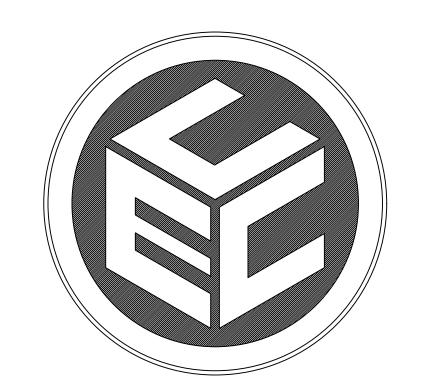
PRELIMINARY PLAN FOR MINOR LAND DEVELOPMENT PROJECT

A.P. 49 LOT 603 327 ELMWOOD AVENUE PROVIDENCE, RI 02903

STATE & LOCAL PERMITS:

- NBC SANITARY SEWER.
- NBC STORMWATER. CITY OF PROVIDENCE PLANNING DEPT. PROVIDENCE WATER.



PREPARED BY:

COMMONWEALTH

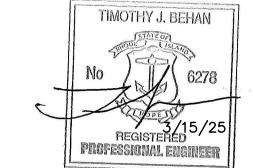
ENGINEERS & CONSULTANTS, INC.

• • •

400 SMITH STREET

PROVIDENCE, RHODE ISLAND 02908

(401) 273-6600



LOT LINE ABUTTER LINE EXISTING CONTOUR TEST HOLE 0000000000 B.S. STONEWALL PROPOSED CONTOUR PROPOSED SPOT GRADE x99.50 DRAIN LINE — D — EL. /ELEV. ELEVATION SEWER LINE ——— W ———— *F.F.* WATER LINE ——— E ———— *GAL*. ELECTRIC LINE WETLAND EDGE 50' PERIMETER WETLAND --- --- GSF STREAM 100' RIVERBANK WETLAND 100-YEAR FLOOD PLAIN _____ PRO.

BUILDING SETBACK LINE --- W.O. WALKOUT

EASEMENT LINE

RETAINING WALL

APPROX. APPROXIMATE ASSF BASEMENT SLAB B.H. BULK HEAD CBCATCH BASIN **EXISTING**

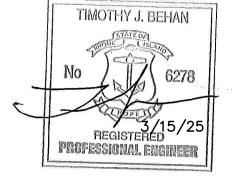
EX. FINAL FLOOR *GALLON* GARAGE SLAB

PROPOSED ____ - _ _ ___ *T.O.F.* TOP OF FOUNDATION

AREA SUBJECT TO STORM FLOW

GEOTEXTILE SAND FILTER

MARCH 17, 2025



DRAWING ISSUE:

☐ CONCEPT ☐ CUSTOMER APPROVAL X PERMITTING ☐ CONSTRUCTION ☐ AS-BUILT OTHER: PRELIM. PLAN ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR



LOCUS MAP

LIST OF DRAWINGS

- TITLE SHEET
- GENERAL NOTES
- EXISTING CONDITIONS/DEMOLITION PLAN PROPOSED LAYOUT PLAN
- PROPOSED GRADING/DRAINAGE PLAN

- PROPOSED LANDSCAPING PLAN
- PROPOSED DETAILS-1 SITE
- LANDSCAPING DETAIL-2
- PROPOSED DOT SITE PREPARATIONS PLAN
- 15. PROPOSED DOT SITE PLAN

SHEET 1 OF 1 SURVEY PLAN BY OCEAN STATE PLANNERS, INC.

NONE

NONE

MINIMUM 16 FT.

RES. 9 FT.: NON-RES 11 FT.

O FT. - 5 FT. SEE 503 A6

50 FT. NOT TO EXCEED 4 STORIES

BUILD-TO ZONE O FT.-5 FT. SEE 503 A

NONE / ABUTTING RESIDENTIAL 10 FT.

PROJECT DATA

SUBJECT LOT = A.P. 49 LOT 603 BK 8186 PG 96 AREA = 9,466 S.F. (0.217 AC.)UPLAND AREA = 9,466 S.F. (0.217 AC.) ZONE: C-2 PUBLIC WATER & SEWER PROPOSED

ZONING DISTRICT C-2

MINIMUM LOT AREA: MINIMUM BUILDING HEIGHT: MINIMUM FIRST STORY HEIGHT: MAXIMUM BUILDING HEIGHT: MAXIMUM BUILDING COVERAGE: MAXIMUM BUILDING & IMPERVIOUS SURFACE COVERAGE: NONE FRONT SETBACK: INTERIOR SIDE SETBACK: CORNER SIDE SETBACK:

NONE / ABUTTING RESIDENTIAL 20 FT PROPOSED BUILDING COVERAGE = 6,937 SQ FT. PROPOSED IMPERVIOUS COVERAGE = 7,021 SQ. FT.

* REFER TO PROPOSED LAYOUT PLAN ZONING TABLE FOR PROPOSED ZONING CRITERIA.

NOTES:

- 1. THIS IS NOT A SURVEY BOUNDARY PLAN, REFER TO SURVEY PREPARED BY OCEAN STATE PLANNERS, INC. IN THIS PLAN SET.
- 2. THE PARCELS FALL WITHIN ZONES X PER FEMA MAP NUMBER 44007CO316G, EFFECTIVE
- 3. THE ENTIRE PARCEL AND SURROUNDING SITES ARE SOIL CATEGORY 'MU' MERRIMAC URBAN.

CE&C PROJECT NO. 024093.00

LEGEND

	PARCEL PROPERTY LINE	ABBR	EVIATIONS
	ADJACENT PROPERTY LINE		<u> </u>
40	EXISTING MAJOR CONTOUR		
:27:	EXISTING MINOR CONTOUR	APPROX	APPROXIMATE
27		BIT	BITUMINOUS
	EXISTING LIDAR CONTOUR	BOT	BOTTOM
	EXISTING GAS LINE	СВ	CATCH BASIN
—— W—— W——	EXISTING WATER LINE	CEM	CEMENT
s s	EXISTING SEWER LINE	CF	CUBIC FEET
GG O	GAS VALVE BOX	CFS	CUBIC FEET PER SECOND
XW∨	WATER VALVE BOX	CL	CENTERLINE
1 ,50	CURB STOP	CL##	PRESSURE RATING CLASS
<u> </u>		CLĎÏ	CEMENT-LINED DUCTILE IRON
○ UP-297	UTILITY POLE AND NUMBER	CONC	CONCRETE
0		CPP	CORRUGATED PLASTIC PIPE
SMH	EXISTING SEWER MANHOLE	CY	CUBIC YARD
	EXISTING SEWER MANHOLE	DG	DOUBLE-GRATE
© COM-MH	5//07/100 001/1/1/101/01/101/01/01/01	DMH	DRAIN MANHOLE
O	EXISTING COMMUNICATIONS MANHOLE	ELEV	ELEVATION
DMH		EX	EXISTING
	EXISTING DRAINAGE MANHOLE	ESHGWT	ESTIMATED SEASONAL HIGH GROUNDWATER TAB
*		GWT	GROUNDWATER TABLE
■ DI/CB ⊕ CB	EXISTING CATCH BASIN OR DROP INLET	GG	GAS GATE VALVE
		HDPE	HIGH-DENSITY POLYETHYLENE
SWL	SOLID WHITE LINE	HMA	HOT MIX ASPHALT
		INV	INVERT
SYDL	SOLID YELLOW DOUBLE LINE	L	LENGTH
0.22	OOLIB TEELOW BOOSEL LINE	LOD	LIMIT OF DISTURBANCE
X39.50	EXISTING SPOT GRADE	LT	LEFT
40		MAX	MAXIMUM
X39.50	PROPOSED CONTOUR LINE	MCU	MODULAR CONCRETE UNIT
[809.50]	PROPOSED SPOT GRADE	MIN	MINIMUM
11 /	PROPOSED FENCE	PROP	PROPOSED
—— w—— w——	PROPOSED WATER LINE	PVC	POLY—VINYL CHLORIDE
s s	PROPOSED SEWER LINE	PSI	POUNDS PER SQUARE INCH (PRESSURE RATING
⊚IR		PC	POINT OF CURVATURE
ΘIIV	IRON ROD	PT	POINT/POINT OF TANGENCY
O DIV		PVI	POINT OF VERTICAL INFLECTION
⊚ PK	PK NAIL	R&D	REMOVE & DISPOSE
_		R&R	REMOVE & RESET
■ BND	BOUND	R&S	REMOVE & STOCKPILE
		RCP	REINFORCED CONCRETE PIPE
	DRILL HOLE	RT	RIGHT
	DIVILLE TIOLE	SCH	SCHEDULE (PIPES)
	BUILDING SETBACK LINE	SDR	STANDARD DIMENSION RATIO
	BUILDING SETBACK LINE	SED	SEDIMENT
	EVICTING LINED AND	SESC	SOIL EROSION & SEDIMENTATION CONTROL
$\gamma\gamma$	EXISTING HYDRANT	SEV	SOIL EVALUATION
		SF	SQUARE FEET
	PROPOSED CATCH BASIN	SG	SINGLE-GRATE
		SMH	SEWER MANHOLE
(\bigcirc)	PROPOSED DRAINAGE MANHOLE	SS	STAINLESS STEEL
		STA	STATION
	PROPOSED DROP INLET	SY	SQUARE YARD
_		TEMP	TEMPORARY
 0	CHAIN LINK FENCE (HEIGHT VARIES)	TH	TEST HOLE
		VERT	VERTICAL
	WOODEN FENCE (HEIGHT VARIES)	W	WIDTH
NPS/R7-5	REGULATORY SIGN	WF	WETLAND FLAG
		WQ	WATER QUALITY
TH#9	SOIL BORING LOCATION	YR	YEAR
		,	FEET
	PROPOSED HANDICAP RAMP	"	INCHES
		'/'	VERTICAL FEET/HORIZONTAL FOOT
₽₽	PROPOSED THRUST BLOCK	•	,
CO •	CLEAN OUT		
BFP ●	BACK FLOW PREVENTER		

SITE NOTES:

- 1. THE SITE IS LOCATED ON THE CITY PROVIDENCE A.P. MAP 49 LOT 603, AND THE STREET ADDRESS IS 327 ELMWOOD AVENUE.
- 2. THE PARCEL SIZE IS 0.22± ACRES. 3. PARCEL IS ZONED C-2.
- 4. THE OWNER AND APPLICANT IS
- WOMENS DEVELOPMENT CORPORATION 861A BROAD STREET
- PROVIDENCE, RHODE ISLAND 02907
- IT IS TO BE ASSUMED THAT ALL SOILS ON THE SITE ARE REGULATED AND NO SOILS SHALL LEAVE THE SITE WITHOUT APPROVED TESTING AND DISPOSAL LOCATION. STUMPS, ROCKS, CONCRETE AND WOOD MAY BE REMOVED THE SITE AND LEGALLY DISPOSED OF
- 6. FLOOD ZONE: THE SUBJECT PROPERTY IS NOT SITUATED IN THE 100-YEAR FLOOD ZONE AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD RATE INSURANCE MAPS FOR PROVIDENCE COUNTY, MAP #44007C0316G, EFFECTIVE MARCH 2, 2009.
- PROPOSED BUILDING TO BE SERVED BY PUBLIC WATER AND SEWER. THERE ARE NO WETLANDS ON OR ADJACENT TO THE SITE.

— ··-56.5— ·· — GROUNDWATER CONTOUR MAY 2024

9. THERE ARE NO HISTORIC AREAS, CEMETERIES, WALLS OR FOUNDATIONS LOCATED ON THE SITE.

MAP NOTES:

- 1. TOPOGRAPHY AND LOCATION OF SITE FEATURES WERE TAKEN FROM SURVEY PLAN BY OCEAN STATE PLANNERS, INC., ENTITLED "BASE MAPPING SURVEY, AP 49 LOT 603, 327 ELMWOOD AVENUE, PROVIDENCE, RI 02907", DATED 11/11/24.
- 2. HORIZONTAL DATUM IS NAD 83, VERTICAL DATUM IS NAVD 88 (MSL). 3. THE LOCATION OF UNDERGROUND UTILITIES IS APPROXIMATE. CONTRACTORS TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION, DIGGING, BORING, OR TESTING (CALL DIGSAFE AT 1-888-344-7233 AT LEST 72 HOURS PRIOR TO ANY EXCAVATION OR
- CONSTRUCTION). 4. EXISTING GAS MAINS TAKEN FROM EXISTING PLANS OF RECORD. GAS LOCATIONS ARE APPROXIMATE AND MUST BE FIELD VERIFIED PRIOR TO EXCAVATION.
- 5. EXISTING WATER MAINS, SEWER MAINS, UNDERGROUND/OVERHEAD ELECTRIC AND STORM DRAIN LINES TAKEN FROM EXISTING PLANS OF
- RECORD AND THE LOCATIONS ARE APPROXIMATE. LOCATIONS MUST BE FIELD VERIFIED PRIOR TO EXCAVATION. 6. DEPICTED DWELLINGS ON ABUTTING PROPERTIES WERE TAKEN FROM PLANS BY OTHERS, 2011 RIDEM GIS AERIAL PHOTOGRAPHY AND CITY OF
- 7. SOILS DATA TAKEN FROM USGS SOIL SURVEY. SITE SOILS AND ADJACENT AREA ARE DESCRIBED AS MU-MERRIMAC URBAN LAND COMPLEX, HYDROLOGIC GROUP A.

GENERAL NOTES:

- THESE PLANS HAVE BEEN ISSUED FOR LOCAL AND/OR STATE AGENCY REVIEW. ONLY PLANS STAMPED 'ISSUED FOR CONSTRUCTION'
- AFTER RECEIPT OF ALL LOCAL AND STATE APPROVALS SHALL BE USED FOR CONSTRUCTION. SPECIFICATIONS & DETAILS GOVERNING THIS PROJECT ARE THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, 2018 EDITION & CITY OF EAST PROVIDENCE SUBDIVISION & LAND DEVELOPMENT STANDARDS. THE CITY'S STANDARDS SHALL OVERRIDE RIDOT STANDARDS OUTSIDE OF STATE R.O.W.'S.
- 3. THE CONTRACTOR SHALL READ AND FAMILIARIZE ITSELF WITH THE CITY'S SUBDIVISION & LAND DEVELOPMENT REGULATIONS (AS THEY PERTAIN TO CONSTRUCTION) PRIOR TO CONSTRUCTION.
- 4. ANY REQUIRED AUTHORIZATION/PERMITS TO PERFORM WORK NOT PREVIOUSLY SECURED & PROVIDED BY THE OWNER SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION; THE CONTRACTOR SHALL ADHERE TO THE TERMS, CONDITIONS AND REQUIREMENTS OF ALL STATE & LOCAL PERMITS ISSUED FOR THE PROJECT.
- 5. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY CONSTRUCTION OPERATIONS. INCLUDING ALL ACTIONS OR OMISSIONS OF ANY SUBCONTRACTORS, AGENTS OR EMPLOYEES. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL ASPECTS OF ON-SITE
- SAFETY, INCLUDING ANY DAMAGE TO EXISTING STRUCTURES. ALL ELEVATIONS ON SUBJECT PROPERTY ARE BASED ON NGVD88 DATUM, AND HAVE A POTENTIAL VERTICAL VARIANCE OF 1± FEET.
- NO EXISTING DRAINAGE STRUCTURE OR FACILITY SHALL BE ALTERED OR DISTURBED UNLESS SPECIFICALLY INDICATED ON THESE DRAWINGS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO REPAIR. ALL DISTURBED AREAS/STRUCTURES SHALL BE REPLACED IN-KIND, UNLESS OTHERWISE SHOWN OR AUTHORIZED BY THE CITY. THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE CONTRACT DOCUMENTS AND PLANS, AND SHALL INSPECT THE SITE. ANY

CHANGES TO THE PROJECT, OR THE INSTALLATION OF AN ITEM FOR WHICH NO PARTICULAR DETAIL OR SPECIFICATION WAS

- PROVIDED, SHALL BE REVIEWED BY, AND MUST BE ACCEPTABLE TO, THE ENGINEER. 10. THE ABSENCE OF PARTICULAR DETAILS OR SPECIFICATIONS FOR WORK CALLED FOR ON THE PLANS SHALL NOT RELIEVE THE
- CONTRACTOR FROM FURNISHING AND INSTALLING THE PROPOSED WORK. 11. ALL CONSTRUCTION IS SUBJECT TO THE INSPECTION OF AND APPROVAL BY THE CITY. PROPER NOTIFICATION SHALL BE GIVEN PRIOR TO THE COMMENCEMENT OF ANY WORK, AND NO WORK SHALL PROCEED WITHOUT THE AUTHORIZATION OF THE CITY.
- 12. PRIOR TO THE START OF CONSTRUCTION, THE APPROVED LIMIT OF DISTURBANCE SHALL BE LOCATED AND FIELD-DELINEATED BY A RI PLS; NO CLEARING OR DISTURBANCE SHALL TAKE PLACE OUTSIDE THE ESTABLISHED LIMIT AT ANY POINT DURING CONSTRUCTION, UNLESS EXPLICITLY AUTHORIZED BY THE CITY.
- 13. PRIOR TO THE START OF EARTH-DISTURBING ACTIVITIES, THE CONTRACTOR SHALL INSTALL ALL SEDIMENT & SOIL EROSION CONTROL (SESC) DEVICES IN ACCORDANCE WITH RIDEM & CITY STANDARDS.
- 14. THE LOCATION, SIZE AND SHAPE OF BUILDINGS AND DRIVEWAYS ARE DEPICTED TO DEMONSTRATE CONFORMANCE WITH VARIOUS STATE AND LOCAL SITE REQUIREMENTS FOR PERMITTING PURPOSES. THESE MAY VARY ACCORDING TO OWNER PREFERENCES AND PERMITTING APPROVALS, EXCEPT THAT UNDER NO CIRCUMSTANCES SHALL ANY BUILDINGS BE ALLOWED BEYOND THE LIMITS OF
- DISTURBANCE OR THE BUILDING SETBACK LINES SHOWN ON THESE PLANS. 15. COMMUNICATION LINES (ELECTRIC, TELEPHONE, AND CABLE TV) SHALL BE INSTALLED UNDERGROUND, UNLESS OVERHEAD SERVICE IS
- APPROVED BY THE CITY. 16. ALL ROOT SYSTEMS, TREES, STUMPS, BUSHES, BOULDERS, EXISTING CONCRETE FOUNDATIONS AND OTHER UNSUITABLE MATERIAL SHALL BE REMOVED AND TRANSPORTED AWAY FROM THE PROJECT SITE, UNLESS ON-SITE DISPOSAL AT AN APPROPRIATE LOCATION
- (OR LOCATIONS) IS APPROVED BY THE CITY. 17. NO SOIL IS TO BE REMOVED FROM THE SITE WITHOUT APPROVAL OF THE ENVIRONMENTAL ENGINEER. ALL IMPORTED SOIL MATERIALS MUST BE APPROVED BY THE ENVIRONMENTAL ENGINEER PRIOR TO IMPORT.

