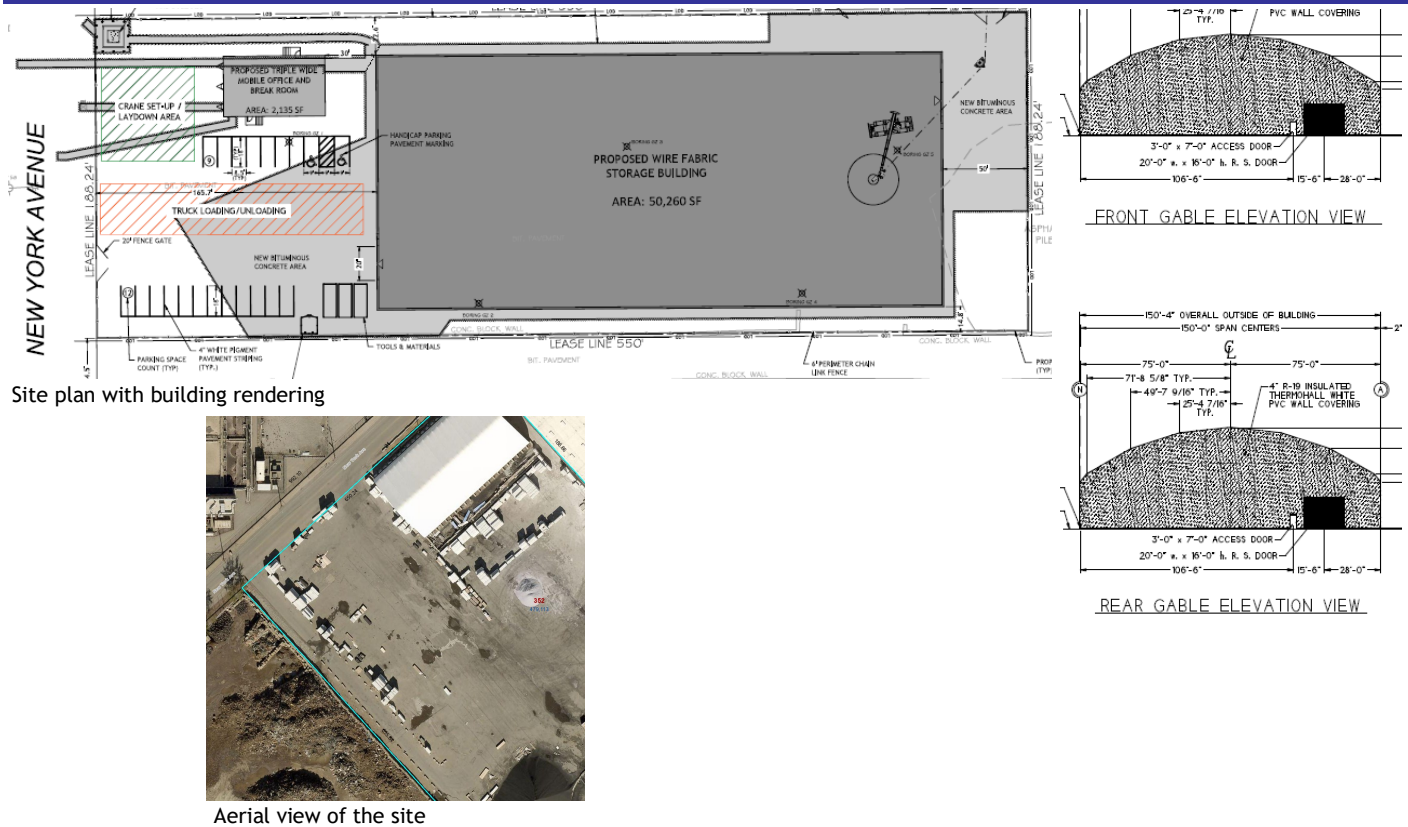


Providence City Plan Commission

July 15, 2025



AGENDA ITEM 3 ■ 21 NEW YORK AVE

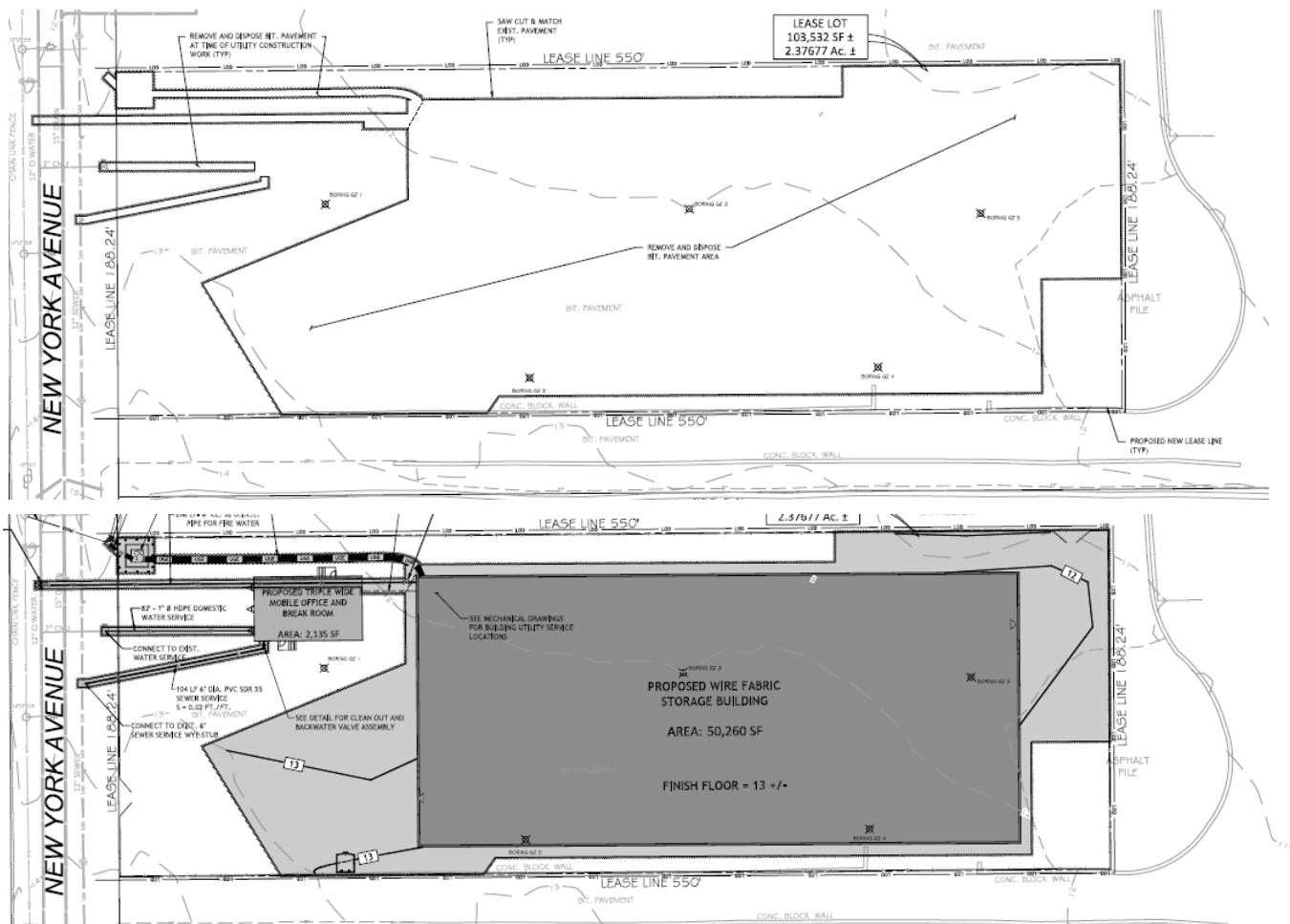


Site plan with building rendering

Aerial view of the site

OVERVIEW

| | | | |
|------------------------------------|---|-----------------------------|--|
| OWNER/ APPLICANT: | Provport, Owner L3Harris, Applicant | PROJECT DESCRIPTION: | The applicant is requesting to combine master and preliminary plan approval to construct a metal framed fabric storage building and associated improvements. A waiver from submission of building renderings and state approvals at the preliminary stage is also requested. |
| CASE NO./ PROJECT TYPE: | 25-036 MA Master and Preliminary Plan approval | | |
| PROJECT LOCATION: | 21 New York Ave AP 56 Lot 352; W-3 zoning district | RECOMMENDATION: | Approval of the master and preliminary plan as detailed |
| NEIGHBORHOOD: | Washington Park | PROJECT PLANNER: | Choyon Manjrekar |



Existing Conditions and Drainage Plan

PROJECT OVERVIEW

The applicant is proposing to construct a metal framed storage structure covered by canvas with a footprint of approximately 50,260 SF in the W-3 zone. The area of disturbance will cover an area of approximately 2.37 acres (103,532 SF) and will include new paving, 21 parking spaces and a mobile office. The applicant is seeking to combine master and preliminary approval and has requested waivers from the submission of building renderings and submission of state approvals at the preliminary plan stage.

ANALYSIS AND IDENTIFICATION OF POTENTIAL ISSUES

Use

The subject lot is zoned W-3 which is intended for port/maritime uses. The development is permitted by right as it is a marine dependent use that will store materials transported by ship.

