

City of Providence
Minor Subdivision or Minor Land Development Project
Final Approval

Project Address: 639 ADMIRAL ST
Project Number: 25-045 M

Approved pursuant to the City of Providence Zoning Ordinance and Land Development and Subdivision Review Regulations.

SJ 8/12/25
Administrative Officer **Date**
Department- of Planning & Development

- GENERAL NOTES:**
- LOT SHOWN IS DESIGNATED AS LOT 101 ON PROVIDENCE ASSESSORS MAP 123
 - ZONING DISTRICT: GENERAL COMMERCIAL DISTRICT "C-2"
 - OWNER OF RECORD: - JOSEPH COLALUCA
 566 SMITH STREET, PROVIDENCE, RI 02908
 401-270-8878
 JOE@STRIVERI.COM
 BOOK 13520 PAGE 254
 - SITE IS NOT LOCATED IN FEMA FLOOD ZONE AS SHOWN ON FIRM PANEL 445606 0010 H EFFECTIVE ON OCTOBER 2, 2015.

PLAN REFERENCE:

- PLAN OF SURVEY - ASSESSORS PLAT 123 - LOT 101, 639 ADMIRAL STREET - PROVIDENCE RI, PREPARED FOR JOSEPH COLALUCA, BY ATLAS LAND SURVEYING, DATED JULY 28, 2022.

DIMENSIONAL ZONING REQUIREMENTS:

Zoning Item	Zoning Information	
	Required	Proposed
Minimum Lot Area	None	7657 S.F.
Minimum Lot Width	N/A	46'-4"
Maximum Building Height	50 / 4 Stories	44.4'
Maximum Building Coverage	None	78%
Maximum Impervious Surface	None	80%
Front Yard Setback	Build to Zone: 0-5'	3.6'
Interior Side Setback	10' While Abutting Residential	10.2'
Rear Setback	10' While Abutting Residential	10.1'

CERTIFICATION:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015 AS FOLLOWS:

TYPE OF SURVEY: COMPREHENSIVE BOUNDARY MEASUREMENT SPECIFICATION: CLASS I
 TYPE OF SURVEY: DATA ACCUMULATION SURVEY MEASUREMENT SPECIFICATION: CLASS III
 VERTICAL MEASUREMENT SPECIFICATION: V-3 TOPOGRAPHIC ACCURACY CLASS: T-2

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR PREPARATION OF THE PLAT IS AS FOLLOWS:

- TO REPORT A PROFESSIONAL OPINION REGARDING THE LOCATION OF PROPERTY BOUNDARIES.
- TO DEPICT AND REPORT THE RELATIVE POSITIONS OF EXISTING PHYSICAL OBJECTS AND EXISTING SITE CONDITIONS.
- TO CREATE AN EXISTING CONDITIONS BASE PLAN FOR CONTEMPLATION OF DESIGNED CONSTRUCTION OR OTHER IMPROVEMENTS TO THE SITE.

Marc Nyberg
 MARC NYBERG, PLS, REGISTERED PROFESSIONAL LAND SURVEYOR / 7.11.2025 DATE
 RHODE ISLAND PLS NO: 1797 RHODE ISLAND C.O.A. NO.: LS.0004468.COA

GRAPHIC SCALE
 1 INCH = 10 FEET

LEGEND

BOUND	□	BOLLARD	●
IRON ROD	○	MONITORING WELL	⊙
DRILL HOLE	⊙	LIGHT POLE	⊕
RR SPIKE	⊙	EXISTING CONTOURS	—
DRAIN MANHOLE	⊙	WATER LINE	— W —
CATCH BASIN	⊙	GAS LINE	— G —
SEWER MANHOLE	⊙	OVERHEAD WIRES	— OHW —
GAS VALVE	⊕	UNDERGROUND UTILITIES	— U —
UTILITY POLE	⊕	SEWER MAIN	— S —
HYDRANT	⊕	STONE WALL	— — — —
WATER VALVE	⊕	WETLANDS	— · — · —
WATER SHUTOFF	⊕		

DIG SAFE NOTE:

UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE, AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL "DIG-SAFE" AT (888)344-7233 (1(888)DIG-SAFE).

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE RECORDED BY AN EXAMINATION OF THE TITLE.

EXISTING CONDITIONS PLAN

"COLALUCA PROPERTY"
 639 ADMIRAL STREET, PROVIDENCE, RI 02908
 ASSESSORS MAP 123 LOT 101

APPLICANT: **STRIVE REALTY**
 566 SMITH STREET, PROVIDENCE, RI 02908

Job #: 25-007 SCALE: 1" = 10' DRAWN BY: L.JG DATE: JULY 11, 2025

REVISED:

MARC N. NYBERG
 No. 1797
 PROFESSIONAL LAND SURVEYOR

PROFESSIONAL SEAL

INSITE Engineering Services, LLC
 PROFESSIONAL ENGINEERS | LAND SURVEYORS
 Precision. Clarity. Certainty.

InSite Professional Complex, Suite 1
 1539 Fall River Avenue Seekonk, MA 02771
 Phone: (508) 336-4500 Fax: (508) 336-4558
 Web Address: InSiteEngineers.com

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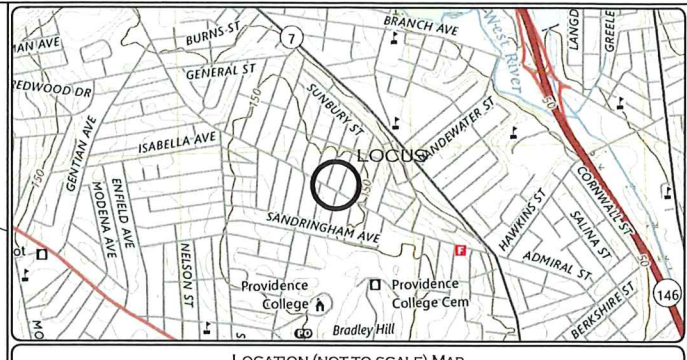
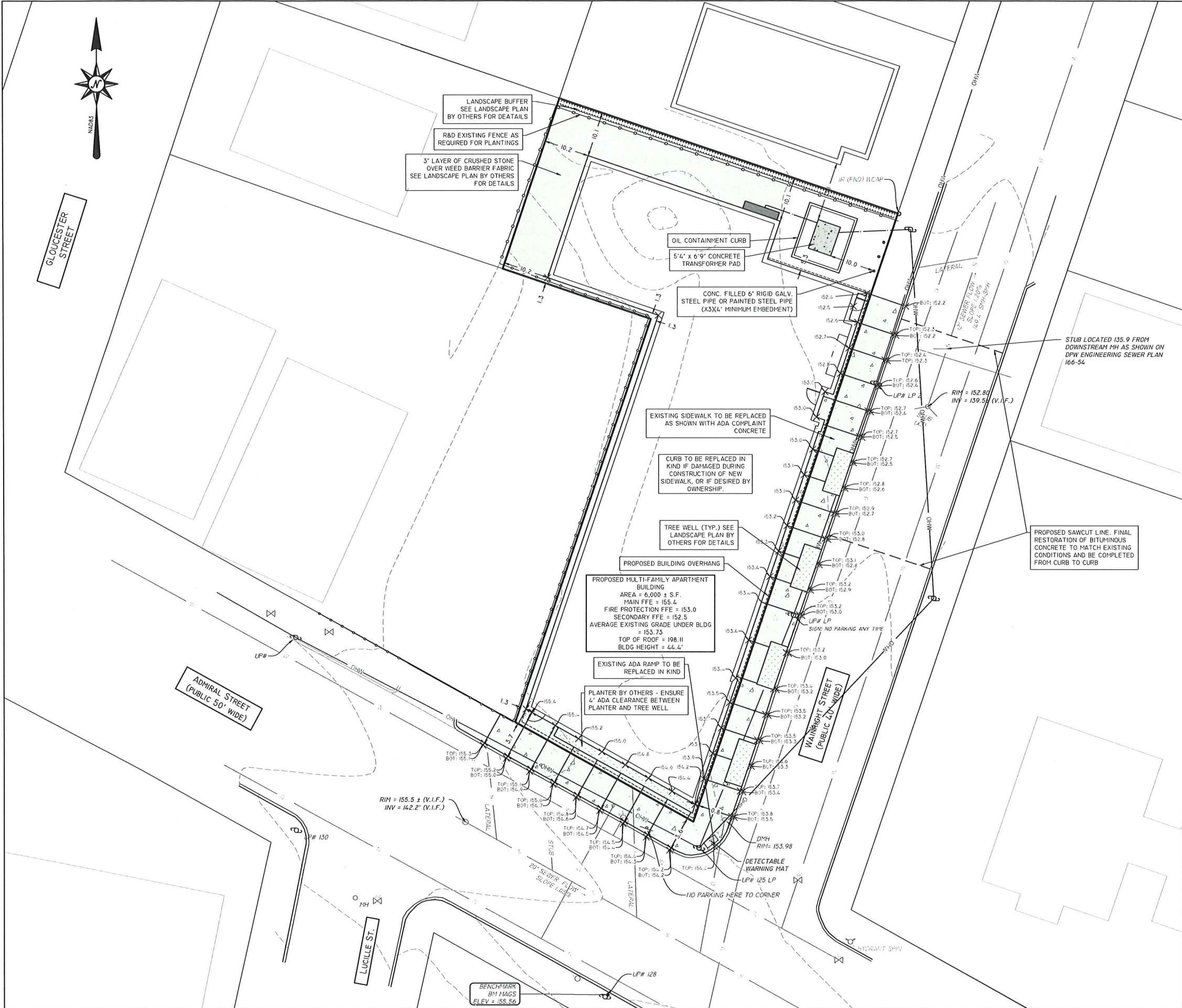
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City of Toronto
Planning Department
Final Approval

Project Address: _____
Project Number: _____

Approved pursuant to the Official Plan, the Zoning By-law and
Land Development and Control Act and its Regulations.

