

OWNER/CLIENT:  
CITY OF PROVIDENCE

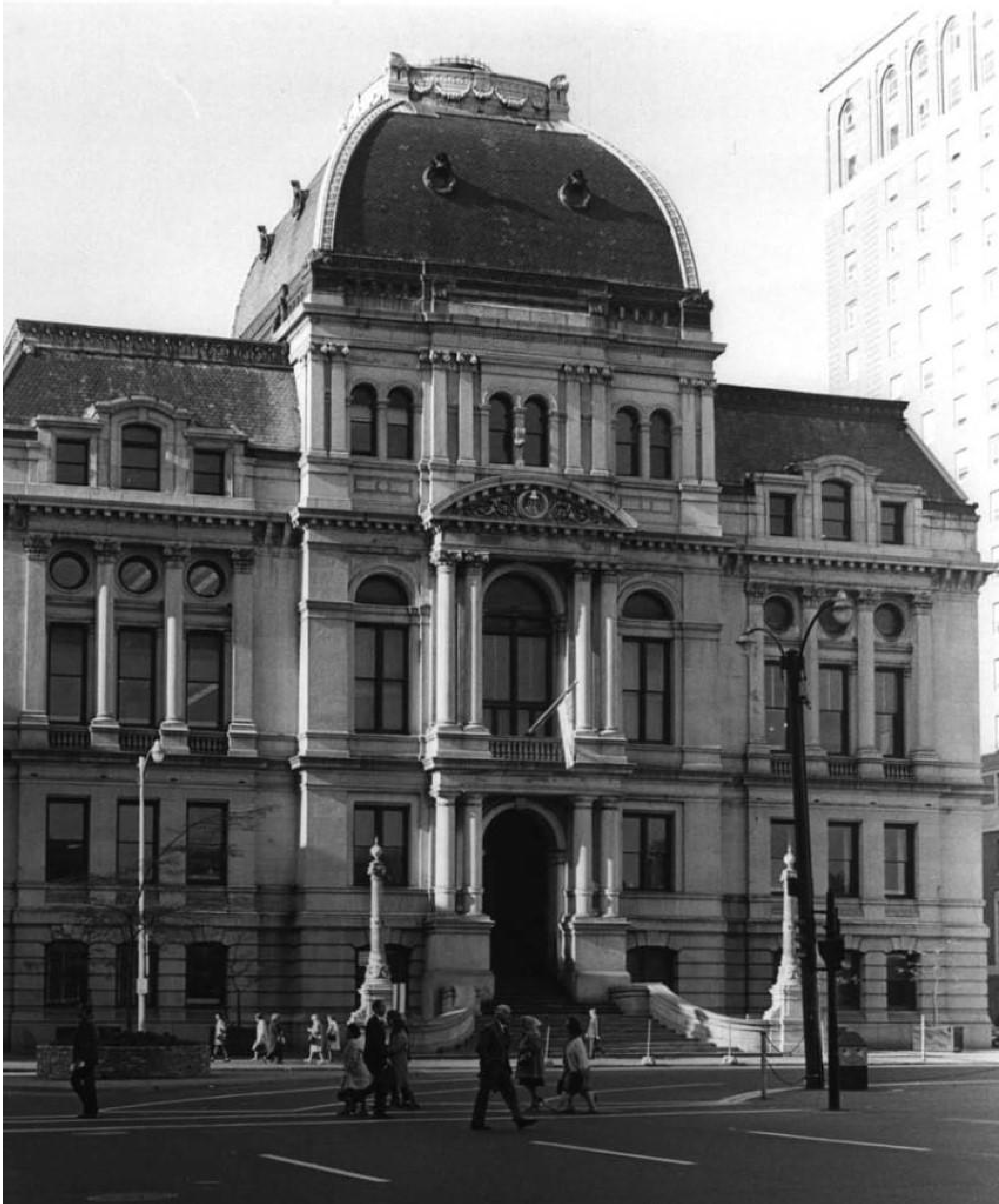
25 DORRANCE STREET  
PROVIDENCE, RI 02903

ARCHITECT:  
DBVW ARCHITECTS, INC.

111 CHESTNUT STREET  
PROVIDENCE, RI 02903  
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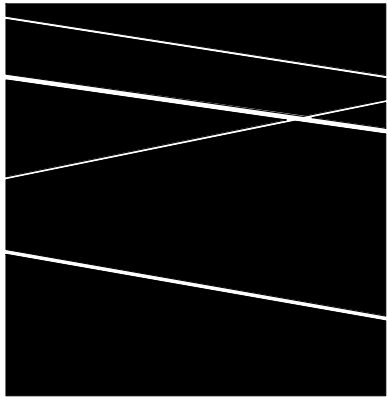
# PROVIDENCE CITY HALL EXTERIOR RESTORATION, PHASE I

SCHEMATIC DESIGN - DRAFT FOR OWNER REVIEW



DRAWING LIST

GENERAL	
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A001	NOTES, KEYNOTES, SYMBOLS & ABBREVIATIONS
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A501	EXTERIOR DETAILS



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PROVIDENCE CITY  
HALL EXTERIOR  
RESTORATION,  
PHASE I

25 Dorrance Street  
Providence, RI  
CITY OF PROVIDENCE

NO	DATE	DESCRIPTION

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COVER

A000

SCHEMATIC DESIGN - DRAFT

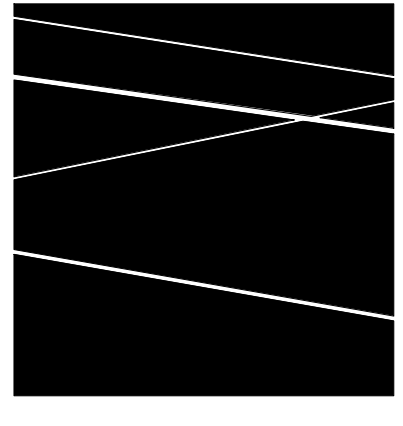
ABBREVIATIONS					
ABV	-ABOVE	GA	-GAUGE	S	-SOUTH
ACT	-ACOUSTICAL CEILING TILE	GALV	-GALVANIZED	SAWM	-SELF ADHERING WATERPROOF MEMBRANE
AD	-AREA DRAIN	GB	-GRAB BAR	SB	-SPLASH BLOCK
ADJ	-ADJUSTABLE	GND	-GROUND	SC	-SOLID CORE
AFF	-ABOVE FINISH FLOOR	GC	-GENERAL CONTRACTOR	SCHD	-SCHEDULE
ALUM	-ALUMINUM	GEN	-GENERAL	SD	-SCHEMATIC DESIGN
AND	-AND/NOT	GL	-GLASS	SEL	-SEALANT
APPROX	-APPROXIMATELY	GL BLK	-GLASS BLOCK	SECT	-SECTION
ARCH	-ARCHITECT	GRD	-GRADE	SECT	-SECTION
ASPH	-ASPHALT	GRAN	-GRANITE	SEJ	-SEISMIC EXPANSION JOINT
AVB	-AIR VAPOR BARRIER	GWB	-GYPSUM WALL BOARD	SEL	-SELECT
		GYP	-GYPSUM	SF	-SQUARE FEET(FOOT)
BO	-BOTTOM OF			SHEATH	-SHEATHING
BB	-BASEBOARD	H	-HIGH	SIM	-SIMILAR
BBH	-BASEBOARD HEAT	HB	-HOSE BIB	SHT	-SHEET
CLG	-BOARD	HC	-HOLLOW CORE	SJ	-SEALANT JOINT
BEJ	-BRICK EXPANSION JOINT	HD	-HAND DRYER	SM	-SOLID MATERIAL
BIT	-BITUMINOUS	HDW	-HARDWARE	SOF	-SOFFIT
BLDG	-BUILDING	HWD	-HARDWOOD	SPEC	-SPECIFICATION
BLK	-BLOCK	HEWC	-HANDICAP ACC. WATER COOLER	SPD	-SOAP DISPENSER
BLKG	-BLOCKING	HM	-HOLLOW METAL	SSTL	-STAINLESS STEEL
BM	-BEAM	HT	-HEIGHT	STD	-STANDARD
BRK	-BRICK	HORZ	-HORIZONTAL	STL	-STEEL
		HR	-HOUR	STRCT	-STRUCTURAL
CAB	-CABINET	HW	-HOT WATER	SQ	-SQUARE
CB	-CATCH BASIN	HVAC	-HEATING / VENTILATION	SUSP	-SUSPENDED
CEM	-CEMENT		AIR CONDITIONING	SY	-SQUARE YARD
CI	-CAST IRON				
CJ	-CONTROL JOINT	ID.	-INSIDE DIMENSION	T	-TREAD
CL	-CENTER LINE	IN	-INCH	TO	-TOP OF
CLG	-CEILING	INCL	-INCLUDING	T.O.	-TOP OF
CLR	-CLEAR	INSL	-INSULATION	TS	-TACK BOARD
CMT	-CERAMIC MOSAIC TILE	INT	-INTERIOR	TBB	-TILE BACKER BOARD
CMU	-CONCRETE MASONRY UNIT	INV	-INVERT	TB	-TO BE DETERMINED
CO	-CLEAN OUT			TEL	-TELEPHONE
COL	-COLUMN	JST	-JOIST	TEMP	-TEMPORARY
CONC	-CONCRETE	JSTH	-JOIST HANGER	THK	-THICK (NESS)
CONN	-CONNECTION	JT	-JOINT	THRES	-THRESHOLD
CONST	-CONSTRUCTION	LAM	-LAMINATE	TOIL	-TOILET
CONST JT	-CONSTRUCTION JOINT	LCC	-LEAD COATED COPPER	TOL	-TOL OF STEEL
CONT	-CONTINUOUS	LONG	-LONG	TYP	-TYPICAL
CONTR	-CONTRACTOR	LH	-LEFT HAND	TTD	-TOILET TISSUE DISPENSER
COORD	-COORDINATE	LSF	-LINOLEUM SHEET FLOORING	TZ	-TERRAZZO
CP	-CARPET			TV	-TELEVISION
CRC	-COLD ROLLED COPPER	MACH	-MACHINE	TAG	-TONGUE & GROVE
CSC	-COURSE	MAR	-MARBLE		
CT	-CERAMIC TILE	MIS	-MISCELLANEOUS	UR	-URINAL
CTR	-CENTER	MATL	-MATERIAL	UNFIN	-UNFINISHED
CF	-CUBIC FOOT	MAX	-MAXIMUM	UON	-UNLESS OTHERWISE NOTED
CW	-COLD WATER	MDF	-MEDIUM DENSITY FIBERBOARD		
		MDO	-MEDIUM DENSITY OVERLAY PLYWOOD	VB	-VAPOR BARRIER
D	-DEEP	MECH	-MECHANICAL	VCT	-VINYL COMPOSITION TILE
DBL	-DOUBLE	MEM	-MEMBRANE	VENT	-VENTILATE
DEPT	-DEPARTMENT	MFR	-MANUFACTURER	VERT	-VERTICAL
DI	-DRAIN INLET	MIN	-MINIMUM	VF	-VINYL ENHANCED TILE
DIAM	-DIAMETER	MIS	-MISCELLANEOUS	VF	-VENRY N FIELD
DIM	-DIMENSION	ML	-METAL LAMINATE	VP	-VENER PLASTER
DISP	-DISPENSER	MO	-MASSORY OPENING	VT	-VINYL TILE
DN	-DOWN	MR	-MOISTURE RESISTANT	VWB	-VINYL WALL BASE
DPF	-DAMPPROOF(ING)	MTL	-METAL	VWC	-VINYL WALL COVERING
DR	-DOOR	MTD	-MOUNTED		
DRN	-DRAIN			W	-WIDE
DS	-DOWNSPOUT	N	-NORTH	W	-WEST
DW	-DISHWASHER	NIC	-NOT IN CONTRACT	W	-WITH
DTL	-DETAIL	NUMB	-NUMBER	WO	-WITHOUT
DWG	-DRAWING	NOM	-NOMINAL	WC	-WATER CLOSET
DWR	-DRAWER	NSO	-NON-SIMULTANEOUS OCCUPANCY	WCV	-WALLCOVERING
DWT	-DUMBIWATER	NTS	-NOT TO SCALE	WD	-WOOD
				WOW	-WINDOW
E	-EAST	OA	-OVERALL	WNSCT	-WAINSCOT
EACH	-EACH	OC	-ON CENTER	WP	-WATERPROOF
EJ	-EXPANSION JOINT	OD	-OUTSIDE DIMENSION	WR	-WATER RESISTANT
EL	-ELEVATION	OPNG	-OPENING	WS	-WEATHER STRIP
ELEC	-ELECTRICAL	OPP	-OPPOSITE	WWM	-WELDED WIRE MESH
ELEV	-ELEVATOR			ZCC	-ZINC COATED COPPER
EMERG	-EMERGENCY	PARL	-PARALLEL		
EPDM	-ELASTOMERIC ROOFING	PART	-PARTITION		
EPFX	-EPOXY TOPPING FINISH	PS	-PARTICLE BOARD		
EQ	-EQUAL	PERP	-PERPENDICULAR		
EQUIP	-EQUIPMENT	FUF	-PREMOLODED JOINT FILLER		
ETR	-EXISTING TO REMAIN	PLAS	-PLASTER		
EWC	-ELECTRIC WATER COOLER	PLAM	-PLASTIC LAMINATE		
EXDK	-EXISTING DECK	PLUG	-PLUMBING		
EXIST	-EXISTING	PLYWD	-PLYWOOD		
EXP	-EXPOSED	PMJ	-PREMOLODED JOINT FILLER		
EXT	-EXTERIOR	PML	-PANEL (ING)		
EXTG	-EXISTING	POL	-POLISHED		
		PR	-PAIR		
		PREFIN	-PREFINISHED		
FO	-FACE OF	PSC	-PLASTER SKIN COAT		
FOO	-FLOOR CLEANOUT	PSI	-POUNDS PER SQUARE INCH		
FOU	-FAN COIL UNIT	PSF	-POUNDS PER SQUARE FOOT		
FD	-FLOOR DRAIN	P.T.	-PRESSURE TREATED		
FON	-FOUNDATION	PTD	-PAINTED		
FE	-FIRE EXTINGUISHER				
FEC	-FIRE EXTINGUISHER CABINET	QT	-QUARRY TILE		
FF	-FINISH FLOOR	QTY	-QUANTITY		
FHC	-FIRE HOSE CABINET				
FIN	-FINISH	R	-RISER		
FIXT	-FIXTURE	RAD	-RADIUS		
FL	-FLOOR	RCP	-REFLECT CEILING PLAN		
FLUOR	-FLUORESCENT	RD	-ROOF DRAIN		
FLYWD	-FINISH PLYWOOD	RECIP	-RECEIPT		
FRFW	-FIRE RETARDANT TREATED WOOD	REF	-REFERENCE		
FRWK	-FRAMEWORK	REFRG	-REFRIGERATOR		
FBS	-FILED SUB-BIDDER	REIN	-REINFORCED		
FT	-FOOT	REDD	-REQUIRED		
FTG	-FOOTING	RES	-RESILIENT		
FURN	-FURNISHED	RF	-RESILIENT FLOORING		
FURN	-FURNISHING	RH	-RIGHT HAND		
FUT	-FUTURE	RL	-RAIN LEADER		
FWP	-FABRIC WRAPPED PANEL	ROOM	-ROOM		
		RN	-RUN		
		RO	-ROUGH OPENING		

SYMBOLS	
REMOVE EXISTING WALL, ASSEMBLY, OR EQUIPMENT.	
REMOVE EXISTING DOOR AND FRAME	
EXISTING WALL CONSTRUCTION	
NEW PARTITION AS PER SCHEDULE	
NEW MASONRY AS PER SCHEDULE	
CEILING HEIGHT & TYPE	
ROOM FINISH LABEL	
FLOOR FINISH TYPE	
WALL FINISH TYPE	
DOOR NUMBER	
WINDOW TYPE LABEL	
WINDOW TYPE	
WINDOW NUMBER	
STOREFRONT TYPE LABEL	
STOREFRONT TYPE	
STOREFRONT NUMBER	
ROOM LABEL	
ROOM NAME	
ROOM NUMBER	
WALL TYPE	
REVISION KEY	
KEY NOTE	
DEMO KEYNOTE	
APPLY KEYNOTE TO ALL CONDITIONS THAT APPLY BETWEEN ARROWHEADS	
PLAN DETAIL	
DETAIL NUMBER	
DRAWING SHEET	
WALL SECTION	
DETAIL NUMBER	
DRAWING SHEET	
BUILDING SECTION	
DETAIL NUMBER	
DRAWING SHEET	
EXTERIOR ELEVATION KEY	
DETAIL NUMBER	
DRAWING SHEET	
INTERIOR ELEVATION KEY	
ELEVATION NUMBER	
DRAWING SHEET	
MATCH LINE	
COLUMN GRID AND DESIGNATION	
FLOOR ELEVATION	
SEALANT	

KEYNOTE DEMOLITION	
D01	REMOVE EXISTING SLATE SHINGLE ROOF ASSEMBLY DOWN TO CLAY TILE SUBSTRATE. INCLUDE ALL ASSOCIATED UNDERLAYMENTS AND FLASHINGS
D02	DEMO EXISTING LOW SLOPE ROOF IN ITS ENTIRETY. INCLUDE ALL ASSOCIATED UNDERLAYMENTS AND FLASHINGS.
D03	REMOVE AND DISPOSE OF ALL STANDING SEAM COPPER PANELS FROM THE BACKSIDE OF THE DOME PARAPET.
D04	REMOVE ALL SHEET METAL FLASHING TO SUBSTRATE, INCLUDING ALL ASSOCIATED SEALANTS AND UNDERLAYMENTS.
D05	REMOVE SHEET METAL GUTTER LINING FROM EXISTING METAL GUTTER PROFILE TO REMAIN. REMOVE ALL ASSOCIATED MATERIALS INCLUDING TIE-INS TO ADJACENT FLASHING AND ROOFING MATERIALS.
D06	REMOVE SHEET METAL CLADDING TO EXPOSE ORIGINAL CAST-IRON METAL. SALVAGE PROFILES AS REFERENCE FOR NEW FABRICATIONS. REMOVE ALL COATINGS, MASTICS, AND OTHER MATERIALS FROM SURFACE OF CAST-IRON METAL.
D07	REMOVE ALL COATINGS, MASTICS, AND OTHER MATERIALS FROM SURFACE OF CAST-IRON METAL.
D08	REMOVE EXISTING ROOF HATCH ASSEMBLY.

KEYNOTE CONSTRUCTION	
DIVISION 04 - MASONRY	
4.01	MASONRY REPORTING: RAKE OUT AND REPOINT ALL JOINTS IN AREAS INDICATED. INCLUDE BELT COURSE, PROJECTIONS AND OTHER ORNAMENT, AND RETURN WALLS. JOINTS SHALL BE RAKED OUT TO A DEPTH EQUAL TO 2-1/2 TIMES THE WIDTH OF THE JOINT, OR TO SOUND MORTAR, WHICHEVER IS GREATER, BUT NOT TO EXCEED 1/2 THE DEPTH OF THE FACE UNIT. REPOINT JOINTS WITH MORTAR TO MATCH THE ORIGINAL IN COMPOSITION, COLOR, AND JOINT PROFILE OF REPRESENTATIVE EXISTING JOINTS IDENTIFIED BY ARCHITECT. BASED ON MOCKUPS TO BE APPROVED BY ARCHITECT AND OWNER. REMOVE ABANDONED ANCHORS IN JOINTS TO BE REPOINTED. PROVIDE SAND FINISHED SEALANT AT ANY JOINT ADJACENT TO METAL, WOOD, OR OTHER DISSIMILAR MATERIAL. REFER TO DETAIL 9/A500.
4.02	REMOVE ALL OBSOLETE HARDWARE. TAKE CARE NOT TO DAMAGE SURROUNDING MASONRY. PATCH HOLES USING MASONRY PATCHING MATERIAL PER SPECIFICATIONS.
4.03	NON-STRUCTURAL CRACK REPAIR: CUT OUT CRACK IN STONE AND REPOINT WITH PATCHING MATERIAL TO MATCH COLOR OF STONE. CONTRACTOR SHALL ASSUME 12" CRACK REPAIR AT EACH LOCATION.
4.04	STRUCTURAL CRACK REPAIR: RESECURE CRACKED STONE UNIT TO SOUND MASONRY. CONTRACTOR SHALL ASSUME 12" CRACK REPAIR AT EACH LOCATION. REFER TO DETAIL 11/A500.
4.08	STONE TOOLING: TOOL LOOSE AND DELAMINATING SURFACES TO ACHIEVE POSITIVE DRAINAGE ALONG THE STONE FACE AND TO MATCH EXISTING FINISHES AS CLOSELY AS POSSIBLE PER DETAIL 10/A500.
4.10	GENERAL CLEANING: PERFORM GENERAL CLEANING AT MASONRY BUILDING EXTERIOR AT AREA(S) INDICATED, IN ADDITION TO FINAL WASH DOWN UNLESS OTHERWISE NOTED. REFER TO SPECIFICATIONS FOR GENERAL CLEANING TECHNIQUES.
4.11	HEAVY SOILING: CLEAN MASONRY USING SPECIFIED CLEANING PROCEDURE TO REMOVE HEAVY SOILING AT AREA(S) INDICATED. REFER TO SPECIFICATIONS FOR CLEANING TECHNIQUES.
4.13	INSTALL CRACK MONITOR OVER DISPLACED MORTAR JOINT.
DIVISION 05 - METALS	
5.01	CLEAN, REPAIR, AND PREPARE ALL CAST IRON COMPONENTS FOR APPLICATION OF NEW PRIMERS, COATING AND/OR ADHERED WATERPROOFING AS INDICATED.
5.03	REPAIR OR REPLACE EXISTING METAL COMPONENTS AT THE BASE OF THE FLAGPOLE TO RESTORE THE INTEGRITY OF THE ASSEMBLY AND ALLOW POSITIVE DRAINAGE TO TERMINATE.
DIVISION 06 - WOOD, PLASTICS & COMPOSITES	
6.01	PROVIDE NEW WOOD PANEL SHEATHING OVER EXISTING CLAY TILE SUBSTRATE, ANCHORED THROUGH SH FULL DEPTH OF CLAY TILE DECKING.
DIVISION 07 - THERMAL & MOISTURE PROTECTION	
7.01	PROVIDE NEW SLATE ROOF ASSEMBLY OVER NEW WOOD PANEL SUBSTRATE, TO MATCH THE EXISTING SIZE, SHAPE, COLOR, COURSING, AND PHYSICAL PROPERTIES OF THE EXISTING SLATE SHINGLES. PROVIDE ALL ASSOCIATED ACCESSORIES, FLASHING, UNDERLAYMENTS, AND OTHER MATERIALS AS SPECIFIED. REFER TO DETAIL 1/A500.
7.02	PROVIDE NEW LOW-SLOPE MEMBRANE ROOF ASSEMBLY, INCLUDING VAPOR BARRIER, INSULATION, COVERBOARD, AND FULLY ADHERED MEMBRANE, OVER NEW WOOD PANEL SUBSTRATE. PROVIDE MINIMUM 1/4:12 SLOPE TO DRAIN AS INDICATED. REFER TO DETAIL 6/A500.
7.03	PROVIDE NEW SHEET METAL FLASHING AT BASE OF SLATE ROOF, CONTINUING OVER EXISTING MASONRY SUBSTRATES TO NEAREST VERTICAL FACE OF MASONRY, TERMINATING WITH VERTICAL DRIP EDGE. REFER TO DETAIL 8/A501.
7.04	PROVIDE NEW SHEET METAL GUTTER LINER AND ASSOCIATED FLASHINGS TO FULLY CLAD METAL GUTTER PROFILES WITH CONTINUOUS WATER BARRIER TIE-IN TO ADJACENT CONSTRUCTION, INCLUDING METAL FLASHINGS AT THE BASE OF THE SLATE ROOF AND METAL CLADDING AND WATERPROOFING AT EXISTING CAST IRON COMPONENTS. REFER TO DETAILS ON SHEET A501.
7.05	PROVIDE NEW SHEET METAL ROOF EDGE FLASHING, WITH CONTINUOUS WATER BARRIER TIE-IN TO ADJACENT CONSTRUCTION, INCLUDING ROOFING SYSTEMS, METAL FLASHINGS, AND METAL CLADDING AND WATERPROOFING AT EXISTING CAST IRON COMPONENTS. REFER TO DETAILS 7/A500 AND 8/A501.
7.06	PROVIDE NEW SHEET METAL STEP FLASHING AT INTERFACE BETWEEN ROOF AND RISING MASONRY, WITH STEPPED COUNTERFLASHINGS INSTALLED IN NEW REGLETS. REFER TO DETAIL 3/A500.
7.07	PROVIDE NEW SHEET METAL COUNTERFLASHING AT VERTICAL TERMINATION OF ROOFING MEMBRANE.
7.08	PROVIDE NEW SHEET METAL WALL CLADDING ON BACKSIDE OF PARAPET. REFER TO DETAIL 1/A501.
7.09	PROVIDE NEW COPPER DOWNSPOUT
7.10	PROVIDE FULLY-ADHERED WATERPROOFING, CONSISTING OF SHEET MEMBRANE OR REINFORCED FLUID-APPLIED SYSTEM, AT ALL CAST IRON COMPONENTS, EXTENDING ONTO ADJACENT ROOF SURFACES FOR CONTINUOUS WATER BARRIER TIE-IN AT TRANSITIONS. REFER TO DETAILS ON SHEET A501.
7.11	PROVIDE NEW PRE-FABRICATED ROOF ACCESS HATCH WITH INTEGRATED CURB ASSEMBLY.
7.12	PROVIDE NEW SHEET METAL OPEN VALLEY FLASHING. REFER TO DETAIL 6/A500. REMOVE AND REPLACE SLATE ROOFING ON ADJACENT ROOF SURFACE TO THE EXTENT REQUIRED FOR INSTALLATION OF VALLEY FLASHING.
7.13	PROVIDE NEW DECORATIVE SHEET METAL CLADDING TO MATCH EXISTING CLADDING PROFILES AND EXISTING CAST IRON SURFACES. WEATHER-LAP ALL CLADDING PIECES AND PROVIDE FULLY-SCALDED JOINTS AT ALL LOCATIONS THAT DO NOT REQUIRE PROVISION FOR MOVEMENT.
7.20	REMOVE AND REPLACE PERIMETER JOINT SEALANT AT EXISTING WINDOW.
DIVISION 08 - OPENINGS	
8.01	PROVIDE FULL REPAIR AND RESTORATION OF EXISTING WOOD WINDOW. RESTORE FRAME, SASH, AND TRIM. REPAIR AND REPLACE ALL WOOD COMPONENTS AS NECESSARY TO RESTORE APPEARANCE, FUNCTION, AND INTEGRITY, INCLUDING PATCH REPAIRS, EPOXY CONSOLIDATION, CHITCHMAN, MEMBER REPLACEMENT, AND OTHER METHODS. REPLACE DAMAGED GLASS AND REGLAZE ALL SASH. PREP AND PAINT ALL WOOD SURFACES.
DIVISION 09 - FINISHES	
9.01	PROVIDE CORROSION-INHIBITING PRIMER ON EXISTING CAST IRON COMPONENTS.
9.02	PROVIDE CORROSION-INHIBITING PRIMER AND COMPATIBLE HIGH-PERFORMANCE COATING SYSTEM.
DIVISION 22 - PLUMBING	
22.01	WATER JET THEN SCOPE EXISTING RAIN LEADER TO VERIFY THE INTEGRITY OF THE EXISTING DRAINAGE SYSTEM. SUBMIT ALL VIDEOS AND REPORT FINDINGS TO ARCHITECT.
22.02	REPLACE EXISTING SPLASH BLOCK AT EXTERNAL LEADER

