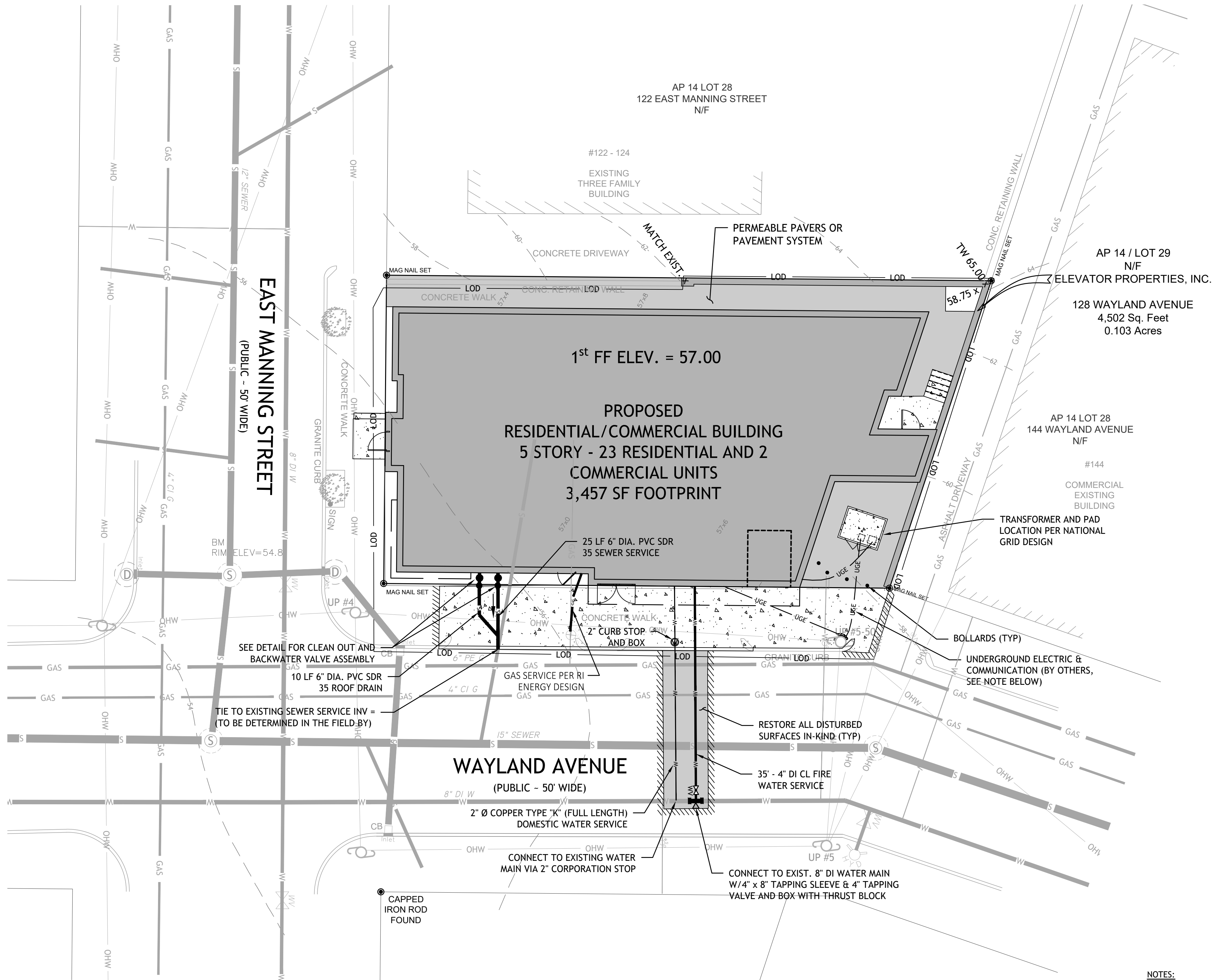


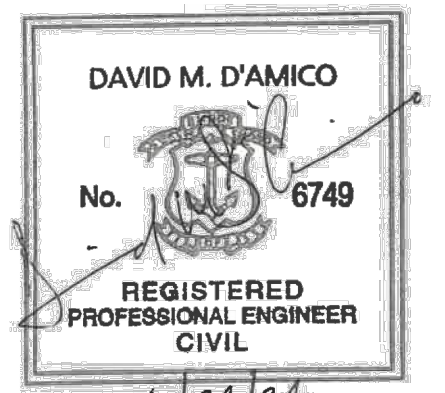
C1.0



- NOTES:
1. GAS, ELECTRIC AND COMMUNICATIONS SERVICE TO BE DESIGNED BY RI ENERGY. THE LOCATIONS SHOWN ON THIS PLAN IS FOR CONFLICT PLANNING ONLY AND OR APPROXIMATE.



LOCATION OF EXISTING UTILITIES SHOWN, ARE FROM GATE LOCATION AND EXISTING DOCUMENTATION AND MAY NOT BE ACCURATE. EXACT LOCATION TO BE DONE BY THE APPROPRIATE UTILITY COMPANY OR MUNICIPALITY PRIOR TO ANY EXCAVATION CALL **1-888-DIG-SAFE** AT **1-888-344-7233**



PROPOSED RESIDENTIAL DEVELOPMENT
128 WAYLAND AVE.
PROVIDENCE, RHODE ISLAND
AP 14, LOT 29

REVISIONS:	
NO.	DATE DESCRIPTION

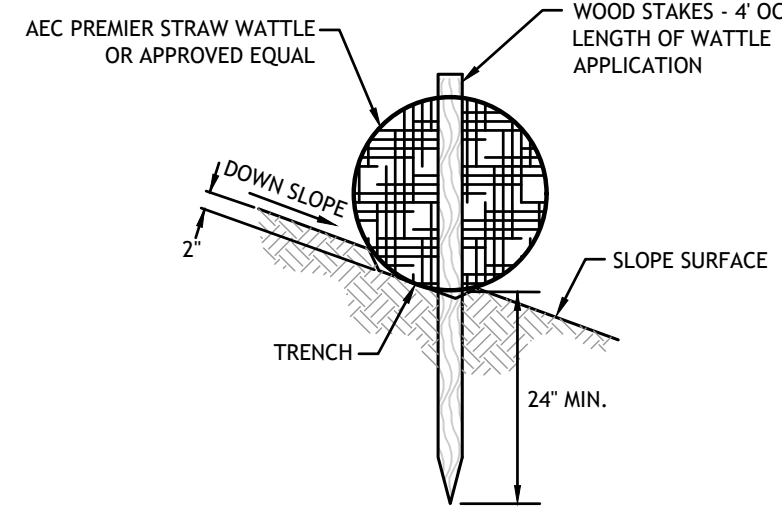
DESIGNED BY: DMD
DRAWN BY:
CHECKED BY: DMD
DATE: JUNE, 2024
PROJECT NO: 19-0005-04

