



CITY OF PROVIDENCE, RHODE ISLAND

Department: Public Property

RFP Title: General Contractor Services for Elmwood Community Center CPF Improvements

Opening Date: 05/19/2025

Addendum #: 2

Issue Date: 05/14/2025

The purpose of this addendum is:

Answer RFIs submitted by bidders.

Attachments:

- Responses to RFIs prepared by RGB Architects
- Sheet D100 FIRST FLOOR DEMO PLAN
- Sheet A100 FIRST FLOOR PLAN
- Sheets C-2 SITE & UTILITY PLAN & C-3 CONSTRUCTION DETAILS
- Project Manual: Section 01 23 00 - ALTERNATES
- SHEET P-102 dated September 16, 2021, issued for reference only

Providence City Hall
25 Dorrance Street
Providence, RI 02903

TO ALL BIDDERS OF RECORD: ELMWOOD COMMUNITY CENTER CPF IMPROVEMENTS - GC

Addendum #2

This Addendum forms a part of the Contract Documents and modifies the Drawings and Project Manual as herein indicated.

REQUEST FOR INFORMATION – (RFI)

1. **RFI:** Sheet C-2 - It shows a bid alternate for alternate infiltration system. It is not clear where the alternate begins and where it ends. Please show the grades for this alternate. It does not seem like there is enough pitch. Also, no alternate is shown on the bid documents for this line item.

Response: Bid Alternate for infiltration system is Add Alternate 4.

2. **RFI:** On Sheet D100, Note D13 calls for the removal of the existing sewer line but not shown on the civil drawings C-2. Are we supposed to cut and cap at the curb line? No detail is provided. Please provide a detail.

Response: Cut and cap existing sewer line within the area of construction which is approximately 10' from the exterior face of the building.

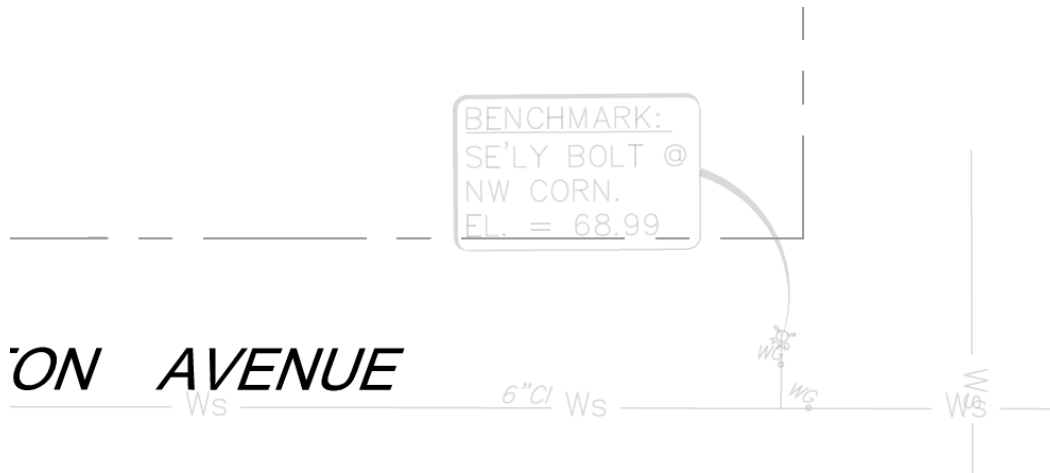
3. **RFI:** On Sheet A100, Note A15 calls for a new sewer line and to see civil drawings. No details or anything is shown on C-2 for this work. Please provide a detail.

Response: Delete the text "see civil drawings" from Note A15 on sheet A100.

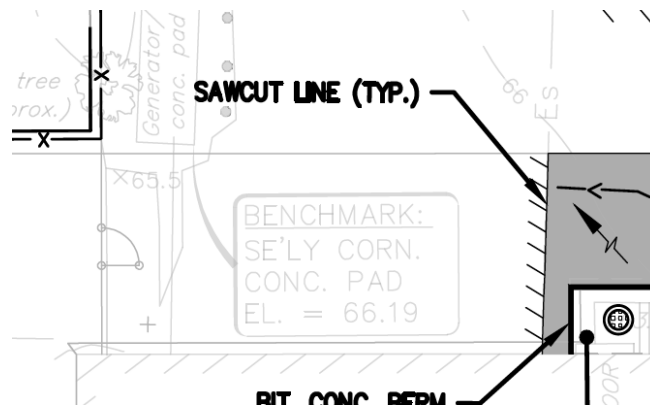
4. **RFI:** On Sheet C2, elevations are called out on the plans, but no benchmark is shown. Please provide an existing elevation plan so we can determine the depth of the subsurface infiltration work.

Response: Drawing snippets shown below for convenience. Sheet C-2 reflects benchmarks as follows:

SE'ly BOLT of FH Lexington at Niagara
 El 68.99



SE'ly CORN CONC PAD at Generator
 EL 66.19



- 5. **RFI:** On A100, a new canopy shown in front of the building. It calls out in Note A16 a gutter detail and see civil drawings. The entire canopy, gutter and grading is not shown on the civil plans. Please update C-2 to show this work and the necessary grading around. Please confirm that the existing fence is also supposed to be removed that surrounds the stairs.

Response: At note A16, delete the text “see civil drawings”. The existing chain link fence on either side of the stairs will remain. Provide splash block similar as shown on the Downspout Connection with Overflow detail on sheet C-3 and directed on Civil drawings. See 1/A400.

6. **RFI:** On A100, note A13, details grade areas to pitch away from the building and exterior stairs. Please provide a detail for this work and show existing and proposed grading. Is this supposed to be grass or landscaping after grading. There are tree roots and sidewalk which limit the grading. Also, if you add more soil next to the building, than you will need to waterproof the building brick or else that will create a potential water leak in the building.

Response: Provide grass seed after grading disturbed areas. At areas of disturbed grade, pitch new graded area ¼" per foot in direction away from building and stair. Elevation of existing grade at exterior face of building to remain.

7. **RFI:** Note A11 says replacing existing window sealant at entire interior perimeter of windows. Existing sealant should be inspected to determine if it contains asbestos and should be abated. How can we determine that prior to bid? That is a huge cost difference if we are to assume that it is asbestos. Either the City should do the testing prior to the bid or provide an allowance if it is found to be asbestos. The base bid should assume that the sealant is non-asbestos for bidding purposes.

Response: Testing and abatement are part of the base bid scope. See SKA-2.

8. **RFI:** On Sheet C-2, it calls for us to remove concrete at the bottom of the existing stairwell to the basement in the back of the building. The detail on C-3, calls for this leaching pit to be set 1" below door threshold. The current concrete is flush with the door. Please confirm that this won't be a trip hazard if we drop in one inch. If it is lowered 1 inch, then the existing stairs would not meet code due to changing riser height. They would need to be removed and re-poured.

Response: New grate to be set ½" below door threshold and as directed at Leaching Pit Detail on sheet C-3 Revision 1, dated 05-09.2025.

9. **RFI:** On A16, a new gutter and downspout is shown on the existing canopy in the back of the building. Connection to direct water away from the building. See civil drawings. Nothing is shown on the civil drawings. This area just got re-asphalted so it's unclear the exact scope of work and the coordination.

Response: Delete the text "see civil drawings" from Note A16 on sheet A100. See 1/A400 for rear canopy. The existing asphalt is to remain.

10. **RFI:** On Sheet C-2, on the right-hand stairwell it says to connection downspout. It says to see Sheet Note 3. There is no Note 3 on the plans. Please provide.

Response: Sheet Notes in upper right corner of sheet C-2. See note number 3.

11. **RFI:** Does the building currently have a security system? What vendor is currently used?

Response: Yes. National Security.

12. **RFI:** Please clarify the proposed venting location for the new gas fired water heater.

Response: The flue for the water heater should exit the building from Mech Room 109.

13. **RFI:** Please clarify the location of the existing main as well as existing/proposed recirc lines to connect to the new water heater.

Response: Please see sheet P-102 from Phase I of construction for reference of existing lines. The new recirc line should generally follow the same path as best as possible.

14. **RFI:** A2.20 in the Elevation and exterior work notes says to review existing aluminum fascia. Can this be narrowed down for scope of work?

Response: The length of aluminum fascia at gym building and low roof area to be reviewed is approximately 400 linear feet.

15. **RFI:** Please provide plumbing plans as referenced on drawing E601, Gas Water Heater Detail. Specifically, we are looking for information on existing gas and water line size and locations. Additionally, please provide specs or design requirements for the circulator pump, the expansion tank, and the thermostatic mixing valve.

Response: See Sheet P-102 dated September 16, 2021. See Sheet Gas-Fired Water Heater Schedule and note P2 on Sheet E301. The recirc pump, aquastat, and expansion tank should be re-used from existing. There is no existing main mixing valve, the facility uses point of use mixing valves outside of the kitchen area. The existing pump is a Taco 006 Smartplus. For bidding purposed the new recirc piping should generally follow the existing hot and cold piping referenced in the Phase I P-102 plumbing drawings. For bidding purposes all water and gas piping shall be 1”.

16. **RFI:** E501 new electrical panel shows 120/208v 150a, and the plans state match existing. Please provide the current panel manufacturer and breaker type.

Response: The existing panels are Eaton PRL1X.

17. **RFI:** Please clarify the flooring material and locations to be removed per alternate 2, the 4000 SF of flooring and base.

Response: LVT flooring. See Sections 012300 and 096500. Rooms to receive LVT: 106, 107, 108, 109, 110, 111,112, 112A, 113, 114, 115, 116, 117, 118, and 119.

18. **RFI:** The specifications state that the new interior signage throughout is part of the scope. Please clarify signage locations and specifics to carry for pricing.

Response: All rooms on the first and second floor are to receive ADA compliant interior signage. See Section 101400 Part 2, Part 3, and 3.4.

19. **RFI:** Note A17 on drawing A100 states to review existing floor drain, cleanout, and pipe connection. Please clarify the scope bidders shall include in pricing.