EXISTING CONDITIONS/UTILITIES NOTES:

- 1. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING DRAINAGE AND UTILITIES, BOTH UNDERGROUND AND OVERHEAD BEFORE EXCAVATION BEGINS IN ACCORDANCE WITH 'DIG SAFE'.
- NO DRAINAGE STRUCTURE OR FACILITY SHALL BE DISTURBED WITHOUT PROPER PERMITS UNLESS SPECIFICALLY INDICATED ON THESE DRAWINGS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY. 3. ALL EXISTING UTILITIES HAVE BEEN PLOTTED BASED UPON THE BEST INFORMATION AVAILABLE AT THE TIME OF PLAN
- PREPARATION AND REPRESENT APPROXIMATE LOCATIONS. SOME OBSTRUCTIONS, OBSTACLES, OR DIFFICULTIES IN THE PATH OF THE WORK, EITHER ANTICIPATED OR DISCOVERED IN THE PERFORMANCE OF THE WORK, MAY NOT HAVE BEEN INDICATED BY DRAWINGS. THE CONTRACTOR SHALL BE UNDERSTOOD TO HAVE ENTERED INTO THE CONTRACT WITH FULL KNOWLEDGE THAT IN ANY WORK INVOLVING EXCAVATION OPERATIONS IN PUBLIC HIGHWAYS OR ADJACENT TO OTHER DEVELOPMENTS, SOME UNFORESEEN OBSTACLES, DIFFICULTIES, SOIL OR GROUND WATER CONDITIONS, ETC., MAY BE ENCOUNTERED, AND THAT THE CONTRACTOR HAS INCLUDED IN HIS BID AND CONTRACT OBLIGATIONS THE ASSUMPTIONS OF THE RISKS AND COSTS TO WHICH
- SUCH OBSTACLES, ETC. MAY SUBJECT HIM/HER. 4. THE LOCATION OF EXISTING UNDERGROUND PIPES, CONDUITS, AND STRUCTURES AS SHOWN HAS BEEN COLLECTED FROM THE BEST AVAILABLE SOURCES, AND THE OWNER, TOGETHER WITH HIS AGENTS, DOES NOT IMPLY OR GUARANTEE THE DATA AND INFORMATION IN CONNECTION WITH UNDERGROUND PIPES, CONDUITS, STRUCTURES, AND SUCH OTHER PARTS, AS TO THEIR COMPLETENESS, NOR THEIR LOCATIONS AS INDICATED. THE CONTRACTOR SHALL ASSUME THAT THERE ARE EXISTING WATER, GAS AND OTHER UTILITY CONNECTIONS IN ROUTE, WHETHER THEY APPEAR ON THE DRAWINGS OR NOT. ANY EXPENSE AND/OR DELAY OCCASIONED BY UTILITIES AND STRUCTURES OR DAMAGE THERETO, INCLUDING THOSE NOT SHOWN, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AT NO ADDITIONAL EXPENSE TO THE OWNER.
- BEFORE PROCEEDING WITH CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL MAKE SUCH SUPPLEMENTAL INVESTIGATIONS, INCLUDING EXPLORATORY EXCAVATIONS BY HAND DIGGING, AS HE DEEMS NECESSARY TO UNCOVER AND DETERMINE THE EXACT LOCATIONS OF UTILITIES AND STRUCTURES AND SHALL HAVE NO CLAIMS FOR DAMAGES DUE TO ENCOUNTERING SUBSURFACE STRUCTURES OR UTILITIES IN LOCATIONS OTHER THAN THOSE SHOWN ON THE DRAWINGS, OR WHICH ARE MADE KNOWN TO THE CONTRACTOR PRIOR TO CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE AND LIABLE FOR ALL DAMAGES
- TO EXISTING UTILITIES AND STRUCTURES. 6. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL ENGAGE A RI PROFESSIONAL LAND SURVEYOR TO SET AND VERIFY ALL LINES AND GRADES. ALL EXISTING AND PROPOSED UTILITY LOCATIONS AND ELEVATIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY ITEM FOUND WHICH DOES NOT MATCH THE PLANS MUST BE BROUGHT TO THE ENGINEER'S
- ATTENTION PRIOR TO CONSTRUCTION FOR REVIEW. 7. ANY DAMAGE TO EXISTING PAVEMENT, BRIDGES, CONDUIT, SIDEWALK, FENCES, ETC., CAUSED BY THE CONTRACTOR SHALL BE
- REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER/STATE/CITY. WHENEVER IT MAY BE NECESSARY TO CROSS OR INTERFERE WITH EXISTING CULVERTS, DRAINS, SEWERS, WATER PIPES, FIXTURES, GUARDRAILS, FENCES, GAS PIPES, OR OTHER STRUCTURES NEEDING SPECIAL CARE, DUE NOTICE SHALL BE GIVEN TO THE OWNER. WHENEVER REQUIRED, ALL OBJECTS SHALL BE STRENGTHENED TO MEET ANY ADDITIONAL STRESS THAT THE WORK HEREIN SPECIFIED MAY IMPOSE UPON IT, AND ANY DAMAGE CAUSED SHALL BE THOROUGHLY REPAIRED. THE ENTIRE WORK SHALL BE PERFORMED AT NO EXPENSE TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BROKEN MAINS OR UTILITIES ENCOUNTERED DURING THE PROGRESS OF THE WORK AND SHALL REPAIR AND BE RESPONSIBLE FOR CORRECTING ALL DAMAGES TO EXISTING UTILITIES. STRUCTURES AND PERSONAL "PROPERTY" WHICH MAY HAVE BEEN CAUSED BY BROKEN LINES AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL CONTACT THE PROPER UTILITY OR AUTHORITY TO CORRECT OR MAKE ANY CHANGES DUE TO UTILITIES OR OTHER OBSTRUCTIONS DURING CONSTRUCTION, BUT THE ENTIRE RESPONSIBILITY AND EXPENSE SHALL BE WITH THE CONTRACTOR. ALL DAMAGED ITEMS OF WORK OR ITEMS REQUIRED TO BE REMOVED AND REPLACED DUE TO CONSTRUCTION SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR TO THE COMPLETE SATISFACTION OF THE OWNER, AND AT NO ADDITIONAL EXPENSE TO THE OWNER.

AND SO THAT THE WORK MAY BE PERFORMED IN THE DRY.

EXCAVATIONS OF THE TYPE TO BE EMPLOYED FOR THE WORK.

WORK FROM FLOODING OR DAMAGE DURING STORMS OR OTHER CAUSES.

CONTAMINATED WATER IS DISCHARGE FROM THE SITE.

THOROUGHLY BRACED OR OTHERWISE PROTECTED.

SATISFACTORY PROGRESS OF SAME.

EXCAVATION AND WORK AREAS.

PROGRESS.

GROUNDWATER REMOVAL & PROTECTION FROM FLOODING:

BASED ON PRIOR ENVIRONMENTAL SOIL EXPLORATIONS AT THE SITE APPEARS IT APPEARS GROUNDWATER WILL NOT BE

DEWATERING PLAN MUST BE PRESENTED TO AND APPROVED BY THE ENGINEER AND THE ENVIRONMENTAL ENGINEER.

4. PUMPING SHALL BE CONTINUOUS WHERE DIRECTED AND/OR AS NECESSARY TO PROTECT THE WORK, AND TO MAINTAIN

THE CONTRACTOR'S DEWATERING AND PUMPING OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT NO

GROUND WILL RESULT FROM THESE OPERATIONS. ANY DAMAGE TO EXISTING FEATURES OR TO THE CONTRACT WORK

CAUSE NEITHER INJURY TO PUBLIC HEALTH OR PRIVATE PROPERTY, NOR DAMAGE TO THE WORK COMPLETED OR IN

NECESSARY TO DIVERT AND PREVENT SURFACE WATER AND WATER FROM DEWATERING OPERATIONS FROM ENTERING

ENCOUNTERED DURING THE PROPOSED SITE WORK. IF GROUNDWATER IS ENCOUNTERED AND DEWATERING IS NECESSARY, A

THE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN ALL PUMPS. DRAINS, WELL POINTS AND/OR ANY OTHER FACILITIES FOR

THE CONTROL, COLLECTION, AND DISPOSAL OF GROUNDWATER OR SURFACE AND SUBSURFACE WATER ENCOUNTERED IN THE

PERFORMANCE OF THE WORK, AND SHALL PROVIDE ALL PUMPS, PIPING, AND DITCHING FOR THE REMOVAL OF WATER FROM

DEWATERING OF EXCAVATIONS SHALL BE ACCOMPLISHED BY METHODS THAT HAVE BEEN APPROVED PRIOR TO COMMENCEMENT

OF WORK BY THE ENGINEER/ENVIRONMENTAL ENGINEER, AND WHICH HAVE A BACKGROUND OF SUCCESSFUL DEWATERING OF

THE CONTRACTOR'S DEWATERING AND PUMPING OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT NO LOSS OF

RESULTING FROM THE CONTRACTOR'S DEWATERING OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR, AS DIRECTED BY

ALL PIPELINES OR STRUCTURES NOT STABLE AGAINST UPLIFT DURING CONSTRUCTION OR PRIOR TO COMPLETION SHALL BE

THE CONTRACTOR SHALL CONSTRUCT DITCHES, ESTABLISH GRADING, AND PERFORM ANY AND ALL OTHER WORK AS MAY BE

THE OWNER, AT NO ADDITIONAL EXPENSE TO THE OWNER. PRECAUTIONS SHALL BE TAKEN TO PROTECT NEW AND EXISTING

WATER FROM THE TRENCHES, EXCAVATIONS, AND DRAINAGE OPERATIONS SHALL BE DISPOSED OF IN SUCH A MANNER AS WILL

THE TRENCHES AND EXCAVATIONS SO THAT ALL TRENCHES AND EXCAVATIONS MAY BE KEPT FREE FROM WATER AT ALL TIMES,

SUBSURFACE CONDITIONS NOTES:

- 1. ALL SOIL AND TEST HOLE DATA, WATER TABLE ELEVATIONS, AND SOIL ANALYSIS SHOWN/REFERENCED ON THE DRAWINGS OR INCLUDED IN THE SPECIFICATIONS APPLY ONLY AT THE LOCATION OF THE TEST HOLES AND TO THE DEPTHS INDICATED. SOIL TEST REPORTS ARE AVAILABLE FOR INSPECTION AT THE OFFICE OF THE DESIGN ENGINEER. ANY ADDITIONAL SUBSURFACE EXPLORATION SHALL BE DONE BY THE CONTRACTOR AT THEIR OWN EXPENSE. IT IS UNDERSTOOD THAT THE MAKING OF THE DEDUCTIONS, INTERPRETATIONS AND CONCLUSIONS FROM ALL THE ACCESSIBLE FACTUAL INFORMATION, INCLUDING THE NATURE OF THE MATERIALS TO BE EXCAVATED, THE DIFFICULTIES OF MAKING AND MAINTAINING THE REQUIRED EXCAVATIONS, AND THE DIFFICULTIES OF DOING OTHER WORK AFFECTED BY THE GEOLOGY AND OTHER SUBSURFACE CONDITIONS AT THE SITE OF THE WORK, ARE THE CONTRACTOR'S SOLE RESPONSIBILITY
- 2. THE INDICATED ELEVATION OF THE WATER TABLE IS THAT EXISTING AT THE DATE THE TEST HOLE DATA WAS DETERMINED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE AND ALLOW FOR THE ELEVATION OF GROUNDWATER AT THE DATE OF PROJECT CONSTRUCTION. A DIFFERENCE IN ELEVATION BETWEEN GROUNDWATER SHOWN IN SOIL LOGS AND GROUNDWATER ACTUALLY ENCOUNTERED DURING CONSTRUCTION WILL NOT BE CONSIDERED AS A BASIS FOR EXTRA WORK.
- 3. REVIEW OF THE RIDEM ENVIRONMENTAL RESOURCE MAP SHOW THE SITE SOILS ARE CLASSIFIED AS MERRIMAC-URBAN LAND COMPLEX (MU).
- 4. REFER TO THE GEOTECHNICAL REPORT ENTITLED "GEOTECHNICAL ENGINEERING REPORT FOR THE PROPOSED TAUNTON AVENUE DEVELOPMENT, PARCEL STREET NO.S 330, 350 AND 354, EAST PROVIDENCE, RHODE ISLAND" PREPARED BY PAUL B. ALDINGER & ASSOCIATES, INC., 860A WATERMAN AVENUE, SUITE 9, EAST PROVIDENCE, RHODE ISLAND, DATED MAY 2023.

CONSTRUCTION NOTES:

- DEVELOPER SHALL RETAIN THE SERVICES OF A RHODE ISLAND PROFESSIONAL ENGINEER TO REVIEW AND APPROVE SHOP DRAWINGS, SAMPLES, AND OTHER SUBMITTALS OF THE CONTRACTOR FOR CONFORMANCE WITH THE DESIGN CONCEPT (THIS PLAN SET) AND CITY REGULATIONS, WHICH INCLUDE (BUT ARE NOT LIMITED TO) THE FOLLOWING:
- A. <u>DRAINAGE SYSTEM</u> SHOP DRAWINGS/SKETCHES FOR PIPE, PIPE JOINTS, PIPE BEDDING/BACKFILL MATERIALS (SIEVE ANALYSIS, ETC.), COMPACTION METHODS, MANHOLE STRUCTURES, FRAME & COVERS, FRAME & GRATES, FRAME & COVER ADJUSTMENT METHODS TO FINISH GRADE, PROPOSED RIM ELEVATIONS, PIPE INVERTS AND PIPE DIAMETERS. ANY SUBSTANTIAL CHANGES TO THE DESIGN CONCEPT SHALL BE BROUGHT TO THE CITY'S ATTENTION
- B. <u>ROADWAY CONSTRUCTION</u> SHOP DRAWINGS/SKETCHES FOR GRAVEL BASE MATERIALS, BITUMINOUS CONCRETE COURSES, SIGNAGE/STRIPING, UNDERDRAINS, GUARDRAILS, RETAINING WALLS AND CURBING/BERMS.
- C. SOIL EROSION CONTROL AND DEWATERING METHODS. D. <u>COMPACTION METHODS</u> FOR INSTALLING PIPE/MANHOLES, GRAVEL ROAD BASE AND BITUMINOUS CONCRETE
- TESTING METHODS AND TESTING FREQUENCY FOR DRAINAGE AND ROAD SYSTEMS. TESTING FREQUENCY SHALL BE IN ACCORDANCE WITH RIDOT AND TYPICAL ENGINEERING STANDARDS.
- 2. THE SHOP DRAWING SUBMITTAL PACKAGE SHALL BE STAMPED BY A RHODE ISLAND PROFESSIONAL ENGINEER AND SUBMITTED TO THE CITY/CITY ENGINEER FOR REVIEW AND APPROVAL. SHOP DRAWING RECORDS SHALL BE
- MAINTAINED FOR THE DURATION OF THE PROJECT, INCLUDING THE WARRANTY PERIOD. 3. MARKED-UP CONSTRUCTION DRAWINGS SHALL BE MAINTAINED AND KEPT AT THE JOB SITE FOR THE DURATION OF
- THE PROJECT 4. CONTRACTOR SHALL PREPARE AND SUBMIT AS-BUILT DRAWINGS IN ACCORDANCE WITH CITY REGULATIONS AND
- EAST PROVIDENCE WATER DEPARTMENT. AS-BUILT DRAWING SHALL COMPLY WITH EAST PROVIDENCE WATER DEPARTMENT RULES AND REGULATIONS. AS-BUILT SHALL BE STAMPED BY A R.I. PROFESSIONAL LAND SURVEYOR AND R.I. PROFESSIONAL ENGINEER. PRIOR TO ACCEPTANCE OF INFRASTRUCTURE, A RI P.E. SHALL CERTIFY THE INFRASTRUCTURE WAS INSTALLED IN
- ACCORDANCE WITH THE DESIGN INTENT AND MEETS RIDOT/CITY STANDARDS & PERMIT STIPULATIONS, AND IS READY FOR USE, AS-BUILT DRAWING SHALL COMPLY WITH EAST PROVIDENCE WATER AND SEWER RULES AND REGULATIONS AND BE ACCEPTED AND APPROVED BY THE EAST PROVIDENCE WATER AND SEWER DEPARTMENTS.

EARTHWORK NOTES:

- 1. THE CONTRACTOR SHALL CONTACT 'DIGSAFE' AT 1-888-344-7233 AT LEST 72 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION
- 2. SPECIFICATIONS & DETAILS TO GOVERN THIS PROJECT ARE THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION — AUGUST 2018 EDITION (INCLUDING ALL SUBSEQUENT ADDENDA) AS WELL AS TOWN STANDARDS; WHERE APPLICABLE, THE TOWN'S STANDARDS SHALL OVERRIDE RIDOT STANDARDS.
- 3. RIDOT STANDARDS ARE AVAILABLE FOR DOWNLOAD FROM THE RIDOT WEBSITE UNDER 'STANDARDS AND
- SPECIFICATIONS' (WWW.DOT.STATE.RI.US/ENGINEERING/STANDARDS/INDEX.ASP). 4. EMBANKMENT SLOPES AND ALL DISTURBED AREAS ARE TO RECEIVE 4" OF TOPSOIL AND GRASS SEED UNLESS
- OTHERWISE NOTED. 5. ALL EXCAVATION AND PLACEMENT OF FILL SHALL BE IN ACCORDANCE WITH R.I.D.O.T. STANDARD SPECIFICATIONS SECTION 202 AND TOWN SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. ALL MATERIALS AND METHODS SHALL BE PERFORMED IN ACCORDANCE WITH THESE STANDARDS AND SPECIFICATIONS. ALL FILL BENEATH
- PAVEMENTS SHALL BE GRAVEL AS DEFINED IN THE RIDOT SPECIFICATIONS. 6. ALL AREAS COMPACTED BY CONSTRUCTION ACTIVITIES (OTHER THAN ROADWAYS AND BENEATH STRUCTURES) SHALL
- BE RESTORED TO PROMOTE INFILTRATION BY TILLING THE TOP 12 INCHES OF SOIL PRIOR TO FINAL STABILIZATION. 7. ALL UNSUITABLE MATERIAL (LOAM, SUBSOIL, ROOTS, TREE TRUNKS, CLAY, SILT, ORGANIC MATTER, LARGE STONES, ETC.) SHALL BE REMOVED FROM THE ROADWAY SUBGRADE AND EMBANKMENT AREAS PRIOR TO THE PLACEMENT
- OF THE GRAVEL SUBBASE/BERM MATERIAL AS DIRECTED AND APPROVED. 8. SUITABLE SURPLUS MATERIAL GENERATED BY EXCAVATIONS WITHIN THE PROJECT AREA (SAND, GRAVEL, LOAM, ETC.) SHALL BE RE-USED, TO THE EXTENT POSSIBLE, IN OTHER LOCATIONS WITHIN THE PROJECT AREA; MINING
- OF SITE MATERIALS (I.E. REMOVAL OF SUITABLE IN-SITU MATERIALS FROM THE SITE AND REPLACEMENT WITH IMPORTED BORROW MATERIALS) SHALL NOT BE PERMITTED. 9. THIS SITE IS A RIDEM LISTED SITE, FILE #SR-10-2131, THE SITE HAS A RIDEM CONSTRUCTION SOIL MANAGEMENT
- PLAN. ALL WORK SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CONSTRUCTION SOIL MANAGEMENT PLAN AND SUPPLEMENTAL WORK PLANS PROVIDED BY THE ENVIRONMENTAL ENGINEER, SAGE ENVIRONMENTAL, INC. 10. NO SOIL IS TO BE REMOVED FROM THE SITE WITHOUT APPROVAL OF THE ENVIRONMENTAL ENGINEER. ALL
- IMPORTED SOIL MATERIALS MUST BE APPROVED BY THE ENVIRONMENTAL ENGINEER PRIOR TO IMPORT.

SITE UTILITY NOTES:

- 1. THE SITE IS PROPOSED TO BE SERVICED BY THE PROVIDENCE WATER SUPPLY
- 2. THE SITE IS PROPOSED TO BE SERVICED BY THE CITY OF PROVIDENCE AND
- NARRAGANSETT BAY COMMISSION SANITARY SEWER SYSTEM. STORMWATER MANAGEMENT (COLLECTION, CONVEYANCE AND TREATMENT) SYSTEM SHALL BE PRIVATE. THERE WILL BE NO INCREASE TO THE STORMWATER RUNOFF RATES OR VOLUMES FOR THE 100 YEAR STORM AS PREDICTED BY THE STORMWATER MODELING.
- 4. ELECTRICAL/TELECOMMUNICATION/CATV SERVICE SHALL BE UNDERGROUND UNLESS OTHERWISE PERMITTED BY THE CITY.
- CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL WATER SYSTEM COMPONENTS, A SEQUENCE OF WORK AND PROPOSED WORK SCHEDULE TO THE WATER DEPARTMENT A MINIMUM OF 72 HOURS PRIOR TO THE START OF WATER
- ALL WATER SYSTEM COMPONENTS SHALL MEET WATER AUTHORITY STANDARDS AND REGULATIONS AND PROJECT MANUAL FOR SUBJECT DEVELOPMENT. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO ORDERING.
- 7. THE WATER DEPARTMENT SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY WORK ON THE WATER SYSTEM FOR INSPECTION PURPOSES. CONTRACTOR TO SUBMIT A WATER CONNECTION APPLICATION AND OBTAIN ANY REQUIRED PERMITS. AN APPLICATION FOR WATER CONNECTION CAN BE OBTAINED FROM THE WATER
- 8. ALL DRAINAGE SYSTEM COMPONENTS SHALL MEET CITY AND RIDOT STANDARDS, RIDEM STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL STANDARDS AND PROJECT MANUAL FOR SUBJECT DEVELOPMENT. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO ORDERING.
- 9. ALL SEWER SYSTEM COMPONENTS SHALL MEET SEWER AUTHORITY STANDARDS AND REGULATIONS AND PROJECT MANUAL FOR SUBJECT DEVELOPMENT. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR
- 10. THE SEWER AUTHORITY SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY WORK ON THE SEWER SYSTEM FOR INSPECTION PURPOSES. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
- 11. MINIMUM SEPARATION BETWEEN WATER AND SEWER LINES IS 10-FEET

SOILS ANALYSIS:

THE PARCEL AND SURROUNDING AREA ARE ALL THE SAME SOIL TYPE:

MU-MERRIMAC-URBAN LAND COMPLEX

MERRIMAC HYDROLOGIC SOIL GROUP A

REFER TO THE ENGINEERED REPORTS FOR ON-SITE SOILS AND WATER TABLE INFORMATION.

