTRICT;

d. ALL OTHER DISTRICTS - 15% OF THE LOT

2. CALCULATION OF TREE CANOPY COVERAGE

- a. LARGE: 1,000 SF
- b. MEDIUM: 700 SF
- c. SMALL: 300 SF

4. STREET TREE ACCOMMODATION

EXISTING OR PLANNED STREET TREES LOCATED IN THE PUBLIC RIGHT-OF-WAY DIRECTLY ADJACENT TO THE LOT LINE MAY BE COUNTED TOWARD THE CANOPY COVERAGE FOR THE LOT.



TYPE T1



TYPE T2



TYPE T3

STREET TREE LIST

ARTICLE 15 - TREES AND LANDSCAPING - PROPOSED

LOT SIZE: 10,000 SF
DISTRICT: ALL OTHER
REQUIRED CANOPY: 15%

REQUIRED COVERAGE: 10,000 SF LOT
15%
1,500 SF

PROPOSED COVERAGE: 3,300 sf

TYPE	LATIN NAME	COMMON NAME	SIZE	QTY
T1	ULMUS PARVIFOLIA	CHINESE ELM	1,000 sf	1
T2	GINKGO BILOBA	GINKGO	1,000 sf	1
T3	CARPINUS BETULUS	EUROPEAN HORNBEAM	700 sf	2
TE*	ULMUS PARVIFOLIA	CHINESE ELM	300 sf	1

*THIS TREE IS EXISTING TO REMAIN - IT SHALL BE PROTECTED DURING CONSTRUCTION

LANDSCAPE MATERIAL LEGEND

- A RAIN GARDEN - DENSE VEGETATIVE BUFFER
- B SEED & LOAM
- C RETAINING WALL - SPLIT FACE BLOCK WITH CAP
- D HARDSCAPE WALK - PAVERS

REQUIRED TREES - CANOPY

- E PROPOSED 3' x 6' TREE & WELL

F AREAWAY - WINDOW WELL

UTILITY

- T TRANSFORMER

BIKE RACK - SHORT TERM

- R 2 BIKE CAPACITY AT EACH RACK
STORAGE FOR 3 BIKES IS REQUIRED
2 RACKS PROVIDED

STORMWATER AND SEDIMENT

STORMWATER MANAGEMENT STATEMENT:

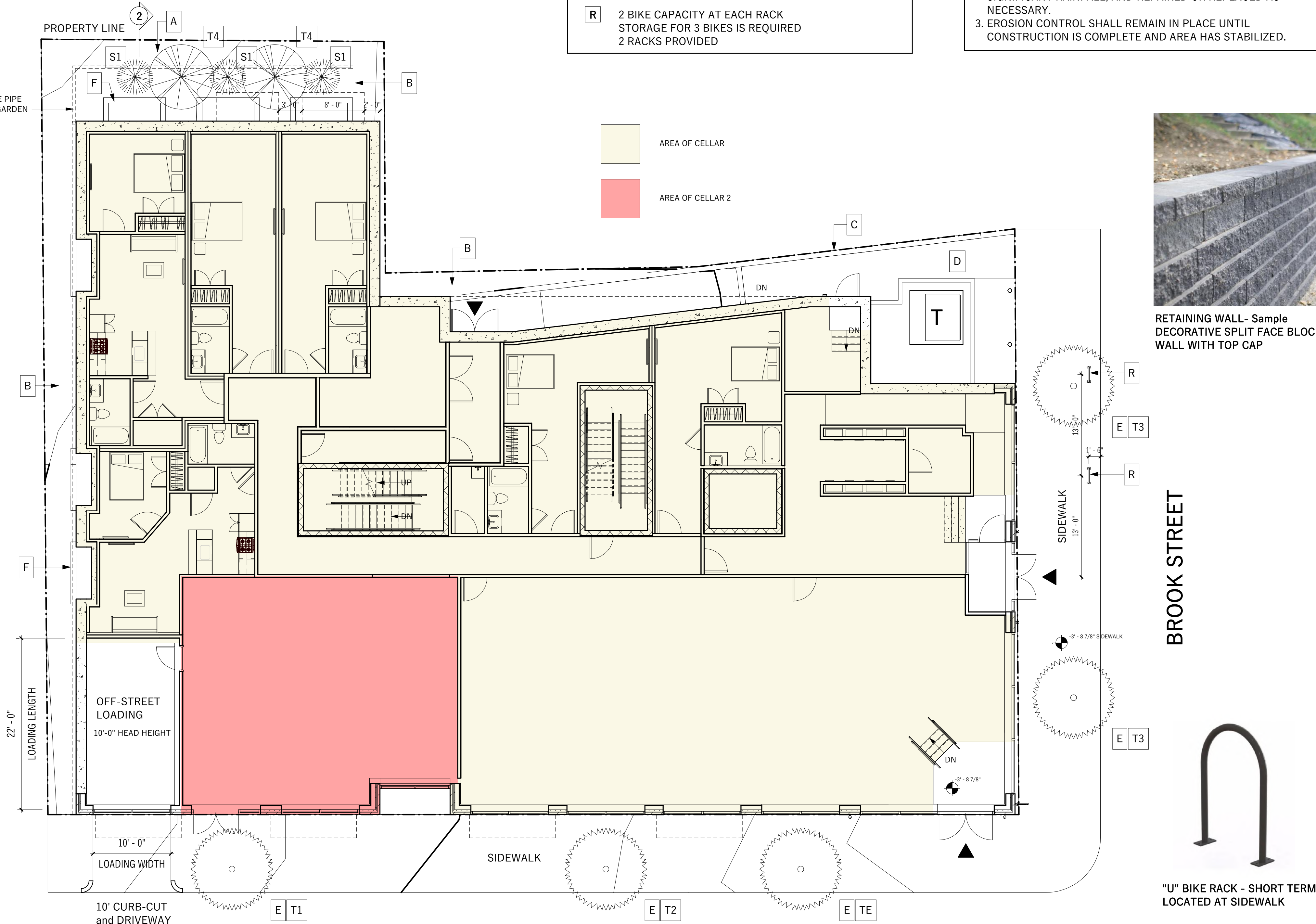
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- STORMWATER MAY NOT BE TIED INTO SANITARY SEWER LINE, ONLY DEDICATED STORMWATER (DRAIN) LINE.

SEDIMENT CONTROL PLAN:

- THROUGHOUT CONSTRUCTION: APPROPRIATE MEASURES WILL BE TAKEN TO AVOID EROSION & PREVENT SEDIMENT FROM LEAVING THE SITE. MEASURES SHALL INCLUDE TEMPORARY SILT FENCING AT THE PERIMETER OF THE SITE AT ALL LOT LINES. ADDITIONALLY, HIGH-FLOW INLET PROTECTION FILTERS, SUCH AS GUTTERBUDDIES, WILL BE INSTALLED WHERE THE SITE MEETS THE CURB/ROW TO PREVENT SEDIMENT FROM FLOWING INTO THE CITY'S STORMWATER SYSTEM DURING CONSTRUCTION.
- EROSION CONTROL TO BE INSPECTED PERIODICALLY OR AFTER SIGNIFICANT RAINFALL, AND REPAIRED OR REPLACED AS NECESSARY.
- EROSION CONTROL SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE AND AREA HAS STABILIZED.



RETAINING WALL- Sample DECORATIVE SPLIT FACE BLOCK WALL WITH TOP CAP



WICKENDEN STREET

BROOK STREET

"U" BIKE RACK - SHORT TERM
LOCATED AT SIDEWALK

1 LANDSCAPE PLAN
1/8" = 1'-0"

Revision Schedule	Description	
	No.	Date

Project Name:
FOXPOINT MIXED-USE REDEVELOPMENT
269 WICKENDEN STREET, PROVIDENCE RI

Sheet Name:
LANDSCAPE PLAN

Stamp:

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Project No.:

Checked By: PABco

Drawn By: PABco

Scale: As indicated

Date: 2/11/2025

Current Issue: Preliminary Plan

Drawing No.

