

AP 56, LOT 356

21 NEW YORK AVENUE

PROVIDENCE, RHODE ISLAND

ZONING DISTRICT - W-3 PORT/MARITIME INDUSTRIAL WATERFRONT DISTRICT

PROJECT TEAM

OWNER: MCINNIS USA, INC.
39 NEW YORK AVE.
PROVIDENCE, RI 02905
PHONE: (401) 461-0148

APPLICANT: L3 HARRIS TECHNOLOGIES
7500 MAEHR ROAD
WACO TX 76712
PHONE: (254) 218-8594

GC: URBANE CONSTRUCTION CORPORATION
170 CANNON STREET
CRANSTON, RI 02920
PHONE: (401) 447-3391
CDANSEREAU@URBANECONSTRUCTION.COM

CIVIL: D'AMICO ENGINEERING TECHNOLOGY, INC.
2080 MINERAL SPRING AVE.
NORTH PROVIDENCE, RI 02911
PHONE: (401) 622-1470
FAX: (401) 353-1190

SURVEYOR: CANAVAN & ASSOCIATES, INC.
450 GEORGE WATERMAN ROAD
SMITHFIELD, RI 02917
PHONE: (401) 232-1990
FAX: (401) 232-1994

STATE WIDE MAP



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Detec.
D'AMICO ENGINEERING TECHNOLOGY, INC.
Civil • Transportation • Land Use
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**PROPOSED FABRIC STORAGE
FACILITY AND SITE IMPROVEMENTS**
21 NEW YORK AVE.
PROVIDENCE, RHODE ISLAND
AP 56, LOT 352

REVISIONS:	
NO.	DATE DESCRIPTION
DESIGNED BY:	DMD
DRAWN BY:	
CHECKED BY:	DMD
DATE:	JUNE, 2025
PROJECT NO:	19-0008-03

90% COMPLETION STAGE

COVER SHEET

C0.1

GENERAL NOTES:

1. THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING ANY CONSTRUCTION OPERATIONS. RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR CITY WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.

SITE NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) OF ALL MATERIALS INDICATED ON THE PLANS.
2. STOCKPILES OF EARTH MATERIALS SHALL NOT BE LOCATED ADJACENT TO DRAINAGE STRUCTURES.
3. ALL DISTURBED AREAS OUTSIDE OF THE PAVED AREAS WILL RECEIVE A MINIMUM OF 6" OF LOAM AND SEED.
4. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SURVEY LAYOUT SERVICES FOR THE WORK AND SHALL SUBMIT "AS-BUILT" DRAWINGS OF ALL WORK, WHICH SHALL BE STAMPED AND CERTIFIED BY A RHODE ISLAND REGISTERED PROFESSIONAL LAND SURVEYOR.
5. ANY ITEM OF WORK NOT SPECIFICALLY INDICATED ON THE PLANS BUT IS REQUIRED FOR THE COMPLETE CONSTRUCTION OF THE PROJECT WILL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND INCLUDED IN THE CONTRACT BID PRICE. IT WILL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL EXISTING SITE CONDITIONS.
6. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR ACTUAL SIZE OF THE PROPOSED BUILDING.
7. WHERE NECESSARY TO REMOVE CURBS, CATCH BASINS OR DRAINS TO COMPLETE WORK, THE CONTRACTOR SHALL REPLACE SUCH ITEMS TO THE SATISFACTION OF THE ENGINEER AT NO ADDITIONAL COST TO THE OWNER.
8. ANY EXISTING PIPE OR UTILITY DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR AT NO COST TO THE OWNER OR ENGINEER.
9. THE CONTRACTOR SHALL RESTORE TO ITS ORIGINAL CONDITION OR REPLACE TREES, SHRUBS, FENCES, SIGNS, GUARDRAILS, DRIVEWAYS, SIDEWALKS AND ANY OTHER OBJECT AFFECTED BY THIS OPERATION.
10. THE TOPS OF ALL VALVE BOXES AND CURB BOXES SHALL BE FLUSH WITH GROUND OR PAVEMENT SURFACE LEVEL AND PLUMB, UNLESS OTHERWISE DIRECTED.
11. ROADWAYS SHALL BE LEFT PASSABLE AT ALL TIMES. CLOSURE OF ROADWAY IS NOT PERMITTED.
12. THE CONTRACTOR SHALL PROVIDE ACCESS TO ALL DRIVEWAYS AT COMPLETION OF EACH DAYS WORK.
13. WATER SERVICE SHALL BE MAINTAINED AT ALL TIMES.
14. ALL LEDGE TO BE REMOVED BY MECHANICAL MEANS.
15. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN THE DRY. THE CONTRACTOR SHALL PROVIDE, OPERATE AND MAINTAIN ALL PUMPS, DRAINS, WET PONTS, SCREENS, OR OTHER FACILITIES NECESSARY TO CONTROL, COLLECT AND DISPOSE OF ALL SURFACE AND SUBSURFACE WATER ENCOUNTERED IN THE PERFORMANCE OF THE WORK.
16. REFER TO PLUMBING PLANS FOR CONTINUATION OF ALL UTILITIES WITHIN 5' (FIVE) FEET OF THE BUILDING.
17. ALL SITE WORK, INCLUDING BUT NOT LIMITED TO, BITUMINOUS PAVEMENT, PERVIOUS PAVERS, AGGREGATE MATERIALS, DRAINAGE STRUCTURES, CURBING, SIDEWALK, LANDSCAPING, SAW CUTTING, ETC. SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, 2004 EDITION (WITH LATEST ADDENDA) AND THE RIDOT STANDARD DETAILS, 1998 EDITION (WITH LATEST ADDENDA).

MISCELLANEOUS UTILITY NOTES:

1. PRIOR TO CONSTRUCTION ALL POTENTIAL UTILITY/DRAINAGE CONFLICTS MUST BE IDENTIFIED BY THE CONTRACTOR. ANY MODIFICATIONS TO THE PROPOSED UTILITIES TO AVOID CONFLICTS MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION. NO EXTRA PAYMENT TO THE CONTRACTOR DUE TO RELOCATIONS WILL BE AUTHORIZED.
2. THE UTILITY PLAN DOES NOT DEPICT THE NECESSARY ELECTRICAL CONDUIT/WIRING TO SERVICE THE PROPOSED LIGHTING AND SIGNS, WHICH WILL BE PERFORMED BY THE CONTRACTOR FOR NO ADDITIONAL COST.
3. OVERHEAD ELECTRIC AND TELEPHONE SERVICES ARE TO BE REMOVED BY THE APPROPRIATE UTILITY COMPANY AND COORDINATED BY THE CONTRACTOR.
4. THE CONTRACTOR SHALL AT ALL TIMES PROVIDE A SUFFICIENT NUMBER OF WORKMEN AND GUARDS AS MAY BE NECESSARY TO PROPERLY SAFEGUARD THE PUBLIC FROM THERE OPERATIONS.
5. THE CONTRACTOR SHALL TAKE PRECAUTIONS AGAINST DAMAGING OF PAVING, SIDEWALKS, UTILITIES, OR PRIVATE PROPERTIES AND SHALL PROMPTLY REPAIR AT HIS OWN EXPENSE ANY DAMAGE TO SUCH PAVING, SIDEWALKS, UTILITIES, OR PRIVATE PROPERTIES TO THE SATISFACTION OF THE OWNER OR CITY.
6. EXISTING UTILITY FRAMES AND COVERS FOR SANITARY SEWER, WATER, GAS, STORM DRAINAGE AND OTHER UTILITIES SHALL BE ADJUSTED TO GRADE AS REQUIRED IN NEW PAVING AND PAVEMENT OVERLAY AREAS.

LAYOUT NOTE:

THE LAYOUT SHOWN REPRESENTS A GRAPHICAL DESIGN, AND PRIOR TO THE CONSTRUCTION, THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL LAND SURVEYOR (PLS) REGISTERED IN THE STATE OF RHODE ISLAND TO SET AND VERIFY ALL LINES AND GRADES. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY ITEMS FOUND WHICH DO NOT MATCH THE PLANS MUST BE BROUGHT TO THE ENGINEERS ATTENTION PRIOR TO CONSTRUCTION FOR REVIEW. NO WORK SHALL PROCEED UNTIL AUTHORIZED BY THE ENGINEER.

MAINTENANCE AND PROTECTION OF TRAFFIC NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION. ALL TEMPORARY AND VEHICULAR SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST REVISIONS OF MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.)
2. TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE TRAFFIC CONTROL DIVIDES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC.
3. THE PRIVATE VEHICLES OF CONSTRUCTION WORKERS SHALL NOT BE PARKED IN THE STATE OR CITY RIGHT-OF-WAY.
4. ALL MAINTENANCE AND PROTECTION OF TRAFFIC CONTROL SETUPS, SIGNS CHANNELING DEVICES, ETC. SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. 1988 EDITION, INCLUDING REVISION 3, SEPTEMBER 3, 1993 AND SUBSEQUENT ADDENDA.
5. SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH THE R.I.D.O.T. SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.