RIDOT R.O.W. NOTES:

- 1. ALL WORK TO BE PERFORMED WITHIN THE STATE HIGHWAY RIGHT OF WAY (R.O.W.) SHALL CONFORM TO THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AUGUST 2023 EDITION WITH ALL REVISIONS. STANDARD DETAILS FOR THIS WORK ARE R.I. STANDARD DETAILS 1998 EDITION (AMENDED OCTOBER 2022) WITH ALL REVISIONS.
- 2. ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 2009. INCLUDING ALL REVISIONS.
- 3. CONTRACTOR MUST SUBMIT AN APPLICATION AND APPLY FOR SEPARATE UTILITY PERMIT FOR ALL UTILITY WORK TO BE PERFORMED IN THE RIDOT R.O.W., THE APPROVAL OF THE PAPA IS NOT A SUBSTITUTE FOR A UTILITY PERMIT AND APPROVAL OF THE PAPA DOES NOT CONSTITUTE APPROVAL OF ANY UTILITY WORK, SHOWN OR UNSHOWN, WITHIN THE STATE R.O.W.
- 4. AS-BUILT DRAWINGS IDENTIFYING THE INVERTS, MATERIALS, AND PIPE SIZES FOR THE PROPOSED DRAINAGE CONNECTION SHALL BE PROVIDED TO RIDOT UPON COMPLETION OF THE WORK.

MAINTENANCE AND PROTECTION OF TRAFFIC

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC DURING CONSTRUCTION, INCLUDING POLICE PROTECTION. ALL TEMPORARY AND VEHICULAR SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE MAY 2012 MANUAL OF UNIFORM
- TRAFFIC CONTROL DEVICES (MUTCD), INCLUDING ALL SUBSEQUENT REVISIONS. 2. TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE TRAFFIC CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC. THE PRIVATE VEHICLES OF CONSTRUCTION WORKERS WILL NOT BE PARKED IN THE
- STRFFT RIGHT-OF-WAYS. 4. SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH R.I.D.O.T. SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.

REQUIREMENT BY OTHER CONSULTANTS:

THE CONTRACTOR SHALL REVIEW THE FOLLOWING ENGINEERED REPORTS PREPARED BY OTHERS AND INCORPORATE THEIR FINDINGS WHERE APPLICABLE. WHEN A CONFLICT ARISES BETWEEN THIS PLAN SET AND THE ENGINEERED REPORTS, THE CONTRACTOR SHALL FOLLOW THE ENGINEERED REPORTS:

- 1. 'LIMITED SUBSURFACE INVESTIGATION REPORT', PREPARED BY LAKESHORE ENVIRONMENTAL, JANUARY 2025.
- 2. 'EXPLORATION AND GEOTECHNICAL ENGINEERING SERVICES', PREPARED BY S.W. COLE ENGINEERING, DATED MARCH 11, 2025.

DRAWING ISSUE:

☐ CONCEPT ☐ CUSTOMER APPROVAL X PERMITTING ☐ CONSTRUCTION ☐ AS—BUILT OTHER:

ONLY PLANS ISSUED FOR

CONSTRUCTION

CONSTRUCTION SHALL BE USED FOR

PREPARED FOR AND CONTACT INFORMATION: WOMENS DEVELOPMENT CORPORATION 861A BROAD STREET PROVIDENCE, RI 02907

TIMOTHY J. BEHAN COMMONWEALTH ENGINEERS & CONSULTANTS, INC. 400 SMITH STREET PROVIDENCE, RHODE ISLAND 02908 Professional Engineer (401) 273-6600

REVISIONS No. | DATE | DRWN | CHKD

REGISTERED

GENERAL NOTES WOMENS DEVELOPMENT CORPORATION

A.P. 49 LOT 603 327 ELMWOOD AVENUE

PROVIDENCE, RHODE ISLAND

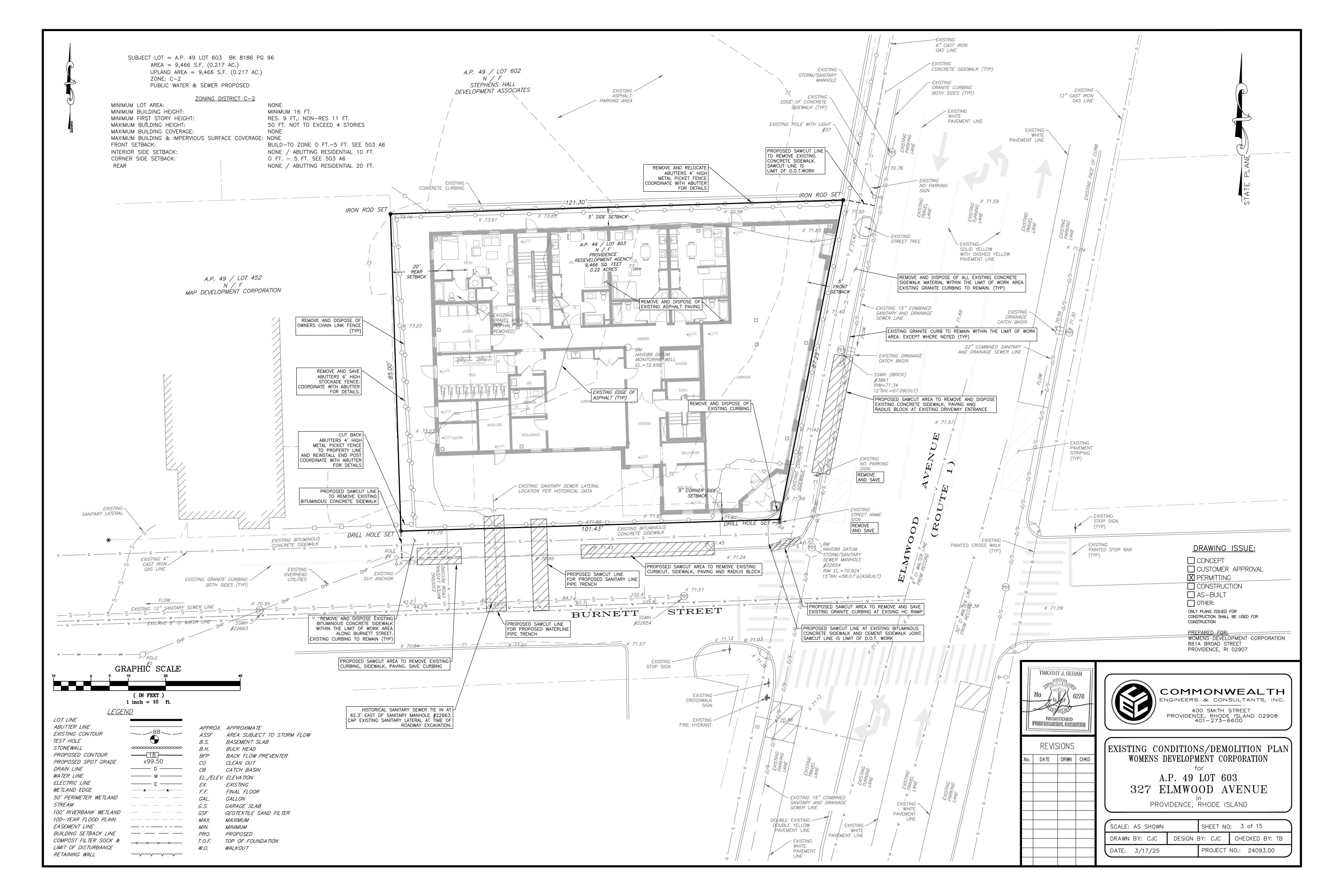
SCALE: AS SHOWN SHEET NO: 2 of 15 DRAWN BY: CJC DESIGN BY: CJC CHECKED BY: TB PROJECT NO.: 24093.00 DATE: 3/17/25

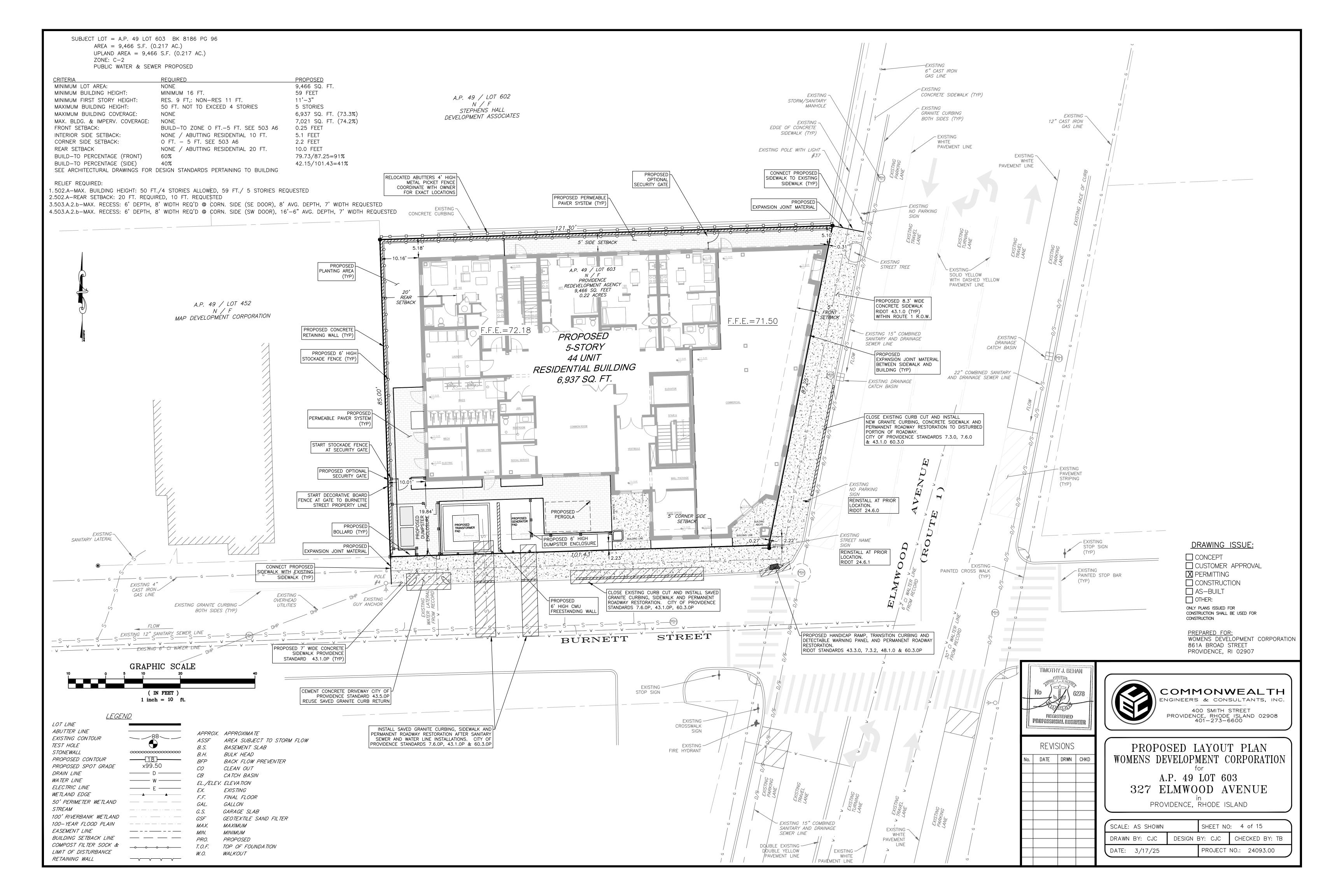
ROADWAY AND SIDEWALK BASE COURSE MATERIAL SPECIFICATION:

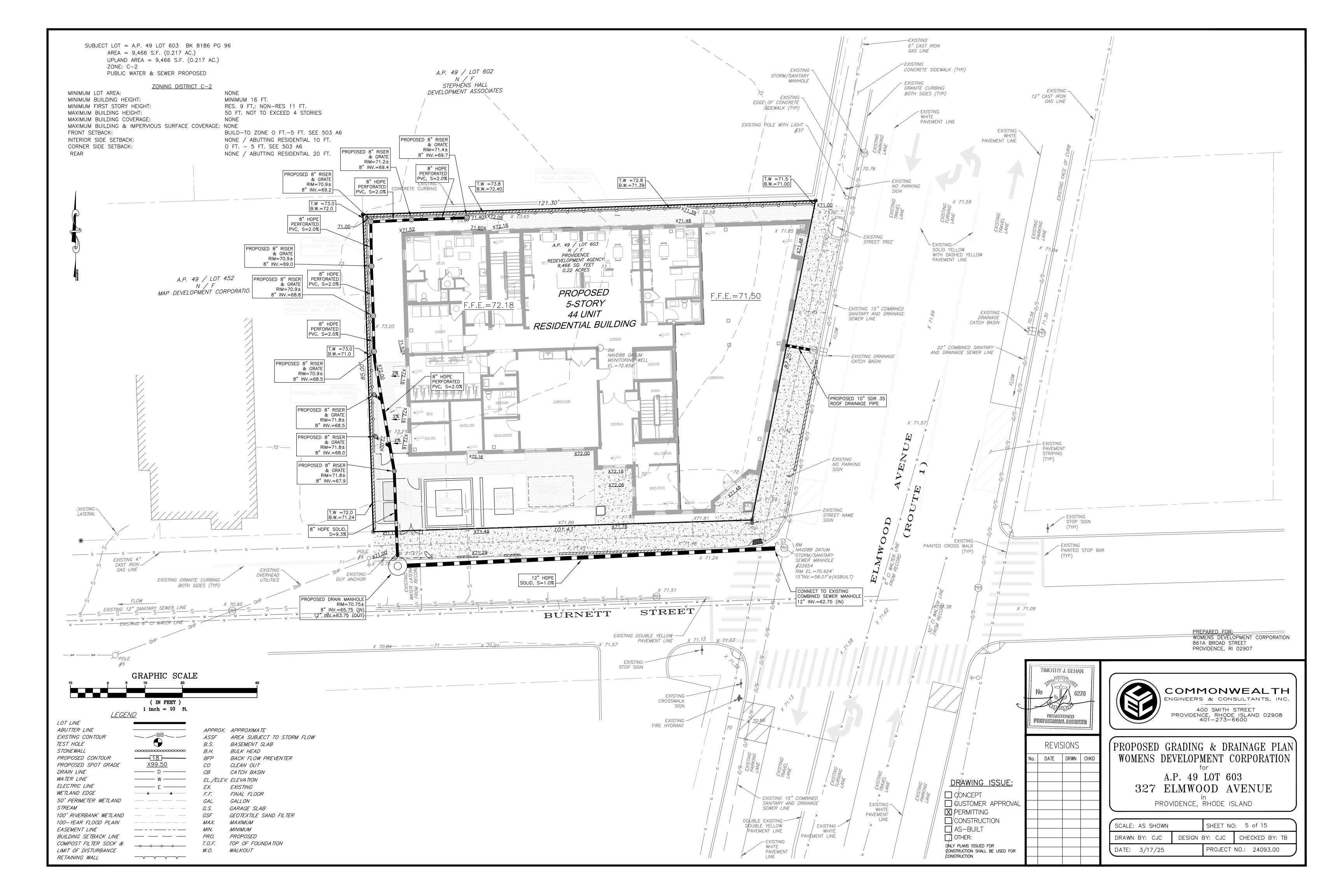
BASE COURSE MATERIAL: THE BASE COURSE MATERIAL SHALL BE GRAVEL AND CRUSHED STONE FREE FROM ICE. SNOW, SAND, CLAY, LOAM, OR OTHER DELETERIOUS MATERIAL. THE MATERIAL SHALL CONFORM TO THE FOLLOWING GRADATION LIMITS

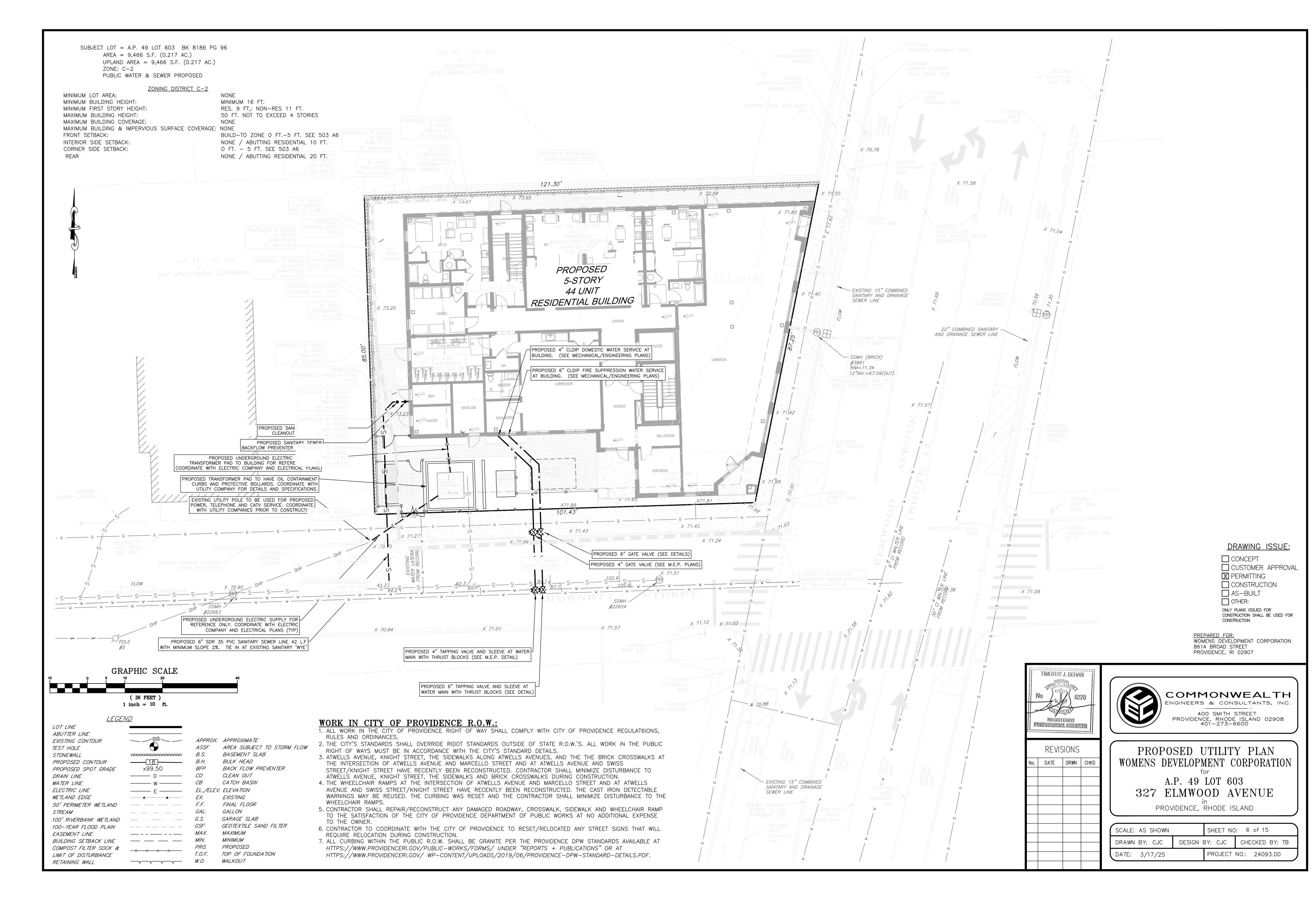
U.S. STANDARD SIEVE SIZE PERCENT PASSING BY WEIGHT 2 INCH 100 % 1 INCH 55-85 % 3/4 INCH 50-80 % 30-60 % No. 4 No. 40 10-30 % 3-10 % No. 200 0-3 %