PP-LP.00

THIS SHEET ILLUSTRATES THE CALCULATIONS
USED TO DETERMINE OFF-STREET LOADING PER
TABLE 14-2

AREA SCHEDULE (GFA - RESIDENTIAL vs. COMMERCIAL)		
Level	Name	Area
Cellar Level	COMMERCIAL 1	2200 SF
Cellar Level	RESIDENTIAL	6048 SF
G2-Wick Street	COMMERCIAL 2	1030 SF
G2-Wick Street	RESIDENTIAL	308 SF
1st Floor	RESIDENTIAL	7286 SF
2nd Floor	RESIDENTIAL	8819 SF
3rd Floor	RESIDENTIAL	8819 SF
4th Floor	RESIDENTIAL	8819 SF
5th Floor	RESIDENTIAL	7348 SF

TABLE 14-2 OFF-STREET LOADING REQUIREMENTS	
USE TYPE	NUMBER OF SPACES
MULTI-FAMILY DWELLING	
40,000 SF OR MORE OF GFA	1 LOADING SPACE
COMMERCIAL	
20,000 - 100,000 GFA	1 LOADING SPACE

GROSS RESIDENTIAL BUILDING SQUARE FOOTAGE	
5TH	7,348 SF
4TH	8,819 SF
3RD	8,819 SF
2ND	8,819 SF
1ST	7,286 SF
G2	308 SF
Cellar	6,048 SF
TOTAL	47,447 SF

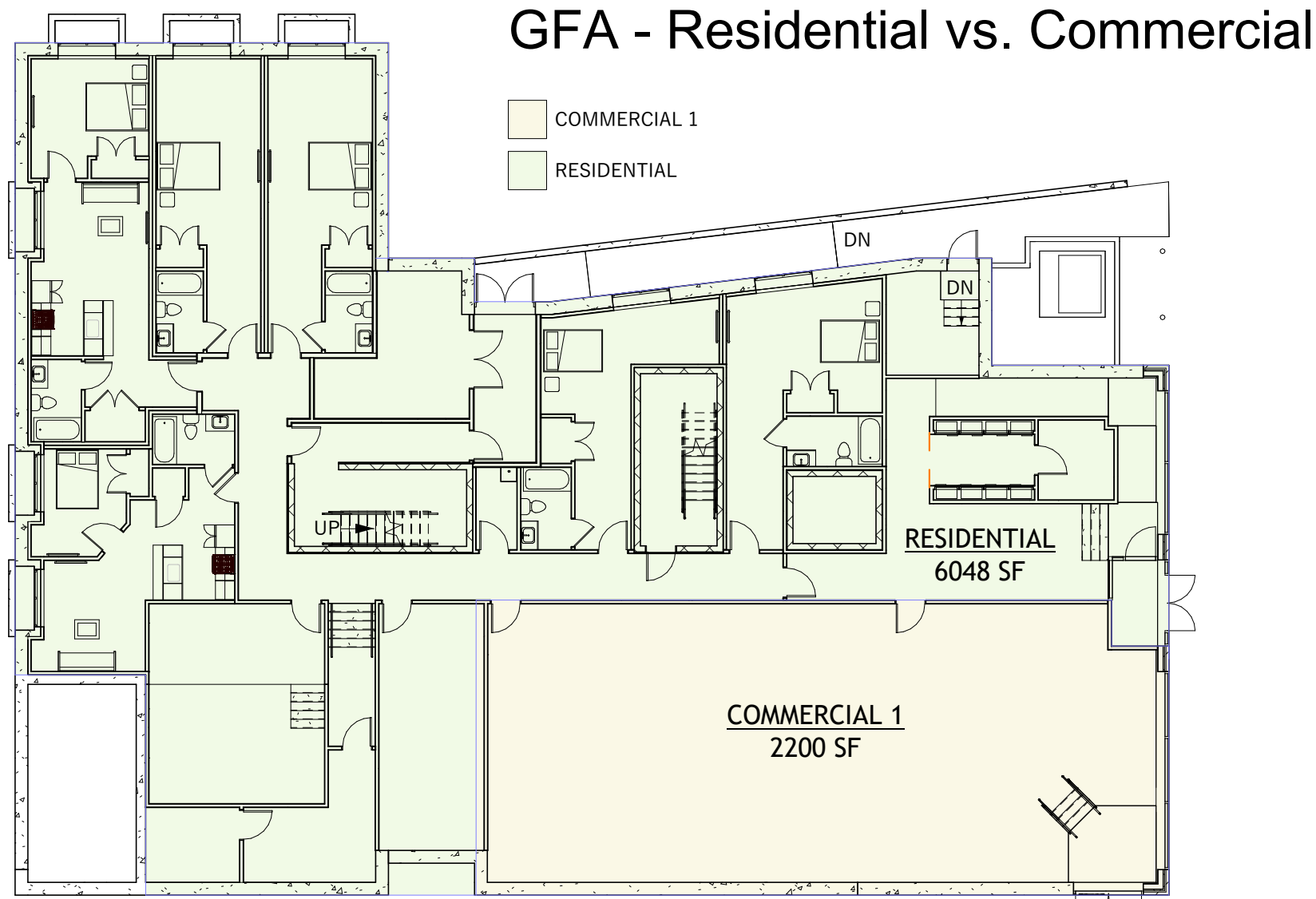
SQUARE FOOTAGE BASED ON RESIDENTIAL FLOOR
SPACE ONLY.

RESIDENTIAL PROGRAM

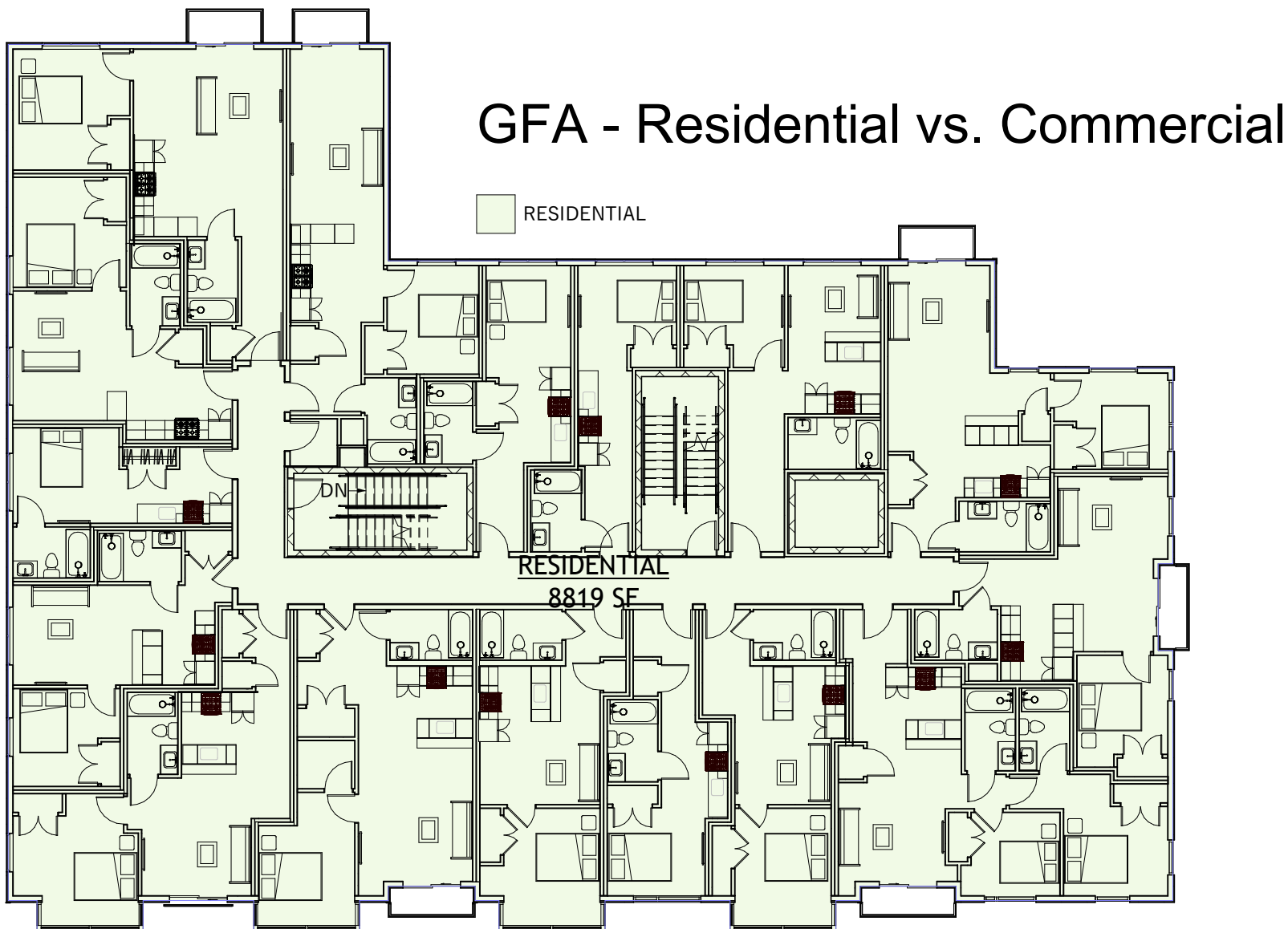
GROSS COMMERCIAL BUILDING SQUARE FOOTAGE	
C1	2,200 SF
C2	1,030 SF
TOTAL	3,230 SF

SQUARE FOOTAGE BASED ON COMMERCIAL FLOOR
SPACE ONLY.