Approved on: _____
Director of Planning & Development



- GENERAL NOTES:**
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 - ZONING DISTRICT: GENERAL COMMERCIAL DISTRICT 'C-2'
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DIMENSIONAL ZONING REQUIREMENTS:

Zoning Information		
General Commercial C2 Zoning District		
Zoning Item	Required	Proposed
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Minimum lot Width	N/A	46'-4"
Maximum Building Height	50' / 4 Stories	44.4'
Maximum Building Coverage	None	78%
Maximum Impervious Surface	None	80%
Front Yard Setback	Build to Zone: 0-5'	3.6'
Interior Side Setback	10' While Abutting Residential	10.2'
Rear Setback	10' While Abutting Residential	10.1'

- CONSTRUCTION NOTES:**
- THERE ARE NO PROPOSED CURB CUTS FOR THIS PROJECT
 - ALL EXISTING CURB CUT ON WAHRIGHT STREET WILL BE REMOVED
 - THERE IS NO PROPOSED PARKING FOR THIS PROJECT
 - ROOF DRAINS MAY NOT BE TIED INTO THE SANITARY SEWER CONNECTION
 - ALL CONSTRUCTION IN THE PUBLIC ROW MUST BE IN ACCORDANCE WITH THE CITY'S STANDARD DETAILS AVAILABLE AT [HTTPS://WWW.PROVIDENCERI.GOV/PUBLIC-WORKS/FORMS/ UNDER - REPORTS + PUBLICATIONS OR AT HTTPS://WWW.PROVIDENCERI.GOV/WP-CONTENT/UPLOADS/2019/06/PROVIDENCE-DPW-STANDARD-DETAILS.PDF](https://www.providenceri.gov/public-works/forms/under-reports-publications-or-at-https://www.providenceri.gov/wp-content/uploads/2019/06/providence-dpw-standard-details.pdf)
 - INSPECT SEWER AND STORM LINE STUBS PRIOR TO CONNECTIONS

Approved

AUG 21 2025

City of Providence

GRAPHIC SCALE

1 INCH = 10 FEET

LAYOUT & SIDEWALK GRADING PLAN

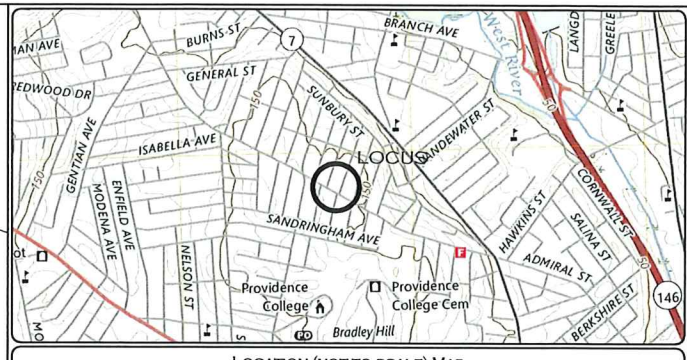
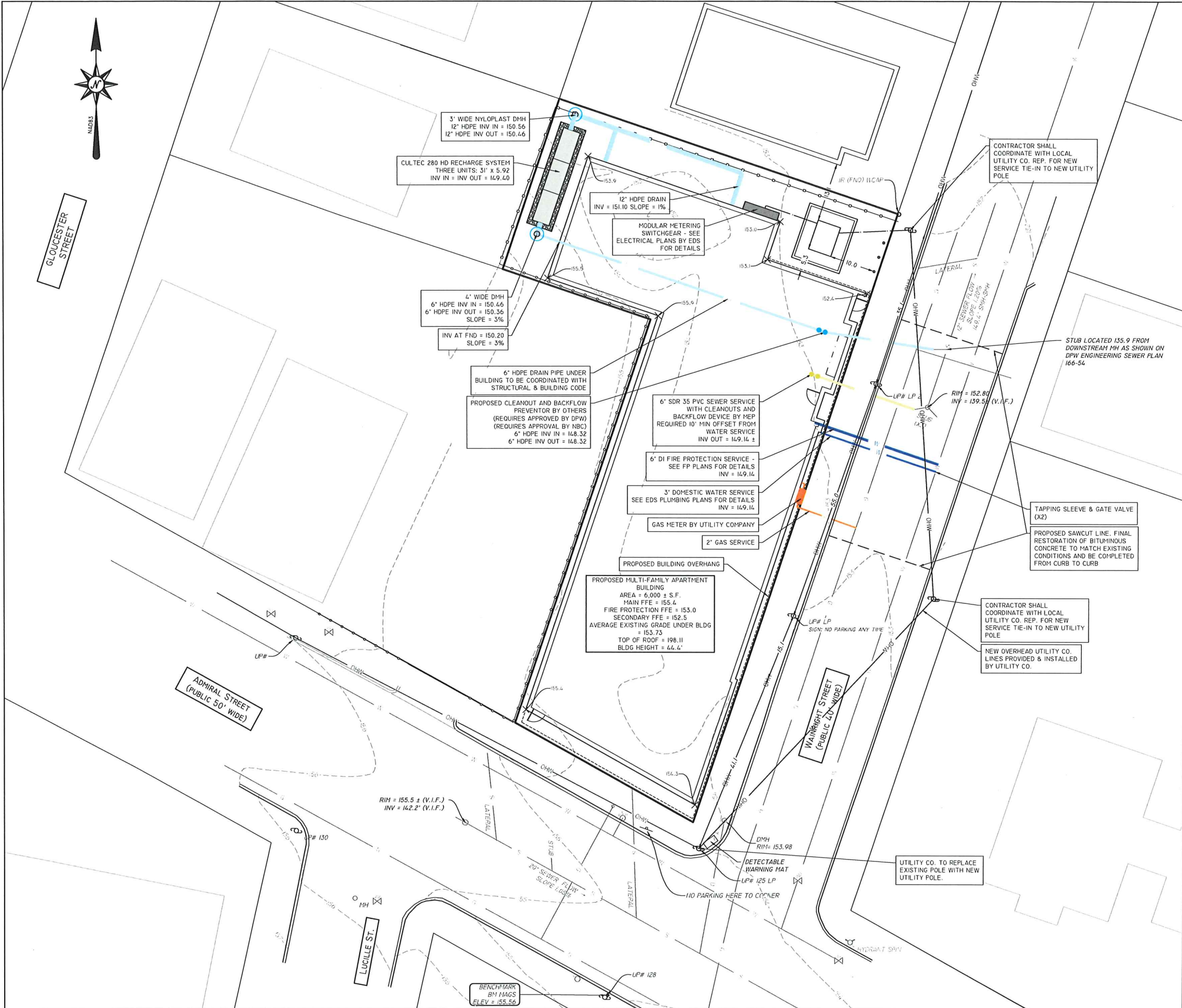
PAUL D. CARLSON No. 7142 REGISTERED PROFESSIONAL ENGINEER CIVIL 	"COLALUCA PROPERTY" 639 ADMIRAL STREET, PROVIDENCE, RI 02908 ASSESSORS MAP 123 LOT 101		
	APPLICANT: STRIVE REALTY 566 SMITH STREET, PROVIDENCE, RI 02908		
JOB # 25-007	SCALE: 1" = 10'	DRAWN BY: LJG	DATE: JULY 11, 2025
REVISED:			

INSITE Engineering Services, LLC
 PROFESSIONAL ENGINEERS | LAND SURVEYORS
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InSite Professional Complex, Suite 1
 1539 Fall River Avenue Seekonk, MA 02771
 Phone: (508) 338-4500 Fax: (508) 338-4558
 Web Address: InSiteEngineers.com

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1/23/2025 8:59 AM 639 Admiral Street Providence RI - Strive/ColalUCA/25-007 - ENG Bas - 001.dwg 7/11/2025 9:44:08 AM



Approved
AUG 21 2025
City of Providence

GRAPHIC SCALE
1 INCH = 10 FEET

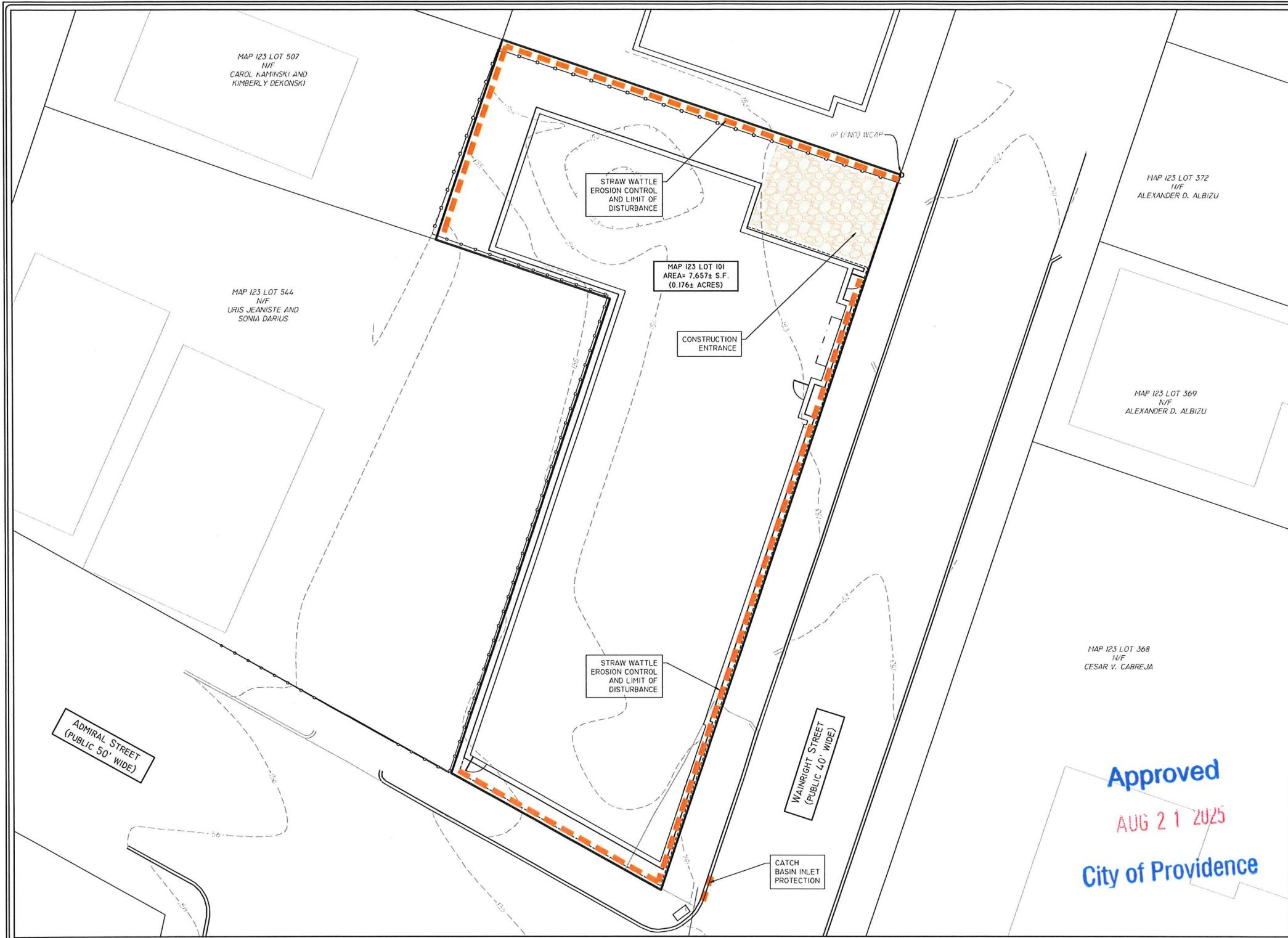
GRADING, DRAINAGE AND UTILITY PLAN

	"COLALUCA PROPERTY"		
	639 ADMIRAL STREET, PROVIDENCE, RI 02908 ASSESSORS MAP 123 LOT 101		
APPLICANT:		STRIVE REALTY	
566 SMITH STREET, PROVIDENCE, RI 02908			
JOB #	SCALE:	DRAWN BY:	DATE:
25-007	1" = 10'	LJG	JULY 11, 2025
REVISED:			

	InSite Professional Complex, Suite 1 1539 Fall River Avenue Seekonk, MA 02771 Phone: (508) 336-4500 Fax: (508) 336-4558 Web Address: InSiteEngineers.com		
	PROFESSIONAL ENGINEERS LAND SURVEYORS Precision. Clarity. Certainty.		

