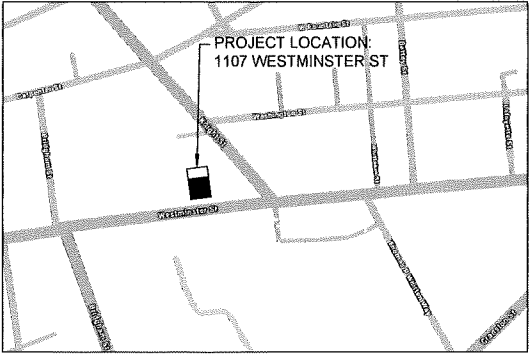




MINOR LAND DEVELOPMENT
MULTI-FAMILY AND COMMERCIAL
1107 Westminster, Providence RI
Plat 32, Lot 50



LOCATION MAP

DRAWING INDEX

- G001.00 TITLE SHEET
- C3 OF 7 EXISTING CONDITIONS AND BOUNDRY SURVEY
C4 OF 7 PROPOSED SITE PLAN
C4 OF 7 GRADING & DRAINAGE PLAN
C5 OF 7 EROSION CONTROL PLAN
C6 OF 7 UTILITY PLAN
C7 OF 7 CONSTRUCTION DETAILS
- G100.00 SITE PLAN
ROOF PLAN
LANDSCAPE PLAN
PLANT MATERIAL LIST
- A100.00 FLOOR PLANS
LIGHTING PLAN
LIGHT FIXTURE SCHEDULE
- A200.00 BUILDING ELEVATIONS
MATERIAL SCHEDULE
FACADE TRANSPARENCY AREA TABLE
SIGNAGE AREA TABLE

ZONING REQUIREMENTS

1107 WESTMINSTER STREET, PROVIDENCE RI
ZONING DISTRICT: C-2

ZONING REQUIREMENTS – TABLE 5-1, OTHERWISE NOTED

MIXED USE
COMMERICAL
DWELLING – MULTI-FAMILY, TABLE 12-1

FIRST STORY HEIGHT
MINIMUM.....11' NON-RESIDENTIAL
PROPOSED.....12'

BUILDING HEIGHT
MAXIMUM.....50' / 4 STORY MAX
PROPOSED.....56' / 5 STORY, AMENITY PROVIDED
*PER 1905 E1 – 1,900 SF COMMERICAL PROVIDED

BUILDING COVERAGE
MAXIMUM.....100% (6,325 SF)
PROPOSED.....59% (3,780 SF)

IMPERVIOUS SURFACE COVERAGE
MAXIMUM.....100% (6,325 SF)
PROPOSED.....100% (6,325 SF)

FRONT SETBACK
REQUIRED.....0 TO 5 FT PER 503.A.6
PROPOSED.....0 FT

FRONT 5TH STORY SETBACK
REQUIRED.....AHJ
PROPOSED.....5 FT

SIDE SETBACK
MINIMUM.....0 FT
PROPOSED.....0 FT

REAR SETBACK
MINIMUM.....0 FT
PROPOSED.....0 FT

STREET FACING FACADE TRANSPARENCY
SEE SHEET A200

SIGNAGE COVERAGE
SEE SHEET 2100

PARKING REQUIREMENTS

PARKING
MINIMUM.....NONE PER 1410.B.7 C-2 LOT <10,000 SF
PROPOSED.....5 SPACES W/ 1 ADA COMPLIANT

PROJECT LOCATION

1107 WESTMINSTER
MIXED USE
1107 WESTMINSTER STREET
PROVIDENCE, RI 02907

ARCHITECT

FREECCELL ARCHITECTURE LLC
67 35TH STREET, UNIT B516
BROOKLYN, NY 11232
718-643-4160

STRUCTURAL ENGINEER

M/E/P/FP

CIVIL ENGINEER

LDEC ENGINEERING &
CONSULTING, LLC
227 HIGH POINT AVENUE, UNIT 6
PORTSMOUTH, RI 02871
401-354-2050

LANDSCAPE ARCHITECT

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ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.

REVISIONS



DRAWING INFORMATION

COVER SHEET

Date: APRIL 15, 2025
Scale: AS NOTED
Drawn:
Printed/Region: ZONING SET

SHEET NUMBER

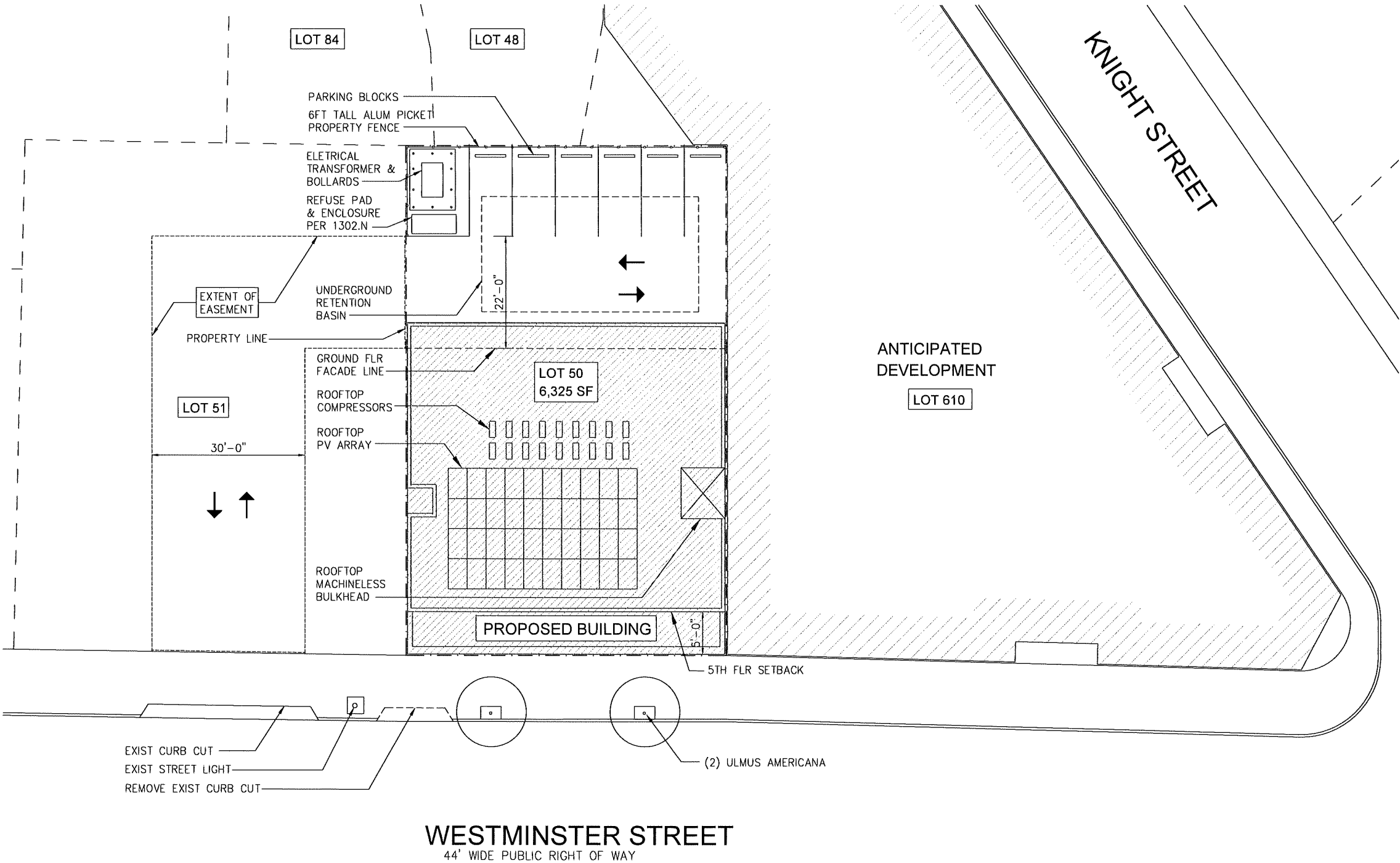
G001.00

PROJECT PLANT MATERIAL LIST						
QTY	BOTANICAL NAME	COMMON NAME	SIZE	CANOPY SIZE	CANOPY AREA	REMARK
2	ULMUS AMERICANA "PRINCETON"	AMERICAN ELM	2" CAL	LARGE 1,000SF	2,000SF	DED RESISTANT
TOTAL CANOPY AREA OF NEW TREES					2,000SF	
LOT 50: 6,300 SF TOTAL TREE COVERAGE REQUIRED (15%): 945 SF TOTAL TREE COVERAGE PROVIDED: 2,000 SF						