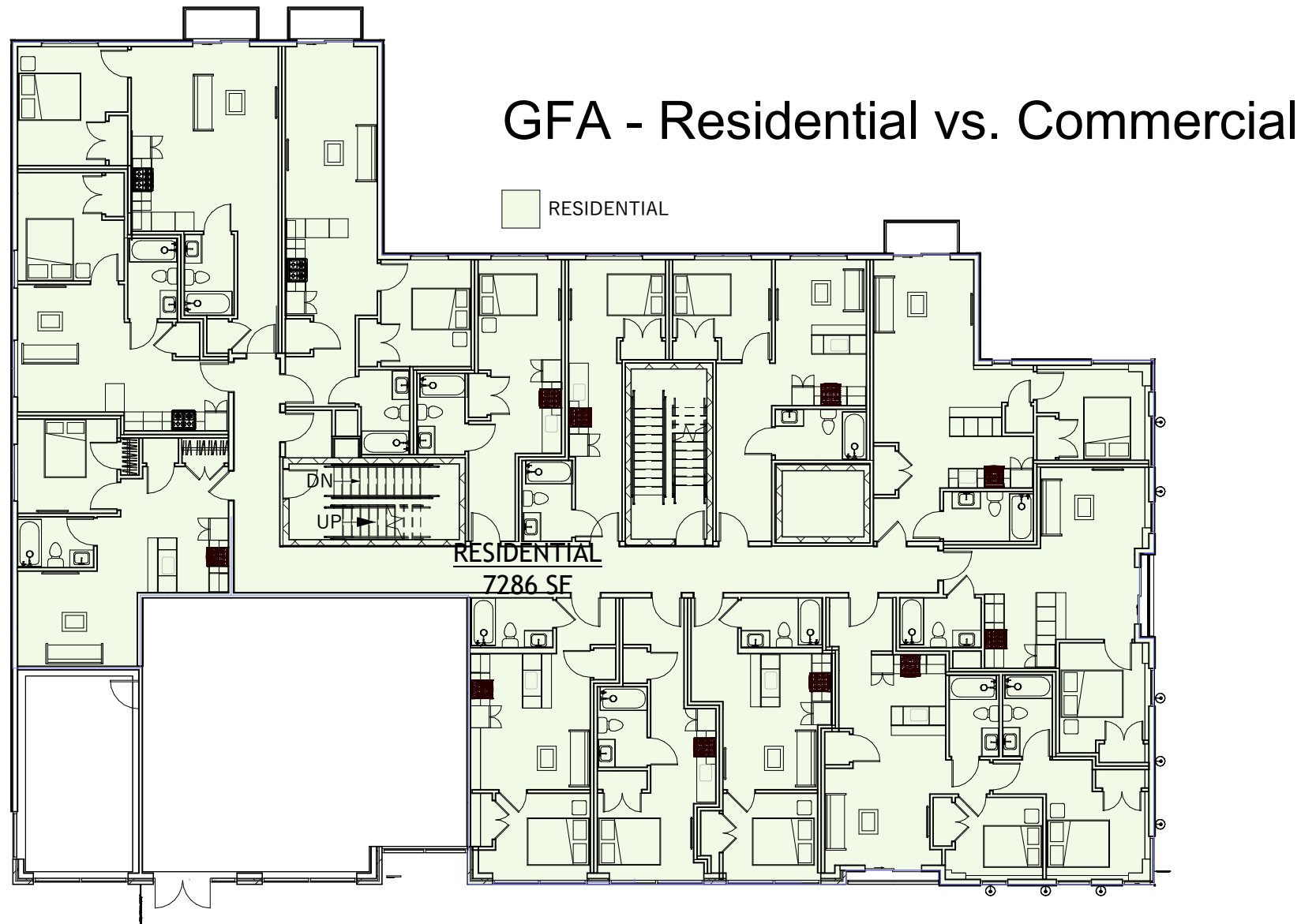
C1 - COMMERCIAL
C2 - COMMERCIAL



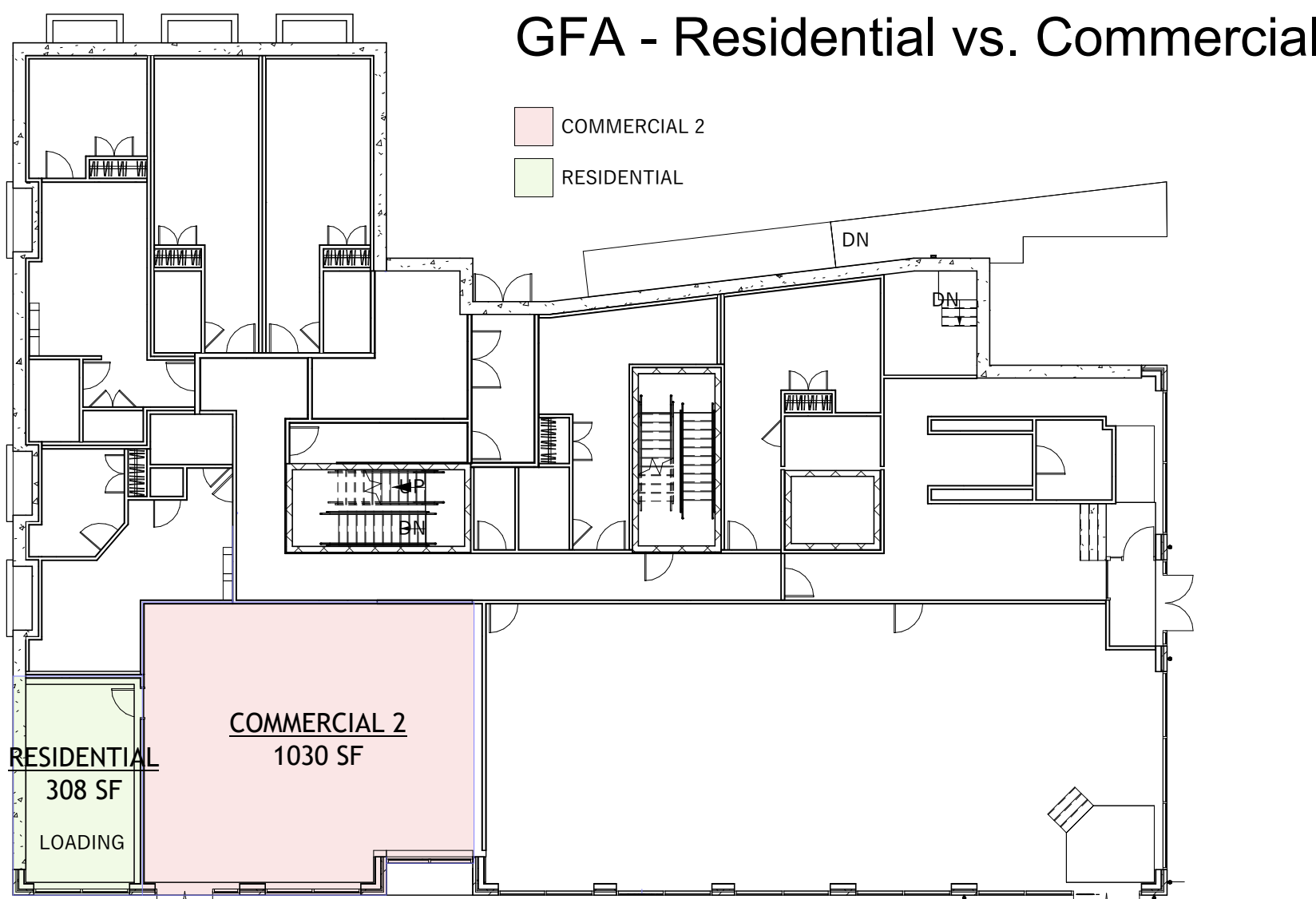
1 Cellar Level Plan
1/16" = 1'-0"



