



CITY OF PROVIDENCE, RHODE ISLAND

Department: Public Property

RFP Title: General Contractor Services for Elmwood Community Center CPF Improvements

Opening Date: 05/19/2025

Addendum #: 1

Issue Date: 5/8/25

The purpose of this addendum is:

The purpose of this addendum is to provide the sign-in sheet from the 4/28 pre-bid walkthrough, and answer questions raised by attendees.

Attachments

- Clarifications prepared by RGB Architects
- SK AV-1 Updated Multi-Purpose Room 114 – Equipment Plan
- SK AV-2 Updated Multi-Purpose Room 114 – Rough-In Plan
- SK TC-1 Updated Multi-Purpose Room 114 – Telecom Plan
- Sheet A500 DETAIL, Revised
- Sheet A700 INTERIOR ELEVATIONS, Revised
- Sheet E301 ELECTRICAL POWER PLAN, Revised
- SKA-1 Room 201 & 203 Limit of Demolition
- 4/28/25 Pre-bid sign in sheet



DEPARTMENT OF PUBLIC PROPERTY
PROVIDENCE CITY HALL
25 DORRANCE ST
PROVIDENCE RI 02903

Procurement	# 49186
Department	Public Property
RFP Title Center CPF Improvements	General Contractor Services for Elmwood Community
Bid Due Date:	5/19/25
Addendum #	1
Issue Date	5/8/25

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TO ALL BIDDERS OF RECORD: ELMWOOD COMMUNITY CENTER CPF IMPROVEMENTS - GC**Addendum #1**

This Addendum forms a part of the Contract Documents and modifies the Drawings and Project Manual as herein indicated.

REQUEST FOR INFORMATION – (RFI)

1. **RFI:** Detail 2/AV2.02 on Sheet AV2.02 calls for gang boxes, conduits and other items for AV display on the south wall of Room 114, however there is a mini-split at the upper wall area. Should the proposed items be relocated?

Response: Yes. See SK AV1, SK AV21, SK TC1 and revised sheet E301.

2. **RFI:** On sheet A100, the windows on the west Gymnasium wall contain a tag for note A11. Note A11 indicates that window sealant should be inspected to determine if it contains asbestos and should be abated. Please confirm if the testing and abatement work is part of the general contractor's scope of work.

Response: Yes.

3. **RFI:** Please clarify the material for the privacy screens in room 115. Are they to be P-lam to match the countertops?

Response: Privacy screens are deleted from the project.

4. **RFI:** Please clarify the substantial completion date as mentioned at the Pre-bid meeting.

Response: The substantial completion date is 09/24/25.

5. **RFI:** Please provide dimensions for the window labeled as 001 in room 207 for the new vision panel.

Response: See detail 6/A910.

6. **RFI:** Drawing A900 and A901 call out new VCT and new ceramic tile, but they are not shown on the drawings. Please confirm where these scopes will occur and clarify that these floors will be a part of alternate 2 as listed on drawing A100. If part of the flooring addendum, please clarify what the amount of each flooring type should be carried.

Response: See Sheet A901 note A9.1. VCT flooring is shown at the floor of door

opening 201.2 at Conference Room 203. Ceramic Floor Tile is shown at Storage Room 209 at the location of the demolished wall. This scope of work is part of the base bid.

7. **RFI:** It was observed on the site walk that the second-floor walls marked for demo extended well above the ceiling grid and had various piping and electrical mounted to them. Please clarify the height extent on the wall demo on the 2nd floor walls, and the piping/electrical relocation scope.

Response: See SKA-1.

CONSTRUCTION DOCUMENT SHEETS

1. SHEET A500 DETAIL, Revised per Addendum 1.
2. SHEET A700 INTERIOR ELEVATIONS, Revised per Addendum 1.
3. SHEET E301 ELECTRICAL POWER PLAN, Revised per Addendum 1.

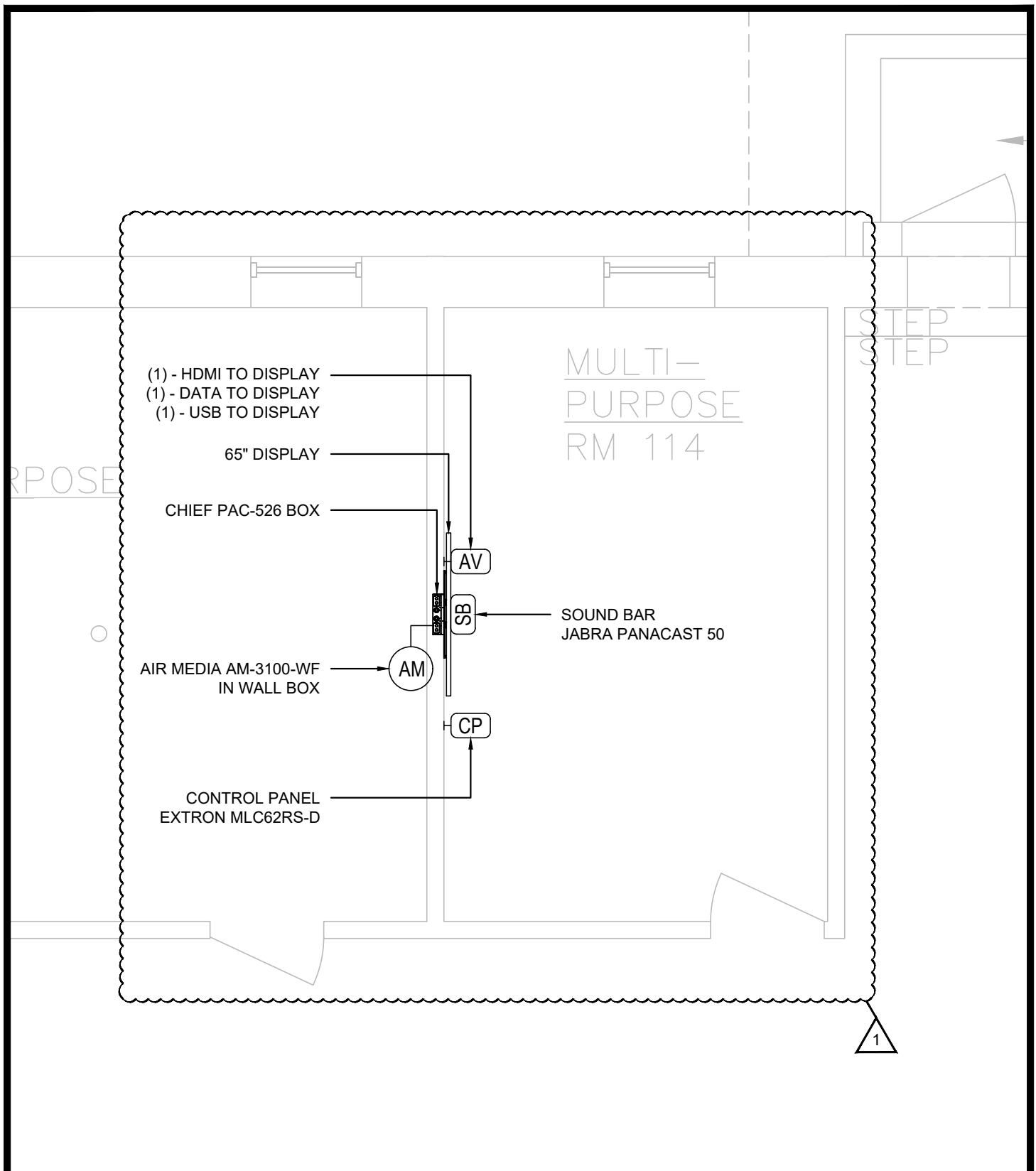
PROJECT MANUAL SPECIFICATION

NA

APPENDIX

Elmwood Community Center CPF Improvements – GC Pre-Bid sign in sheet.