Response: Remove drain cover. Clean drain cover and area directly below drain cover. Snake existing drainpipe to ensure there is no blockage.

20. **RFI:** Please clarify the scope of the patch and paint scope. Is the intent to only paint areas of new drywall/patching, with no existing to remain walls being painted?

Response: Walls disturbed for the installation of power, data, security or any other new work should be patched and the entire area of wall re-painted to match the existing adjacent wall colors.

21. **RFI:** Please clarify if the paint scope listed in notes A2.2, A2.14, A2.21 on the exterior elevations is included in the paint restoration allowance provided.

Response: A2.2.

CONSTRUCTION DOCUMENT SHEETS

1. SHEET D100 FIRST FLOOR DEMO PLAN, Revised per Addendum 2.
(See attached PDF)
2. SHEET A100 FIRST FLOOR PLAN, Revised per Addendum 2.
(See attached PDF)
3. SHEETS C-2 SITE & UTILITY PLAN & C-3 CONSTRUCTION DETAILS, Revised per Addendum 2. (See attached PDF)

PROJECT MANUAL SPECIFICATION

1. SECTION 01 23 00 – ALTERNATES, Revised per Addendum 2.

APPENDIX

1. SHEET P-102 dated September 16, 2021, issued for reference only. This drawing sheet is from Phase I of construction and the work is already completed.

END OF ADDENDUM

SECTION 01 23 00 - ALTERNATES

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes administrative and procedural requirements for alternates.

1.3 DEFINITIONS

- A. Alternate: An amount proposed by bidders and stated on the Bid Form for certain work defined in the bidding requirements that may be added to or deducted from the base bid amount if Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
 - 1. Alternates described in this Section are part of the Work only if enumerated in the Agreement.
 - 2. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate alternate into the Work. No other adjustments are made to the Contract Sum.

1.4 PROCEDURES

- A. Coordination: Revise or adjust affected adjacent work as necessary to completely integrate work of the alternate into Project.
 - 1. Include as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation whether or not indicated as part of alternate.
- B. Notification: Immediately following award of the Contract, notify each party involved, in writing, of the status of each alternate. Indicate if alternates have been accepted, rejected, or deferred for later consideration. Include a complete description of negotiated revisions to alternates.

- C. Execute accepted alternates under the same conditions as other work of the Contract.
- D. Schedule: a schedule of alternates is included at the end of this Section. Specification Sections referenced in the schedule contain requirements for materials necessary to achieve the work described under each alternate.

PART 2 - EXECUTION

2.1 SCHEDULE OF ADDITIVE ALTERNATES:

1. ADD ALTERNATE 1 – Provide an add alternate cost for labor and materials to pressure wash all non-painted brick. Apply a sealer over all brick work that has been pressure washed. See drawings and Division 4 specifications for sealer type.
2. ADD ALTERNATE 2 – Provide an add alternate cost to demolish existing VCT flooring and wall base for approximately 4000 square feet of the first floor. Prep existing subfloor as required by flooring manufacturers for new floor finish. Level sub floor if needed. Provide labor and materials to furnish and install new LVT flooring and 4” high vinyl wall base to approximately 4000 square feet. Architect to select floor and wall base colors. Submit to Architect for review.
3. ADD ALTERNATE 3 – Provide add alternate cost (or deduct if it applies) to remove existing door hardware at door 112.1 (multi-Purpose Room 112) and door 116.1 (multi-Purpose Room 116) and replace with new door hardware that supports wireless lock and wireless lock. Base bid to include existing door hardware with new hardwired card access and all labor and materials, parts and accessories as required to provide power to card access, door / frame. See drawings and door hardware specifications.
4. ADD ALTERNATE 4 – Provide add alternate cost (or deduct if it applies) to furnish and install the alternate infiltration system labeled “Bid Alternate” on sheet C-2. Alternate includes demo of existing areas, installation of proposed infiltrations system as directed on the drawings including all parts, components, accessories and accoutrements needed for a complete installation. Also included is labor and materials needed to restore all disturbed areas to their original condition.

END OF SECTION 01 23 00



APPROXIMATE WINDOW SIZE:
 2'-10" WIDE X
 9'-0" HIGH
 (EACH WINDOW).



1 **ROOM 101**
 SKA-2 NOT TO SCALE

50 Holden Street
 Providence, Rhode Island 02908

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Architecture · Project Management · Interior Design

Project

**ELMWOOD COMMUNITY
 CENTER BUILDING
 RENOVATIONS**

**155 NIAGARA STREET
 PROVIDENCE, RI 02907**

Contents **GYM WINDOWS**

Project No. **6844**

Drawing No.

Checked by **AB**

SKA-2

Issued **05-May-25**

Sheet of

STORMWATER SYSTEM MAINTENANCE NOTES:

THE DRAINAGE SYSTEMS ARE TO BE MONITORED THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD BY THE CONTRACTOR. UPON COMPLETION OF THE PROJECT THE CONTRACTOR MUST DO A FINAL FULL MAINTENANCE & CLEAN UP OF THE STORMWATER MANAGEMENT SYSTEM AND THE SITE. UPON COMPLETION OF THE CONTRACTOR'S FINAL MAINTENANCE & CLEAN UP OF THE PROJECT, MONITORING OF THE STORMWATER MANAGEMENT SYSTEM SHALL BE THE RESPONSIBILITY OF THE OWNER.

CONSTRUCTION MONITORING/MAINTENANCE PROCEDURES SHALL BE AS FOLLOWS:
(RESPONSIBILITY OF CONTRACTOR)

- SILT BARRIER:**
MONITOR SILT BARRIER ON A WEEKLY BASIS AND AFTER EVERY RAIN STORM EVENT AND REPAIR OR REPLACE ANY DAMAGED AREAS IMMEDIATELY. IMMEDIATELY CLEAN THE SILT BARRIER IF SIX INCHES OR MORE OF SEDIMENT HAS ACCUMULATED ON THE HAYBALE & SILT BARRIER.
- STORMWATER MANAGEMENT FACILITIES:**
PROTECT INFILTRATION TRENCH BOTTOM FROM WATER WHILE EXPOSED. PROTECT COMPLETED INFILTRATION TRENCHES FROM RECEIVING SEDIMENT LAIDEN RUNOFF UNTIL PROJECT STABILIZATION.

POST CONSTRUCTION MONITORING/MAINTENANCE PROCEDURES SHALL BE AS FOLLOWS:
(RESPONSIBILITY OF OWNER)

- STORMWATER MANAGEMENT FACILITIES:**
INSPECT PERFORATED PIPE (INFILTRATION TRENCH) FOR EVIDENCE OF STANDING WATER 40 HOURS AFTER A SIGNIFICANT RAINFALL (GREATER THAN 1" WITHIN 24-HOURS) AT LEAST ONCE PER YEAR. IF STANDING WATER IS NOTED, CONTACT DESIGN PROFESSIONAL FOR SYSTEM EVALUATION.

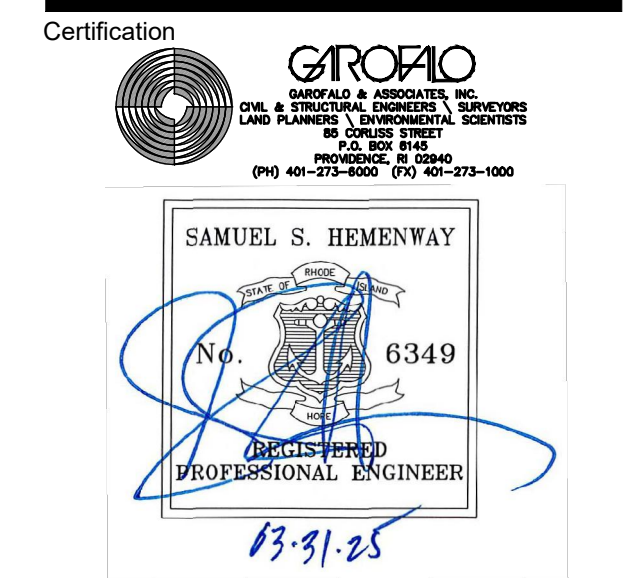
SHEET NOTES:

- SEE SHEET C-1 FOR GENERAL NOTES & LEGEND.
- THE EXISTING CONDITIONS INDICATED ARE BASED ON DESIGN DRAWINGS AND MAY NOT FULLY REFLECT THE AS-BUILT CONDITIONS. THE SITE CONTRACTOR SHALL VERIFY ALL CONDITIONS PRIOR TO INITIATING ANY WORK AND SHALL NOTIFY OWNER OF ANY DISCREPANCY WHICH IMPACTS CONTRACTED WORK.
- CONTRACTOR SHALL VERIFY THERE ARE NO INTERNAL PLUMBING FIXTURES CONNECTED TO EXISTING ROOF DRAIN PRIOR TO CONNECTING OR INSTALLING ANY SUBSURFACE DRAINAGE IMPROVEMENTS.