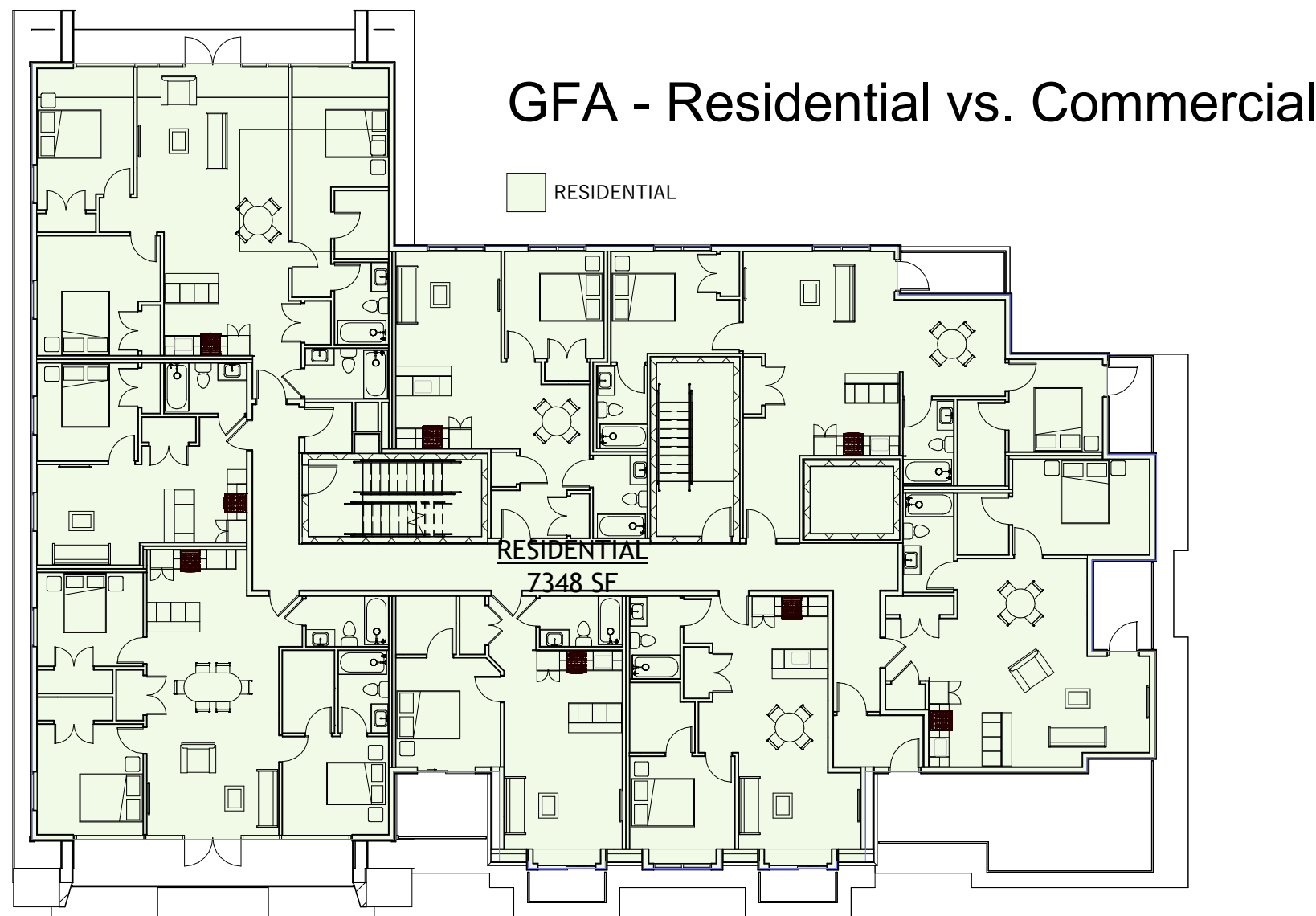
6 2nd Floor Plan
1/16" = 1'-0"



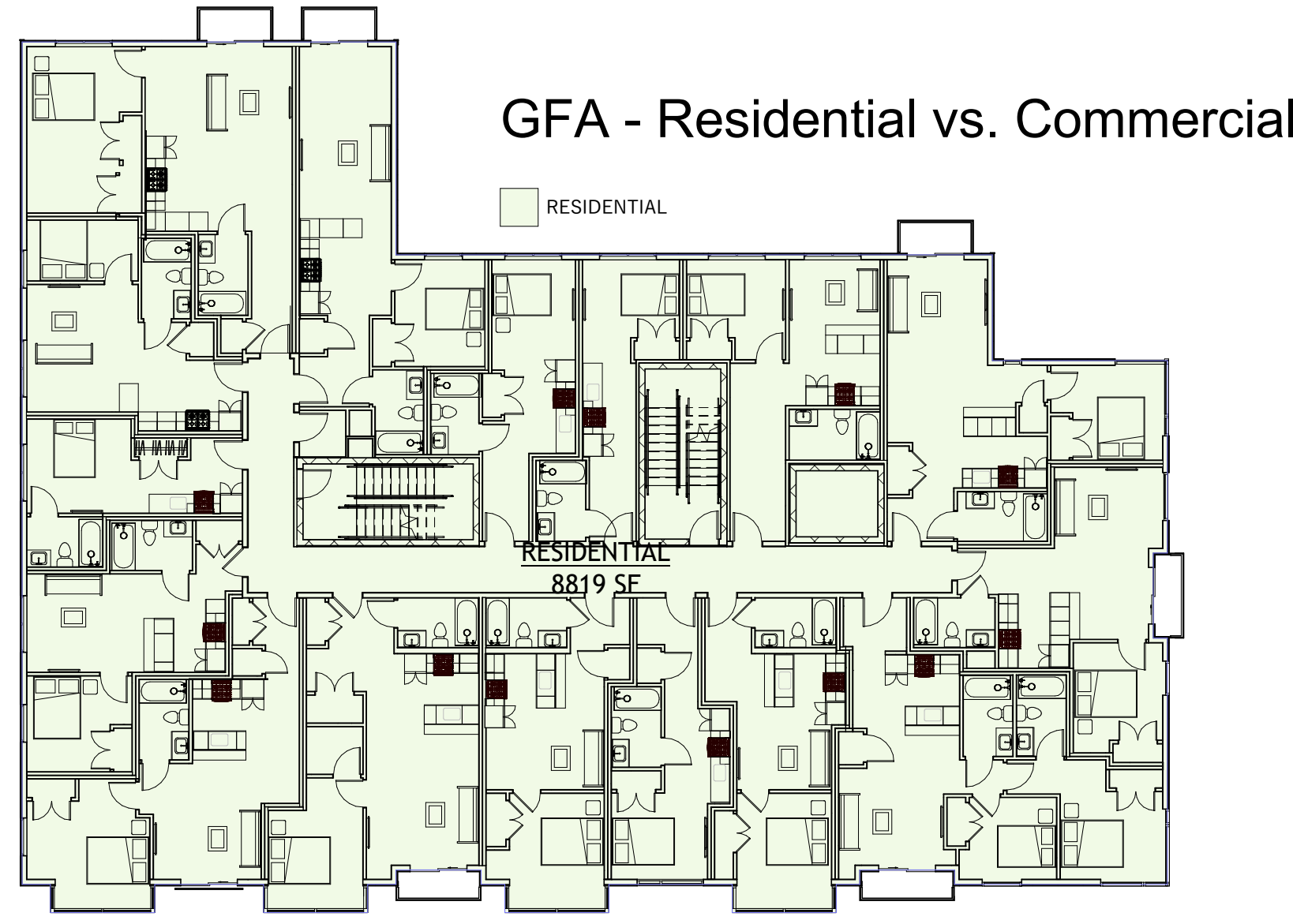
4 1st Floor Plan
1/16" = 1'-0"