END OF ADDENDUM



50 Holden Street
Providence, Rhode Island 02908

Phone: (401) 272-1730
Fax: (401) 273-7156

E-mail: rgbinfo@rgb.net
www.rgb.net

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**ELMWOOD COMMUNITY
CENTER BUILDING
RENOVATIONS**

**155 NIAGARA STREET
PROVIDENCE, RI 02907**

Contents

**UPDATED
MULTI-PURPOSE ROOM
114 - EQUIPMENT PLAN**

Project No. 6844

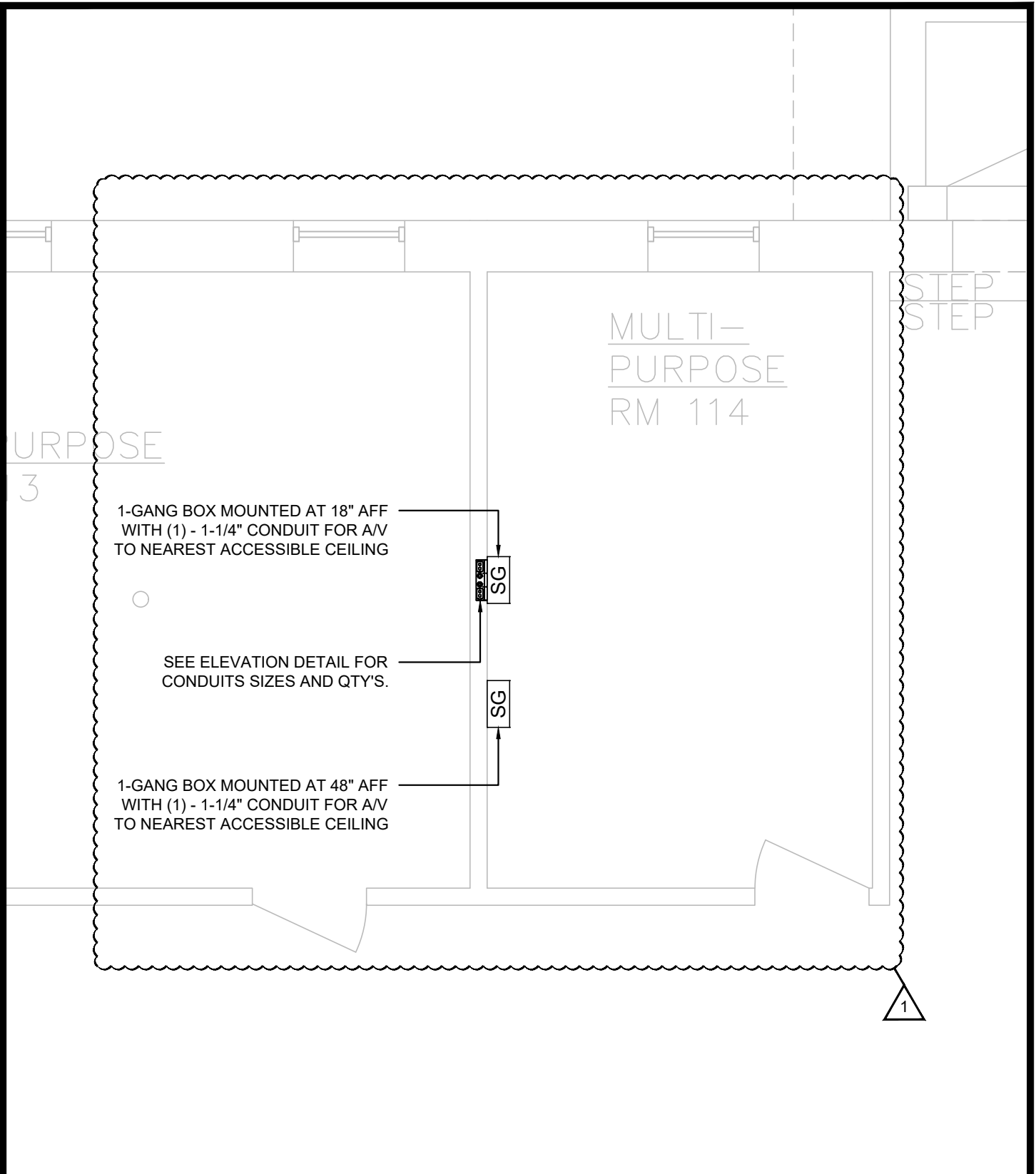
Drawing No.

Checked by MG

SK AV-1

Issued 30-Apr-25

Sheet of



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**UPDATED
MULTI-PURPOSE ROOM
114 - ROUGH-IN PLAN**

Project No. 6844

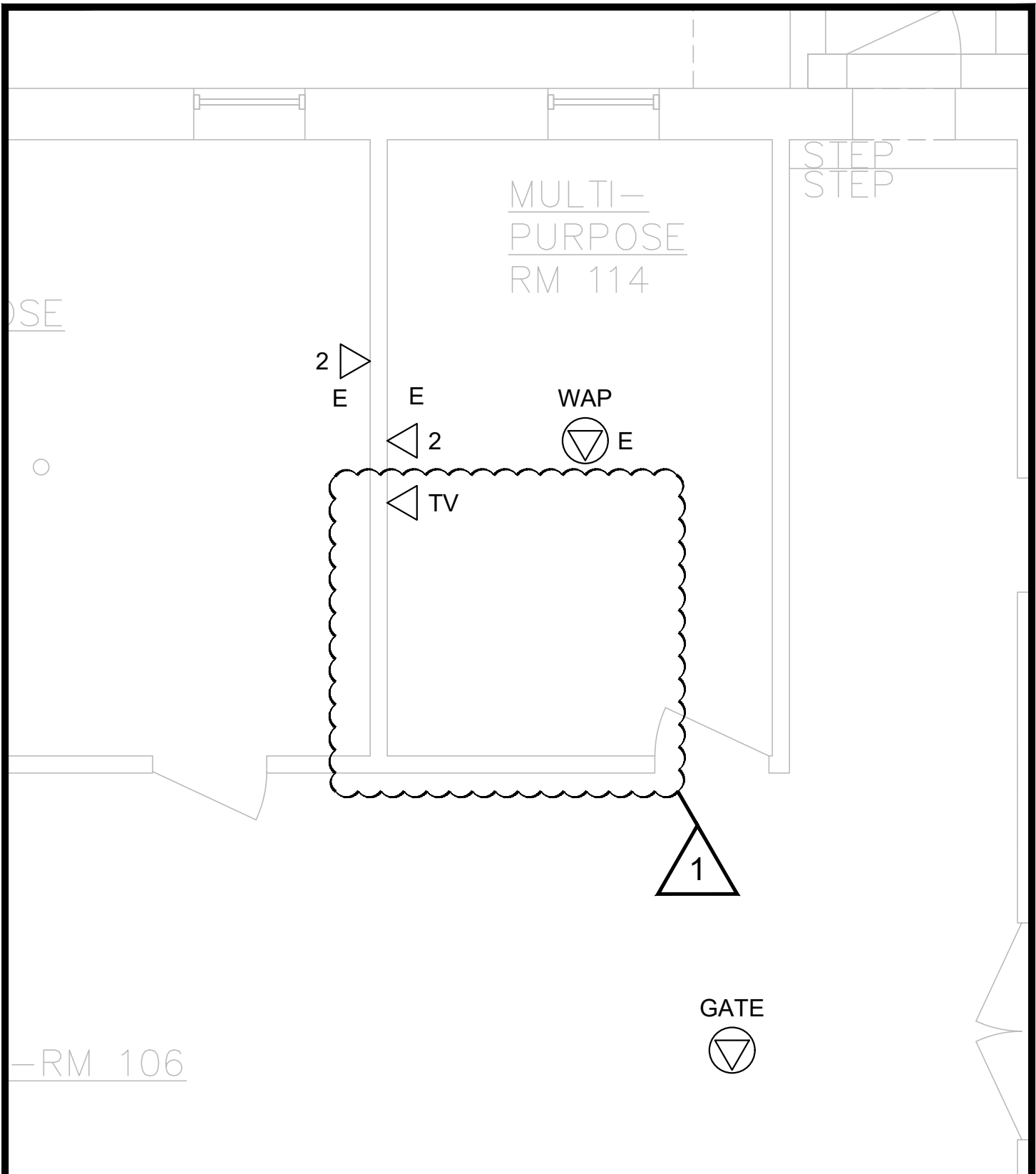
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SK AV-2

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<p>50 Holden Street Providence, Rhode Island 02908</p> <p>Phone: (401) 272-1730 Fax: (401) 273-7156</p> <p>E-mail: rgbinfo@rgb.net www.rgb.net</p> <p><i>Architecture · Project Management · Interior Design</i></p>	<p>Project</p> <p>ELMWOOD COMMUNITY CENTER BUILDING RENOVATIONS</p> <p>155 NIAGARA STREET PROVIDENCE, RI 02907</p>	<p>Contents UPDATED</p> <p>MULTI-PURPOSE ROOM 114 - TELECOM PLAN</p>	
		Project No. 6844	Drawing No.
		Checked by MG	SK TC-1
		Issued 30-Apr-25	Sheet of

GAS-FIRED WATER HEATER SCHEDULE		
EQUIPMENT NUMBER		GWH-1
LOCATION		MECH. ROOM 109
MANUFACTURER		A.O. SMITH
MODEL		BL 80
VENTING TYPE		ATMOSPHERIC VENT
STORAGE CAPACITY		70.3 GAL
BTU/HR INPUT		75,100 BTU/HR
GPH @ 100° RISE		73 GPH
THERMAL EFFICIENCY		81%
SETPOINT TEMPERATURE		120°F
PHYS DATA	DIAMETER	25-1/4"
	HEIGHT	58"
	OPERATING WEIGHT	871 LBS
CONNECTION SIZES	WATER CONN.	3/4" NPT
	GAS CONN.	1/2" NPT
	COMBUSTION AIR	DRAFT HOOD
	EXHAUST AIR	
ELEC DATA	SUPPLY	N/A
	POWER	N/A

MECHANICAL CONNECTION SCHEDULE TAG	
<div>XXX XX</div>	REFER TO "ELECTRICAL CONNECTION SCHEDULE FOR MECHANICAL EQUIPMENT" IN THIS DRAWING SET FOR ALL CIRCUIT INFORMATION, INCLUDING BUT NOT LIMITED TO BRANCH CIRCUIT WIRING AND CONDUIT SIZE, VOLTAGE, PHASE, MOTOR CONTROL, DISCONNECT SWITCH AND CIRCUIT BREAKER, REFER TO MECHANICAL, PLUMBING, AND FIRE PROTECTION PLANS FOR EXACT EQUIPMENT LOCATIONS.
LOW VOLTAGE SYSTEM GENERAL NOTES	
1.	THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A SYSTEM OF BOXES AND PATHWAYS FOR ANY TEL/DATA DEVICES SHOWN ON THE DRAWINGS. REFER TO THE FLOOR PLAN DRAWING FOR DEVICE QUANTITY AND LOCATIONS. ALL CONDUITS SHALL BE PROVIDED WITH BUSHINGS ON BOTH ENDS AND A PULL STRING.
2.	INCLUDE FIRE STOPPING OF ALL PENETRATIONS ASSOCIATED WITH THE ABOVE SYSTEM.