DRAINAGE SYSTEM MAINTENANCE SCHEDULE:

UPON PROJECT COMPLETION, THE PROPERTY OWNER SHALL ADHERE TO THE FOLLOWING MAINTENANCE PLAN AND SCHEDULE:

1. CATCH BASINS, MANHOLES AND DRAIN LINES: AN INSPECTION MUST OCCUR ON AN ANNUAL BASIS BY QUALIFIED PERSONAL TO ENSURE PROPER OPERATION. THE INSPECTION SHOULD, AS A MINIMUM, CONCENTRATE ON THE FOLLOWING:
 - * DAMAGE TO GRATE / COVERS
 - * EVIDENCE OF STANDING WATER
 - * DEBRIS REMOVAL
 - * STRUCTURAL ALIGNMENT/ INTEGRITYANY DEFICIENCY NOTED DURING THE INSPECTION WILL BE IMMEDIATELY REPAIRED OR REPLACED.
2. SEDIMENT REMOVAL: ALL REMOVED SEDIMENT IS TO BE TESTED TO DETERMINE POLLUTANT CONTENT. THE SEDIMENT IS TO BE PROPERLY DISPOSED IN UPLAND AREAS BASED UPON THE TEST RESULTS AND LOCAL, STATE, AND FEDERAL REGULATIONS
3. ALL RIM ELEVATIONS SHOWN ARE APPROXIMATE AND ARE TO BE SET FLUSH WITH FINAL GRADES.
4. ROUTINE MAINTENANCE OF THE PERVIOUS BITUMINOUS CONCRETE SURFACE SHALL BE VACUUMED SWEEP TWOCE A YEAR MINIMUM.

PROPOSED PAVEMENT STRUCTURE:
ON-SITE

(SEE DETAIL SHEET FOR PAVEMENT STRUCTURE)

ASPHALT EMULSION TACK COAT IS NOT TO BE USED FOR PERVIOUS PAVEMENT STRUCTURES

PROPOSED PAVEMENT STRUCTURE:
CITY/STATE

- 2" BITUMINOUS CONCRETE SURFACE COURSE (CLASS 12.5 HMA)
- 3" BITUMINOUS CONCRETE BASE COURSE (CLASS 19 HMA)
- 12" GRAVEL BORROW SUBBASE COURSE

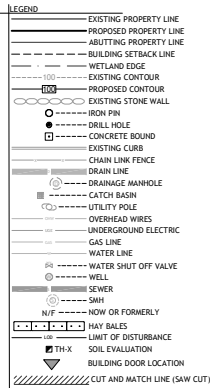
ASPHALT EMULSION TACK COAT TO BE PLACED ON ALL BITUMINOUS COURSES PRIOR TO PAVING.

WATER NOTES:

1. ALL INSTALLATIONS, JOINTS, CONSTRUCTION METHODS AND MATERIALS SHALL BE ACCORDING TO THE PROVIDENCE WATER SUPPLY BOARD REQUIREMENTS, AWWA STANDARDS AND GOVERNMENTAL REQUIREMENTS.
2. WATER PIPES SHALL TYPICALLY BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM SEWER PIPES, AND AT A MINIMUM DEPTH OF COVER EQUAL TO 5'. WHERE A NEW WATER PIPE IS LESS THAN 18 INCHES CLEAR DISTANCE ABOVE A SEWER OR WHERE A WATER PIPE PASSES BENEATH A SEWER OR STORM DRAIN, ENCASE THE SEWER OR DRAIN IN 6" OF CONCRETE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE CROSSING WATER PIPE.
3. ALL SYSTEM COMPONENTS AND CONSTRUCTION METHODS; SUCH AS PIPE, THRUST BLOCKS, FITTINGS, CASTINGS, ETC. SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION. THIS SUBMISSION SHALL INCLUDE MANUFACTURER'S LITERATURE, SHOP DRAWINGS, PROPOSED CONSTRUCTION METHODS, ETC.
4. WATER LINE TRENCH TO BE AWWA TYPE 5 A METALIZED DETECTABLE IDENTIFICATION TAPE 2" IN WIDTH, BLUE IN COLOR AND PRINTED WITH "CAUTION WATERLINE BURIED BELOW" SHALL BE UTILIZED OVER ALL MAINS. TAPE SHALL BE SET AT APPROXIMATELY 1' BELOW FINISHED GRADE.
5. THE CONTRACTOR SHALL RECEIVE VERIFICATION FROM THE ENGINEER AS TO THE APPROPRIATE SIZE OF THE DOMESTIC WATER AND FIRE PROTECTION LINE SHOWN ON THE PLANS PRIOR TO ORDERING WATER PIPE RELATED ITEMS.
6. SPECIFIC BENDS ARE SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL PROVIDE ADDITIONAL BENDS AS NECESSARY TO INSTALL THE PIPE AT THE REQUIRED DEPTH AND ALIGNMENT.

RIDOT AND CITY

1. ALL WORK WITHIN RIDOT RIGHT-OF-WAYS, INCLUDING BUT NOT LIMITED TO, BITUMINOUS PAVEMENT, ROADWAY CONSTRUCTION, AGGREGATE MATERIALS, DRAINAGE STRUCTURES, CURBING, SIDEWALKS, LANDSCAPING, SAW CUTTING, ETC. SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, 2004 EDITION (WITH LATEST ADDENDA) AND THE RIDOT STANDARD DETAILS, 1998 EDITION (WITH LATEST ADDENDA).
2. ALL WORK WITHIN THE CITY RIGHT-OF-WAYS, INCLUDING BUT NOT LIMITED TO, BITUMINOUS PAVEMENT, ROADWAY CONSTRUCTION, AGGREGATE MATERIALS, DRAINAGE STRUCTURES, CURBING, SIDEWALKS, LANDSCAPING, SAW CUTTING, ETC. SHALL CONFORM TO THE CITY'S STANDARD DETAILS AVAILABLE AT [https://www.providenceri.gov/public-works/forms/under "Reports + Publications"](https://www.providenceri.gov/public-works/forms/under%20Reports%20Publications) or at <https://www.providenceri.gov/wp-content/uploads/2019/06/Providence-DPW-Standard-Details.pdf>



PROPOSED FABRIC STORAGE
FACILITY AND SITE IMPROVEMENTS
21 NEW YORK AVE.
PROVIDENCE, RHODE ISLAND
AP 56, LOT 352

REVISIONS:
NO. DATE DESCRIPTION

DESIGNED BY: DMD
DRAWN BY:
CHECKED BY: DMD
DATE: JUNE, 2025
PROJECT NO: 19-0008-01

90% COMPLETION STAGE

GENERAL
NOTES AND
LEGEND

C1.0

 **CANAVAN
& Associates, Inc.**
Land Surveying
CONSTRUCTION - LAND - COMMERCIAL - RESIDENTIAL
450 George Washington Highway
Smithfield, R.I. 02917
P=(401)232-1990 F=(401)232-1994

1. INFORMATION BY DETEC PROVIDED ON THIS EXISTING CONDITIONS PLAN IS TO AUGMENT THE BASE SURVEY FOR PERMITTING AND DESIGN WITH THE ADDITION OF SITE SPECIFIC FEATURES AND SITE UTILITIES TAKEN FROM RECORDS AND SITE ON-THE-GROUND MEASUREMENTS. THE PE STAMP IS AFFIXED FOR THIS INFORMATION ONLY.

3. BASED ON FEMA FLOOD INSURANCE RATE MAP (FIRM) FOR THE CITY OF PROVIDENCE, COMMUNITY-PANEL NUMBER 445406, MAP NUMBER 44007C0317, EFFECTIVE DATE SEPT. 18, 2013, THE SITE IS LOCATED IN ZONE "X" AND OUTSIDE FLOOD ZONES "A, AE, AH OR AO" OTHER AREAS (AREAS DETERMINED TO BE INSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN). BFE: 12.0.