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Drawn by KJA

Checked by SSH

Revised on

1 ADDENDUM #2 05-09-2025

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Architecture - Project Management - Interior Design

Project

ELMWOOD
COMMUNITY
CENTER

Drawing Status

PROGRESS

Issued On

Sheet Contents

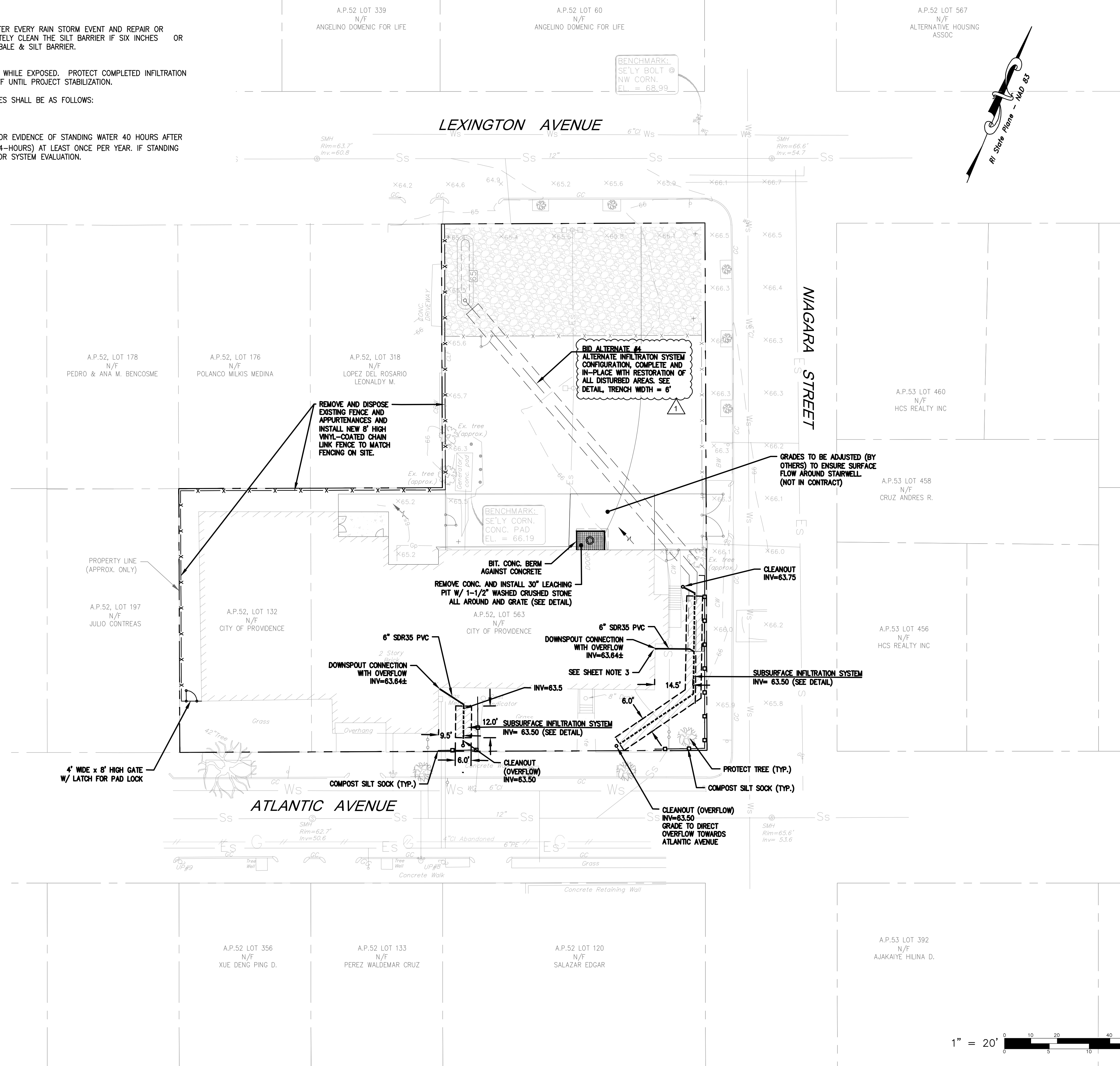
SITE AND UTILITY PLAN

Project Number: 7286-01

Drawing No.

C-2

Sheet of



PEMBROKE CONCRETE PRODUCTS INC.
 793 WASHINGTON STREET
 PEMBROKE, MA. 02359
 1-800-698-6463
 781-826-6463
 781-826-7652 (Fax)
 pemconpro@aol.com

32" DIA. Leaching Pit
 Pit Section Open top and Open Bottom
 With Cover Options Below

And if you need something a little smaller... \$51.00
 22" (Open Bottom & Top) is 22"OD/18"ID 16" Overall Height
 Approximately 75 lbs

OPTIONAL Concrete Cover: 20-12" Cleared Cover \$45.00
 OPTIONAL Cast Iron: 18C & 18G (See Below) \$97.00

Pit With Cover Cast IN
 Top and sides are one piece
 Open bottom

Two (2) 4" Knockouts
 31" Invert to 4" Knockout(s)
 Approximately 1,000 lbs

Optional Cast Iron Cover Or Grate

18C is Cast Iron Frame & Cover \$97.00
 18G is Cast Iron Frame & Grate \$97.00

Optional Concrete Cover Solid SKU 32C \$50.00
 Also Available: 32CH20 32" Dia 6" Thick H20 Solids Cover \$85.00
 Optional Concrete cover With Clean Out Cover SKU 32CC \$55.00

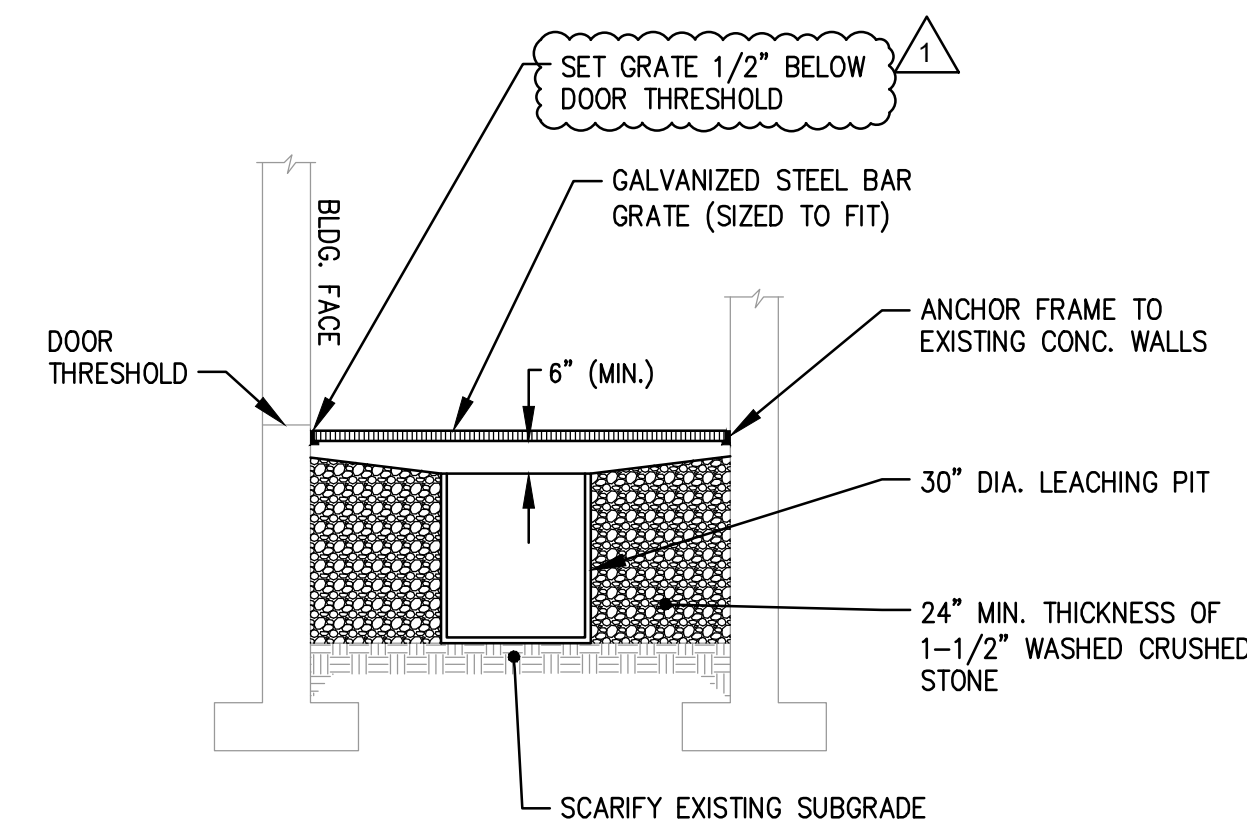
Optional Cast Iron Cover Or Grate

SKU 24C is Cast Iron Frame & Cover \$160.00
 SKU 24G is Cast Iron Frame & Grate \$160.00

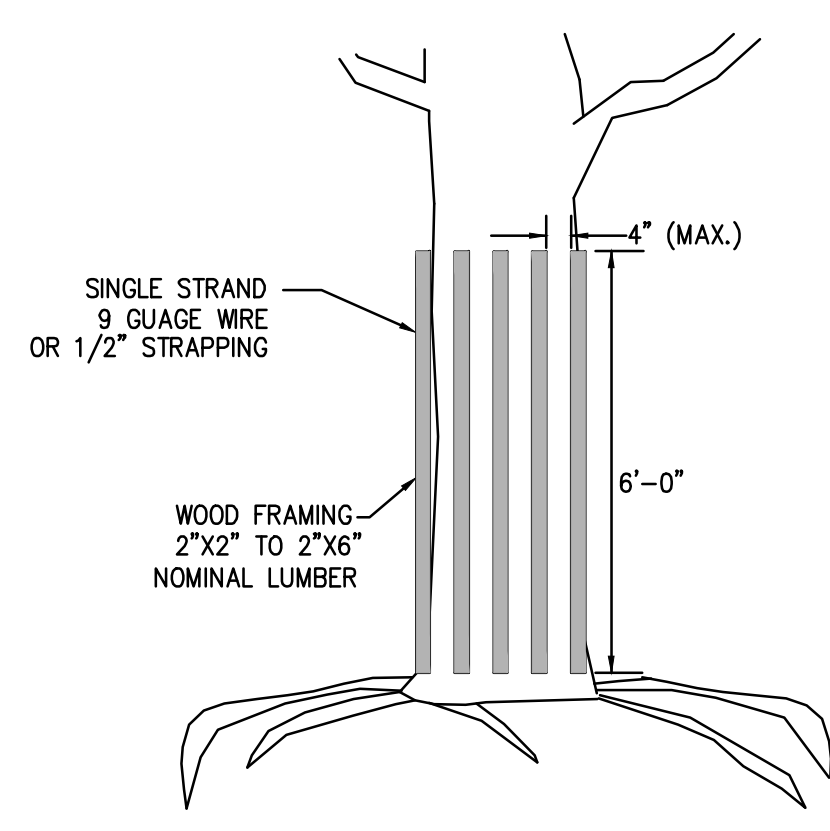
Also Available: 24GG 24" x 4" H20 Round Frame & Grate \$242.00