GENERAL POWER SHEET NOTES	
1.	ALL BRANCH CIRCUIT CONDUCTORS SHALL BE TYPE MC 98% CONDUCTIVITY, COPPER MINIMUM #12 AWG SIZE THWN/THHN INSULATION, 600 VOLTS RATED UNLESS OTHERWISE NOTED.
2.	COORDINATE EXACT LOCATION OF ALL DEVICES.
3.	WIRING IS SHOWN ON DRAWINGS ONLY FOR SPECIFIC ROUTES OR SPECIAL CONDITIONS.
4.	WIRING AND CONDUIT SHALL BE REQUIRED BETWEEN ALL OUTLETS INDICATED WITH CIRCUIT NUMBERS AND PANEL DESIGNATIONS.
5.	ALTHOUGH ALL BRANCH CIRCUIT WIRE AND CONDUIT IS NOT SHOWN, IT IS THE INTENT OF THESE DOCUMENTS THAT A COMPLETE BRANCH CIRCUIT WIRING SYSTEM BE INSTALLED.
6.	TYPICALLY REFER TO DETAIL 5/E601 FOR DEVICE ELEVATION LOCATIONS PRIOR TO ROUGH-IN.
7.	COORDINATE MOUNTING HEIGHT OF ALL TECHNOLOGY DEVICES WITH TECHNOLOGY CONTRACTOR PRIOR TO ROUGH-IN.
8.	COORDINATE LOCATIONS OF ALL FIRE AND SMOKE RATED WALLS WITH ARCHITECT AND PROVIDE PROPER METHOD OF PENETRATION FOR EACH.

PLUMBING KEYED SHEET NOTES	
<div>P1</div>	REMOVE EXISTING GAS WATER HEATER AND ASSOCIATED DOMESTIC PIPING, VALVES AND COMPONENTS. CAP DOMESTIC WATER MAINS ABOVE CEILING. CUT AND CAP NATURAL GAS PIPING BACK TO MAIN. DEMO VENT PIPING AND SEAL PIPE PENETRATIONS.
<div>P2</div>	RE-ROUTE NATURAL GAS PIPING, HOT, AND COLD WATER FROM NEW GAS WATER HEATER TO EXISTING MAINS, RECONNECT RE-CIRCULATION LINE AND RE-USE RE-CIRCULATION PUMP, IF POSSIBLE. REPLACE IN KIND IF REQUIRED. WATER HEATER TO BE VENTED PER MANUFACTURERS SPECIFICATIONS. SEE GAS WATER HEATER SCHEDULE ON THIS SHEET FOR MORE INFORMATION. SEE DETAIL 6 ON E601 FOR MORE INFORMATION.

ELECTRICAL KEYED SHEET NOTES	
<div>E1</div>	INTRUSION DETECTION CONTROL, PANEL AND SECURITY DEVICE LOCATIONS ARE DIAGRAMMATIC. COORDINATE WITH OWNER'S SECURITY VENDOR DRAWINGS TO VERIFY ALL DEVICE LOCATIONS AND QUANTITIES. ELECTRICAL CONTRACTOR TO COORDINATE POWER REQUIREMENTS WITH OWNER'S SECURITY VENDOR PRIOR TO ROUGH-IN.
<div>E2</div>	AV EQUIPMENT LOCATIONS ARE DIAGRAMMATIC. COORDINATE WITH OWNER'S AV VENDOR DRAWINGS TO VERIFY ALL DEVICE LOCATIONS AND QUANTITIES. ELECTRICAL CONTRACTOR TO COORDINATE POWER REQUIREMENTS WITH OWNER'S AV VENDOR PRIOR TO ROUGH-IN.
<div>E3</div>	DISPLAY BOX FOR TV/DATA INSTALLATIONS. COORDINATE FINAL LOCATIONS WITH ARCHITECT FOR EACH BOX, PRIOR TO ROUGH-IN.
<div>E4</div>	INSTALL RECEPTACLE FOR PRINTER. COORDINATE FINAL LOCATION WITH ARCHITECT PRIOR TO ROUGH-IN.
<div>E5</div>	INSTALL (3) RECEPTACLES FOR COMPUTER POWER IN ROOM 115. COORDINATE FINAL LOCATIONS WITH ARCHITECT PRIOR TO ROUGH-IN.
<div>E6</div>	INTERIOR DOORS TO HAVE WIRELESS LOCKS. COORDINATE HARDWARE SETS AND FINAL LOCATIONS WITH ARCHITECT PRIOR TO ROUGH-IN.
<div>E7</div>	INSTALL RECEPTACLES FOR POWER IN ROOM 106. COORDINATE FINAL LOCATIONS WITH ARCHITECT PRIOR TO ROUGH-IN.
<div>E8</div>	INSTALL RECEPTACLE AND AV JACK FOR MOBILE CART, PROVIDED BY OWNER (CURRENT USE). COORDINATE WITH OWNER'S AV VENDOR PRIOR TO ROUGH-IN.
<div>E9</div>	TELECOM DEVICE LOCATIONS ARE DIAGRAMMATIC. COORDINATE WITH OWNER'S TELECOMMUNICATIONS VENDOR DRAWINGS TO VERIFY ALL DEVICE LOCATIONS AND QUANTITIES. ELECTRICAL CONTRACTOR TO COORDINATE POWER REQUIREMENTS WITH OWNER'S TELECOMMUNICATIONS VENDOR PRIOR TO ROUGH-IN.

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Drawn by DD

Checked by SC

Revised on

1 05/02/25 REVISION #1

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HVAC - ELECTRICAL - PLUMBING - FIRE PROTECTION

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195 FRANCES AVE BLDG. #2 CRANSTON RI 02910

OFFICE - 401.438.7733

CEC No: 20240616

50 Holden Street

Providence, Rhode Island

02908

Phone: (401) 272-1730

Fax: (401) 273-7156

E-mail: rgbinfo@rgb.net

www.rgb.net

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ELMWOOD COMMUNITY CENTER

BUILDING RENOVATIONS

155 NIAGARA STREET
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Drawing Status

BID SET

Issued On 03/28/2025

Sheet Contents

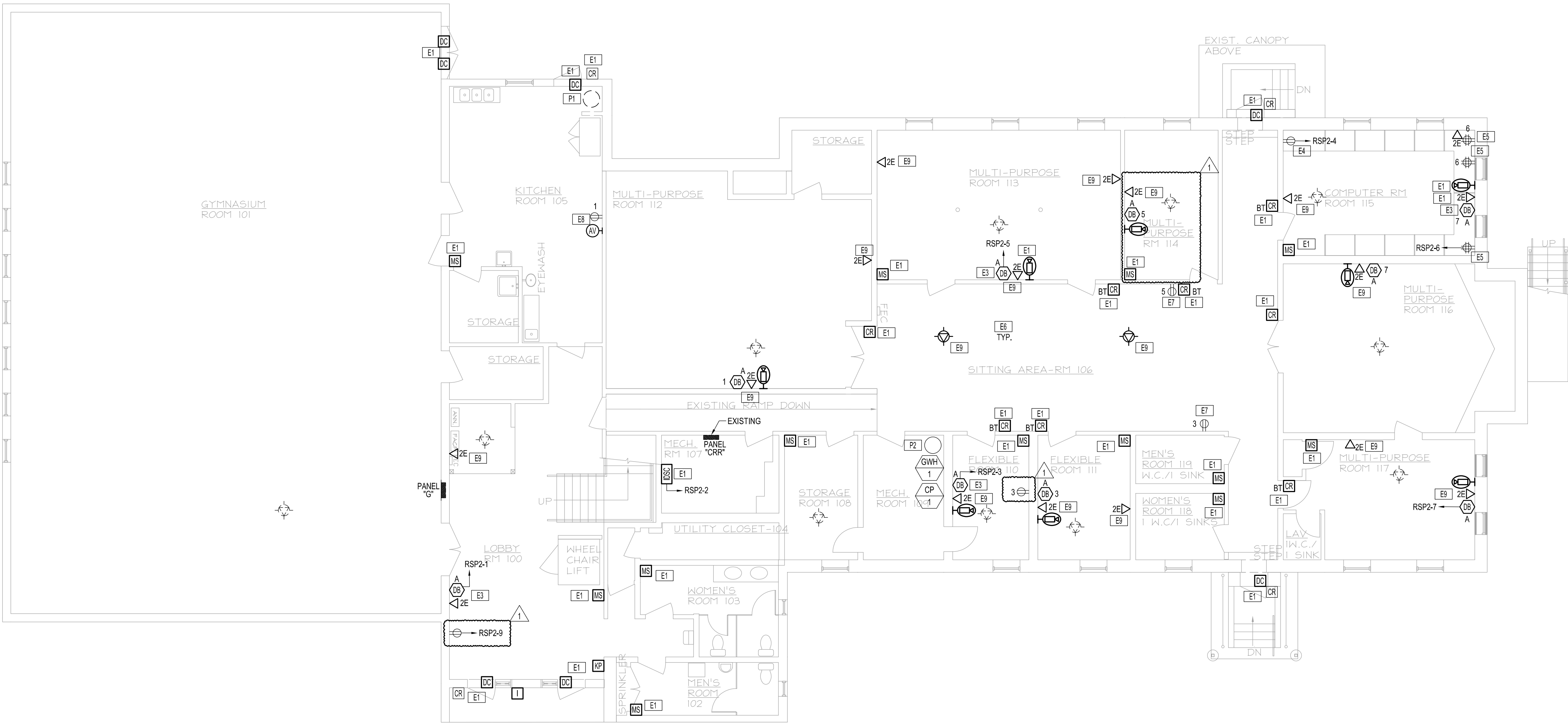
ELECTRICAL POWER PLAN - FIRST FLOOR

Project Number. 6844 PROVIDENCE COMMUNITY CENTER

Drawing No.

