



Procurement #: 49106>

CITY OF PROVIDENCE, RHODE ISLAND

Department: Public Property

**RFP Title: TENNIS AND PICKLEBALL COURT RENOVATIONS AT NATHAN BISHOP MIDDLE
SCHOOL**

Opening Date: 05/19/2025

Addendum #: 3

Issue Date: 05/12/2025

The purpose of this addendum is to provide the updated plans which have been adjusted to reflect the clarifications and answers provided in response to bidder questions.

Providence City Hall
25 Dorrance Street
Providence, RI 02903

101 SESSIONS STREET, PROVIDENCE RI
NATHAN BISHOP MIDDLE SCHOOL COURTS
COVER SHEET

PREPARED BY NARRAGANSETT ENGINEERING INC.

10/18/24

PRICING SET

REVISÉD 05/08/25

REVISIONS:

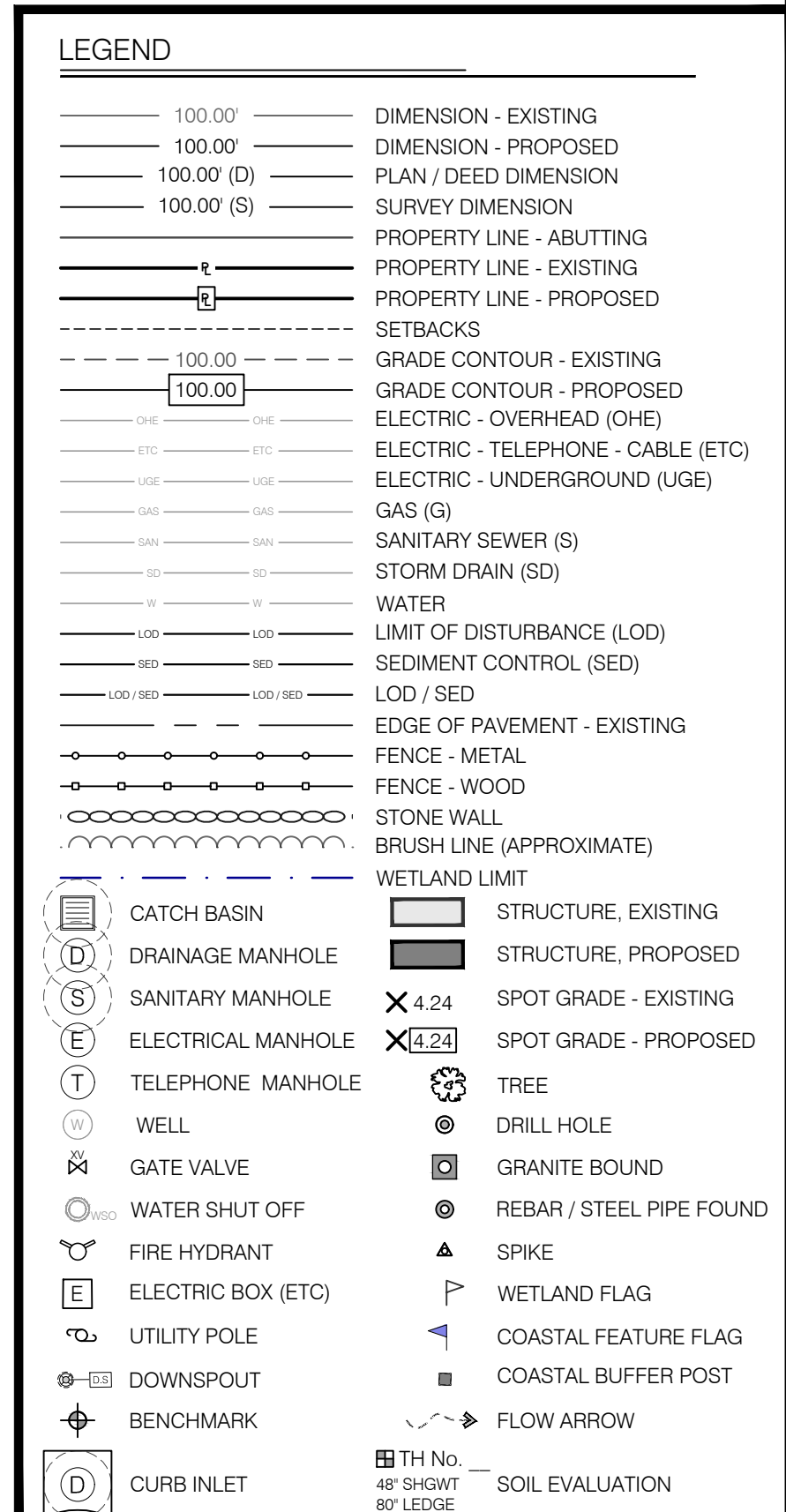
1. COURT LAYOUT, STORMWATER FEATURE, AND ADA ACCESS EDITS PER CLIENT 10/21/24
2. GATES AND FENCES, ADA DETAILS, ALTERNATES, AND SPORT COURT DETAILS ADDED PER CLIENT MEETING 1-29-24
3. ALTERED BIORETENTION, REPLACED SWALE OUTLET WITH LEVEL SPREADER, COURT COLORS 2-5-25
4. NOTED FENCE REUSE OR REMOVAL MORE CLEARLY. NOTED SUBDRAIN OUTLETS 3-12-25
5. REVISED PER QUESTIONS FROM PRE-BID MEETING

SHEET INDEX:

- | | |
|----|-----------------------------------|
| 1. | SV-100 - EXISTING CONDITIONS PLAN |
| 2. | C-001: DEMOLITION PLAN |
| 3. | C-100: PROPOSED SITE PLAN |
| 4. | C-101: NOTES AND DETAILS |
| 5. | C-102: NOTES AND DETAILS |

COVER : SITE LOCUS

Scale:



SHEET TITLE

NATHAN BISHOP MIDDLE SCHOOL
FOR DISCUSSION/REVIEW ONLY

Dan Kittridge
Capital Improvement Project Manager
Department of Public Property
Providence City Hall
25 Dorrance Street
Providence, RI 02903
T. (401) 680-5329 (office)
C. (401) 473-8418
E. dkittridge@providenceri.gov

Nathan Bishop Middle School Tennis and Pickleball Court
101 Sessions St, Providence, RI 02906
Plat: 86 , Lot: 319
Zone: PS
Area: 233,917 sqft.



| | | |
|-------------|---------|----|
| PROJECT NO. | DATE | BY |
| 24.0119 | 8/23/24 | TR |

DRAWING ISSUE:

☐ CONCEPT / DISCUSSION

☐ PERMITTING

☒ CONSTRUCTION

☐ AS-BUILT

☐ OTHER

ONLY PLANS ISSUED
FOR CONSTRUCTION SHALL BE
USED FOR CONSTRUCTION

FOR DISCUSSION /REVIEW ONLY

INTERNAL REVIEW

| No | CHECK | CAD | DESCRIPTION/NOTES |
|----|----------------|--------------|--|
| 1 | NKH 9/18/24 | | PDF 10% |
| 2 | | JM 5/8/25 | SEE QA PERIOD ADDITION QUESTIONS DATED 5/5/25 |