Notes:
 1. Concrete 4,000 PSI Minimum After 28 Days
 2. Cement Portland Type I or III, ASTM C150-81
 3. Admixtures, ASTM C233-82
 4. Reinforcement ASTM A615
 5. Non Traffic Load
 6. Joints Sealed With Butyl Rubber

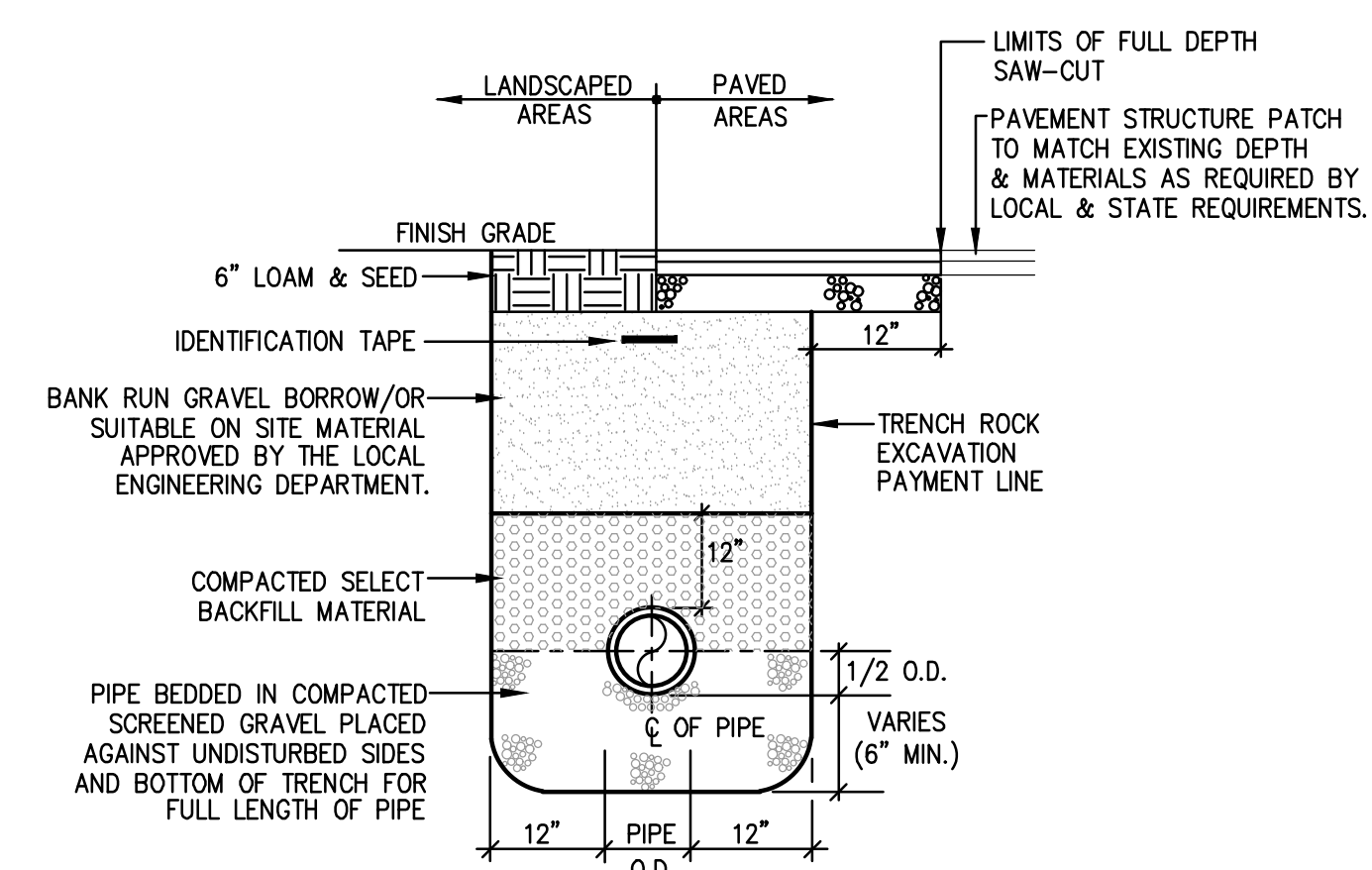
32" DIAMETER LEACHING PIT
 N.T.S.



LEACHING PIT
 N.T.S.

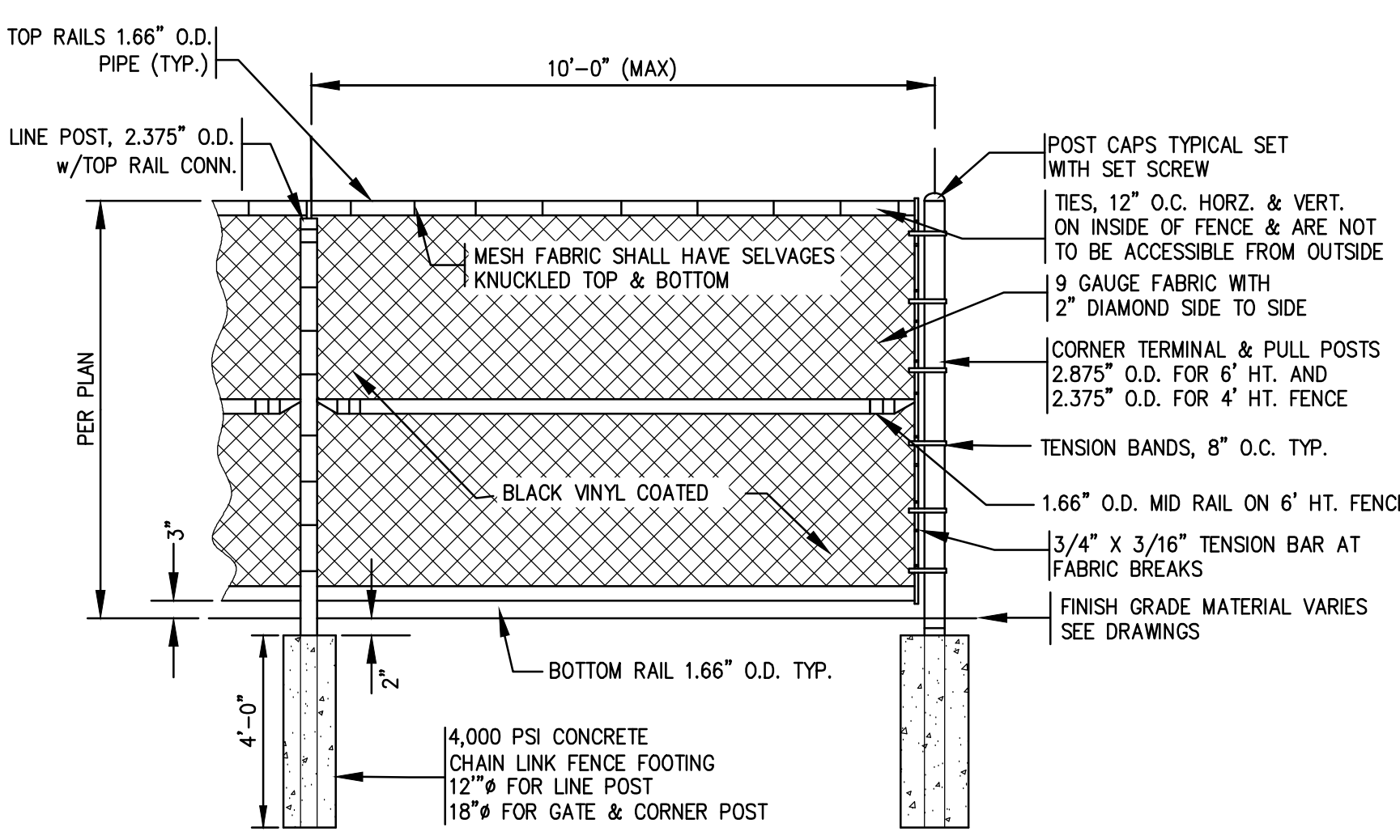


TREE PROTECTION DETAIL
 N.T.S.