E301

Sheet of



1

E301

ELECTRICAL POWER PLAN - FIRST FLOOR

1/8" = 1'-0"

0 4' 8' 16'

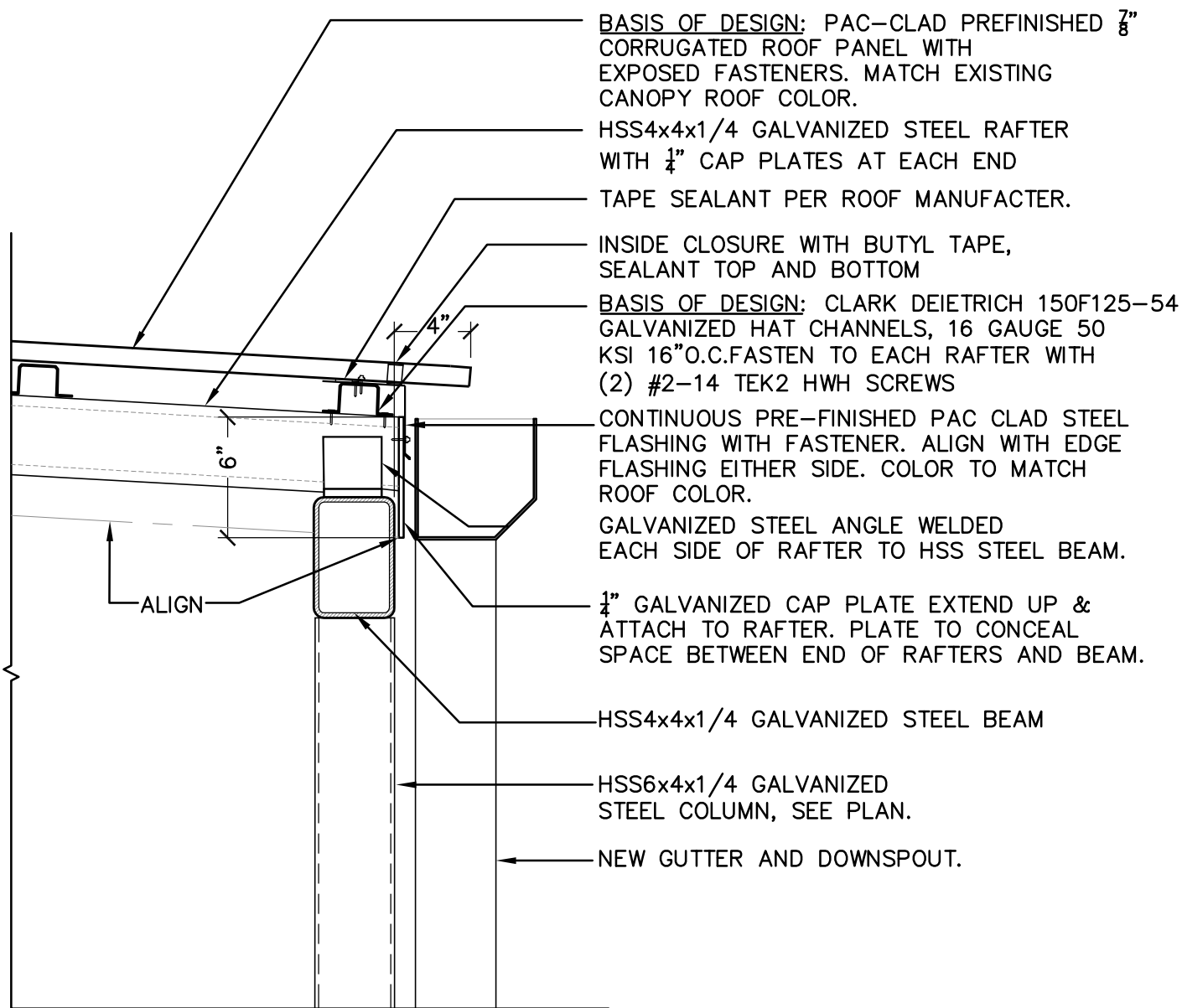
TRUE NORTH



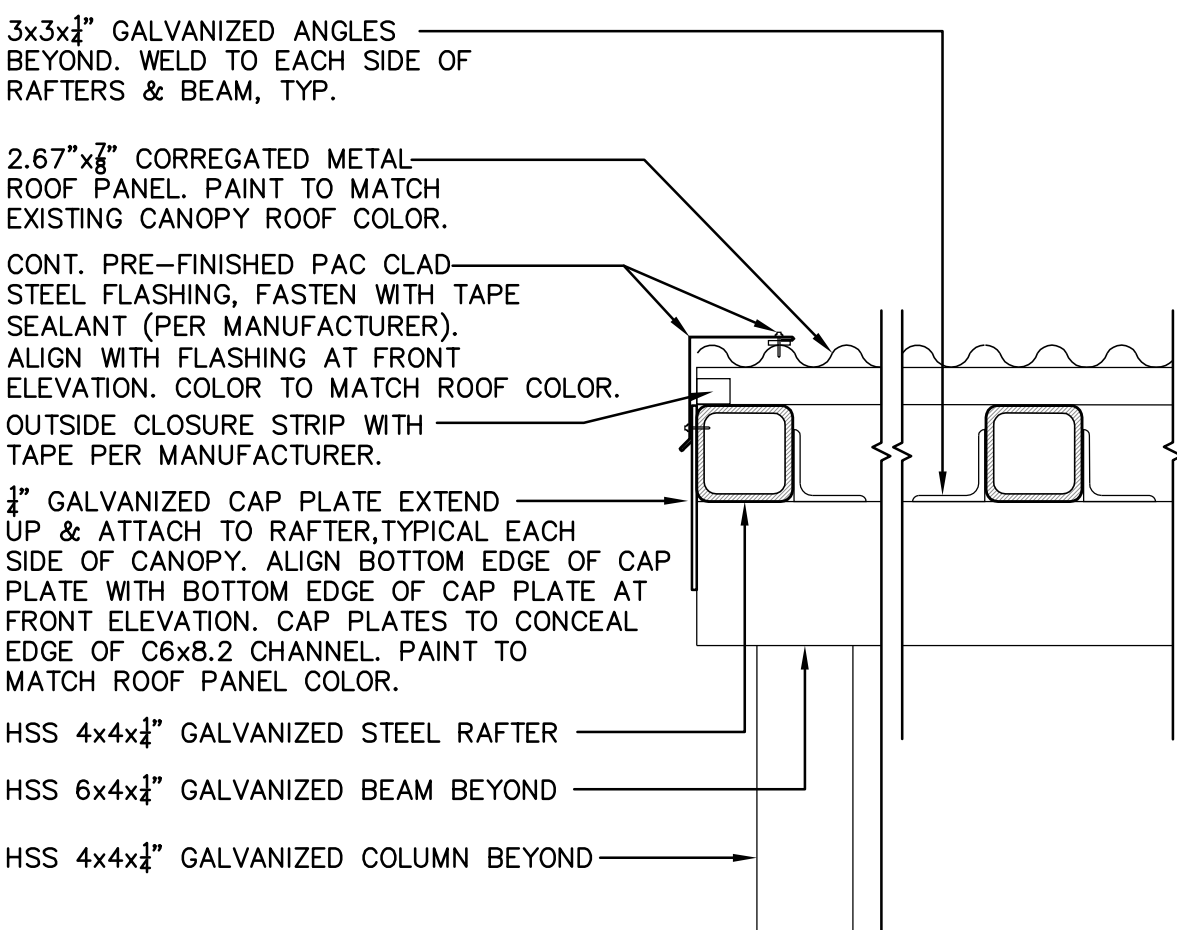
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Checked by AB