FORMAL PLAN REVISIONS

| No | DATE | STAGE/DESCRIPTION | BY |
|----|----------|---|----|
| 1 | 10/21/24 | COURT LAYOUT, STORMWATER FEATURE, AND ADA FEATURE EDITS PER CLIENT MEETING | TR |
| 2 | 1/29/25 | GATES AND FENCES, ADA DETAILS, ALTERNATES, AND SPORT COURT DETAILS ADDED PER CLIENT MEETING | TR |
| 3 | 02/05/25 | ALTERED BIOTRETMENT, REPLACED SWALE OUTLET WITH LEVEL SPREADER, COURT COLORS | TR |
| 4 | 03/12/25 | NOTED FENCE REUSE OR REMOVAL MORE CLEARLY. NOTED SUBDRAIN OUTLETS | TR |
| 5 | 05/08/25 | ADDENDUM PER PRE-BID QUESTIONS | JM |

nei-cds.com

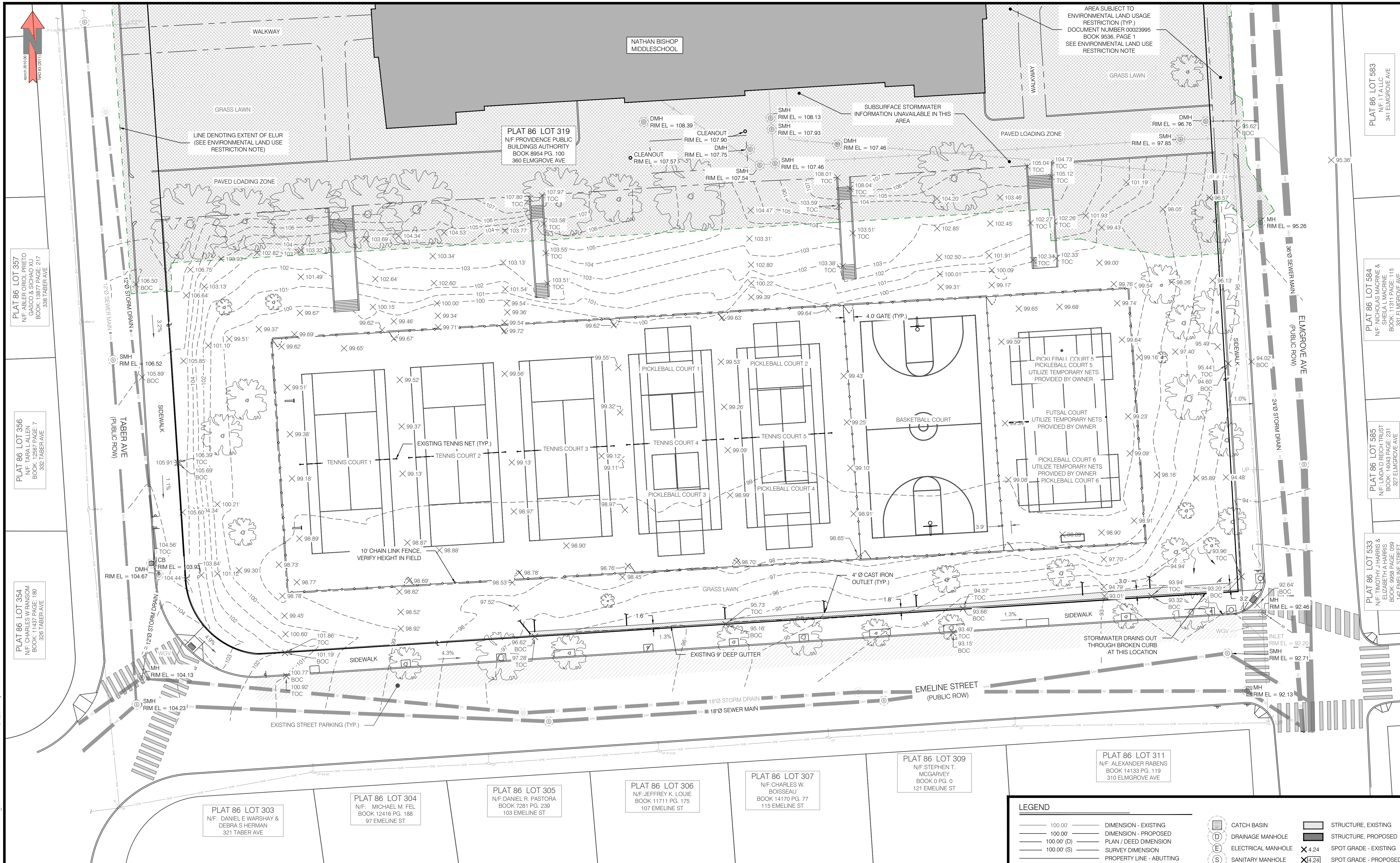
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SCALE

COVER

N:\PROJECTS\24.0119 NATHAN BISHOP MIDDLE SCHOOL\SITE\24.0119 NATHAN BISHOP - DWG SV-100 NEI-Standard.ctb 3/12/2025 Tyler Russell



| EXISTING CONDITIONS | | |
|--|-----|-----|
| Scale: 1" = 30' | | |
| PROVIDENCE ZONING ORDINANCE ARTICLE 10 | | |
| TABLE 10-1: OPEN SPACE AND PUBLIC SPACE DISTRICT DIMENSIONAL STANDARDS | | |
| | OS | PS |
| Bulk Standards | | |
| Minimum Lot Area | 0 | 0 |
| Minimum Lot Width | 0 | 0 |
| Maximum Building Height | 50' | 50' |
| Minimum Setback Requirements | | |
| Front Setback | 10' | 10' |
| Interior Side Setback | 6' | 6' |
| Corner Side Setback | 10' | 10' |
| Rear Setback | 25' | 25' |