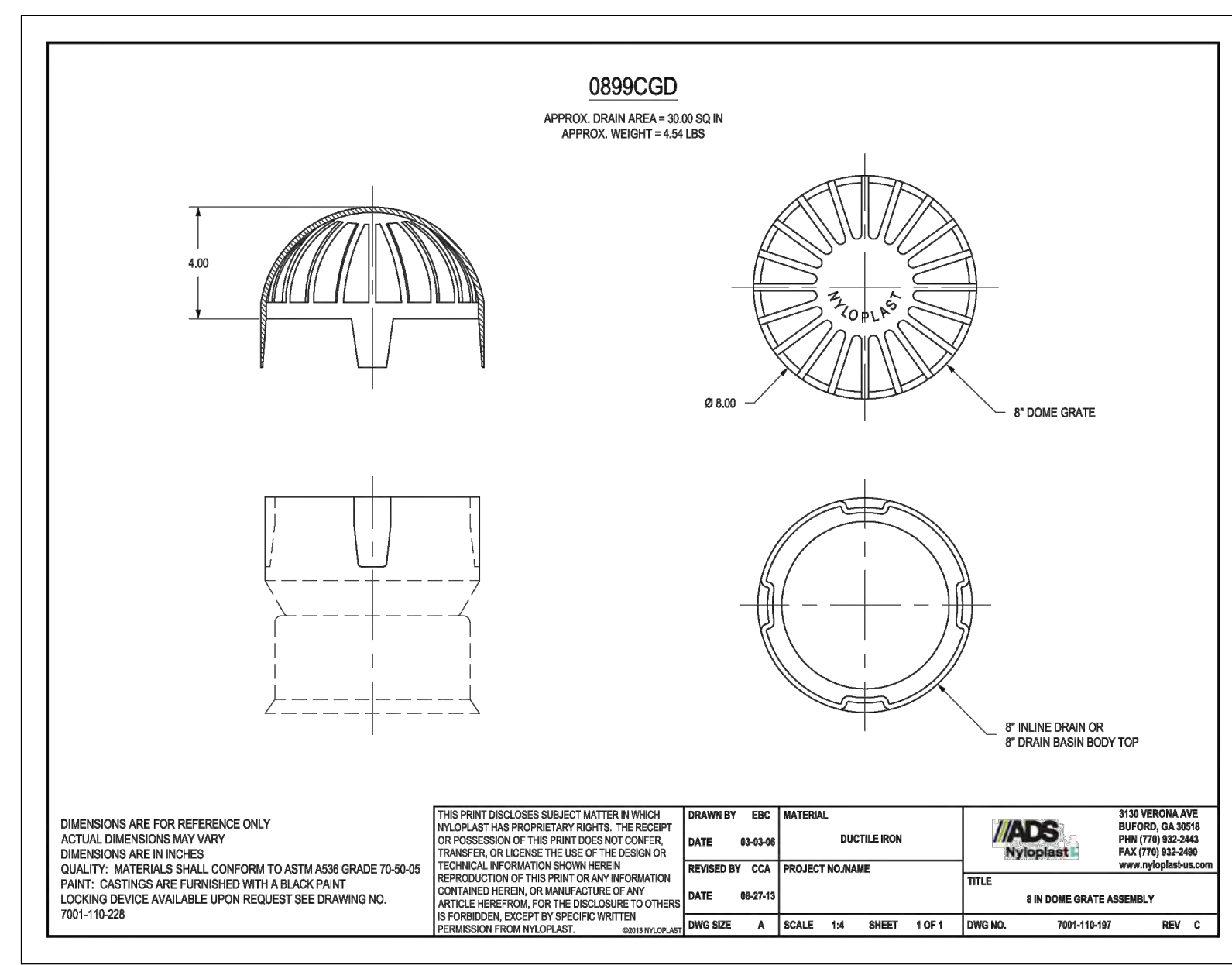


- NOTES:
 1. METALIZED 2" WIDE DETECTABLE IDENTIFICATION TAPE SHALL BE INSTALLED OVER SEWER LINES 12" BELOW FINISH GRADE.
 2. EXISTING FOUNDATION SHALL BE REMOVED TO 2' MINIMUM BELOW PROPOSED UTILITIES AND BACKFILLED WITH SELECT BACKFILL TO 95% DENSITY.
 3. ELECTRIC/TELEPHONE/CABLE MAINS AND SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH UTILITY COMPANY STANDARDS AND ALL APPLICABLE CODES.

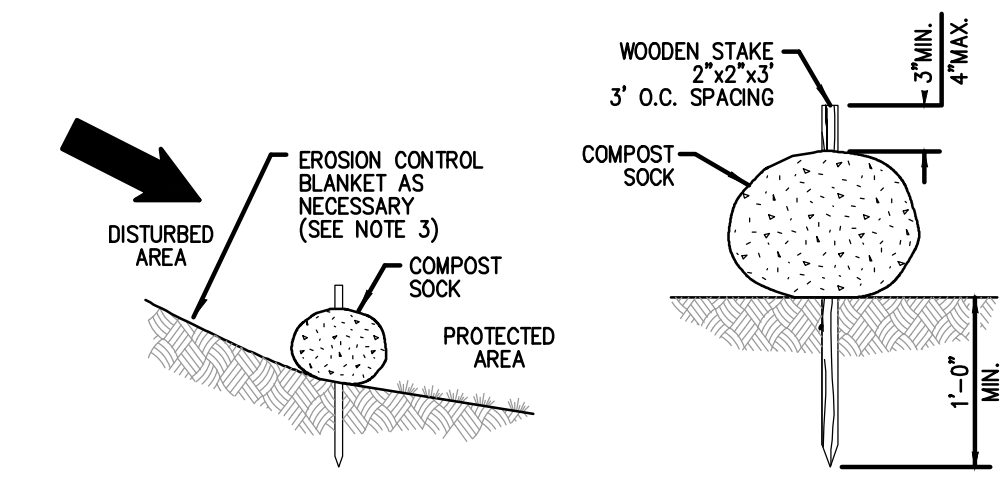
TRENCH SECTION
 N.T.S.



CHAIN LINK FENCE
 N.T.S.

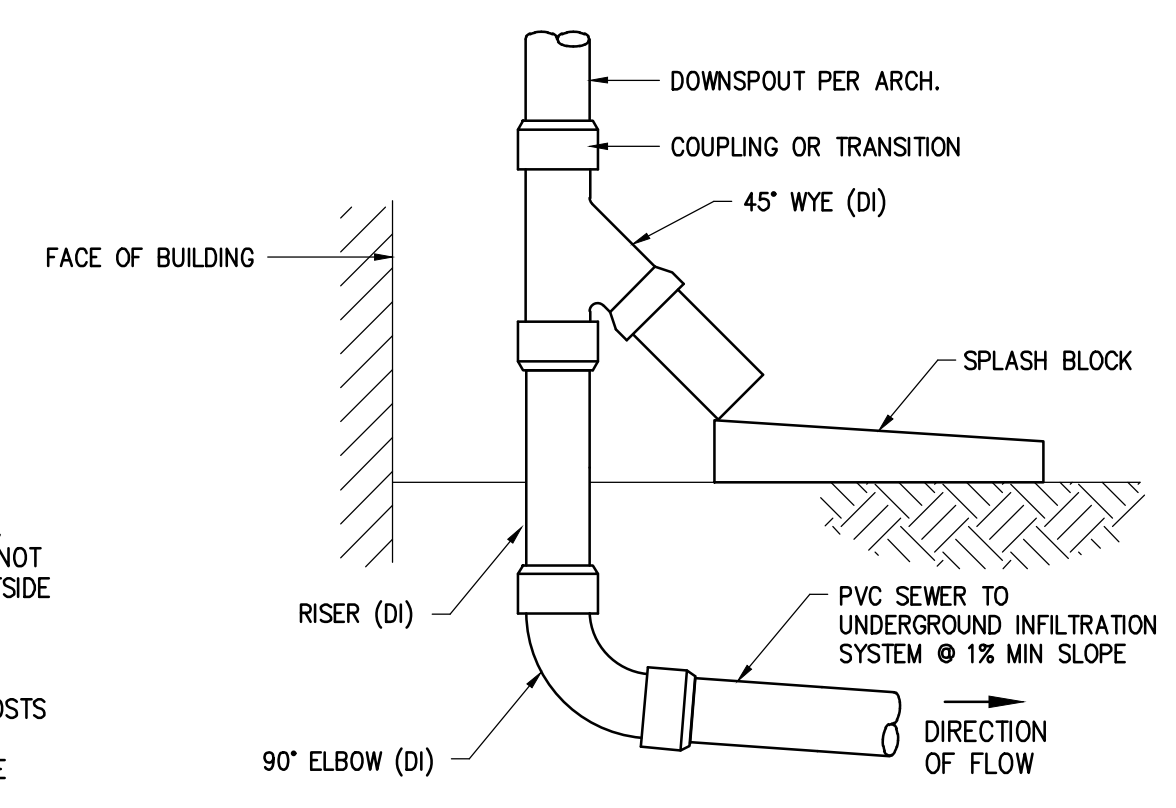


CLEANOUT GRATE & ADAPTOR
 N.T.S.