ALUMINUM PICKET PROPERTY FENCE, PER 604.C

2 FENCE ELEVATION
1/8" = 1'-0"



1 SITE & LANDSCAPE PLAN
3/32" = 1'-0"

PROJECT LOCATION
1107 WESTMINSTER
MIXED USE
1107 WESTMINSTER STREET
PROVIDENCE, RI 02907

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FREECELL ARCHITECTURE LLC
67 35TH STREET, UNIT 6515
BROOKLYN, NY 11232
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REVISIONS



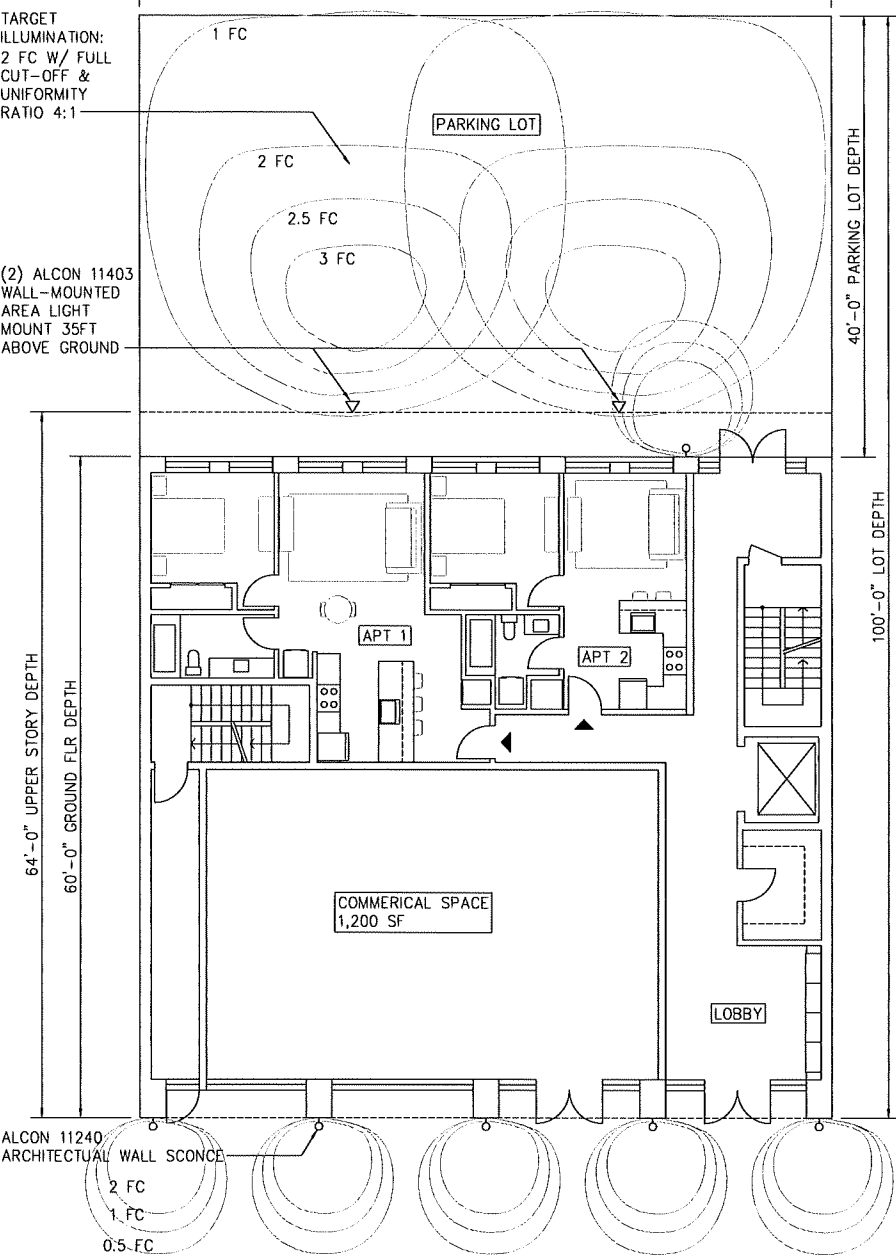
DRAWING INFORMATION

SITE PLAN

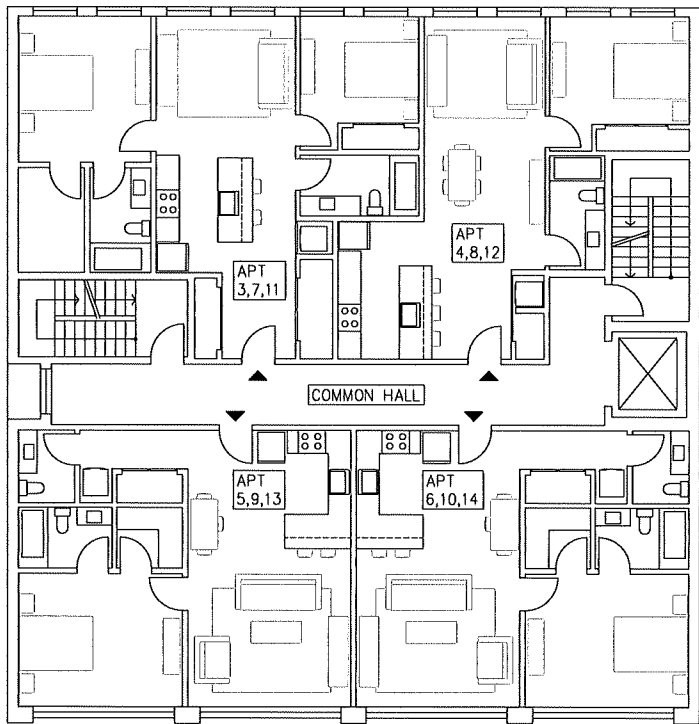
Date: APRIL 15, 2025
Scale: AS NOTED
Drawn:
Project/Revision: ZONING SET

SHEET NUMBER

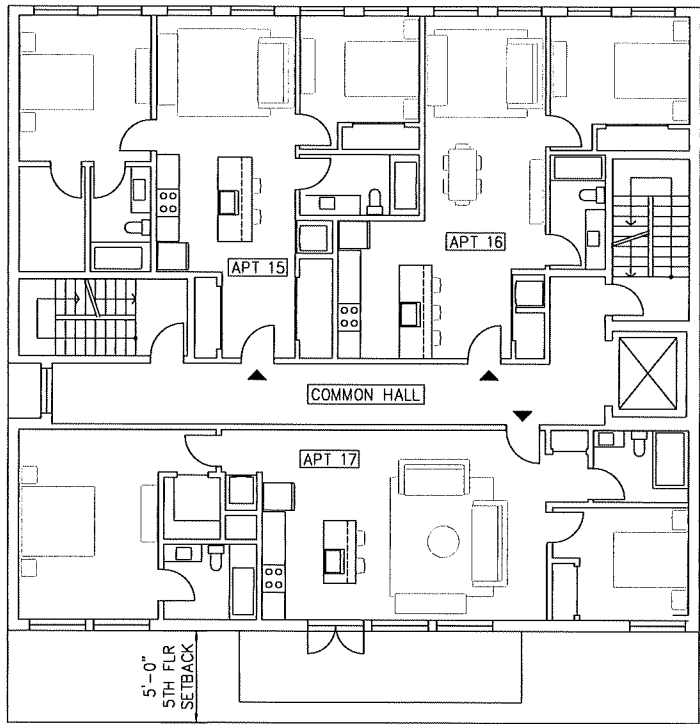
G100.00



1 GROUND FLOOR & LIGHTING PLAN
1/8" = 1'-0"

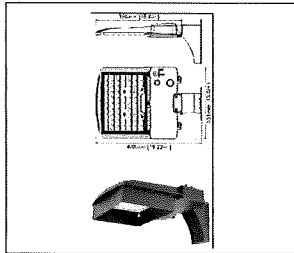


2 FLOORS 2, 3, 4
1/8" = 1'-0"



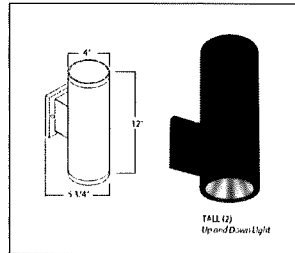
3 FLOOR 5
1/8" = 1'-0"

