

THIS SITE PLAN IS ONLY A DIAGRAM
SEE SURVEY (BY OWNER'S FORCES)
FOR FINAL LOT DIMENSIONS,
BUILDING SIZE & FINAL LOCATION

1 SITE PLAN
A-0.1 SCALE: 1" = 20'

RECEIVED FOR RECORD
CITY OF PROVIDENCE, RI
APR 30, 2025 10:17 AM
Jeanne Pospione
RECORDER OF DEEDS
Vol: 108 Pg: 1

SCOPE OF PROPOSED PROJECT:
PROPOSING TO BUILD:
4 STORY BUILDING,
14 RESIDENTIAL UNITS
W/ BASEMENT

City of Providence
Minor Subdivision or Minor Land Development Project
Final Approval
Project Address: 16 BORINQUEN ST
Project Number: 25-023 M1
Approved pursuant to the City of Providence Zoning Ordinance and
Land Development and Subdivision Review Regulations.
Administrative Officer [Signature] Date 4/28/25
Department-of Planning & Development

| SITE DATA [16 BORINQUEN ST] [Table 5-1] | |
|---|-----------|
| REQUIRED | PROPOSED |
| A. P.: | 46 |
| LOT: | 218 |
| ZONE: | C-2 |
| TOTAL LOT AREA: | 4,864 SF. |
| MAX. TOTAL BLDG. COVERAGE: | NONE |
| MAX. HGT: (4 STORIES) | 50' |
| SIDE YARD: | NONE |
| REAR YARD: | NONE |
| FRONT YARD SETBACK: | 0'-5' |
| MAX. PAVING: (TOTAL) | NONE |
| TREE CANOPY (1503.C.d.) | 15% |
| PARKING: | 0 |
| FRONT FACADE TRANSPARENCY: | |
| UPPER FLOORS: (503.3.d) | 10% |
| TOTAL AREA = 810sf (10%) = 81 sf | 12% |
| WINDOWS = 74.6 + 18.6 + 5 = 98.3sf | 19.6% |
| Transparency: 98.3/81 (100) = 12% | OK |
| GROUND FL. MULTI-FAMILY (503.3.d) | 15% |
| TOTAL AREA = 357sf (.15) = 53.6sf | 19.6% |
| WINDOWS = 29.0sf | OK |
| DOORS = 36.0sf | |
| Transparency = 70/357(100) = 19.6% | |
| TREE CANOPY (1503.C.d.) | |
| 4,864sf (15%) = 730 | |
| 1 MEDIUM CANOPY (YELLOWWOOD) = 700 | 15% |
| 1 SMALL CANOPY (HEDGE MAPLE) = 300 | 21% |
| BUILDING HEIGHT: (202.B) | OK |
| FRONT ELEVATION = 42'-3"± | |
| REAR ELEVATION = 39'-4"± | |
| AVERAGE HEIGHT = 40-9"± | |

Dwener
Oswaldo Mercuso

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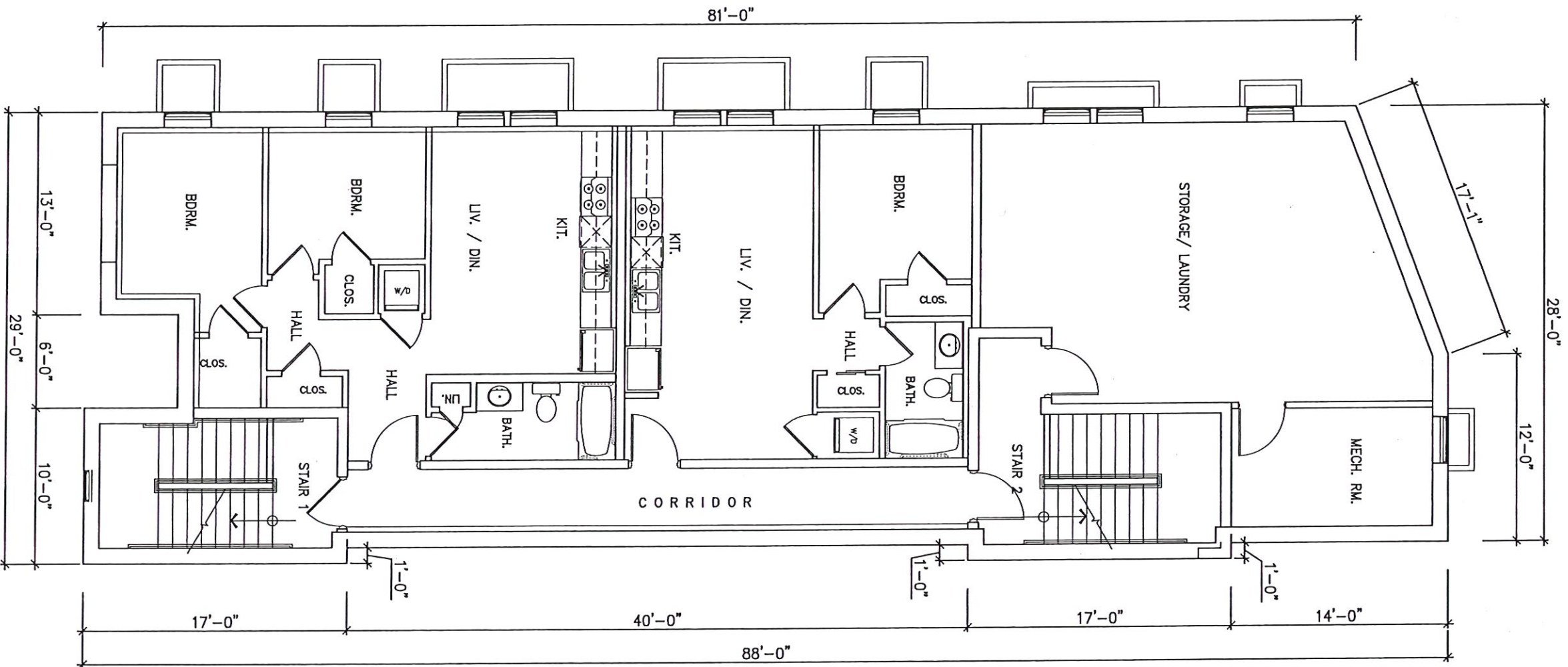
| Revisions | |
|-----------|-----------|
| 1. | 4-09-2025 |
| 2. | 4-24-2025 |

PRELIMINARY
FOR REVIEW ONLY
4/24/2025

A.P. 46 - LOT 218
16 BORINQUEN ST.
PROVIDENCE, RI.