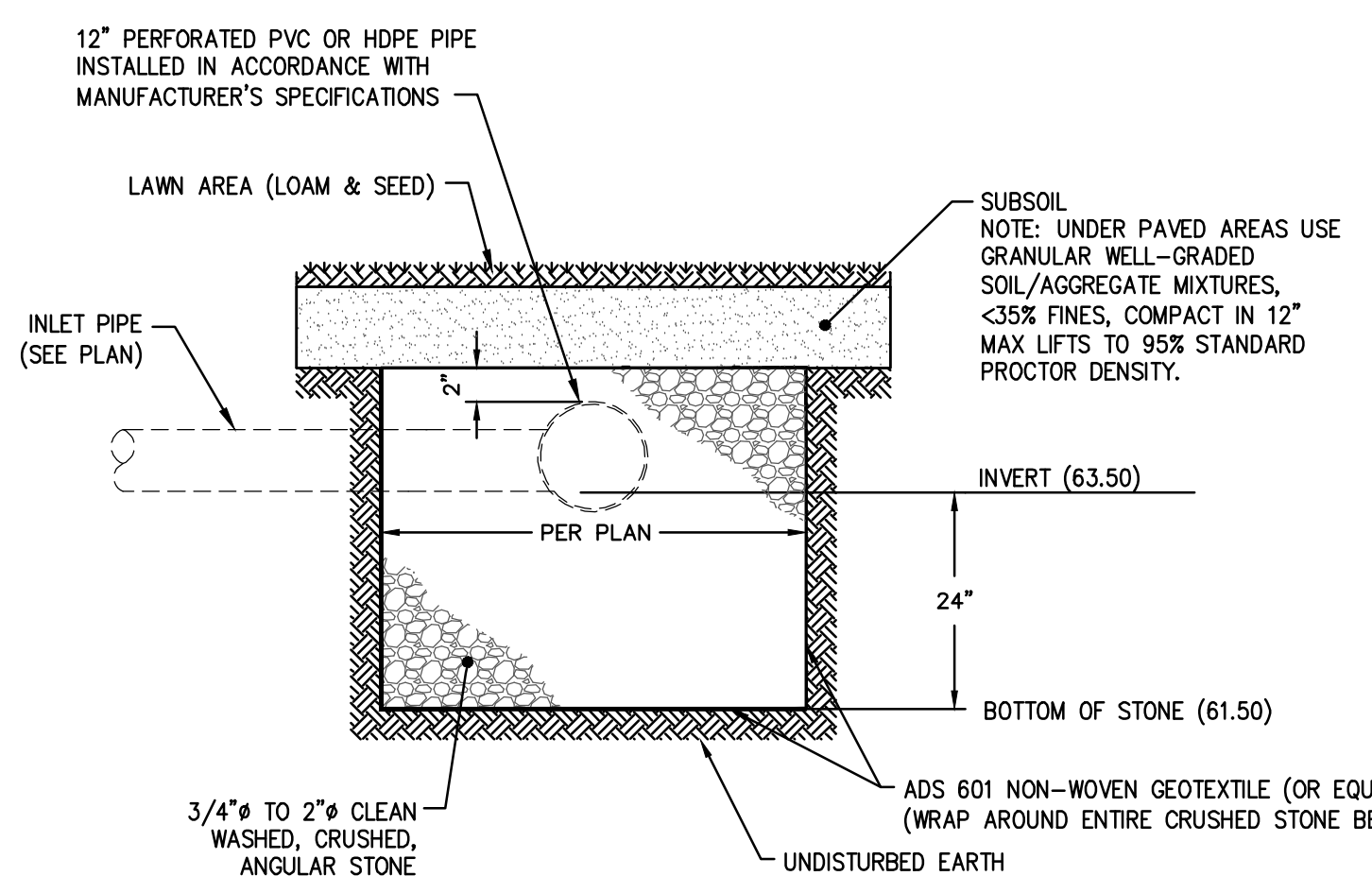


- NOTES:
 1. COMPOST SOCK SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS. COMPOST SOCK SHALL BE A MINIMUM OF 8" IN DIAMETER.
 2. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.
 3. WHEN PLACING COMPOST SOCK ON SLOPES, USE EROSION CONTROL BLANKET IF SPECIFIED ON PLANS.
 4. ALWAYS INSTALL COMPOST SOCK PERPENDICULAR TO SLOPE AND ALONG CONTOUR LINES.
 5. REMOVE SEDIMENT FROM THE UP SLOPE SIDE OF THE COMPOST SOCK WHEN ACCUMULATION HAS REACHED 1/2 OF THE EFFECTIVE HEIGHT OF THE COMPOST SOCK.
 6. SILT FENCE MAY BE SUBSTITUTED WITH OWNER APPROVAL.

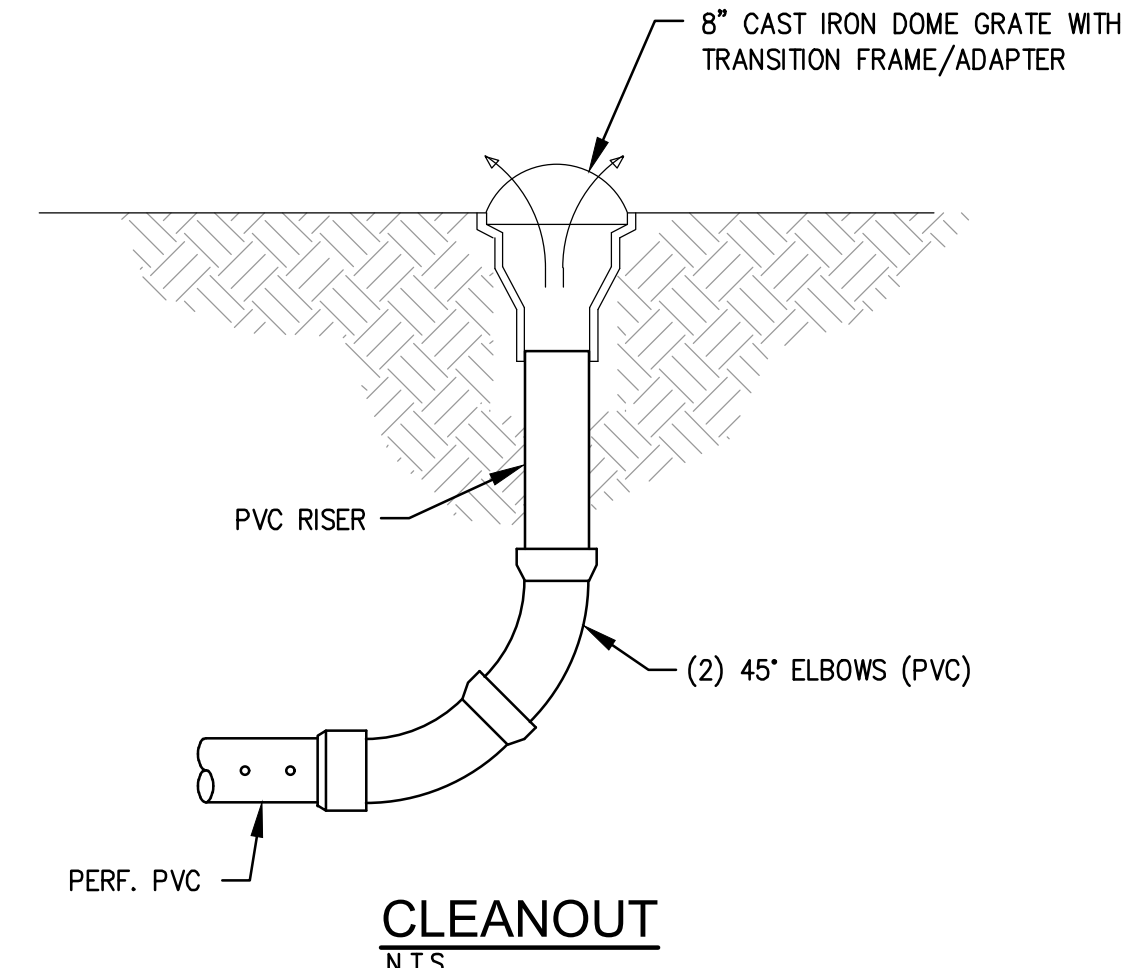
COMPOST SILT SOCK DETAIL
 N.T.S.



DOWNSPOUT CONNECTION WITH OVERFLOW
 N.T.S.



SUBSURFACE INFILTRATION SYSTEM
 N.T.S.



CLEANOUT
 N.T.S.

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Certification

PROFESIONAL ENGINEER
 SAMUEL S. HEMENWAY
 No. 6349
 REGISTERED PROFESSIONAL ENGINEER
 13-91-25

Drawn by KJA
 Checked by SSH

Revised on
 1 ADDENDUM #2 05-09-2025

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Architecture - Project Management - Interior Design

Project
ELMWOOD COMMUNITY CENTER

Drawing Status
PROGRESS

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Sheet Contents
CONSTRUCTION DETAILS

Project Number: 7286-01

Drawing No.

C-3

Sheet of

NEW WORK NOTES

- A1 F&I NEW VISION PANEL WITH TEMPERED GLASS IN EXISTING WALL OPENING. INSTALL PRIVACY FILM OVER NEW GLAZING. SEE SPECIFICATIONS AND SUBMIT FOR ARCHITECT REVIEW.
- A2 F&I NEW PRIVACY FILM AT DOOR GLAZING. SEE SPECIFICATIONS AND SUBMIT FOR ARCHITECT REVIEW.
- A3 F&I NEW GYPSUM BOARD AT END OF WALL TO CONCEAL STUDS, WATER/WASTE LINES, PRIME & PAINT.
- A4 F&I NEW INSULATED AND TEMPERED GLAZING AT EXISTING SIDELIGHT. INSTALL PRIVACY FILM OVER NEW GLAZING. SEE SPECIFICATIONS FOR PRIVACY FILM AND SUBMIT FOR ARCHITECT REVIEW.
- A5 F&I NEW DOOR HARDWARE AT EXISTING DOOR. SEE DOOR SCHEDULE AND SPECIFICATIONS FOR NEW DOOR HARDWARE.
- A6 F&I NEW CARD READER, BRING POWER TO EXISTING / NEW DOOR / FRAME AS REQUIRED. COORDINATE WITH CARD READER VENDOR. SEE ELECTRICAL DRAWINGS AND DOOR HARDWARE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- A7 F&I (2) SETS OF ROLLER SHADES AT EACH WINDOW (1 SET TO BE BLACKOUT SHADE AND THE OTHER WILL BE A LIGHT FILTERING SHADE). PROVIDE F.R. BLOCKING AS NEEDED TO INSTALL ROLLER SHADES. PATCH & PAINT AROUND INSTALLATION AREA.
- A8 PATCH & PAINT EXISTING WALLS AS NEEDED FOLLOWING ELECTRICAL UPGRADES.
- A9 F&I NEW FLOOR FINISH & BASE. PREP FLOOR AS RECOMMENDED BY MANUFACTURER. SEE SPECIFICATIONS.
- A10 NEW DROP DOWN SCREEN. MODIFY EXISTING ACOUSTICAL CEILING TILES & GRID AS NEEDED TO INSTALL NEW DROP DOWN SCREEN. F&I NEW A.C.T. TILES & GRID AS NEEDED AT AREA OF WORK. PROVIDE POWER. SEE ELECTRICAL DRAWINGS AND I.T. NEW WORK PLANS. F&I STUD FRAMING WITH ANGLED STUD SECURE TO EXISTING ROOF STRUCTURE TO MOUNT NEW PROJECTOR TO EXISTING ROOF STRUCTURE. PROVIDE ANY BLOCKING AND/OR UNISTRUT AS NEEDED. SEE 2/A601.
- A11 REPLACE EXISTING WINDOW SEALANT AT ENTIRE INTERIOR PERIMETER OF WINDOWS. SEALANT SHOULD BE INSPECTED TO DETERMINE IF IT CONTAINS ASBESTOS AND SHOULD BE ABATED.
- A12 REPLACE VENT STACK PIPE WITH NEW LOW FUEL DOUBLE WALL VENT PIPE AND FLASH INTO EXISTING ROOFING MATERIAL.
- A13 AT AREA OF EXCAVATION, BACKFILL AND GRADE EFFECTED / DISTURBED AREAS WITH COMPACTED FILL AND GRASS SEED. GRADE AREAS TO PITCH AWAY FROM THE BUILDING AND EXTERIOR STAIRS.
- A14 NEW CEILING MOUNTED PROJECTOR. PROVIDE POWER. SEE ELECTRICAL AND I.T. WORK PLANS. PROVIDE BLOCKING AND/OR UNISTRUT TO SECURE NEW PROJECTOR TO EXISTING STRUCTURE.
- A15 F&I NEW 6" Ø HDPE WASTE PIPE FROM EDGE OF BUILDING, PROVIDE A WYE TO CONNECT TO EXISTING WASTE LINE. CONFIRM LOCATION IN FIELD, EXCAVATION AS REQUIRED TO INSTALL NEW WASTE PIPE. ALL WORK MUST MEET CODE. SEE CIVIL DRAWINGS.
- A16 F&I NEW GUTTER & DOWNSPOUT AND SPLASH BLOCK. PROVIDE ANGLED DOWNSPOUT CONNECTION TO DIRECT WATER AWAY FROM THE BUILDING. SEE CIVIL DRAWINGS NEW WORK NOTES.
- A17 REVIEW EXISTING FLOOR DRAIN AND CLEAN OUT DRAIN COVER AND DRAIN PIPE CONNECTION.
- A18 SEE CIVIL DRAWINGS FOR NEW DRYWELL & GALVANIZED METAL GRATE. FINAL GRATE ELEVATION TO BE 1/2" LOWER THAN THE EXISTING DOOR THRESHOLD.
- A19 SET NEW THRESHOLD IN A CONTINUOUS BEAD OF MASTIC SEALANT.
- A20 F&I NEW DOWNSPOUT EXTENSION TO EXISTING DOWNSPOUT AND CONNECT TO NEW DRYWELL. SEE CIVIL DRAWINGS. REVIEW EXISTING SCUPPER CONNECTED TO DOWNSPOUT. REPLACE SCUPPER IN KIND IF CRACKED OR BROKEN.