GENERAL NOTES	
1. WHERE A TYPICAL CONDITION IS DETAILED &/OR NOTED, IT SHALL BE UNDERSTOOD THAT ALL LIKE OR SIMILAR CONDITIONS SHALL BE THE SAME UNLESS SPECIFICALLY DETAILED OR NOTED OTHERWISE.	
2. ALL DIMENSIONS ARE TO THE FINISH FACE OF WALL (GWB, BRICK, CMU) UNLESS NOTED OTHERWISE. DIMENSIONS AT WALLS WITH TILE FINISH ARE TO THE FACE OF SUBSTRATE.	
3. DO NOT SCALE DRAWINGS. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON DRAWINGS. THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT OF ANY DIMENSIONAL REQUIREMENT AS NECESSARY FOR THE PROPER EXECUTION OF ANY AFFECTED WORK PRIOR TO THE COMMENCEMENT OF SUCH WORK.	
4. THE TERM "AFFECTED WORK" AS USED IN THESE GENERAL NOTES SHALL BE DEEMED TO BE ANY REQUIREMENT OF THE CONSTRUCTION DOCUMENTS & SHALL BE FURTHER DEEMED TO INCLUDE THE PROCUREMENT OF ANY & ALL MATERIALS, TOOLS, LABOR, ETC., AS FURTHER DESCRIBED IN THE PROJECT MANUAL, REQUIRED FOR THE EXECUTION OF SUCH WORK.	
5. THE CONTRACTOR SHALL REPORT ANY DISCREPANCY WITHIN THE CONTRACT DOCUMENTS TO THE ARCHITECT FOR CLARIFICATION &/OR RESOLUTION PRIOR TO THE COMMENCEMENT OF ANY AFFECTED WORK. SUCH CLARIFICATION &/OR RESOLUTION SHALL BE PROVIDED BY THE ARCHITECT ACCORDING TO THE PROVISIONS OF THE PROJECT MANUAL PRIOR TO THE COMMENCEMENT OF ANY AFFECTED WORK.	
6. THE CONTRACTOR SHALL VERIFY ALL EXISTING SITE, BUILDING, & UTILITY CONDITIONS, & SHALL REPORT ANY DISCREPANCIES BETWEEN SUCH EXISTING CONDITIONS & THE REQUIREMENTS OF THE CONTRACT DOCUMENTS TO THE ARCHITECT FOR CLARIFICATION &/OR RESOLUTION. PRIOR TO THE COMMENCEMENT OF ANY AFFECTED WORK, THE ARCHITECT SHALL PROVIDE SUCH CLARIFICATION &/OR RESOLUTION PRIOR TO THE COMMENCEMENT OF ANY AFFECTED WORK.	
7. THE LOCATIONS OF ALL NEW PLUMBING FIXTURES, MECHANICAL EQUIPMENT, DUCTWORK, & PIPING ARE TO BE CONSIDERED DIAGRAMMATIC UNLESS SPECIFICALLY NOTED AND/OR DIMENSIONED OTHERWISE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION, REQUIREMENTS FOR THE SAME, & SHALL REPORT ANY CONFLICTS AFFECTING THE CONSTRUCTION DOCUMENTS TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY AFFECTED WORK. THE ARCHITECT SHALL PROVIDE CLARIFICATION &/OR RESOLUTION REGARDING ANY SUCH CONFLICT ACCORDING TO THE PROVISIONS OF THE PROJECT MANUAL PRIOR TO THE COMMENCEMENT OF ANY AFFECTED WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY REQUIREMENTS FOR ALL OFFSETS, BENDS, ELBOWS, &/OR OTHER COMPONENTS NOT DRAWN BUT NECESSARY FOR PROPER EXECUTION OF THE WORK, & ALL SUCH MISCELLANEOUS COMPONENTS SHALL BE DEEMED TO BE PART OF THE SCOPE OF WORK REQUIRED BY THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL MANUFACTURERS' REQUIREMENTS FOR MECHANICAL EQUIPMENT RELATED TO POWER, WATER SUPPLY, DRAINAGE, PADS, BASES, ANCHORAGE, STRUCTURAL OPENINGS, ELEC., PIPING & DUCTS PENETRATING WALLS &/OR FLOORING ASSEMBLIES SHALL BE PROVIDED WITH ALL NECESSARY FRAMES, BRACING, SAFING, & ACOUSTICAL SEALANT AROUND SUCH OPENINGS. SEE MECHANICAL DRAWINGS & SPECIFICATIONS.	
8. THE CONTRACTOR SHALL PROVIDE & INSTALL ALL STIFFENERS, BRACINGS, BLOCKING, BACK-UP PLATES & SUPPORTING BRACKETS NOT DRAWN OR SPECIFIED BUT REQUIRED FOR THE PROPER INSTALLATION OF ALL CASEWORK & SHELVING, TOILET & BATI, ACCESSORIES, HAND & GUARD RAILS, & OTHER FIXTURES.	
DEFINITIONS:	
EXTERIOR RESTORATION DEFINITIONS.	
NEW - PROVIDE MATERIAL WHICH MATCHES ORIGINAL MATERIAL IN ALL RESPECTS. USE MATERIAL WITH PERFORMANCE CHARACTERISTICS THAT WILL EQUAL OR SURPASS THAT OF THE ORIGINAL MATERIAL.	
REPAIR - RETURN ENTIRE ASSEMBLY TO SOUND CONDITION. MATCH ORIGINAL PROFILES UNLESS NOTED OTHERWISE. INCLUDE ASSOCIATED MATERIALS WHETHER OR NOT EXPOSED TO VIEW AS PART OF THE COMPLETED WORK.	
REPLACE - REMOVE EXISTING AND INSTALL NEW MATERIAL IN SUCH A WAY AS TO INSURE STRUCTURAL AND VISUAL INTEGRITY OF THE ENTIRE AREA.	
RESTORE - RETURN TO ORIGINAL FORM AND CONDITION.	



1 401 831 1240 111 CHESTNUT STREET  
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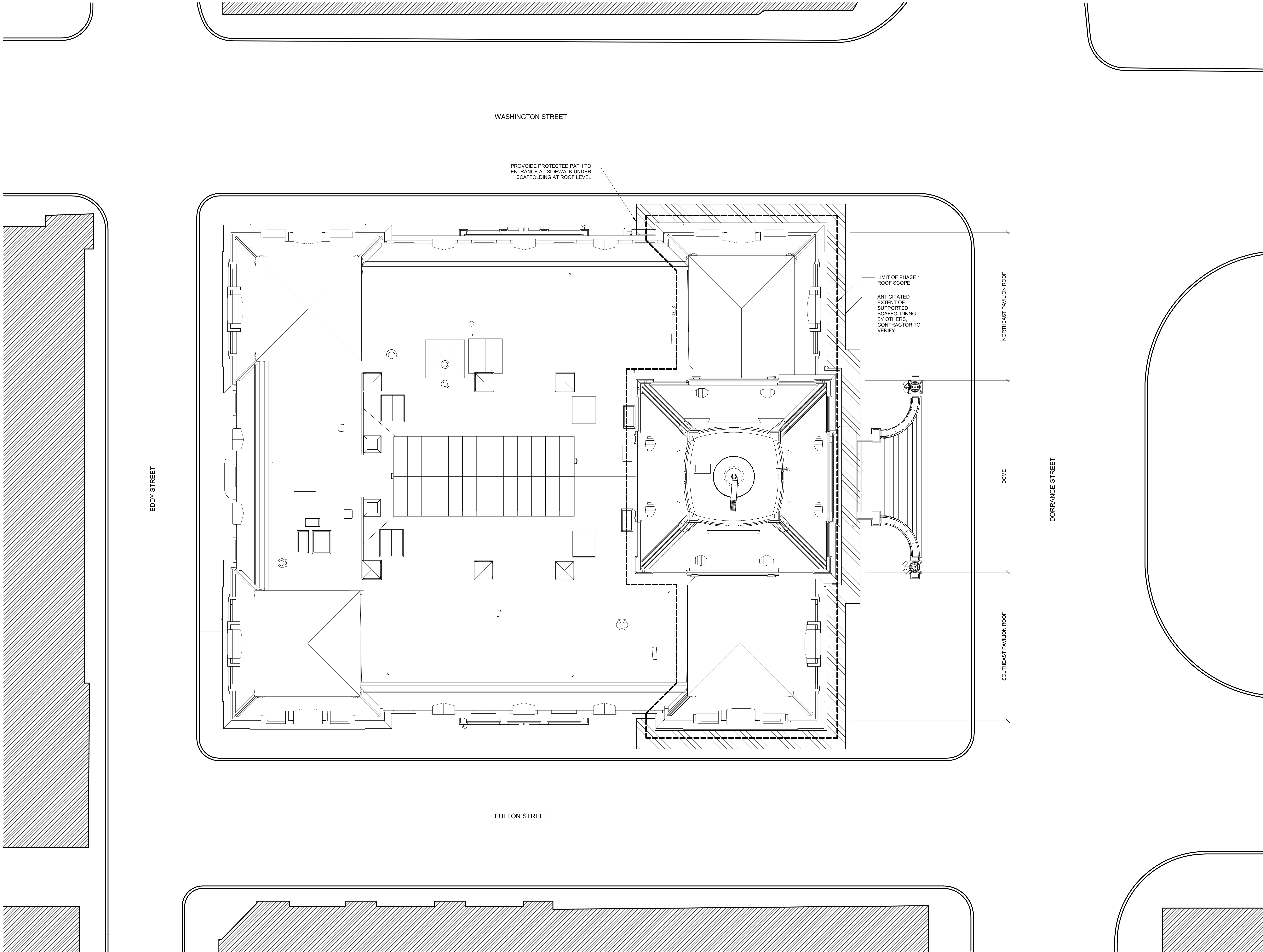
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PHASE I SITE PLAN

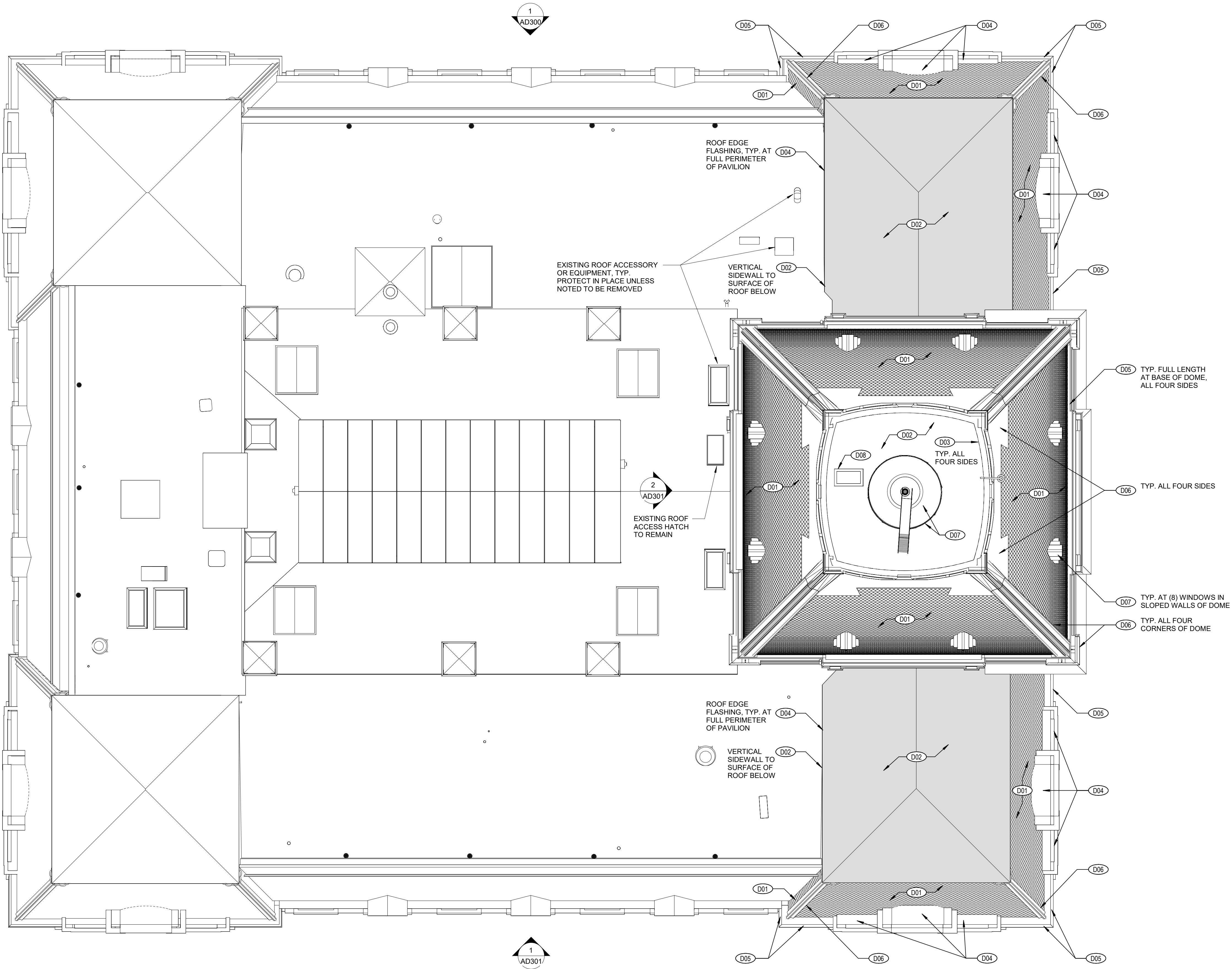
A002

SCHEMATIC DESIGN - DRAFT

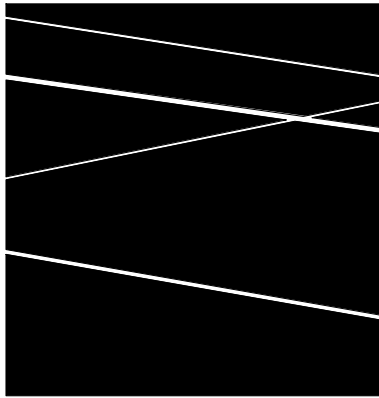


KEYNOTE DEMOLITION	
D01	REMOVE EXISTING SLATE SHINGLE ROOF ASSEMBLY DOWN TO CLAY TILE SUBSTRATE. INCLUDE ALL ASSOCIATED UNDERLAYMENTS AND FLASHINGS.
D02	DEMO EXISTING LOW SLOPE ROOF IN ITS ENTIRETY. INCLUDE ALL ASSOCIATED UNDERLAYMENTS AND FLASHINGS.
D03	REMOVE AND DISPOSE OF ALL STANDING SEAM COPPER PANELS FROM THE BACKSIDE OF THE DOME PARAPET.
D04	REMOVE ALL SHEET METAL FLASHING TO SUBSTRATE, INCLUDING ALL ASSOCIATED SEALANTS AND UNDERLAYMENTS.
D05	REMOVE SHEET METAL GUTTER LINING FROM EXISTING METAL GUTTER PROFILE TO REMAIN. REMOVE ALL ASSOCIATED MATERIALS INCLUDING TIE-INS TO ADJACENT FLASHING AND ROOFING MATERIALS.
D06	REMOVE SHEET METAL CLADDING TO EXPOSE ORIGINAL CAST-IRON METAL. SALVAGE PROFILES AS REFERENCE FOR NEW FABRICATIONS. REMOVE ALL COATINGS, MASTICS, AND OTHER MATERIALS FROM SURFACE OF CAST-IRON METAL.
D07	REMOVE ALL COATINGS, MASTICS, AND OTHER MATERIALS FROM SURFACE OF CAST-IRON METAL.
D08	REMOVE EXISTING ROOF HATCH ASSEMBLY.

DEMOLITION NOTES	
1.	DEMOLITION DRAWINGS DO NOT SHOW ALL EXISTING MECHANICAL, ELECTRICAL, PLUMBING EQUIPMENT, ETC. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING TO BECOME FULLY FAMILIAR WITH THE EXISTING CONDITIONS INCLUDING ALL SUCH ITEMS IN THE CEILINGS, ETC.
2.	RELOCATE ALL MECHANICAL, ELECTRICAL, FIRE ALARM AND SPRINKLER EQUIPMENT AS REQUIRED FOR IMPROVEMENTS REQUIRED BY THE CONTRACT DOCUMENTS IN ACCORDANCE WITH ALL STATE AND LOCAL CODE REQUIREMENTS.
3.	WHERE THE PLANS CALL FOR THE REMOVAL OF ANY ITEM, BOARD, PANEL, DEVICE EQUIPMENT, ETC. IT IS UNDERSTOOD THAT ALL ASSOCIATED ANCHORING SYSTEMS AND APPURTENANCES SUCH AS NAILS, BOLTS, STRAPPING AND/OR HARDWARE ARE TO BE REMOVED ACCORDINGLY. COORDINATE WITH OWNER ALL ITEMS TO BE SALVAGED PRIOR TO DEMOLITION.
4.	THE GENERAL CONTRACTOR SHALL PROTECT ALL EXISTING WALLS, WINDOWS, DOORS, FLOORS, CEILINGS, LIGHT FIXTURES, EQUIPMENT, ETC. WHICH ARE TO REMAIN AND SHALL PREVENT DAMAGE DURING ALL CONSTRUCTION PHASES. NO MAIN FRAMING OR STRUCTURAL MEMBERS ARE TO BE MODIFIED, ALTERED OR CUT WITHOUT THE APPROVAL OF THE ARCHITECT AND/OR STRUCTURAL ENGINEER.
5.	THE GENERAL CONTRACTOR IS TO PROVIDE PROTECTION OF ANY EXISTING SPACES BELOW THE AREAS OF CONSTRUCTION THAT WILL BE AFFECTED DUE TO THE CONSTRUCTION OF ACTIVITIES ABOVE. SCHEDULE AND COORDINATE CONSTRUCTION ACTIVITIES WITH USERS BELOW SO AS NOT TO INTERRUPT THE WORK FORCE OPERATIONS.
6.	SEE EXTERIOR ELEVATION SHEETS FOR ADDITIONAL MASONRY REMOVALS AND REPAIRS.