PERMIT PLANS

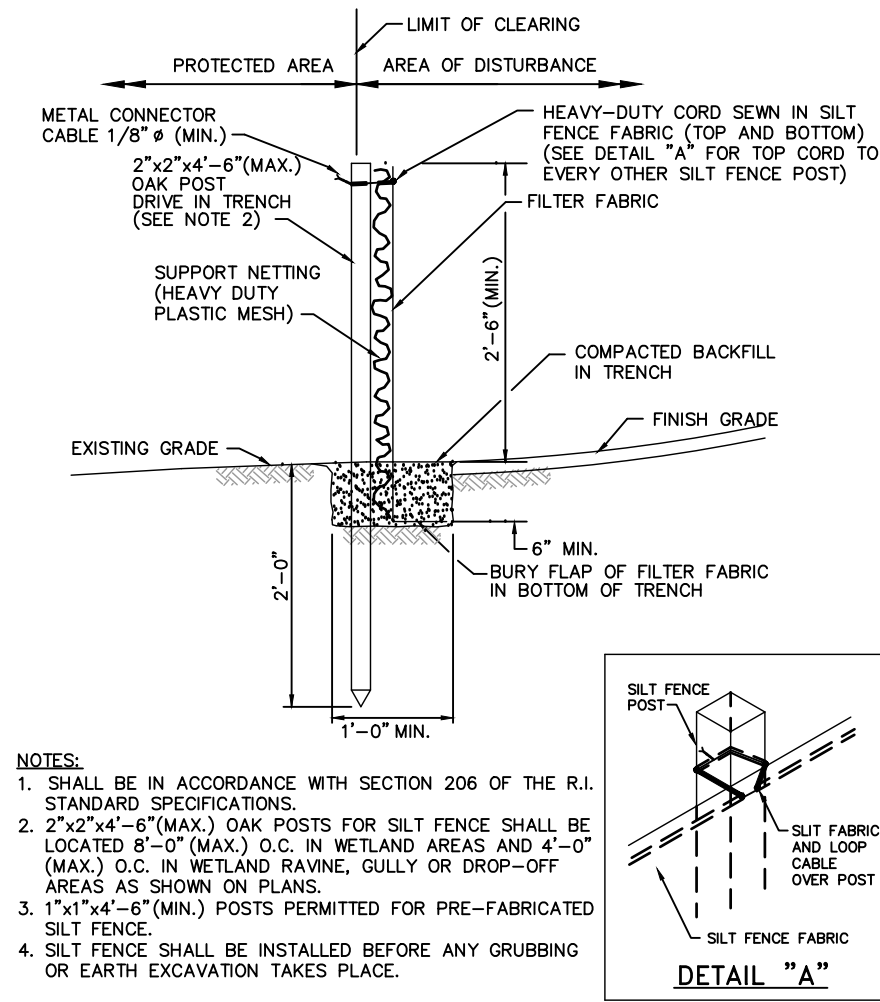
GRADING
DRAINAGE AND
UTILITY
PLAN

C3.0

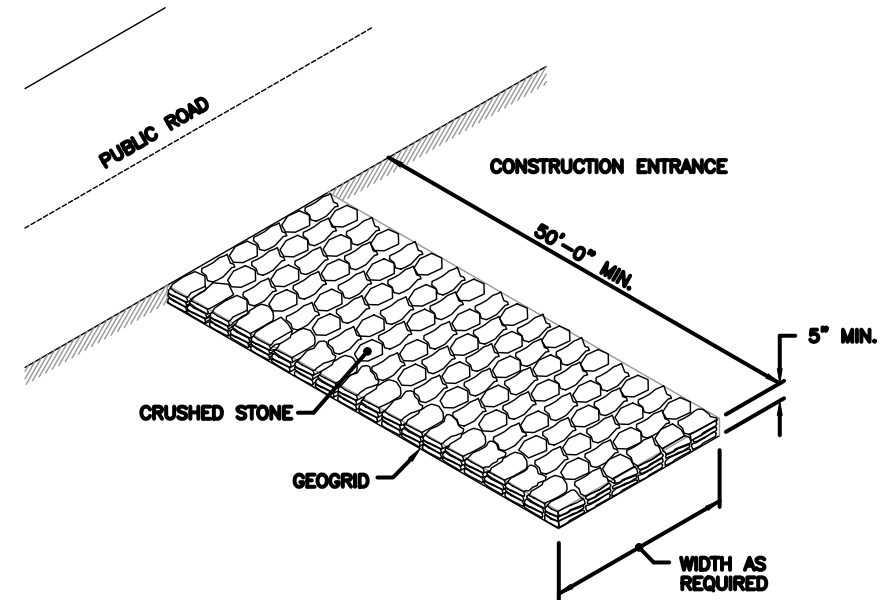
N:\19-0005 Peter Cusale\04 128 Wayland Ave\Plans\128 Wayland Ave PLAN SET 6-24-24.dwg Jun. 24, 2024 3:27pm