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1/25/2025 8:59 AM InSite Professional Complex, Suite 1, 1539 Fall River Avenue, Seekonk, MA 02771, (508) 336-4500



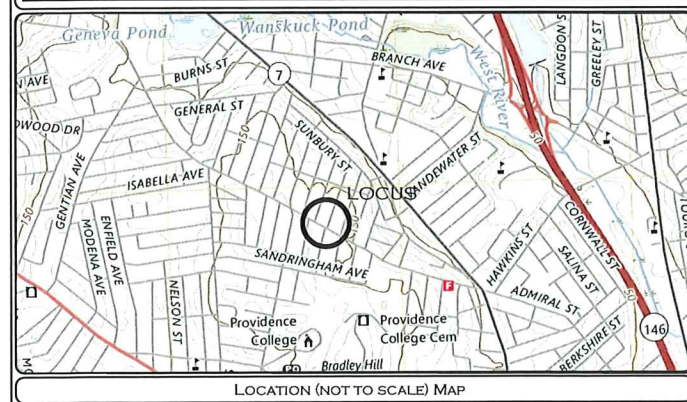
- EROSION & SEDIMENT CONTROL NOTES:**
- EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION. GRAVEL CONSTRUCTION ENTRANCE WILL BE INSTALLED BEFORE CONSTRUCTION TRAFFIC INTO AND OUT OF PROJECT AREA BEGINS. STABILIZATION OF ALL GRAVELED AND SOIL STOCKPILE AREAS WILL BE INITIATED AND MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF PROVIDENCE REGULATIONS. ALL EROSION CONTROL MEASURES ARE TO BE MAINTAINED AND UPGRADED AS REQUIRED TO ACHIEVE PROPER SEDIMENT CONTROL DURING CONSTRUCTION.
 - ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING CONSTRUCTION PERIOD, IF DEEMED NECESSARY BY THE ENGINEER OR TOWN AGENCIES.
 - SEED TO APPLIED AT A RATE OF 4 LBS / 1000 S.F. FERTILIZER SHALL BE APPLIED AT A RATE OF 9 LBS / 1000 S.F. PLANTING SEASON SHALL BE APRIL 1 TO OCTOBER 15. AFTER OCTOBER 15 AREAS NOT SEEDED SHALL BE STABILIZED WITH HAY BALE CHECK, FILTER FABRIC OR WOODEN MULCH AS REQUIRED TO CONTROL EROSION.
 - AREAS LEFT BARE BEFORE FINISH GRADING AND SEEDING IS ACHIEVED, SHALL RECEIVE A TEMPORARY SEEDING OF PERENNIAL RYE GRASS APPLIED TO A RATE OF 9 LBS / 1000 S.F. AT A DEPTH OF 1/2". LIMESTONE (EQUVALENT TO BE 50 % CALCIUM PLUS MAGNESIUM OXIDE) SHALL BE APPLIED AS SEEDBED PREPARATION AT A RATE OF 10 LBS / 1000 S.F., WHERE GRASS PREDOMINATES, FERTILIZE ACCORDING TO A SOIL TEST AT A MINIMUM APPLICATION RATE OF 1 LB OF NITROGEN PER 1000 S.F. AREAS TO BE LEFT BARE BEFORE FINISH GRADING AND SEEDING OUTSIDE OF PLANTING SEASONS SHALL RECEIVE AN AIR-DRIED WOOD CHIP MULCH, FREE OF COARSE MATTER, TREATED WITH 12 LBS NITROGEN PER TON, APPLIED AT A RATE OF 185-275 LBS / 1000 S.F.
 - CONTRACTOR SHALL BE ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, AND NOTIFY THE PROPER TOWN AGENCY OF ANY TRANSFER OF THIS RESPONSIBILITY. THE OWNER SHALL BE RESPONSIBLE FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.
 - THE CONTRACTOR SHALL REQUEST THE APPROVING AUTHORITY TO INSPECT AND APPROVE THE INSTALLATION OF ALL EROSION CONTROL MEASURES PRIOR TO THE START OF CONSTRUCTION PERIODIC INSPECTIONS OF EROSION CONTROL MEASURES MAY BE PERFORMED BY THE AGENT. THE CONTRACTOR SHALL REPAIR, UPGRADE OR REPAIR ANY MEASURES THE AGENT MAY FEEL ARE IN NEED OF SUCH.
 - LOAM SHALL BE STOCKPILED IN DESIGNATED AREAS FOR DURATION OF PROJECT. ALL LOAM MATERIAL SHALL BE REUSED ON SITE UPON FINAL GRADING OF SITE. SIX INCHES (6") OF LOAM SHALL BE USED THROUGHOUT THE SITE.
 - STOCKPILES OF SOIL SHALL BE SURROUNDED BY A SEDIMENT BARRIER. SOIL STOCKPILES TO BE LEFT BARE FOR MORE THAN FIFTEEN (15) DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION OR MULCH. IF STOCKPILES ARE TO REMAIN FOR MORE THAN SIXTY (60) DAYS, FILTER FABRIC SHALL BE USED IN PLACE OF HAY BALES. SIDE SLOPES SHALL NOT EXCEED 2 : 1. STOCKPILES SHALL BE LOCATED AT LEAST 100' FROM REGULATED WETLAND RESOURCE AREAS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE LIFE OF HIS CONTRACT. DUST CONTROL SHALL INCLUDE BUT NOT LIMITED TO SPRINKLING WATER ON EXPOSED SOILS AND HAUL ROADS. CONTRACTOR SHALL CONTROL DUST TO PREVENT A HAZARD TO TRAFFIC ON ADJACENT ROADWAYS.
 - SEDIMENT SHALL BE REMOVED ONCE THE VOLUME REACHES 1/2 TO 2/3 THE HEIGHT OF THE STRAW WATTLE OR HAY BALE
 - DISTURBED AREAS REMAINING IDLE FOR MORE THAN 14 DAYS SHALL BE STABILIZED.
 - ALL CONSTRUCTION SEDIMENTATION SHALL BE REMOVED FROM TEMPORARY AND PERMANENT SEDIMENTATION BASINS PRIOR TO COMPLETION OF PROJECT AND ESTABLISHMENT OF ALL SLOPES. BASINS SHALL BE GRADED AND SHAPED TO DESIGN PARAMETERS.
 - SURFACE STONE OF THE ACCESS ROAD SHALL BE SCARIFIED ONCE A YEAR TO PREVENT COMPACTION.

NOTES:
 THE ENGINEER SHALL PERFORM FREQUENT INSPECTION OF THE STORMWATER SYSTEM DURING CONSTRUCTION, WITH CLEANING AND MAINTENANCE AS WARRANTED. DURING ACTIVE CONSTRUCTION PERIODS, WEEKLY INSPECTION IS REQUIRED.
 IF CONSTRUCTION IS SUSPENDED (E.G., OVER THE WINTER), THEN MONTHLY INSPECTIONS ARE REQUIRED. IN ADDITION, THE SYSTEM SHOULD BE CHECKED AFTER ANY SIGNIFICANT RAINFALL, TO INSURE IT IS FUNCTIONING CORRECTLY AND TO MONITOR SEDIMENT ACCUMULATION FROM THE DISTURBED AREAS OF THE SITE.

ROUGH GRADING
 DURING GRADING, THE POTENTIAL FOR EROSION IS HIGH. DURING GRADING OPERATIONS, DISTURBED SLOPES WILL BE MULCHED AND VEGETATION ESTABLISHED TO PREVENT SEDIMENT EROSION TO THE SATISFACTION OF THE ENGINEER.

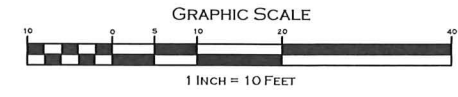
OPERATION & MAINTENANCE PLAN
 THIS PLAN SHOULD BE USED IN CONJUNCTION WITH SEPARATE OPERATIONS AND MAINTENANCE PLAN DOCUMENT
 THIS PLAN SHOULD BE USED IN CONJUNCTION WITH SEPARATE STORMWATER POLLUTION PREVENTION PLAN DOCUMENT
 THE MAINTENANCE AND UPKEEP ON THE EXISTING ROADWAY WILL INCLUDE THE FOLLOWING ELEMENTS:
 CONSTRUCTION VEHICLES SHALL BE LIMITED TO ONE ACCESS POINT ON EACH LOT WHERE A CRUSHED-STONE CONSTRUCTION PAD ENTRANCE SHALL BE INSTALLED IN THE AREA OF THE PERMANENT DRIVEWAY TO ENSURE THAT MUD AND DEBRIS ARE NOT TRACKED ONTO THE ROADWAY. IF MUD IS INADVERTENTLY TRACKED ONTO THE ROAD, IT SHOULD BE REMOVED PROMPTLY.
 GENERAL MAINTENANCE OF EROSION CONTROL ELEMENTS INCLUDING REGRADING, REVEGETATION, REPLACING RIPRAP, ETC., ON AN AS NEEDED BASIS.
 INFILTRATION FACILITY AND CATCH BASINS WILL BE INSPECTED SEMI-ANNUALLY BY THE OWNER AND WILL BE MAINTAINED AS REQUIRED.
 BUILD UP OF SEDIMENTATION AND DEBRIS SHALL BE MONITORED AND REMOVED ON A SEMI-ANNUALLY BASIS IN ORDER TO KEEP THE DISCHARGES AND FLOWS INTO THE INFILTRATION FACILITY FUNCTIONING PROPERLY.
 ALL STORMWATER MANAGEMENT SYSTEMS MUST HAVE AN OPERATION AND MAINTENANCE PLAN TO ENSURE THAT SYSTEMS FUNCTION AS DESIGNED.
 THE OWNER WILL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE STORMWATER MANAGEMENT SYSTEM AND ALL OF ITS APPURTENANCES. THE FOLLOWING MAINTENANCE PROGRAM SHALL BE IMPLEMENTED:
 THE OWNER SHALL KEEP A WRITTEN RECORD OF INSPECTION DATES AND FINDINGS, MAINTENANCE OPERATIONS, AND ALL REPAIRS. AN INSPECTION/MAINTENANCE CHECKLIST SHALL BE USED IN THE SPECIFIED INSPECTIONS. RECORDS OF INSPECTIONS AND MAINTENANCE SHALL BE KEPT FOR AT LEAST THREE YEARS, AND AVAILABLE ON REASONABLE NOTICE FOR INSPECTION BY THE APPROPRIATE TOWN AGENCY.