PARKING LOT LIGHT



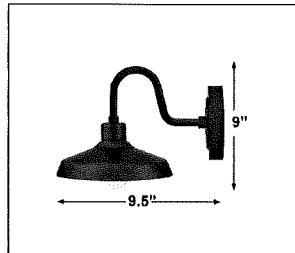
ALCAN 11403
WALL MOUNT 140W LED
LUMENS: 20,000, 18,500, 13,800,
9,400 ADJUSTABLE
TYPE 4 OPTICS W/ FULL GLARE VISOR
DARK SKY COMPLIANT

FRONT FACADE LIGHT



ALCAN 11240
ARCHITECTURAL WALL SCONCE
30W LED
LUMENS: 2,400
4,000K

GOOSENECK SIGN LIGHT



HINKLEY 1207
GOOSENECK WALL LIGHT
15W LED
LUMENS: 1,200

4 EXTERIOR LIGHT FIXTURES
N.T.S.

PROJECT LOCATION
**1107 WESTMINSTER
MIXED USE**
1107 WESTMINSTER STREET
PROVIDENCE, RI 02907

ARCHITECT
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87 33RD STREET, UNIT B516
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REVISIONS



DRAWING INFORMATION

FLOOR PLANS

Date: APRIL 15, 2025
Site: AS NOTED
Drawn:
Phase/Revision: ZONING SET

SHEET NUMBER

A100.00

REVISIONS	



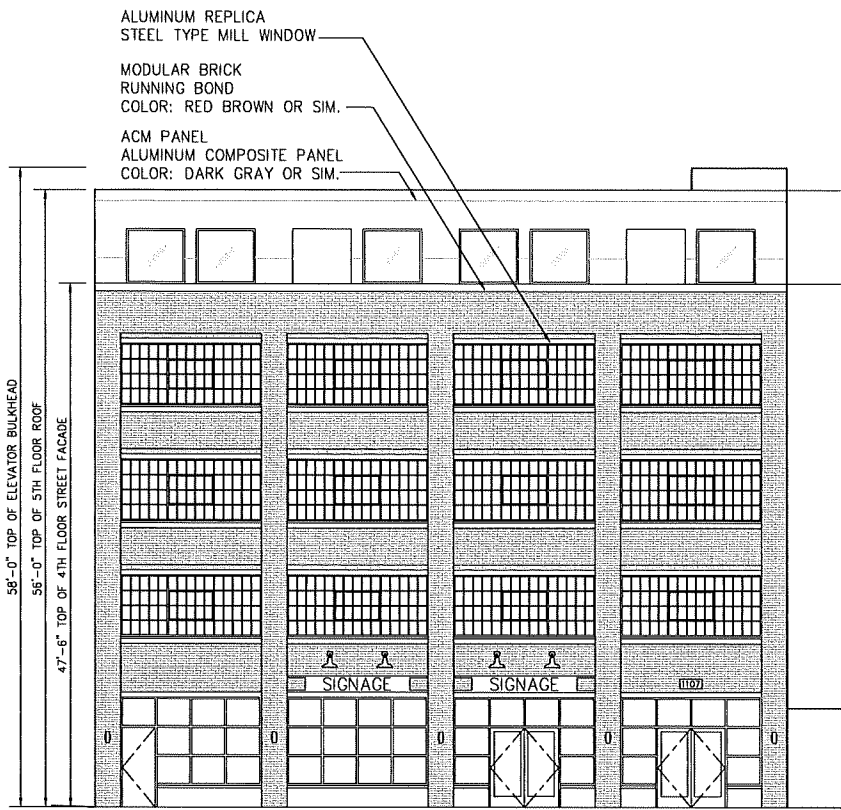
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ELEVATIONS

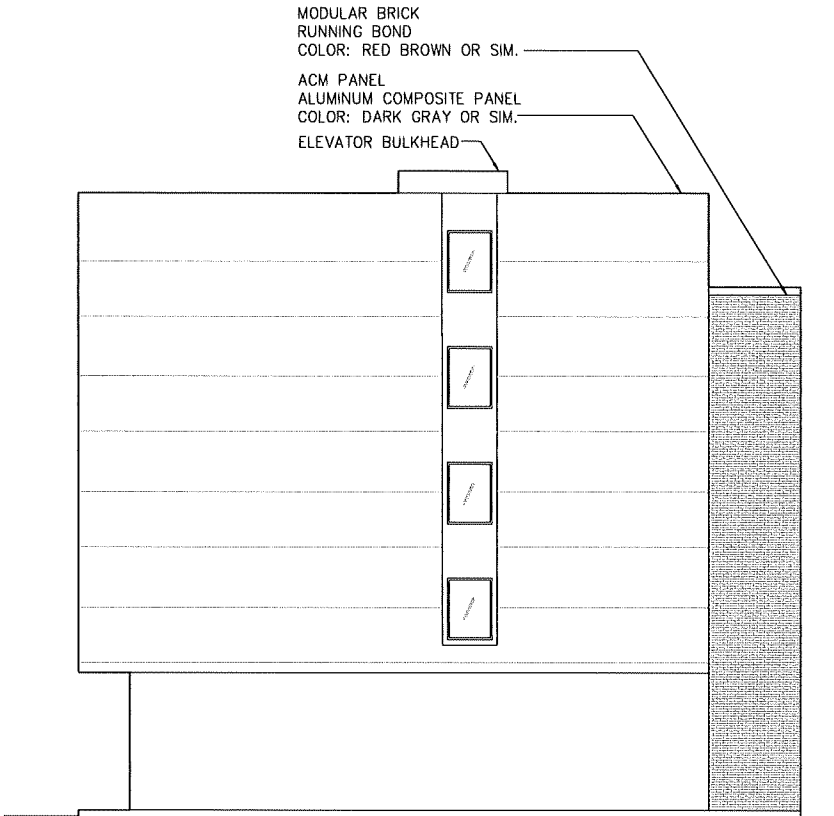
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Project/Revision: ZONING SET