**STRAW WATTLE STAKE
DETAIL ON SOIL**
N.T.S.

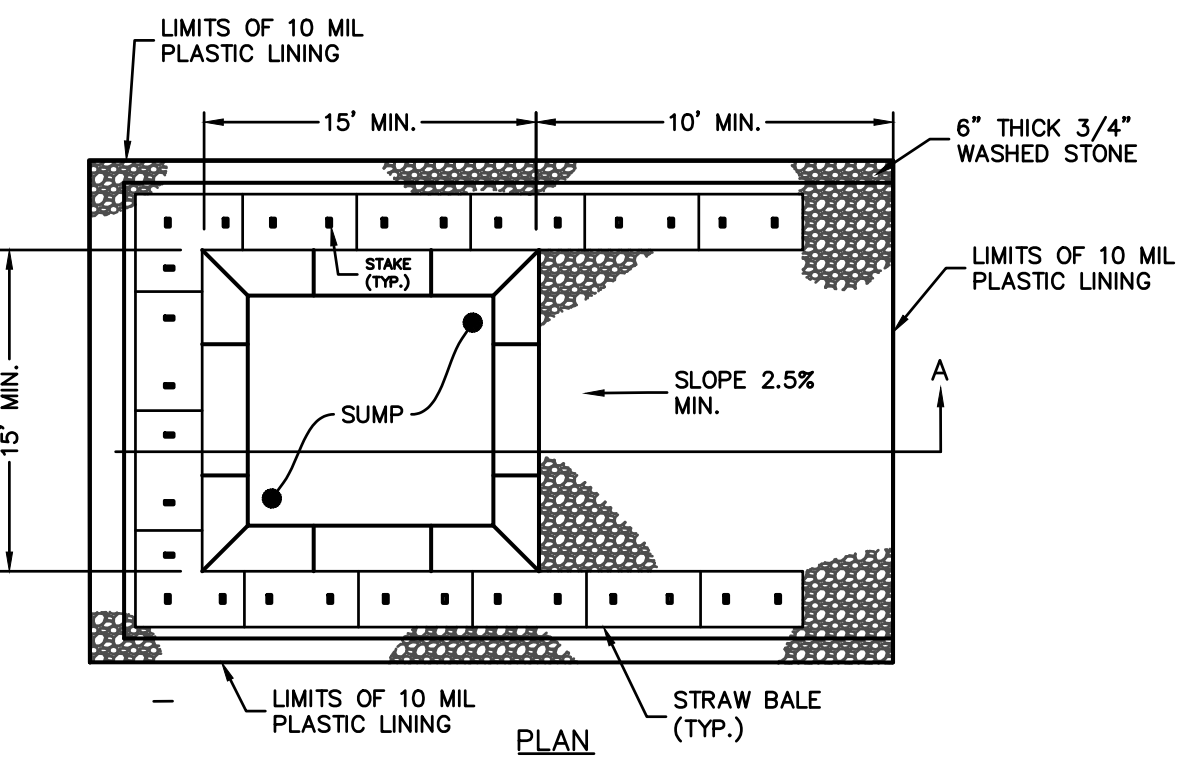


SILT FENCE DETAIL
R.I. STANDARD
9.2.0



NOTE: SHALL BE IN ACCORDANCE WITH SECTION 211 OF THE R.I. STANDARD SPECIFICATIONS.

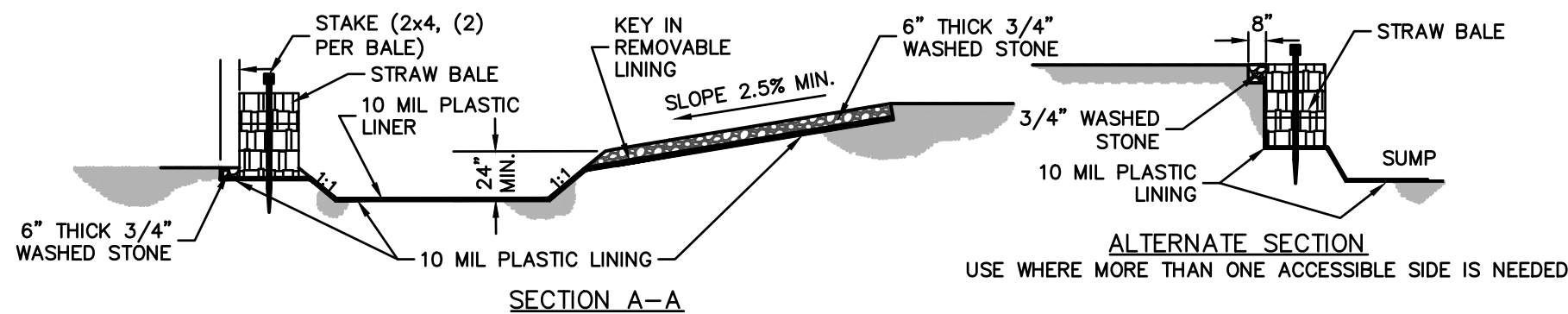
CONSTRUCTION ACCESS
N.T.S.
R.I. STANDARD
9.9.0



STOCKPILE DETAIL
N.T.S.