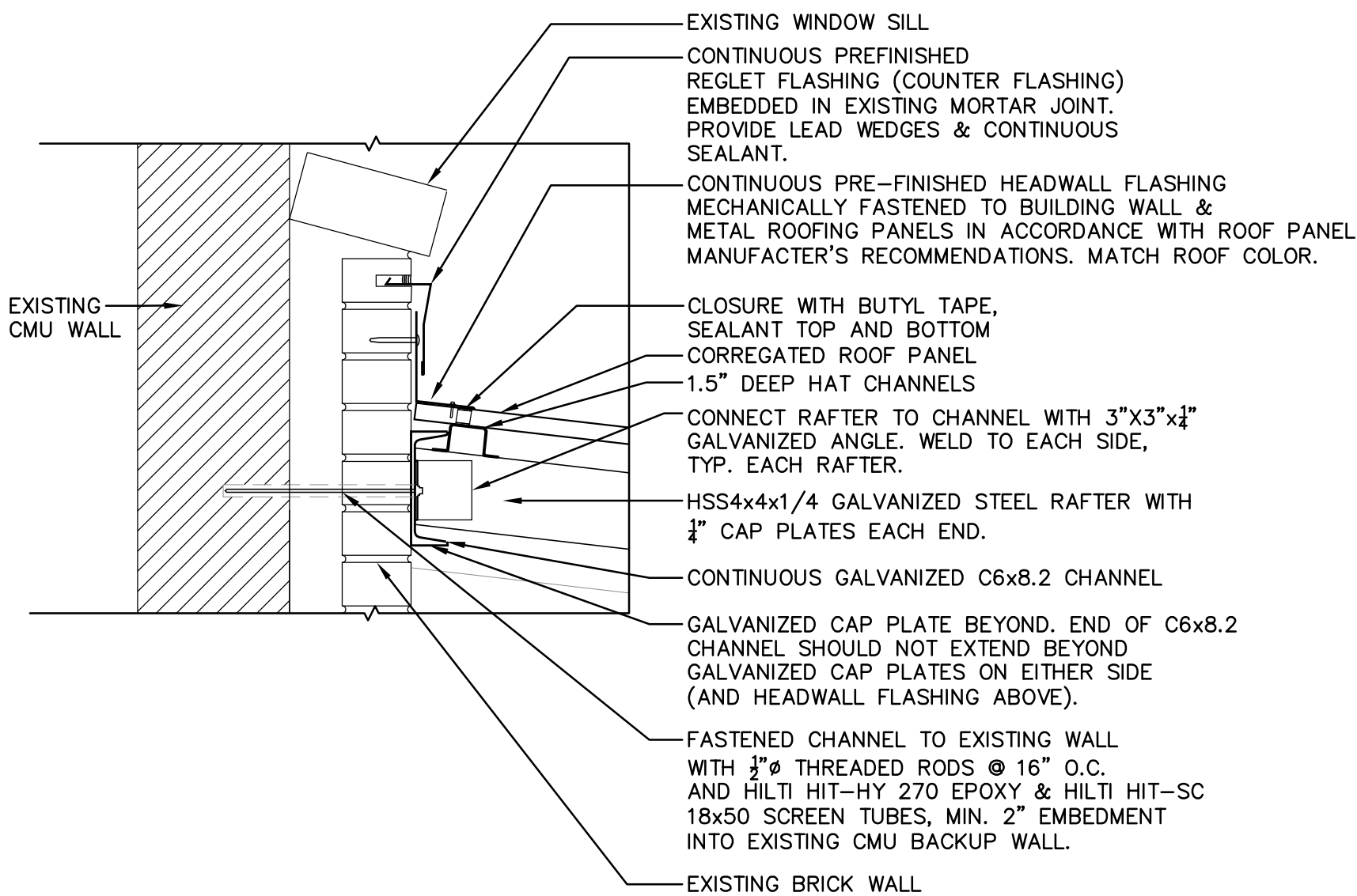
Revised on 05/02/25 Revision 1



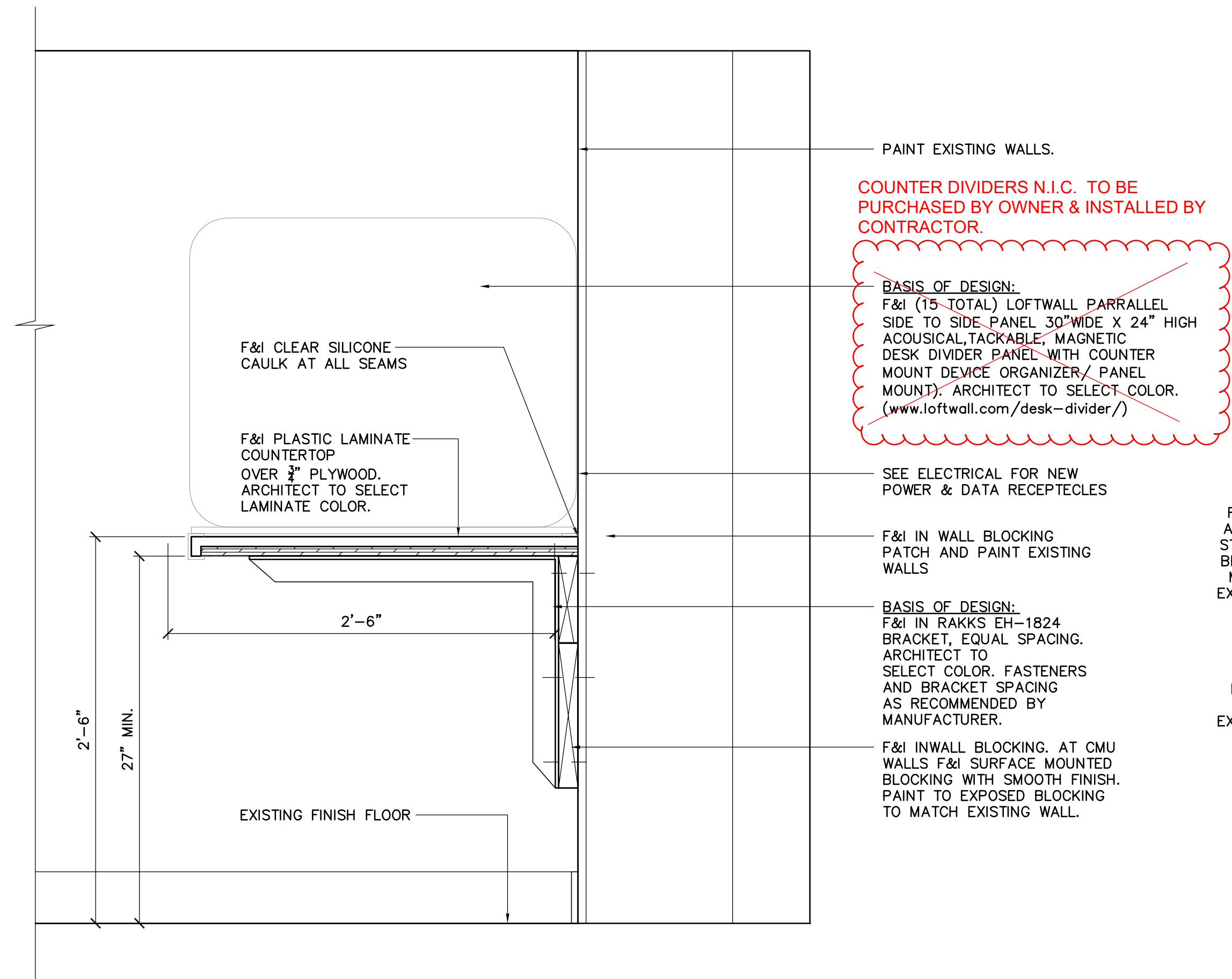
1 DETAIL
A500 Scale: 1- 1/2" = 1'-0"



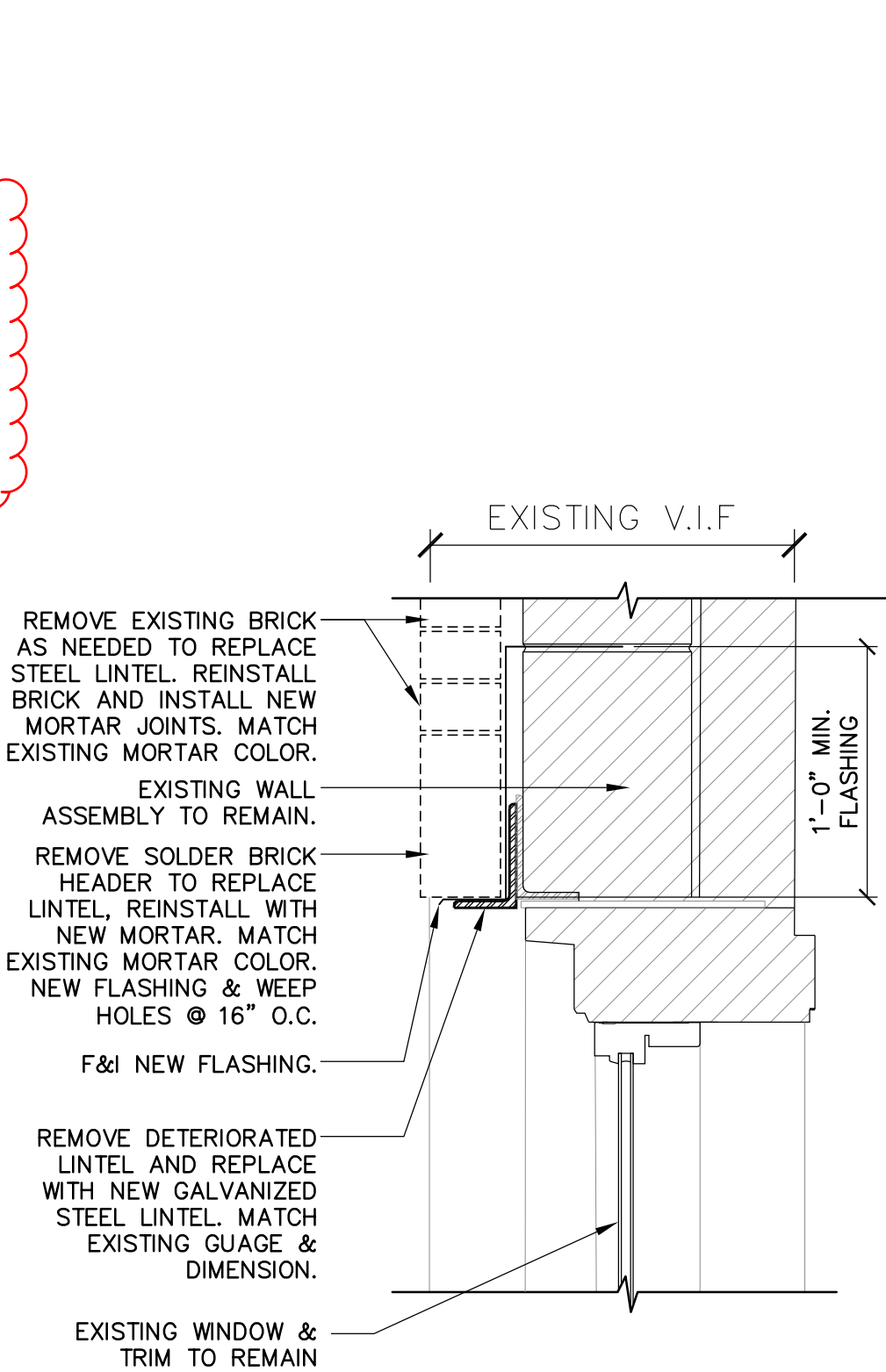
2 DETAIL
A500 Scale: 1- 1/2" = 1'-0"