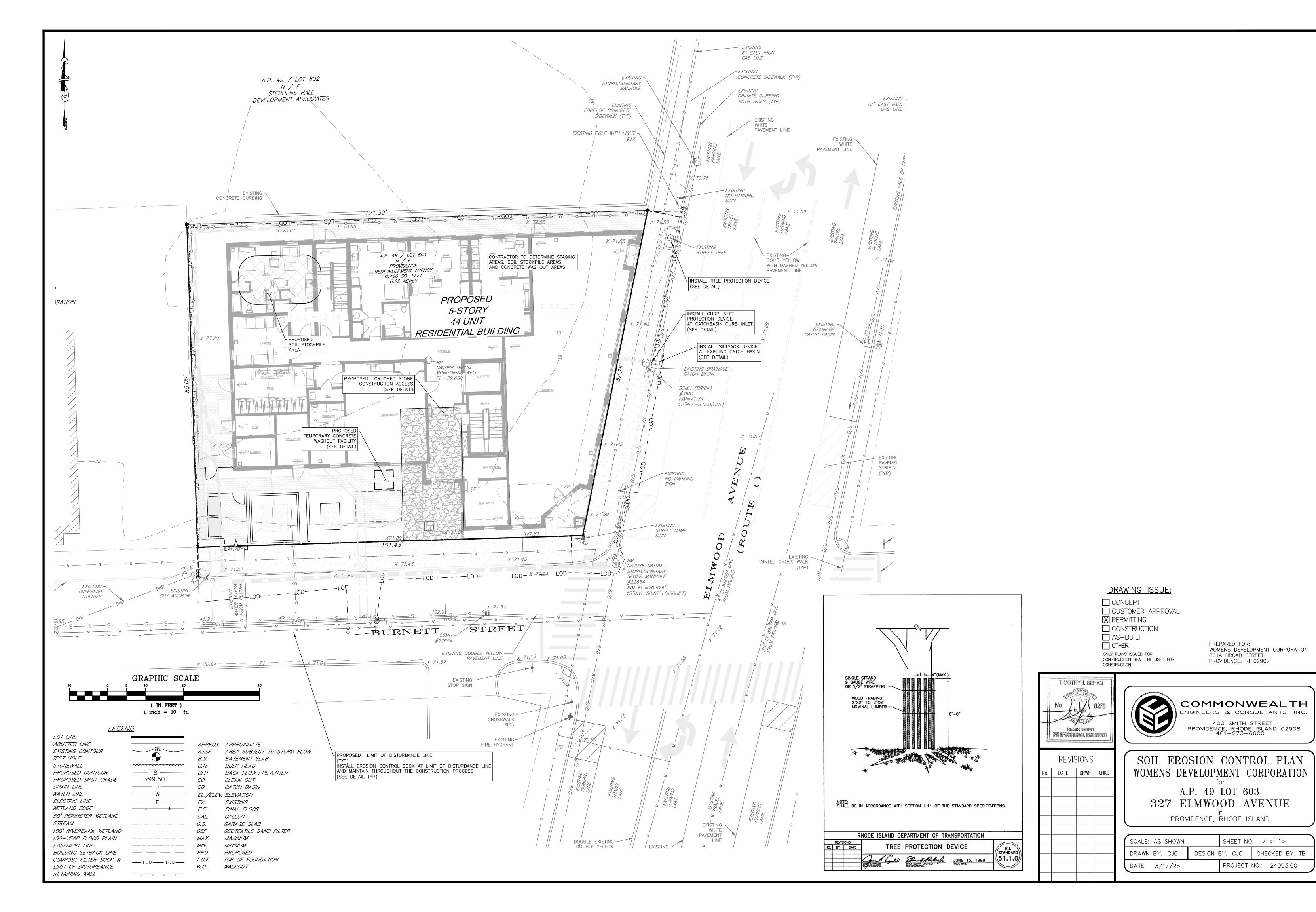
2. ALL BASE COURSE MATERIAL UNDER ROADWAYS, SIDEWALKS AND PARKING AREAS SHALL BE SPREAD IN LIFTS OF LESS THAN 12-INCHES AND COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY LABORATORY TESTING, ASTM D1557-07.











GENERAL NOTES

- 1. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE OF RHODE ISLAND AND THE MUNICIPALITY PRIOR TO COMMENCING ANY WORK.
- 2. IT SHALL ALSO BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN THE INTEGRITY OF ALL EXISTING UTILITIES, STRUCTURES, AND ABUTTING PROPERTIES. THE COST OF ANY REPAIR OR REPLACEMENT OF DAMAGED ITEMS SHALL BE BORNE BY THE CONTRACTOR.
- 3. ALL WORK PERFORMED HEREIN SHALL BE GOVERNED BY THE "R.I. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION LATEST REVISION" WITH ALL CORRECTIONS AND ADDENDA AND THE R.I. STANDARD DETAILS WITH ALL CORRECTIONS AND ADDENDA AND THE LOCAL MUNICIPALITY'S STANDARD SPECIFICATIONS AND DETAILS.
- 4. EMBANKMENT SLOPES AND ALL DISTURBED AREAS ARE TO RECEIVE 4" OF TOPSOIL AND SEEDED, SEE EROSION CONTROL PROGRAM.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND EROSION
- 6. THE LOCATION OF EXISTING UTILITIES AS SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR. "DIG SAFE" SHALL BE CONTACTED BY THE CONTRACTOR AS PART OF THIS VERIFICATION.
- 7. IN ALL EXCAVATION AND PLACEMENT OF FILL, THE CONTRACTOR SHALL PERFORM THE WORK IN FULL COMPLIANCE WITH THE R.I. STANDARD SPECIFICATION SECTION 202, AS AMENDED.
- 8. ALL EXCESS SOIL, STUMPS, TREES, ROCKS, BOULDERS, AND OTHER REFUSE SHALL BE DISCARDED OFF SITE, IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.

EROSION CONTROL & SOIL STABILIZATION PROGRAM:

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARDS AND PROCEDURES SET FORTH IN THE TOWN SUBDIVISION REGULATIONS AND ZONING ORDINANCES; RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL, AS AMENDED AS PREPARED BY THE RIDEM AND CRMC; AND RHODE ISLAND EROSION AND SEDIMENT CONTROL HANDBOOK AS PREPARED BY THE US DEPT. OF AGRICULTURE, SOIL CONSERVATION SERVICE, 1989, (AS REVISED)
- 2. ALL RHODE ISLAND STANDARD DETAILS FOR CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION 2004 EDITION AND ALL ADDENDUMS
- 3. INFILTRATION PRACTICES, IF APPLICABLE, SHALL NEVER SERVE AS A SEDIMENT CONTROL DEVICE DURING SITE CONSTRUCTION PHASE. GREAT CARE MUST BE TAKEN TO PREVENT ANY INFILTRATION AREA FROM COMPACTION BY MARKING OFF THE LOCATION BEFORE THE START OF CONSTRUCTION AT THE SITE AND CONSTRUCTING THE INFILTRATION PRACTICE LAST, CONNECTING UPSTREAM DRAINAGE AREAS ONLY AFTER CONSTRUCTION IS COMPLETE, AND THE CONTRIBUTING AREA IS STABILIZED. THE CONTRACTOR SHALL SUBMIT A PLAN TO THE TOWN (FOR APPROVAL) HOW SEDIMENT WILL BE PREVENTED FROM ENTERING THE SITE OF AN INFILTRATION FACILITY.
- 4. EXTREME CARE SHALL BE EXERCISED AS TO PREVENT ANY MATERIALS FROM ENTERING WETLANDS. THE ROADWAYS, ROADWAY DRAINAGE SYSTEMS. AND ADJACENT PROPERTY
- 5. COMPOST FILTER BERM, COMPOST FILTER SOCK, STRAW BALES OR SILT FENCE SHALL BE INSTALLED WHERE SHOWN ON THE PLAN AND AS REQUIRED TO PREVENT SEDIMENTATION ONTO ADJACENT PROPERTIES, WETLANDS AND THE ROADWAY DRAINAGE SYSTEM.
- DENUDED SLOPES SHALL NOT BE UNATTENDED OR EXPOSED FOR MORE THAN 2 WEEKS OF TIME OR FOR THE INACTIVE WINTER SEASON.
- 7. NO UNDISTURBED AREAS SHALL BE CLEARED OF EXISTING VEGETATION AFTER OCTOBER 15 OF ANY CALENDAR YEAR OR DURING ANY PERIOD OF FULL OR LIMITED WINTER SHUTDOWN. ALL DISTURBED SOILS EXPOSED PRIOR TO OCTOBER 15 OF ANY CALENDAR YEAR SHALL BE SEEDED OR PROTECTED BY THAT DATE. ANY SUCH AREAS THAT DO NOT HAVE ADEQUATE VEGETATIVE STABILIZATION, AS DETERMINED BY THE RESIDENT ENGINEER OR ENVIRONMENTAL INSPECTOR, BY NOVEMBER 15 OF ANY CALENDAR YEAR, MUST BE STABILIZED THROUGH THE USE OF EROSION CONTROL MATTING OR STRAW MULCH, IN ACCORDANCE WITH SPECIFICATIONS CONTAINED WITHIN THE R.I. SOIL EROSION AND SEDIMENT CONTROL HANDBOOK. IF WORK CONTINUES WITHIN ANY OF THESE AREAS DURING THE PERIOD FROM OCTOBER 15 THROUGH APRIL 15, CARE MUST BE TAKEN TO ENSURE THAT ONLY THE AREA REQUIRED FOR THAT DAY'S WORK IS EXPOSED, AND ALL ERODIBLE SOIL MUST BE RESTABILIZED WITHIN 5 WORKING DAYS. ANY WORK TO CORRECT PROBLEMS RESULTING FROM FAILURE TO COMPLY WITH THIS PROVISION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THERE WILL BE NO SEPARATE PAYMENT FOR THIS PROVISION, IT SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION OPERATIONS. STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN 2 WEEKS OF FINAL GRADING.

PREPARE TEMPORARY SEEDING AREA, PROVIDE AND PLANT SEED IN ACCORDANCE WITH 'TEMPORARY VEGETATIVE COVER' AS DESCRIBED IN THE 'RHODE ISLAND EROSION AND SEDIMENT CONTROL HANDBOOK" AS PREPARED BY THE US DEPT. OF AGRICULTURE, SOIL CONSERVATION SERVICE, 1989, (AS REVISED).

SEED MIX: 1.5 LBS/1,000 SQ. FT. ANNUAL RYE GRASS

- TEMPORARY TREATMENTS TO STABILIZE EXPOSED SOILS SHALL CONSIST OF COMPOST FILTER BERM, STRAW OR FIBER MULCH OR PROTECTIVE COVERS, SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK WHEN SOILS ARE EXPOSED FOR TWO WEEKS OR MORE OR AS ORDERED BY THE TOWN, ENGINEER OR OWNER AT NO ADDITIONAL COST. STRAW APPLICATIONS SHALL BE IN THE AMOUNT OF 3,000-4,000 LBS/ACRE
- ALL NEW COMPOST FILTER BERM OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED AND POTENTIAL SEDIMENTATION SOURCES ARE REMOVED.
- STOCKPILES SHALL HAVE NO SLOPE GREATER THAN 2:1 AND SHALL BE SURROUNDED BY COMPOST FILTER BERM. COMPOST FILTER SOCK OR SILT FENCE. STOCKPILES EXPOSED FOR EXCESSIVE PERIODS OF TIME SHALL RECEIVE TEMPORARY TREATMENT CONSISTING OF PLANTING ANNUAL RYE GRASS OR PROTECTING WITH STRAW OR FIBER MATTING.
- 12. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MAINTENANCE AND SHALL INSPECT/REPLACE AS
- 13. ADDITIONAL COMPOST FILTER BERMS OR OTHER TREATMENTS SHALL BE PROVIDED AS DIRECTED BY ENGINEER. RIDEM OR LOCAL REPRESENTATIVES
- AT NO ADDITIONAL COST. 14. THE CONTRACTOR SHALL INSPECT THE SOIL EROSION CONTROL DEVICES AFTER EVERY RAIN STORM EVENT AND EVERY 7 DAYS (WHICH EVER COMES FIRST). ANY SOIL MIGRATION PAST THE DEVICES SHALL BE REMOVED AND THE SOIL EROSION CONTROL DEVICES SHALL BE RE-ESTABLISHED TO
- PREVENT SOIL EROSION. ALL ACCUMULATED SEDIMENT IN FRONT OF THE DEVICES SHALL BE REMOVED AFTER EVERY RAIN STORM EVENT. 15. ALL DISTURBED SOIL AREAS SHALL BE PROTECTED AGAINST SOIL EROSION BY PLACEMENT OF COMPOST FILTER BERMS, COMPOST FILTER SOCKS AND/OR SILT FENCE ON THE DOWN GRADIENT SIDE OF THE DISTURBED AREA(S). SHOULD THE VOLUME AND/OR RATE OF STORMWATER RUNOFF BE TOO GREAT FOR A SINGLE DEVICE, THEN MULTIPLE DEVICES ARE REQUIRED SUCH AS SILT FENCE BACKED-UP WITH STRAWBALES. THESE ADDITIONAL DEVICES ARE NOT SHOWN ON THE PLAN BUT SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR AT NO ADDITIONAL COST TO
- THE OWNER. AT THE END OF THE PROJECT ALL SEDIMENT IN MANHOLE SUMPS SHALL BE REMOVED, IF APPLICABLE.
- 17. PERMANENT (FINAL) VEGETATION SHALL BE PLANTED AND SUPPLEMENTAL EROSION CONTROL MEASURES SHALL BE INSTALLED AS SOON AS PRACTICABLE.

PREPARE SEEDING AREA, PROVIDE AND PLANT SEED IN ACCORDANCE WITH 'PERMANENT VEGETATIVE COVER' AS DESCRIBED IN THE 'RHODE ISLAND EROSION AND SEDIMENT CONTROL HANDBOOK" AS PREPARED BY THE US DEPT. OF AGRICULTURE, SOIL CONSERVATION SERVICE, 1989, (AS REVISED).

ALL AREAS COMPACTED FROM CONSTRUCTION ACTIVITY AND VEHICLES SHALL BE UNCOMPACTED BY TILLING THE TOP 12" OF SOIL PRIOR TO PLANTING.

SEED MIXES:

PERENNIAL RYEGRASS

HOUSE LAWN MIX: RED FESCUE 0.90 LBS/1,000 SQ. FT. KENTUCKY BLUEGRASS 0.90 LBS/1,000 SQ. FT.

0.45 LBS/1,000 SQ. FT.

ROAD SHOULDER/GENERAL PURPOSE MIX:

RED FESCUE 1.75 LBS/1,000 SQ. FT. COLONIAL BENTGRASS 0.11 LBS/1,000 SQ. FT. PERENNIAL RYEGRASS 0.11 LBS/1,000 SQ. FT. BIRDSFOOT TREFOIL 0.35 LBS/1,000 SQ. FT.

WETLAND BUFFER ZONE MIX:

SEE 'NEW ENGLAND CONSERVATION/WILDLIFE MIX' THIS SHEET

STORMWATER DITCHES, DETENTION POND MIX: CREEPING RED FESCUE 0.45 LBS/1,000 SQ. FT. TALL FESCUE 0.45 LBS/1,000 SQ. FT.

- 18. UNTIL A DISTURBED AREA IS STABILIZED, SEDIMENT IN THE RUNOFF WATER SHALL BE TRAPPED BY THE USE OF SEDIMENT TRAPS OR SIMILAR
- 19. DURING GRADING OPERATIONS, APPROPRIATE MEASURES FOR DUST CONTROL SHALL BE EXERCISED BY USE OF SPRAY WATER APPLIED OR APPROVED
- 20. THE CONTRACTOR SHALL INSPECT AND MAINTAIN THE EROSION AND SEDIMENT CONTROL SYSTEM (INCLUDING POLLUTION PREVENTION TECHNIQUES) AS SPECIFIED ON DRAWINGS/STATE & LOCAL PERMITS AFTER EACH RAINSTORM EVENT AND ON A WEEKLY BASIS. PROFESSIONAL SHALL A SITE SPECIFIC STORM WATER POLLUTION PREVENTION PLAN FOR THE CONTRACTOR AND MAINTAIN RECORDS IN ACCORDANCE WITH RIDEM RIPDES REGULATIONS.
- 21. THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION AND SHALL DO SO AT NO ADDITIONAL EXPENSE TO THE OWNER.

NARRATIVE:

- I. <u>Project description:</u> the proposed project consists of constructing a 5 story 44 unit residential BUILDING AND ASSOCIATED SITE DEVELOPMENT WHICH INCLUDES PUBLIC WATER/SEWER, SIDEWALKS/WALKWAYS, SCREENED OUTDOOR SITTING AREA, TRANSFORMER PAD AREA, TRASH AREA, SITE STABILIZATION AND LANDSCAPE PLANTINGS.
- 2. AREA: AREA WITHIN LIMIT OF DISTURBANCE = 11,700 SQ. FT. 0.27 ACRES
- 3. BASE FLOOD ELEVATION: 2. THE PARCEL DOES NOT LIE IN A 100-YEAR FLOOD ZONE AS DIPICTED FEMA MAP 44007C0316G, EFFECTIVE 3/2/2009.
- 4. PROPOSED STORWATER SYSTEM(S): THE OVERALL PROJECT WAS DESIGNED IN ACCORDANCE WITH RIDEM'S STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL, LATEST EDITION AND MITIGATES STORMWATER FLOWS THRU THE
- 5. SUMMARY OF SOIL EROSION CONTROLS: AREAS DOWN GRADIENT OF A DISTURBED AREAS SHALL BE PROTECTED WITH COMPOST FILTER SOCK AS SHOWN ON THE PLAN/DETAILS. ALL SOIL STOCK PILE AREAS SHALL BE PROTECTED FROM SOIL EROSION AS SHOWN ON THE DETAIL. CONTRACTOR TO STABILIZE ALL DISTURBED AREAS AS SOON AS POSSIBLE
- 6. <u>SCHEDULE:</u> START IMMEDIATELY AFTER RECEIPT OF LOCAL AND STATE PERMITS (FALL 2025) AND BE COMPLETE BY
- WOMENS DEVELOPMENT CORPORATION 401-941-2900.

LONG-TERM POLLUTION PREVENTION NOTES:

SITE OWNER/OPERATOR SHALL REFER TO AND FOLLOW THE APPROVED OPERATION & MAINTENANCE (0&M) PLAN PREPARED FOR THIS PROJECT. A BRIEF SUMMARY OF LONG-TERM POLLUTION PREVENTION TECHNIQUES THAT MAY BE APPLIED TO THE PROJECT (AS SEQUENCE AND STAGING OF LAND DISTURBING ACTIVITIES: APPROPRIATE) IS PROVIDED BELOW. PLEASE REFER TO THE LATEST RI STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL FOR FULL EXPLANATIONS AND DETAILS WHICH CAN BE DOWNLOADED OFF THE DEM WEBSITE.:

- SOLID WASTE CONTAINMENT:
 - OWNER TO PROVIDE TRASH CONTAINER. CONTAINER TO HAVE A COVER TO PREVENT TRASH FROM BLOWING OUT. SWEEP COMMON DRIVEWAY ANNUALLY
- PET WASTE STATIONS THAT PROVIDE BAGS AND WASTE CONTAINERS ARE RECOMMENDED.
- **HAZARDOUS MATERIALS CONTAINMENT:**
- A. STORE ALL HAZARDOUS MATERIALS INSIDE STORAGE LOCKERS OR OTHER APPROVED METHODS WHICH HAVE SECONDARY
- B. SECONDARY CONTAINMENT MUST BE INCLUDED WHEREVER SPILLS MIGHT OCCUR (E.G. FUELING AND HAZARDOUS MATERIAL TRANSFER AND LOADING AREAS).
- 3. ROADS AND PARKING AREA MANAGEMENT: A. DELETED.
 - B. USE DEICING CHEMICALS AND SAND JUDICIOUSLY, AS THEY HAVE THE POTENTIAL TO CAUSE WATER QUALITY PROBLEMS. PROVIDE AND SPREAD IN ACCORDANCE WITH O&M RECOMMENDATIONS
 - * PLOW SNOW AND STORE ACCUMULATED SNOW PILES AWAY FROM INFILTRATION PRACTICES. KEEP SNOW PILES 50 FEET FROM WETLAND EDGE AND AREA SUBJECT TO STORM FLOW.
 - DEBRIS SHOULD BE CLEANED FROM THE SITE PRIOR USING THE SITE FOR SNOW DISPOSAL.
 - DEBRIS SHOULD BE CLEARED FROM THE SITE AND PROPERLY DISPOSED OF AT THE END OF THE SNOW SEASON. D. DELETED.
- 4. LAWN, GARDEN, AND LANDSCAPE MANAGEMENT
- A. <u>LAWN CONVERSION</u> REDUCE THE AMOUNT OF LAWN BY REPLANTING LAWN WITH GARDEN BEDS CONTAINING FLOWERS/SHRUBS. LAWNS REQUIRE MORE MAINTENANCE THAN FLOWER BEDS.
- SOIL BUILDING MAINTAIN A HEALTHY LAWN BY TESTING SOIL FOR pH, FERTILITY, COMPACTION, TEXTURE, AND EARTHWORM CONTENT.
- GRASS SELECTION SELECT DROUGHT TOLERANT GRASS SPECIES.
- MOWING AND THATCH MANAGEMENT MAINTAIN GRASS AT MINIMUM 3 TO 4 INCHES IN HEIGHT. THIS WILL REDUCE
- FERTILIZATION MINIMIZE FERTILIZATION. FERTILIZE NO MORE THAN TWICE A YEAR. APPLY CAREFULLY SO FERTILIZER
- DOES NOT SPREAD ONTO IMPERVIOUS SURFACES. <u>WEED MANAGEMENT</u> - NEVER USE CHEMICAL HERBICIDES TO ELIMINATE OR CONTROL WEEDS. OWNER SHALL REMOVE
- WEEDS BY PULLING OR DIGGING OUT. PEST MANAGEMENT - LIMIT PESTICIDE USE. CHOOSE PESTICIDES THAT POSE THE LEAST RISK TO HUMAN HEALTH AND
- SENSIBLE IRRIGATION WATER NO MORE THAN 1" PER WEEK. USE DROUGHT-RESISTANT GRASSES. CUT GRASS AT 3-4 INCHES.
- 5. <u>SNOW DISPOSAL:</u> A. AVOID DISPOSING OF SNOW ON TOP OF STORM DRAIN CATCH BASINS OR IN STORMWATER DRAINAGE SWALES OR DITCHES. SNOW COMBINED WITH SAND AND DEBRIS MAY BLOCK A STORM DRAINAGE SYSTEM, CAUSING LOCALIZED FLOODING. IN ADDITION, A HIGH VOLUME OF SAND, SEDIMENT, AND LITTER RELEASED FROM MELTING SNOW MAY BE
- QUICKLY TRANSPORTED THROUGH THE DRAINAGE SYSTEM INTO SURFACE WATER. 6. DRIVEWAY AND PARKING SEALANTS:
- A. DELETED. 7. DEICING REQUIREMENTS:
 - <u>STORAGE:</u> * SALT STORAGE PILES SHOULD BE COMPLETELY COVERED, IDEALLY BY A ROOF, AND AT A MINIMUM, BY A WEIGHTED TARP, AND STORED ON IMPERVIOUS SURFACES. THE DEM GROUNDWATER QUALITY RULES REQUIRE THAT DEICER MATERIALS BE COVERED IN AREAS WHERE THE GROUNDWATER IS CLASSIFIED GAA OR GA.
 - * RUNOFF SHOULD BE CONTAINED IN APPROPRIATE AREAS. * SPILLS SHOULD BE CLEANED UP AFTER LOADING OPERATIONS. THE MATERIAL MAY BE DIRECTED TO A SAND PILE OR RETURNED TO SALT PILES.
 - * AVOID STORAGE IN DRINKING WATER SUPPLY AREAS, WATER SUPPLY AQUIFER RECHARGE AREAS, AND PUBLIC WELLHEAD PROTECTION AREAS.
 - * APPLICATION RATE OF DEICING MATERIALS SHOULD BE TAILORED TO ROAD CONDITIONS (I.E., HIGH VERSUS LOW VOLUME ROADS).
 - * TRUCKS SHOULD BE EQUIPPED WITH SENSORS THAT AUTOMATICALLY CONTROL THE DEICER SPREAD RATE. * DRIVERS AND HANDLERS OF SALT AND OTHER DEICERS SHOULD RECEIVE TRAINING TO IMPROVE EFFICIENCY, REDUCE LOSSES, AND RAISE AWARENESS OF ENVIRONMENTAL IMPACTS.