Approved
 AUG 21 2025
 City of Providence



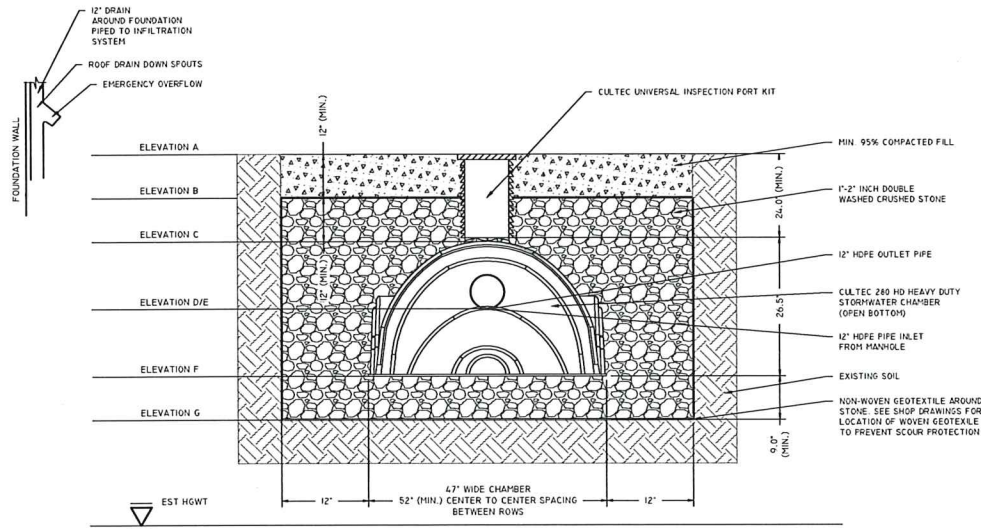
- NOTES:**
CONSTRUCTION PROCEDURES AND SEQUENCING
 THE ENGINEER SHALL HAVE THE SOLE RESPONSIBILITY FOR THE DESIGN IMPLEMENTATION. HE SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONTRACTORS AND SUBCONTRACTORS ARE AWARE OF THE PROVISIONS ON THE PLANS.
 THE CONTRACTOR SHALL ORGANIZE SITE CONSTRUCTION IN A MANNER WHICH WILL ENSURE THE IMMEDIATE STABILIZATION OF SURFACES. PERIMETER CONTROLS EQUAL APPROVED PROJECT LIMITS.
 PRIOR TO ANY CONSTRUCTION ON SITE, THE CONTRACTOR SHALL SETUP PRE-CONSTRUCTION MEETING WITH OWNER, ENGINEER, TOWN PLANNING AND DPW PERSONAL.
 PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, A LINE OF STAKED STRAW WATTLE AND OR HAYBALES, WILL BE PLACED AT ALL CONSTRUCTION TOE OF SLOPES IN THE AREA OF ROADWAY, PONDS, LANDSCAPED AREAS, AND ALONG PERIMETER OF PROJECT LIMIT OF DISTURBANCE WHERE INDICATED ON PROJECT LIMITS.
 RESERVE EROSION CONTROL DEVICES SHALL BE STOCKPILED ON SITE IN THE EVENT OF EMERGENCIES AND SHALL BE LOCATED 100' FROM REGULATED WETLAND RESOURCE AREAS.
 THE CONTRACTOR SHALL MAKE ALL NECESSARY PROVISIONS FOR THE PROPER STORAGE AND/OR REMOVAL OF DEBRIS ON SITE TO AVOID UNNECESSARY ACCUMULATION ON SITE.
 DRAINAGE STRUCTURES SHALL BE CONSTRUCTED FROM DOWNSTREAM UP AND CONSTRUCTION SHALL INCLUDE THE PLACEMENT OF STONE AT THE FLARED PIPE ENDS AND OUTLET STRUCTURE INLETS AND OUTLETS AS SHOWN ON PROJECT PLANS.

- IN STREAM CONTROLS SUCH AS HAYBALE CHECK DAMS SHALL BE ESTABLISHED PRIOR TO CONSTRUCTION.
 TO PROTECT THE INFILTRATION SURFACES (BENEATH AND ADJACENT TO THE RECHARGE SYSTEMS) FROM DEGRADATION BY CONSTRUCTION ACTIVITIES INCLUDE:
- PREVENTION OF CONTAMINATION OF THE EXPOSED SUBGRADE BY CONSTRUCTION VEHICLES.
 - PREVENTION OF EXCESSIVE COMPACTION BY CONSTRUCTION VEHICLES.
 - PREVENTION OF THE DISCHARGE OF WATER FROM CONSTRUCTION DEWATERING ACTIVITIES INTO THESE FACILITIES.
 - PREVENTION OF DISCHARGE OF STORMWATER INTO THESE FACILITIES UNTIL THE CONTRIBUTING AREAS ARE STABILIZED, UNLESS SPECIFIC MEASURES ARE PROVIDED FOR PROTECTING AND RESTORING THE INFILTRATION SURFACE.

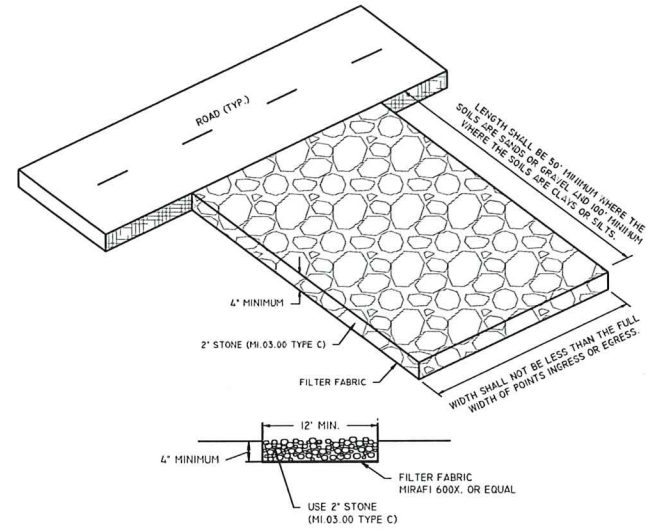


EROSION & SEDIMENT CONTROL PLAN			
PAUL D. CARLSON No. 7142 REGISTERED PROFESSIONAL ENGINEER CIVIL PROFESSIONAL SEAL		"COLALUCA PROPERTY" 639 ADMIRAL STREET, PROVIDENCE, RI 02608 ASSESSORS MAP 123 LOT 101	
APPLICANT:		STRIVE REALTY	
566 SMITH STREET, PROVIDENCE, RI 02908			
JOB #	SCALE:	DRAWN BY:	DATE:
25-007	1" = 10'	LJG	JULY 11, 2025
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SHEET			4
			OF 6

INVERT ELEVATIONS	
280 HD FIELD	ALT A (HIGH)
ELEV. A - FINISHED GRADE	153.50-155.0
ELEV. B - TOP OF STONE	152.50
ELEV. C - TOP OF CULTEC	152.00
ELEV. D - PRIMARY INLET	150.46
ELEV. E - PRIMARY OUTLET	150.46
ELEV. F - BOTTOM OF CULTEC	149.79
ELEV. G - BOTTOM OF STONE	148.79
GW	110 ±



INFILTRATION SYSTEM CROSS SECTION
NOT TO SCALE



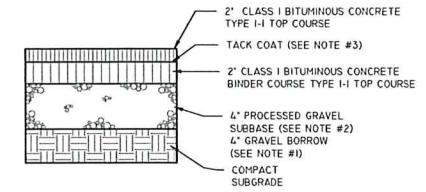
INSTALLATION:
THE AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL. THE STONE SHALL BE PLACED TO THE SPECIFIED DIMENSIONS, AS NOTED ABOVE.

MAINTENANCE:
THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENTS ONTO PUBLIC RIGHT-OF-WAYS THIS WILL REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE, OR ADDITIONAL LENGTH, AS CONDITIONS DEMAND, AND REPAIR, AND / OR CLEANDOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.

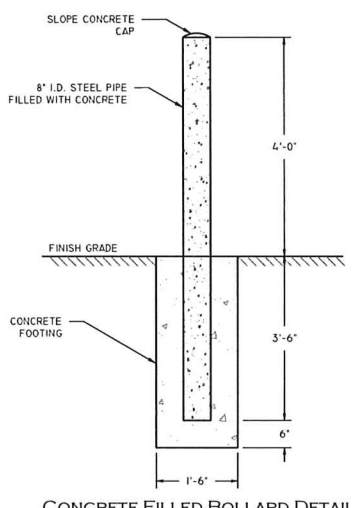
LOCATION:
SEE OVERALL SHEET FOR LOCATION OF CONSTRUCTION ENTRANCE.

CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE

- NOTES:**
- GRAVEL BORROW SHALL CONFORM TO RIDOT STD. SPECIFICATION MATERIALS SECTION
 - PROCESSED GRAVEL FOR SUBBASE COURSE SHALL CONFORM TO RIDOT STD. SPECIFICATION MATERIALS SECTION
 - MACHINE APPLIED TACK COAT SHALL BE APPLIED ON TOP OF BINDER COURSE BEFORE FINAL PAVEMENT. TACK COAT SHALL CONFORM TO RIDOT STD. SPECIFICATION MATERIALS SECTION

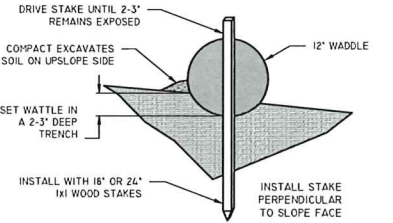


BITUMINOUS CONCRETE PAVEMENT DETAIL
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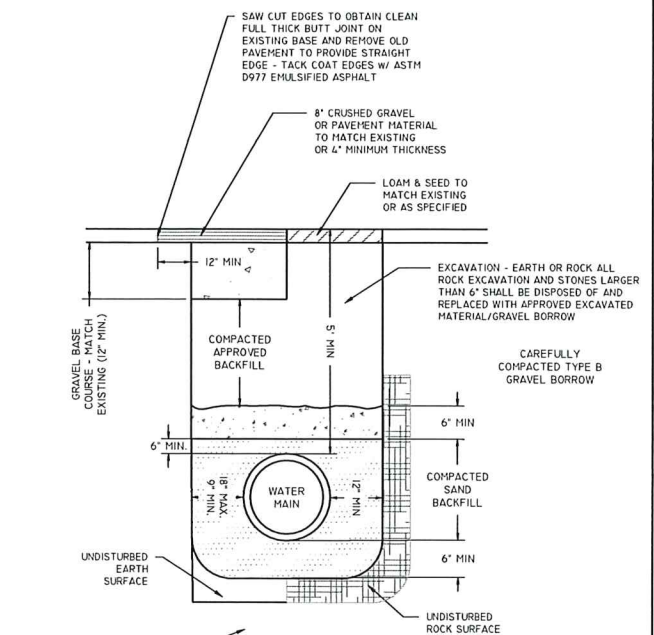


CONCRETE FILLED BOLLARD DETAIL
NOT TO SCALE

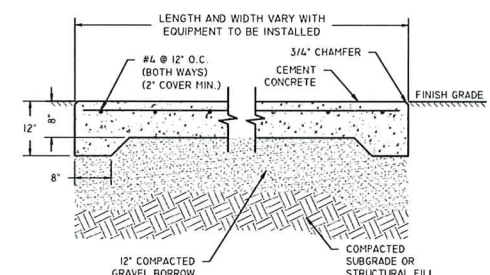
- EROSION & SEDIMENTATION CONTROL:**
- BEGIN AT THE LOCATION WHERE WATTLE IS TO BE INSTALLED BY EXCAVATING 2'-3" DEEP X 9" WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHOULD BE PLACED UP SLOPE FROM THE ANCHOR TRENCH.
 - PLACE THE WATTLE IN THE TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE. COMPACT SOIL FROM THE EXCAVATED TRENCH AGAINST THE WATTLE ON THE UPHILL SIDE. ADJACENT WATTLES SHOULD TIGHTLY ABUT.
 - SECURE THE WATTLE WITH 18-24" STAKES EVERY 3'-4' AND WITH A STAKE ON EACH END. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE WATTLE LEAVING AT LEAST 2'-3" OF STAKE EXTENDING ABOVE THE STAKES SHOULD BE DRIVEN PERPENDICULAR TO SLOPE FACE.
 - CONTRACTOR IS RESPONSIBLE TO MAINTAIN INTEGRITY OF STRAW WATTLE FOR DURATION OF CONSTRUCTION.
 - EROSION CONTROLS TO REMAIN UNTIL SOIL CONDITIONS STABILIZE.
 - LOOSE HAY TO BE SPREAD ON AREAS OF EXPOSED LOAM & SEED UNTIL GERMINATION AND STABILIZATION OCCURS.