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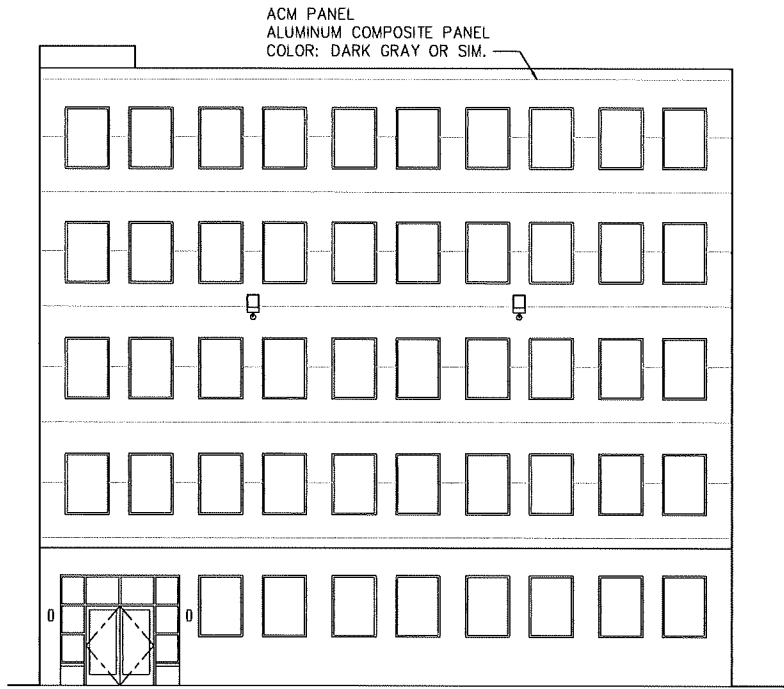
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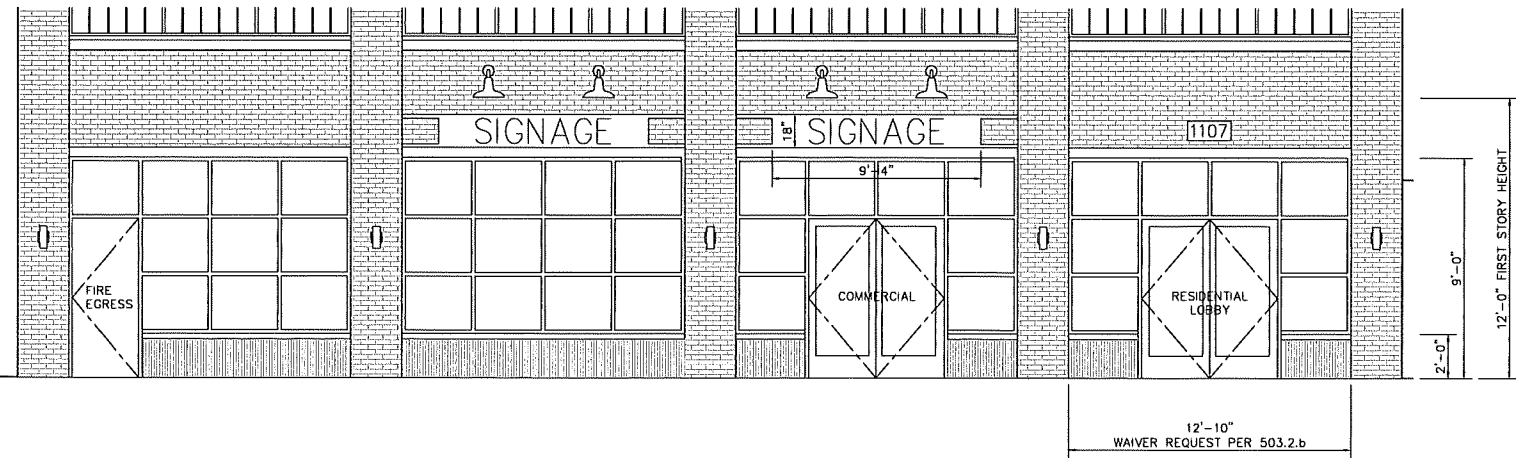
2 SOUTH (WESTMINSTER) ELEVATION
1/8" = 1'-0"



3 WEST (SIDE) ELEVATION
1/8" = 1'-0"



4 NORTH (REAR) ELEVATION
1/8" = 1'-0"



1 GROUND FLOOR (WESTMINSTER) ELEVATION
1/4" = 1'-0"

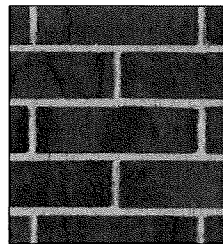
FENESTRATION AND SIGNAGE AREA CALCS

GROUND FLOOR FENESTRATION REQUIREMENT PER 503.3.d
TRANSPARENT AREA BETWEEN 2FT AND 9FT ABOVE GROUND
TOTAL GROUND FLOOR AREA.....440 SF
REQUIRED.....220 SF (50%)
PROPOSED.....315 SF (72%)

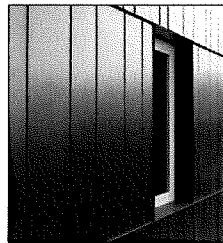
UPPER STORY FENESTRATION REQUIREMENT PER 503.3.d & 1202.K.3b
TRANSPARENT AREA BETWEEN 2ND AND 5TH FLOOR
TOTAL UPPER FACADE AREA.....2,600 SF
REQUIRED.....650 SF (25% PER 1202.K.3b)
PROPOSED.....840 SF (32%)

SIGNAGE PER 1607.K
ALLOWABLE AREA.....2X63 LIN FT = 126 SF
PROPOSED AREA.....28 SF
18" HIGH METAL SIGN, GOOSENECK ILLUMINATION

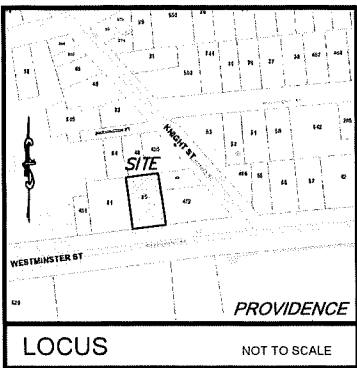
MATERIAL SWATCHES



RUNNING BOND MODULAR BRICK
COLOR: RED BROWN OR SIM.



ALUMINUM COMPOSITE PANEL
COLOR: DARK GRAY OR SIM.



NOTES:

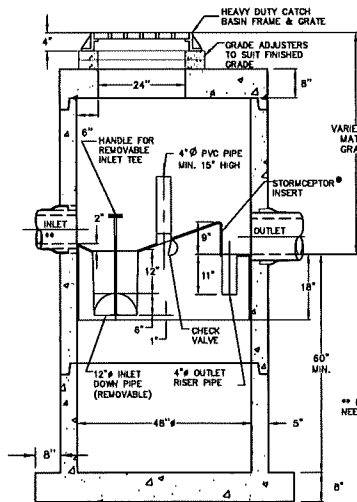
- EXISTING CONDITIONS INFORMATION WAS COMPILED FROM "BOUNDARY SURVEY & EXISTING CONDITIONS PLAN" BY CROSSMAN ENGINEERING, DATED MARCH 26, 2025.
- ELEVATIONS ARE REFERENCED TO NACD88 DATUM.
- THE SITE NOT LOCATED WITHIN ANY FLOOD HAZARD AREAS AS DETERMINED FROM THE CITY OF PROVIDENCE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NUMBER 44007 C 0308 J (EFFECTIVE DATE OCTOBER 2, 2015).
- THIS PLAN AND ANY ACCOMPANYING CERTIFICATIONS DO NOT CONSTITUTE A CERTIFICATION OF TITLE TO THE PROPERTY DISPLAYED HEREON. THE OWNER OF LOCUS AND ABUTTING PROPERTIES ARE SHOWN ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.
- EXISTING UTILITY LINES SHOWN ON THIS PLAN ARE FROM AVAILABLE INFORMATION AND ARE APPROXIMATE LOCATIONS. THERE MAY BE EXISTING LINES OTHER THAN THOSE INDICATED. LAND DEVELOPMENT ENGINEERING & CONSULTING, LLC. ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACURATELY SHOWN. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER PUBLIC UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED.
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- ALL PROPOSED UTILITY SERVICE SIZING/MATERIAL/LOCATION TO BE COORDINATED WITH RESPECTED UTILITY COMPANIES AND DEPARTMENTS.
- CONTRACTOR TO CONFIRM SIZE/MATERIAL/LOCATION OF EXISTING SEWER STUB, ADJUST OIL/WATER SEPARATOR OUTLET AS NECESSARY.
- ALL WORK DONE WITHIN THE ROW ON WESTMINSTER STREET AND THE SIDEWALK ON WESTMINSTER STREET ARE TO BE PER PROVIDENCE DPW STANDARDS.