STABILIZE SOILS:

<u>APPLICATION:</u>

ANY DISTURBED AREAS THAT WILL NOT HAVE ACTIVE CONSTRUCTION ACTIVITY OCCURRING WITHIN 14 DAYS MUST BE STABILIZED USING THE CONTROL MEASURES DEPICTED IN THE SESC SITE PLANS, IN ACCORDANCE WITH THE RI SESC HANDBOOK, AND PER MANUFACTURER PRODUCT SPECIFICATIONS.

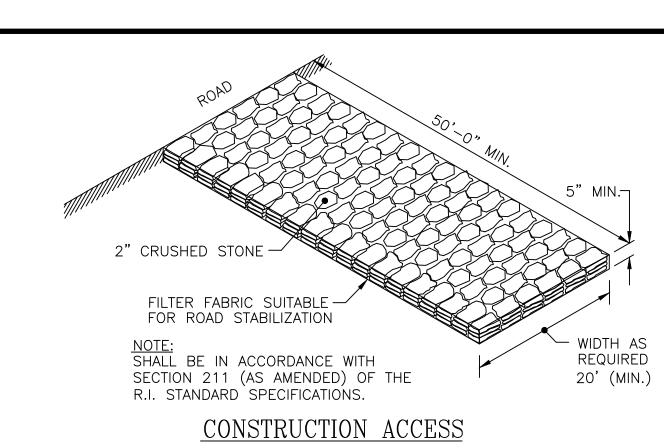
ONLY AREAS THAT CAN BE REASONABLY EXPECTED TO HAVE ACTIVE CONSTRUCTION WORK BEING PERFORMED WITHIN 14 DAYS OF DISTURBANCE WILL BE CLEARED/GRUBBED AT ANY ONE TIME. IT IS NOT ACCEPTABLE TO CLEAR AND GRUB THE ENTIRE CONSTRUCTION SITE IF PORTIONS WILL NOT BE ACTIVE WITHIN THE 14-DAY TIME FRAME. PROPER PHASING OF CLEARING AND GRUBBING ACTIVITIES SHALL INCLUDE TEMPORARY STABILIZATION TECHNIQUES FOR AREAS CLEARED AND GRUBBED THAT WILL NOT BE ACTIVE WITHIN THE 14-DAY TIME FRAME.

DRAWING ISSUE:

☐ CONCEPT CUSTOMER APPROVAL X PERMITTING ☐ CONSTRUCTION ☐ AS—BUILT OTHER: ONLY PLANS ISSUED FOR

CONSTRUCTION SHALL BE USED FOR

CONSTRUCTION



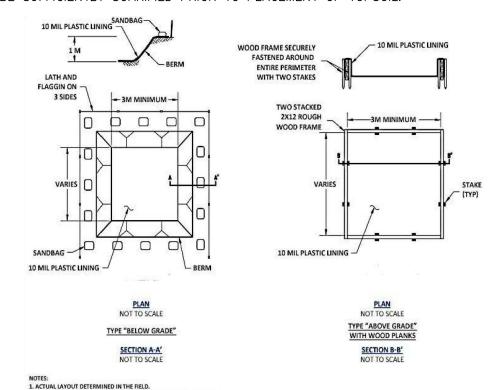
- CONTRACTOR TO REFER TO CITY AND RIDOT PERMITS PRIOR TO CONSTRUCTION.
- KEEP A COPY OF THE PERMITS AND APPROVED SITE PLAN SET ON SITE AT ALL TIMES.
- CONSTRUCT CONSTRUCTION ACCESS DEVICE, SEE DETAIL.
- 4. HAVE SURVEYOR STAKE LIMIT OF DISTURBANCE.
- 5. PLACE COMPOST FILTER SOCK ALONG LIMIT OF DISTURBANCE OR PROPERTY LINE WHEN LIMIT OF DISTURBANCE IS IN THE STREET RIGHT-OF-WAY.
- 6. IN NO CASE SHALL THE LIMIT OF WORK EXTEND BEYOND THE COMPOST FILTER SOCKS.
- CONSTRUCT SEDIMENT TRAP.
- GRUBBING SITE AND CONSTRUCT STOCKPILES IN ACCORDANCE WITH THE DETAIL.
- CONSTRUCT BUILDING AND UTILITIES. 10. CONSTRUCT STORMWATER MANAGEMENT FACILITIES. PROTECT PERVIOUS PAVEMENT TO ENSURE
- SEDIMENTS DO NOT ENTER SYSTEM(S). 11. SEED DISTURBED AREAS WITH SPECIFIED MIXES.
- 12. REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER A PERMANENT GROWTH OF VEGETATION IS ESTABLISHED.

STEEP SLOPES >15%:

1. CONTRACTOR TO PROTECT DISTURBED SLOPES >15% WITH ADDITIONAL MEASURES INCLUDING ADDITIONAL COMPOST FILTER SOCK (SEE DETAIL FOR SPACING BETWEEN SOCKS) AND EROSION CONTROL FABRIC WHEN SEEDING WHEN RESTORING VEGETATION.

PRESERVE TOPSOIL:

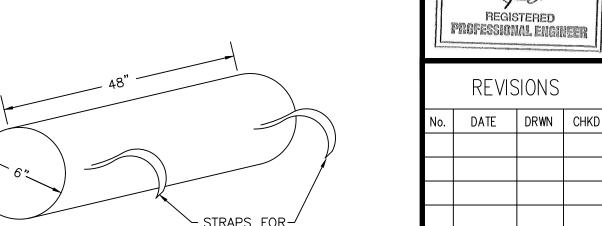
CONTRACTOR TO PRESERVE EXISTING TOPSOIL BY STOCKPILING IN ACCORDANCE WITH THE DETAIL AND RE-SPREADING TOPSOIL OVER DISTURBED AREAS AT A MINIMUM DEPTH OF 4 INCHES. THE SOIL BENEATH THE TOPSOIL SHALL NOT BE OVERLY COMPACTED. ANY OVERLY COMPACTED SOIL SHALL BE SUFFICIENTLY SCARIFIED PRIOR TO PLACEMENT OF TOPSOIL.



CREDIT: 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL. NOTE: ALL CONCRETE WASHOUT WATER SHALL BE DISPOSED INTO A TEMPORARY CONCRETE

WASHOUT. ONCE CONCRETE WASTES ARE WASHED INTO THE DESIGNATED AREA AND ALLOWED TO HARDEN, THE CONCRETE SHOULD BE BROKEN UP, REMOVED, AND DISPOSED OF PER APPLICABLE SOLID WASTE REGULATIONS. DISPOSE OF HARDENED CONCRETE ON A REGULAR BASIS.

TEMPORARY CONCRETE TIMOTHY J. BEHAN <u>WASHOUT TYPICAL DETAIL</u> NOT TO SCALE

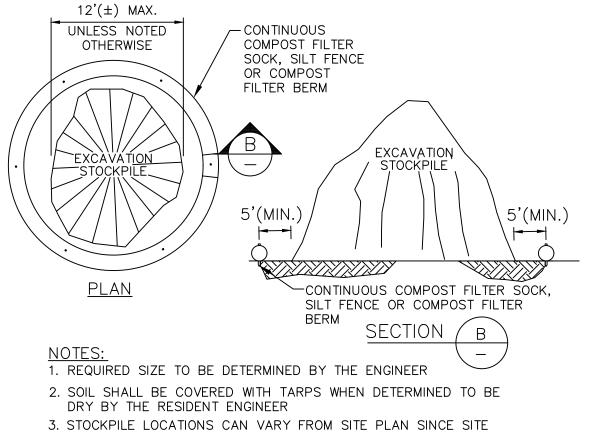


INSTALLATION

CURB INLET FILTER BY BMP SUPPLIES OR APPROVED EQUAL

CURB INLET PROTECTION

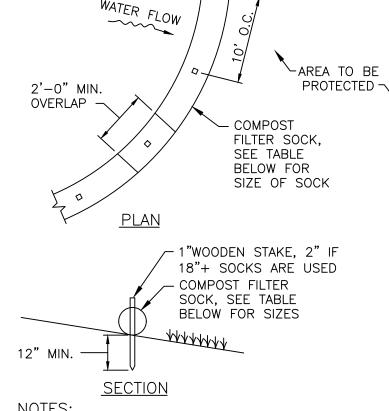
NOT TO SCALE



IS VERY FLAT.

ON-SITE SOIL STOCKPILE DETAIL

STAKES (TYP.)



1. ALL MATERIAL TO MEET REQUIREMENTS OF SECTION 206 OF RI STANDARD SPECIFICATIONS.

- 2. SUBMIT SHOP DRAWING OF COMPOST MATERIAL FOR REVIEW AND APPROVAL PRIOR TO PLACEMENT.
- 3. COMPOST FILTER SOCK IS AN 'OR EQUAL' TO COMPOST FILTER BERM WHEN INSTALLED IN ACCORDANCE WITH THE TABLE PROVIDED BELOW:

MAXIMUM SLOPE LENGTH ABOVE COMPOST FILTER SOCK, (FEET) AND DIAMETER OF SOCK REQUIRED: 8" SOCK 12" SOCK 18" SOCK 2% 275' 325' 5% 200' 150' 10% 100' 125' 200' 130' 20% 30% 45' 65' 40% 45'

> COMPOST FILTER SOCK NOT TO SCALE

> > PREPARED FOR:
> > WOMENS DEVELOPMENT CORPORATION 861A BROAD STREET PROVIDENCE, RI 02907



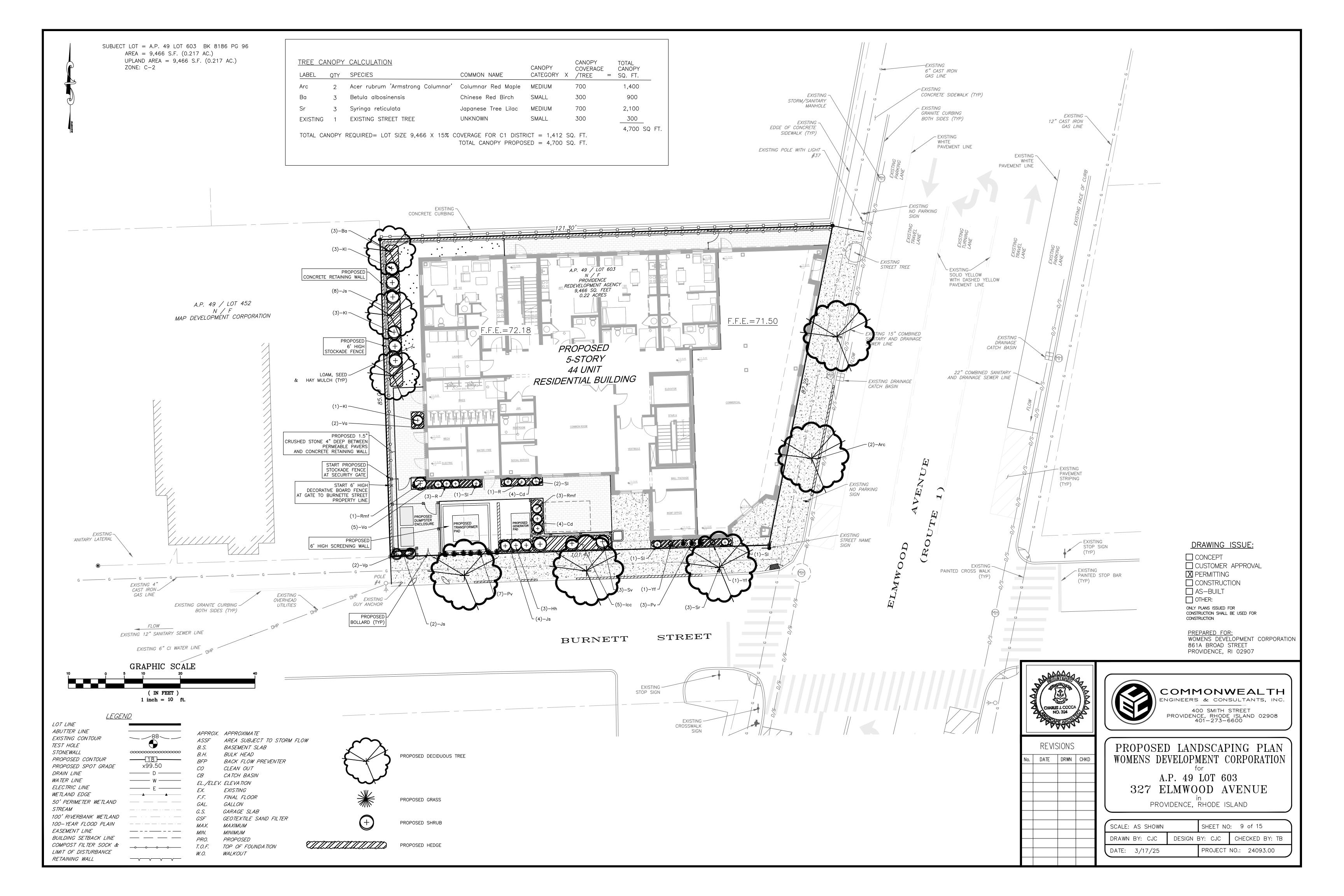
SOIL EROSION CONTROL DETAILS PLAN WOMENS DEVELOPMENT CORPORATION

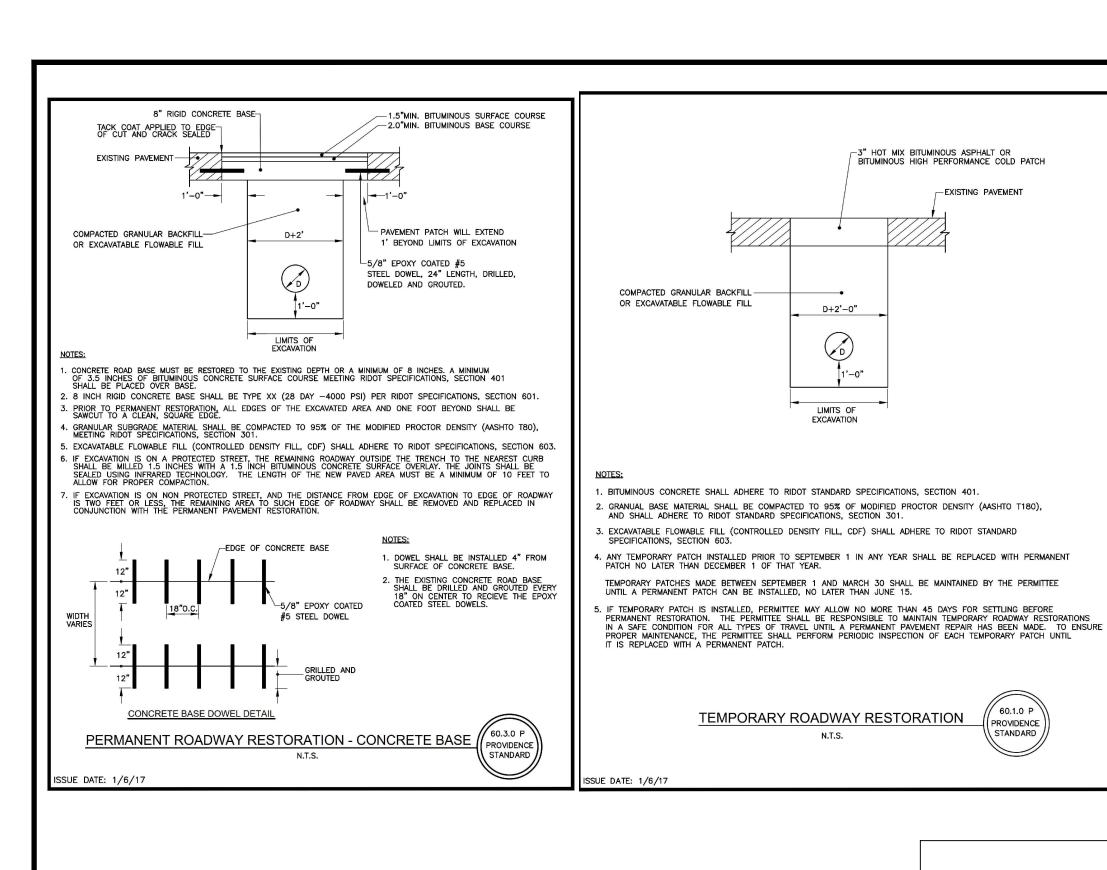
A.P. 49 LOT 603 327 ELMWOOD AVENUE

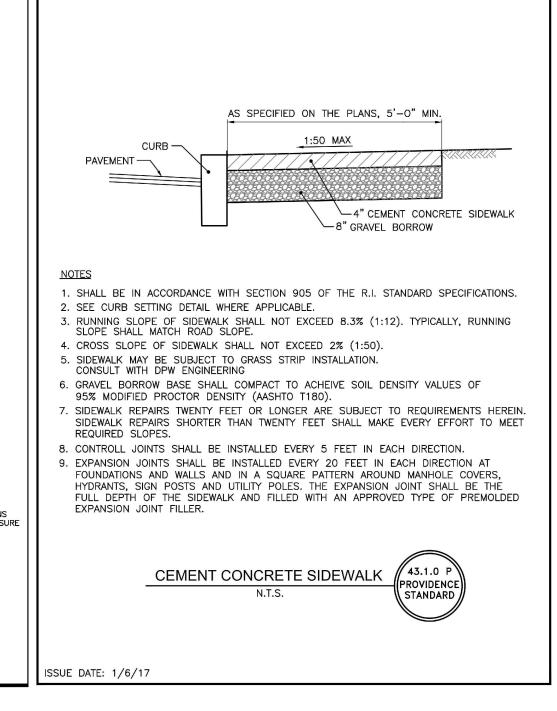
> SHEET NO: 8 of 15 DESIGN BY: CJC

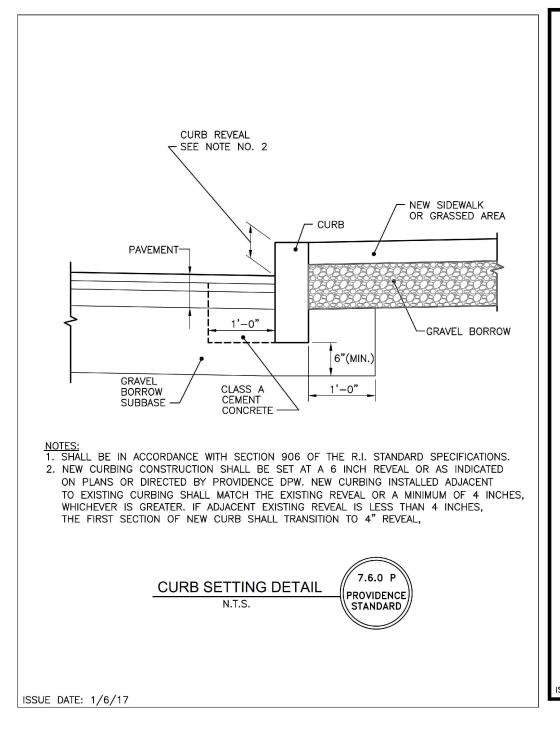
SCALE: AS SHOWN DRAWN BY: CJC CHECKED BY: TB PROJECT NO.: 24093.00 DATE: 3/17/25