NOT ALL WORK NOTES LISTED ABOVE USED ON THIS SHEET.

GENERAL NOTES:

- 1. GENERAL CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS IN FIELD PRIOR TO ANY NEW WORK.
- 2. REVIEW ANY UNFORSEEN CONDITIONS IN FIELD WITH ARCHITECT AND OWNER.
- 3. COORDINATE NEW WORK PLANS WITH DEMOLITION PLANS. COORDINATE ARCHITECTURAL PLANS WITH ELECTRICAL, MECHANICAL, PLUMBING, I.T. AND LIFE SAFETY DRAWINGS.
- 4. ALL DIMENSIONS TO EXISTING CONSTRUCTION ARE TO FACE OF FINISH U.N.O.
- 5. PROVIDE NEW ADA COMPLIANT SIGNAGE AT ALL INTERIOR DOORS. SEE SPECIFICATIONS.

LEGEND:

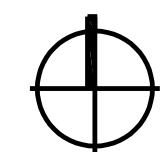
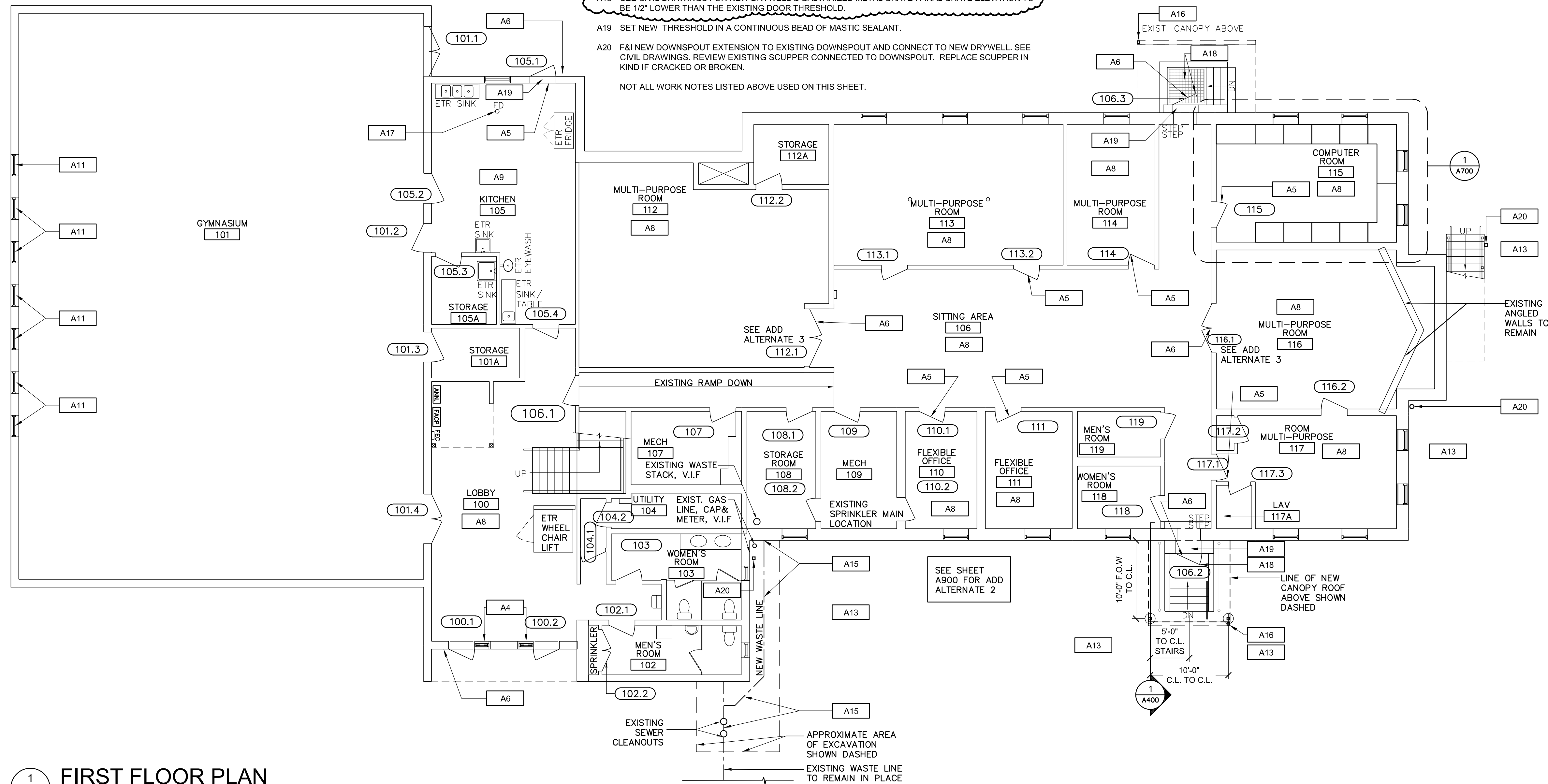
- xxx NOTES WITHOUT AN ARROW INDICATE AN ENTIRE SPACE/AREA.
- xxx → NOTES WITH AN ARROW(S) INDICATE SPECIFIC AREAS &/OR ITEMS.

WASTE LINE — NEW 6" Ø HDPE WASTE LINE WITH WYE CONNECTION SLOPED TO EXISTING WASTE CLEANOUT AREA
ADD ALTERNATE 1 - SEE SHEETS A200, A201, A202, A203, A204 AND SPECIFICATIONS FOR ADD ALTERNATE 1 NOTES.

ADD ALTERNATE 2 - PROVIDE AN ADD ALTERNATE COST TO DEMOLISH EXISTING FLOORING AND WALL BASE FOR APPROXIMATELY 4000 SQUARE FEET OF THE FIRST FLOOR. PREP EXISTING SUB FLOOR AS REQUIRED BY THE FLOORING MANUFACTURER. PROVIDE LABOR AND MATERIALS TO FURNISH AND INSTALL NEW LVT FLOORING AND WALL BASE TO APPROXIMATELY 4000 SQUARE FEET. ARCHITECT TO SELECT FLOOR AND WALL BASE COLORS. SUBMIT TO ARCHITECT FOR REVIEW.

ADD ALTERNATE 3 - PROVIDE ADD ALTERNATE COST (OR DEDUCT IF IT APPLIES) TO REMOVE EXISTING DOOR HARDWARE AT DOOR 112.1 (MULTI-PURPOSE ROOM 112) AND DOOR 116.1 (MULTI-PURPOSE ROOM 116) AND REPLACE WITH NEW DOOR HARDWARE AND WIRELESS LOCK. BASE BID TO INCLUDE EXISTING DOOR HARDWARE WITH NEW HARDWIRED CARD ACCESS AND ALL LABOR AND MATERIALS. PARTS AND ACCESSORIES AS REQUIRED TO PROVIDE POWER TO CARD ACCESS, DOOR / FRAME. SEE SPECIFICATIONS.

SEE SPECIFICATIONS FOR ALLOWANCES



1 FIRST FLOOR PLAN
 A100 SCALE: 1/8" = 1'-0"

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Drawn by DD

Checked by AB

Revised on Revision 1 - 05/09/25 Addendum 2

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Architecture - Project Management - Interior Design

Project
ELMWOOD COMMUNITY CENTER

BUILDING RENOVATIONS

**155 NIAGARA STREET
 PROVIDENCE, RI 02907**

Drawing Status
ISSUED FOR CONSTRUCTION

Issued On 04/02/25

Sheet Contents
FIRST FLOOR PLAN

Project Number. 6844

Drawing No.