Drawing Number:
A-0.1
SITE PLAN
SITE DATA
File: 241104131
Date: 4-09-25
Sheet: 1 of 9

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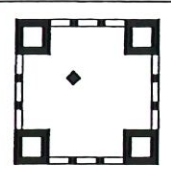
1 BASEMENT PLAN
SCALE: 1/8" = 1'-0"

Approved

APR 28 2025

City of Providence

| Revisions | |
|-----------|-----------|
| 1. | 4-09-2025 |
| 2. | 4-24-2025 |



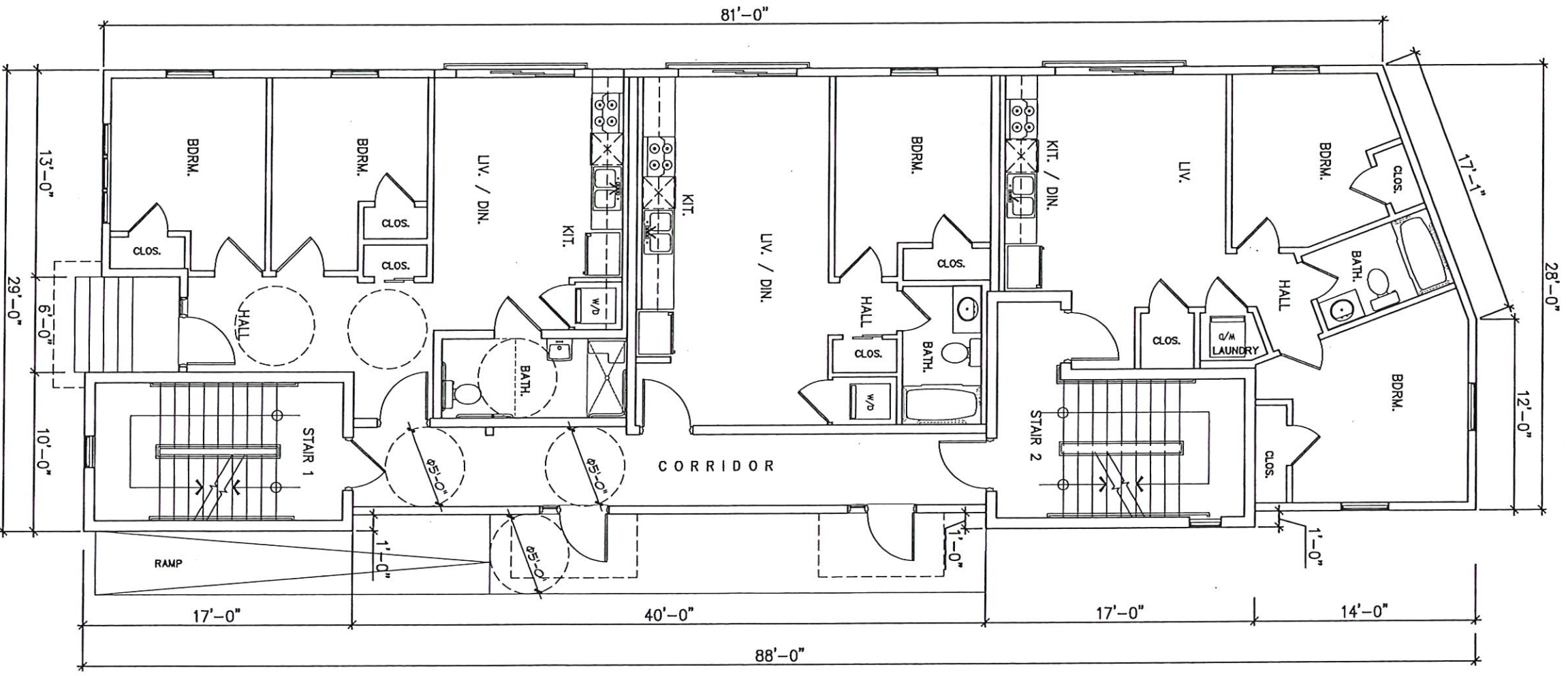
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A.P. 46 - LOT 218
16 BORINQUEN ST.
PROVIDENCE, RI.

| | |
|-----------------|-----------|
| Drawing Number: | A-1.1 |
| BASEMENT PLAN | |
| File: | 24E110431 |
| Date: | 4-09-25 |
| Sheet: | 2 of 9 |

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1 FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 2,401 GFA