- SURVEY NOTES:**
- ZONING INFORMATION SHOWN FROM RECORD INFORMATION, MAPS AND / OR GIS. ZONING DATA MAY VARY BASED ON USE, LOT SIZE, ORIENTATION AND OTHER FACTORS AND IS SHOWN FOR REFERENCE INFORMATION ONLY.
 - ZONING DATA MUST BE CONFIRMED WITH ZONING OFFICIAL AND / OR LEGAL COUNSEL FOR USE IN DESIGN OR PERMITTING.
 - COORDINATE SYSTEM IS R3800 / NAVD 88.
 - PLAN ELEMENTS ARE IN U.S. SURVEY FEET.
 - TOPOGRAPHY IS MIX OF ON GROUND SHOTS, RECORD DATA AND RI SPRING 2011 LIDAR.
 - ORTHOPHOTOGRAPHY SHOWN PER RIGIS STATEWIDE DIGITAL MULTISPECTRAL ORTHORECTIFIED AERIAL PHOTOGRAPHS. DATED APRIL 2021
 - ELEVATIONS SHOWN WITH " PER UAV DATA.
 - ALL PROPOSED ITEMS MUST BE LAID OUT BY REGISTERED SURVEYOR AS NOTED.
 - PLAN IS NOT AS-BUILT UTILITY PLAN.
 - ABUTTING PROPERTY LINES SHOWN APPROXIMATELY PER TOWN GIS OR BEST AVAILABLE INFORMATION.
 - FLOOD ZONE LINE IS SHOWN PER GRAPHIC PLOTTING ONLY, UNLESS OTHERWISE NOTED ON PLAN.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT OF PROBATE SEARCH, AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
 - LOCATION OF SUBSURFACE MAINS, SURFACE FEATURES, AND LATERALS ARE OMITTED. CONTRACTOR TO CALL DIG SAFE AND/OR APPLICABLE UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION. DIG SAFE TEL #1-800-344-7233 (1-800-DIG-SAFE).
 - A. WATER - SURFACE FEATURES LOCATED IN FIELD. WATER CARD FROM PROVIDENCE WATER PENDING, REQUESTED 09-09-24
 - B. SEWER - SURFACE FEATURES LOCATED IN FIELD. SUBSURFACE INFORMATION PER CITY OF PROVIDENCE ENGINEERING DEPARTMENT PLAN SET
 - C. GAS - SURFACE FEATURES LOCATED IN FIELD. SUBSURFACE RESEARCH PENDING PER RIGAS, REQUESTED 09-09-24
 - D. ELECTRIC - SURFACE FEATURES LOCATED IN FIELD. SUBSURFACE RESEARCH PENDING, REQUESTED 09-09-24
 - E. STORM DRAIN - SURFACE FEATURES ONLY. SUBSURFACE FEATURES PER CITY OF PROVIDENCE ENGINEERING DEPARTMENT PLAN SET
 - ALL UTILITIES DEPICTED AT ASCE QUALITY LEVEL D.
 - PROPERTY LINE PER PROVIDENCE GIS.
 - SITE IS SUBJECT TO ENVIRONMENTAL LAND USE RESTRICTIONS SEE PLAN REFERENCE 1.

ENVIRONMENTAL LAND USE RESTRICTION NOTE:
PER PATRICIA BURKE (DEI) VIA EMAIL ON SEPTEMBER 9TH:
"THE SITE HAS AN ENVIRONMENTAL LAND USE RESTRICTION ON IT, HOWEVER IT LOOKS LIKE THE BASKETBALL AND TENNIS COURTS ARE JUST OUTSIDE OF THE ELUR. THIS MEANS THAT REPAVING AND RELINING THE BASKETBALL AND TENNIS COURTS WOULD NOT BE AN ISSUE IF THAT IS THE EXTENT OF THE WORK BEING DONE AT THE SCHOOL. IF ANY SOIL IN THE ELUR AREA WAS TO BE DISTURBED, THAT WOULD REQUIRE A PROPOSAL TO THE DISTURBANCE OF SOIL SUBMITTED TO AND APPROVED BY RIDEM. ALSO, THE CONTAMINATION THAT WAS FOUND ON SITE IS NOT PROBLEMATIC FOR STORMWATER INFILTRATION DUE TO THE GB GROUNDWATER CLASSIFICATION ONSITE."

PLAN REFERENCE:

- "LAND COVER PLAN NATHAN BISHOP MIDDLE SCHOOL 101 SESSIONS STREET, PROVIDENCE, RI" BY PARE CORPORATION PROVIDENCE LAND EVIDENCE RECORDS BOOK: 9536 PG. 15
- "LOT PLAN SESSION ST. JUNIOR HIGH SCHOOL ELMGROVE AVE & SESSIONS STREET" SCALE 20' = 1"

LEGEND

| | | | |
|-------------|------------------------------------|--------------------|--------------------------|
| 100.00' | DIMENSION - EXISTING | CATCH BASIN | STRUCTURE, EXISTING |
| 100.00' | DIMENSION - PROPOSED | DRAINAGE MANHOLE | STRUCTURE, PROPOSED |
| 100.00' (D) | SURVEY DIMENSION | SANITARY MANHOLE | SPOT GRADE - EXISTING |
| 100.00' (S) | PROPERTY LINE - ABUTTING | TELEPHONE MANHOLE | SPOT GRADE - PROPOSED |
| | PROPERTY LINE - EXISTING | GATE VALVE | GRANITE BOUND |
| | PROPERTY LINE - PROPOSED | WATER SHUT OFF | REBAR / STEEL PIPE FOUND |
| | SETBACKS | FIRE HYDRANT | SPIKE |
| 100.00' | GRADE CONTOUR - EXISTING | ELECTRIC BOX (ETC) | WETLAND FLAG LOCATION |
| ETC | GRADE CONTOUR - PROPOSED | UTILITY POLE | BENCHMARK |
| ETC | ELECTRIC - OVERHEAD (OHE) | TREE | BORING |
| ETC | ELECTRIC - TELEPHONE - CABLE (ETC) | CURB INLET | SOIL EVALUATION |
| ETC | ELECTRIC - UNDERGROUND (UGE) | DOWNSPOUT | FLOW ARROW |
| ETC | GAS (G) | | DETAIL REFERENCE |
| ETC | SANITARY SEWER (S) | | |
| ETC | STORM DRAIN (SD) | | |
| ETC | WATER | | |
| ETC | LIMIT OF DISTURBANCE (LOD) | | |
| ETC | SEDIMENT CONTROL (SED) | | |
| ETC | LOD / SED | | |
| ETC | EDGE OF PAVEMENT - EXISTING | | |
| ETC | FENCE - METAL | | |
| ETC | FENCE - WOOD | | |
| ETC | STONE WALL | | |
| ETC | BRUSH LINE (APPROXIMATE) | | |
| ETC | WETLAND LIMIT | | |

NEI Narragansett Engineering Inc.
Civil - Survey Structural Environmental Design
3102 East Main Road, Portsmouth RI 02871
Tel. 401.683.6630 www.nei-cds.com

SHEET TITLE
EXISTING CONDITIONS
NATHAN BISHOP MIDDLE SCHOOL

Dan Kittridge
Capital Improvement Project Manager
Department of Public Property
Providence City Hall
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Providence, RI 02903
T: (401) 680-5329 (office)
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101 Sessions St, Providence, RI 02906
Plat: 86, Lot: 319
Zone: PS
Area: 233,917 sqft.

PROJECT NO. 24.0119 **DATE** 8/23/24 **BY** TR

CERTIFICATION
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON DECEMBER 31, 2020 (EFFECTIVE DATE), AS FOLLOWS:
CLASS III (PHYSICAL FEATURES)
CLASS IV TOPOGRAPHIC SURVEY (T-2)
THIS COMPILATION PLAN HAS BEEN PREPARED FROM SOURCES OF INFORMATION AND DATA WHOSE POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED. THE PROPERTY LINES DEPICTED HEREON DO NOT REPRESENT A BOUNDARY OPINION, AND OTHER INFORMATION DEPICTED IS SUBJECT TO SUCH CHANGES AS AN AUTHORITY FIELD SURVEY MAY DISCLOSE.
THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: FOR THE PREPARATION OF A SITE, LANDSCAPE, AND DRAINAGE PLAN.