PROVIDENCE, RHODE ISLAND







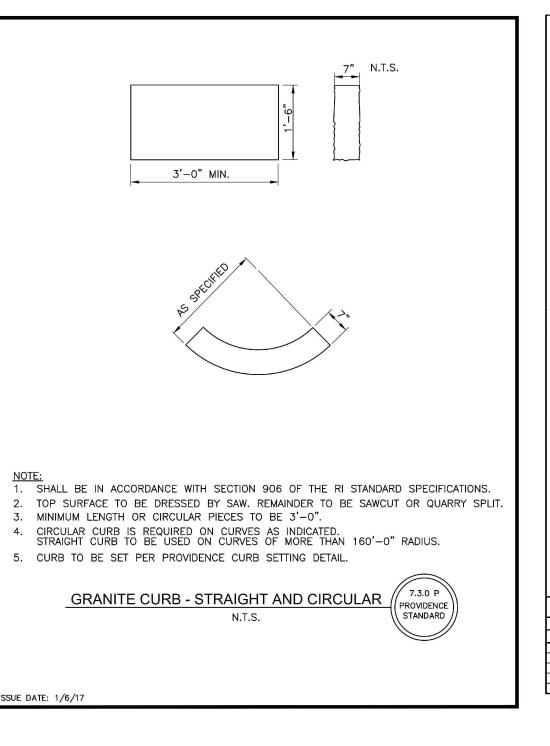


EXISTING 3" SHEET ASPHALT

EXISTING 8" PLAIN CONCRETE

BASE COURSE

TOP COURSE



DRAWING ISSUE:

☐ CUSTOMER APPROVAL

CONSTRUCTION SHALL BE USED FOR

861A BROAD STREET PROVIDENCE, RI 02907

PREPARED FOR:
WOMENS DEVELOPMENT CORPORATION

TIMOTHY J. BEHAN

☐ CONCEPT

X PERMITTING

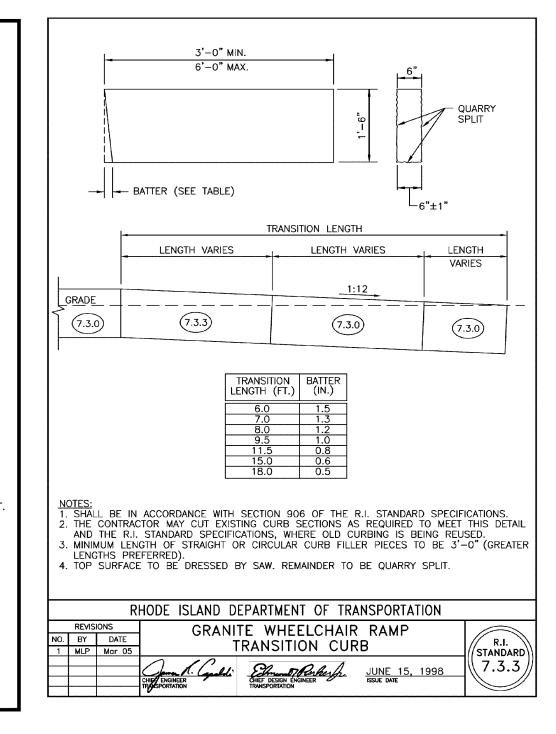
☐ AS-BUILT

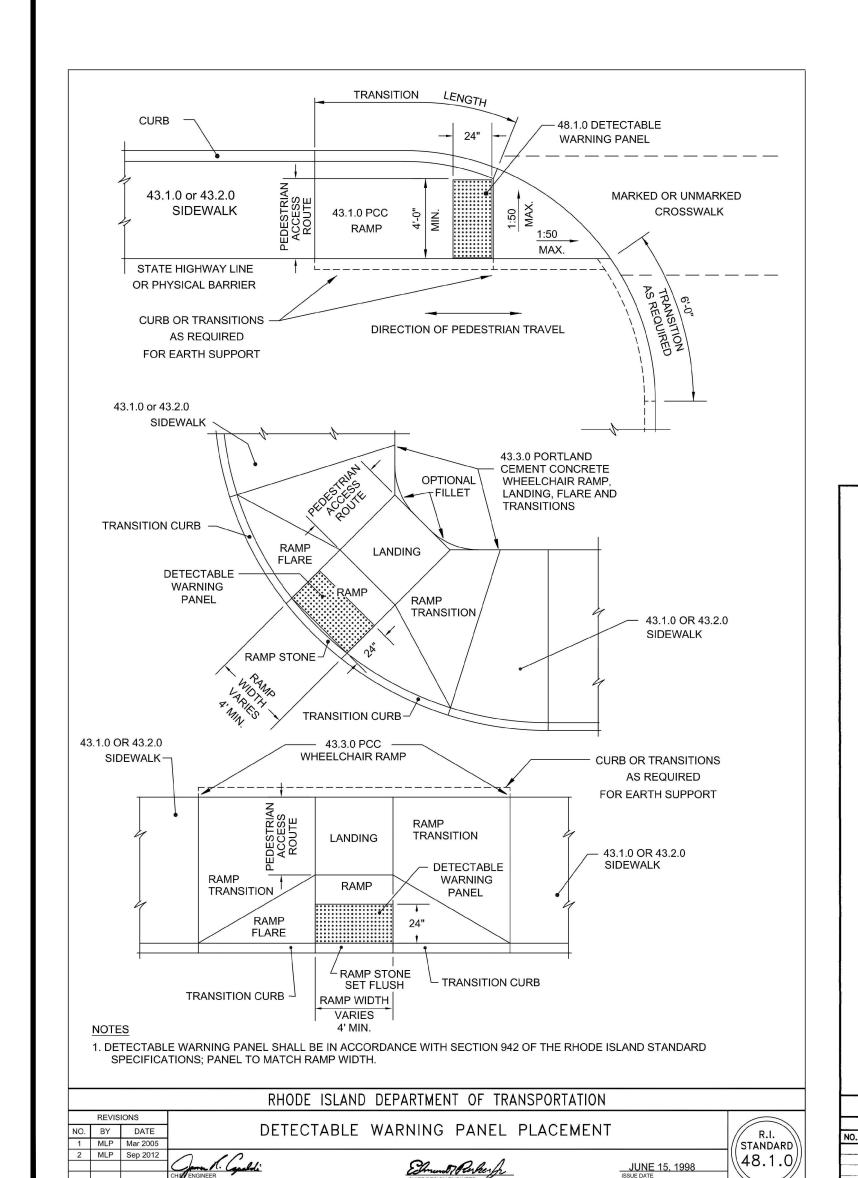
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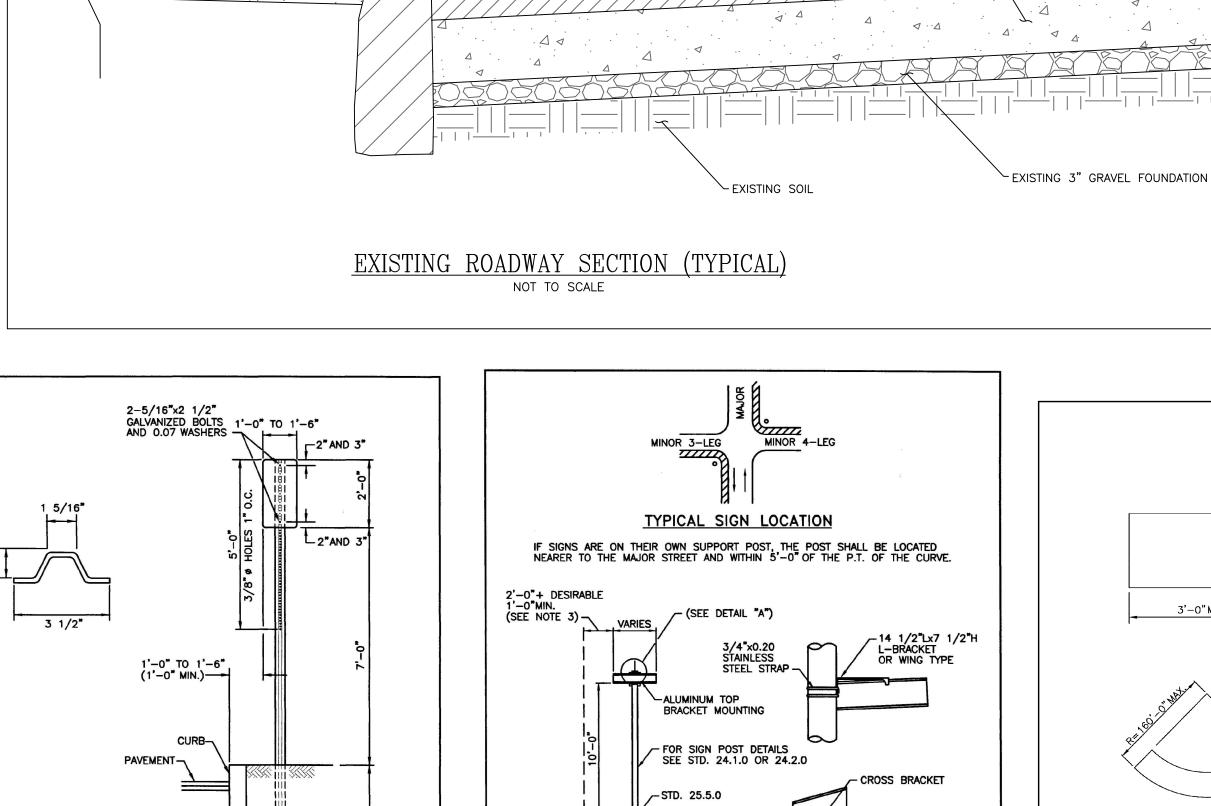
CONSTRUCTION

☐ CONSTRUCTION

ONLY PLANS ISSUED FOR







NOTES:

1. SHALL BE IN ACCORDANCE WITH SECTION T.15 OF THE STANDARD SPECIFICATIONS.

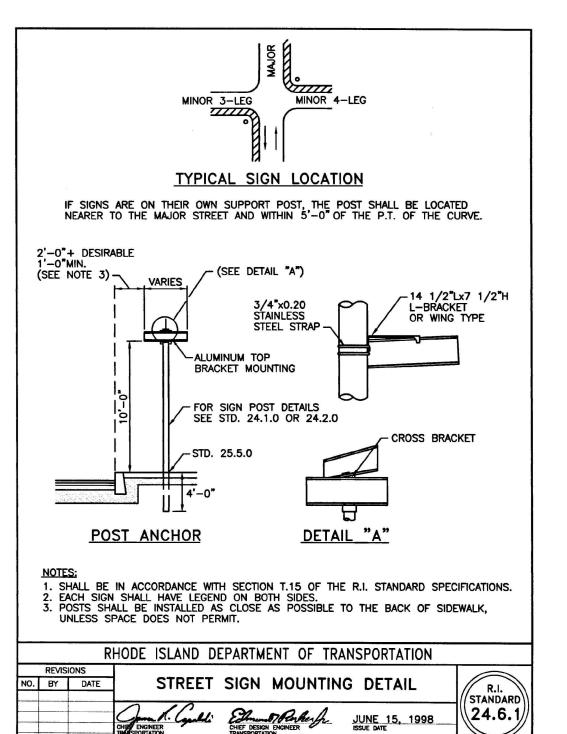
2. PARKING SIGNS SHALL BE SET AT AN ANGLE OF NOT LESS THAN 30° NOR MORE THAN 45° WITH A LINE PARALLEL TO FLOW OF TRAFFIC, 1'-6" (1'-0"MIN.) FROM EDGE OF CURB FACE.

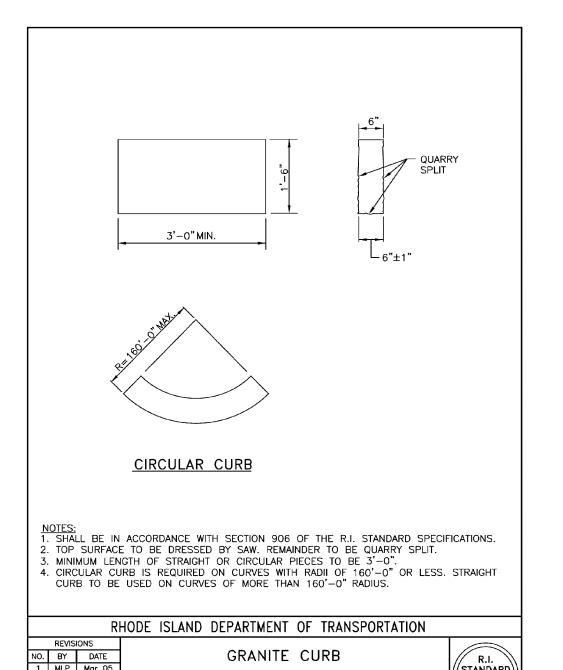
RHODE ISLAND DEPARTMENT OF TRANSPORTATION

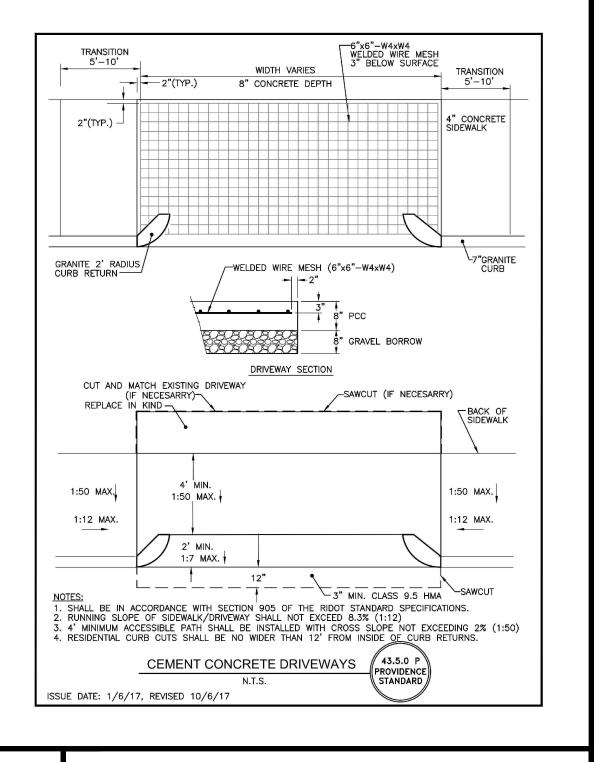
PARKING SIGN MOUNTING DETAIL

(24.6.0)