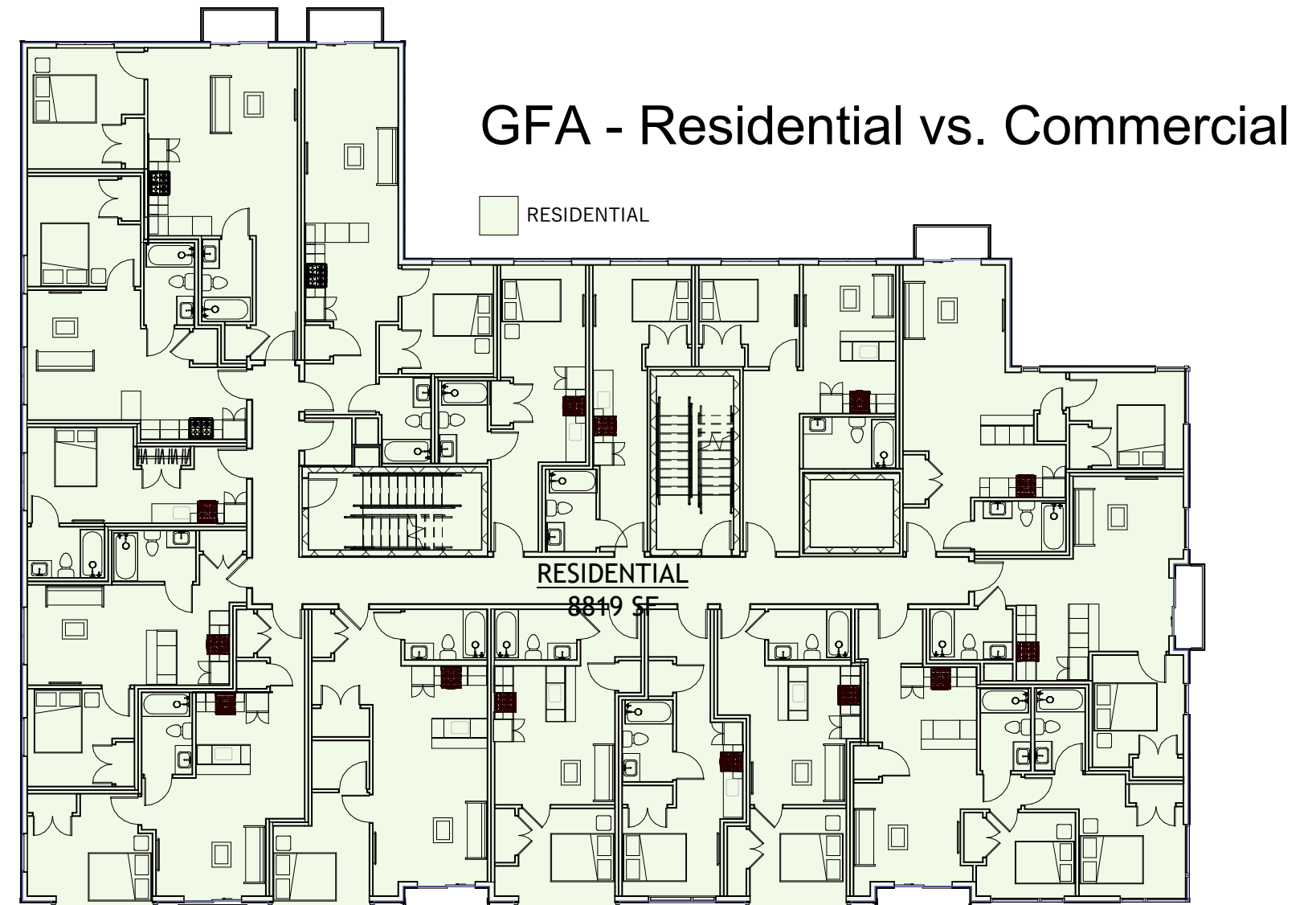
2 G2 - Wickenden Street Plan
1/16" = 1'-0"



7 5th Floor Plan
1/16" = 1'-0"



5 4th Floor Plan
1/16" = 1'-0"



3 3rd Floor Plan
1/16" = 1'-0"

Revision Schedule	
No.	Description

Project Name:
FOXPOINT MIXED-USE REDEVELOPMENT

269 WICKENDEN STREET, PROVIDENCE RI

Sheet Name:
OFF-STREET LOADING PLANS

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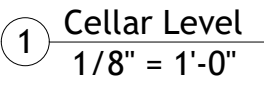
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Date: 2/11/2025

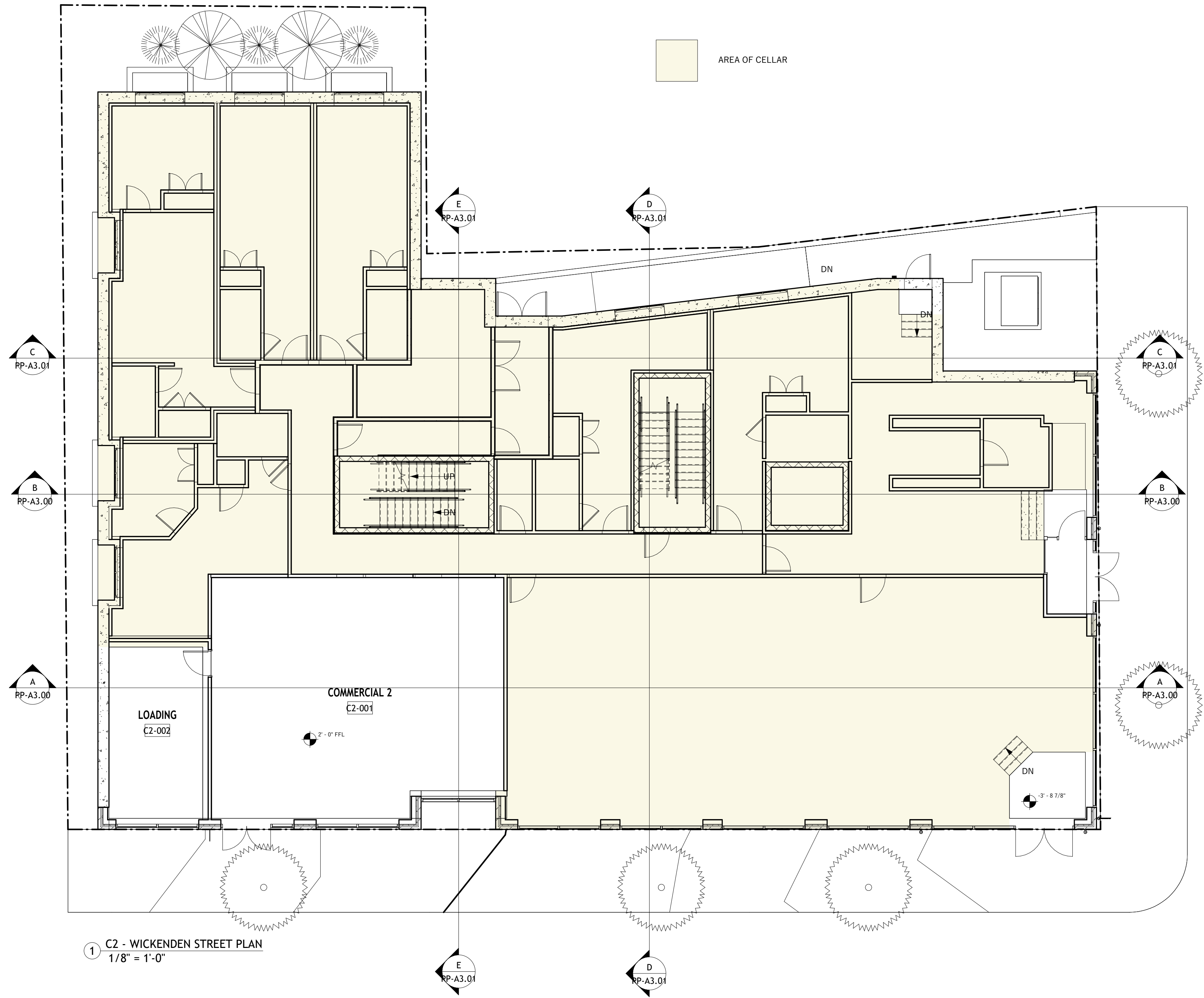
Current Issue: Preliminary Plan

Drawing No.