WASHOUT SIGN



ALTERNATE SECTION

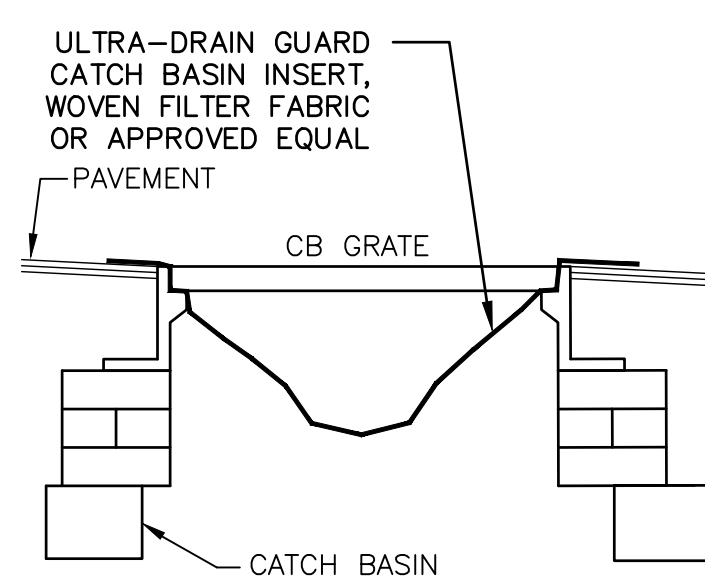
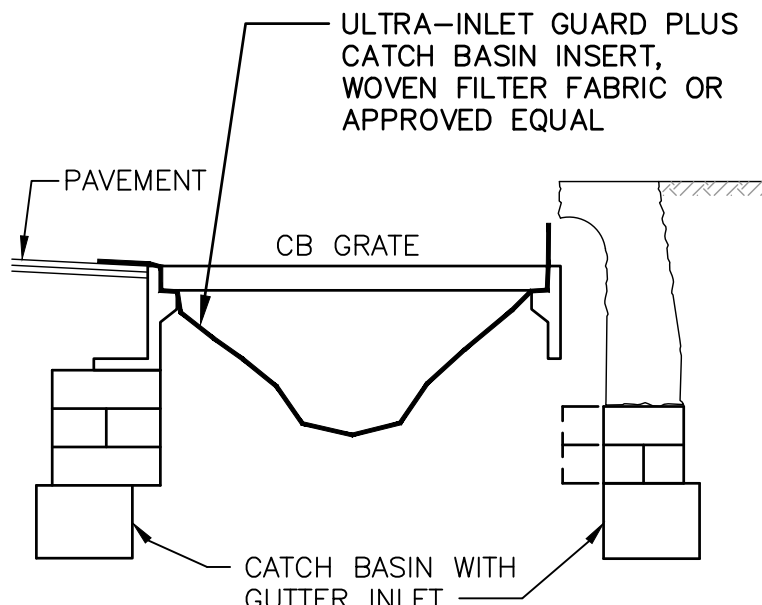
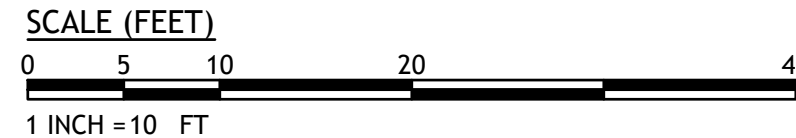
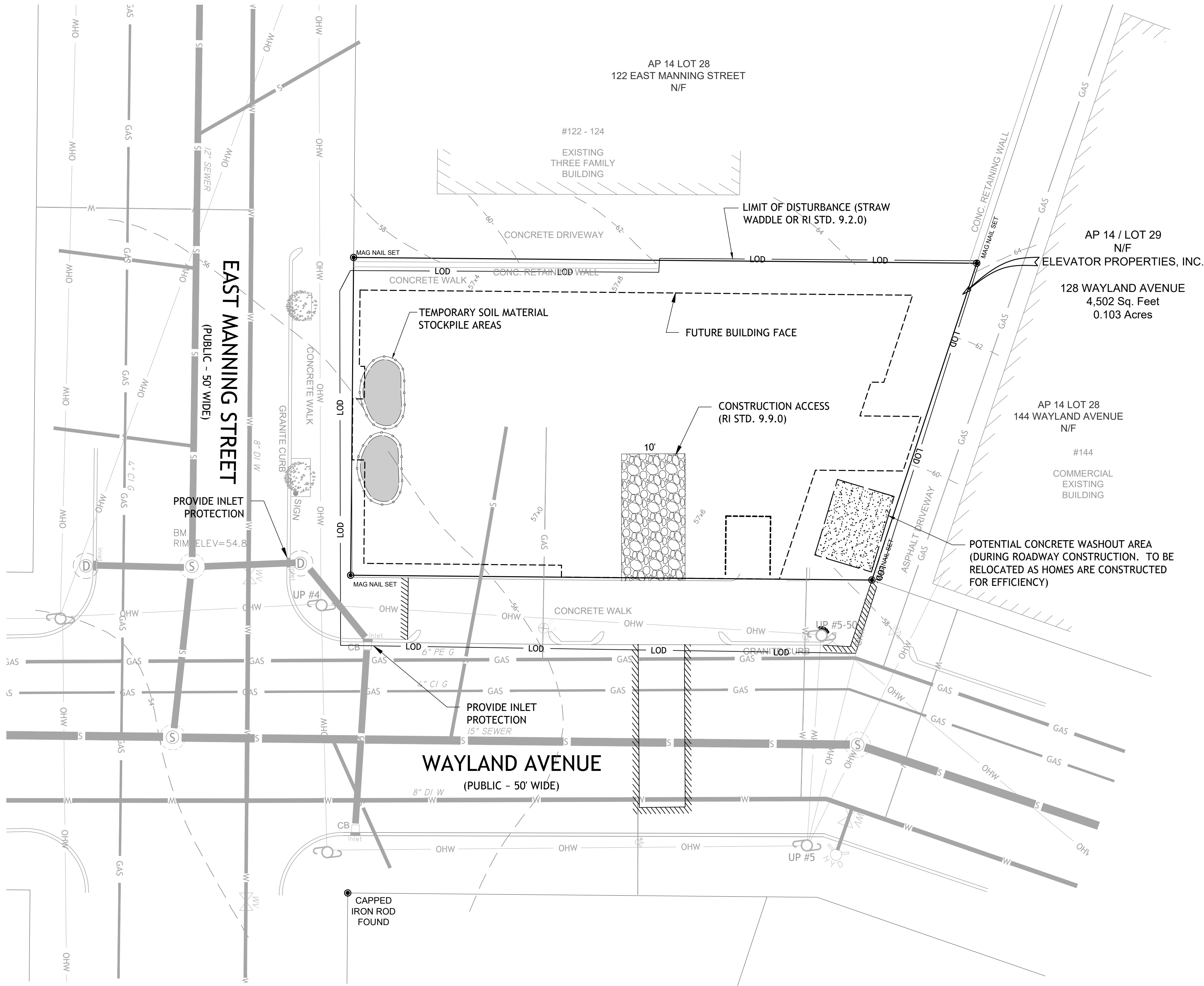
USE WHERE MORE THAN ONE ACCESSIBLE SIDE IS NEEDED

NOTES:

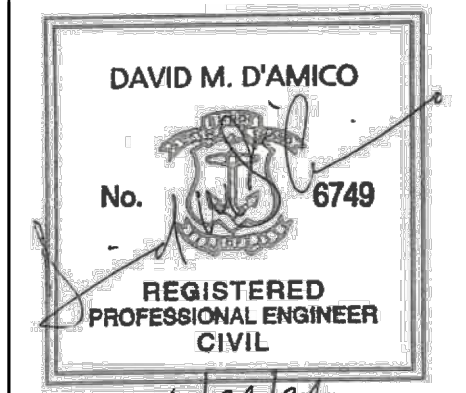
1. PIT IS SPECIFICALLY DESIGNATED, DIKED AND CONTAINED TO PREVENT CONTACT BETWEEN CONCRETE WASH AND STORMWATER.
2. WASH WATER SHALL NOT BE ALLOWED TO FLOW TO SURFACE WATER.
3. FACILITY MUST HOLD SUFFICIENT VOLUME TO CONTAIN CONCRETE WASTE WITH A MINIMUM FREEBOARD OF 12."
4. FACILITY SHALL NOT BE FILLED BEYOND 12" OF FREEBOARD UNLESS A NEW FACILITY IS CONSTRUCTED. WASHOUT AREA SHALL BE EMPTIED AT THIS TIME AND DISPOSED OF IN ACCORDANCE WITH ALL REGULATIONS.
5. SAW CUT PORTLAND CEMENT CONCRETE, RESIDUE FROM SAWCUT & GRINDING TO BE DISPOSED OF IN THE PIT.
6. CONCRETE WASHOUTS SHALL BE LOCATED A MINIMUM OF 100' FROM DRAINAGE WAYS, INLETS, & SURFACE WATERS.
7. MANUFACTURED CONCRETE WASHOUT DEVICES MAY BE USED IF REMOVED FROM THE SITE WHEN AT 95% FULL CAPACITY.

CONCRETE WASHOUT AREA
(NOT TO SCALE)