NEAL K. HINGORANY
No. 31325
PROFESSIONAL LAND SURVEYOR
NEAL HINGORANY REG. 2515
COA: A38

INTERNAL REVIEW

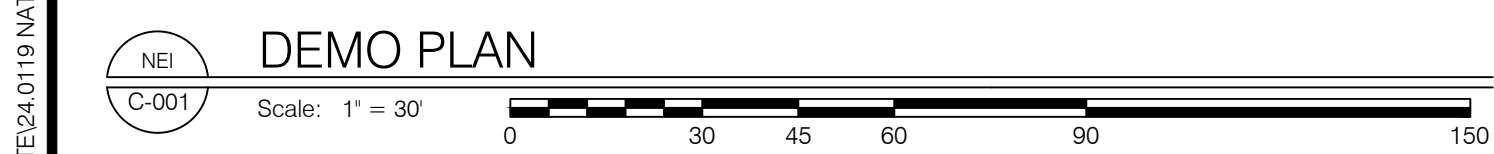
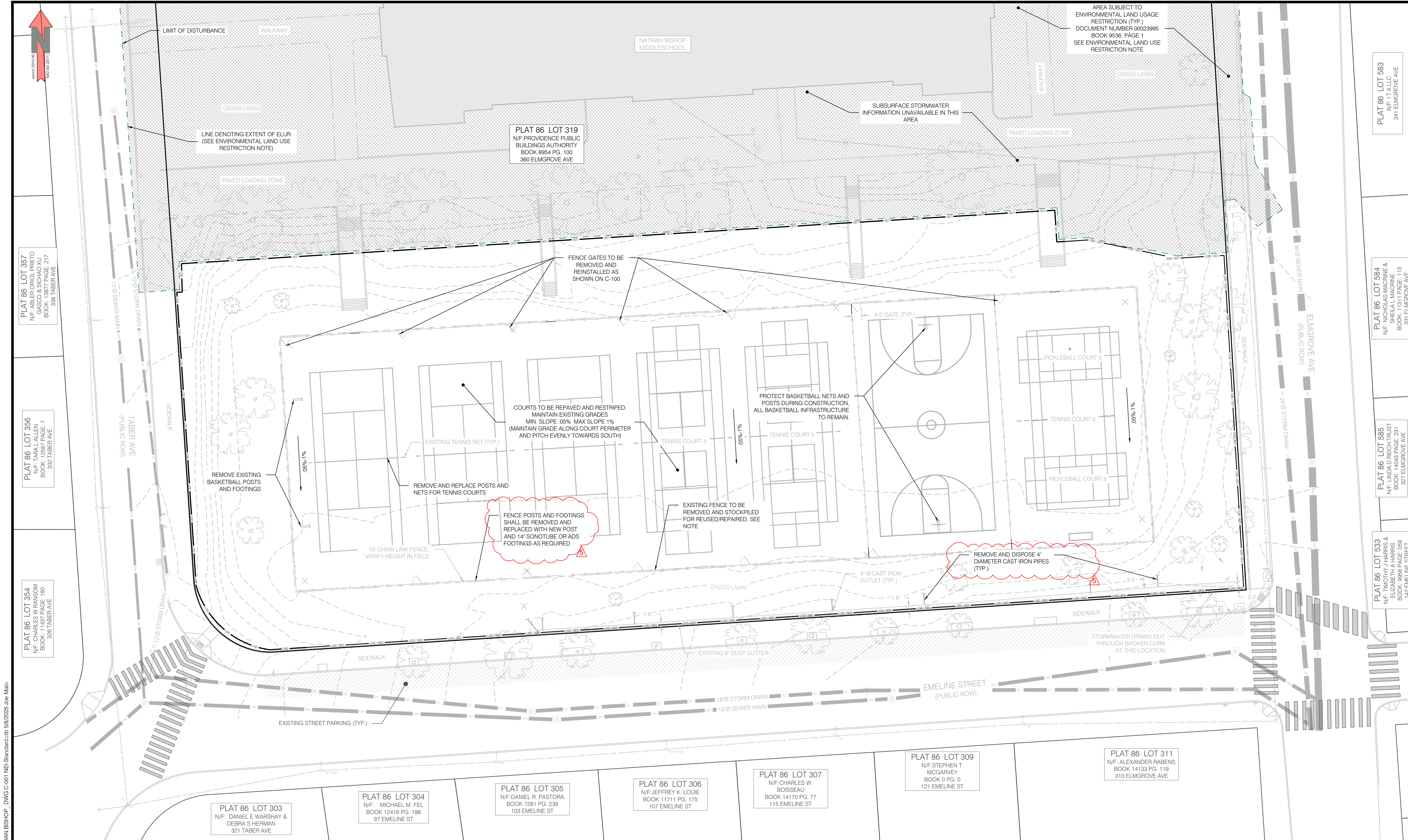
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| 1 | NKH | 9/18/24 | PDF 10% |

FORMAL PLAN REVISIONS

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| 1 | 10/21/24 | COURT LAYOUT, STORMWATER FEATURE, AND ADA FEATURE EDITS PER CLIENT MEETING | TR |

Drawings must be printed in color to be valid. This note should be blue. If this note is not blue, please reprint in color or contact NEI.