ZONING CRITERIA	REQUIRED	EXISTING LOT 35
ZONING DISTRICT	W-3	W-3
MINIMUM LOT AREA	NONE	478,725 SF +/-
MINIMUM FRONTAGE AND LOT WIDTH	NONE	710'
MINIMUM FRONT YARD SETBACK	NONE	12' +/-
MINIMUM CORNER/INTERIOR SIDE SETBACK	NONE/6'	22' +/-
MINIMUM REAR YARD SETBACK	NONE	78' +/-
MAXIMUM BUILDING HEIGHT	90'	< 90'
MAXIMUM IMPERVIOUS SURFACE (FY, RT)	NONE	NA
MAXIMUM BUILDING/IMPERVIOUS COVERAGE	NONE	NA



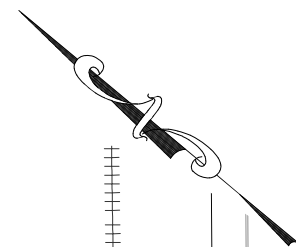
REVISIONS:	
NO.	DESCRIPTION
DESIGNED BY:	DMD
DRAWN BY:	CHEUNG
CHECKED BY:	DMD
DATE:	JUNE 2025
PROJECT NO.	19-008&-03
90% COMPLETION STAGE	
EXISTING CONDITIONS AND DEMO PLAN	

C2.0





LOCATION OF EXISTING UTILITIES SHOWN, ARE FROM GATE LOCATION AND EXISTING DOCUMENTATION AND MAY NOT BE ACCURATE. EXACT LOCATION TO BE DONE BY THE APPROPRIATE UTILITY COMPANY OR MUNICIPALITY PRIOR TO ANY EXCAVATION CALL **DIGSAFE** AT **1-888-DIG-SAFE**
1-888-344-7233



DEtec.
D'AMICO ENGINEERING TECHNOLOGY, INC.
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(401) 932-4770 (401) 353-1190 fax www.damicoengineering.com

**PROPOSED FABRIC STORAGE
FACILITY AND SITE IMPROVEMENTS**
21 NEW YORK AVE.
PROVIDENCE, RHODE ISLAND
AP 56, LOT 352

REVISIONS:		
NO	DATE	DESCRIPTION

[illegible]

90% COMPLETION STAGE

SITE PLAN

C3.0

ZONING INFORMATION TABLE:

ZONING CRITERIA	REQUIRED	EXISTING LOT 352	PROPOSED LEASE LOT
ZONING DISTRICT	W-3	W-3	W-3
MINIMUM LOT AREA	NONE	103,530 SF +/-	103,530 SF +/-
MINIMUM FRONTAGE AND LOT WIDTH	NONE	718' 27" +/-	178.7' +/-
MINIMUM FRONT ZONE SETBACK	NONE	12' +/-	165.7' +/-
MINIMUM CURB/INTERIOR SIDE SETBACK	NONE	105' +/-	50' +/-
MINIMUM REAR YARD SETBACK	NONE	78' +/-	50' +/-
MAXIMUM BUILDING HEIGHT	90'	90'	50' +/-
MAXIMUM IMPERVIOUS SURFACE (FY, RY, TY)	NONE	NA	NA
MAXIMUM LOT IMPERVIOUS COVERAGE	NONE	NA	NA

PROPOSED PARKING CALCULATION(S):

ARTICLE 14 - OFF-STREET PARKING AND LOADING:

CONTRACTOR STORAGE YARD: ONE (1) SPACE PER 500 SQUARE FEET (5F) GFA OF OFFICE.

REQUIRED PARKING (MIN.) = 2,135 SF x 1 SPACE/500 SF = 4.27 SPACES SAY 5

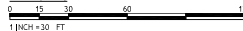
WAREHOUSE: ONE (1) SPACE PER 20,000 SF GFA OF WAREHOUSE SPACE

REQUIRED PARKING (MIN.) = 50,000 SF x 1 SPACE/20,000 SF = 2.5 SPACES SAY 3

REQUIRED: 8 SPACES
PROVIDED: 21 SPACES

ADA ACCESSIBLE SPACE(S) REQUIRED: 2
ADA ACCESSIBLE SPACE(S) PROVIDED: 2

SCALE (FEET)

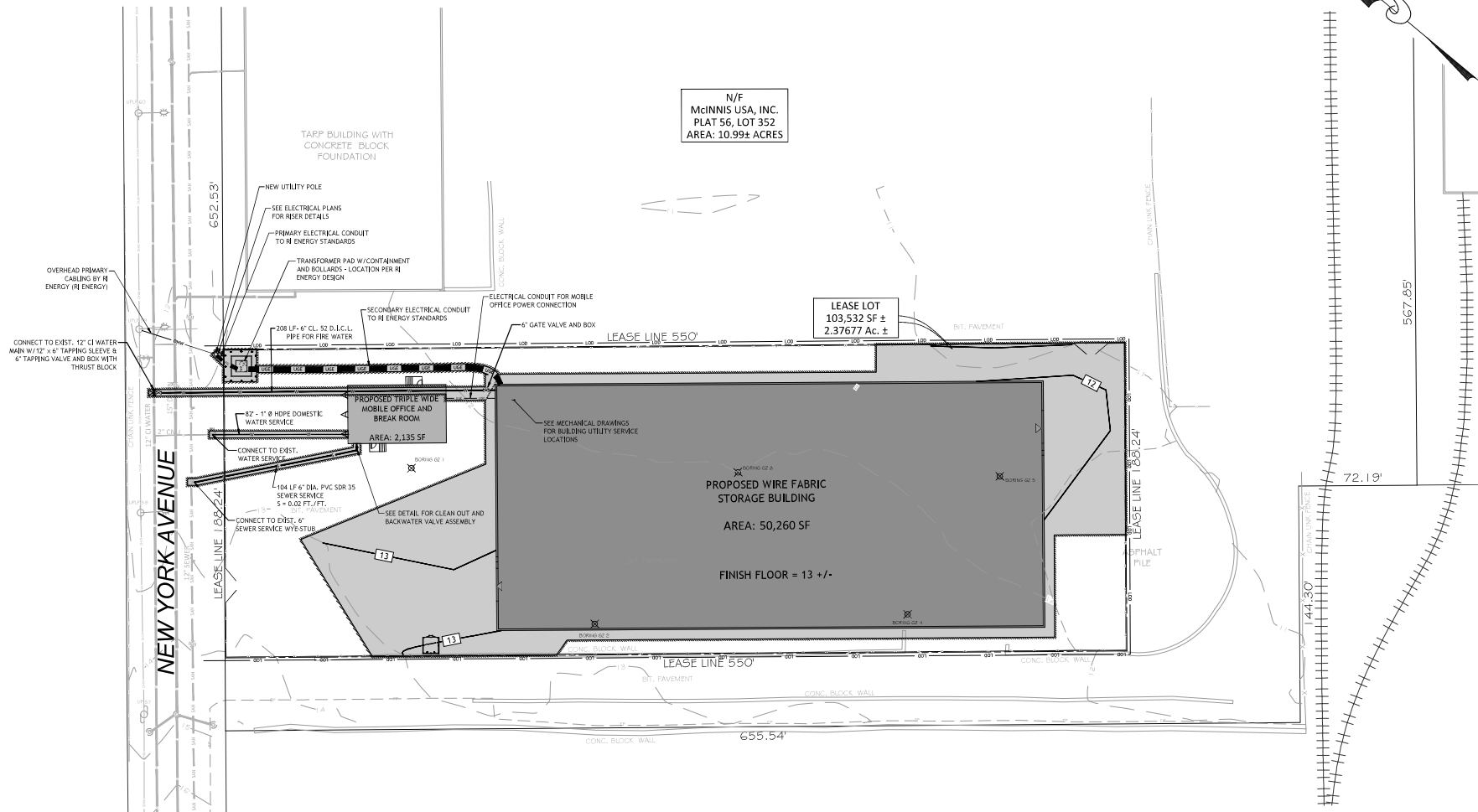
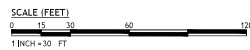




LOCATION OF EXISTING UTILITIES SHOWN, ARE FROM GATE LOCATION AND EXISTING DOCUMENTATION AND MAY NOT BE ACCURATE. EXACT LOCATION TO BE DONE BY THE APPROPRIATE UTILITY COMPANY OR MUNICIPALITY PRIOR TO ANY EXCAVATION CALL **DIGSAFE** AT **1-888-DIG-SAFE**
1-888-344-7233

NOTES:

1. ELECTRIC AND COMMUNICATIONS SERVICE TO BE DESIGNED BY RI ENERGY AND COM PROVIDER. THE LOCATIONS SHOWN ON THIS PLAN IS FOR CONFLICT PLANNING ONLY AND OR APPROXIMATE.