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**CATCH BASIN INLET PROTECTION IN
CONSTRUCTION AREA**
NOT TO SCALE



**PROPOSED RESIDENTIAL
DEVELOPMENT
128 WAYLAND AVE.
PROVIDENCE, RHODE ISLAND
AP 14, LOT 29**

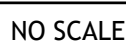
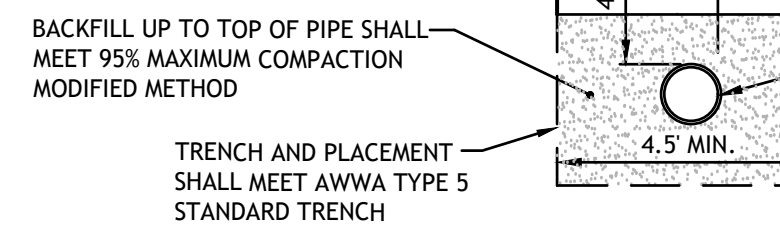
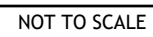
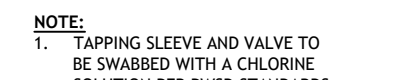
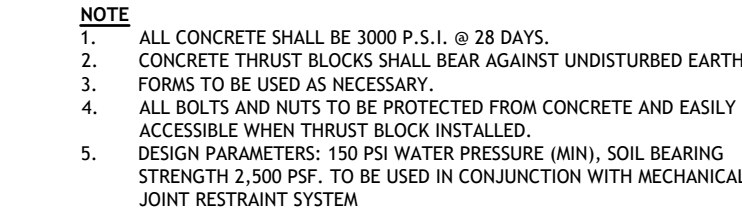
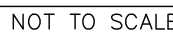
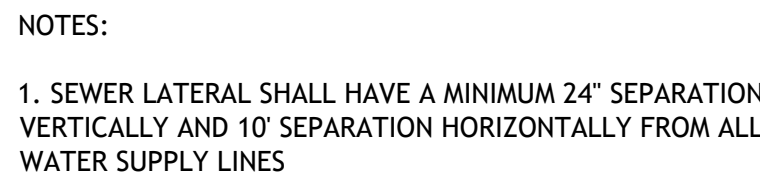
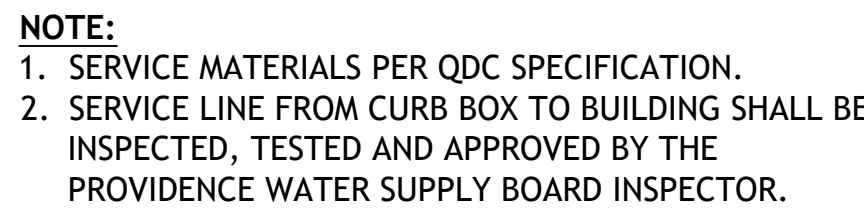
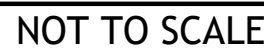
REVISIONS:
NO. DATE DESCRIPTION

DESIGNED BY: DMD
DRAWN BY:
CHECKED BY: DMD
DATE: JUNE, 2024
PROJECT NO: 19-0005-04

PERMIT PLANS

**SOIL EROSION
AND SEDIMENT
CONTROL
PLAN**

C4.0



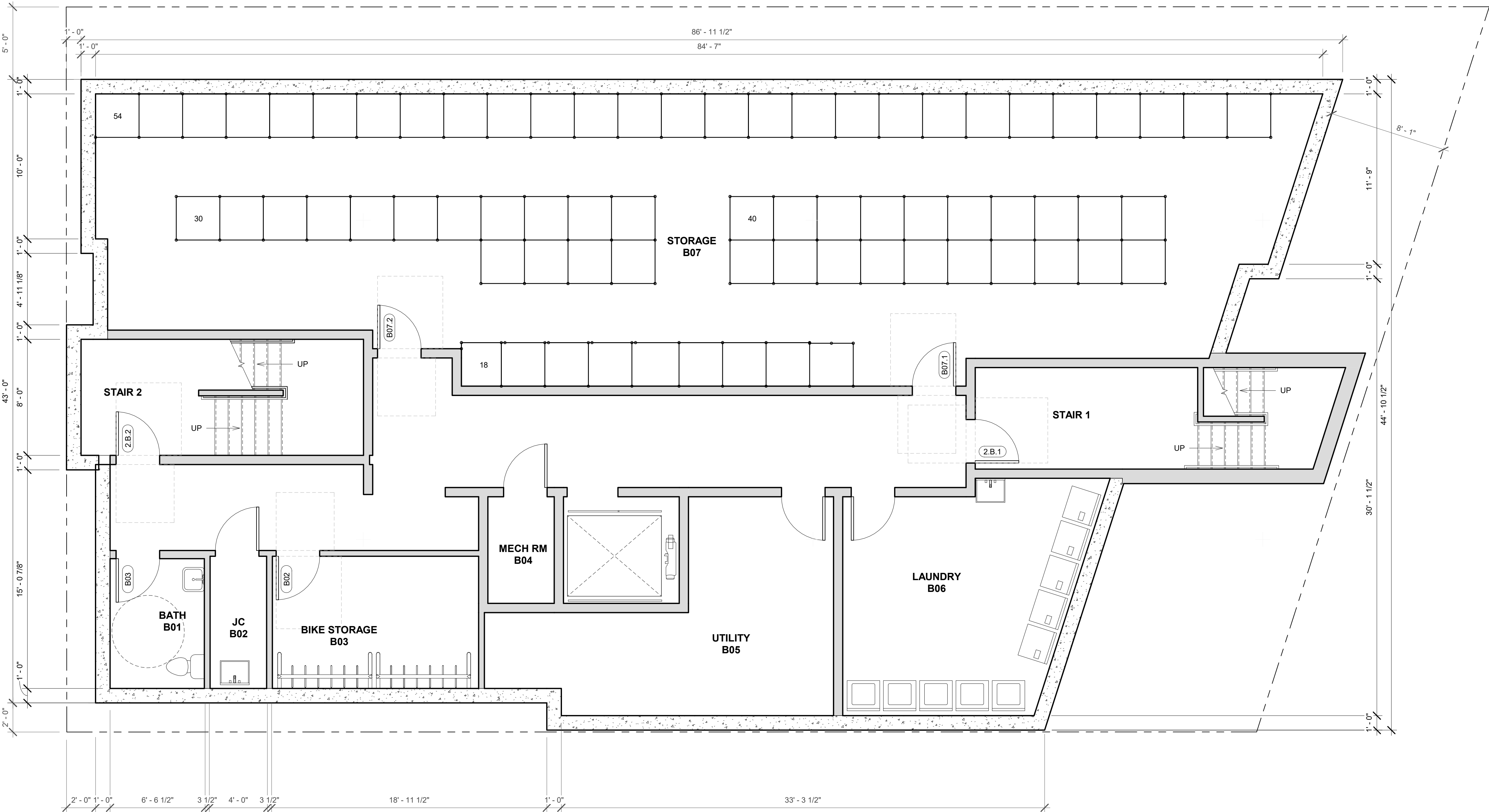
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COMMON AREAS	AREA
STORAGE AREA	1645 SF
BIKE STORAGE	151 SF
UTILITIES	283 SF
WC	70 SF
LAUNDRY	290 SF
JC	45 SF
STAIR 1	209 SF
STAIR 2	197 SF
CORRIDOR	274 SF



A4 FLOOR PLAN - BASEMENT
1/4" = 1'-0"