SCALE 1" = 20' **SV-100**

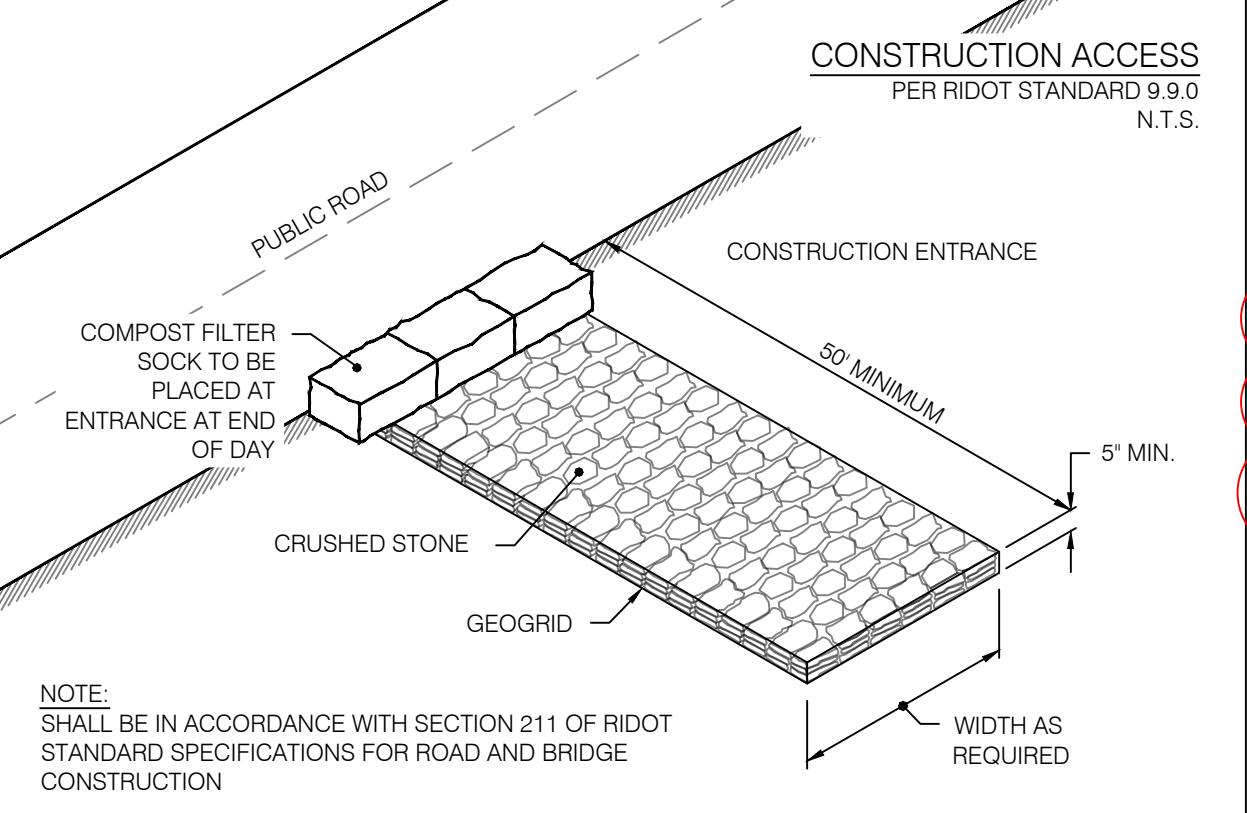
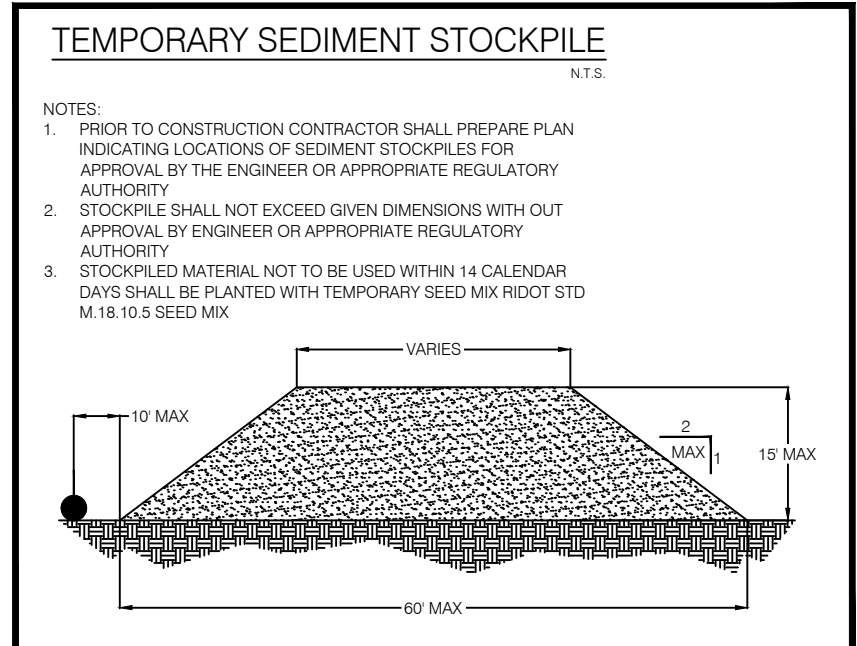


A. INSTALLATION. COMPOST FILTER SOCKS SHALL BE CONSTRUCTED AT THE LOCATIONS, AND IN ACCORDANCE WITH THE DETAILS INDICATED ON THE PLANS, OR AS DIRECTED BY THE ENGINEER. THE FOLLOWING STIPULATIONS ALSO APPLY:

- COMPOST FILTER SOCKS MAY BE EITHER FABRICATED ON SITE OR DELIVERED TO THE SITE.
- COMPOST MEDIA SHALL CONFORM TO AASHTO MP 9-06 AND RIDOT SECTION 206
- TRENCHING IS NOT REQUIRED. COMPOST FILTER SOCKS SHALL BE PLACED OVER THE TOP OF GROUND. WOODEN STAKES SHALL BE DRIVEN THROUGH THE CENTER OF THE FILTER SOCKS TO ANCHOR THEM TO THE GROUND. TO ENSURE OPTIMUM PERFORMANCE, HEAVY VEGETATION SHALL BE CUT DOWN OR REMOVED, AND EXTREMELY UNEVEN SURFACES SHALL BE GRADED TO ENSURE THAT THE COMPOST FILTER SOCK UNIFORMLY CONTACTS THE GROUND SURFACE.
- FILTER SOCKS SHALL BE PLACED IN A CONTINUOUS LINE. WHERE ENDS INTERSECT THEY SHALL BE SLEEVED TO CREATE AN INTERLOCK WITH A TWO (2) FOOT OVERLAP. AFTER ONE SECTION IS FILLED AND THE ENDS TIED OFF, THE NEXT SECTION SHALL BE PULLED OVER THE TIED OFF END OF THE PREVIOUS SECTION, TO CREATE A 2 FOOT OVERLAP. THE OVERLAP SHALL BE STAKED. THE INTERSECTING OVERLAPS SHALL BE CONSTRUCTED TO ENSURE THAT STORMWATER DOES NOT BREAK THROUGH AT THESE INTERSECTION POINTS.
- REMOVAL. THIS WORK, IF REQUIRED, SHALL INCLUDE THE REMOVAL OF THE COMPOST FILTER SOCK AND STAKES. UNLESS BIODEGRADABLE, THE MESH FILTER SOCK MATERIAL SHALL BE CUT OPEN AND THE MESH REMOVED. IN GENERAL, THE COMPOST FILTER MATERIAL MAY BE LEFT IN PLACE, HOWEVER THE MATERIAL WILL BE RAKED OUT, LEVELED TO SURROUNDING GRADES, THEN SEEDED. PRIOR TO SUCH REMOVAL, HOWEVER, ALL SILT, MUD AND DEBRIS ENTRAPPED OUTSIDE OF THE COMPOST FILTER SOCK SHALL BE REMOVED AND THE AREA CLEANED UP IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF SECTION 212 OF RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

COMPOST FILTER SOCK DETAIL
REF. SECTION 206.03.4 OF RIDOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION)
N.T.S.

3" MIN
12" COMPOST FILTER SOCK
UNDISTURBED AREA
1' MIN



NOTES:

- CONTRACTOR SHALL MAKE ALL REASONABLE PROVISIONS TO RE-USE EXISTING FENCE MESH, POSTS, AND GATES. IF THIS CANNOT BE ACCOMMODATED THE CONTRACTOR IS RESPONSIBLE FOR SUPPLYING UNNECESSARY MATERIALS TO COMPLETE INSTALLATION PER THE PLANS. WE WOULD RECOMMEND CONTRACTORS VISIT THE SITE PRIOR TO BIDDING.
- THE CONTRACTOR IS FULLY RESPONSIBLE FOR THE RE-INSTALLATION AND SUPPLY OF THE NEW MATERIALS AS REQUIRED TO PROVIDE FOR THE NEW/RE-INSTALLED FENCE.
- CONTRACTOR SHALL VERIFY EXISTING 4" CAST IRON PIPES ARE SUBDRAINS FOR THE EXISTING COURTS AND CONTACT NEI FOR INSPECTION DURING CONSTRUCTION.

NEI
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SHEET TITLE
DEMO PLAN
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DRAWING ISSUE:

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| <input type="checkbox"/> | CONCEPT / DISCUSSION |
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| <input checked="" type="checkbox"/> | CONSTRUCTION |
| <input type="checkbox"/> | AS-BUILT |
| <input type="checkbox"/> | OTHER |

ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION.