PP-A0.01



PP-A1.00



Revision Schedule	
No.	Description

Project Name:
FOXPOINT MIXED-USE REDEVELOPMENT
269 WICKENDEN STREET, PROVIDENCE RI

Sheet Name:
C2-WICKENDEN STREET PLAN

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Checked By: PABco

Drawn By: PABco

Scale: 1/8" = 1'-0"

Date: 2/11/2025

Current Issue: Preliminary Plan

Drawing No.
PP-A1.01



Revision Schedule	
No.	Description

Project Name:
FOXPOINT MIXED-USE REDEVELOPMENT
269 WICKENDEN STREET, PROVIDENCE RI

Sheet Name:
1ST FLOOR PLAN

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Project No.:

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Drawn By: PABco

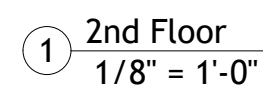
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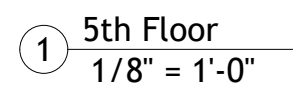
Date: 2/11/2025

Current Issue: Preliminary Plan

Drawing No.

PP-A1.02

PP-A1.03



Project Name: **FOXPOINT MIXED-USE REDEVELOPMENT**
269 WICKENDEN STREET, PROVIDENCE RI

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Checked By: PABco

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Scale: $1/8" = 1'-0"$

Date: 2/11/2025

Current Issue:	Preliminary Plan
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Drawing No. _____

PP-A1.04

The **PROVIDENCE**
ARCHITECTURE &
BUILDING Co.

Revision Schedule	
No.	Description

Project Name:
FOXPOINT MIXED-USE REDEVELOPMENT
269 WICKENDEN STREET, PROVIDENCE RI

Sheet Name:
ROOF PLAN

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Scale: As indicated

Date: 2/11/2025

Current Issue: Preliminary Plan

Drawing No.
PP-A1.05

ROOF PLAN NOTES

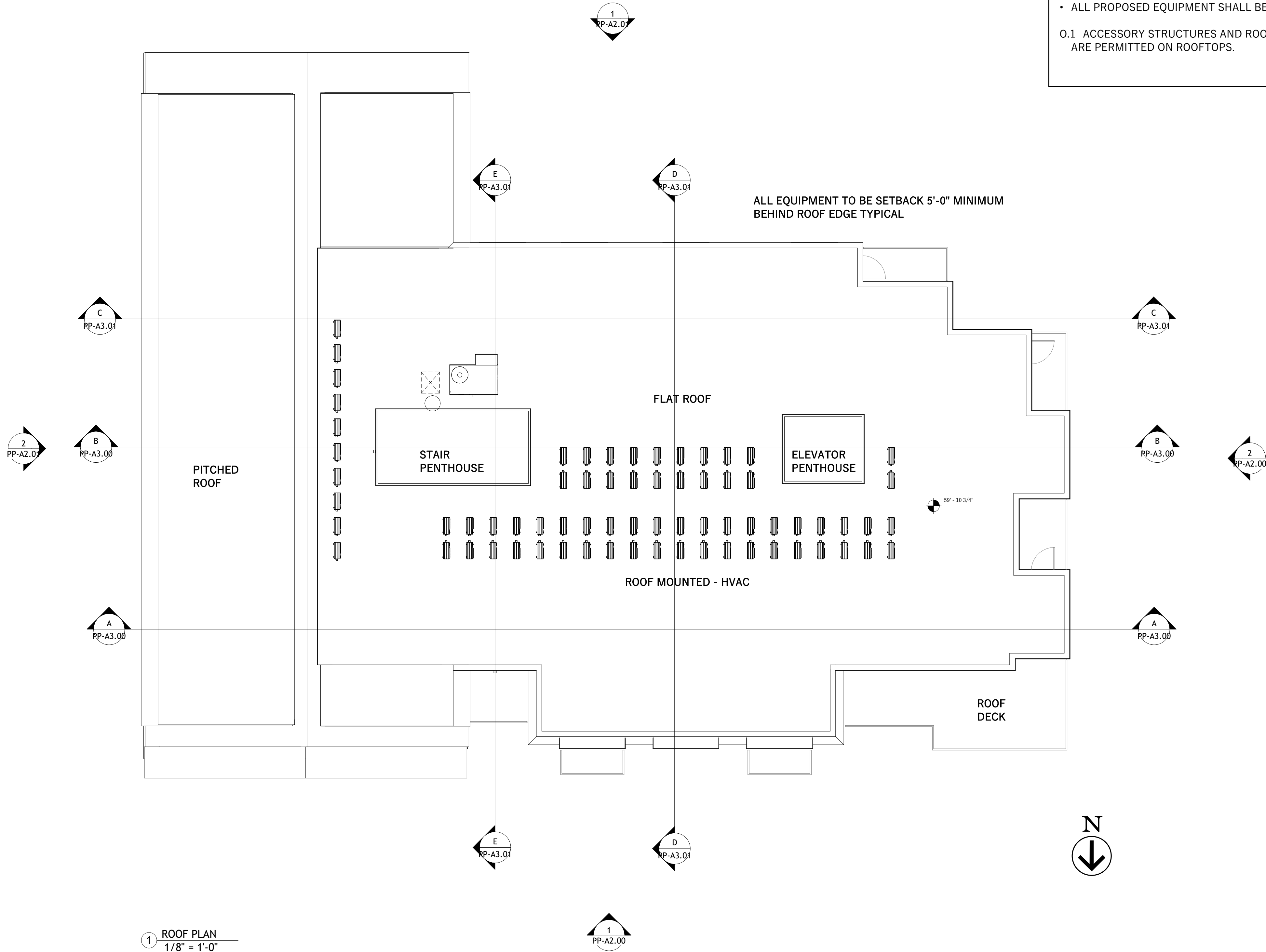
1302: ACCESSORY STRUCTURES AND USES

L.2 ROOF MOUNTED EQUIPMENT

FOR STRUCTURES THREE OR MORE STORIES IN HEIGHT, ALL ROOF EQUIPMENT SHALL BE SET BACK FROM THE EDGE OF THE ROOF A MINIMUM DISTANCE OF 1 FOOT FOR EVERY 2 FEET BY WHICH THE EQUIPMENT EXTENDS ABOVE THE ROOF.

- ALL PROPOSED EQUIPMENT SHALL BE SET BACK 5'-0" MIN.

O.1 ACCESSORY STRUCTURES AND ROOFTOP FEATURES, INCLUDING ROOF DECKS, ARE PERMITTED ON ROOFTOPS.



503: FENESTRATION TABLE

- 503: FENESTRATION
- GROUND FLOOR FACADES SHALL CONTAIN A TOTAL AREA OF TRANSPARENCY OF 50% OR MORE OF THE WALL AREA OF THE GROUND FLOOR, MEASURED BETWEEN 2' AND 9' ABOVE THE ADJACENT GRADE.
 - EACH UPPER STORY FACADE SHALL PROVIDE AREAS OF TRANSPARENCY EQUAL TO AT LEAST 10% OF THE WALL AREA OF THE STORY.

GLAZING AREAS ARE BASED ON FACADE AREAS OF EACH EXTERIOR ELEVATION:

BROOK STREET 20% GLAZED AREA
GROUND FLOOR

NORTH ELEVATION 45% GLAZED AREA
WEST ELEVATION 23% GLAZED AREA
SOUTH ELEVATION 26% GLAZED AREA
EAST ELEVATION 16% GLAZED AREA

MATERIAL LEGEND

- A** FIBER CEMENT HORIZONTAL SIDING
B FIBER CEMENT SMOOTH PANEL SIDING
C BRICK VENEER
D STOREFRONT GLAZING SYSTEM
E DOUBLE-HUNG WINDOW
F WINDOW UNIT
G ARCHITECTURAL ASPHALT SHINGLES
H BALCONY
I JULIET BALCONY
J STANDING SEAM METAL ROOF
K EXPOSED CONCRETE FOUNDATION WALL
L SPLIT-FACE BLOCK WALL
M AREAWAY / WINDOW WELL

Peak
65' - 9 5/8"

Cellar 2
-8' - 10"

C2 - COMMERCIAL
2' - 0"

10' - 10"
DOOR HEIGHT

10' - 0"
DOOR WIDTH

2nd Floor
16' - 7"

3rd Floor
27' - 4"

4th Floor
38' - 1"

5th Floor
48' - 10"

Roof
59' - 10 3/4"

Cellar Level
-5' - 11 1/2"