C KEYED NOTES

D PLAN LEGEND

- NEW DOOR
- FULL HEIGHT PARTITION
- PARTIAL HEIGHT PARTITION
- BEAM OVERHEAD
- DIMENSION TO THE FACE OF FRAMING OR MASONRY AT NEW CONSTRUCTION, TYP.
- DIMENSION TO THE FACE OF FINISH AT EXISTING CONSTRUCTION
- DIMENSION TO THE FACE OF FINISH
- COLUMN LOCATION
- CARBON MONOXIDE DETECTOR - HARDWIRED AND INTERCONNECTED
- SMOKE DETECTOR - HARDWIRED AND INTERCONNECTED
- HEAT DETECTOR - HARDWIRED AND INTERCONNECTED
- FIRE RATED DOOR 60 MIN W/ CLOSER

GENERAL NOTES

- VERIFY ALL DIMENSIONS IN THE FIELD. DO NOT SCALE DRAWINGS.
- ALL INTERIOR WALLS 2X4 AT 16" O.C. UNLESS NOTED OTHERWISE. PROVIDE DOUBLE TOP PLATES. SEE B4/A0.0
- ALL DOOR JAMBS 4" OFF WALL UNLESS NOTED OTHERWISE
- CENTER DOORS IN WALL UNLESS NOTED OTHERWISE
- PROVIDE HARDWIRED AND INTERCONNECTED SMOKE AND CO DETECTORS WITH BATTERY BACKUP PER CODE REQUIREMENTS & AS DIRECTED BY THE LOCAL BUILDING DEPT.
- PROTECT IN PLACE ALL EXISTING FIXTURES AND SURFACES SCHEDULED TO REMAIN.
- PATCH AND REPAIR EXISTING WALLS LOCATED IN UNALTERED AREAS AFFECTED BY ALL NEW WORK, WHETHER SHOWN ON THE DRAWINGS OR NOT.
- PATCH, PAINT AND REFINISH ALL EXISTING WALLS, FLOORS, CEILINGS & TRIM THROUGHOUT REPLACE MATERIALS IN-KIND WHEN DAMAGED PAST POINT OF REPAIR.
- PLANS DO NOT FULLY REPRESENT ALL NEW WORK. THE CONSTRUCTION DOCUMENTS ARE INTENDED TO SERVE AS GENERAL GUIDELINES.
- DIMENSIONS SHOWN ARE FROM FACE OF STUD OR FACE OF EXISTING CONSTRUCTION UNLESS NOTED OTHERWISE.
- PROVIDE ELECTRICAL PER STATE ELECTRICAL CODE REQUIREMENTS. PROVIDE POWER FOR ALL APPLIANCES. LOCATE NEW ELECTRICAL DEVICES PER NEC REQUIREMENTS & OWNER'S REQUIREMENTS.
- PROVIDE PLUMBING PER STATE PLUMBING CODE REQUIREMENTS
- HVAC SYSTEM TO BE DESIGN BUILD, PROVIDE PER STATE CODE REQUIREMENTS.
- PROVIDE SOLID WOOD BLOCKING AS REQUIRED.
- PROVIDE FIRE EXTINGUISHERS PER CODE AND PER REQUIREMENTS OF THE BUILDING OFFICIAL.
- INSTALL BATT INSULATION FULL DEPTH AT ALL EXPOSED STUD CAVITIES (CLOSED CELL SPRAY FOAM AT ATTIC ROOF CAVITIES)
- COVER ALL WALLS AND CEILINGS W/1/2" THICK GYPSUM BOARD UNLESS NOTED OTHERWISE.
- PROVIDE MOISTURE AND MOLD RESISTANT GYPSUM BOARD AT BATHROOMS UNLESS NOTED OTHERWISE.
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- PROVIDE DIMMERS AS DIRECTED BY OWNER
- A.V. CATV, TELEPHONE AND OTHER LOW VOLTAGE WIRING NOT SHOWN. SYSTEM TO BE DESIGN/BUILD. CONTACT OWNER FOR LOCATIONS OF ALL LOW VOLTAGE WIRING.

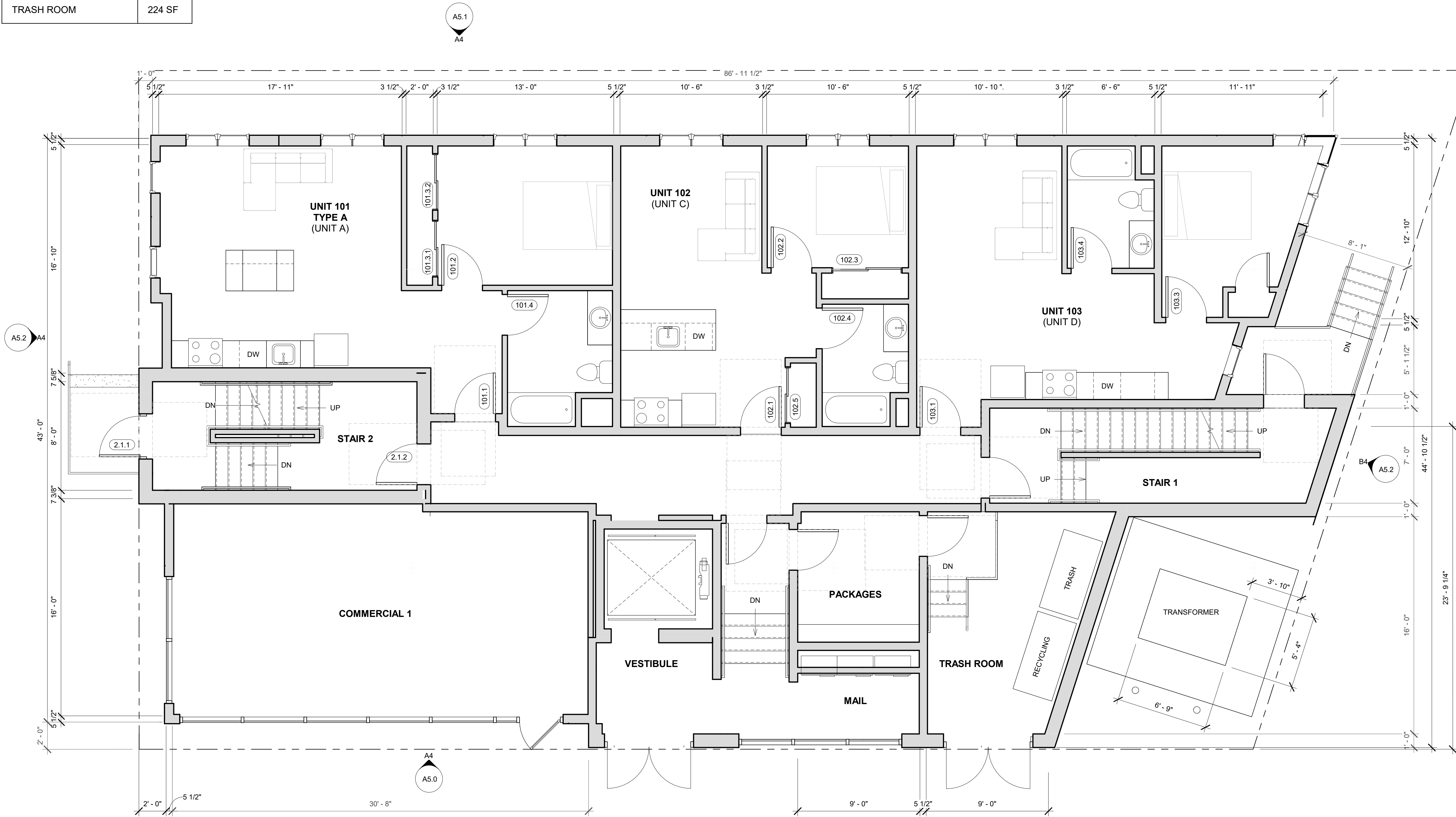
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4