A100

Sheet of

FLOOR PLAN DEMOLITION WORK NOTES

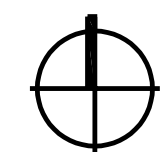
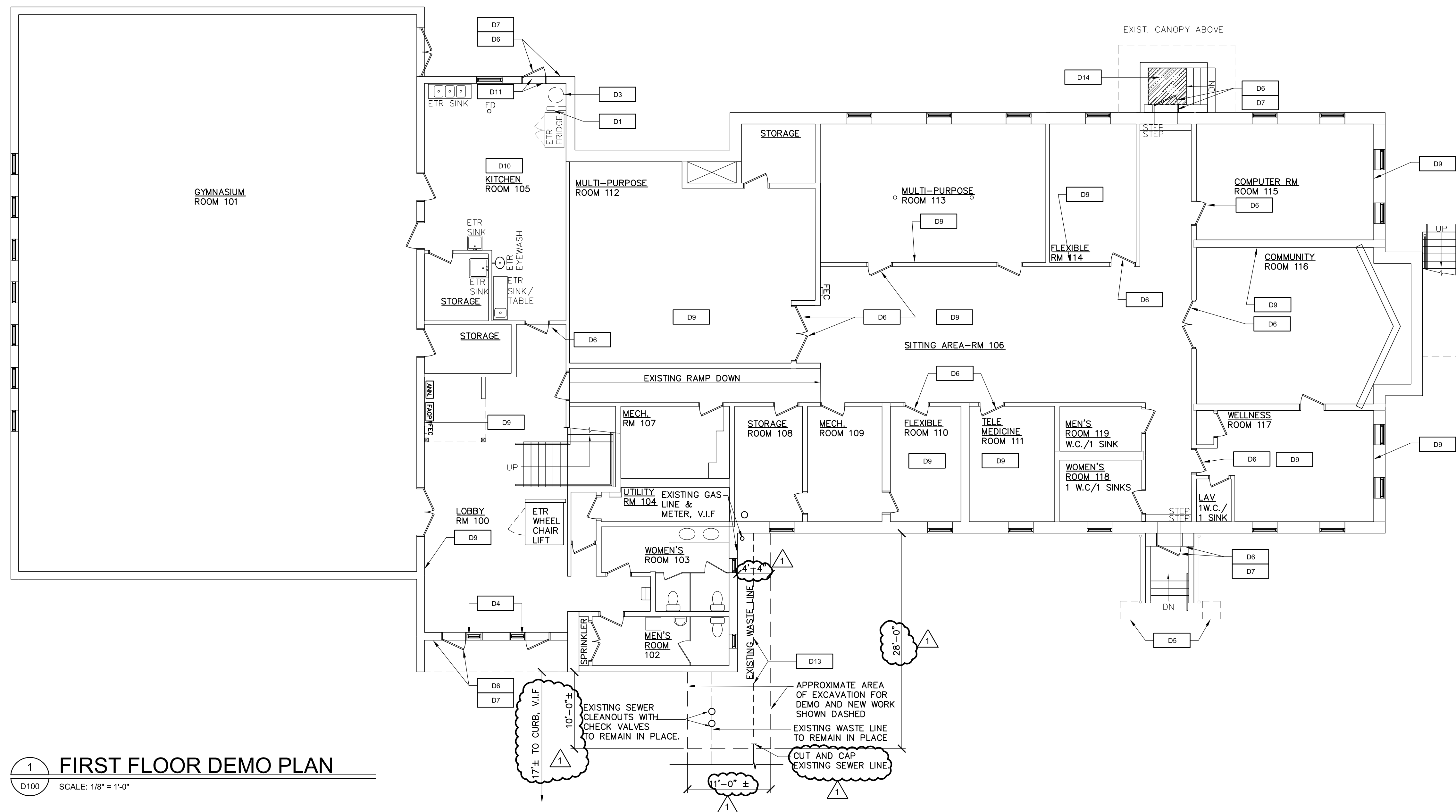
- D1 R&D EXISTING PARTITION WALL AND BASE. RELOCATE ANY WALL SWITCHES / OUTLETS / THERMOSTATS OR ANY OTHER WALL HUNG DEVICES TO AN ADJACENT WALL (ARCHITECT TO VERIFY FINAL LOCATION).
- D2 R&D EXISTING CONCEALED GLAZING AND TRIMWORK AT EXISTING WALL.
- D3 R&D EXISTING HOT WATER TANK & ACCESSORIES. PREP FOR NEW HOT WATER TANK. SEE NEW WORK PLANS AND PLUMBING DRAWINGS.
- D4 R&D EXISTING PAINTED INFILL PANEL AT EXISTING SIDELIGHT AND PREP FOR NEW GLAZING. SEE NEW WORK PLANS.
- D5 APPROXIMATE LOCATION OF NEW CANOPY FOOTINGS. G.C. TO DETERMINE EXTENT OF REQUIRED EXCAVATION FOR INSTALLATION OF NEW WORK. REFER TO NEW WORK PLANS.
- D6 R&D EXISTING DOOR LATCH / LEVER. PREP DOOR FOR NEW HARDWARE. COORDINATE WITH NEW WORK PLANS AND SPECIFICATIONS.
- D7 DOOR / FRAME TO BE WIRED FOR A NEW CARD READER. DEMO WORK AS NEEDED TO BRING POWER TO EXISTING DOOR & FRAME. R&D EXISTING DOOR & FRAME AND REPLACE WITH NEW IF UNABLE TO MODIFY EXISTING DOOR / FRAME FOR POWER. REVIEW WITH ARCHITECT AND OWNER IN FIELD.
- D8 R&D EXISTING ROOF VENT STACK. PREP FOR NEW VENT STACK.
- D9 SELECTIVE DEMO AT WALLS TO PROVIDE NEW POWER / DATA / ETHERNET & IN WALL BLOCKING FOR TV BRACKET. F&I SURFACE MOUNTED BLOCKING AT CMU WALL. SMOOTH FINISH & PAINT TO MATCH EXISTING WALL COLOR. PAINT ANY EXPOSED CONDUIT TO MATCH WALL COLOR. COORDINATE WITH NEW WORK PLANS / ELECTRICAL AND I.T. DRAWINGS. PATCH AND PAINT WALLS AND ADJACENT SURFACES.
- D10 R&D EXISTING FINISH FLOOR, ADHESIVES AND WALL BASE. LEVEL EXISTING FLOOR AS NEEDED AND PREP FOR NEW FLOOR FINISH AND WALL BASE. SEE SPECIFICATIONS.
- D11 R&D EXISTING THRESHOLD AT EXTERIOR DOOR. PREP FOR NEW THRESHOLD / WEATHERSTRIP / SEALS. MODIFY DOOR / FRAME / FLOOR SLAB AS NEEDED TO RECEIVE NEW THRESHOLD & HARDWARE IN ORDER TO MAKE DOOR WEATHERTIGHT.
- D12 NOT USED.
- D13 R&D EXISTING WASTE LINE PIPING LOCATED BELOW GRADE IN ITS ENTIRETY. EXCAVATE THE AREA AS NEEDED TO REMOVE WASTELINE. R&D ANY ORGANIC MATERIAL ENCOUNTERED TO THE EXTENT NEEDED TO REMOVE WASTELINE. TAKE CARE TO NOT DISTURB THE EXISTING GAS LINE THAT RUNS ALONG SIDE THE WASTELINE. CONTACT DIG SAFE. CUT AND CAP WASTE & ABANDON THIS LINE. SEE CIVIL DRAWINGS.
- D14 R&D EXISTING CONCRETE SLAB AT BOTTOM OF STAIRWELL. CONCRETE RETAINING WALLS AND STAIRS TO REMAIN. SEE CIVIL DRAWING FOR ADDITIONAL DEMOLITION NOTES AND NEW WORK.

DEMOLITION GENERAL NOTES:

1. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE STARTING DEMOLITION WORK. CONTRACTOR IS RESPONSIBLE FOR DETERMINING ALL QUANTITIES AND DIMENSIONS OF NEW AND DEMOLITION WORK AREA.
2. CONTRACTOR TO COORDINATE EXTENTS OF ALL DEMOLITION WORK WITH ALL NEW WORK PLANS. REVIEW ELECTRICAL, MECHANICAL, PLUMBING, LIFE SAFETY AND I.T. DRAWINGS FOR ANY REQUIRED DEMO WORK NOT NOTED ON THIS SHEET.
3. CONTRACTOR SHALL PATCH / PAINT / REPAIR ANY WALL / CEILING LOCATIONS TO MATCH ADJACENT FINISH WHERE DEMOLITION IS REQUIRED IN ORDER TO INSTALL NEW POWER / DATA / AUDIO VISUAL EQUIPMENT OR OTHER EQUIPMENT.
4. CONTRACTOR TO PROVIDE ALL OSHA AND/OR BUILDING CODE REQUIRED SAFETY PROTECTION TO PROTECT WORKERS FROM FALLS, CRUSHING, ELECTROCUTION ETC.
5. CONTRACTOR TO MAINTAIN BUILDING AND WORK AREAS IN A SAFE AND SECURE MANNER. MAINTAIN PHYSICAL BARRIER TO PREVENT BUILDING / SITE ACCESS BY CHILDREN AT A MINIMUM.
6. CONTRACTOR TO PROTECT ALL EXISTING WORK TO REMAIN DURING DEMOLITION AND WILL REPAIR ANY DAMAGED AREAS AS A RESULT OF CONTRACTOR WORK AT NO ADDITIONAL COST TO THE OWNER.
7. EXISTING BUILDING CONSTRUCTION DEFICIENCIES NOT INDICATED ON THE DRAWINGS, BUT UNCOVERED AND/OR DISCOVERED BY CONTRACTORS CONSTRUCTION ACTIVITIES SHALL BE REPORTED TO THE ARCHITECT FOR REVIEW PRIOR TO INSTALLATION OF NEW WORK. ADDITIONAL DETAILS SHALL BE FURNISHED AS NECESSARY.
8. CONTRACTOR TO DE-ENERGIZE, CAP / SHUT OFF ALL UTILITIES AS NECESSARY PRIOR TO ANY DEMOLITION WORK.
9. CONTRACTOR SHALL CONTACT DIG SAFE PRIOR TO ANY REQUIRED EXCAVATION WORK.
10. CONTRACTOR TO MAINTAIN DUMPTER AT A LOCATION THAT IS APPROVED BY THE OWNER.

DEMOLITION LEGEND:

- EXISTING WALL / ITEM TO REMAIN
- - - EXISTING WALL / ITEM TO BE REMOVED
- WASTE LINE — EXISTING WASTE LINE TO BE REMOVED
- xxx NOTES WITHOUT AN ARROW INDICATE AN ENTIRE SPACE/AREA.
- xxx NOTES WITH AN ARROW(S) INDICATE SPECIFIC AREAS AND/OR ITEMS.
- R&D = REMOVE & DISPOSE OF
- R&S = REMOVE & SALVAGE



1 FIRST FLOOR DEMO PLAN
D100 SCALE: 1/8" = 1'-0"

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