STRAW WATTLE (OR SILT SOCK) DETAIL
NOT TO SCALE

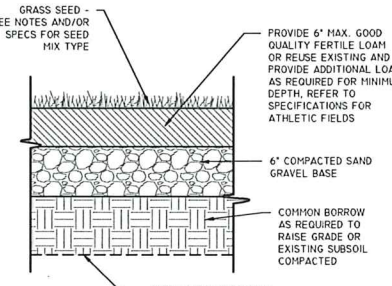


TYPICAL WATER MAIN / GAS MAIN TRENCH DETAIL
NOT TO SCALE



- NOTES:**
- DIMENSIONS VARY
 - SURFACE OF PAD TO MATCH ADJACENT BITUMINOUS SURFACE.
 - CEMENT CONCRETE SHALL ATTAIN A COMPRESSIVE STRENGTH OF 3,000 P.S.I. (28 DAYS).
 - FOR LOCATION OF PADS SEE LAYOUT PLAN.
 - FILLING OF THE SITE SHOULD BE ACCOMPLISHED WITH STRUCTURAL FILL.

CEMENT CONCRETE PAD
NOT TO SCALE



LOAM AND SEED DETAIL
NOT TO SCALE

- NOTES:**
- LOAM MOVED SHALL BE RETAINED AND DISTRIBUTED ON THE SITE IN ACCORDANCE WITH THE PLANS. STOCKPILED LOAM SHALL NOT BE MIXED WITH ANY SUBSOIL OR UNSUITABLE MATERIALS. NEW LOAM IF REQUIRED SHALL BE FERTILE, FRIABLE, MEDIUM TEXTURED SANDY LOAM FREE OF STUMPS, STONES, ROOTS AND OTHER MATTER ONE INCH (1") OR GREATER IN DIAMETER. THE PH SHALL BE BETWEEN 5.5 AND 7.5.
 - LAWN PREPARATION: ALL DEBRIS AND INORGANIC MATERIAL SHALL BE REMOVED FROM THE SUBGRADE. PRIOR TO THE SPREADING OF ANY LOAM, AREAS SHALL BE RESHAPED AND DRESSED WITH CLEAN LOAM AS REQUIRED TO OBTAIN A SMOOTH SURFACE. SUBGRADE TO BE SCARIFIED AND LOOSEN IN AREAS WHERE COMPACTION HAS OCCURRED. LOAM TO BE SPREAD TO A DEPTH OF SIX INCHES (6"). A STARTER FERTILIZER (10-20-10) AT A RATE OF 20 LBS. PER 1000 SQUARE FEET AND LIME AT A RATE OF 40 LBS. PER 1000 SQUARE FEET. THE LOAM SHALL BE ROLLED TO CREATE A SMOOTH SURFACE.
 - SEEDING SHALL TAKE PLACE BETWEEN MARCH 15 AND MAY 31 OR AUGUST 15 AND OCTOBER 15. SEED SHALL BE PURE, LIVE, FRESH SEED FROM COMMERCIAL SOURCES AND LABELED IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS. THE SEED MIXTURE SHALL BE:

PRODUCTION TYPE	WEIGHT
HENREYS HARD FESCUE	24.78%
AZURE SHEEPS FESCUE	24.78%
AMBROSE CHEWINGS FESCUE	24.67%
CREeping RED FESCUE	24.63%

*INERT MATERIAL TO BE LESS THAN 2.5% MAX.

Approved

AUG 21 2025

City of Providence

DETAIL SHEET (1 OF 2)

PAUL D. CARLSON
No. 7142
REGISTERED PROFESSIONAL ENGINEER
CIVIL
PROFESSIONAL SEAL

"COLALUCA PROPERTY"
639 ADMIRAL STREET, PROVIDENCE, RI 02908
ASSESSORS MAP 123 LOT 101

APPLICANT: STRIVE REALTY
566 SMITH STREET, PROVIDENCE, RI 02908

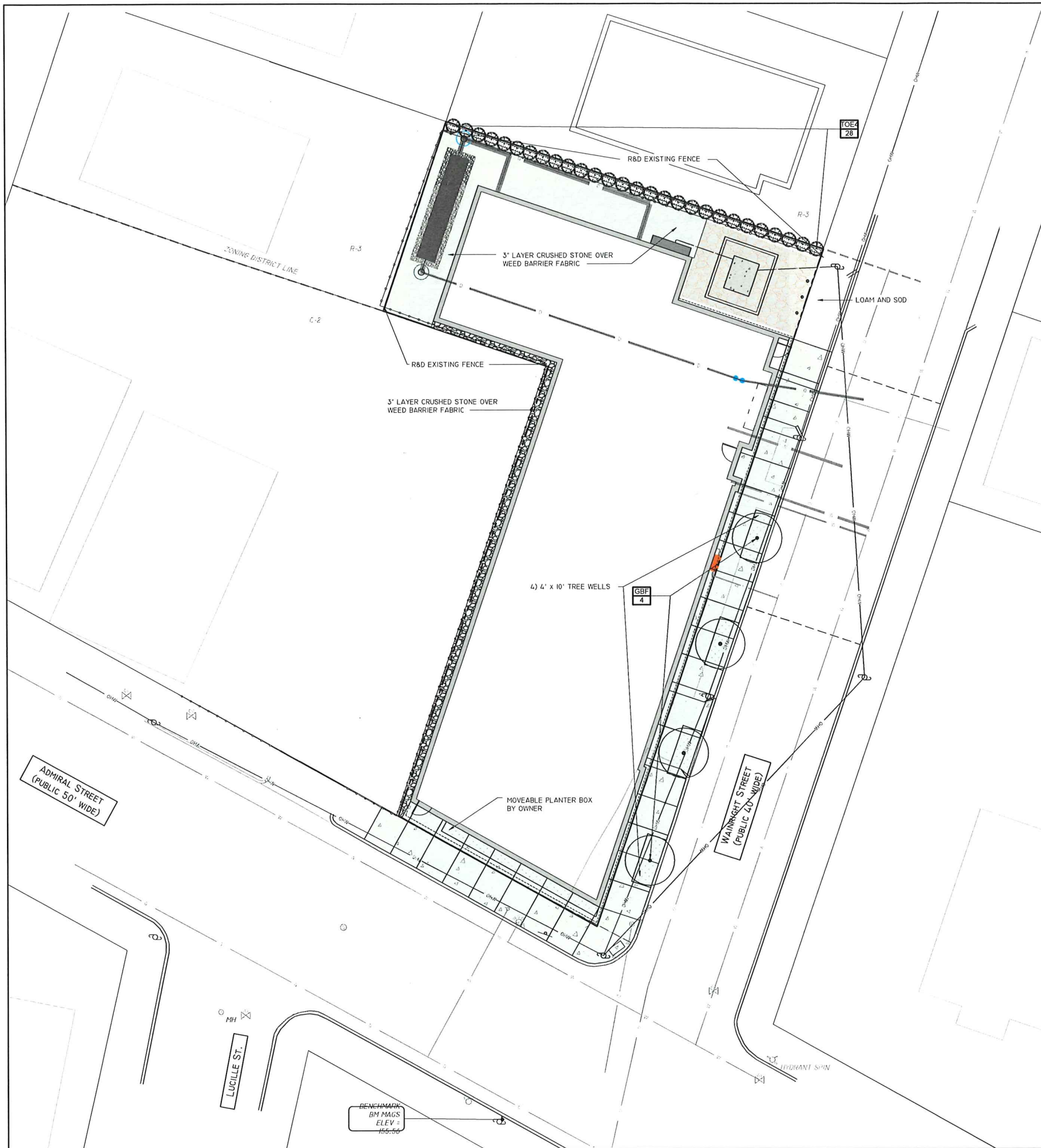
JOB #: 25-007 SCALE: N.T.S. DRAWN BY: L.J.G. DATE: JULY 11, 2025

REVISED:

INSITE Engineering Services, LLC
PROFESSIONAL ENGINEERS | LAND SURVEYORS
Precision. Clarity. Certainty.

InSite Professional Complex, Suite 1
1539 Fall River Avenue Seekonk, MA 02771
Phone: (508) 336-4500 Fax: (508) 336-4558
Web Address: InSiteEngineers.com

SHEET 5 OF 6



PROVIDENCE LANDSCAPE PLANNING DATA
ARTICLE 15 ZONING ORDINANCE, Trees and Landscaping.

ZONING CRITERIA	REQUIRED	PROPOSED	ARTICLE 15
SIZE OF SHADE TREES AT PLANTING	2" CALIPER	2" CALIPER	1502.C.1
SIZE OF EVERGREEN TREES AT PLANTING	6 FEET HIGH	N/A	1502.C.2
SIZE OF ORNAMENTAL TREES AT PLANTING	2 INCH CALIPER	2 INCH CALIPER	1502.C.4
SIZE OF LARGE SHRUBS AT PLANTING	3 FEET HIGH	3 FEET HIGH	1502.C.4
SIZE OF SMALL SHRUBS AT PLANTING	18 INCHES HIGH	18 INCHES HIGH	1502.C.4
REQUIRED TREE CANOPY	15% OF TOTAL LOT FOR C-2 ZONE CALCULATIONS: Total Lot square footage=7,657 SF X 15% = 1,149 square feet minimum shading required.	4,000 SQUARE FEET PROVIDED CALCULATIONS: 4 large trees (1,000sqft)=4,000 square feet	1503.C.1
PARKING LOT PERIMETER LANDSCAPE STRIP	PERIMETER LANDSCAPE STRIP SHALL BE MINIMUM 5 FEET WIDE AND HAVE 1 SHADE TREE EVERY 25 FEET SPACED LINEARLY. THE LANDSCAPE STRIP SHALL BE PLANTED OVER A MINIMUM OF 60% OF ITS LENGTH WITH LARGE SHRUBS.	N/A NO PARKING PROPOSED	1504.A-C
INTERIOR PARKING LOT LANDSCAPING	PARKING LOTS OVER 20,000 GROSS SQUARE FEET: 1 ISLAND EVERY 10 SPACES 10% LANDSCAPING 1 SHADE TREE/ISLAND	N/A NO PARKING PROPOSED	1505.A-E
SCREENING OF PARKING LOTS FROM RESIDENTIAL DISTRICTS	4 FOOT SCREEN REQUIRED BETWEEN RESIDENTIAL LOT AND PARKING	N/A NO PARKING PROPOSED	1506

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	DETAIL	REMARKS
DECIDUOUS TREES							
	GBF	Ginkgo biloba 'Fastigiata' / Fastigiata Maidenhair Tree	2" Cal.	B&B	4		
EVERGREEN TREES							
	TOE4	Thuja occidentalis 'Emerald' / Emerald Arborvitae	6" Ht.		28		

Diana C. Soule & Associates, ASLA
 Landscape Architecture
 422 Fenwick Pike
 Smithfield, Rhode Island 02947
 www.dianasonleandassociates.com
 401-231-0736
 email: dcs@dcasa.net



Colaluca Property
 639 Admiral Street
 Providence, RI 02908

PROJECT STATUS:
PRELIMINARY
NOT FOR
CONSTRUCTION
 Date: 07/11/2025
 Designed by: DCS
 Checked by: DCS
 Project #: 0325-12

THESE DOCUMENTS HAVE BEEN PREPARED SPECIFICALLY FOR THE PROJECT LISTED ABOVE. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT APPROVAL AND PARTICIPATION OF DIANE SOULE & ASSOCIATES. REPRODUCTION IS PROHIBITED.