LEGEND

- X— FENCE (CHAIN LINK)
- S— LANDSCAPED AREAS
- (S) SEWER MANHOLE
- SIGN— SIGN
- SPOT ELEVATION— SPOT ELEVATION
- UP— UTILITY POLE
- D— UNDERGROUND DRAIN
- G— UNDERGROUND GAS SERVICE
- W— UNDERGROUND WATER SERVICE

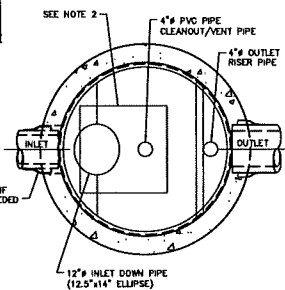
PROPOSED

- 19.0+— SPOT ELEVATION
- S— SEWER SERVICE
- W— WATER SERVICE
- OHW— OVER HEAD WIRE
- G— GAS SERVICE



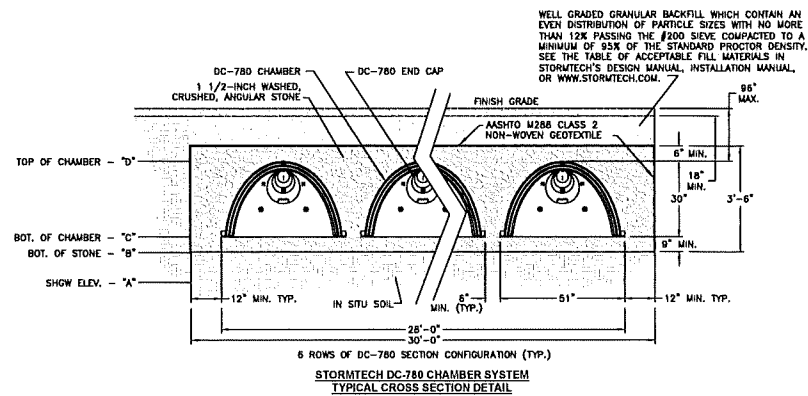
SECTION THRU CHAMBER

- NOTE:
- THE USE OF FLEXIBLE CONNECTIONS IS RECOMMENDED AT THE INLET AND OUTLET WHERE APPLICABLE.
 - THE COVER SHOULD BE POSITIONED OVER THE CLEANOUT/ VENT PIPE.
 - THE STORMCEPTOR SYSTEM IS PROTECTED BY ONE OR MORE OF THE FOLLOWING U.S. PATENTS: #4985149, #5483310, #5725760, #5733315, #5848101, #6042415, #6371690.
 - THIS IS A GENERAL ARRANGEMENT DRAWING CONSULT LOCAL REPRESENTATIVE FOR SPECIAL CONDITIONS.



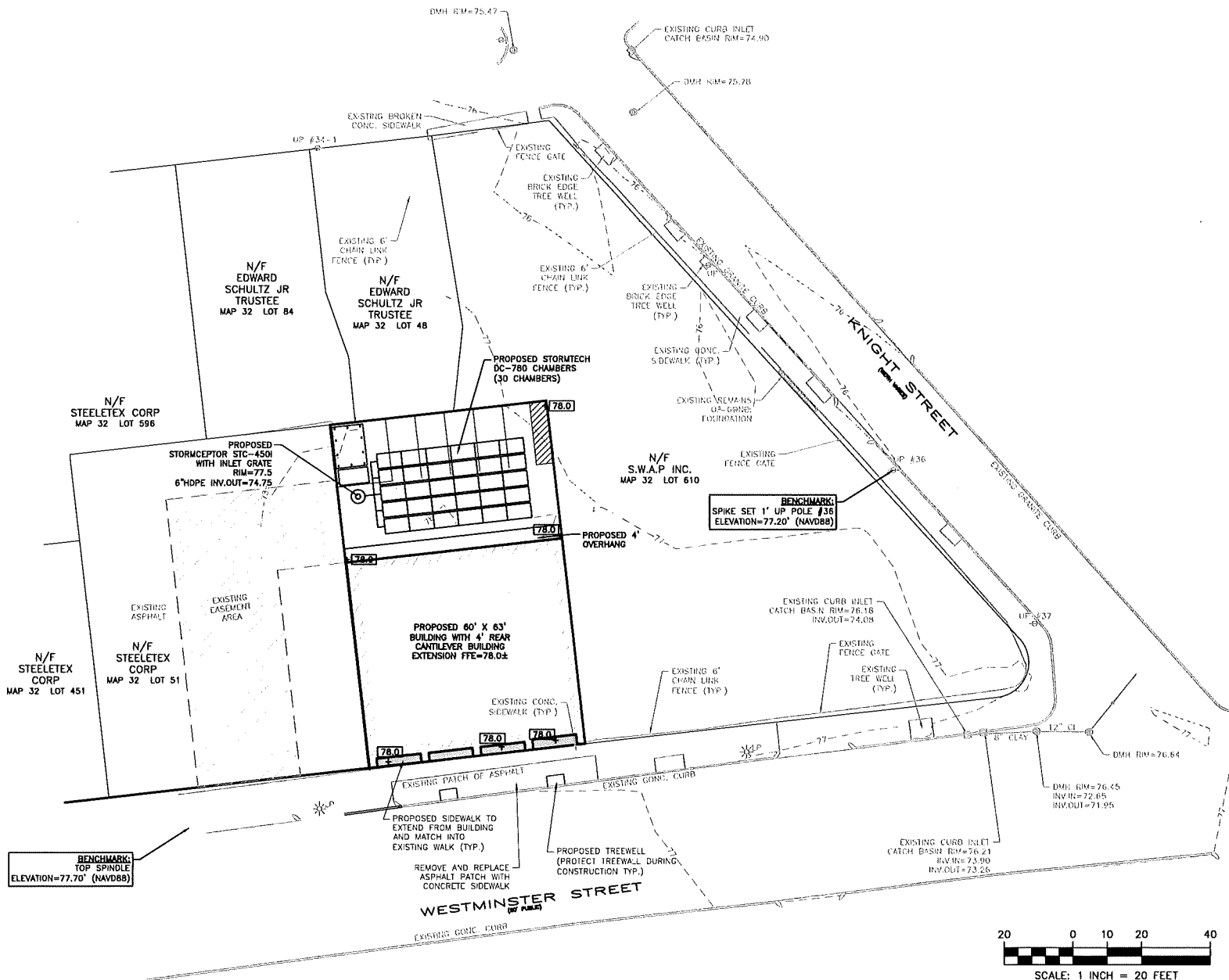
SECTION THRU PLAN VIEW

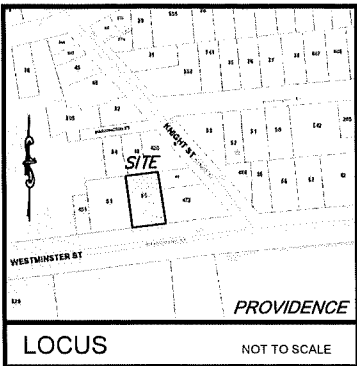
Hydro Conduit
CSR STC 450i Precast Concrete Stormceptor®
(450 US Gallon Capacity)
TYPICAL STORMCEPTOR W/ CATCH BASIN INLET DETAIL
NOT TO SCALE



STORMTECH STORAGE & INFILTRATION SYSTEM

UNDERGROUND SYSTEM 1							
UNDERGROUND SYSTEM	EXISTING ELEV.	SHOW ELEV. "A"	BOTTOM OF STONE "B"	BOTTOM OF CHAMBER "C"	TOP OF CHAMBER "D"	NUMBER OF CHAMBERS WIDE	TOTAL NUMBER OF CHAMBERS
1	78.0	-	72.25	73.0	75.5	5	30





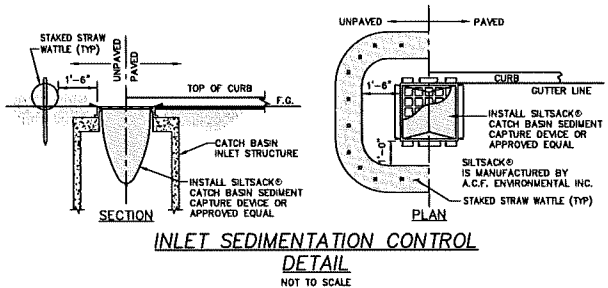
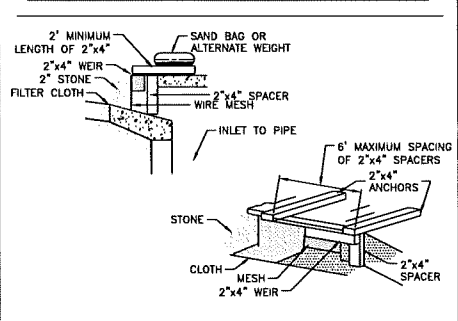
LEGEND

- X — FENCE (CHAIN LINK)
- LANDSCAPED AREAS
- ⊙ SEWER MANHOLE
- SIGN
- ⬆ SPOT ELEVATION
- UTILITY POLE
- D — UNDERGROUND DRAIN
- G — UNDERGROUND GAS SERVICE
- W — UNDERGROUND WATER SERVICE
- PROPOSED**
- 19.0+ SPOT ELEVATION
- S — SEWER SERVICE
- W — WATER SERVICE
- OHW — OVER HEAD WIRE
- G — GAS SERVICE

NOTES:

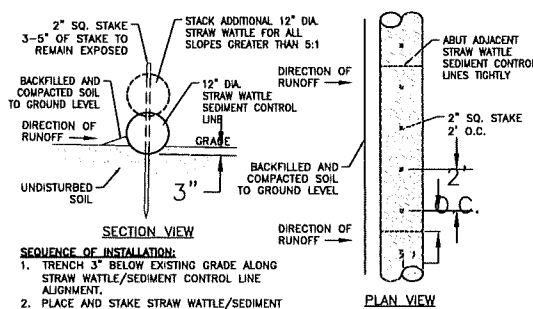
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- ALL WORK DONE WITHIN THE ROW ON WESTMINSTER STREET AND THE SIDEWALK ON WESTMINSTER STREET ARE TO BE PER PROVIDENCE DPW STANDARDS.