Approved

APR 28 2025

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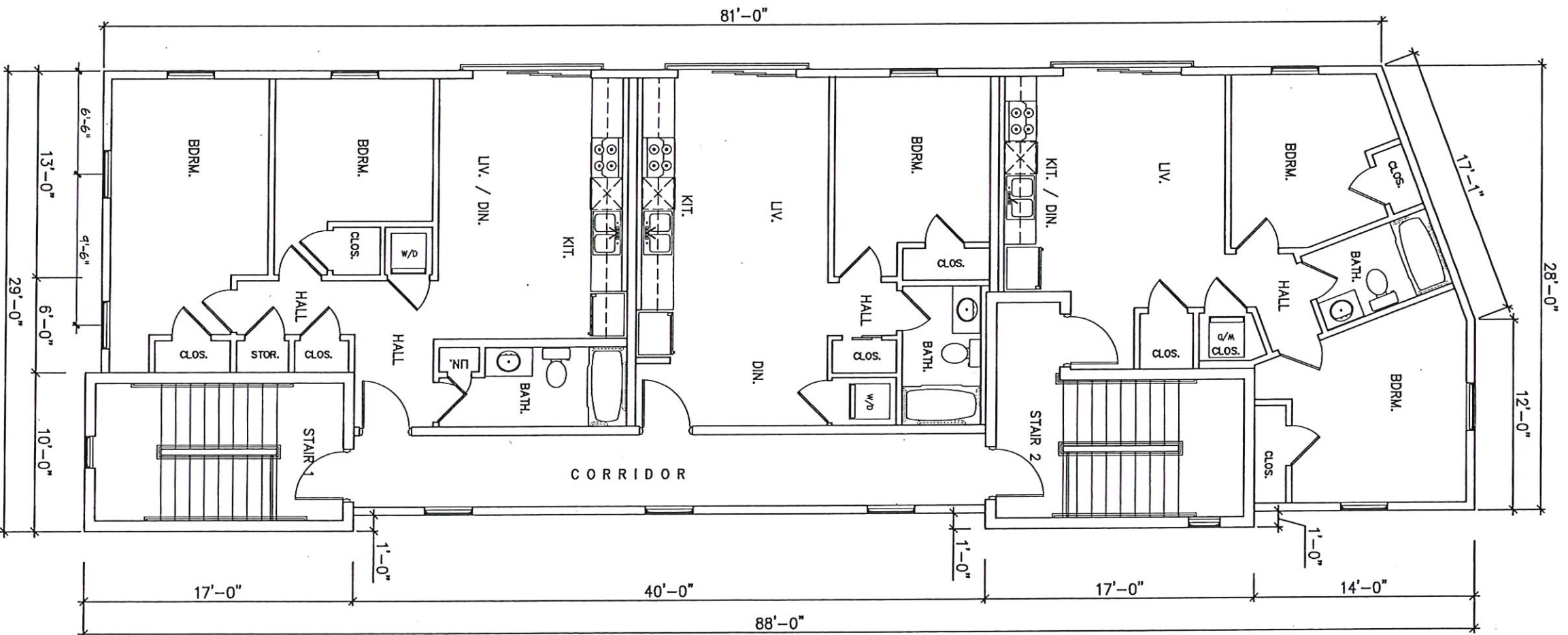
| Revisions | |
|-----------|-----------|
| 1. | 4-09-2025 |
| 2. | 4-24-2025 |

PRELIMINARY
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 4/24/2025

A.P. 46 - LOT 218
 16 BORINQUEN ST.
 PROVIDENCE, RI.

| | |
|-----------------|--------------|
| Drawing Number: | A-1.2 |
| File: | 24-11043 |
| Date: | 4-09-25 |
| Sheet: | 3 of 9 |

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1 TYPICAL FLOOR PLAN (2nd, 3rd, & 4th.)
 A-1.3 SCALE: 1/8" = 1'-0"
 2,431 SF / FL (7,293 GFA)

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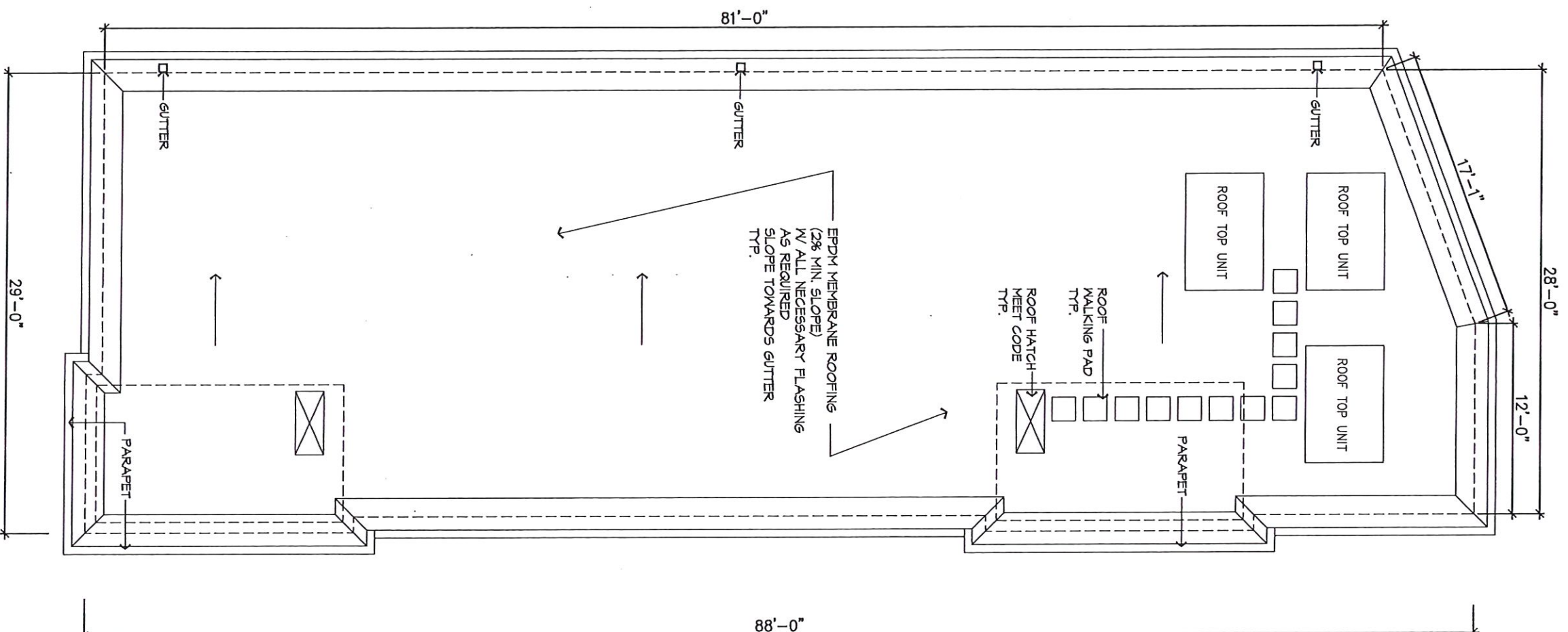
| Revisions | |
|-----------|-----------|
| 1. | 4-09-2025 |
| 2. | 4-24-2025 |

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A.P. 46 - LOT 218
 16 BORINQUEN ST.
 PROVIDENCE, RI.