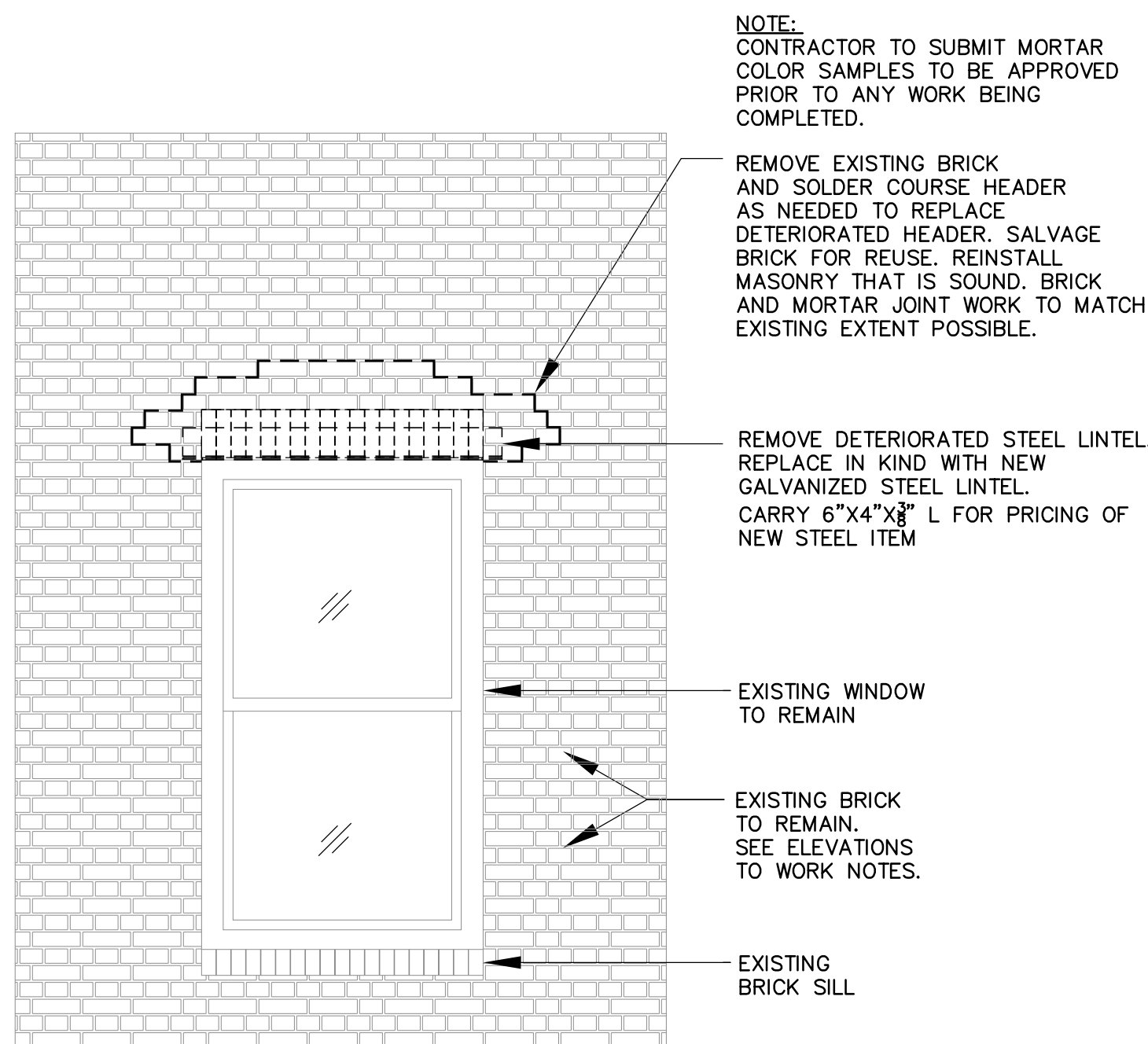
3 DETAIL
A500 Scale: 1- 1/2" = 1'-0"



4 COUNTER DETAIL (ROOM 115)
A500 Scale: 1- 1/2" = 1'-0"



5 LINTEL DETAIL
A500 Scale: 1- 1/2" = 1'-0"



6 WINDOW ELEVATION
A500 Scale: 1/2" = 1'-0"

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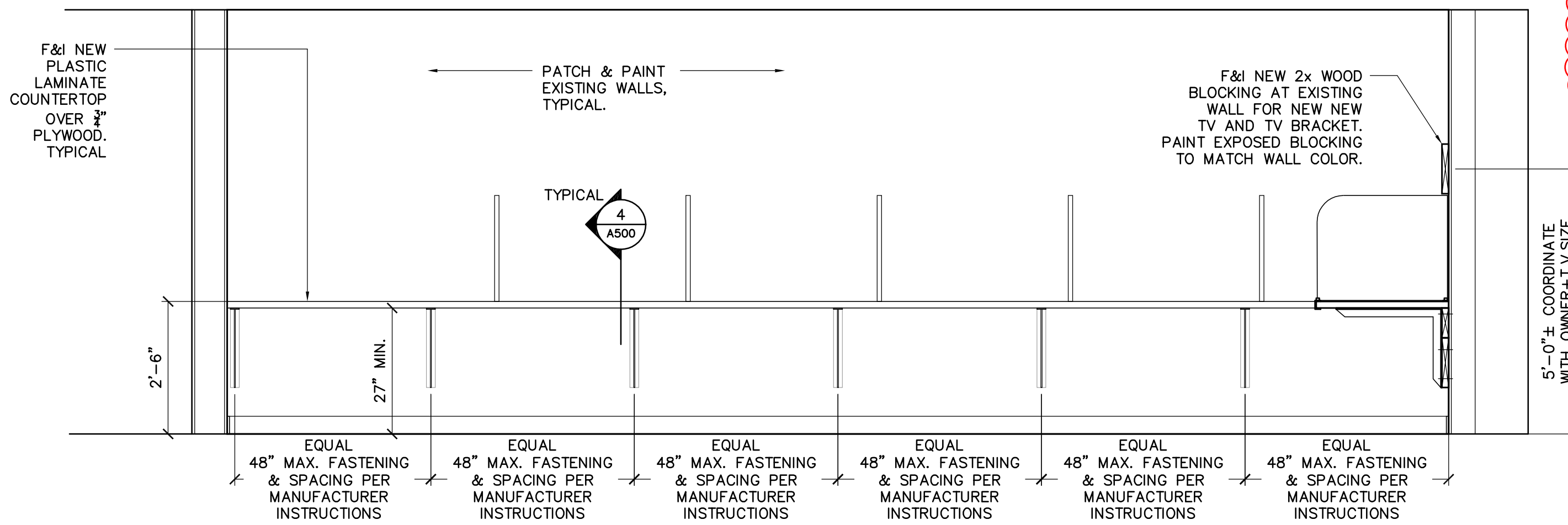
DETAILS

Project Number. 6844

Drawing No.

A500

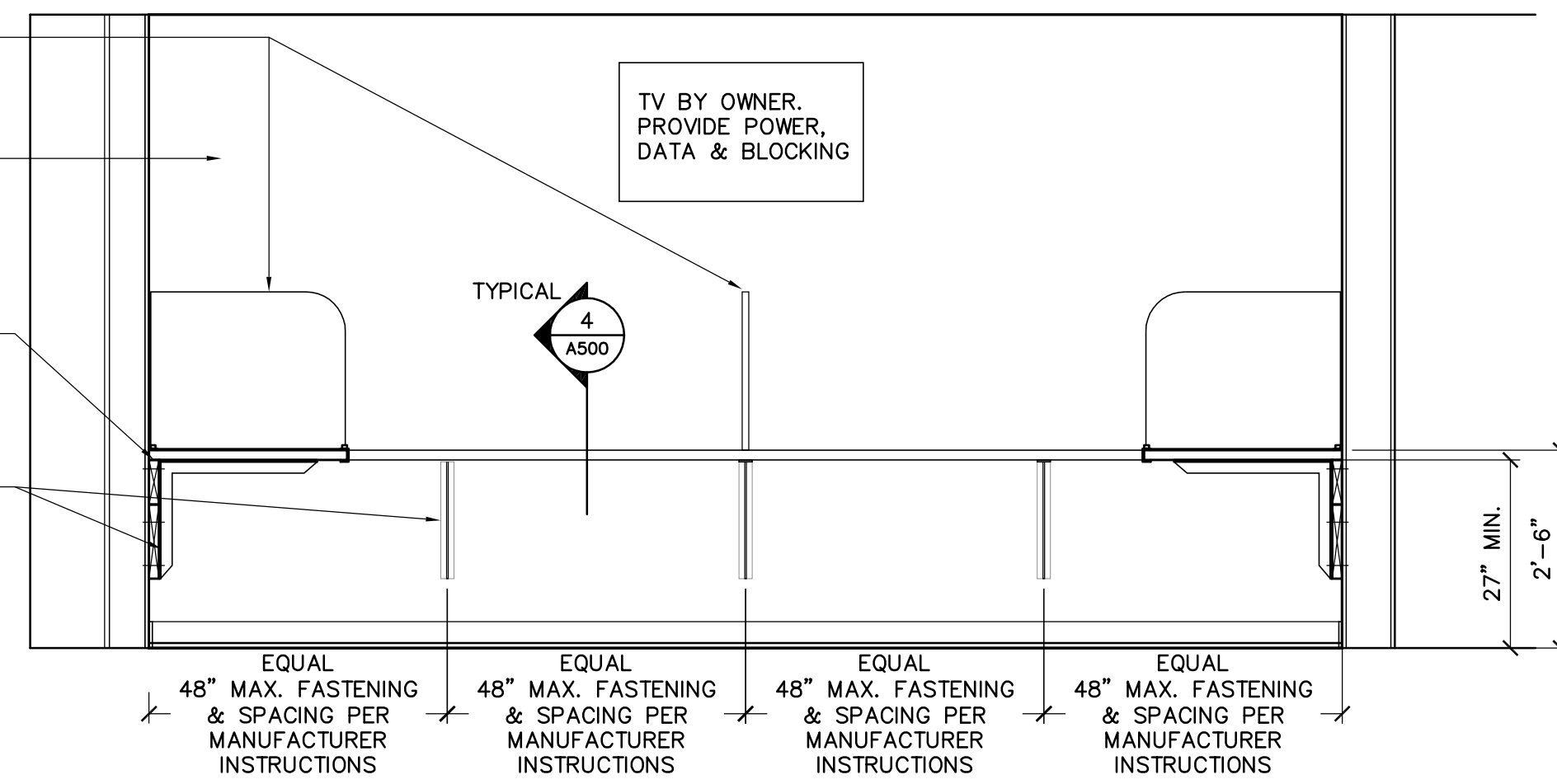
Sheet of



2 INTERIOR ELEVATION (RM 115 - NORTH WALL)
A700 SCALE: 1/2" = 1'-0"

COUNTER DIVIDERS N.I.C. TO BE PURCHASED BY OWNER & INSTALLED BY GENERAL CONTRACTOR, TYPICAL.