FIGURE 4. CURB DROP INLET PROTECTION



SOIL EROSION AND SEDIMENTATION CONTROL NOTES

- PRIOR TO INITIATING CONSTRUCTION, ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS, AS DIRECTED BY THE ENGINEER AND/OR AS NECESSITATED BY FIELD CONDITIONS. THE CONTRACTOR SHALL MAINTAIN THESE MEASURES UNTIL ALL WORK IS COMPLETED AND ALL AREAS HAVE BEEN STABILIZED.
INSTALLATION SEQUENCE:
A. INSTALL SILT FENCE AND STRAW WATTLES AS SHOWN ON PLAN.
B. CLEAR AND GRUB SITE.
C. CONSTRUCT SITE INFRASTRUCTURE AS SHOWN ON PLANS.
D. THE FOLLOWING ACTIVITIES SHALL TAKE PLACE IMMEDIATELY FOLLOWING CONSTRUCTION OF EMBANKMENTS AND FILL SLOPES: PLACEMENT OF LOAM AND GRASS SEED, INSTALLATION OF GEOTEXTILES SLOPE STABILIZATION.
E. THE CONTRACTOR SHALL INSPECT ALL FILL SLOPES AND EMBANKMENTS ON A WEEKLY BASIS AND FOLLOWING ALL RAINFALL EVENTS UNTIL A MINIMUM 75% GRASS COVER IS ESTABLISHED SUFFICIENT TO PREVENT EROSION FROM OCCURRING.
- ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR OR AS DIRECTED BY THE ENGINEER.
- AFTER THE INSTALLATION OF DRAINAGE STRUCTURES, EROSION CONTROL DEVICES OR OTHER APPROVED MATERIALS SHALL BE PLACED TO PROTECT THE INTEGRITY OF THE STRUCTURES.
- DISTURBED AREAS SHALL BE STABILIZED WITH THE APPLICATION OF A MINIMUM OF FOUR INCHES (4") OF LOAM AND SHALL BE SEED WITH AN APPROVED GRASS MIX OR SHALL BE RIPRAPED AS SOON AS POSSIBLE AFTER THE FINISHED GRADE HAS BEEN MET. IF FINAL GRADING DOES NOT OCCUR DURING THE GROWING SEASON, THESE AREAS SHALL BE MULCHED WITH HAY AND SECURED BY JUTE NETTING WITH STAPLES. SLOPES EXCEEDING 2:1 SHALL BE LOAMED AND STABILIZED WITH PEGGED SOO OR APPROVED EROSION CONTROL BLANKETS UNLESS OTHERWISE NOTED.
- THE MOUTHS OF ALL CATCH BASINS SHALL BE FITTED WITH SILTSACKS OR FILTER FABRIC DURING THE ENTIRE CONSTRUCTION PROCESS TO RETARD SILTATION.
- WHERE APPLICABLE, PROPER DUST CONTROL MEASURES SHALL APPLY TO REDUCE THE SURFACE AND AIR TRANSPORT OF DUST GENERATED DURING CONSTRUCTION. THE FOLLOWING METHODS SHALL BE USED:
A. WET SUPPRESSION WITHOUT WETTING AGENT SHALL BE APPLIED DURING LOAD IN / LOAD OUT AND EARTH MOVING CONSTRUCTION ACTIVITIES, SPECIALLY ON STOCKPILES.
B. INACTIVE STOCKPILES SHALL BE STABILIZED THROUGH APPLICATION OF SOIL STABILIZERS OR SEEDING.
C. WIND SCREENS OR BARRIERS AND PLASTIC TARP COVERS SHALL BE SECURED TO PREVENT WIND DISLOGE AND DAMAGE. ANY DAMAGES SHALL BE REPAIRED OR REPLACED IMMEDIATELY.
- CONTRACTOR SHALL CONSTRUCT A TEMPORARY CRUSHED STONE CONSTRUCTION ENTRANCE APPROXIMATELY THE WIDTH OF ACCESS DRIVEWAY BY 50' LONG BY 6" DEEP FOR USE DURING CONSTRUCTION ACTIVITIES AS NECESSARY TO REMOVE SEDIMENT FROM VEHICLES. THE CONSTRUCTION ENTRANCES ARE TO BE LOCATED AT THE ENTRANCE TO THE SITE FROM EAST MAIN ROAD AND AQUINECK AVE.
- DEWATERING OPERATIONS SHALL BE PROVIDED, IF REQUIRED; ALL DISCHARGE SHALL PASS THROUGH SEDIMENTATION CONTROL DEVICES TO PREVENT IMPACTS UPON WATER BODIES, BORDERING VEGETATED WETLANDS, DRAINAGE SYSTEMS AND ABUTTING PROPERTIES.
- SEE EROSION & SEDIMENT CONTROL CONSTRUCTION DETAILS
- STRAW WATTLE OR EQUIVALENT STRAW BASED EROSION CONTROL DEVICE SHALL BE USED IN PLACE OF HAYBALES.
- TEMPORARY CONSTRUCTION SEDIMENT TRAPS TO BE DUG OUT AND SEDIMENT FOREBAYS AND SAND FILTER SYSTEMS TO BE REESTABLISHED, REBUILT AND REVEGETATED AT THE COMPLETION OF PAVEMENT CONSTRUCTION PHASE.



TYPICAL EROSION/SEDIMENT CONTROL
STRAW WATTLE DETAIL
NOT TO SCALE

ALL WORK TO BE DONE WITHIN THE STATE RIGHT-OF-WAY (ROW) WILL CONFORM TO THE R.I. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AMENDED MARCH 2018 WITH ALL REVISIONS AND ADDENDA. STANDARD DETAILS FOR THIS WORK ARE R.I. STANDARD DETAILS, JUNE 21, 2019 EDITION WITH ALL REVISIONS.

ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 2009, INCLUDING ALL REVISIONS.

DRAINAGE WORK NOTES:

- THERE ARE NO PROPOSED STORMWATER DRAINAGE WORK WITHIN THE RHODE ISLAND STATE HIGHWAY LAYOUT.
- THERE ARE NO STORMWATER IMPACTS TO THE STATE HIGHWAY LAYOUT. ALL STORMWATER IMPACTS FROM THIS DEVELOPMENT HAVE BEEN MITIGATED ON SITE.



1107 WESTMINSTER
MIXED USE
1107 WESTMINSTER STREET
PROVIDENCE, RI 02907

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401-354-0000

LANDSCAPE ARCHITECT

OWNER'S & USER'S OF DOCUMENTS

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ALL DIVISIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.