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|-----------------|----------|
| Drawing Number: | |
| A-1.3 | |
| File: | 24-11043 |
| Date: | 4-09-25 |
| Sheet: | 4 of 9 |

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1 ROOF PLAN
A-1.4 SCALE: 1/8" = 1'-0"

Approved
APR 28 2025
City of Providence

| Revisions | |
|-----------|-----------|
| 1. | 4-09-2025 |
| 2. | 4-24-2025 |
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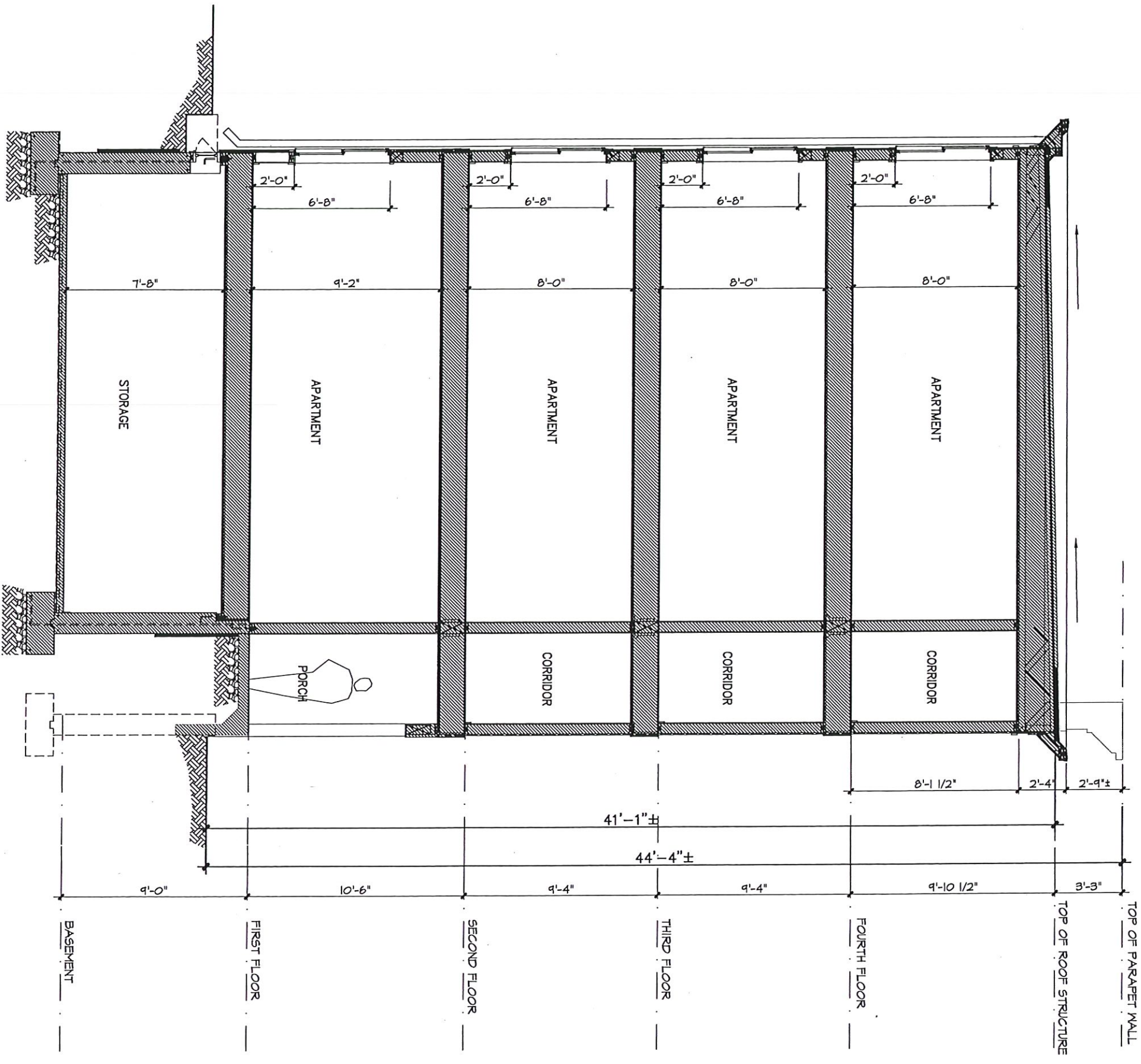
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A.P. 46 - LOT 218
16 BORINQUEN ST.
PROVIDENCE, RI.

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| Drawing Number: | |
| A-1.4 | |
| File: | 24-11043 |
| Date: | 4-09-25 |
| Sheet: | 5 of 9 |

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1 TYPICAL SECTION
A-2.1 SCALE: 3/16" = 1'-0"