RESIDENTIAL UNITS	AREA
UNIT 101 (TYPE A)	644 SF
UNIT 102	474 SF
UNIT 103	550 SF
COMMERCIAL UNIT	AREA
COMMERCIAL 1	515 SF
COMMON AREAS	AREA
VESTIBULE	95 SF
MAIL+ PACKAGES	162 SF
STAIR 1	209 SF
STAIR 2	197 SF
CORRIDOR	267 SF
TRASH ROOM	224 SF



A4 FLOOR PLAN - 1ST FL
1/4" = 1'-0"

C

KEYED NOTES

D

PLAN LEGEND

- NEW DOOR
- FULL HEIGHT PARTITION
- PARTIAL HEIGHT PARTITION
- BEAM OVERHEAD
- DIMENSION TO THE FACE OF FRAMING OR MASONRY AT NEW CONSTRUCTION, TYP.
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- HEAT DETECTOR - HARDWIRED AND INTERCONNECTED
- FIRE RATED DOOR 60 MIN W/ CLOSER

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david sisson architecture pc
345 Taunton Ave
East Providence RI 02914
www.ds-arch.com info@ds-arch.com 401-995-7070

REV #	DATE	ISSUED FOR:
	2024-07-09	ZONING REVIEW

128 Wayland Ave
Providence, RI 02906
PROJECT NUMBER: 23099

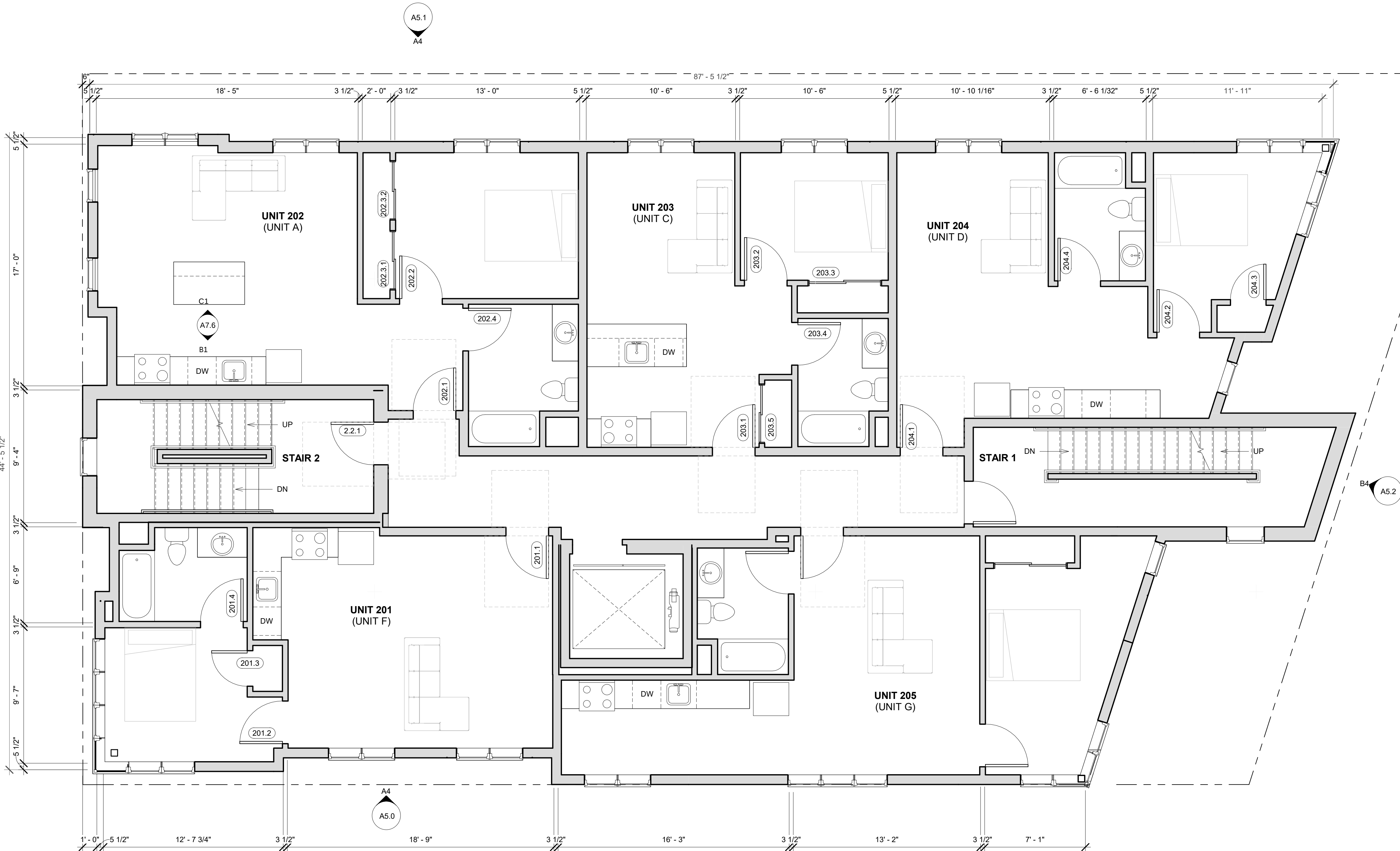
PLAN 1ST FL

NOT FOR CONSTRUCTION - ZONING REVIEW ONLY

A4.1

RESIDENTIAL UNITS	AREA
UNIT 201	544 SF
UNIT 202	644 SF
UNIT 203	473 SF
UNIT 204	550 SF
UNIT 205	618 SF
COMMON AREAS	AREA
STAIR 1	185 SF
STAIR 2	197 SF
CORRIDOR	267 SF

A4 FLOOR PLAN - 2ND FL
1/4" = 1'-0"



PLAN LEGEND

- NEW DOOR
- FULL HEIGHT PARTITION
- PARTIAL HEIGHT PARTITION
- BEAM OVERHEAD
- DIMENSION TO THE FACE OF FRAMING OR MASONRY AT NEW CONSTRUCTION, TYP.
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NOT FOR
CONSTRUCTION -
ZONING REVIEW
ONLY

PLAN TYP FL

128 Wayland Ave
Providence, RI 02906

PROJECT NUMBER: 23099

REV #	DATE	ISSUED FOR:
	2024-07-09	ZONING REVIEW

david sisson architecture pc
345 Taunton Ave
East Providence RI 02914
www.ds-arch.com info@ds-arch.com 401-995-7070

A4.2

1

2

3

4

A

B

C

D

KEYED NOTES

PLAN LEGEND

- NEW DOOR
- FULL HEIGHT PARTITION
- PARTIAL HEIGHT PARTITION
- BEAM OVERHEAD
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21. PROVIDE DIMMERS AS DIRECTED BY OWNER
22. A.V. CATV, TELEPHONE AND OTHER LOW VOLTAGE WIRING NOT SHOWN. SYSTEM TO BE DESIGN/BUILD. CONTACT OWNER FOR LOCATIONS OF ALL LOW VOLTAGE WIRING.