REVISIONS

NO.	DESCRIPTION	DATE

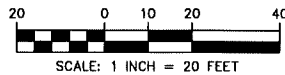
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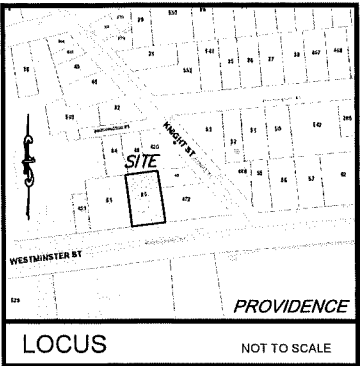
EROSION
CONTROL PLAN

Date: APRIL 15, 2025
Scale: AS NOTED
Drawn: ZONING SET
Project/Revision: ZONING SET

SHEET NUMBER

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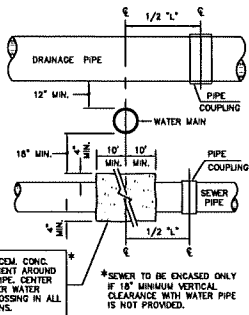


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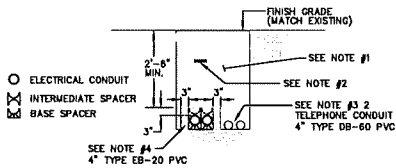
- EXISTING CONDITIONS INFORMATION WAS COMPILED FROM "BOUNDARY SURVEY & EXISTING CONDITIONS PLAN" BY CROSSMAN ENGINEERING, DATED MARCH 26, 2025.
- ELEVATIONS ARE REFERENCED TO NACD88 DATUM.
- THE SITE NOT LOCATED WITHIN ANY FLOOD HAZARD AREAS AS DETERMINED FROM THE CITY OF PROVIDENCE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NUMBER 44007 C 0308 J (EFFECTIVE DATE OCTOBER 2, 2015).
- THIS PLAN AND ANY ACCOMPANYING CERTIFICATIONS DO NOT CONSTITUTE A CERTIFICATION OF TITLE TO THE PROPERTY DISPLAYED HEREON. THE OWNER OF LOCUS AND ABUTTING PROPERTIES ARE SHOWN ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.
- EXISTING UTILITY LINES SHOWN ON THIS PLAN ARE FROM AVAILABLE INFORMATION AND ARE APPROXIMATE LOCATIONS. THERE MAY BE EXISTING LINES OTHER THAN THOSE INDICATED. LAND DEVELOPMENT ENGINEERING & CONSULTING, LLC, ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER PUBLIC UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED.
- THIS APPLICATION IS NOT A SUBSTITUTE FOR ANY UTILITY PERMITS THAT MAY BE REQUIRED, FURTHER APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE APPROVAL OF ANY UTILITY WORK, SHOWN OR UN-SHOWN, WITHIN THE STATE'S ROW.
- ALL EXISTING UTILITY SERVICES TO BE ABANDONED AND/OR RELOCATED IN COORDINATED WITH RESPECTED UTILITY COMPANIES AND DEPARTMENTS.
- ALL PROPOSED UTILITY SERVICE SIZING/MATERIAL/LOCATION TO BE COORDINATED WITH RESPECTED UTILITY COMPANIES AND DEPARTMENTS.
- CONTRACTOR TO CONFIRM SIZE/MATERIAL/LOCATION OF EXISTING SEWER STUB, ADJUST OIL/WATER SEPARATOR OUTLET AS NECESSARY.
- ALL WORK DONE WITHIN THE ROW ON WESTMINSTER STREET AND THE SIDEWALK ON WESTMINSTER STREET ARE TO BE PER PROVIDENCE DPW STANDARDS.

LEGEND

- X — FENCE (CHAIN LINK)
- LANDSCAPED AREAS
- (S) SEWER MANHOLE
- SIGN
- SPOT ELEVATION
- UTILITY POLE
- UNDERGROUND DRAIN
- UNDERGROUND GAS SERVICE
- UNDERGROUND WATER SERVICE
- PROPOSED**
- (18.0) SPOT ELEVATION
- S — SEWER SERVICE
- W — WATER SERVICE
- OHW — OVER HEAD WIRE
- G — GAS SERVICE



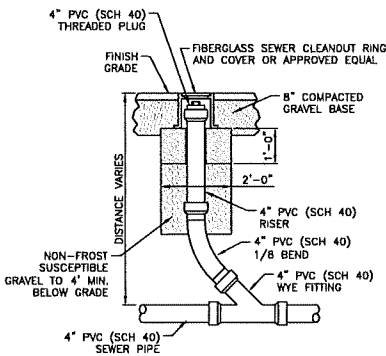
SEWER, WATER & DRAIN CROSSING DETAIL
NOT TO SCALE



ELECTRIC & TELEPHONE PRIMARY SERVICE DETAIL
NOT TO SCALE

NOTES:

- BACKFILL TO BE FREE OF STONES GREATER THAN ONE INCH AND SHALL NOT CONTAIN ASHES, CIGARETTES, SHELL, OR FROZEN MATERIAL.
- WARNING TAPE TO BE PLACED 12" BELOW FINISH GRADE AND DIRECTLY ABOVE POWER CONDUIT.
- MINIMUM SEPARATION BETWEEN ELECTRICAL CONDUIT AND FOREIGN CONDUIT OR PIPES IS AS FOLLOWS:
COMMUNICATION - 3" OF CONCRETE ENCASEMENT
WATER, GAS, SEWER - 12" WHERE THE PATH OF THESE UTILITIES INTERSECT AT APPROXIMATELY RIGHT ANGLES WITH ELECTRICAL CONDUIT.
24" SEPARATION SHALL BE MAINTAINED BETWEEN PARALLEL PLACEMENT OF THESE UTILITIES AND ELECTRICAL CONDUIT.
- CONCRETE THICKNESS AROUND THE OUTSIDE DUCTS SHALL BE 3 TO 6 INCHES. CONCRETE SHALL BE IN ACCORDANCE WITH STANDARD 0211.



TYPICAL SEWER CLEANOUT DETAIL
NOT TO SCALE

CONSTRUCTION NOTES

- ALL DISTURBED AREAS SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITION. WALLS & FENCES, LANDSCAPE PLANTINGS, MAIL BOXES, SIGNS AND DRIVEWAYS SHALL BE RESTORED.
- DISTURBED TRAFFIC SIGNALS AND SIGNS, INCLUDING PAVEMENT PAINTINGS AND MARKERS, SHALL BE RESTORED AT EXACT LOCATION(S) TO PRE-CONSTRUCTION CONDITIONS.
- THE CONTRACTOR SHALL MAKE APPLICATIONS FOR AND PAY ALL FEES FOR PERMITS REQUIRED TO CONSTRUCT THIS PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITE PREPARATION NECESSARY FOR THE COMPLETE INSTALLATION OF THE PROJECT FACILITIES DURING CONSTRUCTION.
- ALL CONSTRUCTION METHODS, MATERIALS, AND COMPONENTS ASSOCIATED WITH THE PROPOSED SUBSURFACE SEWAGE DISPOSAL SYSTEM SHALL BE IN CONFORMANCE WITH THE APPROVED PLANS, THE REQUIREMENTS OF THE CITY OF PROVIDENCE AND OF THE STATE ENVIRONMENTAL CODE, AND ALL APPLICABLE LOCAL AGENCY REGULATIONS UNLESS A WAIVER HAS BEEN GRANTED.
- ALL CHANGES TO THE PLAN MUST BE APPROVED BY LAND DEVELOPMENT ENGINEERING & CONSULTING, LLC, THE CITY OF PROVIDENCE.
- ALL SYSTEM COMPONENTS, EXCEPT PERFORATED PIPING, SHALL BE WATERTIGHT.
- THE LOCATION OF UNDERGROUND GAS, ELECTRIC AND WATER MAINS AND SERVICE CONNECTIONS ARE APPROXIMATE ONLY. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION AND INVERT ELEVATIONS OF THE UTILITIES AND STRUCTURES, AS REQUIRED PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES WITH RECORD DATA SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR IS CAUTIONED TO CONTACT DIG SAFE (1-888-344-7233) 72 HOURS BEFORE DIGGING.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE HIS WORK WITH THE APPROPRIATE HIGHWAY & UTILITY DEPARTMENTS.
- CONTRACTOR SHALL MAINTAIN ALL EXISTING AND NEWLY INSTALLED UTILITIES IN GOOD WORKING ORDER AND SHALL PROTECT THEM FROM DAMAGE AT ALL TIMES UNTIL THE WORK IS COMPLETED AND ACCEPTED BY THE OWNER.