1 ROOF DEMOLITION PLAN  
1/8" = 1'-0"



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PHASE I

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Providence, RI  
CITY OF PROVIDENCE

NO	DATE	DESCRIPTION

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DRAWN BY: MR. BL  
JOB NO: 2417  
SCALE: As indicated

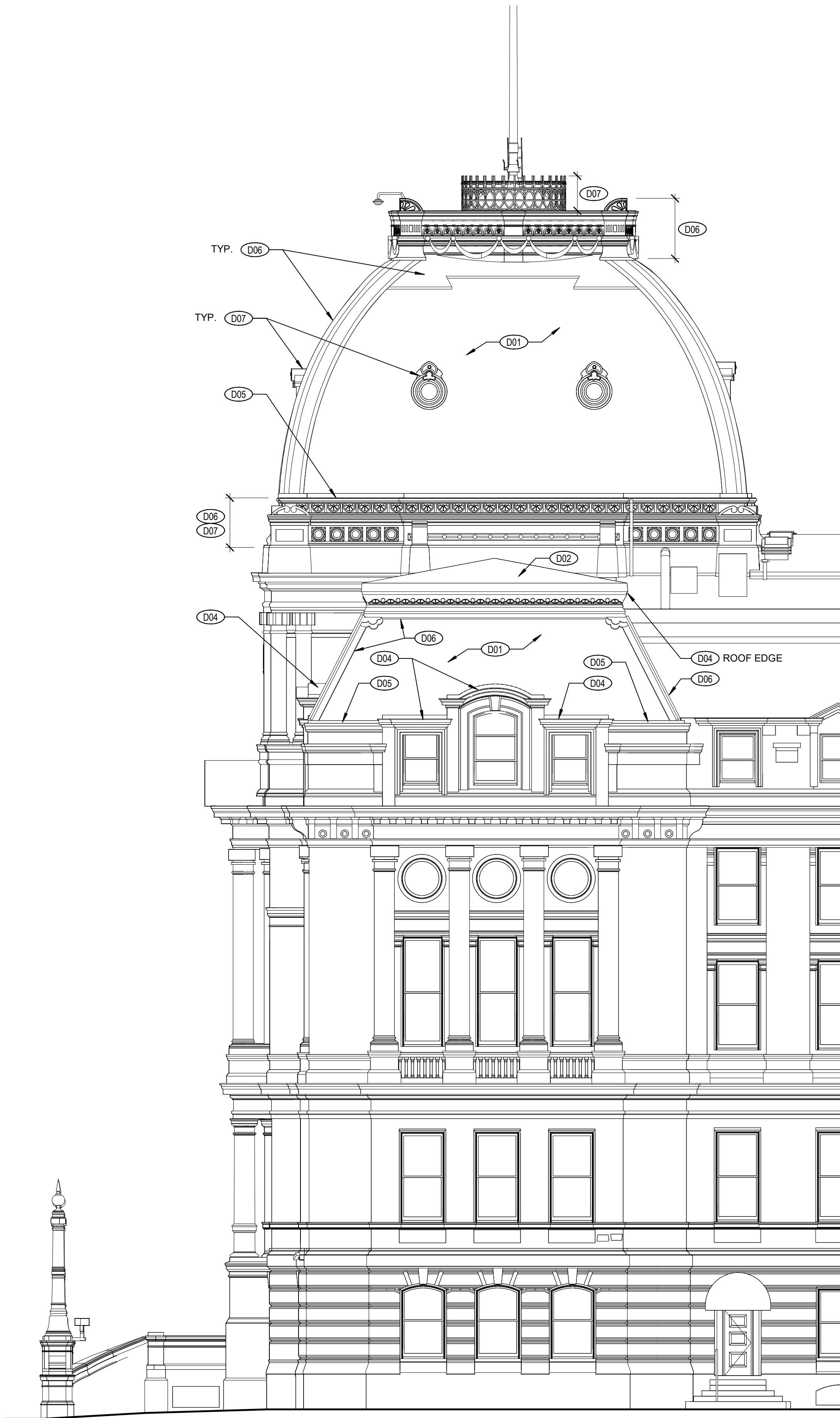
ROOF DEMOLITION  
PLAN

AD203

SCHEMATIC DESIGN - DRAFT

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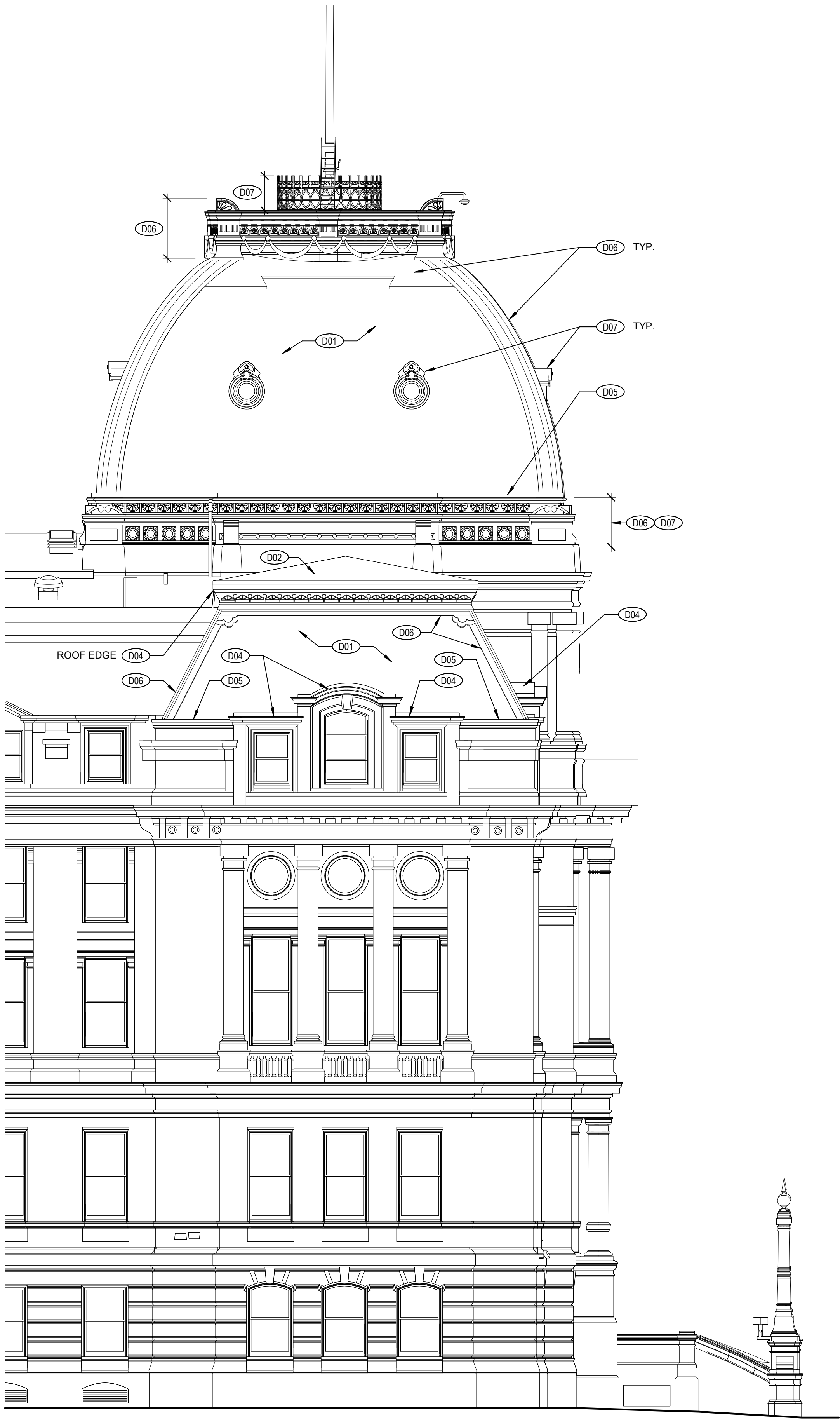


1 DEMOLITION - NORTH ELEVATION  
1/8" = 1'-0"

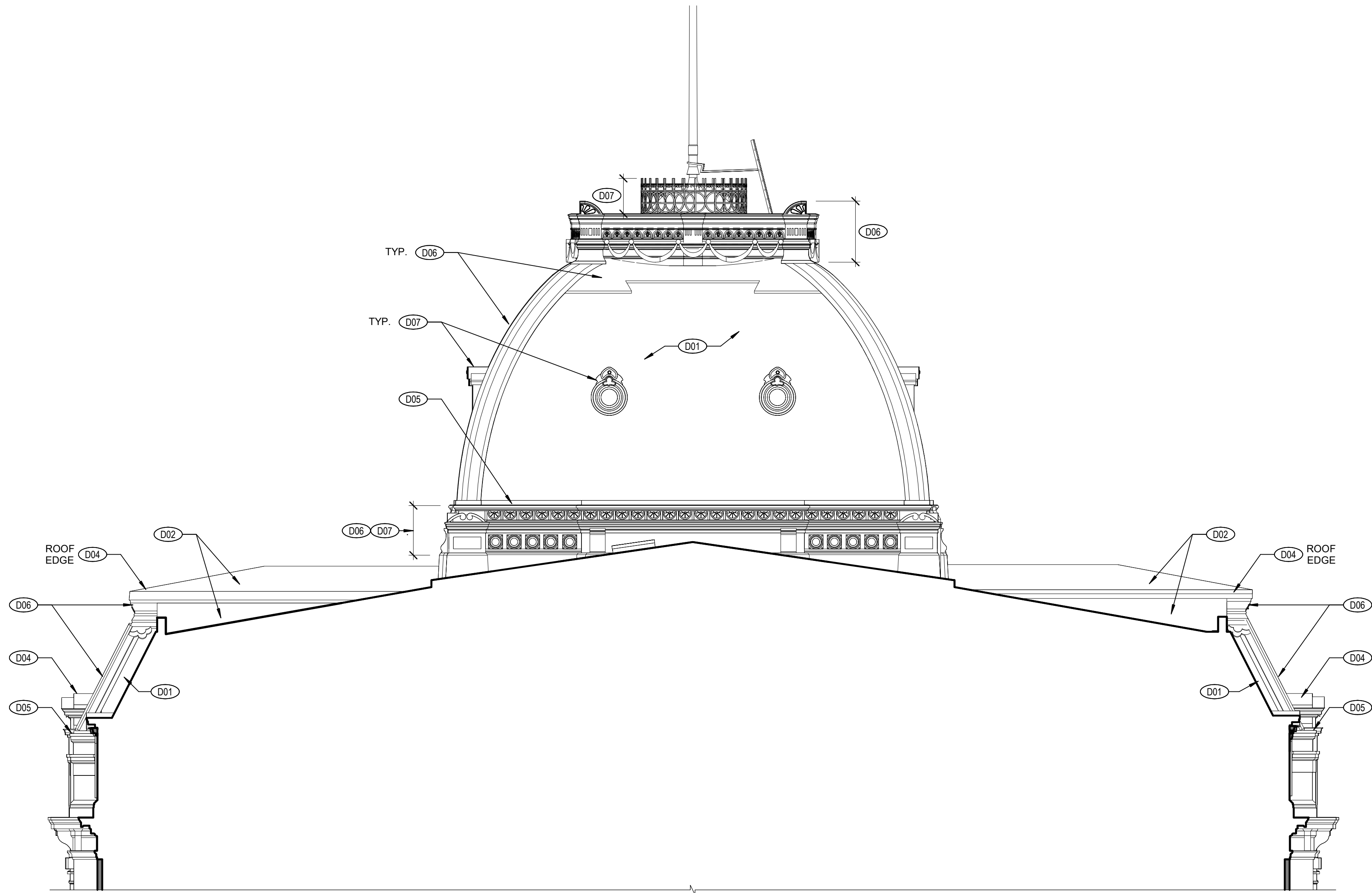


2 DEMOLITION - EAST ELEVATION  
1/8" = 1'-0"





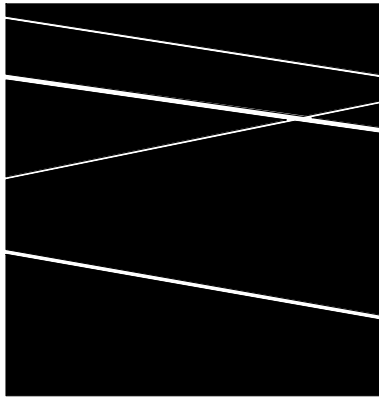
1 DEMOLITION - SOUTH ELEVATION  
1/8" = 1'-0"



2 DEMOLITION - WEST ELEVATION  
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8.	SEE EXTERIOR ELEVATION SHEETS FOR ADDITIONAL MASONRY REMOVALS AND REPAIRS.



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DRAWN BY: Author  
JOB NO: 2417  
SCALE: As indicated

DEMOLITION  
ELEVATIONS

AD301

SCHEMATIC DESIGN - DRAFT



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


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ROOF PLAN

A201

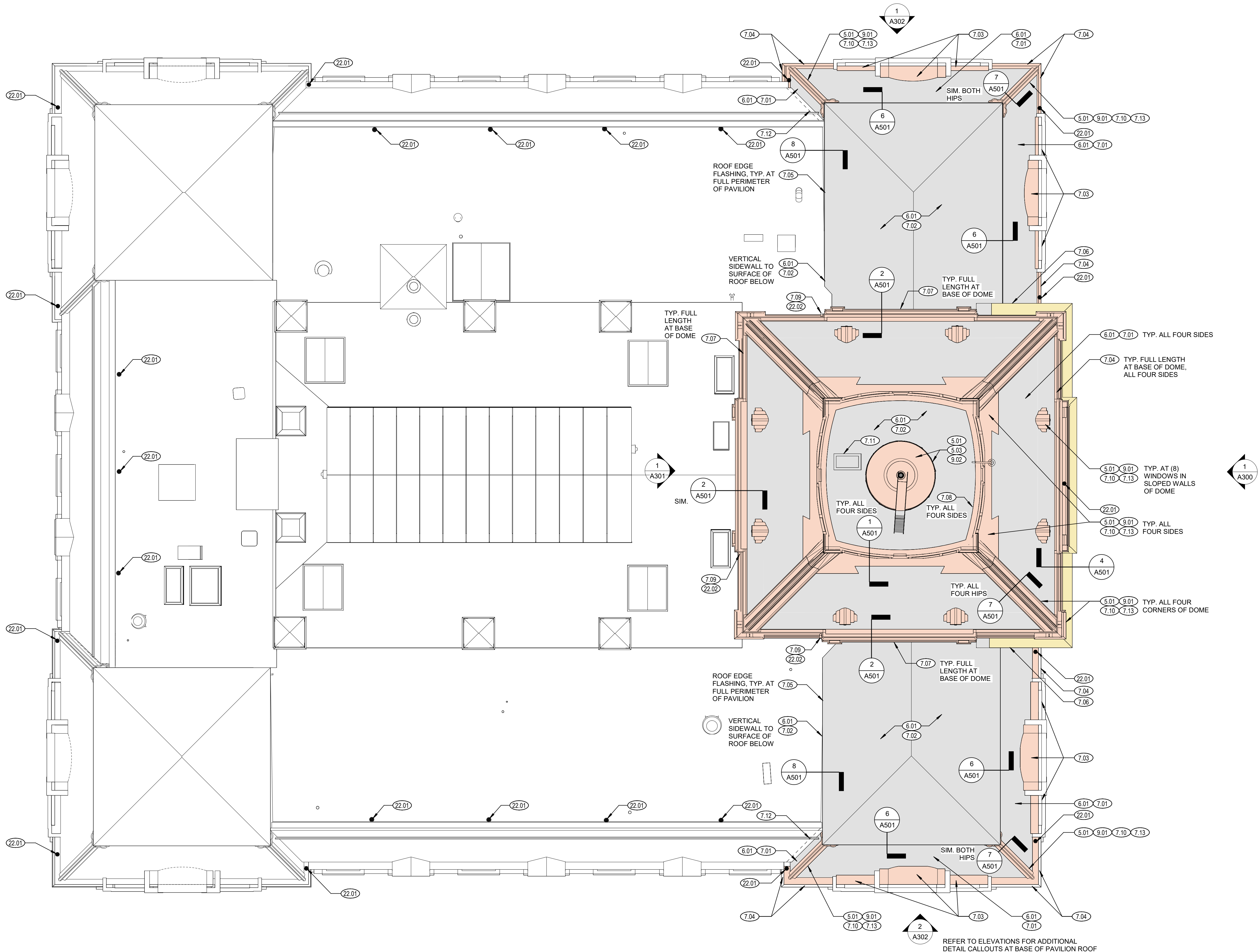
SCHEMATIC DESIGN - DRAFT

COLOR LEGEND	
	EXISTING STONE MASONRY REPAIR, RESTORATION, AND CLEANING
	METAL CLADDING AND FLASHING REPLACEMENT, INCLUDING REPAIR AND WATERPROOFING OF ORIGINAL CAST IRON COMPONENTS CONCEALED UNDER CLADDING
	ROOFING ASSEMBLY REPLACEMENT, INCLUDING NEW PLYWOOD SHEATHING ON EXISTING CLAY TILE ROOF DECK
NOTES:	
1.	KEYNOTES APPLY TO ENTIRE AREA INDICATED UNLESS NOTED OTHERWISE.
2.	EXISTING CONSTRUCTION OUTSIDE THE AREAS INDICATED IS NOT INCLUDED IN THE SCOPE OF PHASE I, UNLESS NOTED OTHERWISE.

- ROOF PLAN NOTES**
- WITHIN PHASE I SCOPE BOUNDARIES: AT SLATE AND COPPER ROOFS, REMOVE ALL EXISTING ROOF ASSEMBLIES INCLUDING CLADDING, INSULATION, FASTENERS, UNDERLAYMENTS, AND FLASHING TO EXISTING ROOF DECK. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE ARCHITECT OF ANY DETERIORATED MATERIALS.
  - REMOVE AND SALVAGE ALL COPPER ORNAMENTATION AND CLADDING FOR REPLICATION OR RESTORATION.
  - WATER JET THEN VIDEO SCOPE STORMWATER SYSTEM INCLUDING ALL INTERNAL LEADERS. REFER TO DRAWINGS AND KEYNOTE 22.01. ALL VIDEOS TO BE TURNED OVER TO THE ARCHITECT FOR REVIEW.
  - FIELD VERIFY QUANTITY AND LOCATION OF PLUMBING VENTS, ROOF CONDUITS, HVAC REF. LINES AND CABLES. FLASH IN ACCORDANCE W/ MANUFACTURER DETAILS AND SPECS.
  - SIZE AND LOCATIONS OF EXHAUST FANS, MECH UNITS, VENT STACKS AND OTHER ROOF PENETRATIONS OF ROOF MTD ITEMS ARE DIAGRAMMATIC, COORD. W/ M/E/P DWG REQUIREMENTS
  - CONTRACTOR SHALL VERIFY IN FIELD AND CONFIRM EXIST. ROOF DECK SLOPES INDICATED ON THE DWG'S ARE ACCURATE. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO ROOF WORK.
  - ALL WOOD BLOCKING IN ROOF ASSEMBLIES SHALL HAVE JOINTS STAGGERED A MIN. OF 24"
  - WOOD NAILERS SHALL BE SECURELY ANCHORED TO EXIST. ROOF DECK AND/OR STRCT TO RESIST A FORCE OF 300 POUNDS PER LINEAR FOOT IN ANY DIRECTION (TYP)
  - PROVIDE WD. BLKG AS REQD TO ENSURE CONT. COPING DIMENSIONS FOR EACH INDIVIDUAL ROOF AREA. PERIMETER BLKG TO ALIGN W/ HIGH POINT OF INSUL. AT ALL CONDITIONS TO MAINTAIN A CONSTANT HORIZ. ELEVATION (TYP)
  - SEE SHEET A500 FOR TYPICAL ROOF DETAILS
  - STAGGER JOINTS BETWEEN LAYERS OF INSULATION (TYP)
  - THE DRAWINGS ARE DIAGRAMMATIC AND MAY NOT REPRESENT ALL EXISTING ROOF CONDITIONS. IT IS THE RESPONSIBILITY OF ALL BIDDING CONTRACTORS TO VISIT THE SITE AND FULLY FAMILIARIZE THEMSELVES WITH THE PROJECT'S SCOPE. PROVIDE ALL WORK REQUIRED TO INSTALL NEW ROOFING SYSTEM IN COMPLIANCE WITH ROOFING MAUFACTURER'S WARRANTY AND INSTALLATION REQUIREMENTS

KEYNOTE CONSTRUCTION

DIVISION 04 - MASONRY	
4.01	MASONRY REPOINTING: RAKE OUT AND REPOINT ALL JOINTS IN AREAS INDICATED, INCLUDING BELT COURSE, PROJECTIONS AND OTHER ORNAMENT, AND RETURN WALLS. JOINTS SHALL BE RAKED OUT TO A DEPTH EQUAL TO 2-1/2 TIMES THE WIDTH OF THE JOINT, OR TO SOUND MORTAR, WHICHEVER IS GREATER, BUT NOT TO EXCEED 1/2 THE DEPTH OF THE FACE UNIT. REPOINT JOINTS WITH MORTAR TO MATCH THE ORIGINAL IN COMPOSITION, COLOR, AND JOINT PROFILE OF REPRESENTATIVE EXISTING JOINTS IDENTIFIED BY ARCHITECT. BASED ON MOCKUPS TO BE APPROVED BY ARCHITECT AND OWNER. REMOVE ABANDONED ANCHORS IN JOINTS TO BE REPOINTED. PROVIDE SAND FINISHED SEALANT AT ANY JOINT ADJACENT TO METAL, WOOD, OR OTHER DISSIMILAR MATERIAL. REFER TO DETAIL 9/A500.
4.02	REMOVE ALL OBSOLETE HARDWARE. TAKE CARE NOT TO DAMAGE SURROUNDING MASONRY. PATCH HOLES USING MASONRY PATCHING MATERIAL, PER SPECIFICATIONS.
4.03	NON-STRUCTURAL CRACK REPAIR: CUT OUT CRACK IN STONE AND REPOINT WITH PATCHING MATERIAL TO MATCH COLOR OF STONE. CONTRACTOR SHALL ASSUME 12" CRACK REPAIR AT EACH LOCATION.
4.04	STRUCTURAL CRACK REPAIR: RESECURE CRACKED STONE UNIT TO SOUND MASONRY. CONTRACTOR SHALL ASSUME 12" CRACK REPAIR AT EACH LOCATION. REFER TO DETAIL 11/A500.
4.08	STONE TOOLING: TOOL LOOSE AND DELAMINATING SURFACES TO ACHIEVE POSITIVE DRAINAGE ALONG THE STONE FACE AND TO MATCH EXISTING FINISHES AS CLOSELY AS POSSIBLE PER DETAIL 12/A500.
4.10	GENERAL CLEANING: PERFORM GENERAL CLEANING AT MASONRY BUILDING EXTERIOR AT AREA(S) INDICATED, IN ADDITION TO FINAL WASH DOWN UNLESS OTHERWISE NOTED. REFER TO SPECIFICATIONS FOR GENERAL CLEANING TECHNIQUES.
4.11	HEAVY SOILING: CLEAN MASONRY USING SPECIFIED CLEANING PROCEDURE TO REMOVE HEAVY SOILING AT AREA(S) INDICATED. REFER TO SPECIFICATIONS FOR CLEANING TECHNIQUES.
4.13	INSTALL CRACK MONITOR OVER DISPLACED MORTAR JOINT.
DIVISION 05 - METALS	
5.01	CLEAN, REPAIR, AND PREPARE ALL CAST IRON COMPONENTS FOR APPLICATION OF NEW PRIMERS, COATING AND/OR ADHERED WATERPROOFING AS INDICATED.
5.03	REPAIR OR REPLACE EXISTING METAL COMPONENTS AT THE BASE OF THE FLAGPOLE TO RESTORE THE INTEGRITY OF THE ASSEMBLY AND ALLOW POSITIVE DRAINAGE TO PERIMETER.
DIVISION 06 - WOOD, PLASTICS & COMPOSITES	
6.01	PROVIDE NEW WOOD PANEL SHEATHING OVER EXISTING CLAY TILE SUBSTRATE, ANCHORED THROUGH FULL DEPTH OF CLAY TILE DECKING.
DIVISION 07 - THERMAL & MOISTURE PROTECTION	
7.01	PROVIDE NEW SLATE ROOF ASSEMBLY OVER NEW WOOD PANEL SUBSTRATE, TO MATCH THE EXISTING SIZE, SHAPE, COLOR, COURSING, AND PHYSICAL PROPERTIES OF THE EXISTING SLATE SHINGLES. PROVIDE ALL ASSOCIATED ACCESSORIES, FLASHING, UNDERLAYMENTS, AND OTHER MATERIALS AS SPECIFIED. REFER TO DETAIL 1/A500.
7.02	PROVIDE NEW LOW-SLOPE MEMBRANE ROOF ASSEMBLY, INCLUDING VAPOR BARRIER, INSULATION, COVERBOARD, AND FULLY ADHERED MEMBRANE, OVER NEW WOOD PANEL SUBSTRATE. PROVIDE MINIMUM 1/4:12 SLOPE TO DRAIN AS INDICATED. REFER TO DETAIL 5/A500.
7.03	PROVIDE NEW SHEET METAL FLASHING AT BASE OF SLATE ROOF, CONTINUING OVER EXISTING MASONRY SUBSTRATES TO NEAREST VERTICAL FACE OF MASONRY, TERMINATING WITH VERTICAL DRIP EDGE. REFER TO DETAIL 5/A501.
7.04	PROVIDE NEW SHEET METAL GUTTER LINER AND ASSOCIATED FLASHINGS TO FULLY CLAD METAL GUTTER PROFILES WITH CONTINUOUS WATER BARRIER TIE-IN TO ADJACENT CONSTRUCTION, INCLUDING METAL FLASHINGS AT THE BASE OF THE SLATE ROOF AND METAL CLADDING AND WATERPROOFING AT EXISTING CAST IRON COMPONENTS. REFER TO DETAILS ON SHEET A501.
7.05	PROVIDE NEW SHEET METAL ROOF EDGE FLASHING, WITH CONTINUOUS WATER BARRIER TIE-IN TO ADJACENT CONSTRUCTION, INCLUDING ROOFING SYSTEMS, METAL FLASHINGS, AND METAL CLADDING AND WATERPROOFING AT EXISTING CAST IRON COMPONENTS. REFER TO DETAILS 7/A500 AND 8/A501.
7.06	PROVIDE NEW SHEET METAL STEP FLASHING AT INTERFACE BETWEEN ROOF AND RISING MASONRY, WITH STEPPED COUNTERFLASHINGS INSTALLED IN NEW REGLETS. REFER TO DETAIL 3/A500.
7.07	PROVIDE NEW SHEET METAL COUNTERFLASHING AT VERTICAL TERMINATION OF ROOFING MEMBRANE.
7.08	PROVIDE NEW SHEET METAL WALL CLADDING ON BACKSIDE OF PARAPET. REFER TO DETAIL 1/A501.
7.09	PROVIDE NEW COPPER DOWNSPOUT
7.10	PROVIDE FULLY-ADHERED WATERPROOFING, CONSISTING OF SHEET MEMBRANE OR REINFORCED FLUID-APPLIED SYSTEM, AT ALL CAST IRON COMPONENTS, EXTENDING ONTO ADJACENT ROOF SURFACES FOR CONTINUOUS WATER BARRIER TIE-IN AT TRANSITIONS. REFER TO DETAILS ON SHEET A501.
7.11	PROVIDE NEW PRE-FABRICATED ROOF ACCESS HATCH WITH INTEGRATED CURB ASSEMBLY.
7.12	PROVIDE NEW SHEET METAL OPEN VALLEY FLASHING. REFER TO DETAIL 6/A500. REMOVE AND REPLACE SLATE ROOFING ON ADJACENT ROOF SURFACE TO THE EXTENT REQUIRED FOR INSTALLATION OF VALLEY FLASHING.
7.13	PROVIDE NEW DECORATIVE SHEET METAL CLADDING TO MATCH EXISTING CLADDING PROFILES AND EXISTING CAST IRON SURFACES. WEATHER-LAP ALL CLADDING PIECES AND PROVIDE FULLY-SOLDERED JOINTS AT ALL LOCATIONS THAT DO NOT REQUIRE PROVISION FOR MOVEMENT.
7.20	REMOVE AND REPLACE PERIMETER JOINT SEALANT AT EXISTING WINDOW.
DIVISION 08 - OPENINGS	
8.01	PROVIDE FULL REPAIR AND RESTORATION OF EXISTING WOOD WINDOW. RESTORE FRAME, SASH, AND TRIM. REPAIR AND REPLACE ALL WOOD COMPONENTS AS NECESSARY TO RESTORE APPEARANCE, FUNCTION, AND INTEGRITY, INCLUDING PATCH REPAIRS, EPOXY CONSOLIDATION, DUTCHMAN, MEMBER REPLACEMENT, AND OTHER METHODS. REPLACE DAMAGED GLASS AND REGLAZE ALL SASH. PREP AND PAINT ALL WOOD SURFACES.
DIVISION 09 - FINISHES	
9.01	PROVIDE CORROSION-INHIBITING PRIMER ON EXISTING CAST IRON COMPONENTS.
9.02	PROVIDE CORROSION-INHIBITING PRIMER AND COMPATIBLE HIGH-PERFORMANCE COATING SYSTEM.
DIVISION 22 - PLUMBING	
22.01	WATER JET THEN SCOPE EXISTING RAIN LEADER TO VERIFY THE INTEGRITY OF THE EXISTING DRAINAGE SYSTEM. SUBMIT ALL VIDEOS AND REPORT FINDINGS TO ARCHITECT.
22.02	REPLACE EXISTING SPLASH BLOCK AT EXTERNAL LEADER.