BUILDING HEIGHT: (2022.B)
FRONT ELEVATION = 42'-5"±
REAR ELEVATION = 39'-4"±
AVERAGE HEIGHT = 40'-9"±

Approved

APR 28 2025

City of Providence

| Revisions | |
|-----------|-----------|
| 1. | 4-09-2025 |
| 2. | 4-24-2025 |



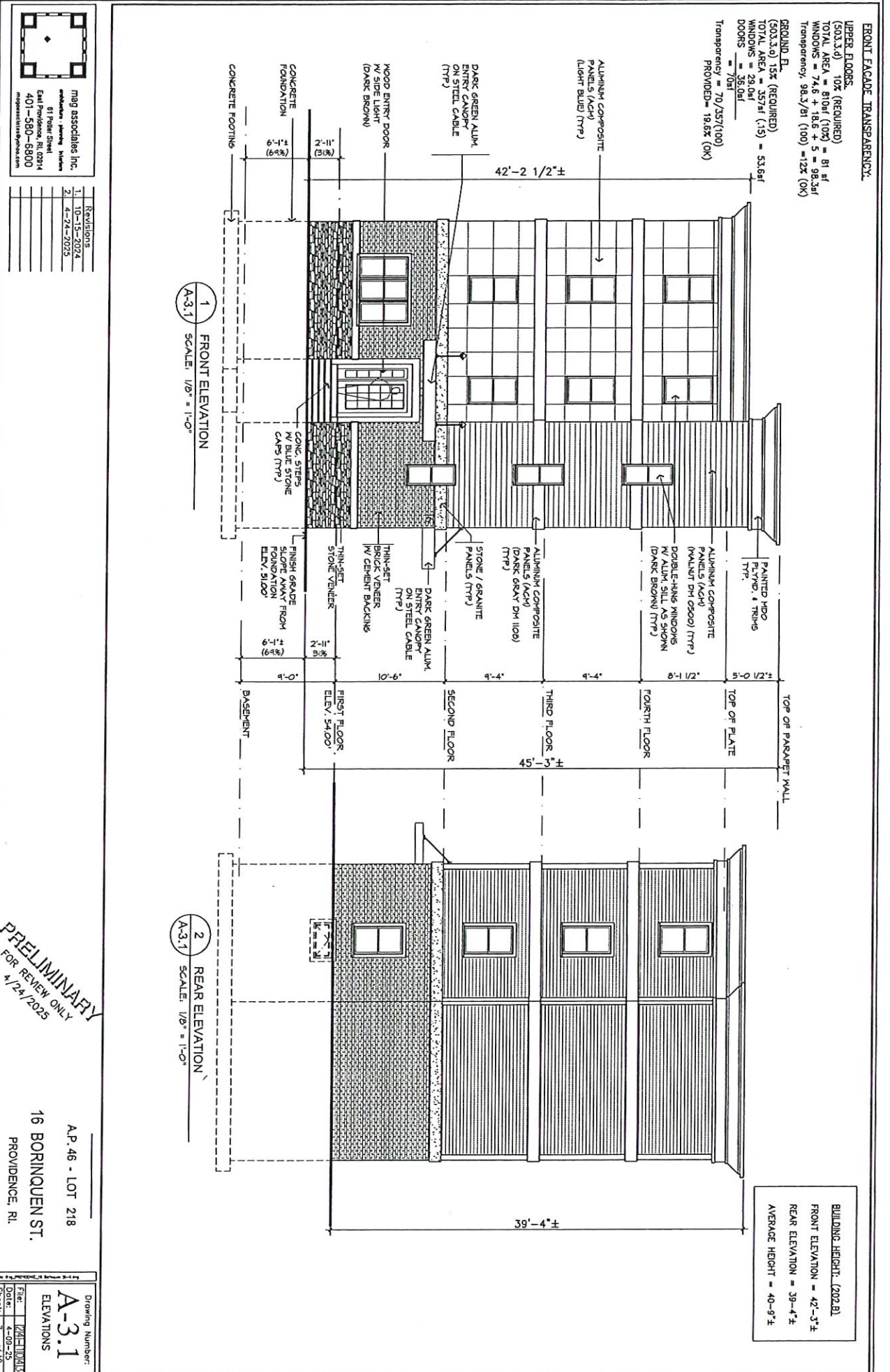
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PRELIMINARY
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4/24/2025

A.P. 46 - LOT 218
16 BORINQUEN ST.
PROVIDENCE, RI.

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|-----------------|----------|
| Drawing Number: | |
| A-2.1 | |
| TYP. SECTION | |
| File: | 24-11043 |
| Date: | 4-09-25 |
| Sheet: | 8 of 9 |

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 APR 28 2025
 City of Providence

Drawing Number:
A-3.1
 ELEVATIONS

FILE: 16BORINQUEN
 DATE: 4-01-25
 SHEET: 2-01/02

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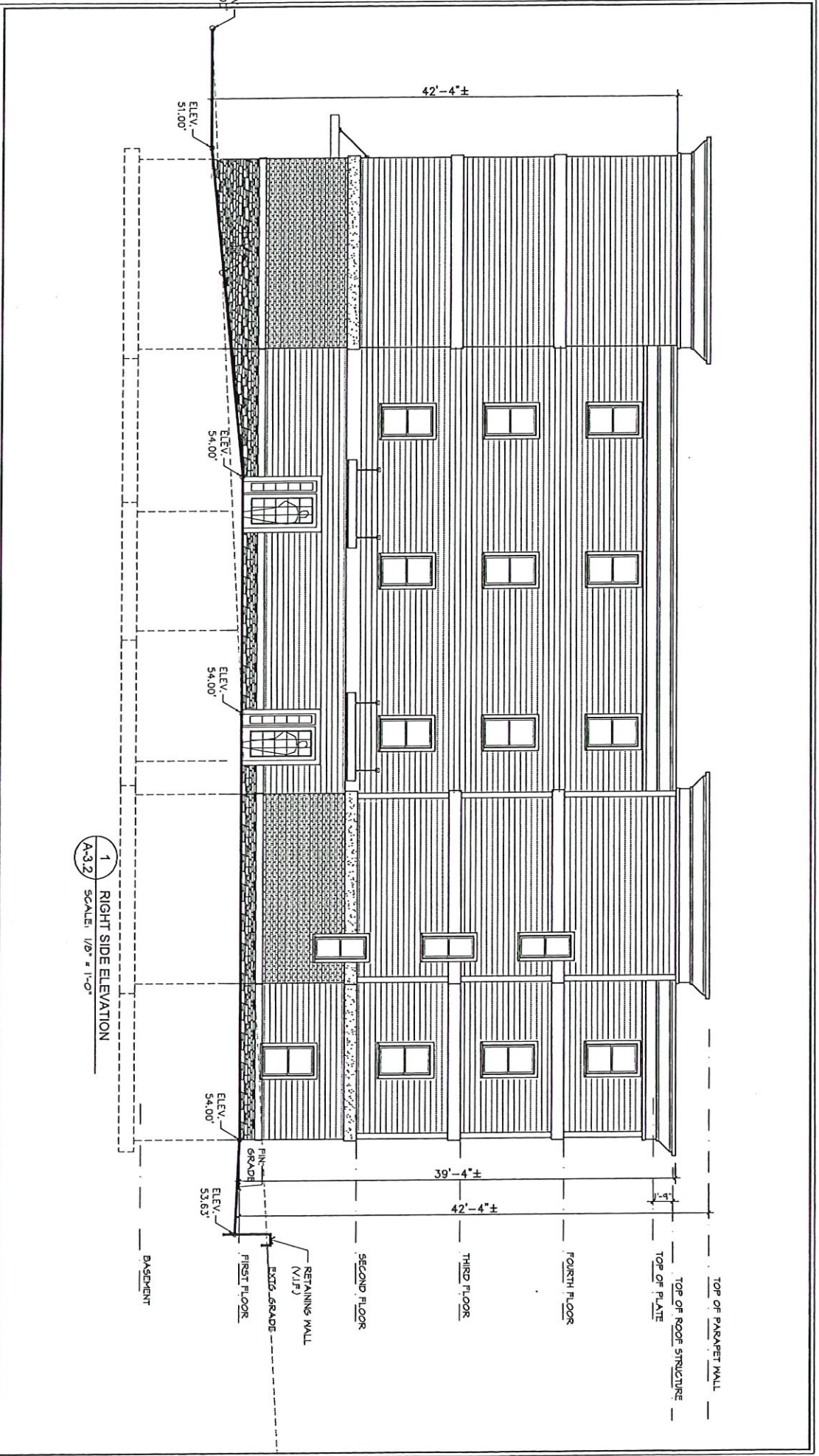
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| Revisions | |
|-----------|------------|
| 1. | 10-15-2024 |
| 2. | 4-24-2025 |
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PRELIMINARY
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 4/24/2025

A.P. 46 - LOT 218
 16 BORINQUEN ST.
 PROVIDENCE, RI.