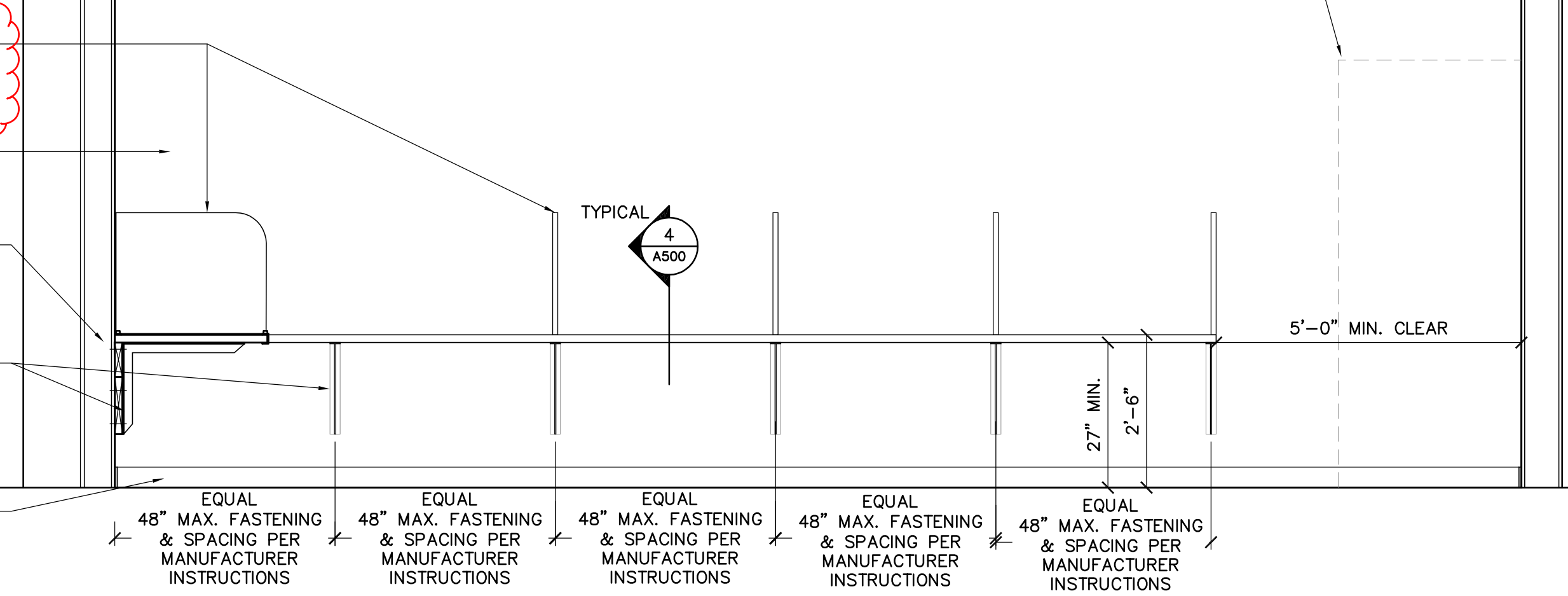
F&I NEW COUNTER MOUNTED-PRIVACY SCREENS TO NEW COUNTERTOP, TYPICAL.
PATCH & PAINT EXISTING WALLS, TYPICAL.
NOTE:
SEE POWER PLAN FOR NEW POWER/DATA REQUIREMENTS.
F&I NEW 2x WOOD BLOCKING AT EXISTING WALLS AT EACH BRACKET LOCATION, PATCH & PAINT WALLS & BLOCKING, TYPICAL.
F&I NEW EH-1824 RAKKS BRACKET, EQUAL SPACING, ARCHITECT TO SELECT BRACKET COLOR.



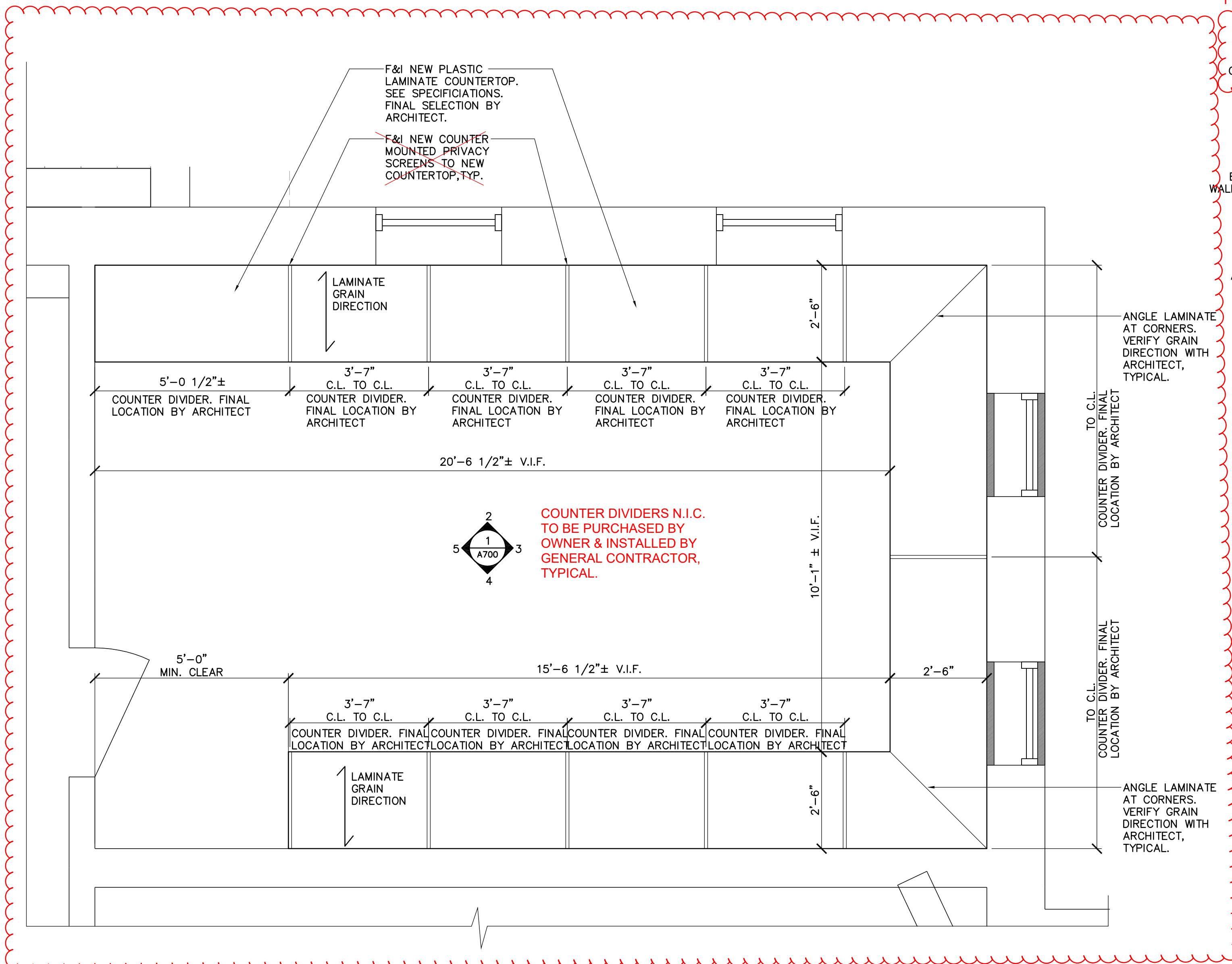
3 INTERIOR ELEVATION (RM 115 - EAST WALL)
A700 SCALE: 1/2" = 1'-0"

COUNTER DIVIDERS N.I.C. TO BE PURCHASED BY OWNER & INSTALLED BY GENERAL CONTRACTOR, TYPICAL.

F&I NEW COUNTER MOUNTED-PRIVACY SCREENS TO NEW COUNTERTOP, TYPICAL.
PATCH & PAINT EXISTING WALLS, TYPICAL.
F&I NEW 2x WOOD BLOCKING AT EXISTING WALLS AT EACH BRACKET LOCATION, PATCH & PAINT WALLS & BLOCKING, TYPICAL.
F&I NEW EH-1824 RAKKS BRACKET, EQUAL SPACING, ARCHITECT TO SELECT BRACKET COLOR.