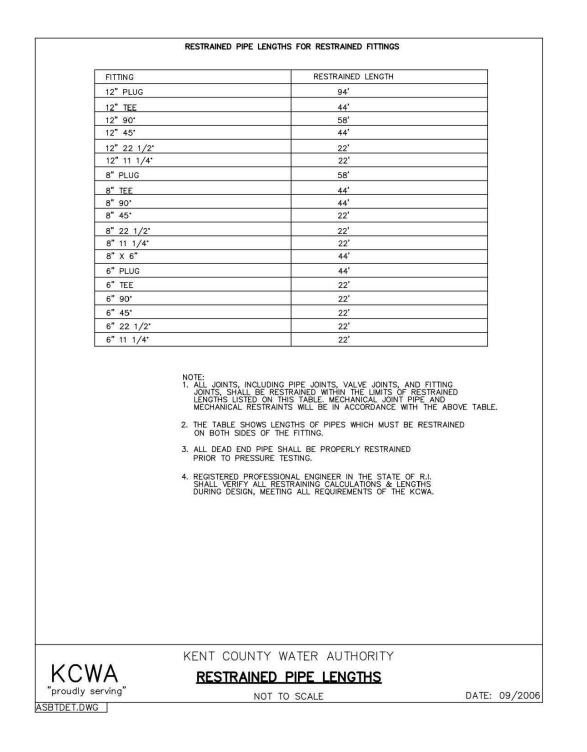
GRANITE CURBING

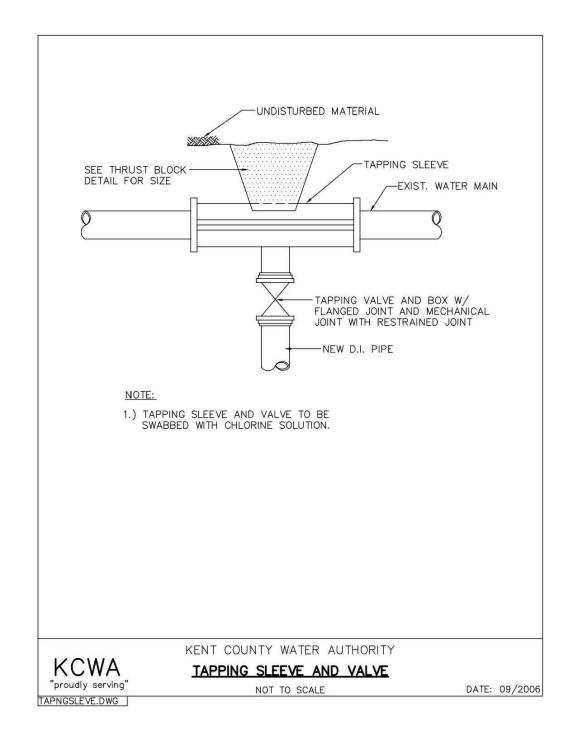


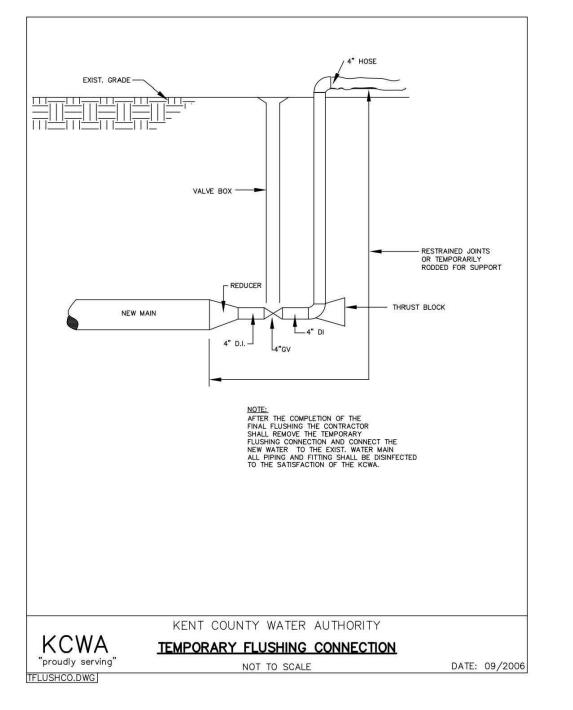


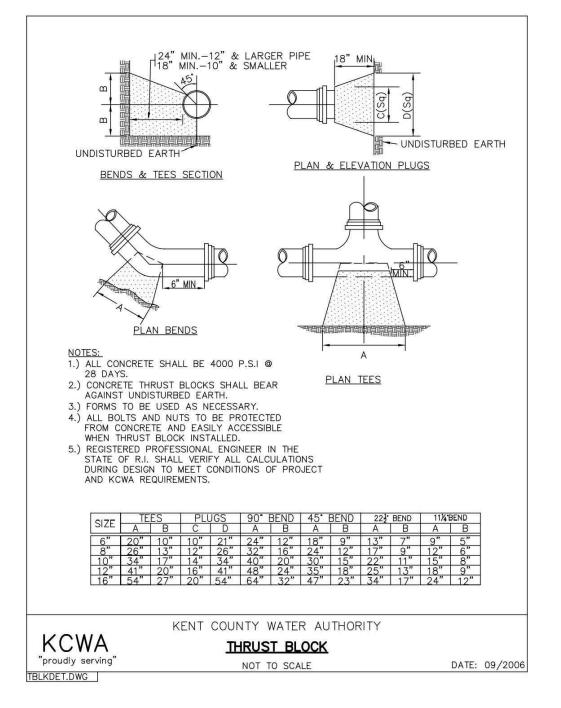


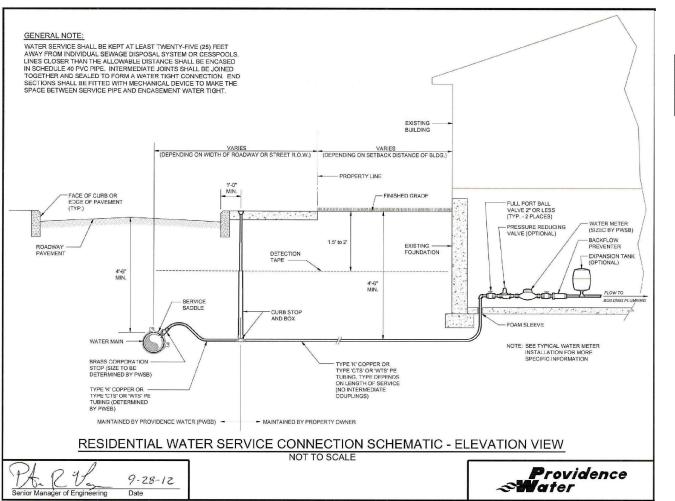


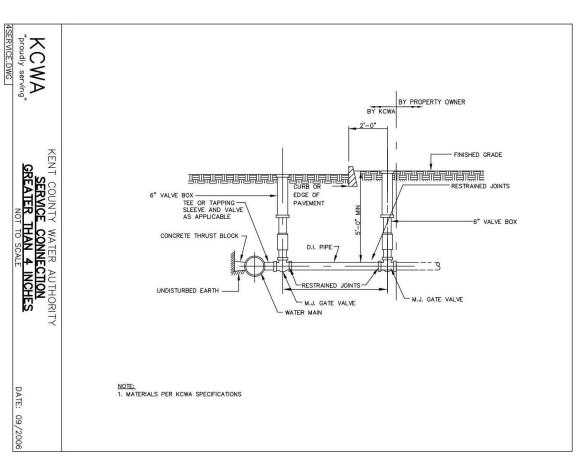


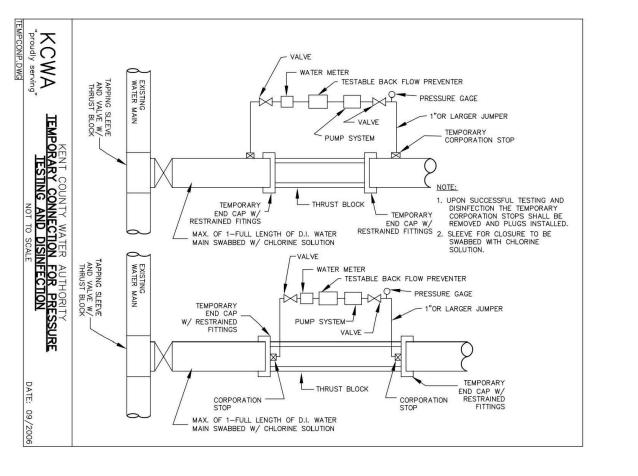


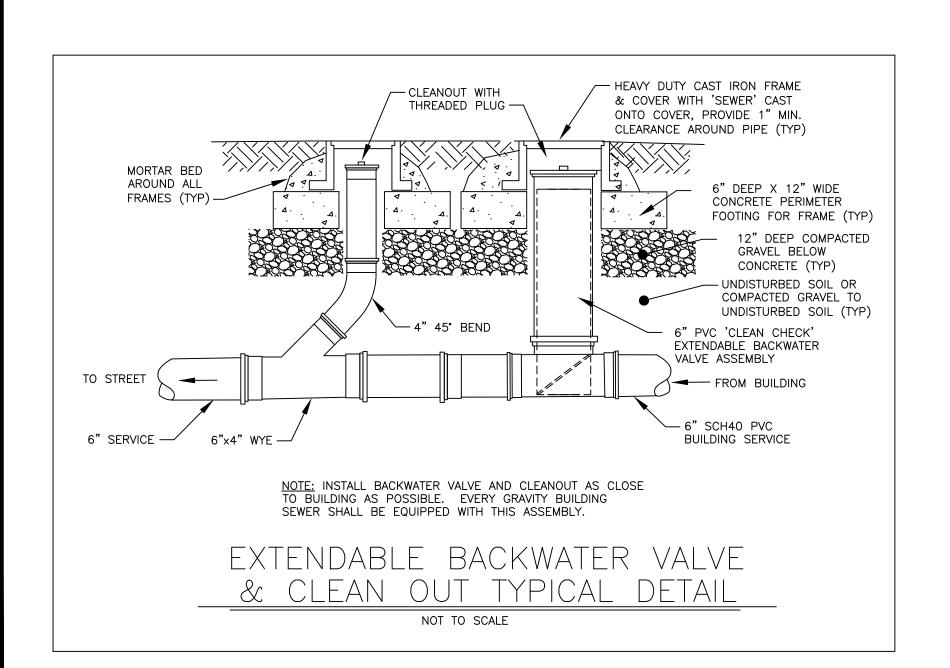


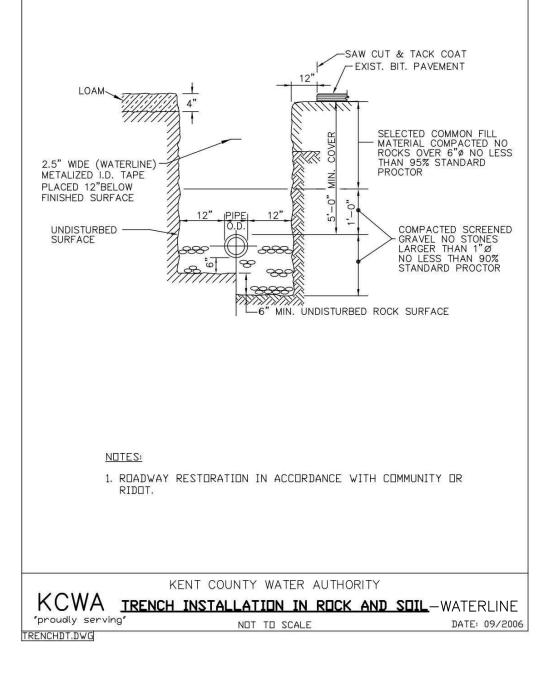


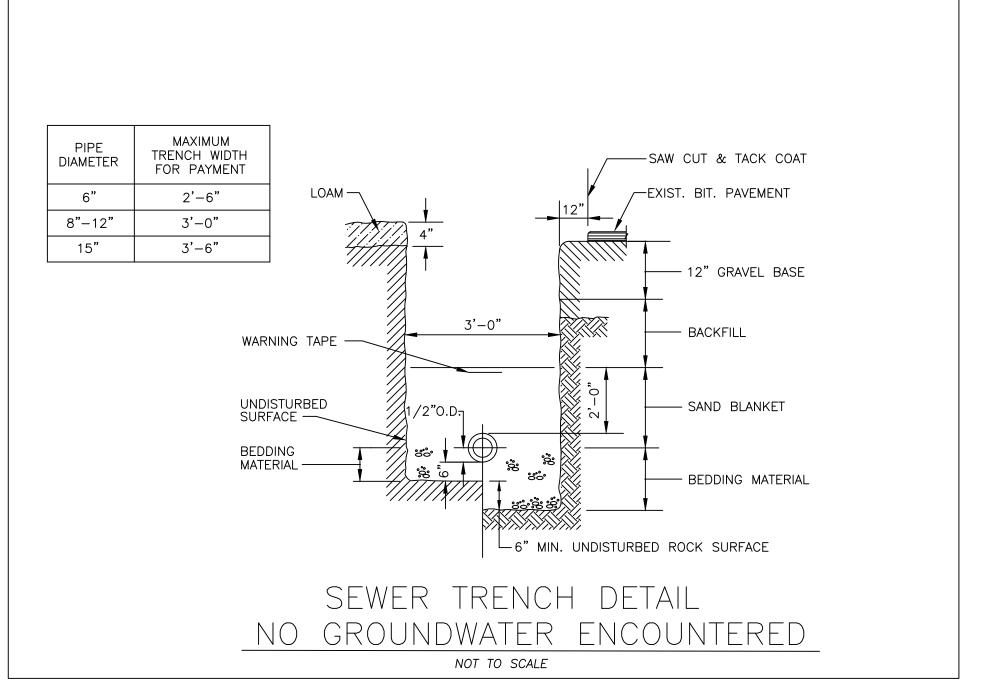












SEWER NOTES:

- 1. ALL CONSTRUCTION, MATERIALS, SPECIFICATIONS, AND PROCEDURES SHALL CONFORM WITH THE "STANDARD SANITARY SEWER REQUIREMENTS OF THE TOWN OF WEST WARWICK" AND ALL APPLICABLE FEDERAL, STATE AND TOWN BUILDING AND PLUMBING CODES. ANY DEVIATIONS FROM THESE PRECRIBED PROCEDURES AND MATERIALS SHALL BE APPROVED BY THE SUPERINTENDANT BEFORE INSTALLATION. THE
- CONTRACTOR SHALL REVIEW SAID STANDARD PRIOR TO ANY WORK.

 2. THE CONTRACTOR SHALL EXCAVATE A TEST PIT BETWEEN SMH1 AND SMH2 TO CONFIRM UTILITY LOCATIONS AND DEPTHS PRIOR TO ORDERING ANY MATERIALS. REPORT FINDINGS TO ENGINEER.
- 3. PROTECTION OF WATER LINES:

 A MINIMUM OF 24-INCHES HORIZONTAL SEPARATION SHALL BE MAINTAINED IN THE PLACEMENT OF WATER MAINS, SERVICES OR APPURTENANCES WITHIN THE PROXIMITY OF OTHER UTILITIES SUCH AS GAS, DRAINAGE, ELECTRICAL OR TELEPHONE. WHERE WATER MAINS CROSS OTHER UTILITIES, THE VERTICAL SEPARATION BETWEEN THE WATER INFRASTRUCTURE AND UTILITY SHALL BE AT LEAST 18-INCHES. THE PLACEMENT OF OTHER UTILITIES IN THE PROXIMITY OF WATER FACILITIES SHALL MAINTAIN THESE SEPARATION DISTANCES. IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN THESE SEPARATION DISTANCES, A DEVIATION FROM THIS RESTRICTION MAY BE ALLOWED ON A CASE-BY-CASE BASIS WITH PRIOR APPROVAL FROM THE GENERAL MANAGER/CHIEF ENGINEER AS TO THE PROPOSED DESIGN CONSIDERATIONS.
- 4. CLEAN-OUTS TO GRADE ON THE 6" SERVICE LINES SHALL BE INSTALLED AT EVERY FITTING OVER 22-1/2 DEGREES AND AT 75 FOOT INTERVALS.
- 5. PIPE SHALL BE LAID IN THE DRY AND AT NO TIME SHALL WATER IN THE TRENCH BE PERMITTED TO FLOW INTO THE SEWER.
- 6. BACKFILL FROM THE CENTERLINE OF THE PIPE TO A HEIGHT OF TWO FEET ABOVE THE PIPE SHALL BE SAND BLANKET MATERIAL PLACED EVENLY THE FULL WIDTH OF THE TRENCH AND COMPACTED IN 12— INCH LAYERS. THE REMAINDER OF THE TRENCH SHALL BE BACKFILLED EVENLY WITH SUITABLE (EXCAVATED OR BORROW) BACKFILL MATERIAL AND COMPACTED IN 12—INCH LAYERS. CUSHION AND BACKFILL MATERIAL SHALL BE COMPACTED TO 95% MAXIMUM DENSITY BY TAMPING AND COMPACTING IN
- LAYERS (ONE (1) FOOT MAXIMUM) TO ACHIEVE THE REQUIRED COMPACTION.

 7. THE CONTRACTOR SHALL SUBMIT AN AS-BUILT DRAWING AFTER COMPLETION OF THE SERVICE CONNECTION UTILIZING DISTANCES FROM PERMANENT STRUCTURES. THE DEPTH AT THE SEWER MAIN PROPERTY LINE AND AT THE DWELLING UNIT SHALL BE RECORDED AS WELL AS TIES TO ALL CLEANOUTS AND BENDS.
- 8. ALL PIPE AND FITTINGS SHALL BE PVC SDR35 MEETING ASTM D3034.
 9. ALL CONSTRUCTION SHALL BE PERFORMED IN THE DRY. THE CONTRACTOR SHALL PROVIDE, OPERATE AND MAINTAIN ALL PUMPS, DRAINS, WELL POINTS AND OTHER FACILITES NECESSARY TO CONTROL, COLLECT AND DISPOSE SURFACE AND SUBSURFACE WATER ENCOUNTERED DURING CONSTRUCTION.
- 10. MANHOLE FRAME & COVERS SHALL BE ADJUSTED TO FINISH GRADE WITH RED BRICK AND MORTAR. OTHER TYPES OF BRICK AND/OR PRECAST CONCRETE RINGS ARE NOT ACCEPTABLE.
- 11. BACKFLOW PREVENTER: ALL HOUSE CONNECTIONS ARE TO BE EQUIPPED WITH A BACKFLOW PREVENTER. BACKFLOW PREVENTERS MUST CONFORM WITH THE CITY OF PROVIDENCE BUILDING INSPECTOR'S REQUIREMENTS AND THE BUILDING OFFICIALS CODE ADMINISTRATORS BASIC MATIONAL PLUMPING CODE APPLICE 10. SECTION B. 1003.0
- PROVIDENCE BUILDING INSPECTOR'S REQUIREMENTS AND THE BUILDING OFFICIALS CO ADMINISTRATORS BASIC NATIONAL PLUMBING CODE, ARTICLE 10, SECTION P-1003.0.

 12. INSPECTION: ALL SEWER LINE CONSTRUCTION SHALL BE INSPECTED BY THE SEWER AUTHORITY PRIOR TO BACKFILLING.
- 13. TESTING: THE CONTRACTOR SHALL TEST EACH MANHOLE REACH AS SOON AS CONSTRUCTION OF SUCH REACH IS COMPLETE. THE CONTRACTOR WILL BE REQUIRED TO PERFORM THE PIPE DEFLECTION TEST ON EACH SECTION OF PIPE INSTALLED, VACUUM TEST OF MANHOLES AND AN INFILTRATION TEST OR LOW PRESSURE TEST AS APPLICABLE. ALL TESTING SHALL BE WITNESSED BY THE SEWER AUTHORITY.

TRENCH MATERIAL SPECIFICATION:

- 1. <u>BEDDING MATERIAL:</u> THE BEDDING MATERIAL SHALL BE CRUSHED STONE CONSISTING OF DURABLE CRUSHED ROCK IN DURABLE CRUSHED GRAVEL STONE, FREE FROM ICE, SNOW, SAND, CLAY, LOAM, OR OTHER DELETERIOUS MATERIAL. THE CRUSHED STONE SHALL CONFORM TO THE REQUIREMENTS OF 100% PASSING THE ONE (1) INCH SCREEN 90-100% PASSING THE THREE-QUARTER (3/4) INCH SCREEN, 10-50% PASSING THE ONE-HALF (1/2) INCH SCREEN, 0-20% PASSING THE THREE-EIGHTS (3/8) INCH SCREEN AND 0-5% PASSING THE NUMBER FOUR (4) SIEVE.
- 2. <u>SAND BLANKET:</u> THE SAND SHALL BE FREE FROM ICE, SNOW, ROOTS, RUBBISH, AND OTHER DELETERIOUS OR ORGANIC MATTER. THE SAND BLANKET SHALL CONFORM TO 22 THE REQUIREMENTS OF 100% PASSING ONE—HALF (1/2) INCH SCREEN, 85–100% PASSING THE THREE—EIGHTS (3/8) INCH SCREEN, 60–85% PASSING THE NUMBER FOUR (#4) SIEVE, 35–60% PASSING THE NUMBER SIXTEEN (#16) SIEVE, 10–35% PASSING THE NUMBER FIFTY (#50) SIEVE AND 2–10% PASSING THE NUMBER ONE—HUNDRED (#100) SIEVE.
- 3. <u>BACKFILL</u>: BACKFILL SHALL BE EXCAVATED MATERIALS FREE—DRAINING CLEAN GRANULAR SOIL SUITABLE FOR BACKFILL. UP TO 20 PERCENT OF BACKFILL MATERIAL MAY BE ROCK—LIKE MATERIALS NOT TO EXCEED 0.05 CUBIC FEET IN VOLUME, NOR MORE THAN 6 INCHES IN LENGTH. THE BACKFILL SHALL NOT CONTAIN ANY DEBRIS, PAVEMENT, FROZEN MATERIAL, ORGANIC MATTER, OR PEAT.

DRAWING ISSUE:

☐ CONCEPT☐ CUSTOMER APPROVAL☐ PERMITTING

☐ CONSTRUCTION☐ AS—BUILT

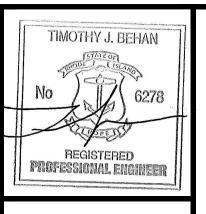
OTHER:

ONLY PLANS ISSUED FOR

CONSTRUCTION SHALL BE USED FOR

CONSTRUCTION

PREPARED FOR: WOMENS DEVELOPMENT CORPORATION 861A BROAD STREET PROVIDENCE, RI 02907





COMMONWEALTH
ENGINEERS & CONSULTANTS, INC.