N/F
McINNIS USA, INC.
PLAT 56, LOT 352
AREA: 10.99± ACRES

LEASE LOT 103,532 SF ± 2.37677 Ac. ±
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PROPOSED WIRE FABRIC
STORAGE BUILDING

AREA: 50,260 SF

FINISH FLOOR = 13 +/-

**PROPOSED FABRIC STORAGE
FACILITY AND SITE IMPROVEMENTS**
21 NEW YORK AVE.
PROVIDENCE, RHODE ISLAND
AP 56, LOT 352

REVISIONS:	
NO	DATE DESCRIPTION
DESIGNED BY:	DMD
DRAWN BY:	
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DATE:	JUNE, 2025
PROJECT NO:	1940068-03
90% COMPLETION STAGE	

**GRADING
DRAINAGE AND
UTILITY
PLAN**

C4.0

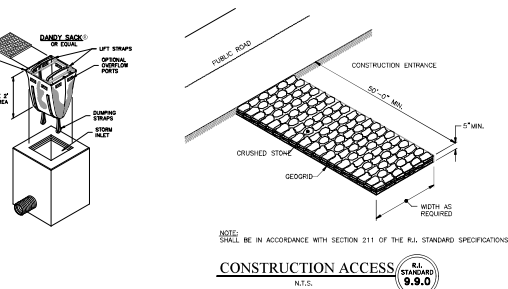
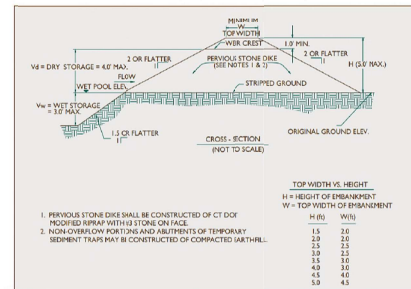
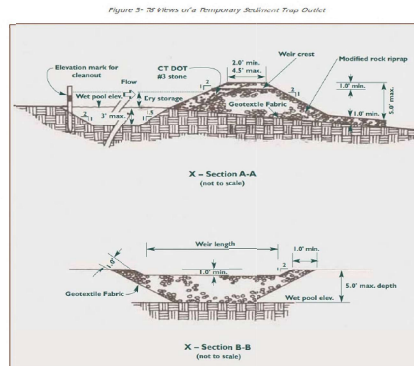


Figure 5- 76 Minimum Top Width (w) Required for Temporary Sediment Trap Embankments According to Height of Embankment (feet). Source: USDA-NRCS



(Credit: Connecticut Guidelines for Erosion & Sediment Control, Sept. 30, 2023)



(Credit: Connecticut Guidelines for Erosion & Sediment Control, Sept. 30, 2023)

TEMPORARY SEDIMENT TRAP DETAIL

EROSION AND SEDIMENTATION CONTROL NOTES

1. THE CONTRACTOR AND RELIANT SUBCONTRACTOR SHALL READ AND UNDERSTAND THE RIDGE GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY (GENERAL PERMIT) AND THE SITE SPECIFIC SOIL EROSION AND SEDIMENT CONTROL PLAN (SSC) PREPARED FOR THE PROJECT. ALL EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST REVISION.
2. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE CONDITIONS ISSUED FOR THE PROJECT BY RIDEM AND BE RESPONSIBLE FOR CONFORMANCE WITH ALL PERMIT REQUIREMENTS AND CONSTRUCTION DOCUMENTS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING OR INSTALLING ALL TEMPORARY SEDIMENT AND EROSION CONTROLS AS SHOWN ON THESE PLANS AND SHALL MAINTAIN ALL EROSION CONTROL MEASURES AS NECESSARY DURING THE ENTIRE CONSTRUCTION PERIOD.
4. ANTI-TRACKING PADS (R.I. STD. DETAIL 9.20) SHALL BE PROVIDED AT ALL POINTS OF EGRESS OR INGRESS AND SHALL BE MAINTAINED TO LIMIT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROAD.
5. EROSION CONTROL BARRIERS SHALL BE INSTALLED AS SHOWN ON THE EROSION CONTROL PLAN PRIOR TO COMMENCEMENT OF CONSTRUCTION OPERATIONS.
6. SOIL EROSION CONTROL CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A WEEKLY BASIS AND AFTER EACH STORM EVENT OF 0.25 INCH OR GREATER DURING CONSTRUCTION TO INSURE THAT CHANNELS, DITCHES AND PIPES ARE CLEAR OF DEBRIS AND THAT THE EROSION CONTROL BARRIERS ARE INTACT. IDENTIFIED DEFICIENCIES SHALL BE CORRECTED IMMEDIATELY.
7. DUST SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNER OR OWNERS REPRESENTATIVE.
8. THE CONTRACTOR SHALL CLEAN AND MAINTAIN EROSION CONTROL BARRIER WHEN SEDIMENT ACCUMULATES TO ONE HALF THE HEIGHT OF THE BARRIER. MATERIAL COLLECTED FROM THE SEDIMENTATION BARRIERS SHALL BE REMOVED AS NECESSARY AND DEPOSED IN AN UPLAND AREA.
9. THE CONTRACTOR SHALL SCHEDULE HIS WORK TO ALLOW THE FINISHED SUB GRADE ELEVATIONS TO DRAIN PROPERLY WITHOUT PONDING. SPECIFICALLY, ALLOW WATER TO ESCAPE WHERE PROPOSED CURB MAY RETAIN RUNOFF PRIOR TO APPLICATION OF SURFACE PAVING. PROVIDE TEMPORARY POSITIVE DRAINAGE, AS REQUIRED, TO STABILIZE DISCHARGE POINTS.
10. INSTALLATION OF THE EROSION CONTROL BARRIERS AS ILLUSTRATED IS INTENDED TO REPRESENT THE MINIMUM SEDIMENTATION CONTROL FACILITIES NECESSARY TO MEET ANTICIPATED SITE CONDITIONS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AS CONDITIONS WARRANT TO AS DIRECTED BY THE OWNER OR OWNERS REPRESENTATIVE.
11. REQUIRED SEDIMENTATION CONTROL FACILITIES MUST BE PROPERLY ESTABLISHED, CLEARLY VISIBLE AND IN OPERATION PRIOR TO INITIATING ANY LAND CLEARING ACTIVITY AND/OR OTHER CONSTRUCTION RELATED WORK. SUCH FACILITIES SHALL REPRESENT THE LIMIT OF WORK. WORKERS SHALL BE INFORMED THAT NO CONSTRUCTION ACTIVITY IS TO OCCUR BEFORE THE LIMIT OF WORK AT ANY TIME THROUGHOUT THE CONSTRUCTION PERIOD.
12. THE CONTRACTOR SHALL MAINTAIN A SUFFICIENT RESERVE OF VARIOUS EROSION CONTROL MATERIALS ONSITE AT ALL TIMES FOR EMERGENCY PURPOSES OR ROUTINE MAINTENANCE.
13. EXISTING CATCH BASINS AND STORM DRAIN INLETS SHALL BE PROTECTED WITH APPROPRIATE TEMPORARY INLET PROTECTION IN ACCORDANCE WITH THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK.
14. DE-WATERING WASTE WATERS PUMPED FROM EXCAVATIONS SHALL BE CONVEYED BY HOSE TO AN UPLAND AREA AND DISCHARGED ONTO STRAW BALE CORRALS OR SEDIMENTATION BAGS.
15. THE CONTRACTOR SHALL NOT REMOVE ANY TEMPORARY SEDIMENT CONTROL BARRIERS UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN PERMANENTLY STABILIZED.
16. CONSTRUCTION SITE WASTE MATERIALS SHALL BE PROPERLY CONTAINED ONSITE AND DISPOSED OFF SITE AT A LOCATION IN ACCORDANCE WITH THE LOCAL AND STATE REGULATIONS.
17. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 14 DAYS UPON COMPLETION OF WORK IN THAT AREA.
18. ALL DRAINAGE STRUCTURES SHALL BE CLEARED OF ACCUMULATED SEDIMENT PRIOR TO ACCEPTANCE OF FINAL PROJECT.
19. NEWLY VEGETATED AREAS SHALL BE MAINTAINED REGULARLY TO ENSURE VEGETATED SURFACES.
20. EROSION AND SEDIMENTATION CONTROLS SHALL BE UTILIZED AS SHOWN ON THE PLANS. POTENTIAL EROSION AND SEDIMENTATION PROBLEMS ASSOCIATED WITH THE CONSTRUCTION OF THE PROJECT SHALL BE AVOIDED THROUGH THE PROJECT SCHEDULING AND THE USE OF APPROPRIATE STANDARD CONTROLS (RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL HANDBOOK) AS ILLUSTRATED ON THE PROJECT PLANS.
21. WHERE EROSION CONTROLS ARE NEEDED ON IMPERVIOUS SURFACES, THE CONTRACTOR SHALL PROVIDE SAND BAG EROSION CONTROL BARRIER.
22. TEMPORARY DIVERSION (TD) MAY CONSIST OF A DITCH OR SWALE, OR MAY BE ACHIEVED USING WOOD CHIPS, COIR LOGS, OR SIMILAR MATERIALS.
23. TEMPORARY SEDIMENT TRAPS (TST) AND TEMPORARY SWALES (TSW) SHALL BE SIZED BY THE CONTRACTOR USING THE PARAMETERS CONTAINED IN THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK.