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|-----------------|---------|
| Drawing Number: | |
| File: | A-3.2 |
| Date: | 4-08-25 |
| Sheet: | 8 of 10 |

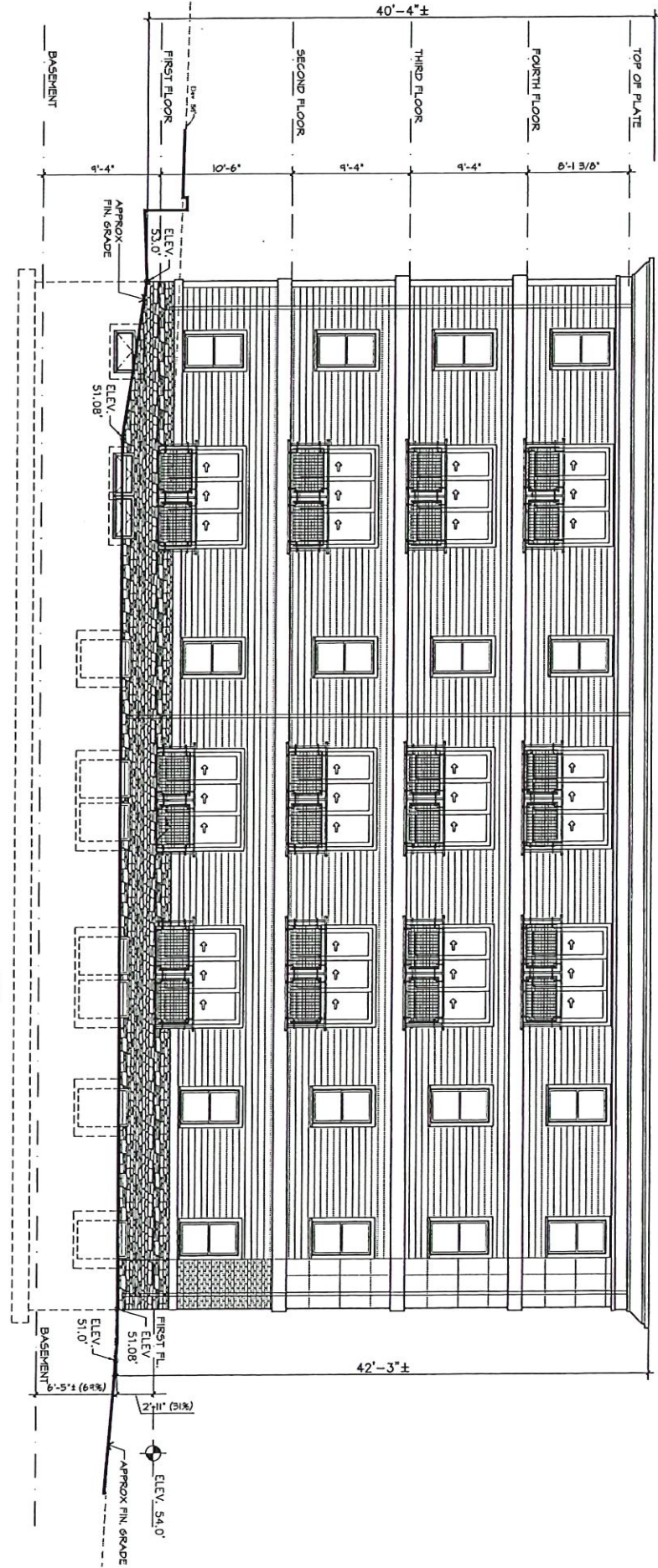


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| Revisions | |
|-----------|------------|
| 1. | 10-13-2024 |
| 2. | 4-24-2025 |
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| | |
| | |
| | |



1 LEFT SIDE ELEVATION
 A-3.3 SCALE: 1/8" = 1'-0"

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A.P. 46 - LOT 218
 16 BORINQUEN ST.
 PROVIDENCE, RI.