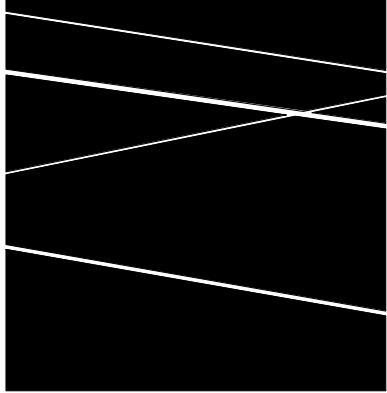
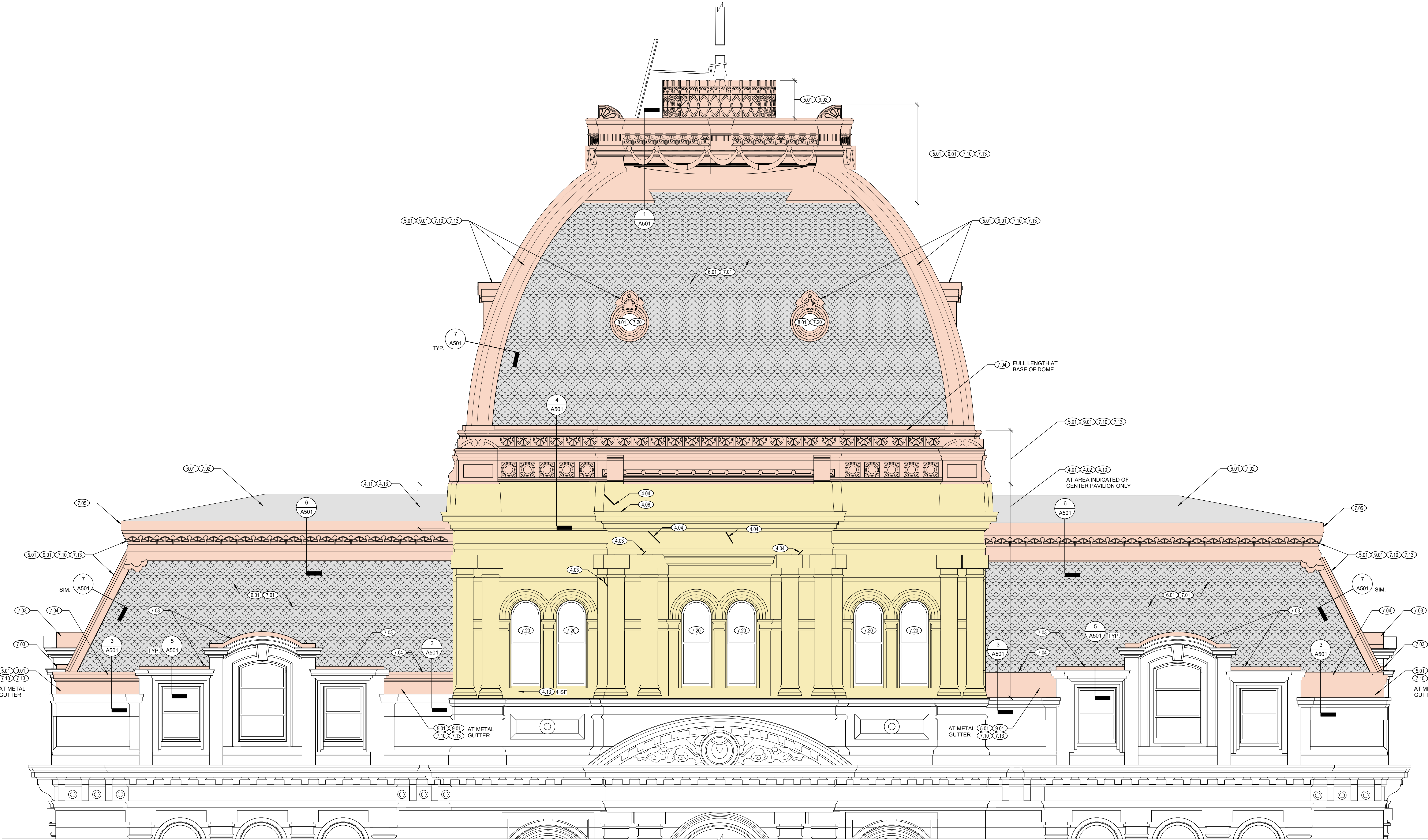
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4.08	STONE TOOLING: TOOL LOOSE AND DELAMINATING SURFACES TO ACHIEVE POSITIVE DRAINAGE ALONG THE STONE FACE AND TO MATCH EXISTING FINISHES AS CLOSELY AS POSSIBLE PER DETAIL 12/A500.
4.10	GENERAL CLEANING: PERFORM GENERAL CLEANING AT MASONRY BUILDING EXTERIOR AT AREA(S) INDICATED, IN ADDITION TO FINAL WASH DOWN UNLESS OTHERWISE NOTED. REFER TO SPECIFICATIONS FOR GENERAL CLEANING TECHNIQUES.
4.11	HEAVY SOILING: CLEAN MASONRY USING SPECIFIED CLEANING PROCEDURE TO REMOVE HEAVY SOILING AT AREA(S) INDICATED. REFER TO SPECIFICATIONS FOR CLEANING TECHNIQUES.
4.13	INSTALL CRACK MONITOR OVER DISPLACED MORTAR JOINT.
DIVISION 05 - METALS	

KEYNOTE CONSTRUCTION	
5.01	CLEAN, REPAIR, AND PREPARE ALL CAST IRON COMPONENTS FOR APPLICATION OF NEW PRIMERS, COATING AND/OR ADHERED WATERPROOFING AS INDICATED.
5.03	REPAIR OR REPLACE EXISTING METAL COMPONENTS AT THE BASE OF THE FLAGPOLE TO RESTORE THE INTEGRITY OF THE ASSEMBLY AND ALLOW POSITIVE DRAINAGE TO PERIMETER.
DIVISION 06 - WOOD, PLASTICS & COMPOSITES	
6.01	PROVIDE NEW WOOD PANEL SHEATHING OVER EXISTING CLAY TILE SUBSTRATE, ANCHORED THROUGH FULL DEPTH OF CLAY TILE DECKING.
DIVISION 07 - THERMAL & MOISTURE PROTECTION	
7.01	PROVIDE NEW SLATE ROOF ASSEMBLY OVER NEW WOOD PANEL SUBSTRATE TO MATCH THE EXISTING SIZE, SHAPE, COLOR, COURSING, AND PHYSICAL PROPERTIES OF THE EXISTING SLATE SHINGLES. PROVIDE ALL ASSOCIATED ACCESSORIES: FLASHING, UNDERLAYMENTS, AND OTHER MATERIALS AS SPECIFIED. REFER TO DETAIL 1/A500.
7.02	PROVIDE NEW LOW-SLOPE MEMBRANE ROOF ASSEMBLY, INCLUDING VAPOR BARRIER, INSULATION, COVERBOARD, AND FULLY ADHERED MEMBRANE, OVER NEW WOOD PANEL SUBSTRATE. PROVIDE MINIMUM 1/4:12 SLOPE TO DRAIN AS INDICATED. REFER TO DETAIL 5/A500.
7.03	PROVIDE NEW SHEET METAL FLASHING AT BASE OF SLATE ROOF, CONTINUING OVER EXISTING MASONRY SUBSTRATES TO NEAREST VERTICAL FACE OF MASONRY, TERMINATING WITH VERTICAL DRIP EDGE. REFER TO DETAIL 9/A501.
7.04	PROVIDE NEW SHEET METAL GUTTER LINER AND ASSOCIATED FLASHINGS TO FULLY CLAD METAL GUTTER PROFILES WITH CONTINUOUS WATER BARRIER TIE-IN TO ADJACENT CONSTRUCTION, INCLUDING METAL FLASHINGS AT THE BASE OF THE SLATE ROOF AND METAL CLADDING AND WATERPROOFING AT EXISTING CAST IRON COMPONENTS. REFER TO DETAILS ON SHEET A501.

KEYNOTE CONSTRUCTION	
7.05	PROVIDE NEW SHEET METAL ROOF EDGE FLASHING, WITH CONTINUOUS WATER BARRIER TIE-IN TO ADJACENT CONSTRUCTION, INCLUDING ROOFING SYSTEMS, METAL FLASHINGS, AND METAL CLADDING AND WATERPROOFING AT EXISTING CAST IRON COMPONENTS. REFER TO DETAILS 7/A500 AND 8/A501.
7.06	PROVIDE NEW SHEET METAL STEP FLASHING AT INTERFACE BETWEEN ROOF AND RISING MASONRY, WITH STEPPED COUNTERFLASHINGS INSTALLED IN NEW REGLETS. REFER TO DETAIL 3/A500.
7.07	PROVIDE NEW SHEET METAL COUNTERFLASHING AT VERTICAL TERMINATION OF ROOFING MEMBRANE.
7.08	PROVIDE NEW SHEET METAL WALL CLADDING ON BACKSIDE OF PARAPET. REFER TO DETAIL 1/A501.
7.09	PROVIDE NEW COPPER DOWNSPOUT
7.10	PROVIDE FULLY-ADHERED WATERPROOFING, CONSISTING OF SHEET MEMBRANE OR REINFORCED FLUID-APPLIED SYSTEM, AT ALL CAST IRON COMPONENTS, EXTENDING ONTO ADJACENT ROOF SURFACES FOR CONTINUOUS WATER BARRIER TIE-IN AT TRANSITIONS. REFER TO DETAILS ON SHEET A501.
7.11	PROVIDE NEW PRE-FABRICATED ROOF ACCESS HATCH WITH INTEGRATED CURB ASSEMBLY.
7.12	PROVIDE NEW SHEET METAL OPEN VALLEY FLASHING. REFER TO DETAIL 6/A500. REMOVE AND REPLACE SLATE ROOFING ON ADJACENT ROOF SURFACE TO THE EXTENT REQUIRED FOR INSTALLATION OF VALLEY FLASHING.



KEYNOTE CONSTRUCTION	
7.13	PROVIDE NEW DECORATIVE SHEET METAL CLADDING TO MATCH EXISTING CLADDING PROFILES AND EXISTING CAST IRON SURFACES. WEATHER-LAP ALL CLADDING PIECES AND PROVIDE FULLY-SOLDERED JOINTS AT ALL LOCATIONS THAT DO NOT REQUIRE PROVISION FOR MOVEMENT.
7.20	REMOVE AND REPLACE PERIMETER JOINT SEALANT AT EXISTING WINDOW.
DIVISION 08 - OPENINGS	
8.01	PROVIDE FULL REPAIR AND RESTORATION OF EXISTING WOOD WINDOW. RESTORE FRAME, SASH, AND TRIM. REPAIR AND REPLACE ALL WOOD COMPONENTS AS NECESSARY TO RESTORE APPEARANCE, FUNCTION, AND INTEGRITY, INCLUDING PATCH REPAIRS, EPOXY CONSOLIDATION, DUTCHMAN, MEMBER REPLACEMENT, AND OTHER METHODS. REPLACE DAMAGED GLASS AND REGLAZE ALL SASH. PREP AND PAINT ALL WOOD SURFACES.
DIVISION 09 - FINISHES	
9.01	PROVIDE CORROSION-INHIBITING PRIMER ON EXISTING CAST IRON COMPONENTS.
9.02	PROVIDE CORROSION-INHIBITING PRIMER AND COMPATIBLE HIGH-PERFORMANCE COATING SYSTEM.
DIVISION 22 - PLUMBING	
22.01	WATER JET THEN SCOPE EXISTING RAIN LEADER TO VERIFY THE INTEGRITY OF THE EXISTING DRAINAGE SYSTEM. SUBMIT ALL VIDEOS AND REPORT FINDINGS TO ARCHITECT.
22.02	REPLACE EXISTING SPLASH BLOCK AT EXTERNAL LEADER



NO	DATE	DESCRIPTION



## COLOR LEGEND

	EXISTING STONE MASONRY REPAIR, RESTORATION, AND CLEANING
	METAL CLADDING AND FLASHING REPLACEMENT, INCLUDING REPAIR AND WEATHERPROOFING OF ORIGINAL CAST IRON COMPONENTS CONCEALED UNDER CLADDING
	ROOFING ASSEMBLY REPLACEMENT, INCLUDING NEW PLYWOOD SHEATHING ON EXISTING CLAY TILE ROOF DECK

**NOTES:**

1. KEYNOTES APPLY TO ENTIRE AREA INDICATED  
UNLESS NOTED OTHERWISE.
2. EXISTING CONSTRUCTION OUTSIDE THE AREAS  
INDICATED IS NOT INCLUDED IN THE SCOPE OF  
PROJECT UNLESS NOTED OTHERWISE.

**KEYNOTE CONSTRUCTION**

**DIVISION 04 - MASONRY**

4.01 MASONRY REPOINTING: RAKE OUT AND REPOINT ALL JOINTS IN AREAS INCLUDING, BUT NOT LIMITED TO: PROJECTIONS AND OTHER PROTRUSIONS, CORNICES, CHIMNEYS, AND FLUES, RAKED DOWN TO A DEPTH EQUAL TO 2-1/2 TIMES THE WIDTH OF THE JOINT, OR TO SOUND MORTAR, WHICHEVER IS GREATER, BUT NOT TO EXCEED 12" DEPTH. REPAIR JOINTS TO MATCH EXISTING JOINTS TO THE ORIGINAL COMPOSITION, COLOR, AND JOINT PROFILE OF REPRESENTATIVE EXISTING JOINTS IDENTIFIED BY THE ARCHITECT. PATCHES TO BE APPLIED BY ARCHITECT AND OWNER. REMOVE ABANDONED ANCHORS IN JOINTS TO BE REPOINTED. PROVIDE SAND FINISHED SEALANT AT ANY JOINT ADJACENT TO METAL, WOOD, OR OTHER DISSIMILAR MATERIAL. REFER TO DETAIL 9/A500.

4.02 REMOVE ALL OBSOLETE HARDWARE. TAKE CARE NOT TO DAMAGE SURROUNDING MATERIAL. PATCH ALL HOLES USING MASONRY PATCHING MATERIAL PER SPECIFICATIONS.

4.03 NON-STRUCTURAL CRACK REPAIR: CUT OUT CRACK IN STONE AND REPAIR WITH PATCHING MATERIAL. CRACK REPAIR TO BE APPROVED BY CONTRACTOR. SHALL ASSUME 12" CRACK REPAIR AT EACH LOCATION.

4.04 STRUCTURAL CRACK REPAIR: RESEAL CRACKED STONE UP TO SOUND MASONRY. CONTRACTOR SHALL ASSUME 12" CRACK REPAIR AT EACH LOCATION. REFER TO DETAIL 9/A500.

4.05 STONE TOOLING: TOOL LOOSE AND DELAMINATING SURFACES TO ACHIEVE POSITIVE DRAINAGE ALONG THE STONE FACE AND TO MATCH EXISTING SURFACES AS CLOSELY AS POSSIBLE.

4.10 GENERAL CLEANING: PERFORM GENERAL CLEANING AT MASONRY BUILDING EXTERIOR AT AREAS) INDICATED, IN ADDITION TO FINAL WASH DOWN UNLESS OTHERWISE NOTED. REFER TO SPECIFICATIONS FOR GENERAL CLEANING TECHNIQUES.

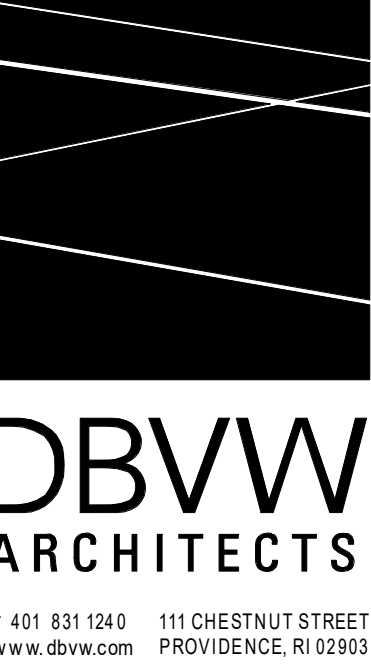
4.11 HEAVY SOLING: CLEAN MASONRY USING SPECIFIED CLEANING PROCEDURE. REMOVE HEAVY SOILING AND DISCOLORATION. REFER TO SPECIFICATIONS FOR SPECIFICATIONS FOR CLEANING TECHNIQUES.

4.13 INSTALL CRACK MONITOR OVER DISPLACED MORTAR JOINT.

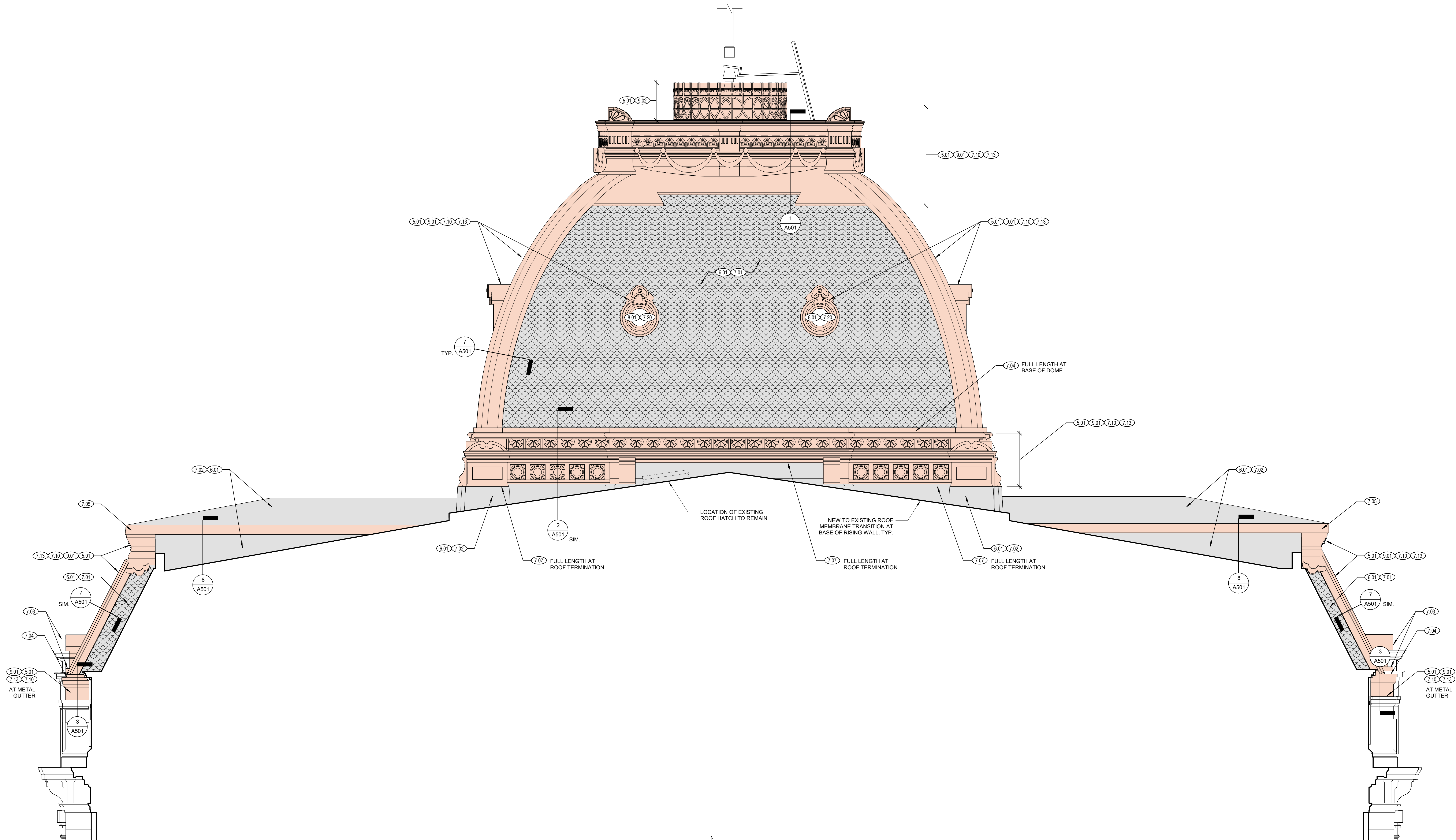
KEYNOTE CONSTRUCTION	
0.01	CLEAN, REPAIR, AND PREPARE ALL CAST IRON COMPONENTS FOR APPLICATION OF NEW PRIMERS, COATING AND/OR ADHERED WATERPROOFING AS INDICATED.
0.03	REPAIR OR REPLACE EXISTING METAL COMPONENTS AT THE BASE OF THE FLASHING TO RESTORE THE INTEGRITY OF THE ASSEMBLY AND ALLOW POSITIVE DRAINAGE TO THE DRAINER.
DIVISION 06 - FLOOR, PLASTICS & COMPOSITES	
0.01	PROVIDE NEW WOOD PANEL SHEATHING OVER EXISTING CLAY TILE SUBSTRATE. ANCHORED THROUGH FULL DEPTH OF CLAY TILE DECKING.
DIVISION 07 - THERMAL & MASONRY	
0.01	PROVIDE NEW SLATE ROOF ASSEMBLY OVER NEW WOOD PANEL SUBSTRATE, TO MATCH THE EXISTING SIZE, SHAPE, COLOR, COURSEING, AND FINISH. PROVIDE NEW FLASHING, GUTTER, AND SHIELDING, ALL ASSOCIATED ACCESSORIES, FLASHING, UNDERLAYMENTS, AND OTHER DETAILS AS SPECIFIED.
0.03	PROVIDE NEW LOW-SLOPE MEMBRANE ROOF ASSEMBLY, INCLUDING VAPOR BARRIER, INSULATION, COVERBOARD, AND FULLY ADHERED MEMBRANE, OVER EXISTING ROOF. PROVIDE MINIMUM SLOPE TO DRAIN AS INDICATED. REFER TO DETAIL S/A500.
0.03	PROVIDE NEW SHEET METAL FLASHING AT BASE OF SLATE ROOF. CONTINUING OVER EXISTING ROOF. TERMINATING WITH VERTICAL FACE OF MASONRY, TERMINATING WITH VERTICAL DRIP EDGE. REFER TO DETAIL S/A501.
0.04	PROVIDE NEW SHEET METAL GUTTER LINER AND ASSOCIATED FLASHINGS TO FULLY CLAD METAL ROOF PROFILES WITH CONTINUOUS WATER BARRIER TIE-IN TO ADJACENT CONSTRUCTION, INCLUDING METAL FLASHINGS AT THE BASE OF THE ROOF AND METAL CLADDING AND WATERPROOFING AT EXISTING CAST IRON COMPONENTS. REFER TO DETAIL S/A502.