Dimensions and site design

The area of disturbance for the development will amount to approximately 103,532 SF with a footprint of 50,260 SF for the building. The storage building is a dome shaped structure with a PVC surface treatment and a height of approximately 51' at the highest point, which is within the 90' height limit of the zone. The area around the building will be paved with bituminous concrete to allow for 21 parking spaces adjacent to the east side of the building with a truck loading space and a mobile office with a 2,135 SF footprint. The transformer will be located in the northeast corner of the development. The W-3 zone permits multiple buildings on a lot with no restriction on the amount of impervious surface. A waiver from submission of a building rendering has been requested.

Parking

Parking for the development has been calculated based on requirements for a warehouse and contractor storage yard, which require one space per 20,000 SF and one per 500 SF of GFA respectively. The applicant will meet the parking requirement providing 21 spaces where eight are required.

Landscaping

With an area of disturbance of approximately 103,000 SF, the applicant is required to meet the canopy coverage requirement of 15% or approximately 15,530 SF. In addition, a perimeter landscaping strip is required for the sidewalk. The applicant has indicated that it would be difficult to make the plantings on site, but has committed to work with the Forester to make offsite plantings. The landscaping plan shall be subject to the City Forester's approval.

Drainage and stormwater management

The applicant will employ sediment traps, silt fencing and assigned stockpile areas to control erosion off the site during construction. The stormwater management plan shall be subject to the City Engineer's approval prior to final plan submission.

Lighting

A lighting plan and cut sheets of light fixtures have been submitted, showing that there will be no light trespass onto neighboring properties. The DPD finds that the lighting plan conforms to the requirements of the ordinance.

Waivers

The applicant has requested waivers from submission of building renderings and state approvals at the preliminary plan stage. It is the DPD's opinion that the waiver from elevations should be granted as the elevation will suffice for providing a view of what the building will look like. The waiver from state approvals is not required as the development does not trigger an approval requirement based on the area of disturbed erodible soil and distance from the waterline. ProvPort also has a blanket permit from the Coastal Resources Management Council (CRMC) for development within the site.

Combination of stages

The applicant is requesting to combine master and preliminary plan approval. The DPD recommends that the CPC combine approval, finding that the submission meets the requirement for both stages.

Findings—Land Development Project

Section 1005 of the Commission's *Development Review Regulations* requires that the City Plan Commission make the following findings as part of their approval of all land development project applications. Based on the analysis contained herein and subject to the conditions contained in this report, staff has prepared the following findings regarding the request for approval of the Master and Preliminary Plans:

1. *Consistency—The proposed development is consistent with the Comprehensive Plan and/or has satisfactorily addressed the issues where there may be inconsistencies.*

The subject property is located in an area that the future land use map of the Providence Comprehensive Plan intends for Waterfront/Port use which is intended to promote the Port of Providence and related maritime industrial and commercial uses within the waterfront area. The development will conform to the comprehensive plan as it is a water dependent use, in character with the land use designation. The development would conform to objective ED1.E of the plan which encourages investment in the waterfront for economic growth.

2. *Compliance with Zoning Ordinance—The proposed development is in compliance with the standards and provisions of the Zoning Ordinance.*

Use: Water dependent industrial uses are permitted by right in the W-3 zone.

Dimension and design: The development complies with the dimensional and design requirements of the W-3 zone.

Parking: The applicant will meet the parking requirement.

Landscaping: The applicant shall work with the City Forester to meet the planting and canopy coverage requirements offsite.

Lighting: The lighting plan meets the ordinance's requirements .

3. *Environmental Impact—There will be no significant environmental impacts from the proposed development as shown on the final plan, with all required conditions for approval.*

No negative environmental impacts are expected as the applicant is expected to conform to all environmental regulations.

4. *Buildable Lot—The subdivision or development project, as proposed, will not result in the creation of individual lots with such physical constraints to development that building on those lots according to pertinent regulations and building standards would be impracticable.*

There are no physical constraints that impact development of this property.

5. *Street Access—All proposed development projects and all subdivision lots shall have adequate and permanent physical access to a public street. Lot frontage on a public street without physical access shall not be considered compliance with this requirement.*

Physical access to the site will be provided from New York Ave.

Recommendation—Waivers

The CPC should grant the waiver from submission of a building rendering.

Recommendation—Combination of stages

The CPC should vote to combine master and preliminary plan approval, having approved the requested waivers and finding that the applicant meets the submission requirements for both stages.

Recommendation—Land Development Project

1. The CPC should approve the master and preliminary plans.
2. The landscaping plan shall be subject to the City Forester's approval.
3. The drainage plan shall be subject to the City Engineer's approval.
4. Final plan approval shall be delegated to DPD staff.