FOR DISCUSSION / REVIEW ONLY



INTERNAL REVIEW

| No | CHECK | CAD | DESCRIPTION/NOTES |
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| 1 | NKH | | PDF 10% |
| 2 | | JM | SEE QA PERIOD ADDITION QUESTIONS DATED 5/5/25 |

FORMAL PLAN REVISIONS

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nei-cds.com

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LOCUS MAP

SCALE
1" = 20'

C-001

N:\PROJECTS\24.0119 NATHAN BISHOP MIDDLE SCHOOL\SITE\24.0119 NATHAN BISHOP - DWG C-001 NEI-Standard.cdw 5/8/2025 Joe Malo



PROPOSED SITE PLAN

Scale: 1" = 30'

0 30 45 60 90 150

| NO. | DESCRIPTION | EXISTING | PROPOSED | NOTES |
|-----|-------------|----------|----------|---|
| 1 | TENNIS | 6 | 3* | TENNIS |
| 2 | PICKLEBALL | 6 | 6* | ALL EXISTING PICKLEBALL COURTS ARE TEMPORARY COURTS |
| 3 | BASKETBALL | 1 | 1 | |
| 4 | FUTSOL | 0 | 1 | NETS |

*EXISTING PICKLEBALL COURTS ARE TEMPORARY. 4 PROPOSED PICKLEBALL COURTS ARE TO BE PERMANENT COURTS AND ARE PROPOSED TO BE INSTALLED IN LIEU OF EXISTING COMBINATION TENNIS / PICKLEBALL COURT

ENVIRONMENTAL LAND USE RESTRICTION NOTE:

PER PATRICIA BURKE (DEM) VIA EMAIL ON SEPTEMBER 19TH:
"THE SITE HAS AN ENVIRONMENTAL LAND USE RESTRICTION ON IT, HOWEVER IT LOOKS LIKE THE BASKETBALL AND TENNIS COURTS ARE JUST OUTSIDE OF THE ELUR. THIS MEANS THAT REPAIRING AND RELINING THE BASKETBALL AND TENNIS COURTS WOULD NOT BE AN ISSUE IF THAT IS THE EXTENT OF THE WORK BEING DONE AT THE SCHOOL. IF ANY SOIL IN THE ELUR AREA WAS TO BE DISTURBED, THAT WOULD REQUIRE A PROPOSAL TO THE DISTURBANCE OF SOIL SUBMITTED TO AND APPROVED BY RIDEM. ALSO, THE CONTAMINATION THAT WAS FOUND ONSITE IS NOT PROBLEMATIC FOR STORMWATER INFILTRATION DUE TO THE GB GROUNDWATER CLASSIFICATION ONSITE."

COLOR NOTE:

- CONTRACTOR SHALL UTILIZE NATHAN BISHOP MIDDLE SCHOOL OFFICIAL COLORS FOR COURT COLORS.
- CONTRACTOR SHALL SUBMIT COLOR CHOICES TO CITY OF PROVIDENCE FOR SELECTION APPROVAL

ALTERNATES:

- INTERIOR PERFORATED SUBDRAINS
- INTERIOR FENCE BETWEEN TENNIS AND PICKLEBALL COURTS WITH 8' GAPS AT EACH END
- INTERIOR FENCE BETWEEN TENNIS AND PICKLEBALL COURTS WITH 4' GATES AT EACH END
- RALLY MASTER 10' x 20' BACKBOARD PRACTICE WALL OR ENGINEER APPROVED EQUIVALENT AT SOUTHWEST CORNER OF COURTS
- MILL AND PAVE EXISTING COURT SURFACE TO 1.5' MIN. DEPTH
- ADD TENSAR BX 1200 BIAXIAL GEOGRID OR ENGINEER APPROVED EQUAL TO BE USED AT THE TOP OF THE FINISHED SUBGRADE BELOW THE PAVEMENT.

FENCE GATE SCHEDULE

| NO. | SIZE | DESCRIPTION |
|-----|---------|---|
| E-4 | 4x8' | EXISTING GATE TO REMAIN |
| P-4 | 4x8' | MATCH EXISTING STYLE AND TYPE |
| P-8 | (2)4x8' | DOUBLE EXISTING GATE FOR VEHICLE ACCESS |



NOTE:

- FUTSOL COURT TO ONLY BE COLORED WITH WHITE LINES, AND NOT COLORED AS THE OTHER COURTS
- FUTSOL COURT SIZED BASED ON US YOUTH SOCCER IMPERIAL MEASUREMENTS
- OWNER/USER IS TO BE RESPONSIBLE FOR TEMPORARY NETS
- TOTAL LENGTH OF 10' FENCE IS 1,076± FEET, AND IT HAS A TOTAL PERIMETER OF 966± FEET

LEGEND

| | | | |
|-------------|------------------------------------|-----------------------------|---------------------------|
| 100.00' | DIMENSION - EXISTING | CATCH BASIN | STRUCTURE, EXISTING |
| 100.00' | DIMENSION - PROPOSED | DRAINAGE MANHOLE | STRUCTURE, PROPOSED |
| 100.00' (D) | PLAN / DEED DIMENSION | ELECTRICAL MANHOLE | SPOT GRADE - EXISTING |
| 100.00' (S) | SURVEY DIMENSION | SANITARY MANHOLE | SPOT GRADE - PROPOSED |
| --- | PROPERTY LINE - ABUTTING | TELEPHONE MANHOLE | DRILL HOLE |
| --- | PROPERTY LINE - EXISTING | MONITORING WELL | GRANITE BOUND |
| --- | PROPERTY LINE - PROPOSED | GATE VALVE | REBAR / STEEL PIPE FOUND |
| --- | SETBACKS | WATER SHUT OFF | SPIKE |
| 100.00' | GRADE CONTOUR - EXISTING | FIRE HYDRANT | WETLAND FLAG LOCATION |
| --- | GRADE CONTOUR - PROPOSED | ELECTRIC BOX (ETC) | BENCHMARK |
| --- | ELECTRIC - OVERHEAD (OHE) | GAS (G) | BORING |
| --- | ELECTRIC - TELEPHONE - CABLE (ETC) | SANITARY SEWER (S) | SOIL EVALUATION |
| --- | ELECTRIC - UNDERGROUND (UGE) | STORM DRAIN (SD) | TH No. 48' SHGW 80' LEDGE |
| --- | GAS (G) | WATER | FLOW ARROW |
| --- | SANITARY SEWER (S) | LIMIT OF DISTURBANCE (LOD) | |
| --- | STORM DRAIN (SD) | SEDIMENT CONTROL (SED) | |
| --- | WATER | LOD / SED | |
| --- | WETLAND LIMIT | EDGE OF PAVEMENT - EXISTING | |
| --- | | FENCE - METAL | |
| --- | | FENCE - WOOD | |
| --- | | STONE WALL | |
| --- | | BRUSH LINE (APPROXIMATE) | |
| --- | | WETLAND LIMIT | |

SHEET TITLE

PROPOSED SITE PLAN

NATHAN BISHOP MIDDLE SCHOOL
FOR DISCUSSION/REVIEW ONLY

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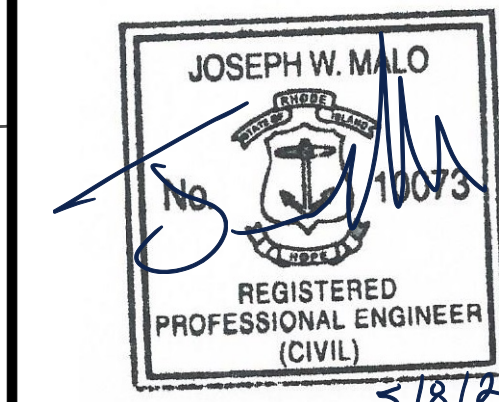