KEYNOTE CONSTRUCTION	
05	PROVIDE NEW SHEET METAL ROOF EDGE FLASHING, WITH CONTINUOUS WATER BARRIER TIE-IN TO ADJACENT CONSTRUCTION, INCLUDING ROOFING SYSTEMS, METAL FLASHINGS, AND METAL CLADDING AND WATERPROOFING AT WATER/ROOF CAST IRON COMPONENTS. REFER TO DETAILS 7/A500 AND 8/A501.
06	PROVIDE NEW SHEET METAL STEP FLASHING AT INTERFACE BETWEEN ROOF AND RISING CURB. PROVIDE NEW METAL WATERBARRIER FLASHINGS INSTALLED IN NEW REGLETS. REFER TO DETAIL 3/A500.
07	PROVIDE NEW SHEET METAL COUNTERFLASHING AT VERTICAL TERMINATION OF ROOFING MEMBRANE.
08	PROVIDE NEW SHEET METAL WALL CLADDING ON BACKSIDE OF PARAPET. REFER TO DETAIL 1/A501.
09	PROVIDE NEW COPPER DOWNSPOUT
10	PROVIDE FULLY-ADHERED WATERPROOFING, CONSISTING OF SHEET POLYURETHANE OR REINFORCED POLYURETHANE SYSTEM, AT ALL CAST IRON COMPONENTS, EXTENDING OUT TO ADJACENT ROOF SURFACES FOR CONTINUOUS WATER BARRIER TIE-IN AT TRANSITIONS. REFER TO DETAILS ON SHEET A501.
11	PROVIDE NEW PRE-FABRICATED ROOF ACCESS FLASHING WITH INTEGRATED CURB ASSEMBLY.
12	PROVIDE NEW SHEET METAL OPEN VALLEY FLASHING. REFER TO DETAIL 1/A502. REMOVE AND REPLACE SLATE ROOFING ON ADJACENT ROOF SURFACE TO THE EXTENT REQUIRED FOR INSTALLATION OF VALLEY FLASHING.

KEYNOTE CONSTRUCTION	
13	PROVIDE NEW DECORATIVE STEEL METAL CLADDING TO MATCH EXISTING CLADDING PROFILES AND EXISTING CAST IRON SURFACES. WEATHER-LAP ALL CLADDING PIECES AND PROVIDE FULLY-SOLDED JOINTS AT ALL EXISTING LOCATIONS THAT DO NOT HAVE AN IN-PLACE PROVISION FOR MOVEMENT.
20	REMOVE AND REPLACE PERIMETER JOINT SEALANT AT EXISTING WINDOW
DIVISION 08 - OPENINGS	
01	RESTORE FRAME SASH AND TRIM REPAIR OR REPLACE ALL EXISTING COMPONENTS AS NECESSARY TO REPAIR APPEARANCE, FUNCTION, AN INTEGRITY, INCLUDING PATCH REPAIRS, EPOXY CONSOLIDATION, DUTCHMAN, MEMBER REPLACEMENT, AND OTHER METHODS. REPLACE DAMAGED GLASS AND REPLACE ALL SASH, PREP AND PAINT ALL WOOD SURFACES.
DIVISION 09 - FINISHES	
01	PROVIDE CORROSION-INHIBITING PRIMER ON EXISTING CAST IRON COMPONENTS
02	PROVIDE CORROSION-INHIBITING PRIMER AND COMPATIBLE HIGH-PERFORMANCE COATING SYSTEM
DIVISION 22 - PLUMBING	
02.01	WATER JET THEN SCOPE EXISTING RAIN DRAINAGE TO VERIFY THE INTEGRITY OF THE EXISTING DRAINAGE SYSTEM. SUBMIT ALL VIDEOS AND REPORT FINDINGS TO ARCHITECT.
02.03	REPAIR OR REPLACE CRACKS IN BLOCK AT EXISTING LEAKS



FOR REFERENCE  
ONLY NOT FOR  
CONSTRUCTION



1 PARTIAL WEST ELEVATION  
1/4" = 1'-0"

# PROVIDENCE CITY HALL EXTERIOR RESTORATION, PHASE I

25 Dorrance Street

CITY OF PROVIDENCE

[illegible]

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DATE: 3/12/25

DRAWN BY: Author

JOB NO: 2417




SCALE: As indicated

## EXTERIOR ELEVATIONS

# A301

SCHEMATIC DESIGN - DRAFT



COLOR LEGEND	
	EXISTING STONE MASONRY REPAIR, RESTORATION, AND CLEANING
	METAL CLADDING AND FLASHING REPLACEMENT, INCLUDING REPAIR AND WATERPROOFING OF ORIGINAL CAST IRON COMPONENTS CONCEALED UNDER CLADDING
	ROOFING ASSEMBLY REPLACEMENT, INCLUDING NEW PLYWOOD SHEATHING ON EXISTING CLAY TILE ROOF DECK

**NOTES:**

- KEYNOTES APPLY TO ENTIRE AREA INDICATED UNLESS NOTED OTHERWISE
- EXISTING CONSTRUCTION OUTSIDE THE AREAS INDICATED IS NOT INCLUDED IN THE SCOPE OF WORK UNLESS SPECIFICALLY NOTED OTHERWISE

**KEYNOTE CONSTRUCTION**

**DIVISION 04 - MASONRY**

**MASONRY REPOINTING: RAKE OUT AND REPOINT ALL JOINTS IN AREAS** INDICATED, INCLUDING BELT COURSE, PROJECTIONS AND OTHER PROTRUSIONS, AND REPAIR MASONRY TO MATCH THE RAKED OUT TO A DEPTH EQUAL TO 2-1/2 TIMES THE WIDTH OF THE JOINT, OR TO SOUND MASONRY, WHICHEVER IS GREATER. REPAIR TO MATCH THE DEPTH OF THE FACE JOINT. REPOINT JOINTS WITH MORTAR TO MATCH THE ORIGINAL COMPOSITION, COLOR, AND JOINT PROFILE OF REPRESENTATIVE EXISTING MASONRY. REPAIRS IDENTIFIED BY THE MASONRY CONTRACTOR TO BE APPROVED BY ARCHITECT AND OWNER. REMOVE ABANDONED ANCHORS IN JOINTS TO BE REPOINTED. PROVIDE SAND FINISHED SEALANT AT ANY JOINT ADJACENT TO METAL, WOOD, OR OTHER DISSIMILAR MATERIAL. REFER TO DETAIL 9/A500.

**REMOVE ALL OBSOLETE HARDWARE: TAKE CARE NOT TO DAMAGE** EXISTING MASONRY. PATCH ALL HOLES USING MASONRY PATCHING MATERIAL PER SPECIFICATIONS.

**NON-STRUCTURAL CRACK REPAIR: CUT OUT CRACK IN STONE AND REPAIR** WITH PATCHING MATERIAL TO MATCH COLOR AND STONE. CONTRACTOR SHALL ASSUME 12" CRACK REPAIR AT EACH LOCATION.

**STRUCTURAL CRACK REPAIR: RESEAL CRACKED STONE JOINT TO SOUND MASONRY. CONTRACTOR SHALL ASSUME 12" CRACK REPAIR AT EACH LOCATION. REFER TO DETAIL 9/A500.**

**STONE TOOLING: TOOL LOOSE AND DELAMINATING SURFACES TO ACHIEVE** POSITIVE DRAINAGE ALONG THE STONE FACE AND TO MATCH EXISTING FINISHES AS CLOSE AS POSSIBLE TO MATCH EXISTING.

**GENERAL CLEANING: PERFORM GENERAL CLEANING AT MASONRY** BUILDING EXTERIOR (AT AREAS) INDICATED, IN ADDITION TO FINAL WASH DOWN UNLESS OTHERWISE NOTED. REFER TO SPECIFICATIONS FOR GENERAL CLEANING TECHNIQUES.

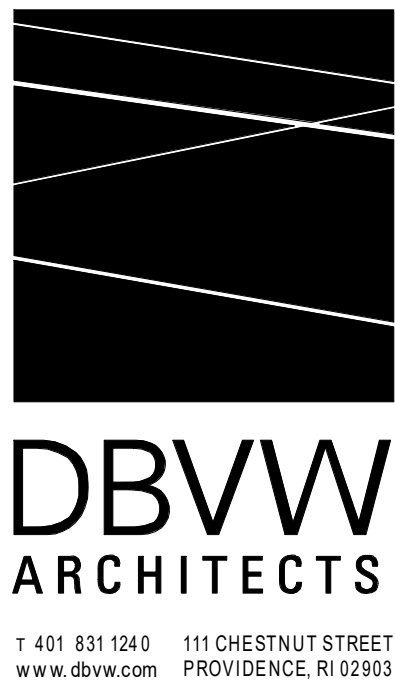
**HEAVY SOILING: CLEAN MASONRY USING SPECIFIED CLEANING PROCEDURES** UNLESS HEAVY SOILING IS OTHERWISE NOTED. REFER TO SPECIFICATIONS FOR CLEANING TECHNIQUES.

**INSTALL CRACK MONITOR OVER DISPLACED MORTAR JOINT.**

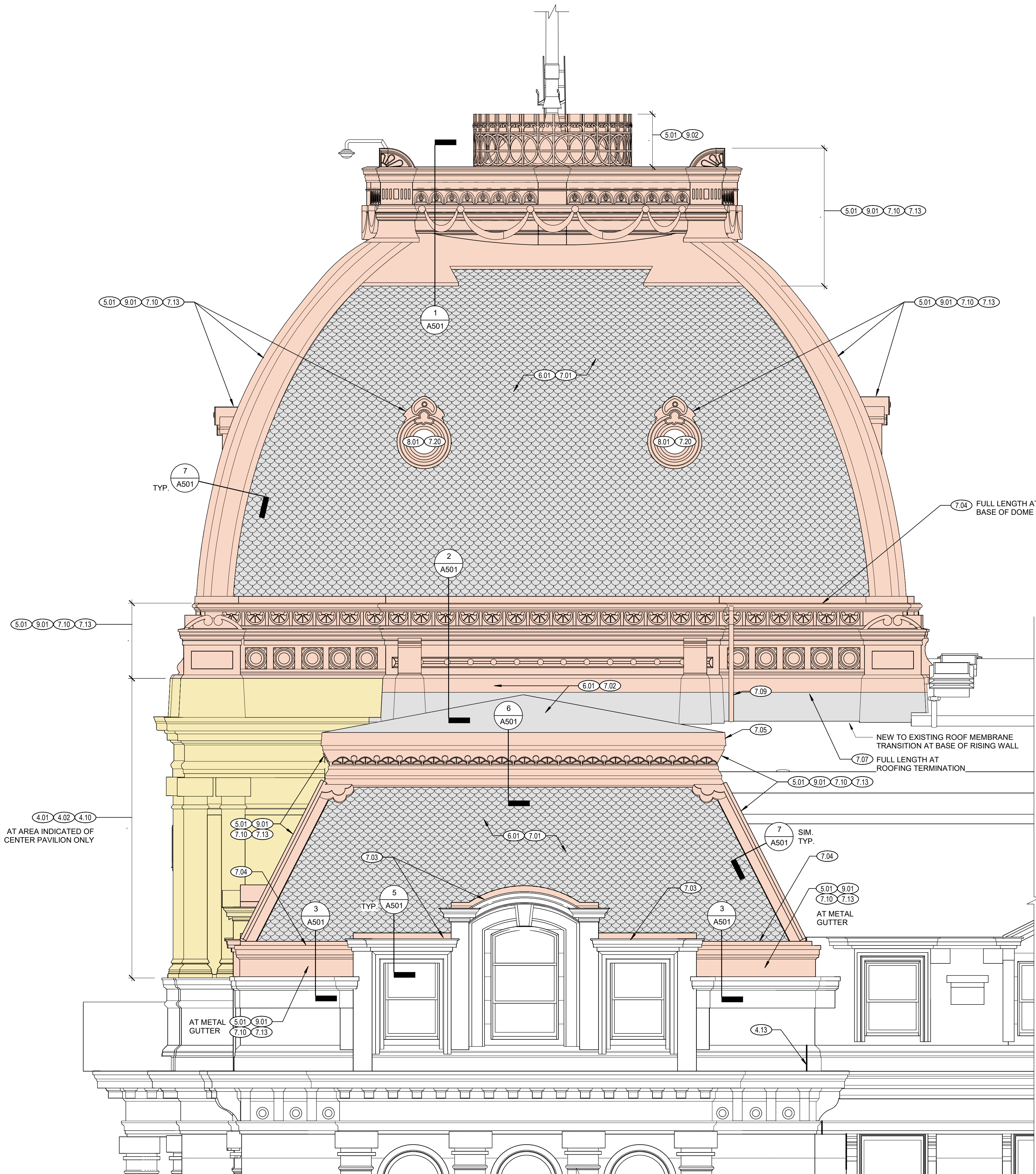
KEYNOTE CONSTRUCTION	
01	CLEAN, REPAIR, AND PREPARE ALL CAST IRON COMPONENTS FOR APPLICATION OF NEW PRIMERS, COATING AND/OR ADHERED WATERPROOFING AS NOTED.
03	REPAIR OR REPLACE EXISTING METAL COMPONENTS AT THE BASE OF THE FLAGPOLE TO RESTORE THE INTEGRITY OF THE ASSEMBLY AND ALLOW POSITIVE DRAINAGE TO PERFORM.
05	PROVIDE NEW WOOD PANEL SHEATHING OVER EXISTING CLAY TILE SUBSTRATE, ANCHORING THROUGH FULL DEPTH OF CLAY TILE DECKING.
07	TERMINAL & MOISTURE PROTECTION
08	PROVIDE NEW SLATE ROOF ASSEMBLY OVER NEW WOOD PANEL SUBSTRATE, TO MATCH THE EXISTING SIZE, SHAPE, COLOR, CURVING, AND FINISH. PROVIDE ALL ASSOCIATED ACCESSORIES, FLASHING, UNDERLAYMENTS, AND OTHER MATERIALS AS SPECIFIED.
09	PROVIDE NEW LOW-SLOPE MEMBRANE ROOF ASSEMBLY, INCLUDING VAPOR BARRIER, INSULATION, COVERBOARD, AND FLASHING, INCLUDING MEMBRANE, OVER NEW WOOD PANEL SUBSTRATE TO MEET MINIMUM SLOPE TO DRAIN AS INDICATED. REFER TO DETAIL S950.
10	PROVIDE NEW SHEET METAL FLASHING AT BASE OF SLATE ROOF, INCLUDING OVER EXISTING CLAY TILE ROOF, TO MEET MINIMUM VERTICAL FACE OF MASONRY, TERMINATING WITH VERTICAL DRIP. REFER TO DETAIL S951.
11	INSTALL NEW SHEET METAL GUTTER LINER AND ASSOCIATED FLASHINGS TO FULLY FLASH METAL ROOF PROFILES WITH CONTINUOUS WATER BARRIER TIE-IN TO ADJACENT CONSTRUCTION, INCLUDING METAL FLASHINGS AT THE BASE OF THE CLAY TILE ROOF AND METAL GUTTING AND WATERPROOFING AT EXISTING GAST IRON COMPONENTS. REFER TO

KEYNOTE CONSTRUCTION	
05	PROVIDE NEW SHEET METAL ROOF EDGE FLASHING, WITH CONTINUOUS WATER BARRIER TIE-IN TO ADJACENT CONSTRUCTION, INCLUDING ROOFING SYSTEMS, METAL FLASHINGS, AND METAL CLADDING AND WATERPROOFING AT EXISTING CANT OVER COMPONENTS. REFER TO DETAILS 7A/500 AND 8A/501.
06	PROVIDE NEW SHEET METAL STEP FLASHING AT INTERFACE BETWEEN ROOF AND RISING MASONRY AT EXISTING CANT OVER FLASHINGS INSTALLED IN NEW REGLETS. REFER TO DETAIL 3A/500.
07	PROVIDE NEW SHEET METAL COUNTERFLASHING AT VERTICAL TERMINATION OF ROOFING MEMBRANE.
08	PROVIDE NEW SHEET METAL WALL CLADDING ON BACKSIDE OF PARAPET. REFER TO DETAIL 1A/501.
09	PROVIDE NEW COPPER DOWNSPOUT
10	PROVIDE FULLY-ADHERED WATERPROOFING, CONSISTING OF SHEET MEMBRANE OR REINFORCED POLYMER-APPLIED SYSTEM, AT ALL CANT SHEET COMPONENTS, EXTENDING ONTO ADJACENT ROOF SURFACES FOR CONTINUOUS WATER BARRIER TIE-IN AT TRANSITIONS. REFER TO DETAILS ON SHEET 5A/501.
11	PROVIDE NEW PRE-FABRICATED ROOF ACCESS HATCH WITH INTEGRATED CURBS ASSEMBLY.
12	PROVIDE NEW SHEET METAL OPEN VALLEY FLASHING. REFER TO DETAIL 3A/500. REMOVE AND REPAIR EXISTING SLATE ROOFING ON ADJACENT ROOF SURFACE TO THE EXTENT REQUIRED FOR INSTALLATION OF VALLEY

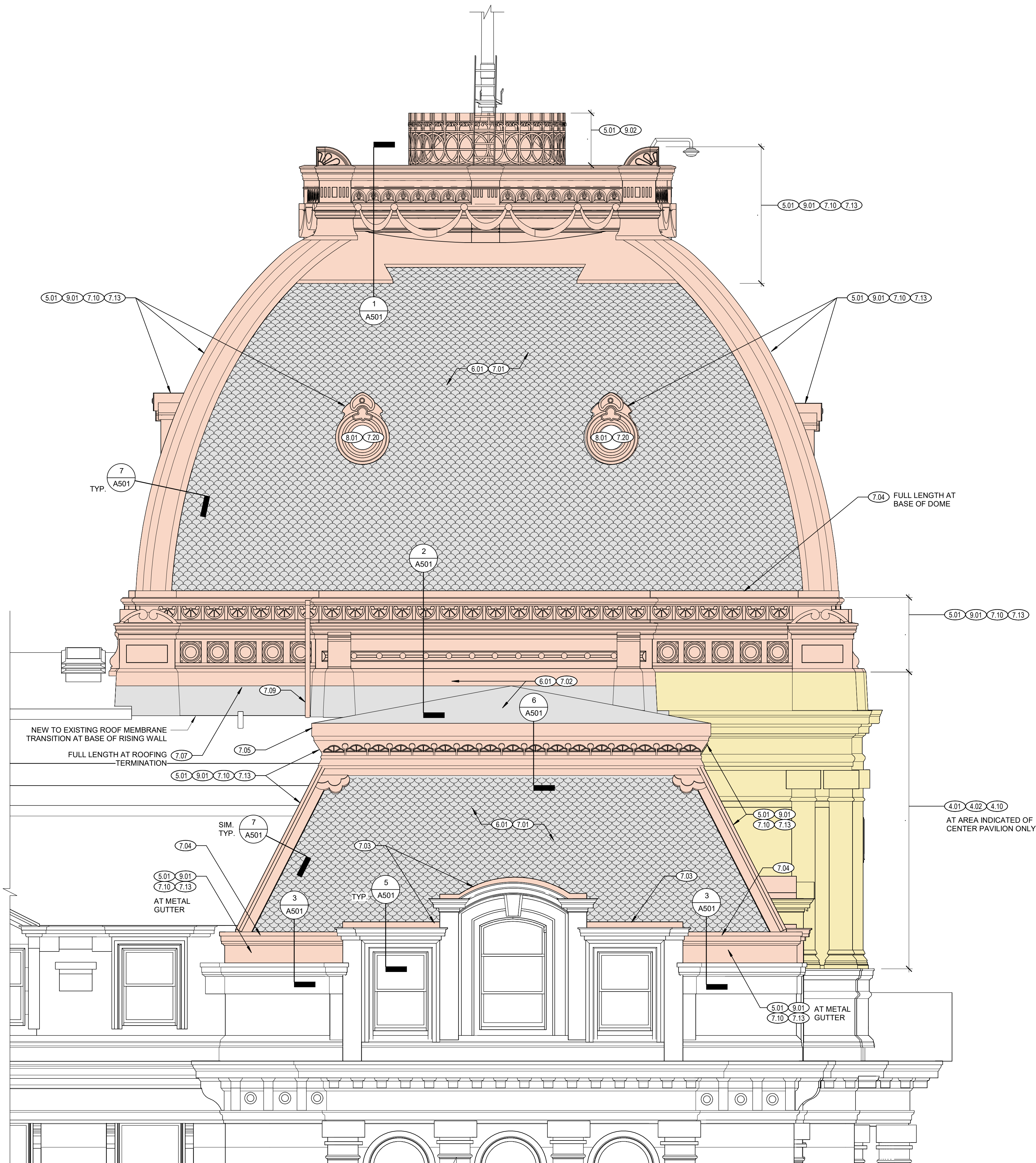
KEYNOTE CONSTRUCTION	
13	PROVIDE NEW DECORATIVE STEEL METAL CLADDING TO MATCH EXISTING CLADDING PROFILES AND EXISTING CAST IRON SURFACES. WEATHER-LAP ALL CLADDING PIECES AND PROVIDE FULLY-SOLDERED JOINTS AT ALL JOINTS THAT DO NOT REQUIRE PROVISION FOR MOVEMENT.
20	REMOVE AND REPLACE PERIMETER JOINT SEALANT AT EXISTING WINDOW
01	REMOVE FRAME, SASH, AND TRIM. REPAIR AND REPLACE ALL WOOD COMPONENTS AS NECESSARY TO RESTORE APPEARANCE, FUNCTION, AN INTEGRITY, INCLUDING PATCH REPAIRS, EPOXY CONSOLIDATION, DUTCHMAN, MEMBER REPLACEMENT, AND OTHER METHODS. REPLACE DAMAGED GLASS AND REGUZE ALL SASH PREP AND PAINT ALL WOOD SURFACES.
01	REMOVE CORROSION-INHIBITING PRIMER ON EXISTING CAST IRON COMPONENTS
02	PROVIDE CORROSION-INHIBITING PRIMER AND COMPATIBLE HIGH-PERFORMANCE COATING SYSTEM.
22	PLUMBING
2.01	WATER JET THEN SCOPE EXISTING RAIN LEADER TO VERIFY THE INTEGRITY OF THE EXISTING DRAINAGE SYSTEM. SUBMIT ALL VIDEOS AND REPORT FINDINGS TO ARCHITECT.