G1-Brook Street
-3' - 8 7/8"

G2-Wick Street
0' - 0"

1st Floor
5' - 10"

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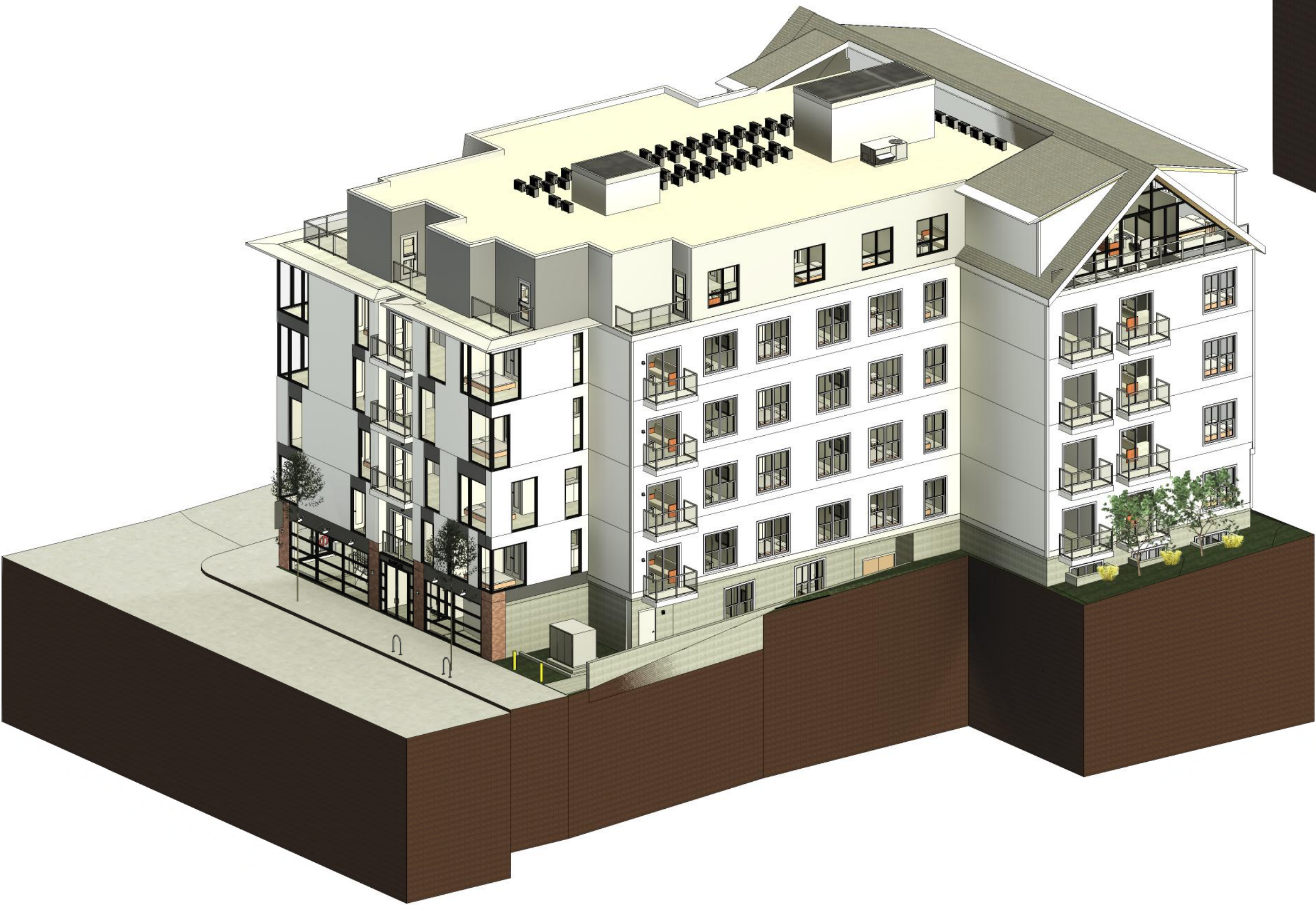
2nd Floor
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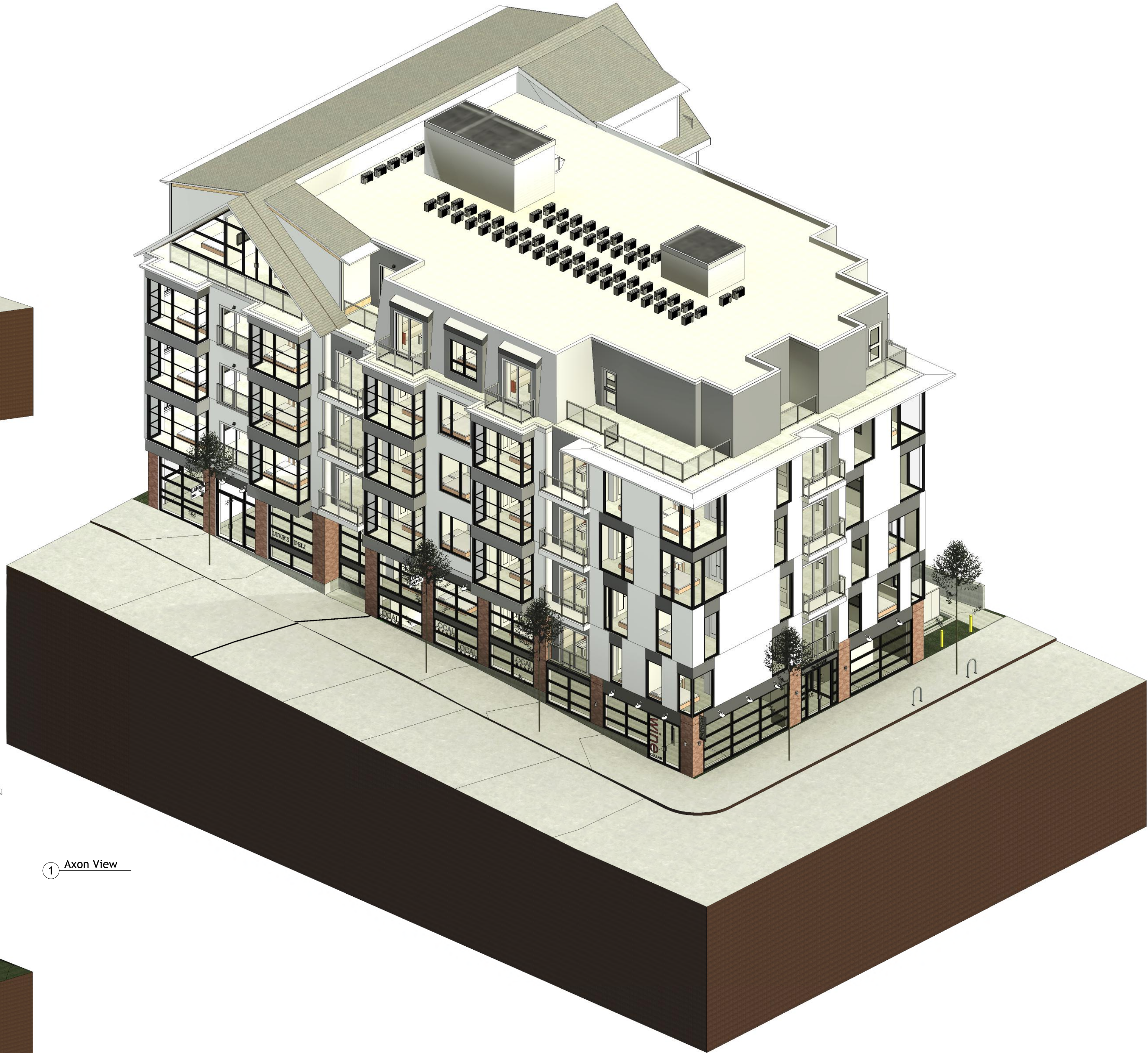
<



③ Street View 1



② Axon Rear View



① Axon View

SEE LANDSCAPE PLAN FOR INFORMATION REGARDING TREES IN THE RIGHT-OF-WAY
IMAGES ON THIS SHEET ARE FOR GRAPHIC PURPOSES AND LOCATIONS ONLY

2/14/2025 10:12:15 AM

Revision Schedule	
No.	Description

Project Name:
FOXPOINT MIXED-USE REDEVELOPMENT
269 WICKENDEN STREET, PROVIDENCE RI

Sheet Name:
DEVELOPMENT RENDERINGS

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Project No.:

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Drawn By: PABco

Scale:

Date: 2/11/2025

Current Issue: Preliminary Plan

Drawing No.