STORM WATER MANAGEMENT SYSTEM INSPECTION AND MAINTENANCE NOTES
DURING CONSTRUCTION (CONTRACTOR'S RESPONSIBILITY)

1. THE CONTRACTOR SHALL REMOVE SEDIMENT AND DEBRIS FROM ALL CATCH BASINS, MANHOLES, AND THE DRAINAGE SYSTEM ON A ROUTINE BASIS, IMMEDIATELY FOLLOWING SITE STABILIZATION, AND PRIOR TO PROJECT COMPLETION AND ACCEPTANCE.
2. THE CLOSED DRAINAGE SYSTEM AND ASSOCIATED STRUCTURES SHALL BE CLEANED AND FLUSHED BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION AND MAINTENANCE OF THE DRAINAGE SYSTEM UNTIL ACCEPTANCE OF THE SYSTEM BY THE ENGINEER AND THE CITY OF PAWTUCKET. THE OWNER OF THE SITE SHALL BE RESPONSIBLE FOR THE LONG-TERM INSPECTION AND MAINTENANCE OF THE DRAINAGE SYSTEM.
3. ANY ACCUMULATION OF PONDING WATER IN AREAS WITHIN THE LIMITS OF DISTURBANCE, OTHER THAN DESIGNATED AREAS, SHALL BE REMOVED ACCORDINGLY AND PREVENTED IN THE FUTURE.

POST CONSTRUCTION (OWNER'S RESPONSIBILITY)

1. TRASH, LITTER, SEDIMENT AND OTHER DEBRIS SHALL BE REMOVED FROM ANY STORMWATER MANAGEMENT SYSTEM FACILITY (INCLUDING BUT NOT LIMITED TO CAST BASINS, MANHOLES, AND INLETS) A MINIMUM OF TWO TIMES PER YEAR, PREFERABLY IN THE SPRING AND FALL, AT THE COST OF THE OWNER.
2. THE PARKING LOT AND ENTRY DRIVE SHALL BE SWEEP BY THE OWNER AS EARLY AS POSSIBLE EVERY SPRING AND ONCE IN THE FALL TO REMOVE SEDIMENTS.
3. ALL CLEANING AND MAINTENANCE OF STORMWATER MANAGEMENT SYSTEMS SHALL BE THE RESPONSIBILITY OF THE OWNER.

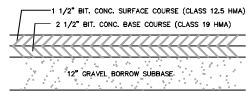


PROPOSED FABRIC STORAGE
FACILITY AND SITE IMPROVEMENTS
21 NEW YORK AVE.
PROVIDENCE, RHODE ISLAND
AP 56, LOT 352

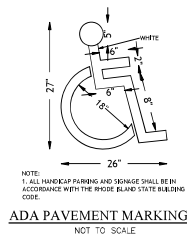
REVISIONS:	
NO	DATE DESCRIPTION
DESIGNED BY:	DMD
DRAWN BY:	DMD
CHECKED BY:	DMD
DATE:	JUNE, 2025
PROJECT NO:	19-0008-03
90% COMPLETION STAGE	

SOIL EROSION AND SEDIMENT CONTROL DETAILS

C5.1



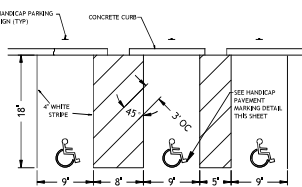
PAVEMENT CROSS SECTION MAKEUP
NOT TO SCALE



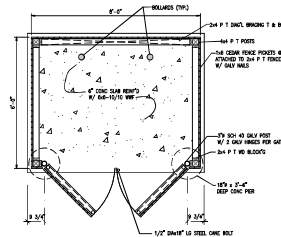
ADA PAVEMENT MARKING
NOT TO SCALE



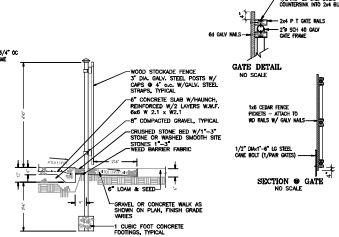
ADA PARKING SIGNS
NOT TO SCALE



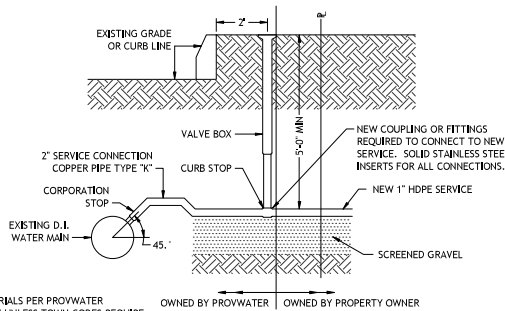
ADA PARKING STALLS
NOT TO SCALE



DUMPSTER ENCLOSURE PLAN
NOT TO SCALE

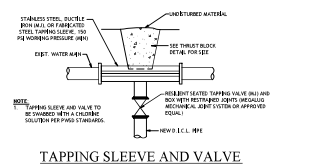


DUMPSTER PAD/FENCE DETAIL
SCALE: 1/2\"/>

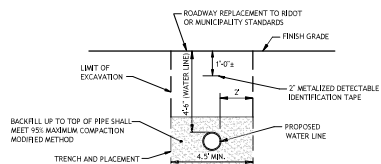


- NOTE:**
- SERVICE MATERIALS PER PROWATER SPECIFICATION UNLESS TOWN CODES REQUIRE SPECIFIC MATERIALS THAT HAVE BEEN APPROVED BY PROWATER.
 - SERVICE LINE FROM CURB BOX TO BUILDING SHALL BE INSPECTED, TESTED AND APPROVED BY THE LOCAL PLUMBING INSPECTOR.

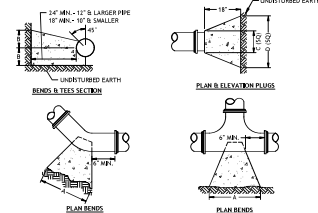
SERVICE CONNECTION
NOT TO SCALE



TAPPING SLEEVE AND VALVE
NOT TO SCALE



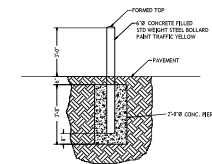
TYPICAL WATER LINE TRENCH
N.T.S.



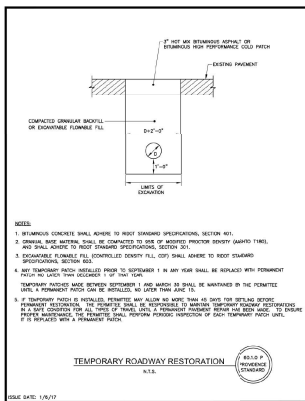
- NOTE:**
- ALL CONCRETE SHALL BE 3000 P.S.I. @ 28 DAYS.
 - CONCRETE THRUST BLOCKS SHALL BEAR AGAINST UNDISTURBED EARTH.
 - FORM TO BE USED AS NECESSARY.
 - ALL BOLTS AND NUTS TO BE PROTECTED FROM CONCRETE AND EASILY ACCESSIBLE WHEN THRUST BLOCKS INSTALLED.
 - DESIGN PARAMETERS: 150 PSI WATER PRESSURE (UNIL. COG. BEARING, STRENGTH) 2.000 PSI. TO BE USED IN CONJUNCTION WITH MECHANICAL JOINT RESTRAINT SYSTEM.

SIZE	TEES		PLUGS		90° BEND		45° BEND		22 1/2° BEND		11 1/4° BEND	
	A	B	C	D	A	B	A	B	A	B	A	B
4" & 3"	22"	17"	22"	12"	24"	16"	20"	10"	14"	7"	11"	5"
6"	30"	18"	30"	18"	35"	22"	27"	15"	19"	12"	13"	6"
8"	38"	24"	38"	24"	46"	29"	33"	22"	25"	14"	19"	10"

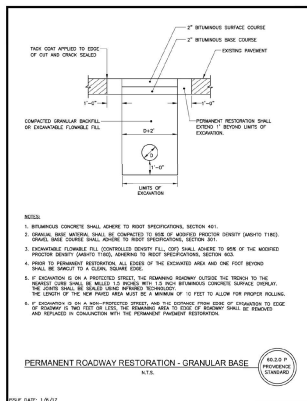
THRUST BLOCK
N.T.S.



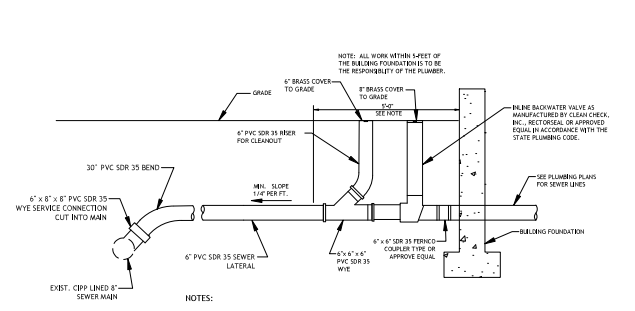
TYPICAL BOLLARD DETAIL
NOT TO SCALE



TEMPORARY ROADWAY RESTORATION
N.T.S.