FOR REFERENCE  
ONLY NOT FOR  
CONSTRUCTION



1 PARTIAL NORTH ELEVATION  
1/4" = 1'-0"



2 PARTIAL SOUTH ELEVATION  
1/4" = 1'-0"

# PROVIDENCE CITY HALL EXTERIOR RESTORATION, PHASE I

25 Dorrance Street  
Providence, RI  
CITY OF PROVIDENCE

[illegible]

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DATE: 3/12/25

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JOB NO: 2417

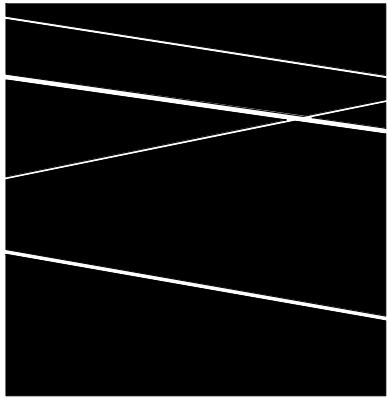
SCALE: As indicated

## EXTERIOR ELEVATIONS

# A302

SCHEMATIC DESIGN - DRAFT

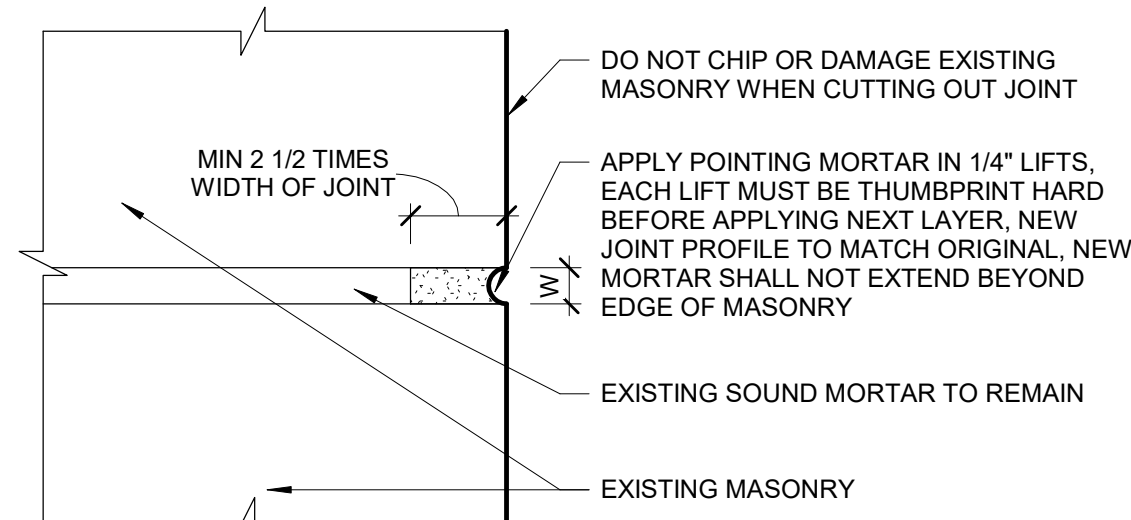




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WWW.DBVW.COM PROVIDENCE, RI 02803

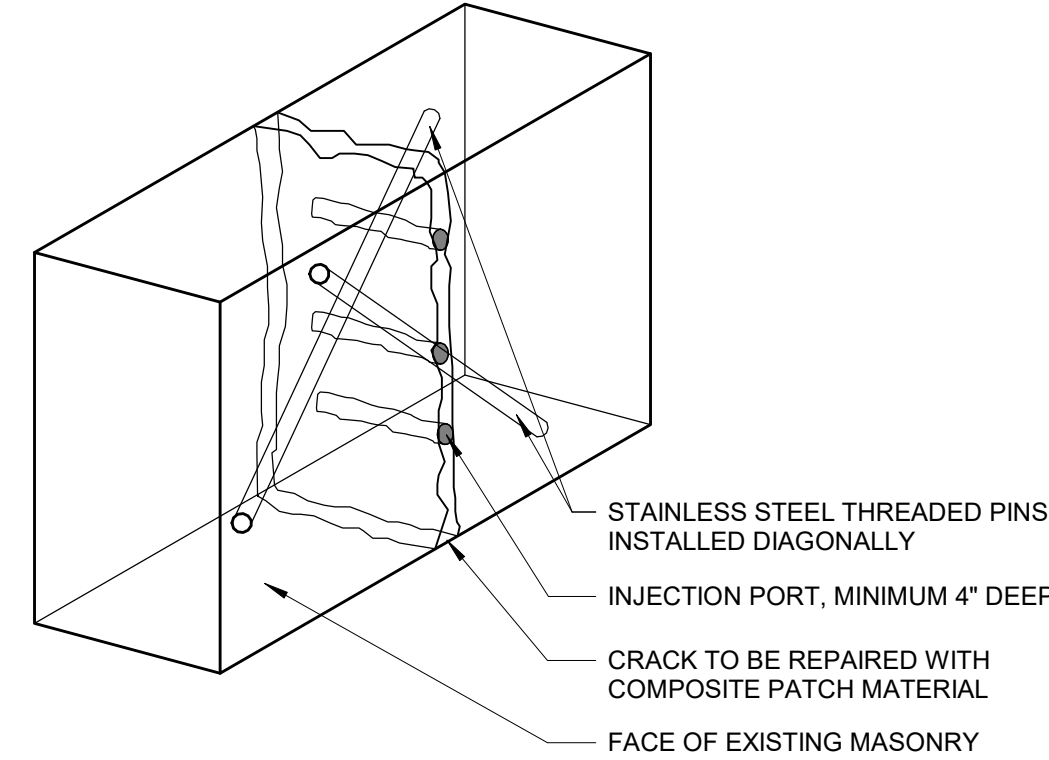
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ONLY NOT FOR  
CONSTRUCTION



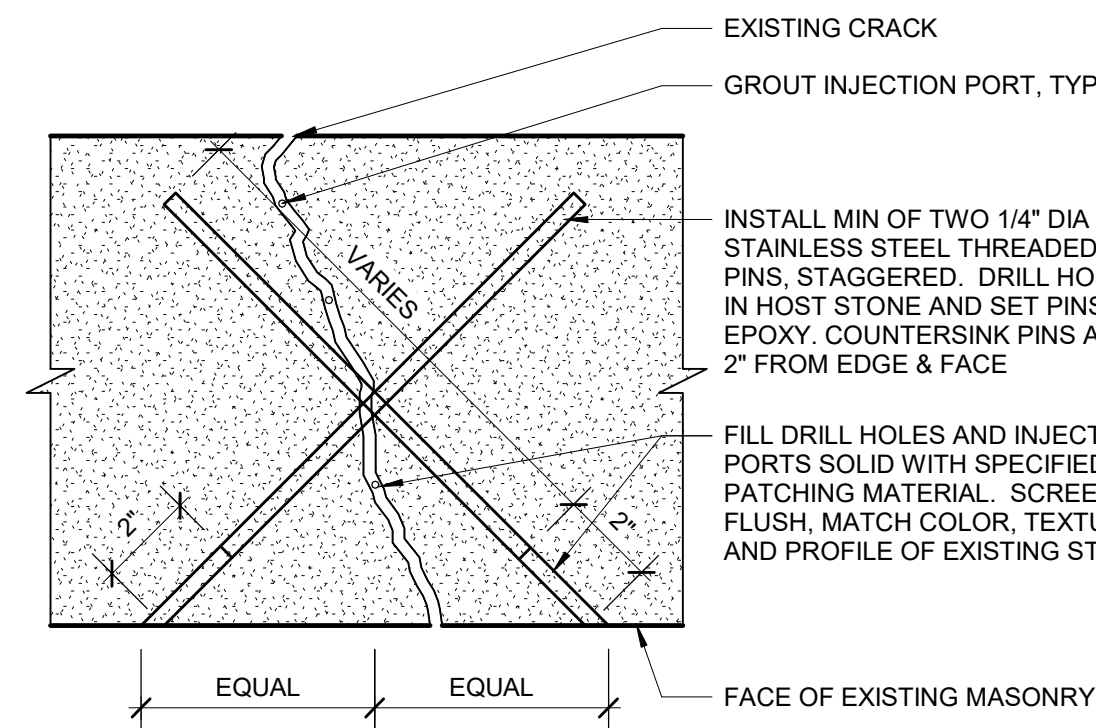
NOTE:

- CUT BACK JOINT AT LEAST 2.5 TIMES JOINT WIDTH (W), OR CONTINUE TO SOUND SETTING BED MORTAR. CLEAN OUT JOINT AND POINT WITH NEW SELECTED POINTING MORTAR.
- JOINT PROFILE TO BE REVIEWED IN THE FIELD. FINAL TOOLING TO MATCH ORIGINAL.

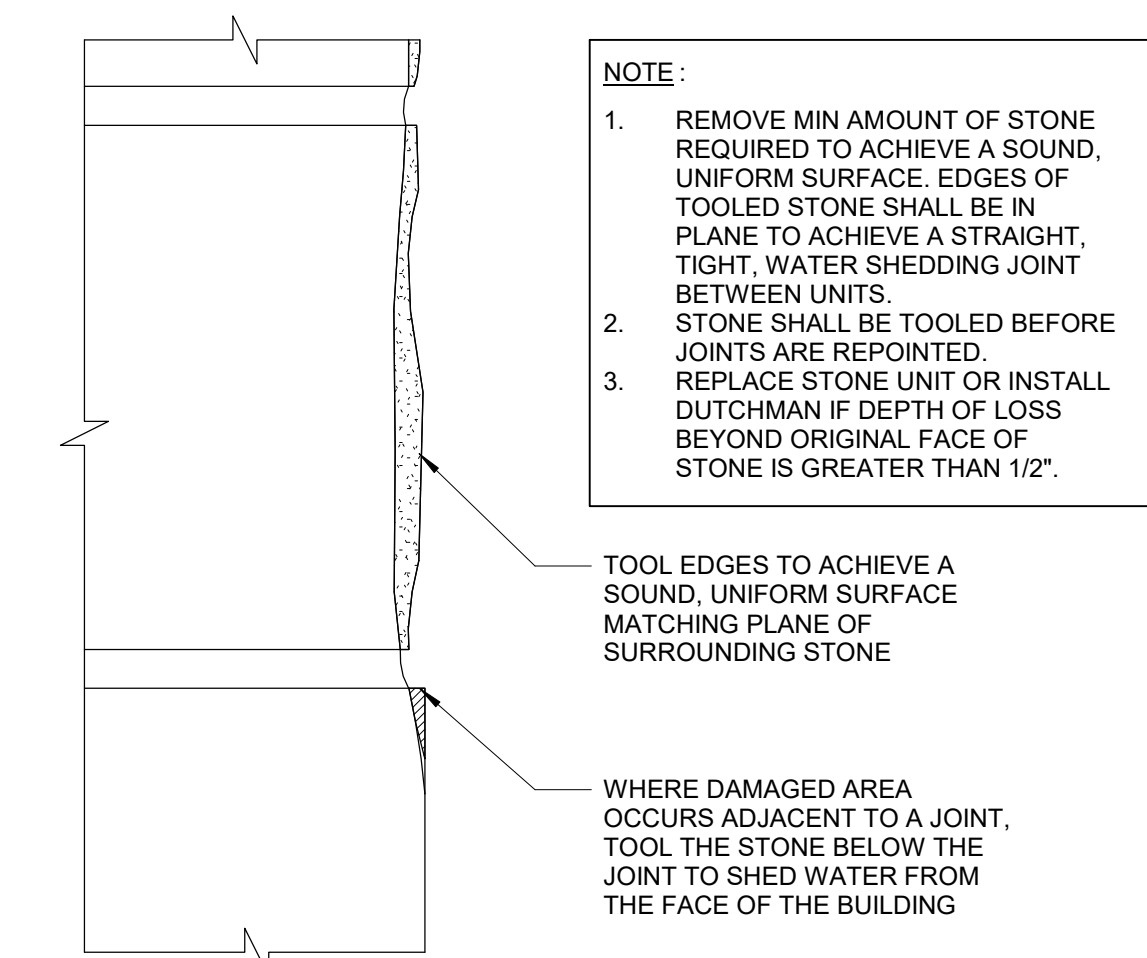
9 TYPICAL MASONRY REPOINTING  
6" = 1'-0"



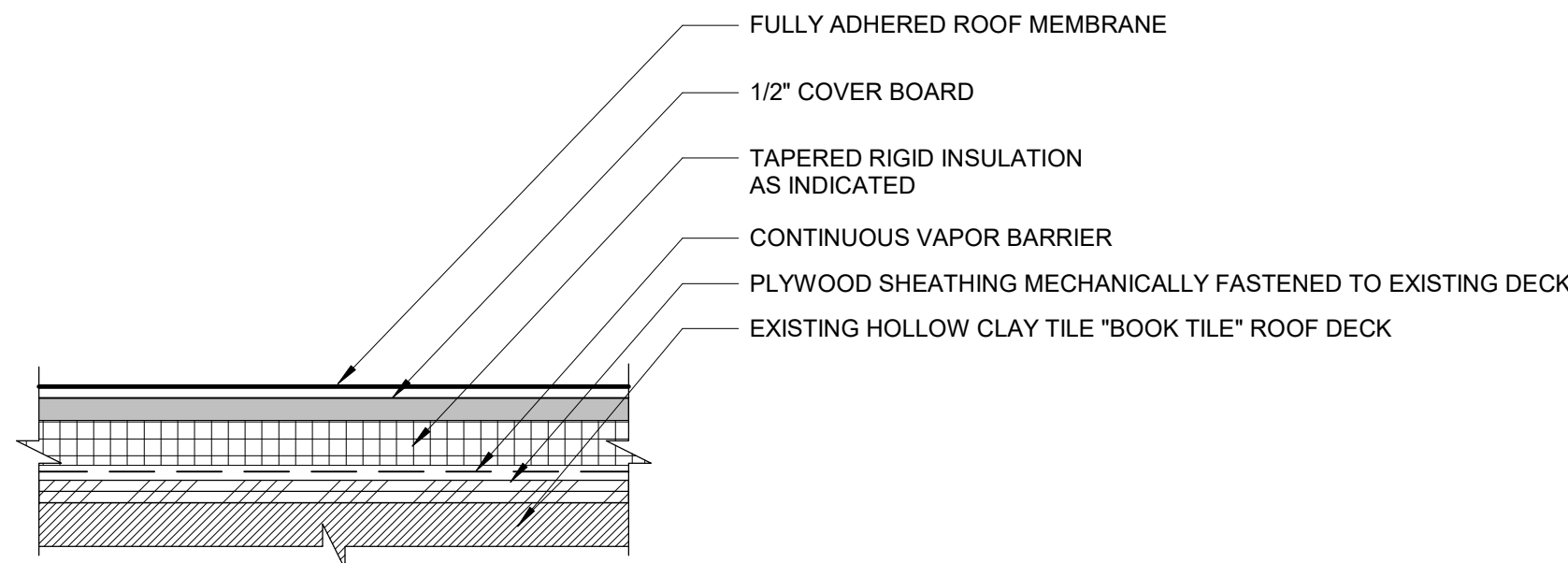
10 INJECTION POINTS DETAIL  
1 1/2" = 1'-0"



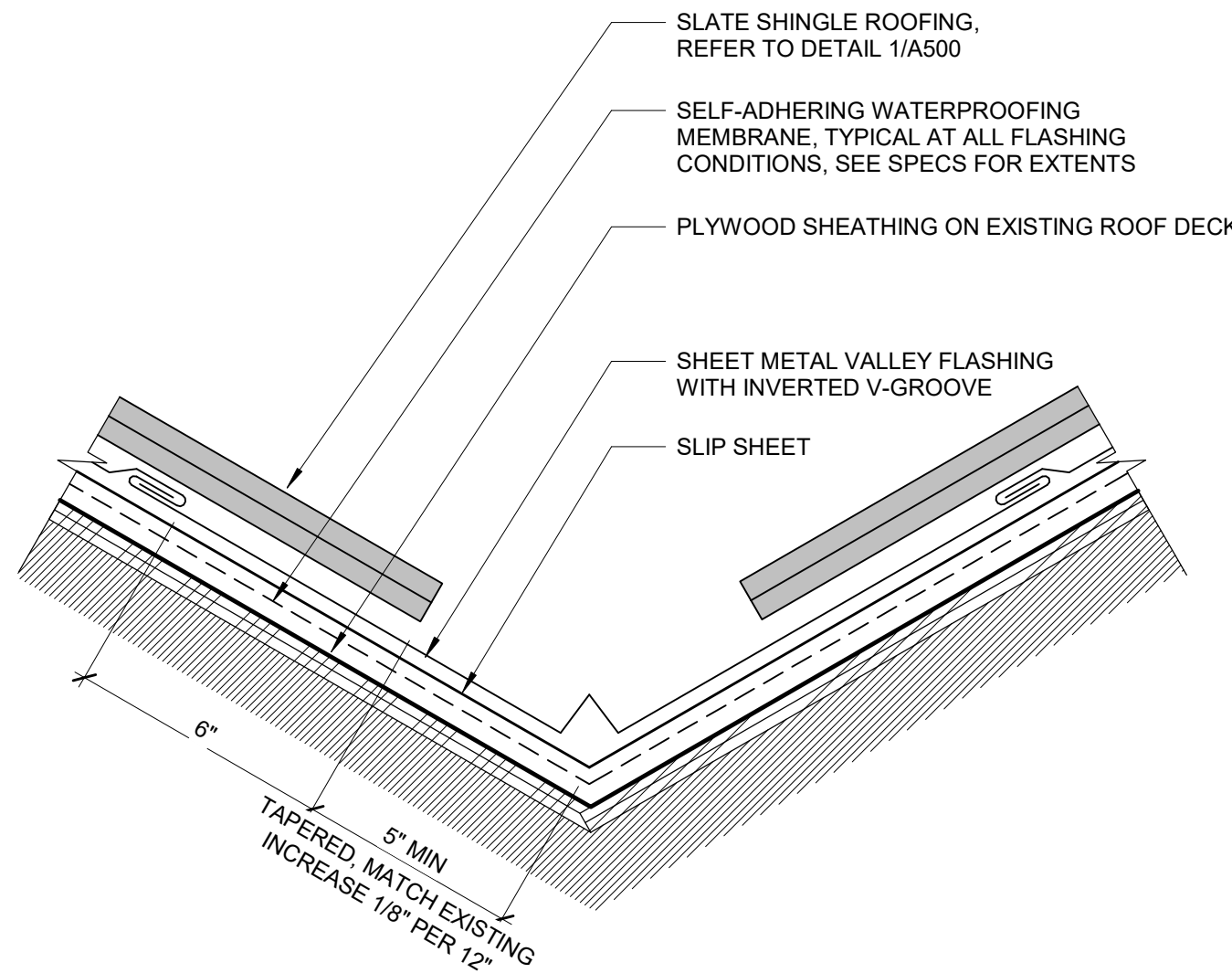
11 TYPICAL STRUCTURAL CRACK REPAIR  
3" = 1'-0"



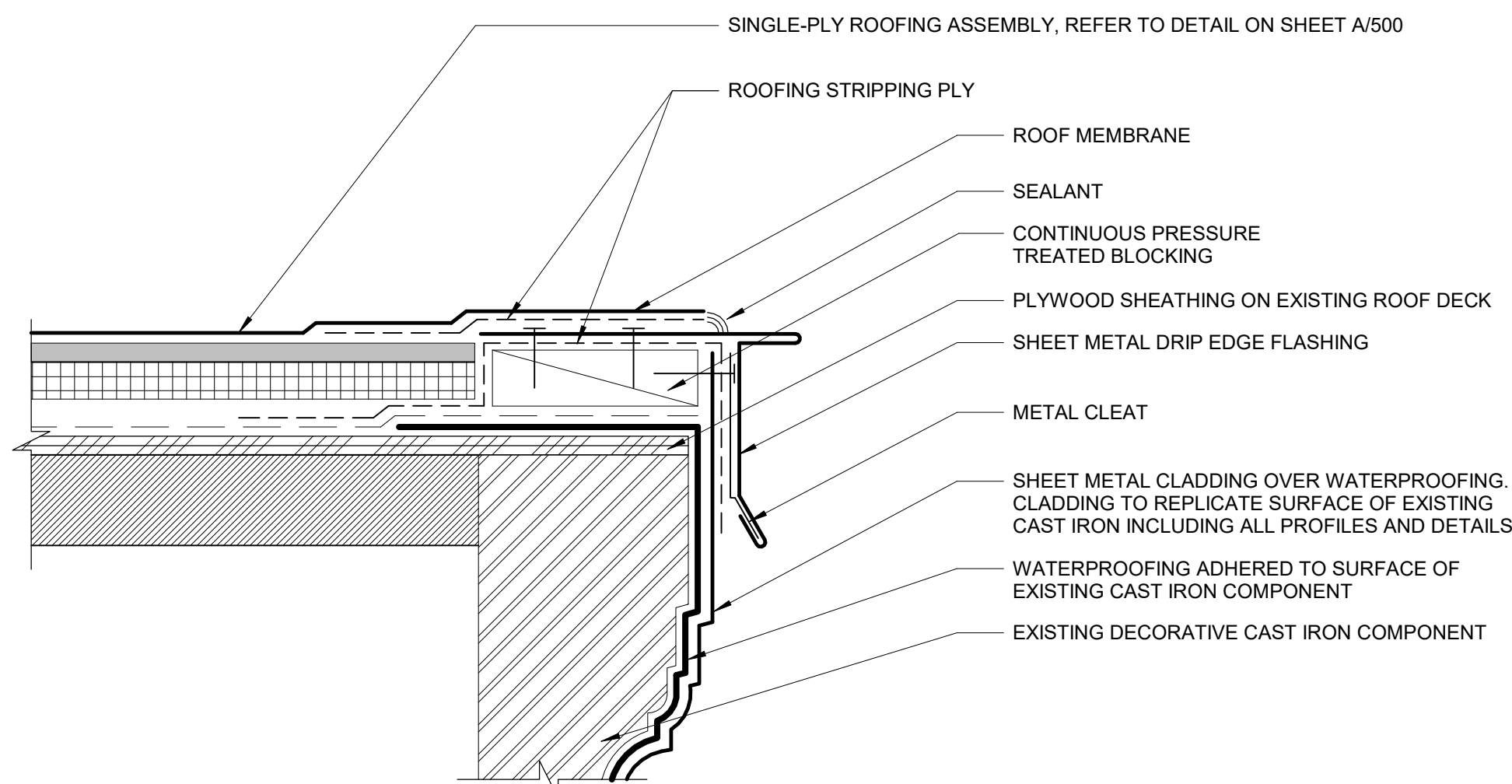
12 TOOLING REPAIR  
3" = 1'-0"