REVISIONS:

DRAWING TITLE:
LANDSCAPE PLAN

DRAWING NO.:
L1.0

Approved
 AUG 21 2025
 City of Providence

I:\25-007 639 Admiral Street Providence R.I. - Strive\Cadd\25-007 - Average Building Grade.dwg, 7/10/2025 11:53:46 AM



GENERAL NOTES:

1. AS STATED IN CHAPTER 202 - RULES OF MEASUREMENT - SECTION B - BUILDING HEIGHT "FOR A VACANT PARCEL OF LAND, BUILDING HEIGHT SHALL BE MEASURED FROM THE AVERAGE, EXISTING-GRADE ELEVATION WHERE THE FOUNDATION OF THE STRUCTURE IS PROPOSED.
2. THE PROPOSED BUILDING FOUNDATION IS SHOWN IN RED
3. THE EXISTING TOPOGRAPHY SURFACE EXISTS ONLY WITHIN THE BOUNDARIES OF THE PROPOSED BUILDING FOUNDATION TO PROVIDE ACCURATE DATA FOR THIS AREA EXCLUSIVELY.
4. THE AVERAGE, EXISTING-GRADE ELEVATION WHERE THE FOUNDATION OF THE STRUCTURE IS PROPOSED IS CALCULATED TO BE 153.73'

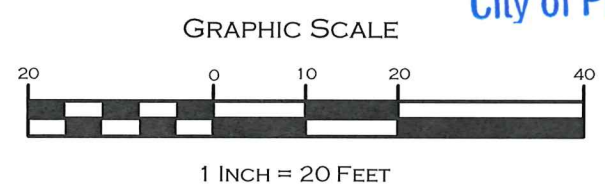
EXISTING TOPOGRAPHIC SURFACE DATA:

NUMBER OF POINTS 104
 MINIMUM ELEVATION 151.67'
 MAXIMUM ELEVATION 155.70'

MEAN ELEVATION 153.73'

Building Height	Actual Elevation	Heights on Elevation
T.O. Roof Structure	198.11	42' - 8 1/2"
Fourth Floor	187.55	32' - 1 3/4"
Third Floor	176.94	21' - 6 1/2"
Second Floor	166.34	10' - 11 1/4"
First Floor (top of Slab)	155.40	0' - 0"
Average Grade	153.73	
Total Height	44.378	
<i>Height difference of T.O. Roof Structure to Average Grade</i>		
Calculations compiled by Strive		

Approved
 AUG 21 2025
City of Providence



PAUL D. CARLSON

REGISTERED PROFESSIONAL ENGINEER CIVIL

EXISTING GRADES CALS. FOR PROP. BLDG.

"COLALUCA PROPERTY"
 639 ARMIRAL STREET, PROVIDENCE, RI 02908
 ASSESSORS MAP 123 LOT 101

APPLICANT: STRIVE REALTY
 566 SMITH STREET, PROVIDENCE RI 02908

JOB # 25-007	SCALE: 1" = 20'	DRAWN BY: LJG	DATE: JULY 10, 2025
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REVISED:

INSITE Engineering Services, LLC
 PROFESSIONAL ENGINEERS | LAND SURVEYORS
 Precision. Clarity. Certainty.

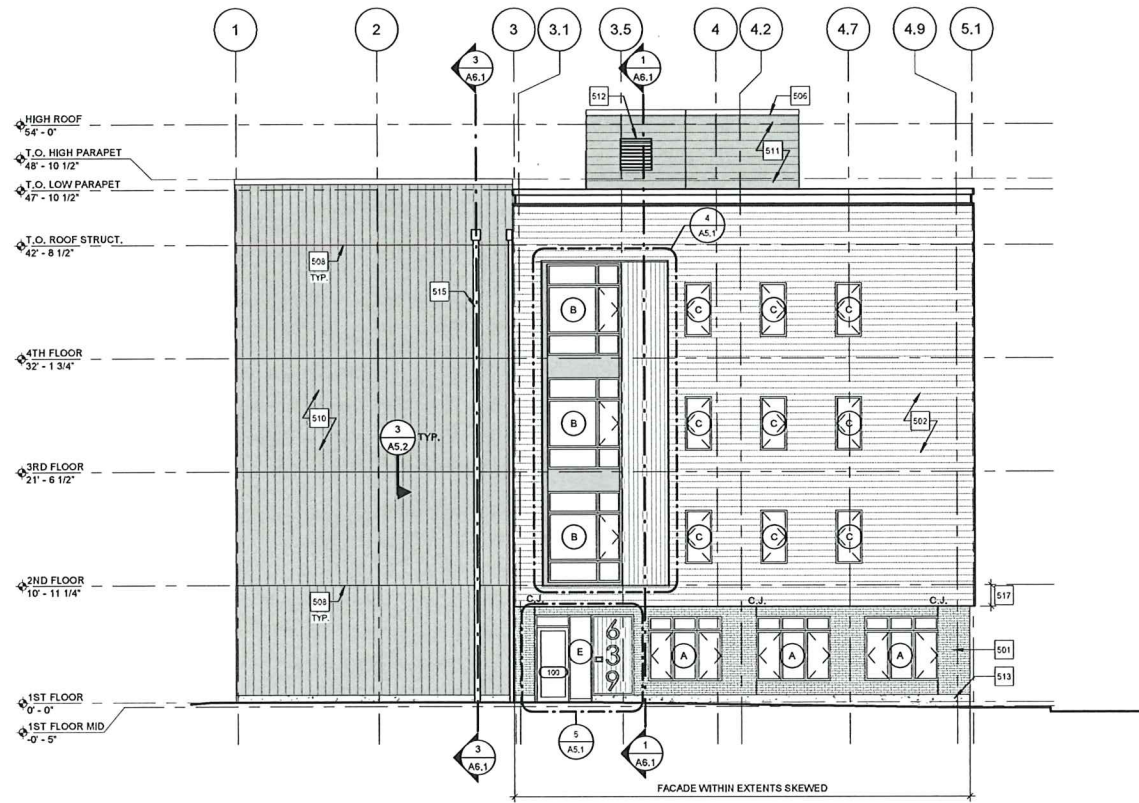
InSite Professional Complex, Suite 1
 1539 Fall River Avenue Seekonk, MA 02771
 Phone: (508) 336-4500 Fax: (508) 336-4558
 Web Address: InsiteEngineers.com

SHEET
1
 OF 1

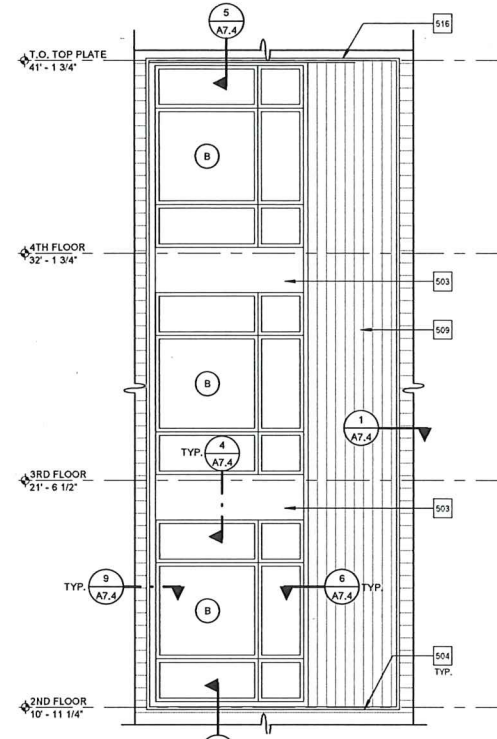
Approved

10/10/2011

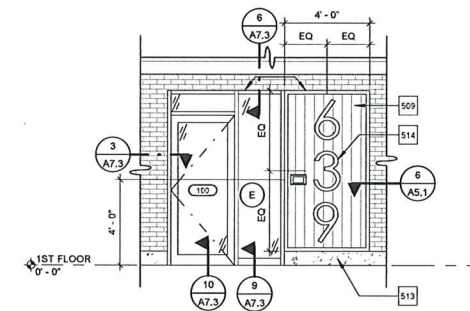
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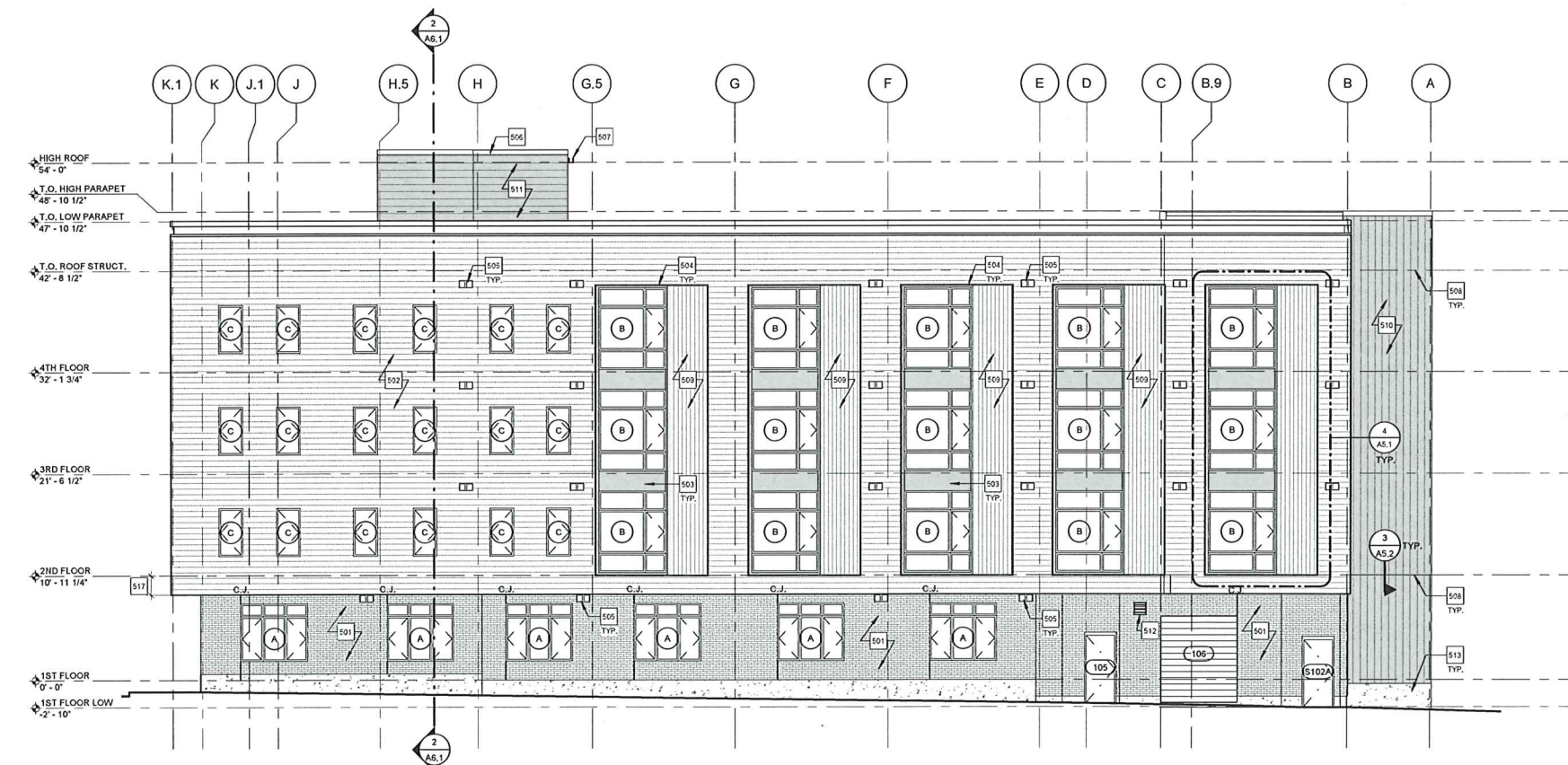
1 SOUTH ELEVATION
1/8" = 1'-0"