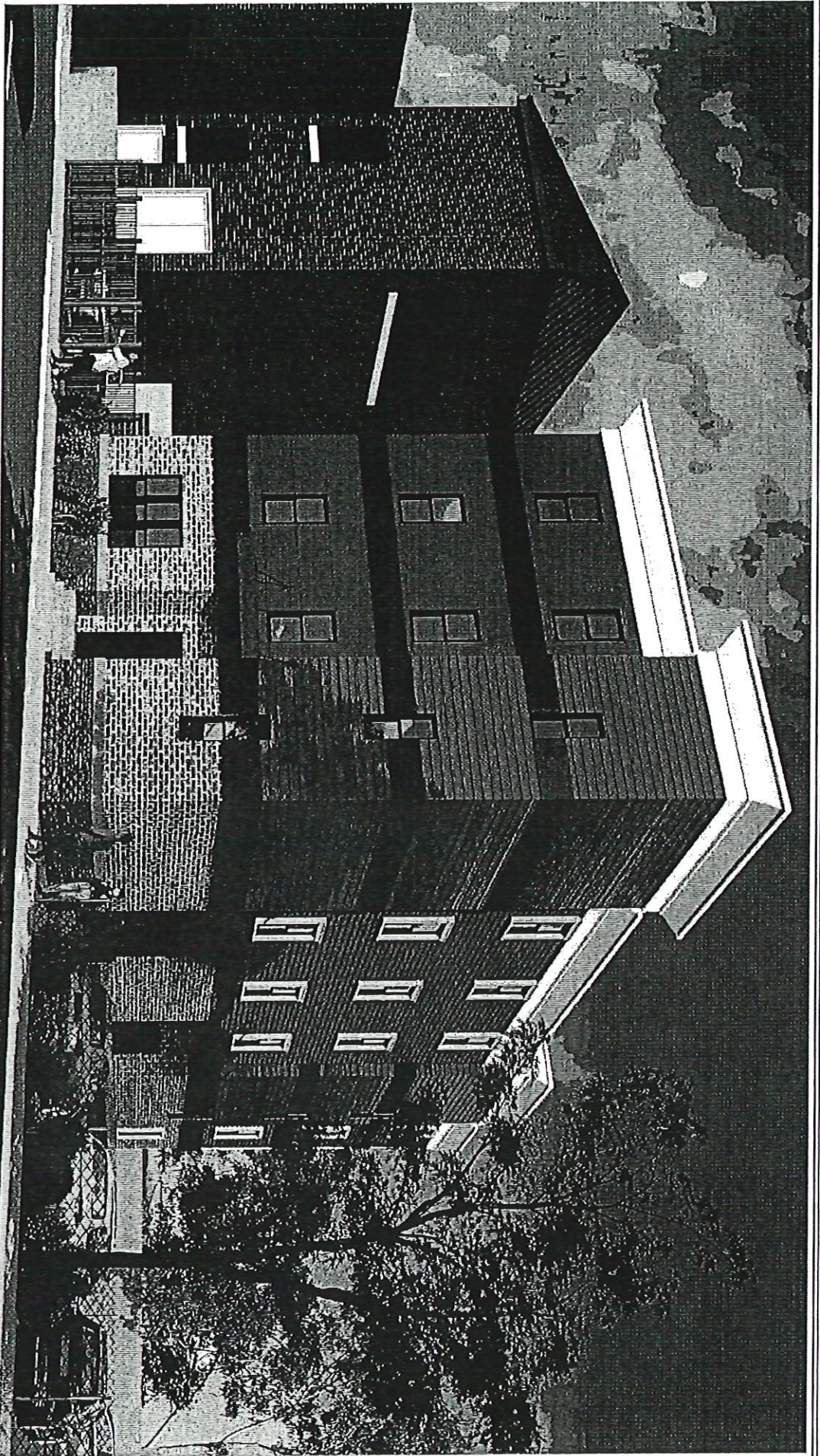
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|----------------|--------------------|
| Drawing Number | A-3.3 |
| Title | BASEMENT ELEVATION |
| Date | 4/24/2025 |
| Sheet | 9 of 10 |

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| REVISIONS | |
|-----------|------------|
| 1 | 10-15-2024 |
| 2 | 4-24-2025 |
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4/24/2025

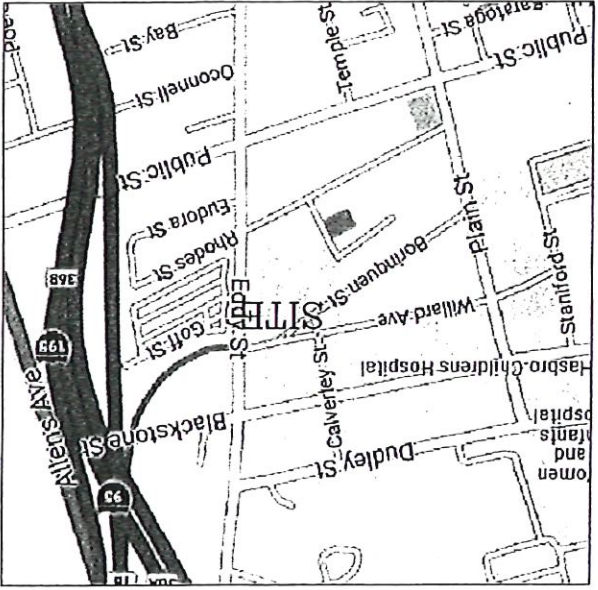
AP 46 - LOT 218
16 BORINQUEN ST.
PROVIDENCE, RI

Drawing Number:
A-3.4
RENDERING
Date: 4-08-25
Sheet: 9 of 10

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APR 28 2025

City of Providence



NOTE: INSTALL CONCRETE SIDEWALKS
NOTE: All Curb Returns to be 2' x 2' Granite Curvature.

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED BY PURSUANT TO 436-RICR-00-00-19 OF THE RULES AND REGULATION ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015 AS FOLLOWS:

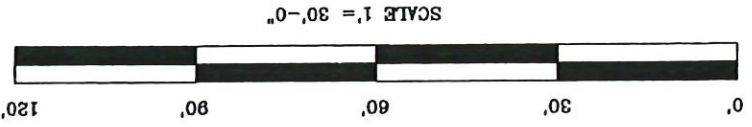
TYPE OF BOUNDARY SURVEY
LIMITED CONTENT BOUNDARY SURVEY
CLASS I
CLASS III
MEASUREMENT SPECIFICATION:

OF THE PLAN IS TO ESTABLISH THE PERIMETER OF THE PARCEL SO TO PRODUCE A PROPOSED SITE PLAN

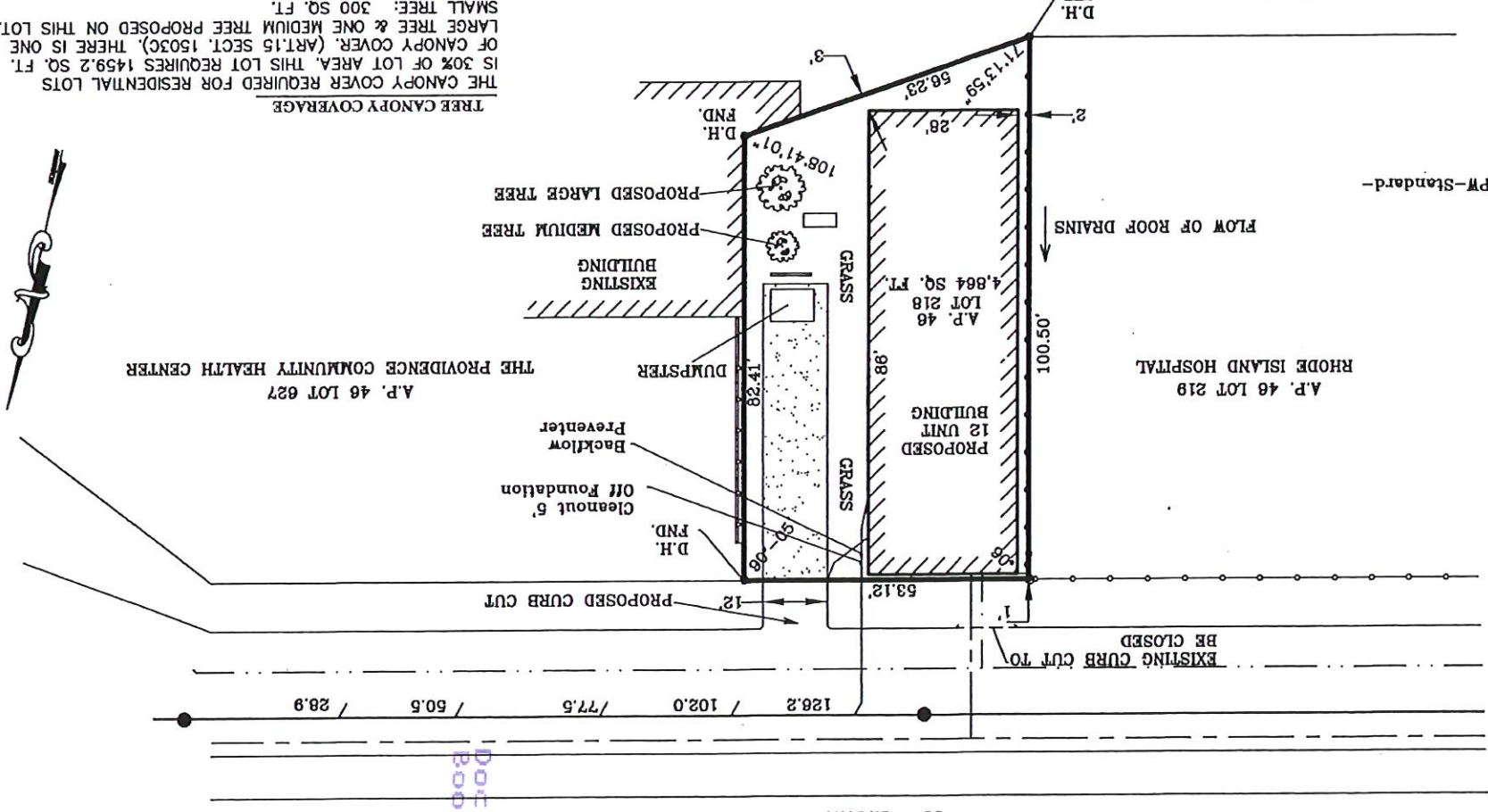
BY: *[Signature]*
KIRK ANDREWS PLS NO 1684
COA NO: 000A555



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APR 28 2025
City of Providence



TREE CANOPY COVERAGE
THE CANOPY COVER REQUIRED FOR RESIDENTIAL LOTS IS 30% OF LOT AREA. THIS LOT REQUIRES 1459.2 SQ. FT. OF CANOPY COVER. (ART.15 SECT. 1503C). THERE IS ONE LARGE TREE & ONE MEDIUM TREE PROPOSED ON THIS LOT.
SMALL TREE: 300 SQ. FT.
MEDIUM TREE: 700 SQ. FT.
LARGE TREE: 1,000 SQ. FT.
REFER TO PROVIDENCE DPW TREE LIST FOR A LIST OF RECOMMENDED SPECIES.
CONTACT CITY FORESTER FOR MORE INFO (401-785-9450)



- NOTES:
1. Install sediment and erosion controls around the disturbed areas until entire site is stabilized with paving as propose, or full stand of grass has been established.
 2. Move temporary construction fencing to the back of sidewalk and out of public ROW. The sidewalk shall not be obstructed.
 3. There is an existing lateral to the curb line as shown on the sewer plan. Preferred to tie into this 4. Runoff shall be controlled on site to the maximum extent possible.
 5. Install new concrete sidewalks across full frontage. Ensure sidewalk elevations are considered to ensure an ADA compliant sidewalk is constructed.
 6. Utilize 2' radius curb returns at driveway opening.
 7. All Catch basins in the area of construction shall be protected for the duration of construction.
 8. Down spouts shall not be connected to the sewer.
- Include relevant standard details in the plan set and a note that the construction in the ROW must be in accordance with the City's Standard Details available at
http://www.providence.rhodeisland.gov/public-works/forms/under_Reports + Publications or at
<http://www.providence.rhodeisland.gov/wp-content/uploads/2019/06/Providence-DPW-Standard-Details>

- LEGEND:
- 12" COMBINATION SEWER MAIN
 - NEW 3/4" DIA. WATER
 - NEW 6" SDR 36. SEWER
 - PROPERTY LINE
 - WOOD FENCE
 - REBAR SET
 - CATCH BASIN
 - CONSTRUCTION DEBRIS AREA

Maximum Lot Coverage Allowed = 45%
Lot Area = 4,858 Sq. Ft.
Building Area = 2,408 Sq. Ft.
(2,408/4,858)100 = 50%
Maximum Impervious Surface front yard liner feet Allowed 33%
Total front yard area = 53.12 Sq. Ft.
12/53.12 = 23%
Total Maximum Impervious Surface Allowed: 65%
Lot Area: 4,858 Sq. Ft.
Building Area: 2,408 Sq. Ft.
Total Driveway Area: 660 Sq. Ft.
Total Imp. Area: 3,066 Sq. Ft.
3,066/4,858 = 63%

REFERENCE:
ASSESSORS PLAT 46
RECORDED PLAT CARD 726
STREET LINE PLAN
SEWER LINE PLAN DRAWER 161
SHEET 32
DEED BK. 14076 PG. 53
DEED BK. 13948 PG. 308
DEED BK. 10767 PG. 208
DEED BK. 12201 PG. 107
DEED BK. 11610 PG. 28
DEED BK. 0724 PG. 300

Doc No: 20251000043
Book: 108 Page: 11

PROPOSED SITE PLAN
PREPARED FOR
OSVALDO MERCADO
PROVIDENCE, R.I. 401-443-6200
Mercado2464@gmail.com

E. GREENWICH

SURVEYORS, LLC

LAND SURVEYING AND SITE PLANNING
1050 MAIN STREET SUITE 31
EAST GREENWICH, RHODE ISLAND 02818
PHONE: (401) 539-2681 FAX: (401) 539-8574
E-MAIL: KANDREWS@EAGLE.COM

Sheet 1 of 1