- THE CONTRACTOR SHALL UTILIZE ALL MEASURES AND MATERIALS NECESSARY TO ENSURE THE SAFETY OF ALL PERSONS AND PROPERTIES AT THE SITE DURING CONSTRUCTION. ALL EXCAVATIONS SHALL CONFORM TO CURRENT OSHA STANDARDS.
- ALL CONSTRUCTION IN THE PUBLIC ROW SHALL BE IN ACCORDANCE WITH THE CITY OF PROVIDENCE'S STANDARD DETAILS AVAILABLE AT <https://www.providence.ri.gov/wp-content/uploads/2019/06/Providence-DPW-Standard-Details.pdf>

ALL WORK TO BE DONE WITHIN THE STATE RIGHT-OF-WAY (ROW) WILL CONFORM TO THE R.I. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AMENDED MARCH 2018 WITH ALL REVISIONS AND ADDENDA. STANDARD DETAILS FOR THIS WORK ARE R.I. STANDARD DETAILS, JUNE 21, 2019 EDITION WITH ALL REVISIONS.

ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 2009, INCLUDING ALL REVISIONS.

DRAINAGE WORK NOTES:

- THERE ARE NO PROPOSED STORMWATER DRAINAGE WORK WITHIN THE RHODE ISLAND STATE HIGHWAY LAYOUT.
- THERE ARE NO STORMWATER IMPACTS TO THE STATE HIGHWAY LAYOUT. ALL STORMWATER IMPACTS FROM THIS DEVELOPMENT HAVE BEEN MITIGATED ON SITE.



1107 WESTMINSTER
MIXED USE
1107 WESTMINSTER STREET
PROVIDENCE, RI 02907

ARCHITECT
FREECELL ARCHITECTURE LLC

167 35TH STREET, UNIT 8515
BRANDYVILLE, NY 11232
718-643-4180

STRUCTURAL ENGINEER

MEP/FP

CIVIL ENGINEER

LDEC ENGINEERING &
CONSULTING, LLC

207 HIGH POINT AVENUE, UNIT 6
FOURTEENTH, RI 02281
401-354-2050

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REVISIONS

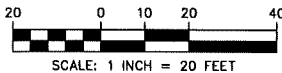
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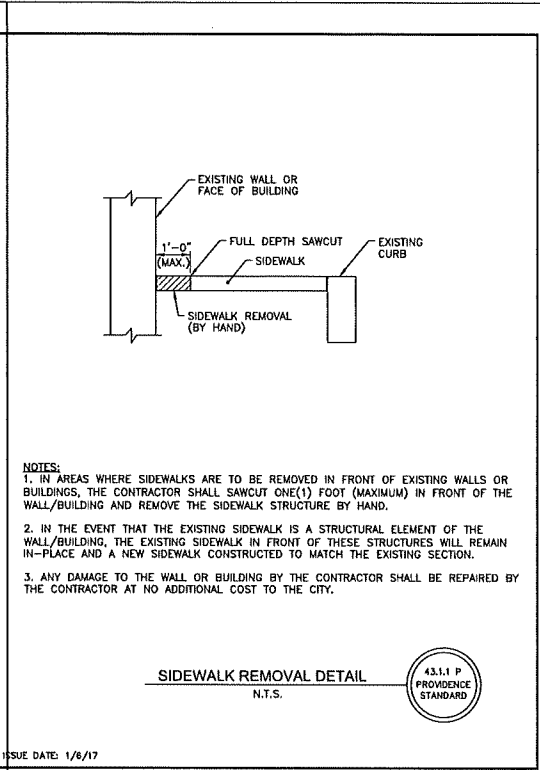
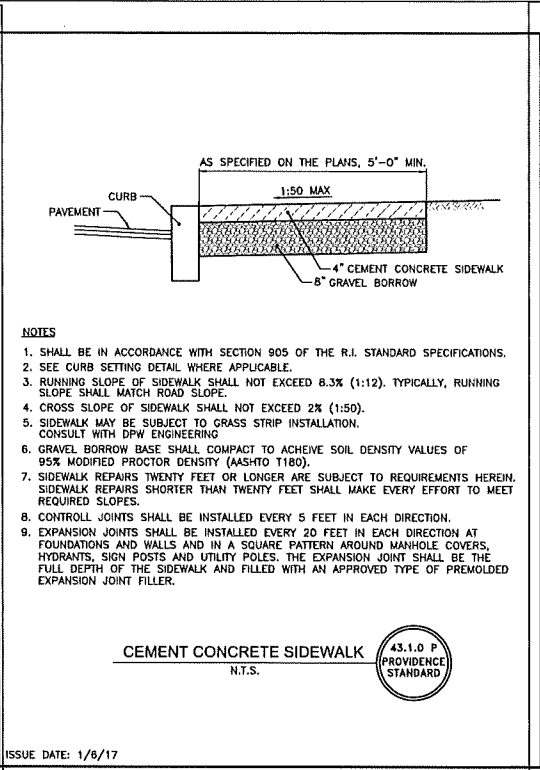
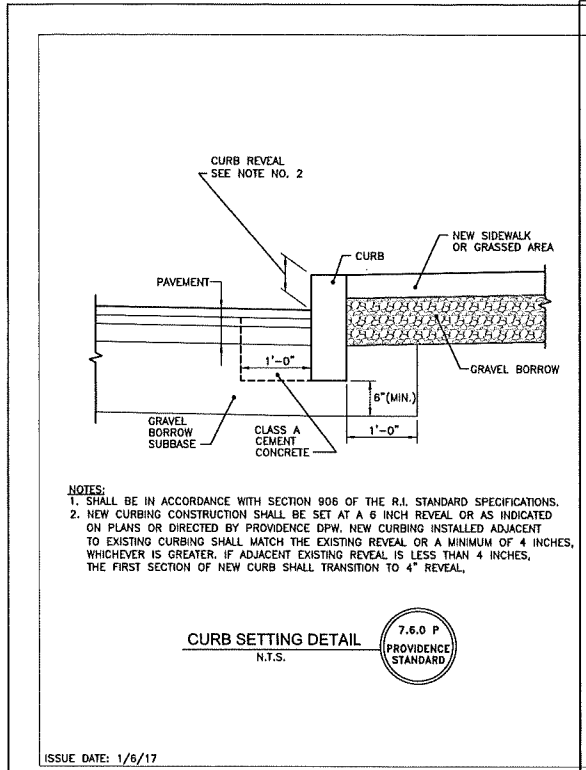
UTILITY PLAN

Date: APRIL 15, 2025
Scale: 1" = 20'
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Photo/Person: ZONING SET

SHEET NUMBER

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ALL WORK TO BE DONE WITHIN THE STATE RIGHT-OF-WAY (ROW) WILL CONFORM TO THE R.I. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AMENDED MARCH 2018 WITH ALL REVISIONS AND ADDENDA. STANDARD DETAILS FOR THIS WORK ARE R.I. STANDARD DETAILS, JUNE 21, 2019 EDITION WITH ALL REVISIONS.

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1. THERE ARE NO PROPOSED STORMWATER DRAINAGE WORK WITHIN THE RHODE ISLAND STATE HIGHWAY LAYOUT.
 2. THERE ARE NO STORMWATER IMPACTS TO THE STATE HIGHWAY LAYOUT. ALL STORMWATER IMPACTS FROM THIS DEVELOPMENT HAVE BEEN MITIGATED ON SITE.



PROJECT LOCATION

1107 WESTMINSTER MIXED USE
1107 WESTMINSTER STREET
PROVIDENCE, RI 02907

ARCHITECT

FREECELL ARCHITECTURE LLC
67 33TH STREET, UNIT B516
BROOKLYN, NY 11232
718-643-4180

STRUCTURAL ENGINEER

M.E.P./P

CIVIL ENGINEER

LDEC ENGINEERING & CONSULTING, LLC
207 HIGH POINT AVENUE, UNIT 6
PORTSMOUTH, RI 02871
401-334-2003

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REVISIONS	

DRAWING INFORMATION

CONSTRUCTION DETAILS

Date: APRIL 15, 2025
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