A4 FLOOR PLAN - ROOF
1/4" = 1'-0"



DAVID SISSON ARCHITECTURE PC — ALL RIGHTS RESERVED

1

2

3

4

A

B

C

D

KEYED NOTES



A4 SOUTH ELEVATION
1/4" = 1'-0"



B4 NORTH ELEVATION
1/4" = 1'-0"

D

4



AX1)

1

2

3

4



NOT FOR
CONSTRUCTION -
ZONING REVIEW -
ONLY

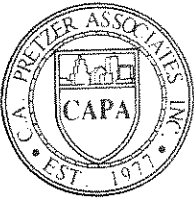
AX2

3D VIEW

128 Wayland Ave
Providence, RI 02906
PROJECT NUMBER: 23099

REV #	DATE	ISSUED FOR:
	2024-07-29	ZONING REVIEW

david sisson architecture pc
345 Taunton Ave
East Providence RI 02914
www.ds-arch.com info@ds-arch.com 401-985-7070



C.A. PRETZER ASSOCIATES, INC.
STRUCTURAL ENGINEERS

DESIGN, CONSULTATION, INVESTIGATION
50 Freeway Drive, Cranston, RI 02920
401-785-2690 • www.capretzer.com

June 10, 2025

Mr. Anthony Autiello
A. Autiello Construction Company, Inc.
125 Carlsbad Street
Cranston, RI 02920

RE: 128 Wayland Avenue
Providence, RI
CAPA Job No. 223614.30
Foundation Evaluation

Dear Mr. Autiello,

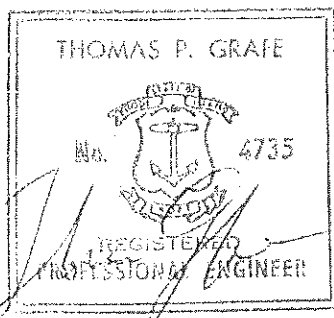
I have reviewed the on-site condition where sections of an existing building foundation wall remain in place adjacent to and against a retaining wall that existed before the foundation walls were constructed. I understand that about 4 feet of soil backfill has been placed against the foundation walls.

The retaining wall, sections of the building foundation wall, and backfill are stable in their existing condition, without the requirement for additional backfill or bracing.

Please call me if you have any questions.

Sincerely,

C.A. PRETZER ASSOCIATES, INC.



Thomas P. Grafe, P.E.
Vice President



C.A. PRETZER ASSOCIATES INC.

STRUCTURAL ENGINEERS

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TEL 401-785-2690
DESIGN, CONSULTATION, INVESTIGATION

JOB 128 WAYLAND AVE.

SHEET NO. 1

OF 1

CALCULATED BY

KMK

DATE

6/10/25

CHECKED BY

TPG

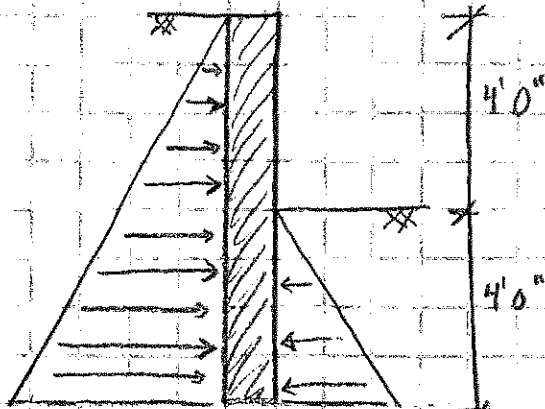
DATE

6/10/25

SCALE

Job No. 223614.30

EXISTING RETAINING WALL CHECK



ASSUME $\gamma = 115$ PSF (DENSE SAND)

ASSUME $\phi = 30^\circ$

$$K_a = \tan^2\left(45 - \frac{\phi}{2}\right) = \tan^2\left(45 - \frac{30}{2}\right) = 0.33$$

$$K_p = \tan^2\left(45 + \frac{\phi}{2}\right) = \tan^2\left(45 + \frac{30}{2}\right) = 3$$

$$\sigma_a = \gamma H K_a$$

$$P_a = \frac{1}{2} \gamma H^2 K_a$$

$$= \frac{1}{2} (115) (8)^2 (0.33)$$

$$= 1214.4 \text{ PLF}$$

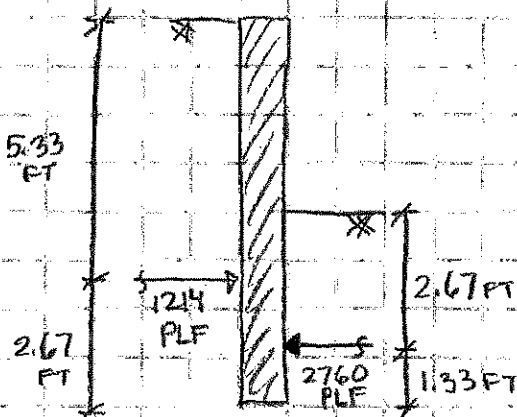
$$\sigma_p = \gamma H K_p$$

$$P_p = \frac{1}{2} \gamma H^2 K_p$$

$$= \frac{1}{2} (115) (4)^2 (3)$$

$$= 2760 \text{ PLF}$$

RESULTANT LOADS ON WALL:



$$\text{OVERTURNING MOMENT} = 1214 \text{ PLF} \times 2.67 \text{ FT} = 3240 \text{ FT-LB/FT}$$

$$\text{RESISTING MOMENT} = 2760 \text{ PLF} \times 1.33 \text{ FT} = 3680 \text{ FT-LB/FT}$$

OVERTURNING < RESISTING $\therefore$ OK ✓

NOTE: CALCULATION DOESN'T ACCOUNT FOR WEIGHT OF EXISTING WALL, WHICH WOULD ADD TO THE RESISTING MOMENT, AND IS THEREFORE CONSERVATIVE.