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| 1 | 10/21/24 | COURT LAYOUT, STORMWATER FEATURE, AND ADA FEATURE EDITS PER CLIENT MEETING | TR |
| 2 | 1/29/25 | GATES AND FENCES, ADA DETAILS, ALTERNATES, AND SPORT COURT DETAILS ADDED PER CLIENT MEETING | TR |
| 3 | 02/05/25 | ALTERED BIOTENTION, REPLACED SWALE OUTLET WITH LEVEL SPREADER, COURT COLORS | TR |
| 4 | 03/12/25 | NOTED FENCE REUSE OR REMOVAL, MORE CLEARLY NOTED SUBDRAIN OUTLETS | TR |
| 5 | 05/08/25 | ADDENDUM PER PRE-BID QUESTIONS | JM |

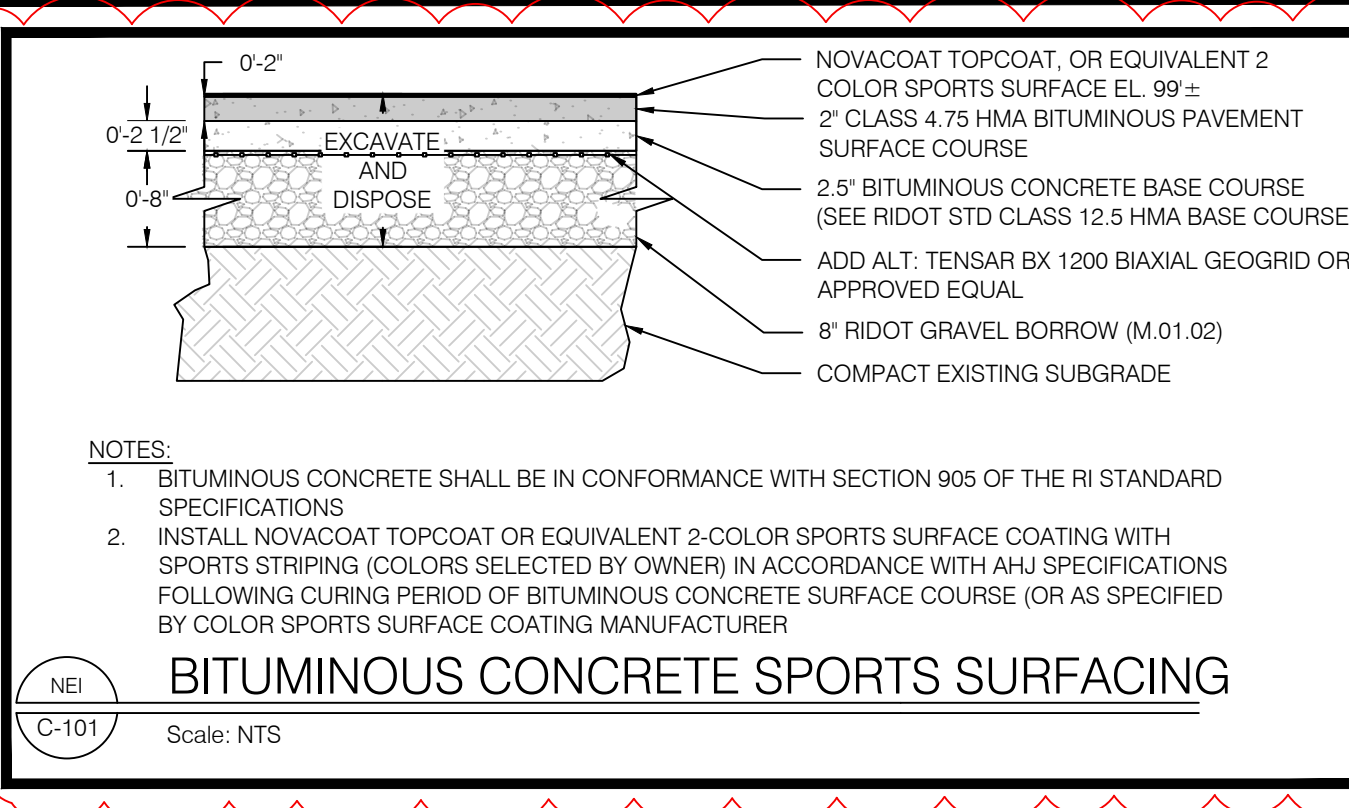
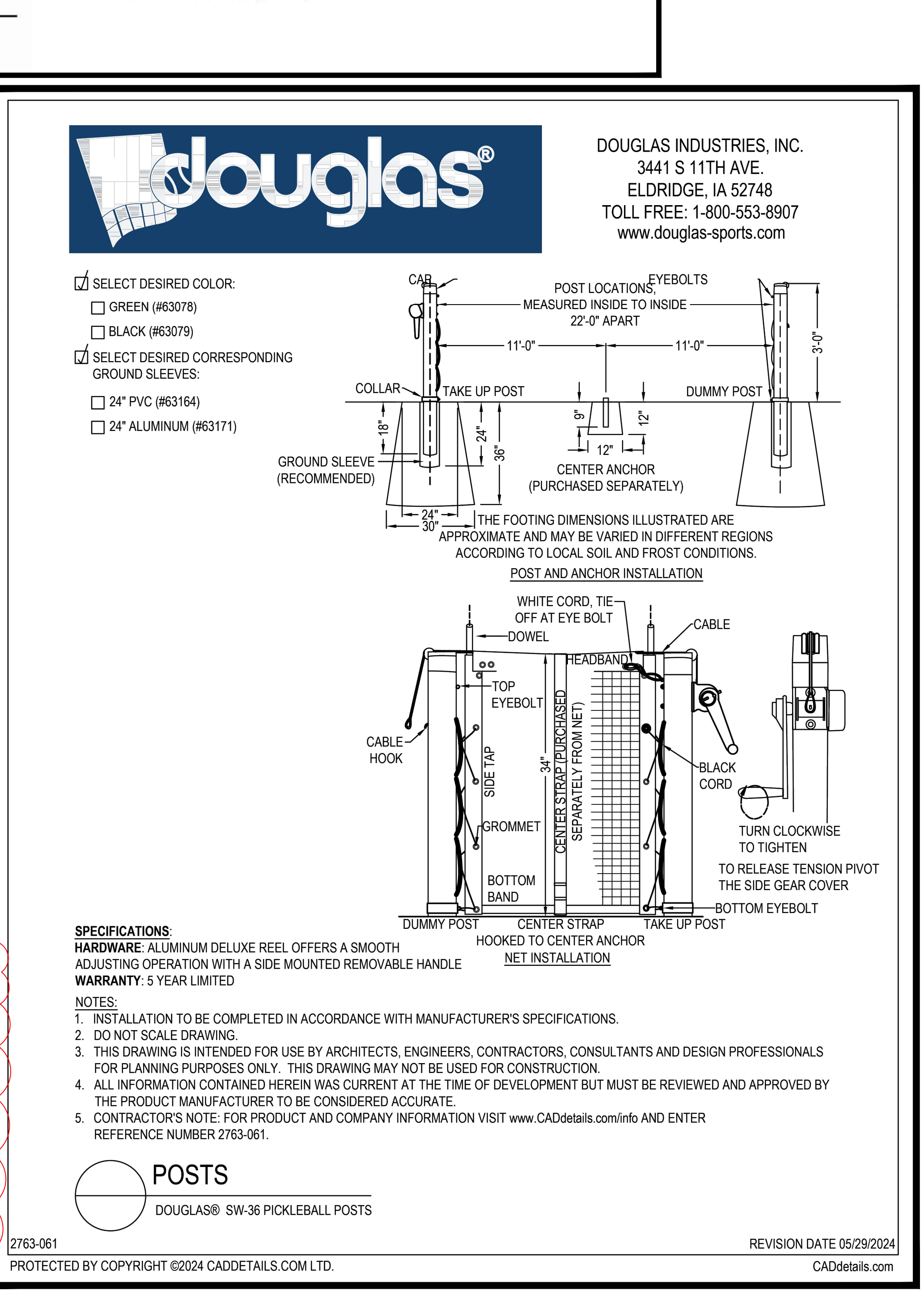
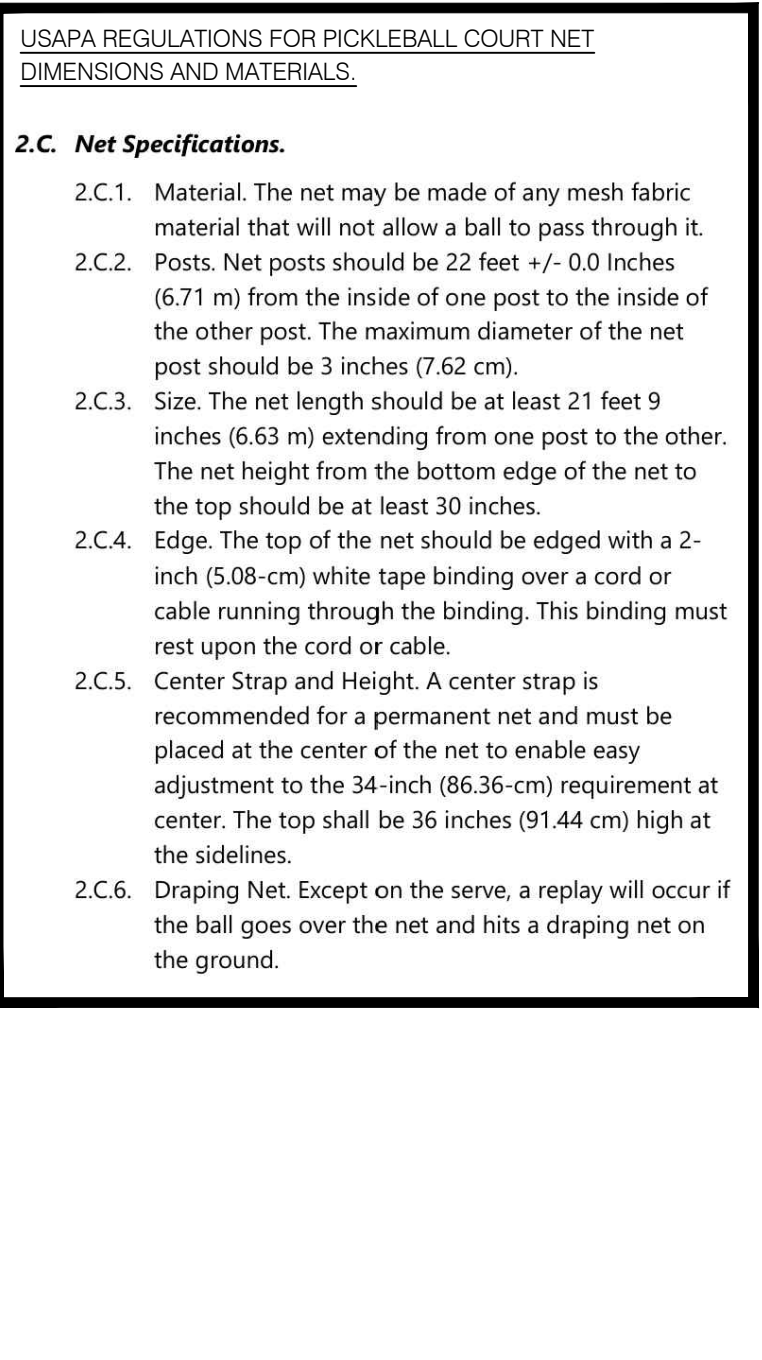
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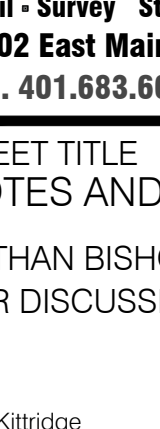
DRAWINGS MUST BE PRINTED IN COLOR TO BE VALID. THIS NOTE SHOULD BE BLUE. IF THIS NOTE IS NOT BLUE, PLEASE REPRINT IN COLOR OR CONTACT NEI.