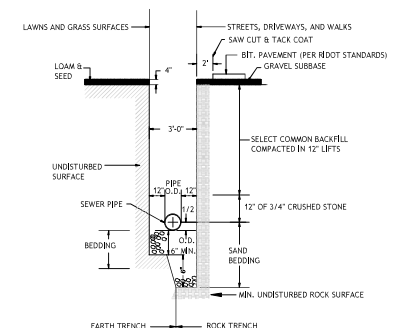


PERMANENT ROADWAY RESTORATION - GRANULAR BASE
N.T.S.



- NOTES:**
- SEWER LATERAL SHALL HAVE A MINIMUM 24\"/>

SEWER SERVICE LATERAL DETAIL
NOT TO SCALE



TYPICAL SEWER LINE TRENCH DETAIL
NO SCALE

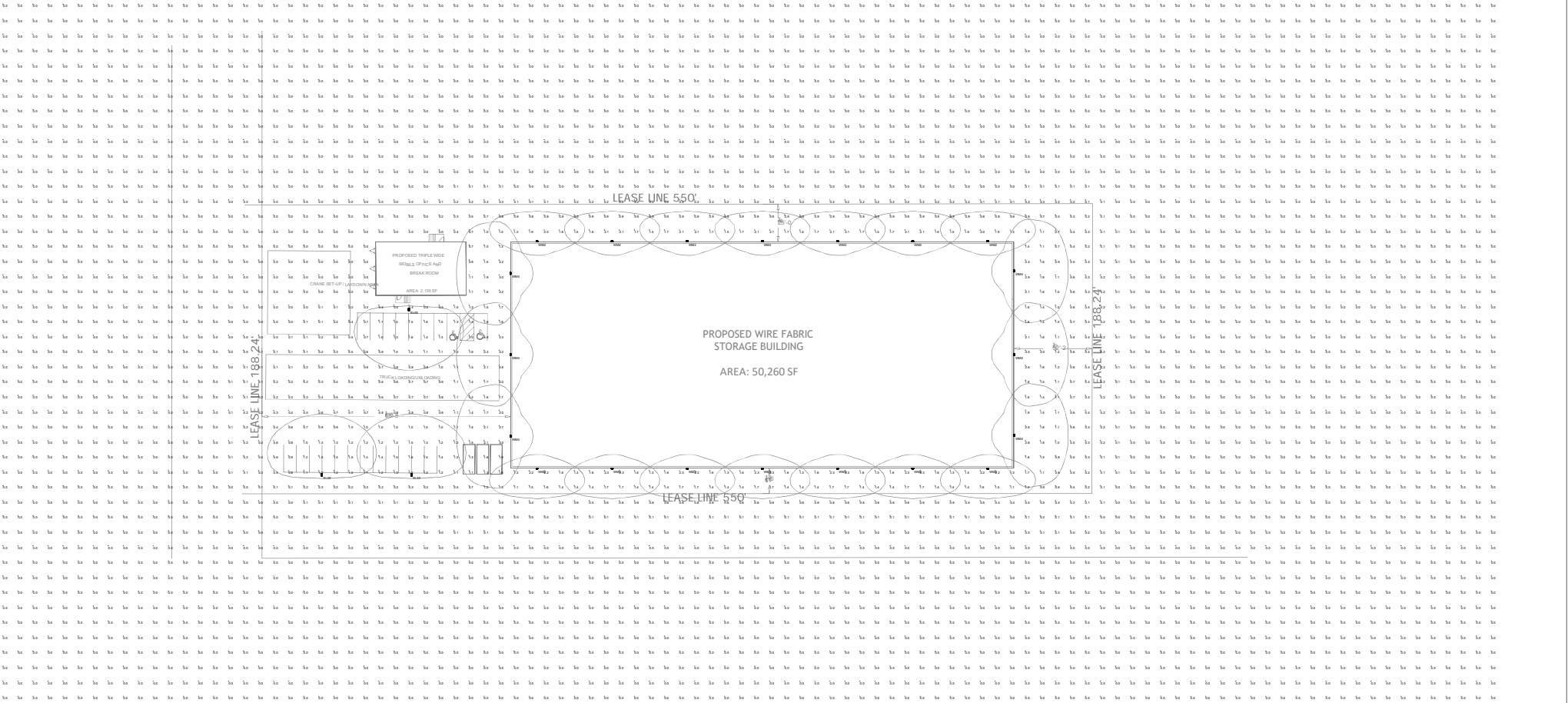
**PROPOSED FABRIC STORAGE
FACILITY AND SITE IMPROVEMENTS**
21 NEW YORK AVE.
PROVIDENCE, RHODE ISLAND
AP 56, LOT 352

REVISIONS:

NO.	DATE	DESCRIPTION
1		
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90% COMPLETION STAGE

**SITE
DETAILS 1**



JOB NAME: L3HARRIS - PORT OF PROVIDENCE - 35 TERMINAL RD - PROVIDENCE, RI
APEX LIGHTING SOLUTIONS
WORKPLANE/CALC PLANE: AT FINISH GRADE
MOUNTING HEIGHT: SEE LUMINAIRE SCHEDULE
APPS: CSI
SCALE: 1/8"

Luminaire Schedule						
Qty	Label	Arrangement	Lumens	Input Watts	LLF	RLG Rating
3	SL45	Single	4862	41.88	0.900	R1-UG51
14	W40	Single	2016	23.1	0.900	R1-UG50
6	W40	Single	5165	45.6	0.900	R1-UG51

Calculation Summary						
Label	Grid Height	Avg	Max	Min	Avg/Min	Max/Min
SITE	0	0.13	3.2	0.0	N/A	N/A

GENERAL DISCLAIMER:
Calculations have been performed according to IES standards and good practice. Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and field testing conditions and environmental variations. Input data used to generate the attached calculations such as room dimensions, reflectances (ceiling and walls) and air volume and temperature, will affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values.
* LLF Determined Using Current Published Lamp Data

NOTE TO REVIEWER:
Total Light Loss Factor (LLF) applied at time of design is determined by applying the Luminaire Depreciation Factor (LDF) from current luminaire manufacturer's catalog and a Ballast Factor (BF) from current ballast specification sheets. Application of an incorrect Light Loss Factor (LLF) will result in forecasts of performance that will not accurately depict actual results.
For proper comparison of photometric layouts, it is essential that you insist all designers use correct Light Loss Factors.



PROJECT TITLE:
L3HARRIS
PORT OF PROVIDENCE
35 TERMINAL RD
PROVIDENCE, RI

DRAWING TITLE:
SITE LIGHTING
PHOTOMETRIC CALCULATION

SCALE: 1"=50'-0"
DATE: 6/18/25
DRAWN BY: DM
SHEET: SL-1

FILE NAME: 2025-06-18 L3-HARRIS - PORT OF PROVIDENCE - 35 TERMINAL RD - PROVIDENCE, RI - DM5WS

INDEX OF DRAWINGS

DRAWING #	REV.	DESCRIPTION
66619	B	COVER SHEET
66620	A	PLAN VIEW AND ELEVATIONS
66621	B	ANCHOR BOLT LAYOUT
66622	A	ELECTRICAL LAYOUT
66623	-	TENSIONING AND SEALING DETAILS
66710	A	FOUNDATION FORCES LAYOUT