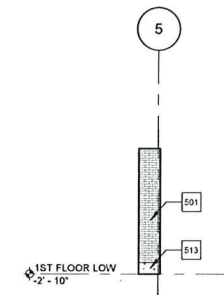
4 ENLARGED WINDOW ELEVATION
1/4" = 1'-0"



5 ENLARGED ENTRY DOOR ELEVATION
1/4" = 1'-0"



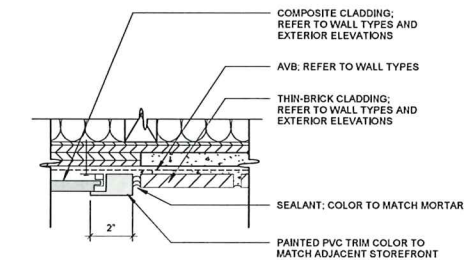
2 EAST ELEVATION
1/8" = 1'-0"



3 ENTRY ELEVATION
1/8" = 1'-0"

KEYNOTES - EXTERIOR ELEVATIONS

501	THIN BRICK SYSTEM ON LATICRETE (WAVE SYSTEM), METROBRICK - COLOR: 710 CHARCOAL WITH LATICRETE OROUT. COLOR: 78 STERLING SILVER SIZE: 5/16" X 2-1/4"
502	PRE-FINISHED FIBER CEMENT LAP SIDING WITH 7" WEATHER EXPOSURE. MANUFACTURER: JAMES HARDIE. SURFACE: SMOOTH. COLOR: LEAF DUST (DREAM COLLECTION).
503	5/8" THICK PVC PANEL WITH FIELD-PAINTED FINISH. COLOR TO MATCH WINDOWS.
504	POLY-ASH TRIM WITH PAINTED FINISH. COLOR TO MATCH WINDOWS. REFER TO WINDOW DETAILS FOR PROFILE.
505	EXHAUST INTAKE VENT. REFER TO OWNER'S MECHANICAL DWGS. COLOR TO MATCH ADJACENT CLADDING.
506	6" ALUMINUM ROOF COPING OR METAL EDGE TRIM. FIRESTONE EDGEGUARD+; KYMAR 500 FINISH. FINISH TO MATCH WINDOWS.
507	ALUMINUM GUTTER AND DOWNSPOUT. REFER TO ROOF PLAN.
508	HORIZONTAL CONTROL JOINT AT SHIPLAP SIDING.
509	VERTICAL COMPOSITE WOOD-LOOK SIDING BY NEWTECHWOOD; PROFILE: FLUSH MODEL US09; COLOR: JAPANESE CEDAR; PATTERN: WOOD GRAIN.
510	VERTICAL SHIPLAP FIBER CEMENT SIDING BY JAMES HARDIE, ASPYRE COLLECTION WITH FIELD-APPLIED FINISH; TEXTURE: SMOOTH. COLOR: TBD BY OWNER.
511	HORIZONTAL SHIPLAP FIBER CEMENT SIDING BY JAMES HARDIE, ASPYRE COLLECTION WITH FIELD-APPLIED FINISH; TEXTURE: SMOOTH. COLOR: TBD BY OWNER.
512	MECHANICAL LOUVER. REFER TO OWNER'S MECHANICAL DWGS. LOUVER TO MATCH ADJACENT CLADDING. REFER TO EXTERIOR DETAILS FOR FLASHING INFO.
513	CAST IN-PLACE CONCRETE FOUNDATION. REFER TO S-DWGS.
514	LARGE BUILDING ADDRESS SIGNAGE BY OWNER'S SEPARATE VENDOR. FINAL SELECTION TBD BY OWNER.
515	PRE-FINISHED ALUMINUM DOWNSPOUT AND COLLECTOR BOX AT THROUGH-WALL OVER FLOW SCUPPERS. COLOR TO MATCH WINDOWS.
516	PRE-FINISHED 0.040" ALUMINUM FLASHING/TRIM. REFER TO DETAILS. COLOR TO MATCH WINDOWS.
517	BOTTOM OF FIBER CEMENT LAP SIDING SHALL BE COORDINATED WITH THIN BRICK COURSING ON WEST ELEVATION AND MIN. GAP FOR CONTROL JOINTS; REFER TO EXTERIOR DETAILS.



6 TRIM DETAIL
3" = 1'-0"

Approved
AUG 21 2025
City of Providence

EXTERIOR ELEVATION SYMBOLS

	VERTICAL COMPOSITE: WOOD-LOOK SIDING
	VERTICAL FIBER CEMENT SHIPLAP SIDING
	HORIZONTAL FIBER CEMENT LAP SIDING
	FIBER CEMENT PANEL
	THIN BRICK CLADDING
	CONCRETE FOUNDATION

VISION 3 ARCHITECTS

225 CHAPMAN STREET
PROVIDENCE, RI 02905
401.461.7771
v3@vision3architects.com
www.vision3architects.com

STRUCTURAL ENGINEER:
TOWER HOUSE ENGINEERING

STAMP:



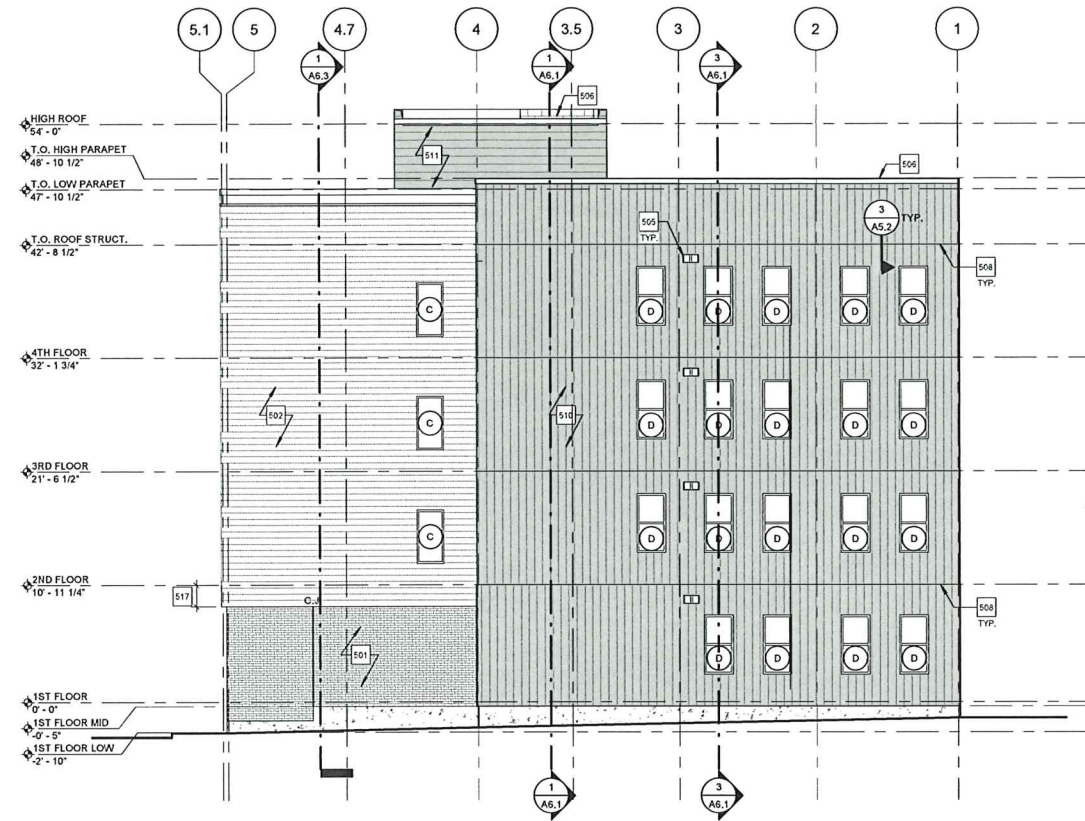
MULTI-FAMILY APARTMENT
BUILDING
639 ADMIRAL STREET
PROVIDENCE, RI 02908

PROJECT STATUS:
ISSUED FOR CONSTRUCTION

DATE: 07/02/2025
PROJECT NO: 22051b
DRAWN BY: EE, DS
CHECKED BY: RH
REVISIONS:

DRAWING TITLE:
EXTERIOR ELEVATIONS

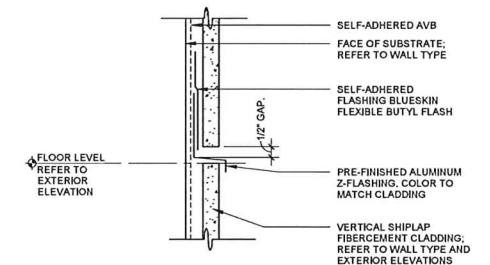
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A5.1



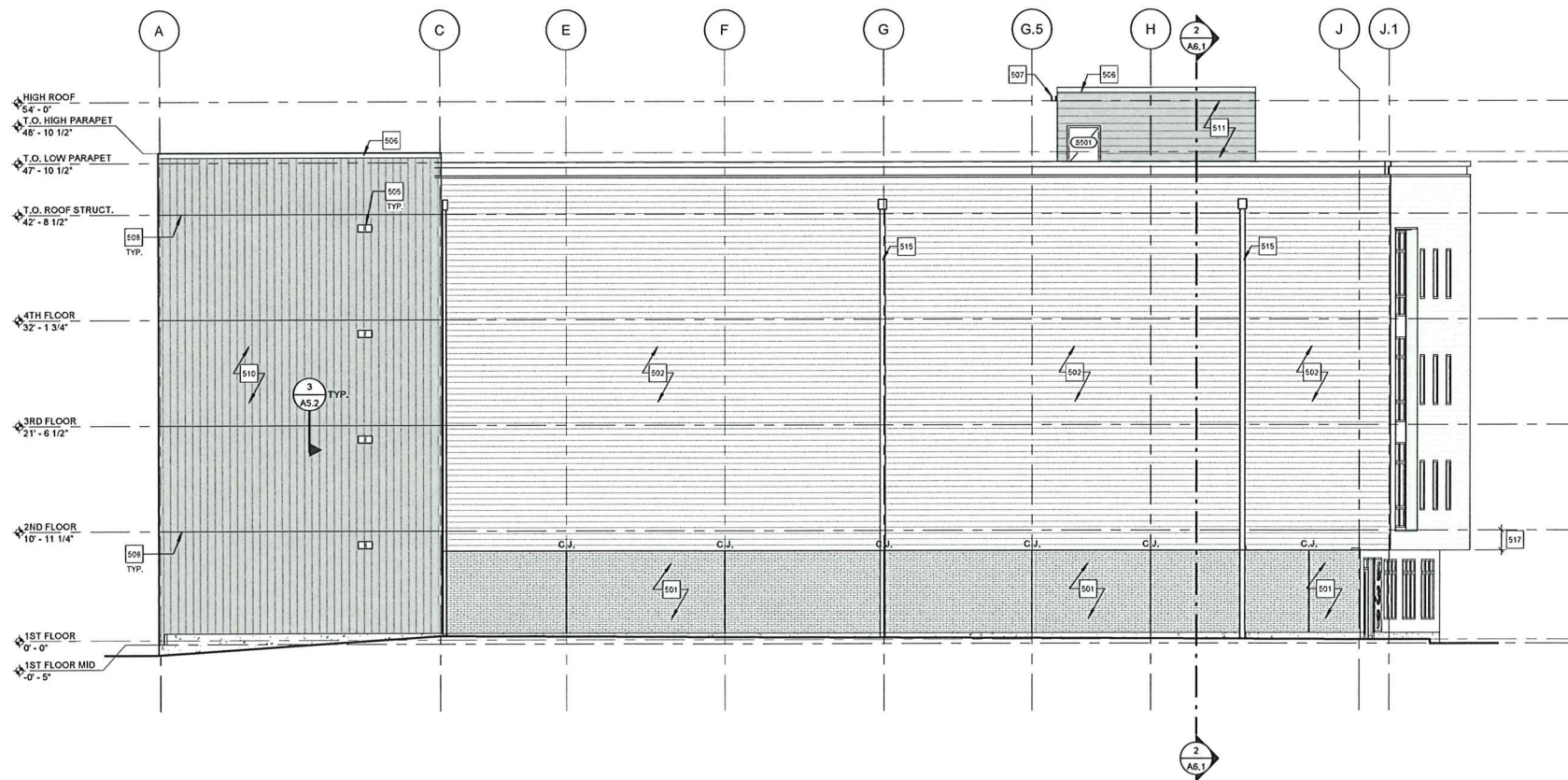
1 NORTH ELEVATION
1/8" = 1'-0"