SCALE
1" = 20'

C-100





Narragansett Engineering Inc.


Civil • Survey • Structural • Environmental • Design
3102 East Main Road, Portsmouth RI 02871
Tel. (401) 683.6630 www.nei-cds.com

SHEET TITLE
NOTES AND DETAILS

NATHAN BISHOP MIDDLE SCHOOL
FOR DISCUSSION/REVIEW ONLY

Dan Kittridge
Capital Improvement Project Manager
Department of Public Property
Providence City Hall
25 Dorrance Street
Providence, RI 02903
T. (401) 680-5329 (office)
C. (401) 473-8418
E. dkittridge@providenceci.gov

Nathan Bishop Middle School Tennis and Pickleball Court
101 Sessions St, Providence, RI 02906
Plat: 86, Lot: 319
Zone: PS
Area: 235,917 sqft.



**Nathan Bishop
Middle School**

| PROJECT NO. | DATE | BY |
|-------------|---------|----|
| 24.0119 | 8/23/24 | TR |

DRAWING ISSUE:

☐ CONCEPT / DISCUSSION

☐ PERMITTING


☒ CONSTRUCTION

☐ AS-BUILT

☐ OTHER

ONLY PLANS ISSUED
FOR CONSTRUCTION SHALL BE
USED FOR CONSTRUCTION

FOR DISCUSSION /REVIEW ONLY



5/8/25


| INTERNAL REVIEW | | | |
|-----------------|----------------|--------------|--|
| No | CHECK | CAD | DESCRIPTION/NOTES |
| 1 | NKH 9/18/24 | | PDF 10% |
| 2 | | JM 5/8/25 | SEE QA PERIOD ADDITION QUESTIONS DATED 5/5/25 |

| FORMAL PLAN REVISIONS | | | |
|-----------------------|----------|---|----|
| No | DATE | STAGE/DESCRIPTION | BY |
| 1 | 10/21/24 | COURT LAYOUT, STORMWATER FEATURE, AND ADA FEATURE EDITS PER CLIENT MEETING | TR |
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LOCUS MAP



SCALE

C-101