PP-A2.02

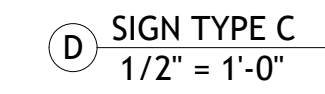
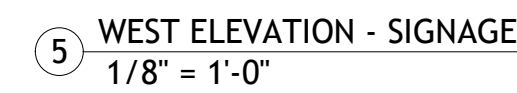
THE INFORMATION NOTED HERE IS TAKEN FROM ARTICLE 16: SIGNS. THIS PROJECT WILL DEMONSTRATE COMPLIANCE FOR BOTH

- 1606 - SIGNS EXEMPT FROM PERMIT REQUIREMENTS
- 1607 - SIGNS REQUIRING PERMIT

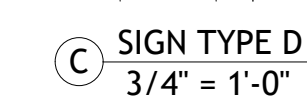
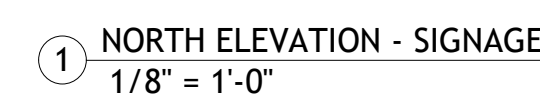
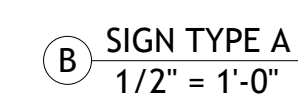
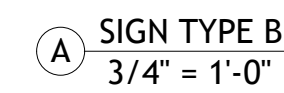
1606 - WINDOW SIGN - THIS SIGN TYPE WILL IDENTIFY (PERMIT NOT REQUIRED)
 -PROPERTY ADDRESS
 -NAME OF BUSINESS

1607 - PROJECTING SIGN - THIS SIGN TYPE WILL IDENTIFY (PERMIT REQUIRED)
 -NAME OF RESIDENTIAL PROPERTY
 -NAME OF BUSINESS

• NOTE- ALL SIGN NAMES ARE USED TO ILLUSTRATE DESIGN INTENT. FINAL NAME(S) SHALL BE DETERMINED BASED ON END USER.

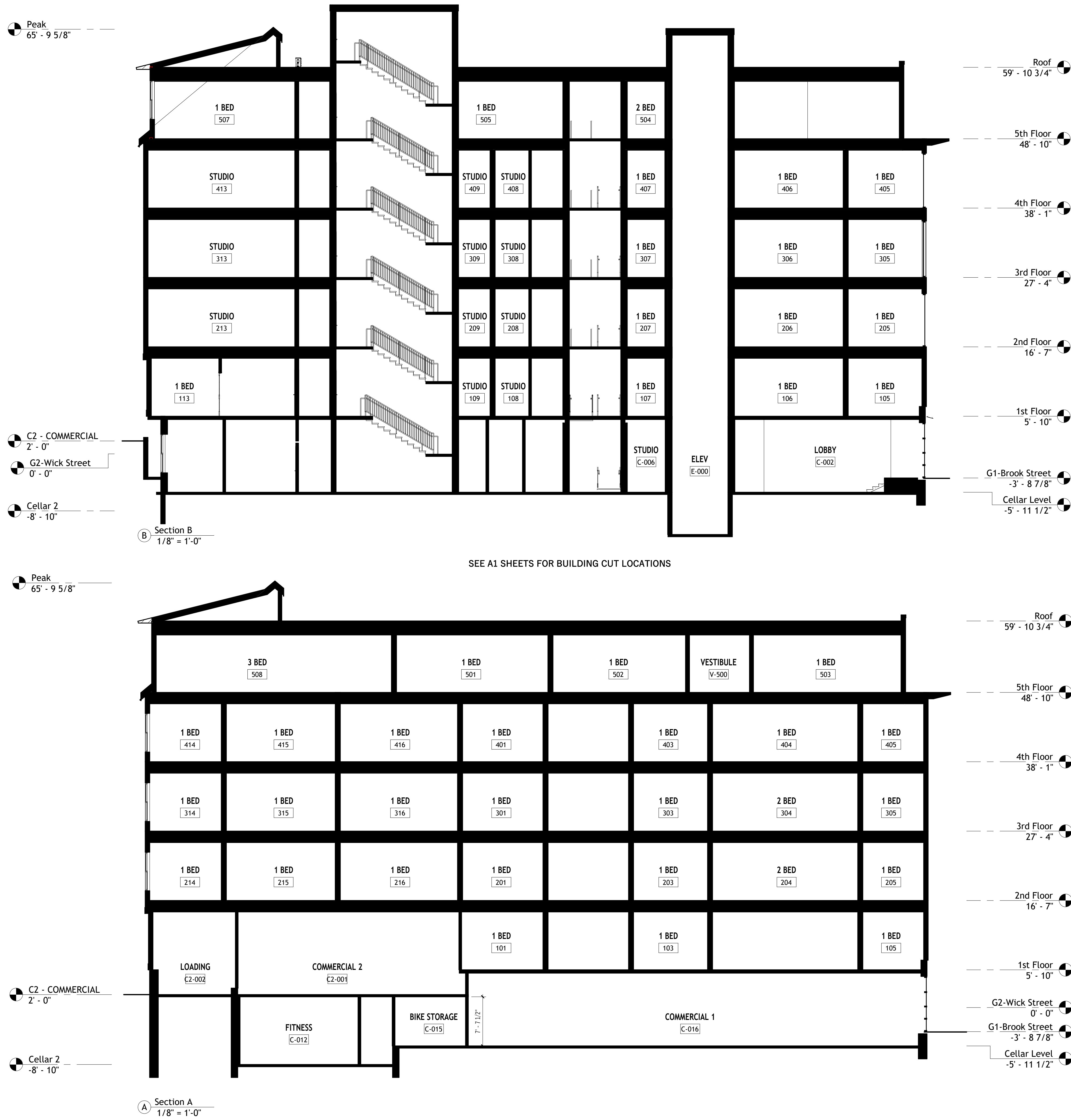


D NAME OF BUSINESS

[illegible]

Sheet Name: SIGNAGE INFORMATION

PP-A2.04



The **PROVIDENCE**
ARCHITECTURE &
BUILDING Co.

Revision Schedule	
No.	Description

Project Name:
FOXPOINT MIXED-USE REDEVELOPMENT
269 WICKENDEN STREET, PROVIDENCE RI

Sheet Name:
BUILDING SECTION - A and B

Stamp:

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Project No.: .

Checked By: PABco

Drawn By: PABco

Scale: 1/8" = 1'-0"

Date: 2/11/2025

Current Issue: Preliminary Plan

Drawing No.
PP-A3.00

2/14/2025 10:12:19 AM

Peak
65' - 9 5/8"

C2 - COMMERCIAL
2' - 0"

Cellar 2
-8' - 10"

Section C
1/8" = 1'-0"

SEE A1 SHEETS FOR BUILDING CUT LOCATIONS

G2-Wick Street
0' - 0"
G1-Brook Street
-3' - 8 7/8"
Cellar 2
-8' - 10"

Section E
1/8" = 1'-0"

Roof
59' - 10 3/4"
5th Floor
48' - 10"
4th Floor
38' - 1"
3rd Floor
27' - 4"
2nd Floor
16' - 7"
1st Floor
5' - 10"
Cellar Level
-5' - 11 1/2"

G2-Wick Street
0' - 0"
G1-Brook Street
-3' - 8 7/8"
Cellar 2
-8' - 10"

Section D
1/8" = 1'-0"

Roof
59' - 10 3/4"
5th Floor
48' - 10"
4th Floor
38' - 1"
3rd Floor
27' - 4"
2nd Floor
16' - 7"
1st Floor
5' - 10"
G2-Wick Street
0' - 0"
G1-Brook Street
-3' - 8 7/8"
Cellar Level
-5' - 11 1/2"

The PROVIDENCE
ARCHITECTURE &
BUILDING Co.

Revision Schedule	No.		Date		Description	

Project Name:
FOXPOINT MIXED-USE REDEVELOPMENT
269 WICKENDEN STREET, PROVIDENCE RI

Sheet Name:
BUILDING SECTION - C, D, and E

Stamp:

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Project No.:

Checked By: PABco

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Scale: 1/8" = 1'-0"

Date: 2/11/2025

Current Issue: Preliminary Plan

Drawing No.

PP-A3.01