L3 HARRIS TECHNOLOGIES, INC. PORT OF PROVIDENCE PROVIDENCE, RHODE ISLAND

45.72m (150'-0") BVE / 7m (22'-11 9/16") LEG x 333'-4" LONG

Rubb Job #25037

Design Loads
RHODE ISLAND STATE BUILDING CODE 2021
ASCE 7-16
IBC 2018

125 mph 3 SEC WIND, EXPOSURE C
ENCLOSED STRUCTURE

RISK CATEGORY II

3 psf COLLATERAL LOAD

30 psf GROUND SNOW LOAD

MINIMUM FLAT SNOW LOAD OF 30 psf

SEISMIC; Ss = 0.176, S1 = 0.062, Ie = 1.0, SITE CLASS = D, SDC = B

PRELIMINARY
NOT FOR CONSTRUCTION



BUILDING SYSTEMS

REAR
GABLE


RIGHT SIDE ELEVATION



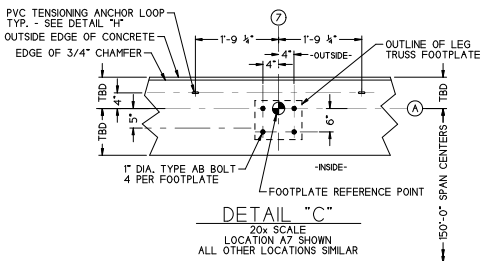
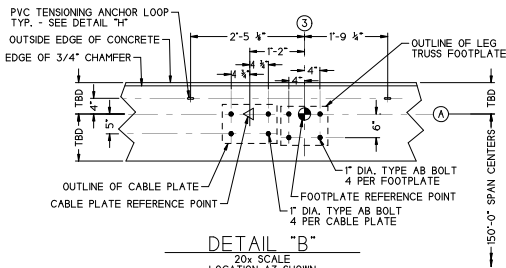
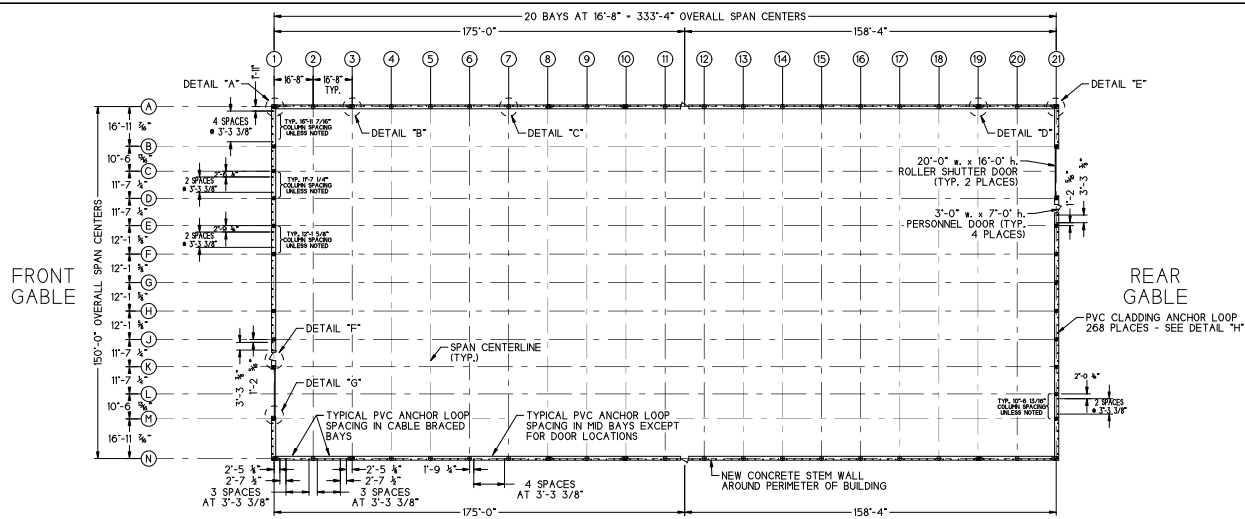
LEFT SIDE ELEVATION

PRELIMINARY
NOT FOR CONSTRUCTION

- NOTES:
- 1) COVERING MATERIAL IS A PVC IMPREGNATED POLYESTER WEAVE FABRIC, SPEC. EXTINGUISHING TO FEDERAL TEST STANDARD 191 METHOD 5903 AND COMPLES WITH NEPA STANDARD 701, UBC 55-1 AND CALIFORNIA STATE FIRE MARSHALL'S OFFICE.
 - 2) STRUCTURAL FRAMEWORK IS GALVANIZED TUBULAR STEEL TRUSS FRAMES INTERCONNECTED WITH GALVANIZED TUBULAR STEEL PURLINS, STEEL PLATE AND SHAPES ARE ASTM A572. STEEL TUBING IS ASTM A500C.

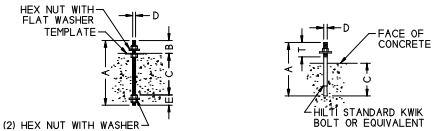
A	REVISED DOW LOCATIONS ALONG GRID LINE 1		RH	5-19-25
REV.	DESCRIPTION	DRAWN	APP.	DATE
We Cover The World  BUILDING SYSTEMS		45.72m BVE / 7m LEG PLAN VIEW AND ELEVATIONS		
OWNER	SCALE	This drawing is the property of RUBB, and may not be reproduced or used for any manufacturing purpose without the express written consent of RUBB, Inc.		
AR 4-21-25	1 : 300			
RH 4-23-25	250337			
DATE	JOB WVE			
	13. HARRIS			
RUBB, INC. SANFORD MAINE 04073		DRAWING NO.		
TEL: 202-324-2847 FAX: 202-324-2347		66620		

FRONT GABLE



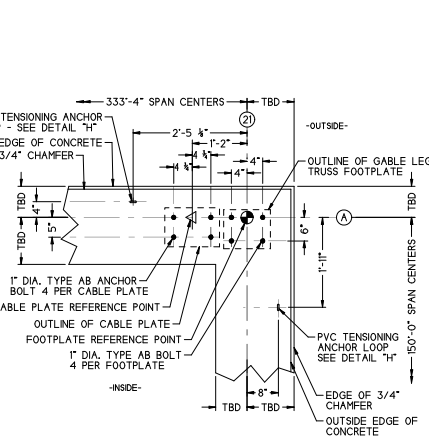
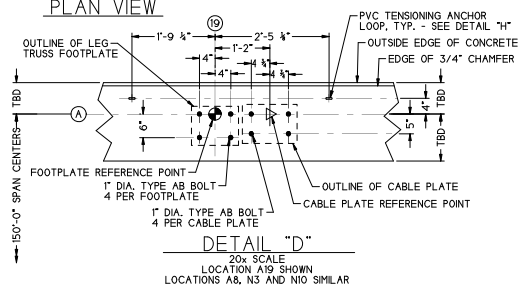
ANCHOR BOLT SCHEDULE

ANCHOR BOLT LENGTHS TO BE DETERMINED BY FOUNDATION ENGINEER.



LOCATION	MARK	TYPE	BOLT DIA.	D	A	B	C	MIN. THREAD	1	MAT'L	QTY.
LEG TRUSS	AB	AB	1"	TBD	3 1/2"	TBD	TBD	-	-	A307	168
CABLE PLATE	AB	AB	1"	TBD	3 1/2"	TBD	TBD	-	-	A307	48
CABLE COLUMN	AB	AB	3/4"	TBD	2 1/2"	TBD	TBD	-	-	A307	80
20' x 16' 8" DOOR	AB	AB	3/4"	TBD	2 1/2"	TBD	TBD	-	-	A307	8
ACCESS DOORS	WA	WA	3/8"	4 1/2"	-	-	-	-	-	A36	16

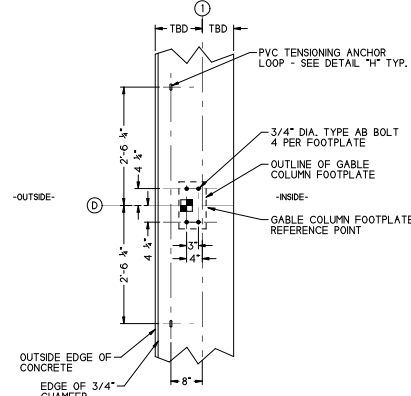
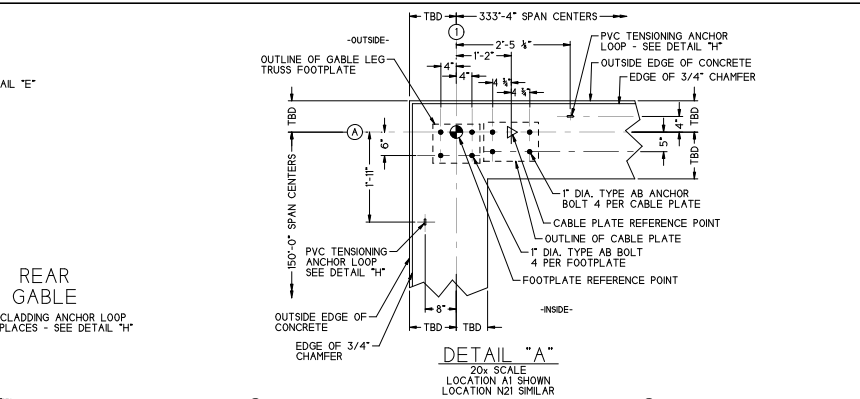
PLAN VIEW



DETAIL "E"

20x SCALE
LOCATION A21 SHOWN
LOCATION N1 SIMILAR

REAR GABLE



DETAIL "F"

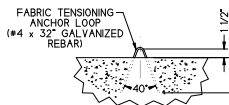
20x SCALE
LOCATION D1 SHOWN
OTHER GABLE COLUMNS SIMILAR

DETAIL "G"

20x SCALE
LOCATION F1 SHOWN
LOCATIONS H1, B21 AND D21 SIMILAR

IMPORTANT NOTE:
ANCHOR BOLT REFERENCE POINT SYMBOLS IN THIS DRAWING
DO NOT COINCIDE WITH THOSE SHOWN IN FOUNDATION FORCES
LAYOUT DRAWING.