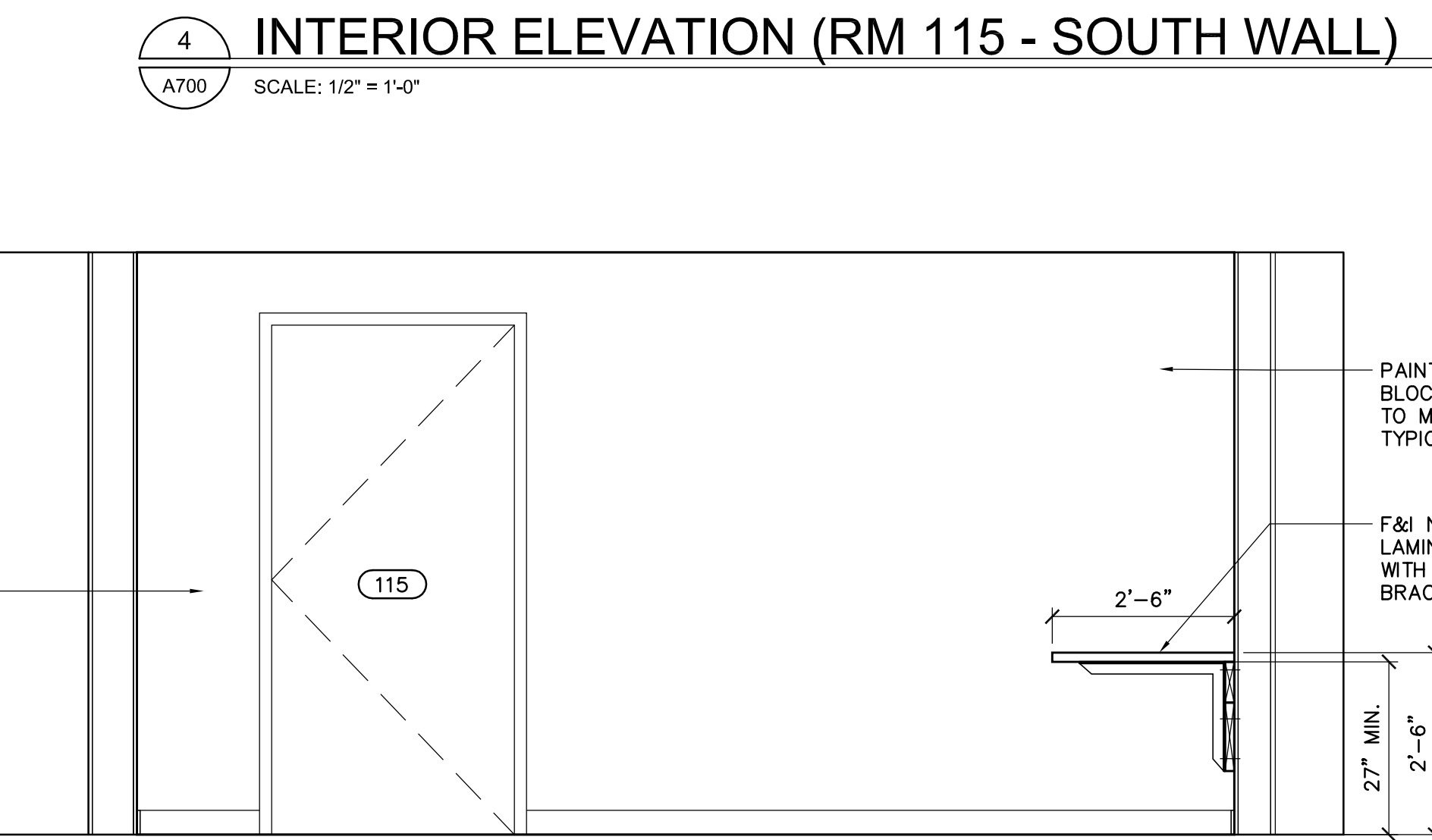
4 INTERIOR ELEVATION (RM 115 - SOUTH WALL)
A700 SCALE: 1/2" = 1'-0"



1 ENLARGED PARTIAL PLAN (COMPUTER ROOM 115)
A700 SCALE: 1/2" = 1'-0"

EXISTING WALL BASE TO REMAIN, TYPICAL.

F&I NEW COUNTER MOUNTED-PRIVACY SCREENS TO NEW COUNTERTOP, TYPICAL.
PATCH & PAINT EXISTING WALLS, TYPICAL.
F&I NEW 2x WOOD BLOCKING AT EXISTING WALLS AT EACH BRACKET LOCATION, PATCH & PAINT WALLS & BLOCKING, TYPICAL.
F&I NEW EH-1824 RAKKS BRACKET, EQUAL SPACING, ARCHITECT TO SELECT BRACKET COLOR.



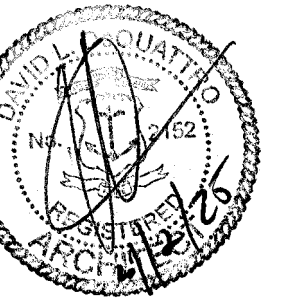
5 INTERIOR ELEVATION (RM 115 - WEST WALL)
A700 SCALE: 1/2" = 1'-0"

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Checked by AB

Revised on 05/02/25 Revision 1

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Phone: (401) 272-1730
Fax: (401) 273-7156

E-mail: rgbinfo@rgb.net
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Sheet Contents

INTERIOR ELEVATIONS

Project Number. 6844

Drawing No.

Revision 1
A700

Sheet

1'-0"±
FROM
FACE OF
WALL

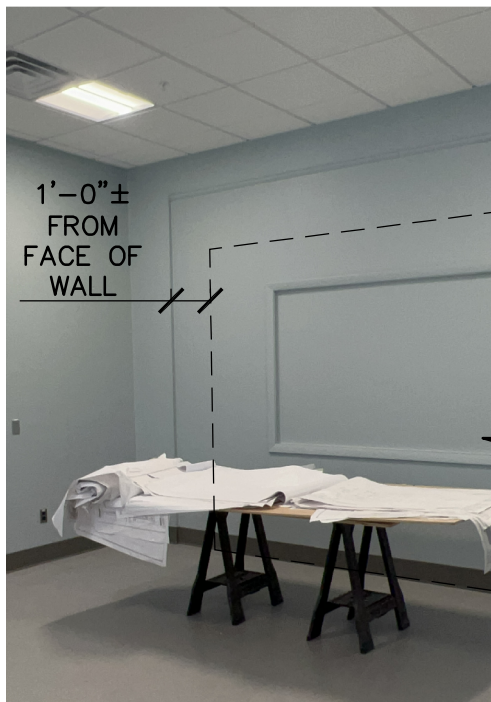


1'-0"±
FROM FACE
OF WALL

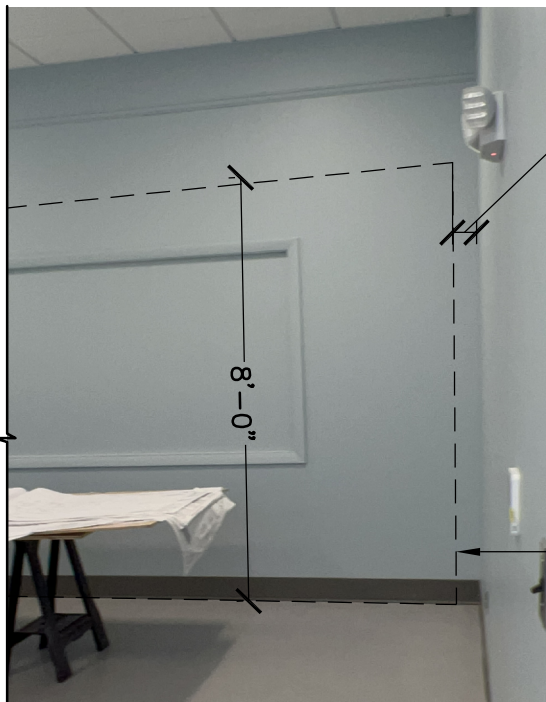
LIMIT OF WALL
DEMOLITION
SHOWN DASHED.

2 ROOM 203

SKA-1 NOT TO SCALE



1'-0"±
FROM
FACE OF
WALL



1'-0"±
FROM
FACE OF
WALL
TYPICAL
EACH
SIDE

LIMIT OF WALL
DEMOLITION
SHOWN DASHED.

1 ROOM 201

SKA-1 NOT TO SCALE

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Providence, Rhode Island 02908

Phone: (401) 272-1730
Fax: (401) 273-7156

E-mail: rgbinfo@rgb.net
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Contents **ROOM 201 & 203**
LIMIT OF
DEMOLITION

Project No. 6844	Drawing No.
Checked by AB	SKA-1
Issued 02-May-25	Sheet of

PROJECT: Elmwood Community Center CPF Improvements - GC**Date:** 4/28/2024**Time:** 10:00AM

Mandatory pre-bid conference

155 Niagara St, Providence, RI 02907

ATTENDEES:

Name	Company	Email	Phone
Ben Lobaugh	City of Providence, Public Property	blobaugh@providenceri.gov	401-749-6320
CHRIS SEGER	MILL CITY CONSTRUCTION	CSEGER@MILL-CITY.COM	401-523-6334
Chance Batalon	Maron Construction	estimating@MaronCo.com	401-441-9955
Brian Petsch	Maron Construction	Gpetsch@maronco.com	401-272-4930
Ron Dewa Moré	Coletta Contracting	RONNIE@ColettaContracting.com	401-727-1757
JP Morales	E. W. Burman	estimating@ewburman.com	401-738-5400
Stephen Feole	SA Feole Masonry	SAFeoleMasonry@gmail.com	401-273-2766
MIKE MARTONE	MARTONE	MIKE@MARTONEIPC.COM	401-641-5545
John Warner	Ahlboms	jwarner@ahlboms.com	401-255-0410

PROJECT: Elmwood Community Center CPF Improvements - GC

Date: 4/28/2024

Time: 10:00AM

Mandatory pre-bid conference

155 Niagara St, Providence, RI 02907

ATTENDEES:

Name	Company	Email	Phone
NECK BOCCARD	DESLANDES CONSTRUCTION	NECK@DESLANDESCONSTRUCTION.COM	401-467-7600
Chris Smith	Deslandes Construction	Csmith@deslandesconstruction.com	401-467-7600
Chris Reynolds	Duban Masons	CREYNOLDS@DUBANMASONSON.COM	401-500-5063
Jim Hill	Bentley Co.	jhill@bentleycompanies.com	617-388-6561
Steve MacGillivray	Connectivity Point	smacgillivray@connectivitypoint.com	401-241-1040
Jay Edwards	Downes GIST	jedwards@downesco.com	(860) 936-1624
TAYLOR GERRIN	City of Providence	tertkinen@providenceri.gov	(401) 580-5099