400 SMITH STREET

PROVIDENCE, RHODE ISLAND 02908
401-273-6600

DETAILS-2 Utilities

REVISIONS					
No.	DATE	DRWN	CHKD		
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WOMENS DEVELOPMENT CORPORATION

A.P. 49 LOT 603

327 ELMWOOD AVENUE

PROVIDENCE, RHODE ISLAND

SCALE: AS SHOWN

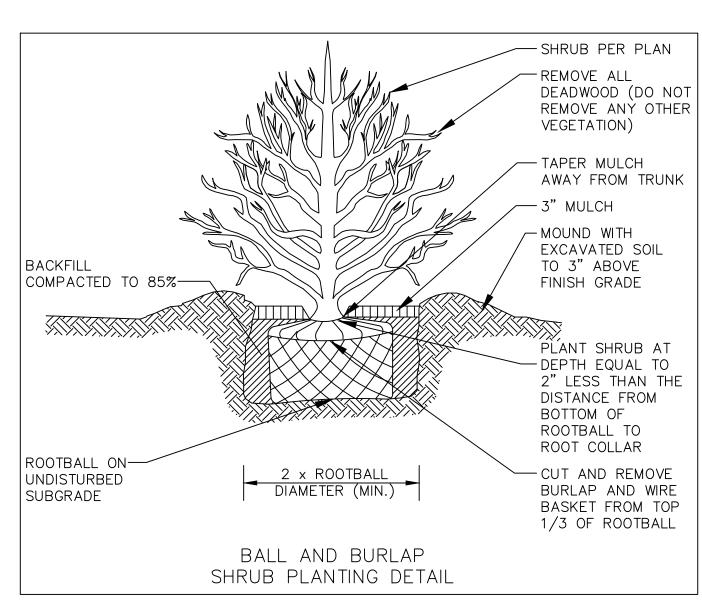
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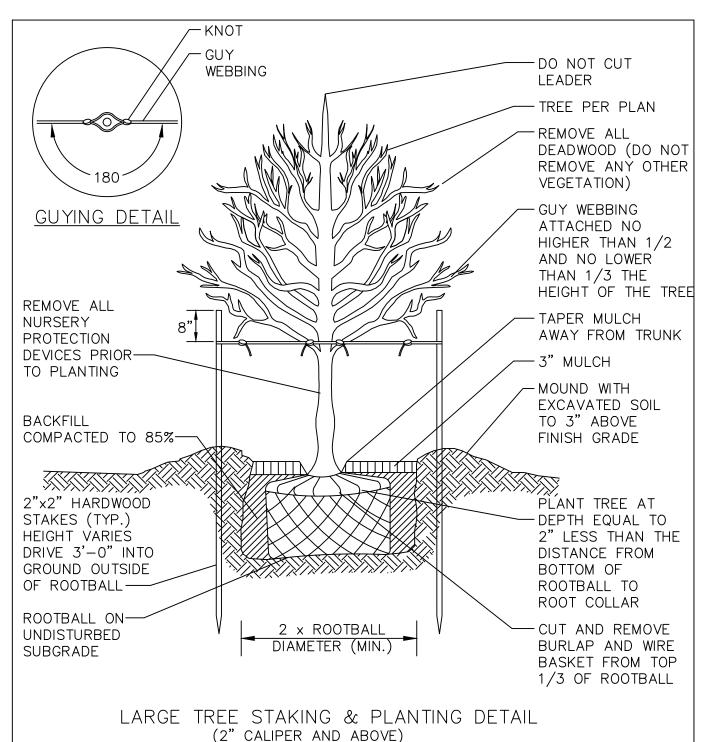
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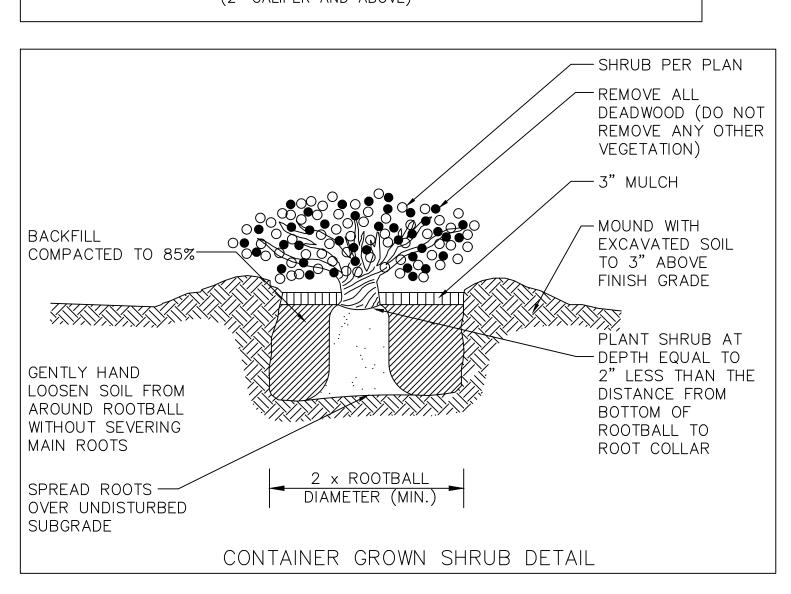
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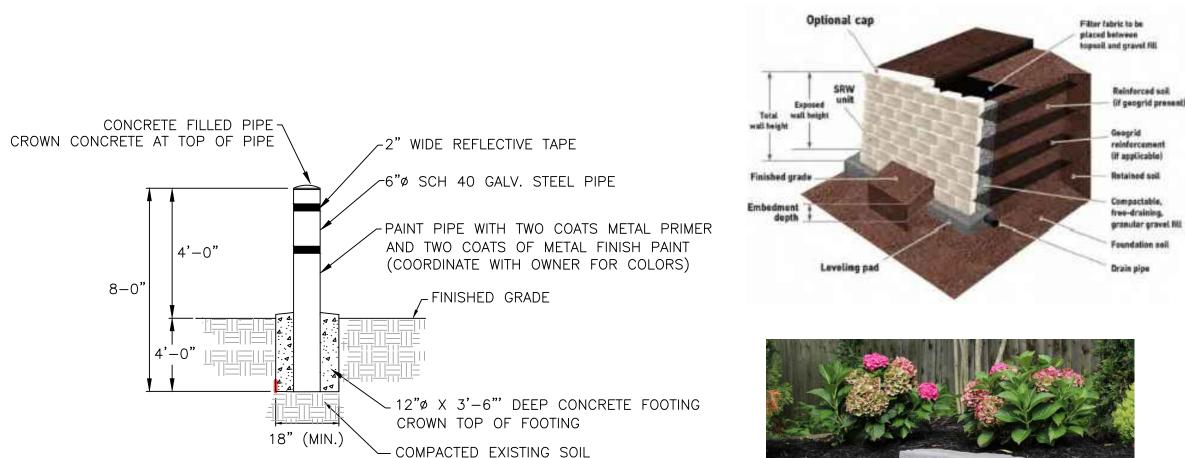
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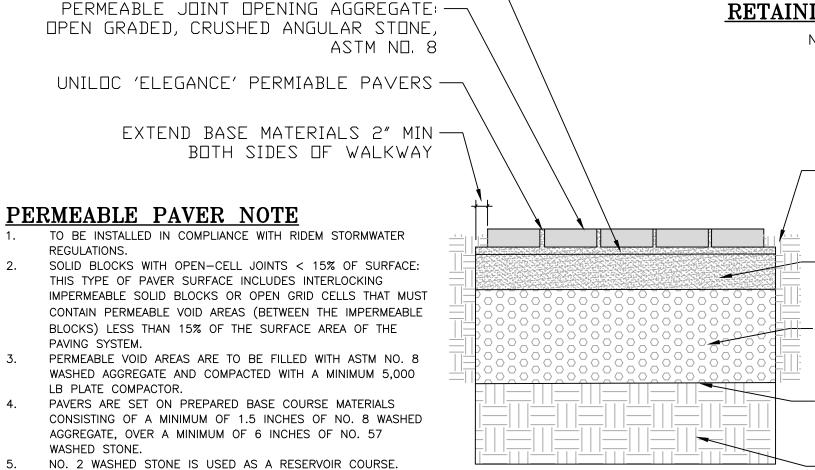
MASTER PLANT SCHEDULE ROOT | REMARKS SYMBOL| QTY. | BOTANICAL NAME COMMON NAME SIZE Acer rubrum 'Armstrong Columnar' Armstrong Columnar Red Maple 2.0" cal B&B | SPECIMEN Arc Ba Betula albosinensis Chinese Red Birch 8'-10' clump B&B SPECIMEN Cotoneaster dammeri 'Coral Beauty' Cd Coral Beauty Cotoneaster #2 CAN Hypericum "Hidcote" Hidcote St. Johnswort 18" HT CAN llex crenata 'Convexa" 18" HT Convex Japanese Holly lcc CAN Juniperus chinensis sargentii #2 Js Sargent Juniper CAN ΚI Kalmia latifolia Mountain Laurel 3.0' HT CAN #2 Ρv Switch Grass Panicum virgatum CAN Rosa 'Knock Out Coral' Knock Out Bush Rose #2 CAN 18" HT Rmf Rhododendron 'Mary Flemming' Mary Flemming Rhododendron CAN SI Spirea latifolia 18" HT Japanese Spirea CAN Japanese Tree Lilac Sr Syringa reticulata 2.0" cal B&B SPECIMEN Syringa vulgaris 'Charles Jolly' 18" HT Sv Charles Jolly Lilac CAN Va Vaccinium angustifolium #2 Lowbush Blueberry CAN Vр Viburnum prunifolium Blackhaw Viburnum 3.0' HT CAN Yucca filamentosa 'Adam's Needle' 18" HT Yucca Adams Needle CAN



SITE BOLLARD DETAIL NOT TO SCALE

1.5-INCH PERMEABLE SETTING BED AGGREGATE —

OPEN GRADED, CRUSHED ANGULAR STONE,



ASTM ND. 8

NICOLOCK RETAINING WALLS 200 HENRY STREET LINDENHURST, NY 11757 631–669–0700

RETAINING WALL DETAIL NOT TO SCALE

BACKFILL AND TAMP SCREENED LOAM, SEED AND HAY MULCH AGAINST ALL BURDER PAVERS MIN. 6-INCH PERMEABLE BED AGGREGATE OPEN GRADED, CRUSHED ANGULAR STONE, ASTM NO. 57 MIN, 16-INCH PERMEABLE SUB-BED AGGREGATE OPEN GRADED, CRUSHED ANGULAR STONE, ASTM NO. 2

-MIRAFI 180N 80Z NON WOVEN GEOTEXTILE FABRIC (OR APPROVED EQUIVALENT

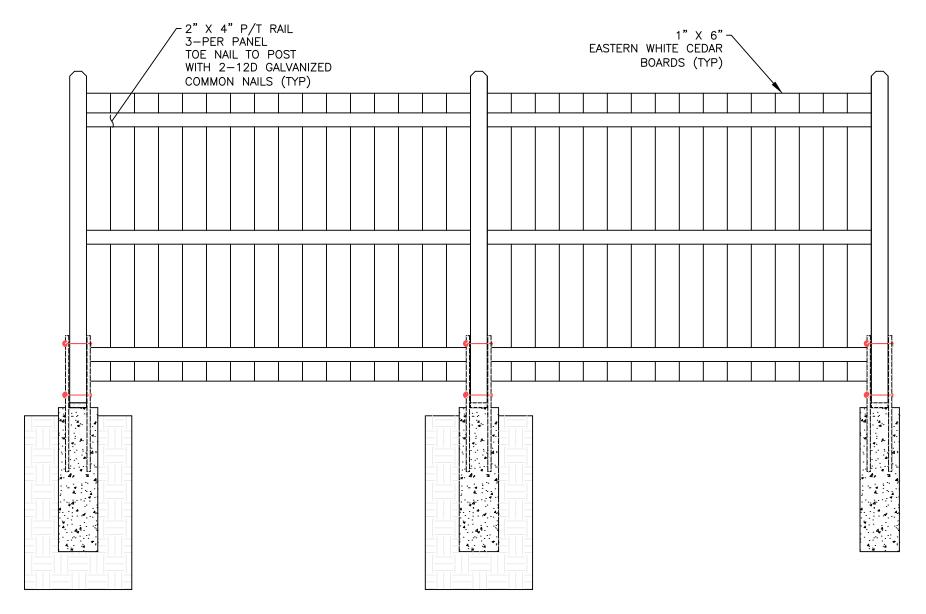
- NICOLOCK

WALL SYSTEM

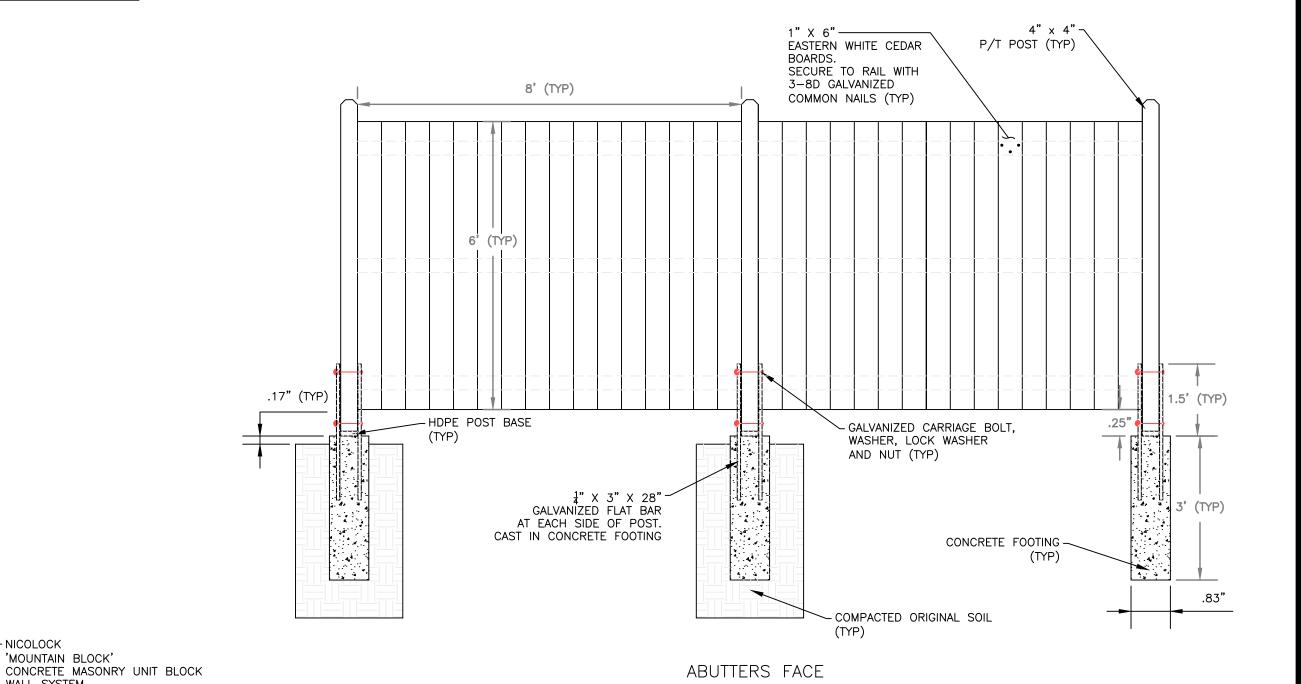
'MOUNTAIN BLOCK'

-EXISTING SOILS COMPACTED TO 95% MAXIMUM DENSITY

PERMEABLE PAVER INSTALLATION DETAIL



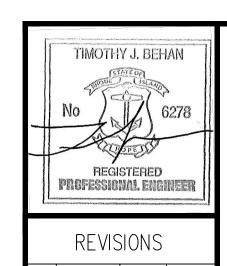
SUBJECT PARCEL FACE



6' HIGH DECORATIVE BOARD FENCE DETAIL

NOT TO SCALE

PREPARED FOR: WOMENS DEVELOPMENT CORPORATION 861A BROAD STREET PROVIDENCE, RI 02907



DATE DRWN CHKD

DRAWING ISSUE:

☐ CUSTOMER APPROVAL

CONSTRUCTION SHALL BE USED FOR

☐ CONCEPT

X PERMITTING

AS-BUILT

OTHER:

CONSTRUCTION

☐ CONSTRUCTION

ONLY PLANS ISSUED FOR



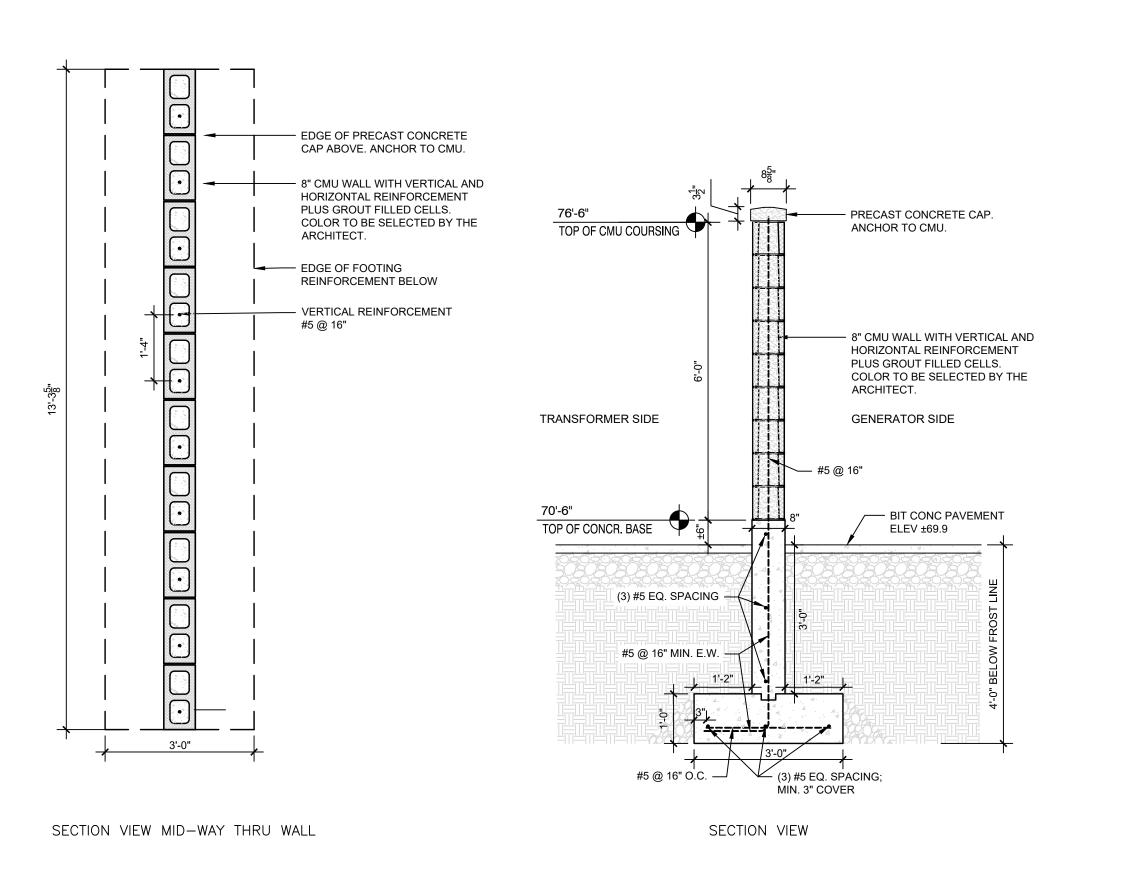
COMMONWEALTH ENGINEERS & CONSULTANTS, INC.

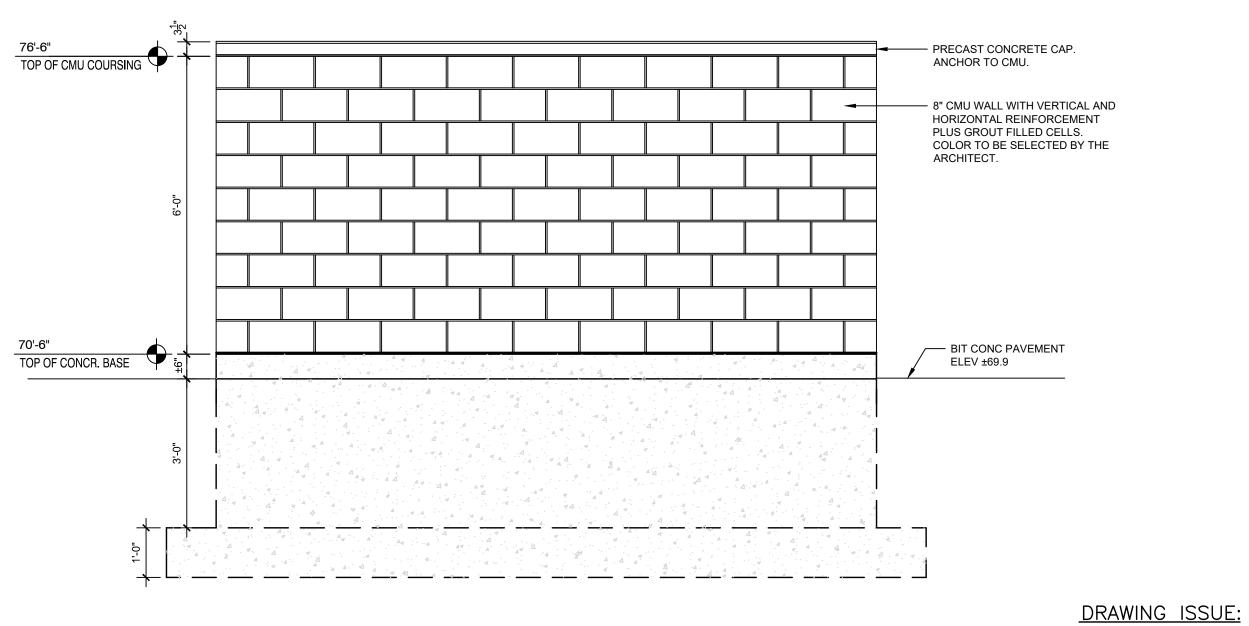
400 SMITH STREET PROVIDENCE, RHODE ISLAND 02908 401-273-6600

DETAILS-LANDSCAPING-1 WOMENS DEVELOPMENT CORPORATION A.P. 49 LOT 603 327 ELMWOOD AVENUE

PROVIDENCE, RHODE ISLAND

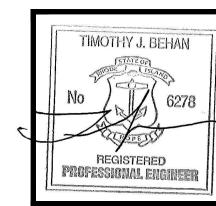
SHEET NO: 12 of 15 SCALE: AS SHOWN DESIGN BY: CJC DRAWN BY: CJC CHECKED BY: TB PROJECT NO.: 24093.00 DATE: 3/17/25





ELEVATION VIEW

PREPARED FOR:
WOMENS DEVELOPMENT CORPORATION
861A BROAD STREET
PROVIDENCE, RI 02907





REVISIONS DATE DRWN CHKD CUSTOMER APPROVAL

☐ CONCEPT

PERMITTING

AS-BUILT

OTHER:

☐ CONSTRUCTION

ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION

DETAILS-LANDSCAPING WOMENS DEVELOPMENT CORPORATION

A.P. 49 LOT 603 327 ELMWOOD AVENUE in PROVIDENCE, RHODE ISLAND

SHEET NO: 13 of 15 SCALE: AS SHOWN DRAWN BY: CJC CHECKED BY: TB DATE: 3/17/25 PROJECT NO.: 24093.00

6' HIGH CMU FREESTANDING WALL

NOT TO SCALE