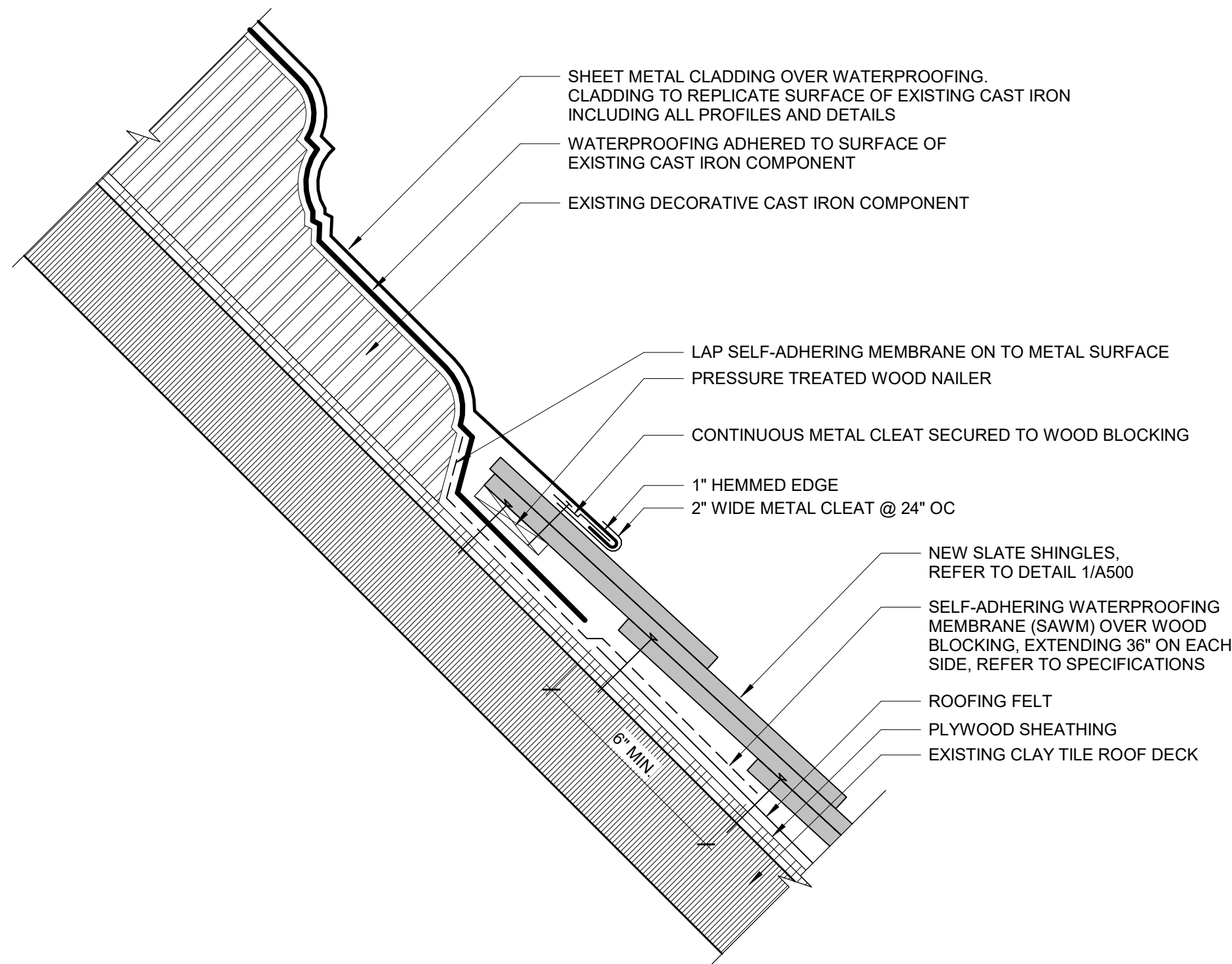
5 SINGLE-PLY ROOF ASSEMBLY  
3" = 1'-0"



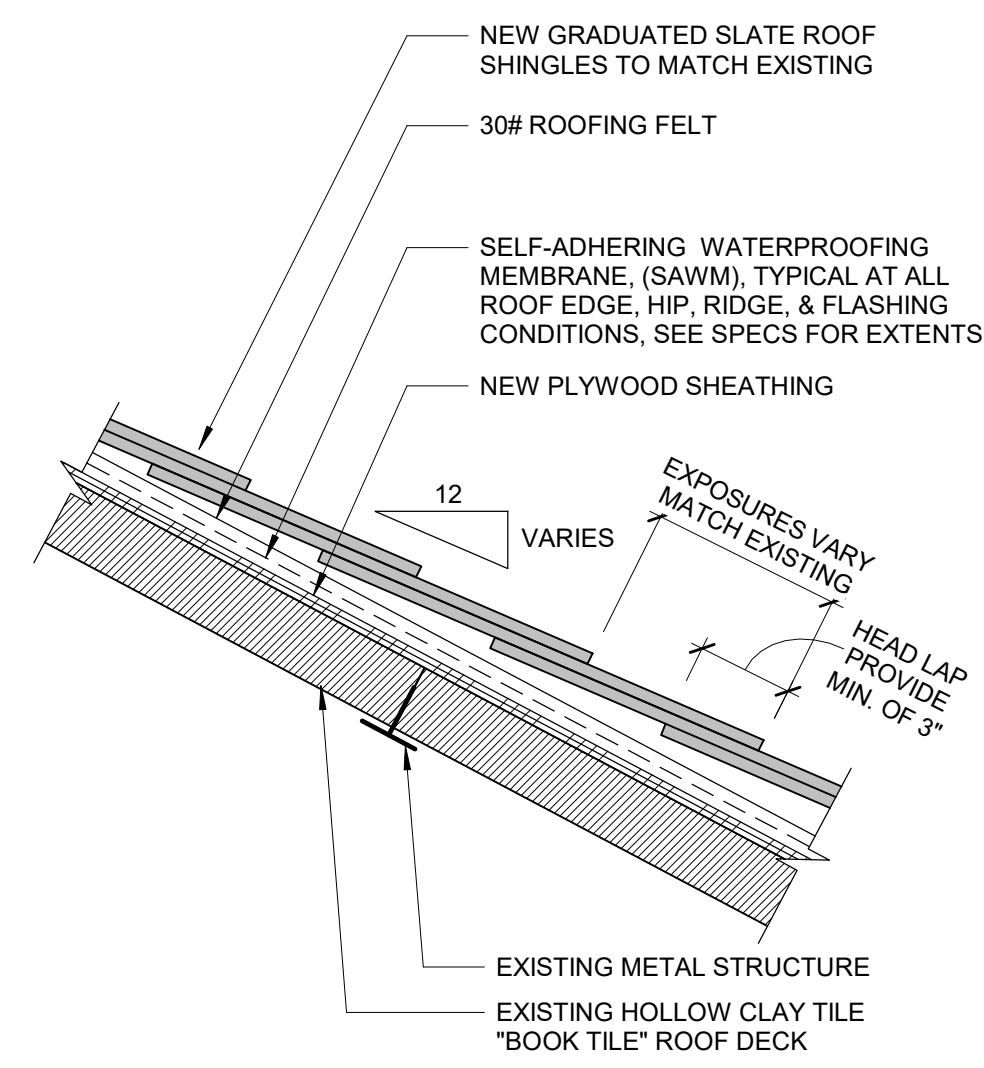
6 SLATE ROOF OPEN VALLEY FLASHING  
3" = 1'-0"



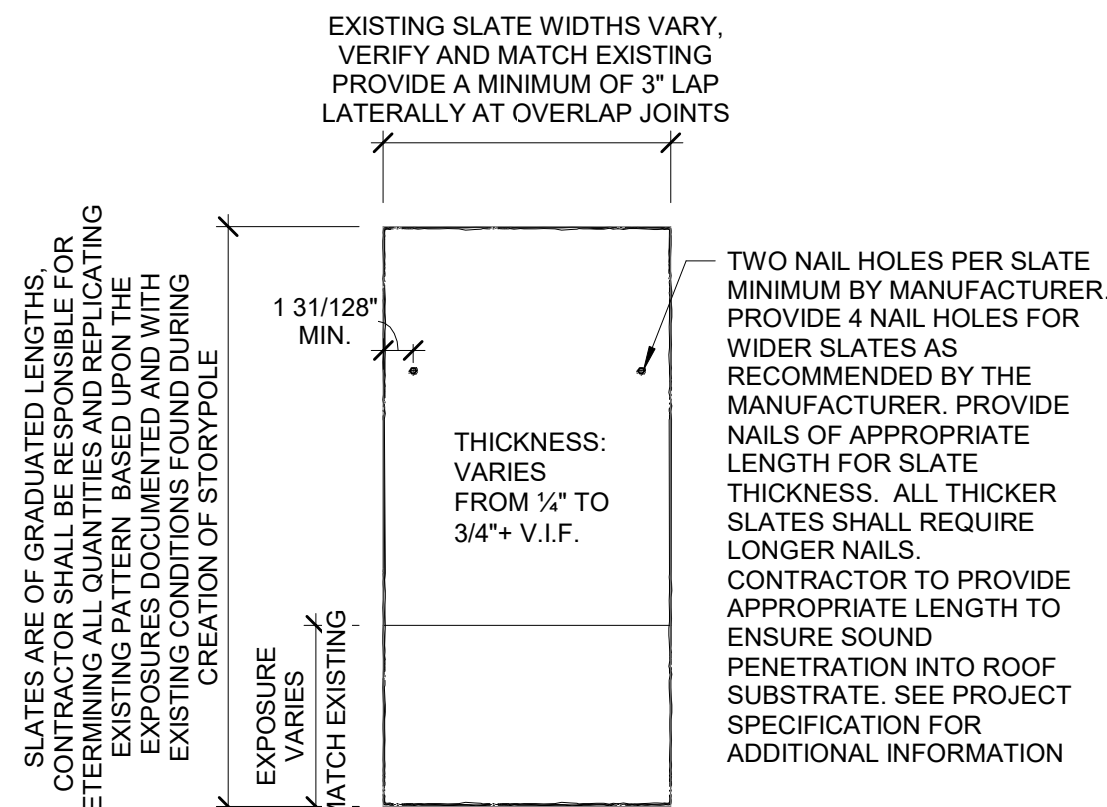
7 LOW SLOPE TO SLATE ROOF TRANSITION  
3" = 1'-0"



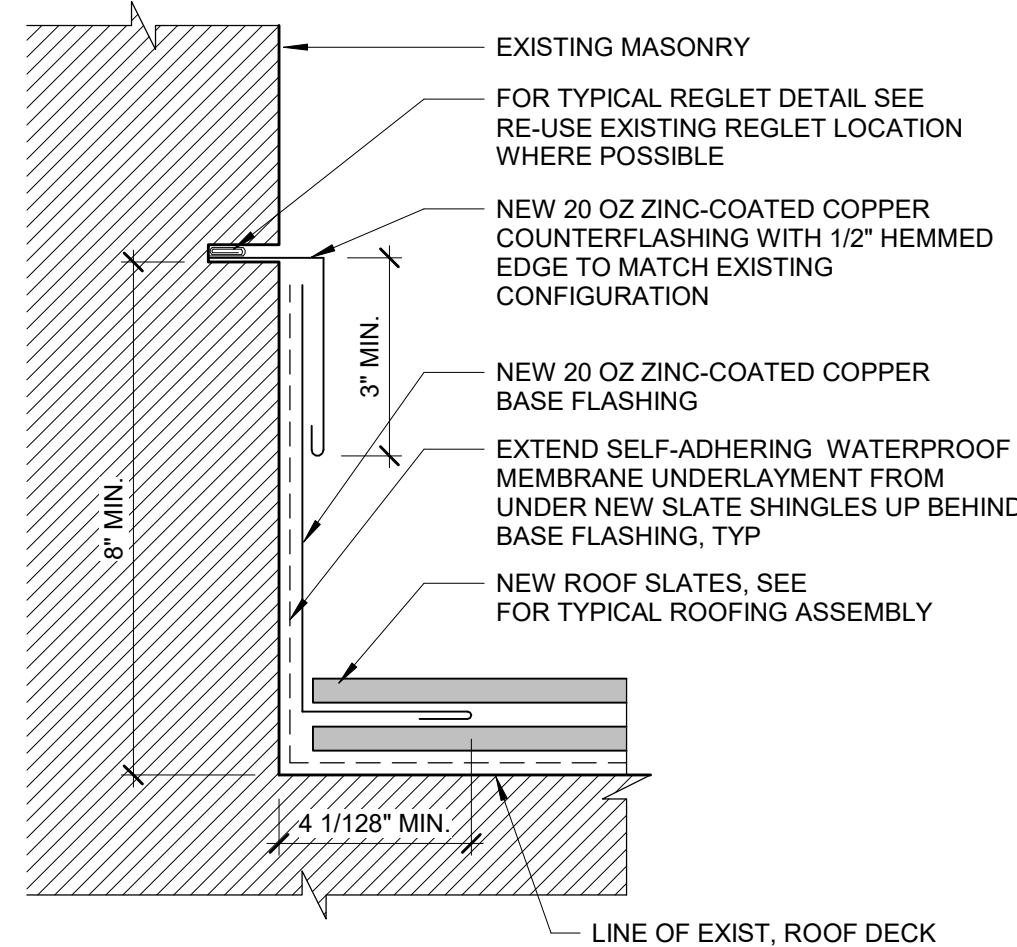
8 TYPICAL CLADDING TO SLATE TRANSITION DETAIL  
3" = 1'-0"



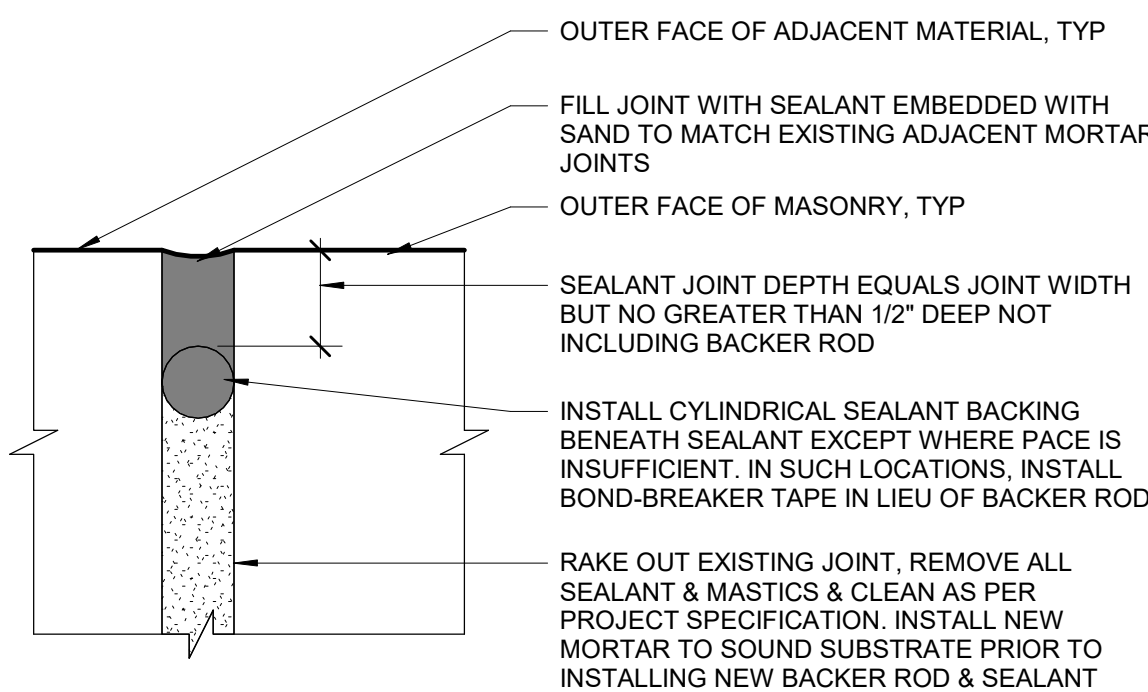
1 SLATE ROOFING ASSEMBLY  
1 1/2" = 1'-0"



2 TYPICAL ROOF SLATE  
1 1/2" = 1'-0"



3 TYPICAL STEP FLASHING DETAIL AT SLATE ROOF  
3" = 1'-0"



4 TYPICAL SEALANT JOINT DETAIL  
1/2" = 1'-0"

PROVIDENCE CITY  
HALL EXTERIOR  
RESTORATION,  
PHASE I

25 Dorrance Street  
Providence, RI  
CITY OF PROVIDENCE

NO	DATE	DESCRIPTION

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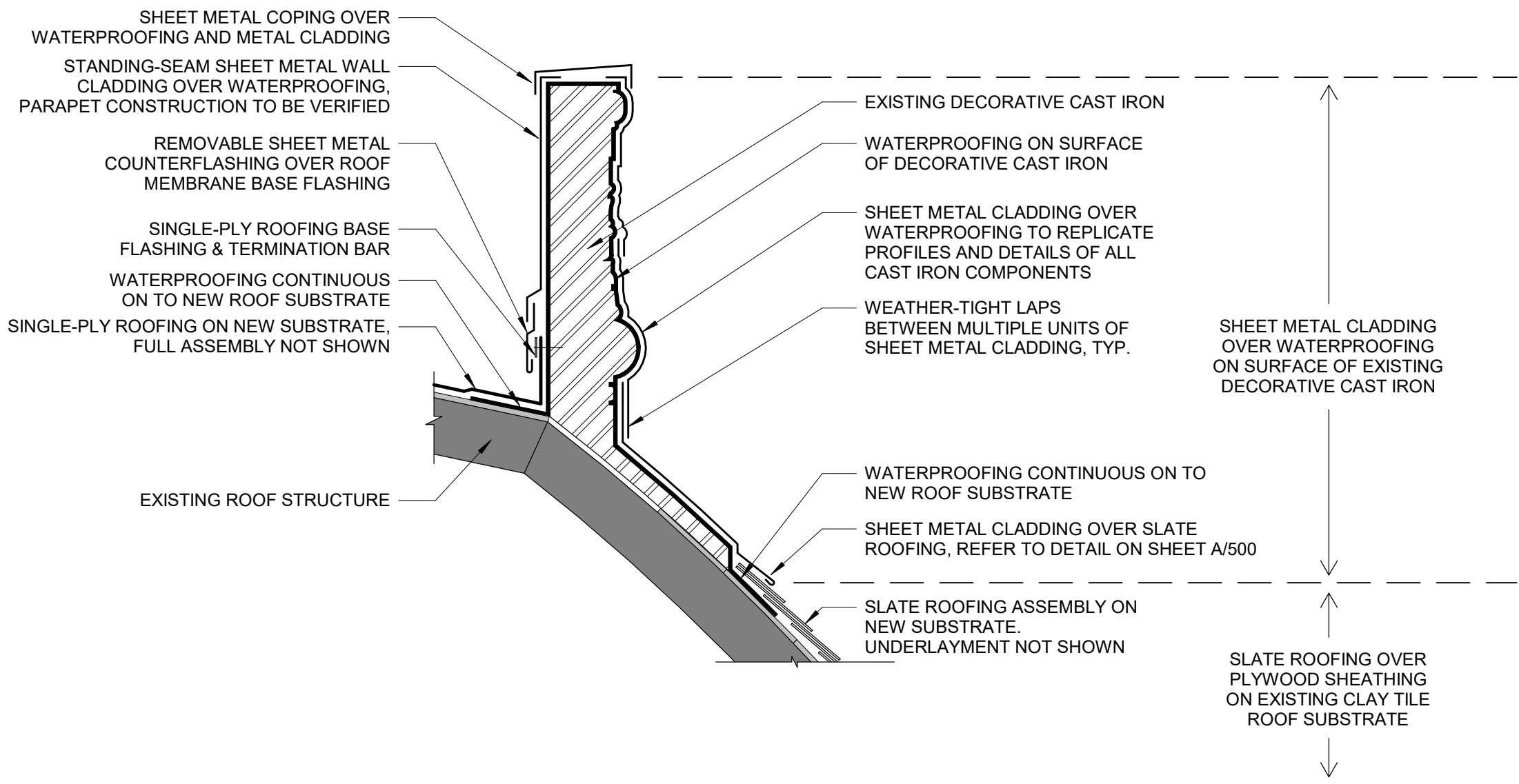
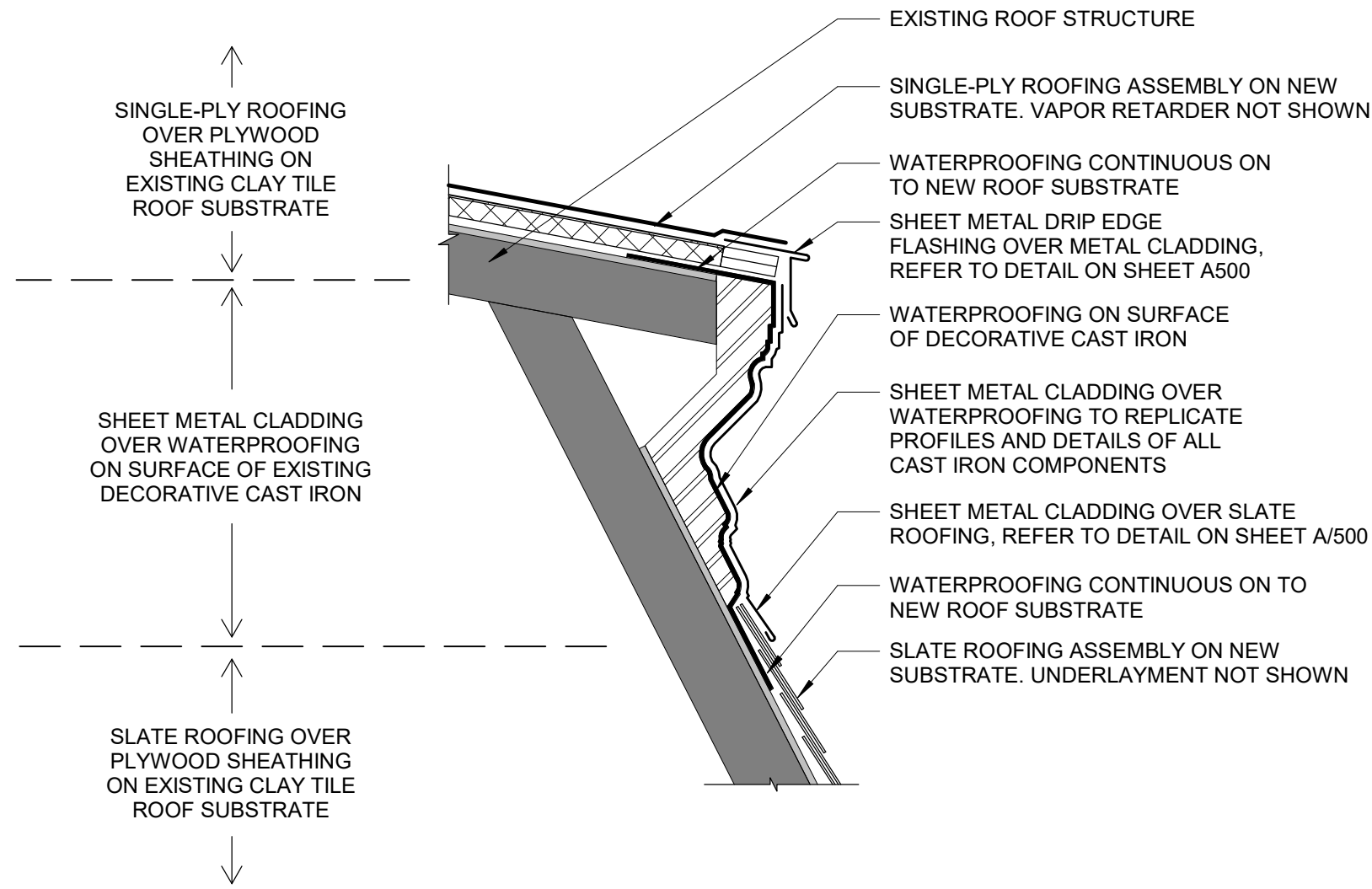
DATE: 3/12/25  
DRAWN BY: Author  
JOB NO: 2417  
SCALE: As indicated