PRELIMINARY
NOT FOR CONSTRUCTION

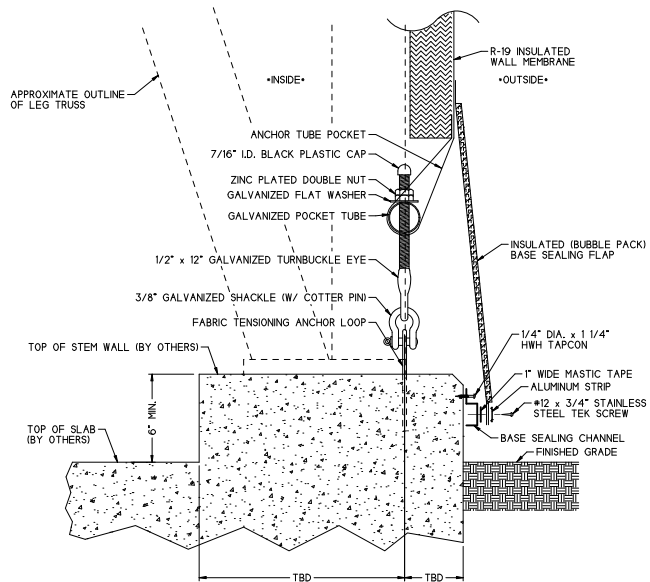


DETAIL "H"

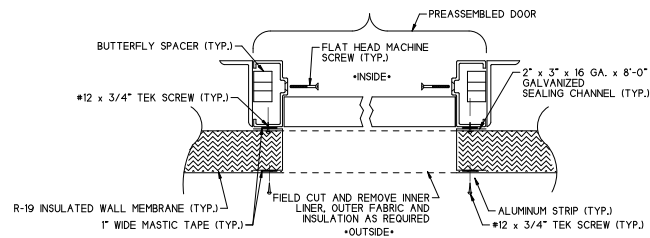
PVC CLADDING ANCHOR LOOP
SHOWN AS DOTS IN PLAN VIEW
NOT TO SCALE

- NOTES:
- CONCRETE SHOWN REPRESENTATIVE ONLY, ACTUAL DESIGN IS THE RESPONSIBILITY OF OTHERS.
 - RUBB, INC. TO PROVIDE ANCHOR BOLT TEMPLATES. TEMPLATES MUST BE PLACED ACCURATELY TO FACILITATE EASY FIT-UP AND FAST ERECTION OF BUILDING.
 - TOP SURFACE OF TEMPLATES TO BE LEVEL AND FLUSH WITH TOP SURFACE OF CONCRETE. FOOTPLATES ARE TO BE CONNECTED DIRECTLY TO THE TEMPLATES WITHOUT THE USE OF GROUT.
 - ANCHOR BOLTS AND PVC FABRIC TENSIONING LOOPS TO BE SUPPLIED BY RUBB AND INSTALLED BY OTHERS.
 - ANCHOR BOLTS NEED TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
 - VERIFICATION OF ADEQUATE CONCRETE STRENGTH AROUND ANCHOR BOLTS IS THE RESPONSIBILITY OF OTHERS.
 - RUBB, INC. NOT RESPONSIBLE FOR FOUNDATION DESIGN. ADEQUACY OF ANCHOR BOLT EMBEDMENT AND EDGE DISTANCES TO BE VERIFIED BY FOUNDATION ENGINEER.
 - ALL FOOTPLATES AND CABLE PLATES TO BE AT THE SAME ELEVATION.
 - TEMPORARILY INSTALL NUTS SNUG ON TOP AND BOTTOM SURFACE OF TEMPLATES TO HOLD ANCHOR BOLTS SQUARE DURING POURING.
 - ACCESS DOOR FOOTPLATES NOT SHOWN. USE ACTUAL FOOTPLATE TO DRILL FOR CONCRETE WEDGE ANCHORS.

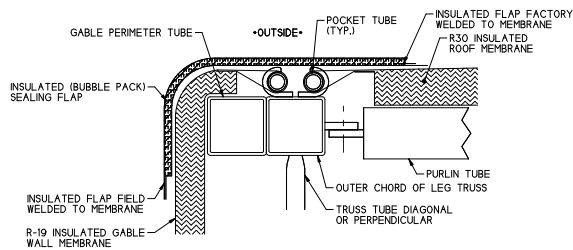
REV.	DESCRIPTION	DRAWN	APP.	DATE
1	REVISED DOOR LOCATIONS ALONG GRID LINE 1	RH		5-19-25
2	REVISED TO ADD ANCHOR BOLT TEMPLATE	BT		5-19-25
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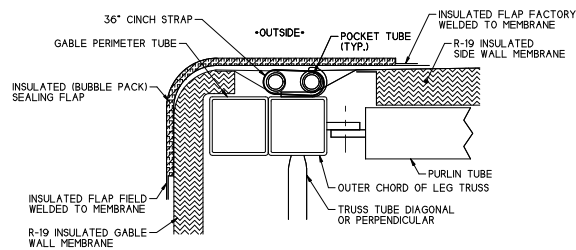
BASE SEALING DETAIL
TYP. ALONG SIDES AND GABLES



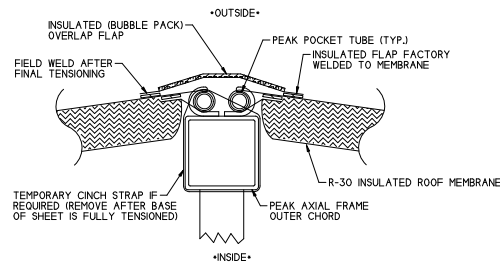
ACCESS DOOR INSTALLATION
GABLE ACCESS DOOR SHOWN - SIDE ACCESS DOORS SIMILAR



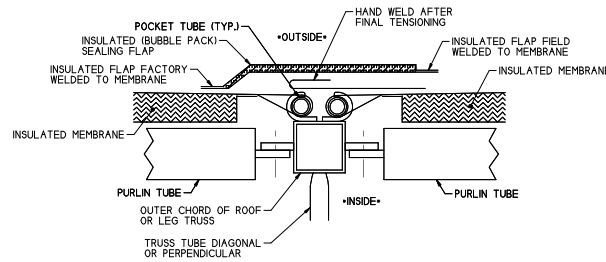
GABLE PERIMETER
ALONG ROOF TRUSS SHOWN



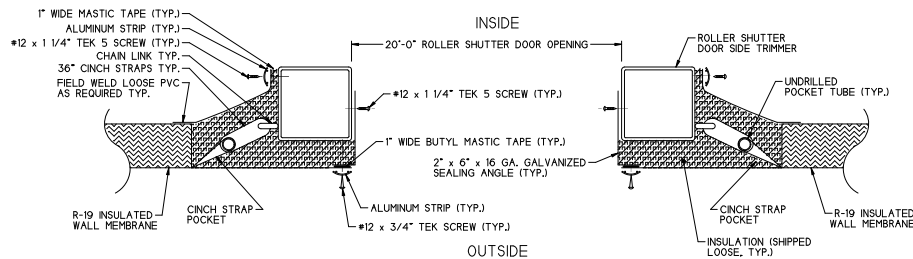
GABLE PERIMETER
ALONG LEG TRUSS SHOWN



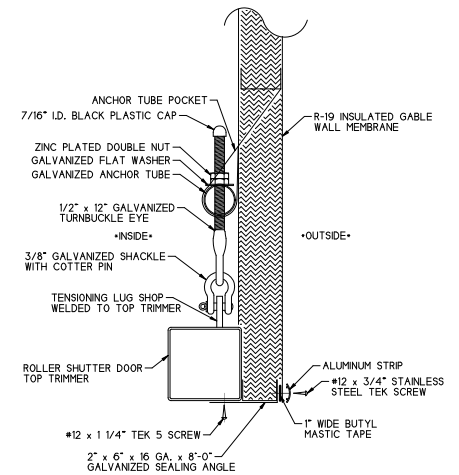
INSULATED MEMBRANE SEAM AT PEAK



SHEET TO SHEET SEALING
ALONG ROOF TRUSS SHOWN
ALONG LEG TRUSS SIMILAR

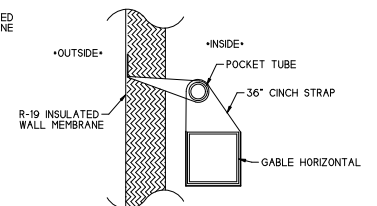


ROLLER SHUTTER DOOR SEALING
PLAN VIEW ALONG SIDES

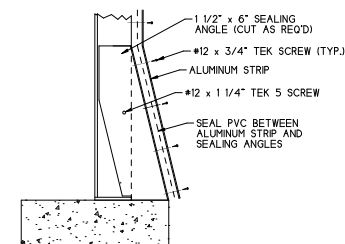


ROLLER SHUTTER DOOR SEALING
ALONG TOP

PRELIMINARY
NOT FOR CONSTRUCTION



GABLE HORIZONTAL TENSIONING DETAIL



DOOR BASE SEALING DETAIL
NOT TO SCALE
SIDE TRIMMERS AT BASE

REV	DESCRIPTION	DRAWN	APP.	DATE
1	45.72m BVE / 7m LEG TENSIONING AND SEALING DETAILS			
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