EXTERIOR DETAILS

A500

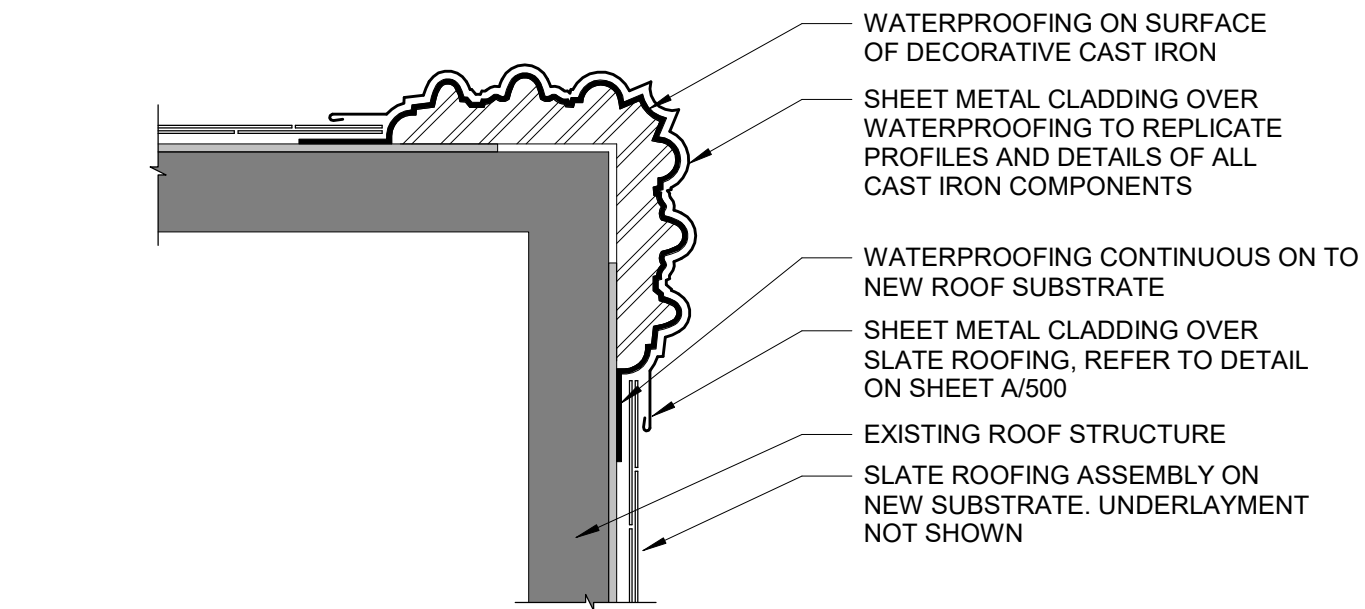
SCHEMATIC DESIGN - DRAFT



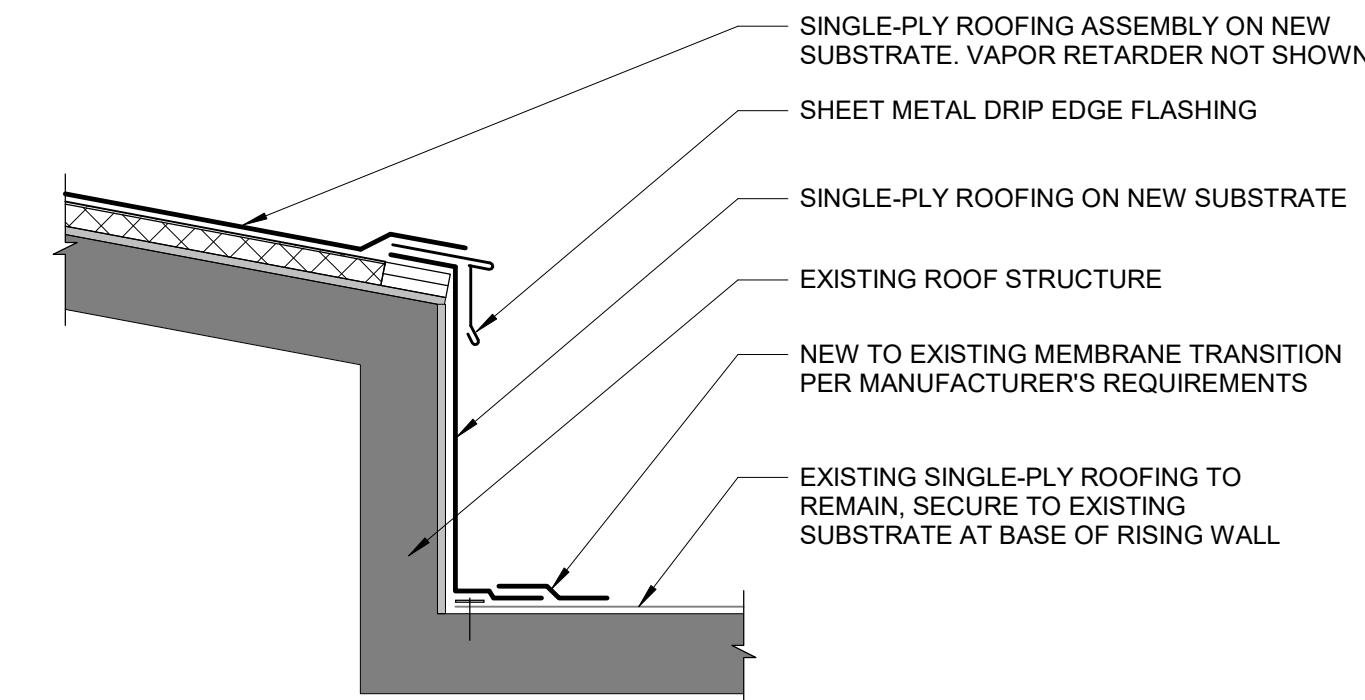


6 SINGLE-PLY TO SLATE ROOF TRANSITION AT PAVILION  
1/2" = 1'-0"

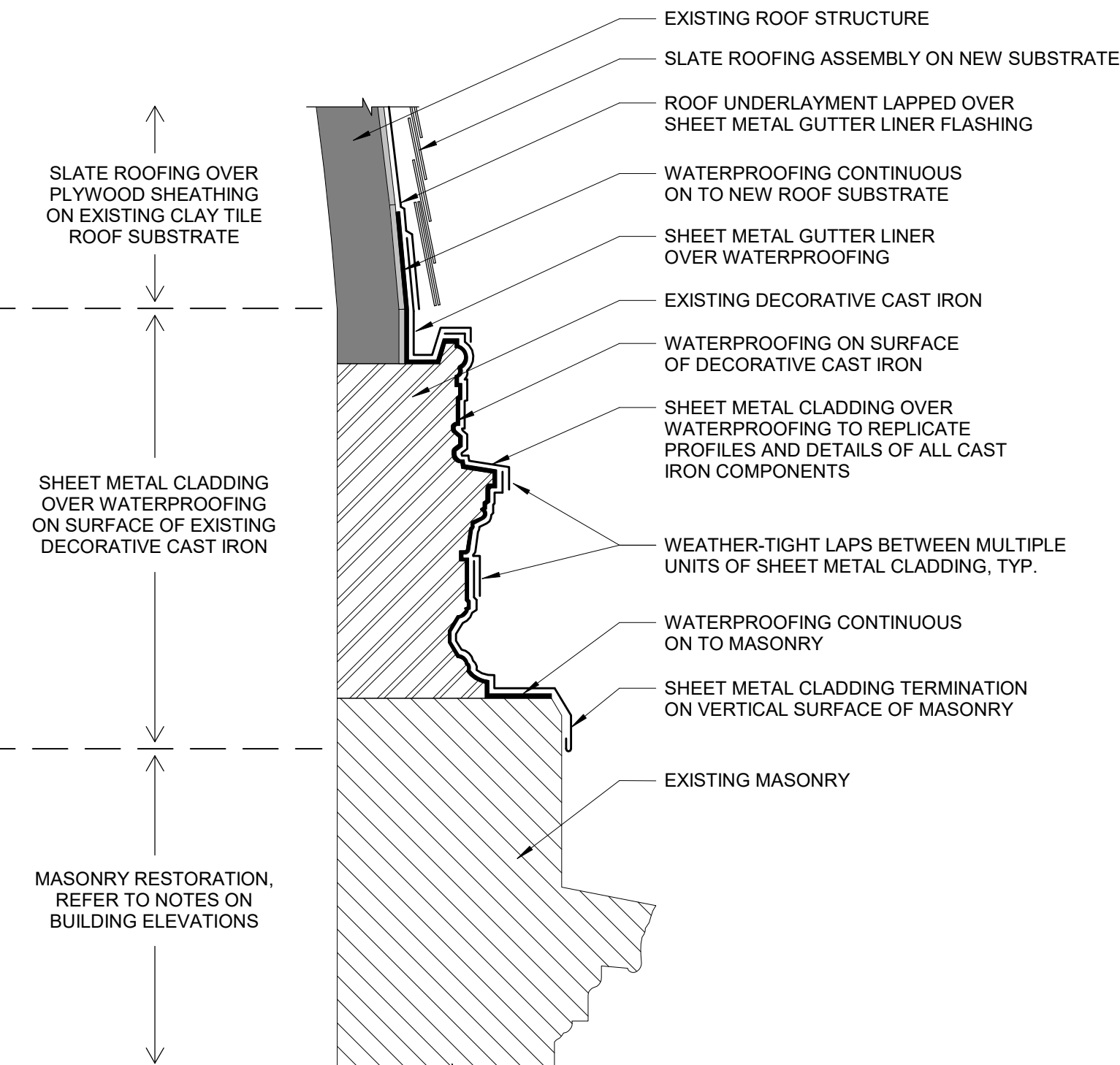
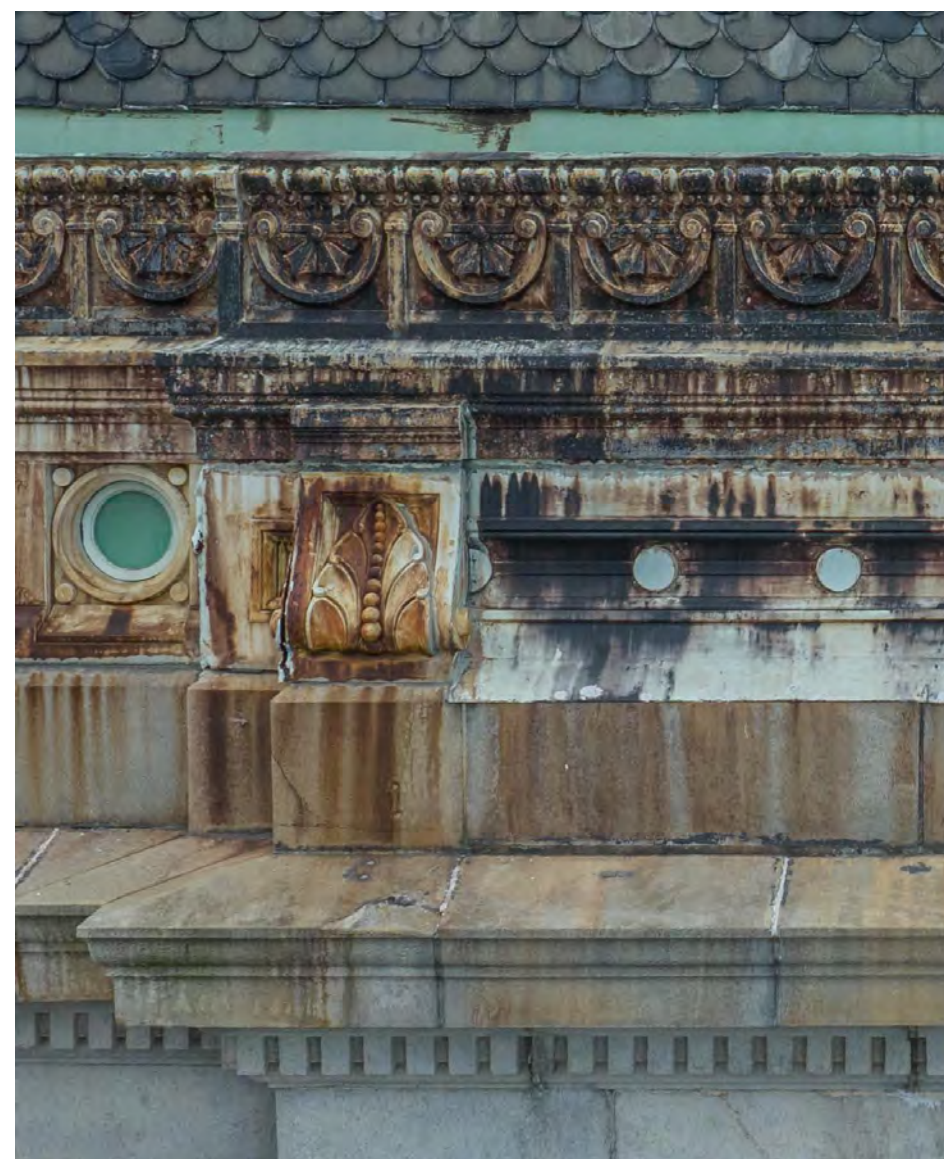
1 TRANSITION AT DOME PARAPET  
1/2" = 1'-0"



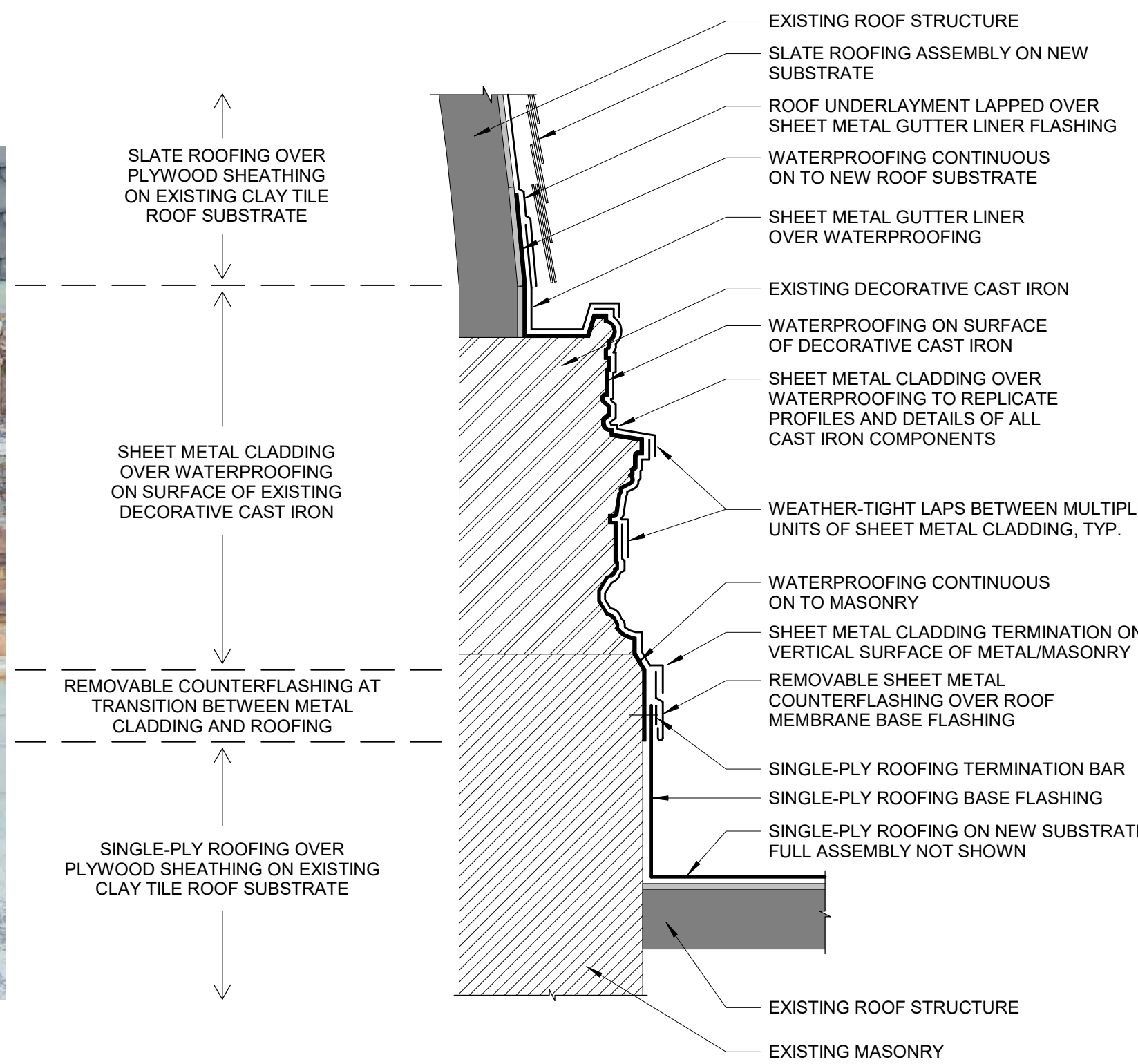
7 TRANSITION AT DOME HIP  
1/2" = 1'-0"



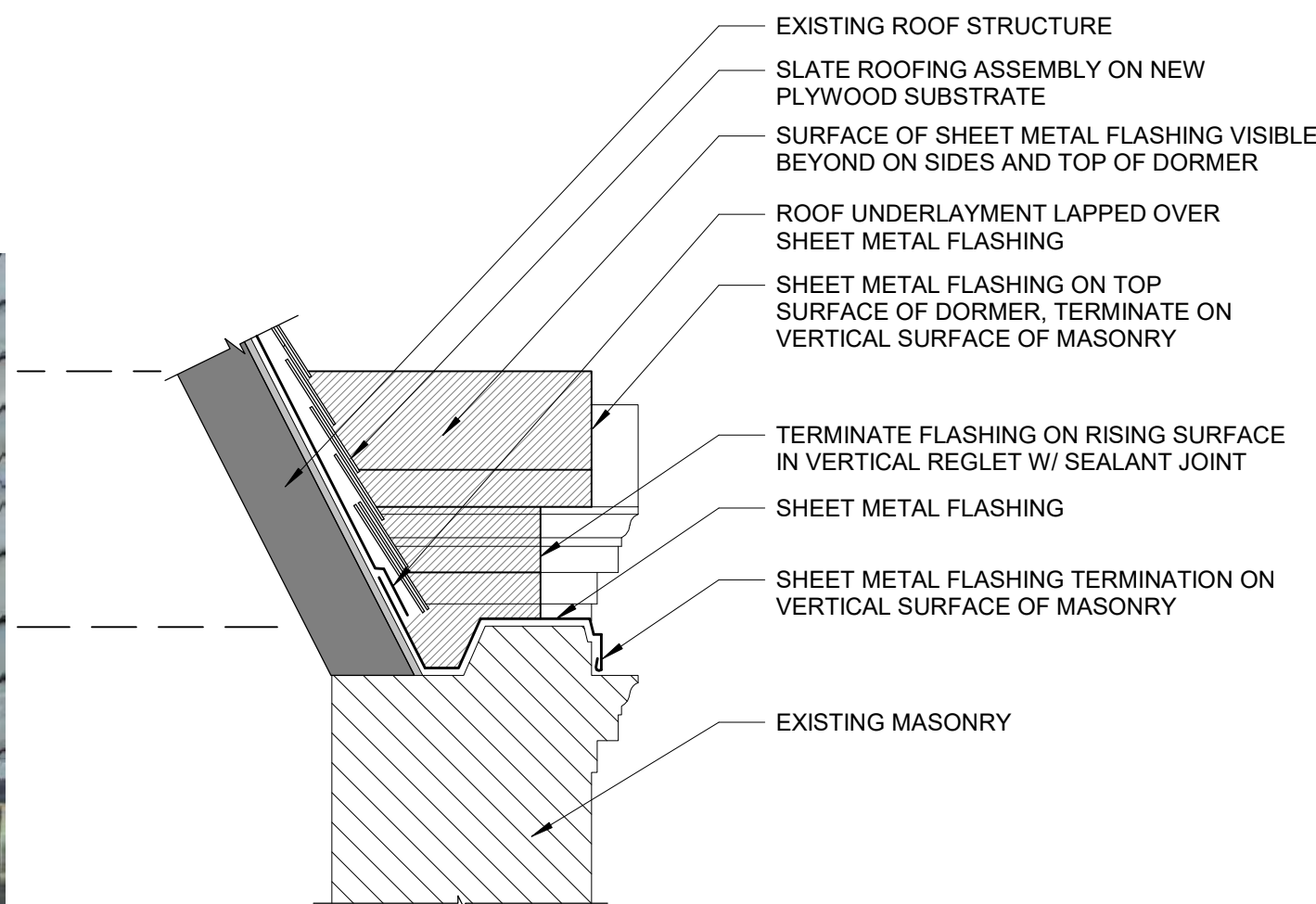
8 SINGLE-PLY ROOFING TRANSITION AT PAVILION TO MAIN ROOF  
1/2" = 1'-0"



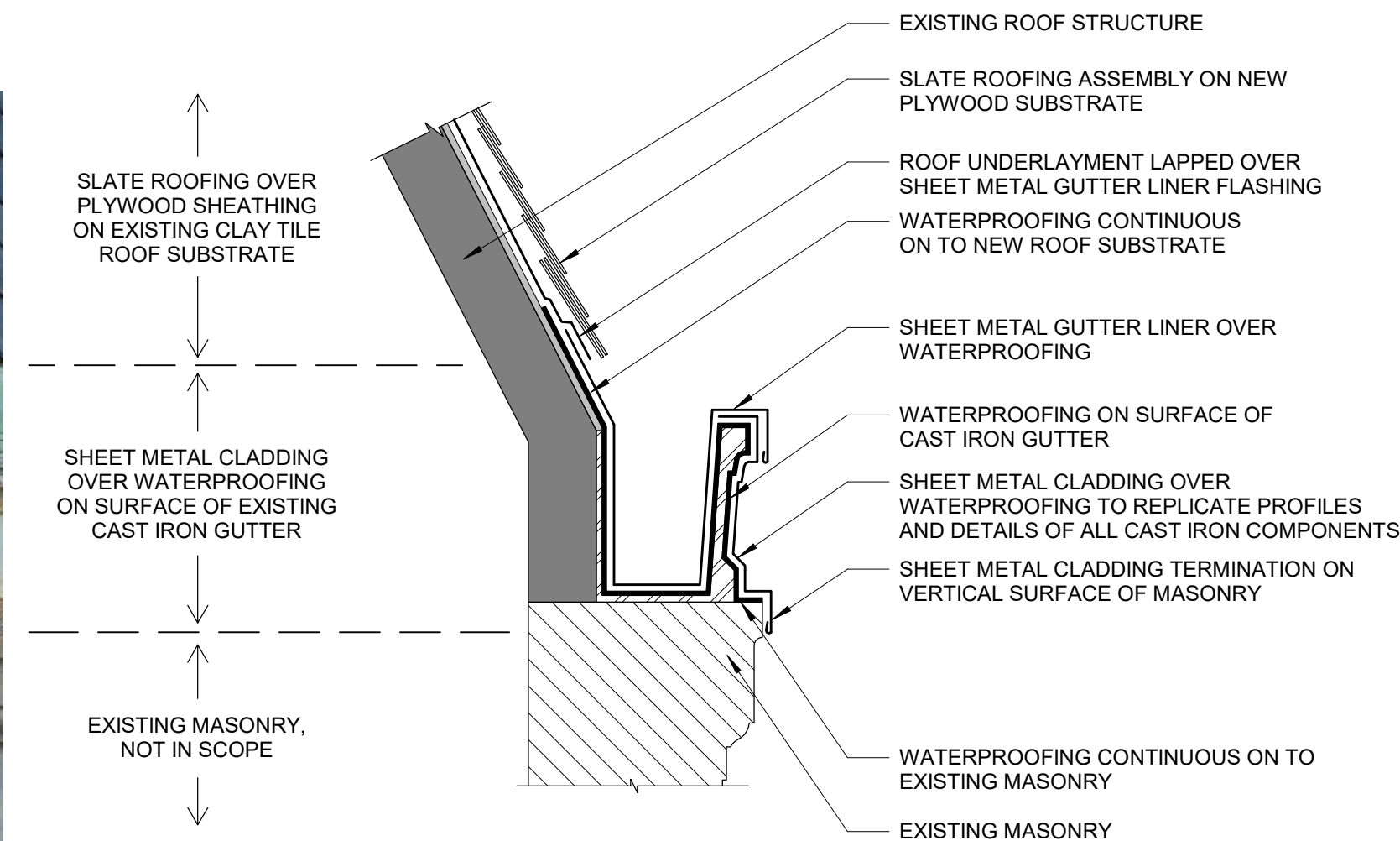
4 TRANSITION AT BASE OF DOME TO EXPOSED MASONRY  
1/2" = 1'-0"



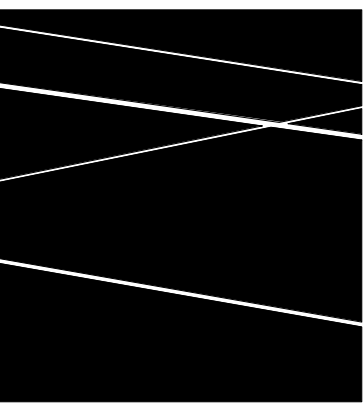
2 TRANSITION AT BASE OF DOME TO SINGLE-PLY ROOFING  
1/2" = 1'-0"



5 TRANSITION AT BASE OF PAVILION - DORMER  
1/2" = 1'-0"



3 TRANSITION AT BASE OF PAVILION - GUTTER  
1/2" = 1'-0"



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## PROVIDENCE CITY HALL EXTERIOR RESTORATION, PHASE I

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JOB NO: 2417  
SCALE: 1/2" = 1'-0"

EXTERIOR DETAILS

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SCHEMATIC DESIGN - DRAFT