KEYNOTES - EXTERIOR ELEVATIONS

501	THIN BRICK SYSTEM ON LATICRETE (WAVE SYSTEM); METROBRICK - COLOR: 710 CHARCOAL WITH LATICRETE GROUT; COLOR: 78 STERLING SILVER SIZE: 5'10" X 2-1/4"
502	PRE-FINISHED FIBER CEMENT LAP SIDING WITH 7" WEATHER EXPOSURE. MANUFACTURER: JAMES HARDIE; SURFACE: SMOOTH; COLOR: LEAF DUST (DREAM COLLECTION).
503	5/4" THICK PVC PANEL WITH FIELD-PAINTED FINISH. COLOR TO MATCH WINDOWS.
504	POLY-ASH TRIM WITH PAINTED FINISH. COLOR TO MATCH WINDOWS. REFER TO WINDOW DETAILS FOR PROFILE.
505	EXHAUST INTAKE VENT. REFER TO OWNER'S MECHANICAL DWGS. COLOR TO MATCH ADJACENT CLADDING.
506	6" ALUMINUM ROOF COPING OR METAL EDGE TRIM: FIRESTONE EDGEGUARD; KYNAR 500 FINISH. FINISH TO MATCH WINDOWS.
507	ALUMINUM GUTTER AND DOWNSPOUT. REFER TO ROOF PLAN.
508	HORIZONTAL CONTROL JOINT AT SHIPLAP SIDING.
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513	CAST IN-PLACE CONCRETE FOUNDATION; REFER TO S-DWGS.
514	LARGE BUILDING ADDRESS SIGNAGE BY OWNER'S SEPARATE VENDOR. FINAL SELECTION TBD BY OWNER.
515	PRE-FINISHED ALUMINUM DOWNSPOUT AND COLLECTOR BOX AT THROUGH-WALL OVERFLOW SCUPPERS. COLOR TO MATCH WINDOWS.
516	PRE-FINISHED 0.047" ALUMINUM FLASHING/TRIM. REFER TO DETAILS. COLOR TO MATCH WINDOWS.
517	BOTTOM OF FIBER CEMENT LAP SIDING SHALL BE COORDINATED WITH THIN BRICK COURSE ON WEST ELEVATION AND MIN. GAP FOR CONTROL JOINTS; REFER TO EXTERIOR DETAILS.



3 TYPICAL CONTROL JOINT
6" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"

EXTERIOR ELEVATION SYMBOLS

	VERTICAL COMPOSITE: WOOD-LOOK SIDING
	VERTICAL FIBER CEMENT SHIPLAP SIDING
	HORIZONTAL FIBER CEMENT LAP SIDING
	FIBER CEMENT PANEL
	THIN BRICK CLADDING
	CONCRETE FOUNDATION

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401.461.7771
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STRUCTURAL ENGINEER:
TOWER HOUSE ENGINEERING



MULTI-FAMILY APARTMENT BUILDING
639 ADMIRAL STREET
PROVIDENCE, RI 02908

Approved
AUG 21 2025
City of Providence

PROJECT STATUS:
ISSUED FOR CONSTRUCTION

DATE: 07/02/2025
PROJECT NO: 22051b
DRAWN BY: EE, DS
CHECKED BY: RH

REVISIONS:

DRAWING TITLE:
EXTERIOR ELEVATIONS

DRAWING NO.:
A5.2

KEYNOTES - FLOOR PLAN	
101	ELECTRICAL TRANSFORMER; REFER TO OWNER'S SEPARATE C-DWGS. & E-DWGS.
102	BOLLARDS; REFER TO OWNER'S SEPARATE C-DWGS. & E-DWGS.
103	FREE-STANDING PLANTER BY OWNER.
104	DUMPSTER BY OWNER.
105	6 SPACE BIKE RACK W ADA ACCESSIBLE SPACES; FINAL SELECTION TBD BY OWNER.
106	PROVIDE FRP WALL PROTECTION ON 3/4" THK. F.R.T. PLYWOOD OVER GYP. BOARD, WALL ASSEMBLY (SHOWN DASHED); FINAL HEIGHT SHALL BE DETERMINED BY OWNER. COORDINATE HEIGHT OF WALL PROTECTION WITH DUMPSTERS AND BIKE RACK.
107	PROVIDE 3/4" THK. F.R.T. PLYWOOD WITH PAINTED FINISH (P-1) OVER GYP. BOARD, WALL AS REQUIRED FOR MEP EQUIPMENT. GC TO COORDINATE FINAL EXTENT REQUIRED WITH TRADES.
108	HOUSEKEEPING PAD, REFER TO S-DWGS AND OWNER'S P-DWGS

VISION 3 ARCHITECTS
 225 CHAPMAN STREET
 PROVIDENCE, RI 02905
 401.461.7771
 v3@vision3architects.com
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STRUCTURAL ENGINEER:
 TOWER HOUSE ENGINEERING



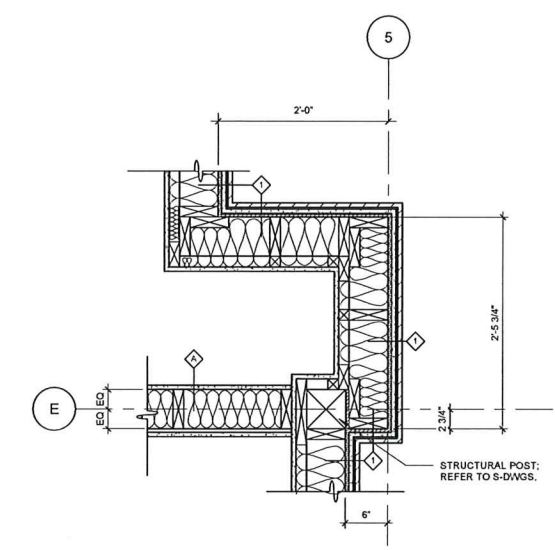
MULTI-FAMILY APARTMENT BUILDING
 639 ADMIRAL STREET
 PROVIDENCE, RI 02908

PROJECT STATUS:
ISSUED FOR CONSTRUCTION

DATE: 07/02/2025
 PROJECT NO: 22051b
 DRAWN BY: EE, DS
 CHECKED BY: RH

DRAWING TITLE:
FIRST FLOOR PLAN

DRAWING NO.:
A1.1

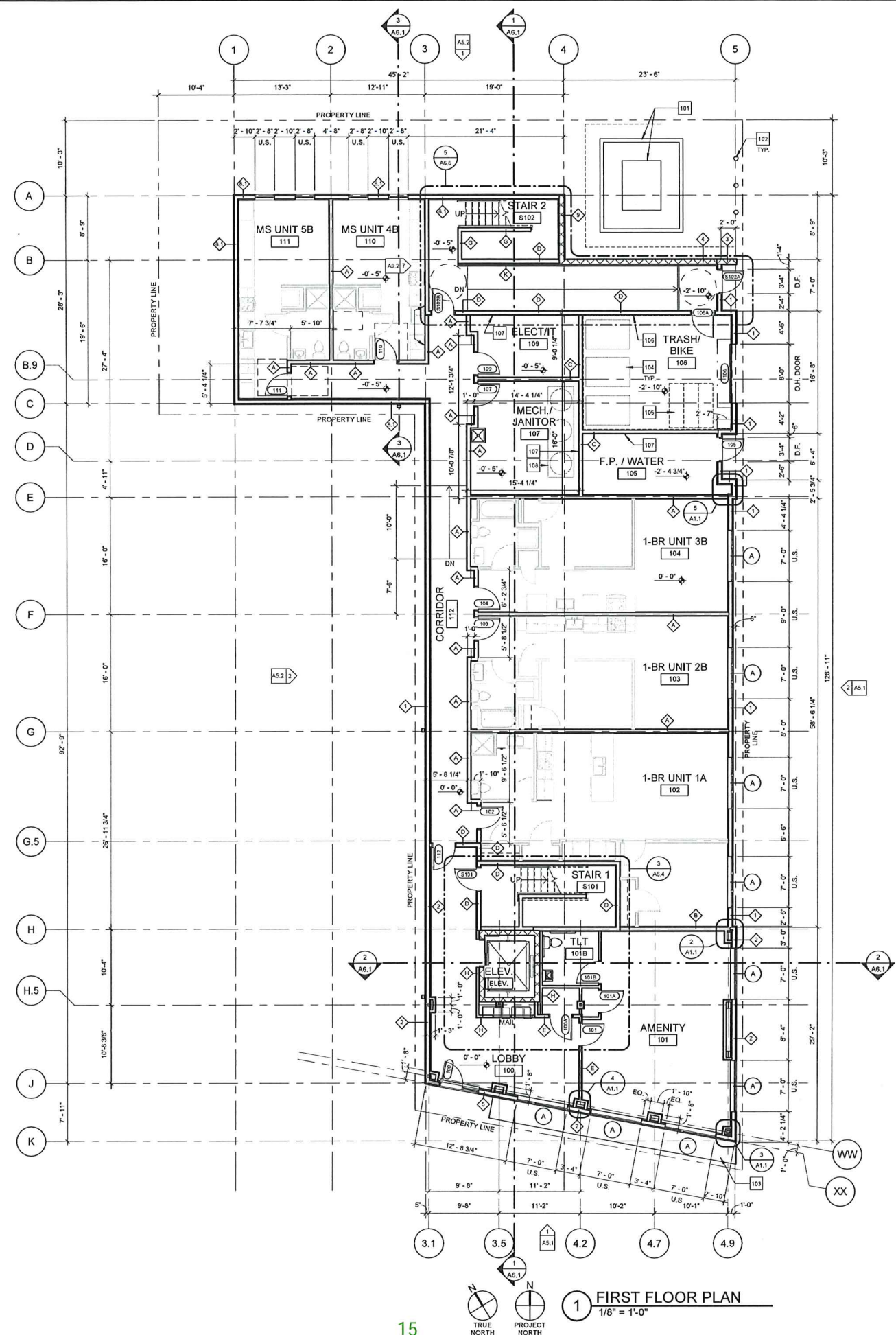


5 PLAN DETAIL
 1" = 1'-0"

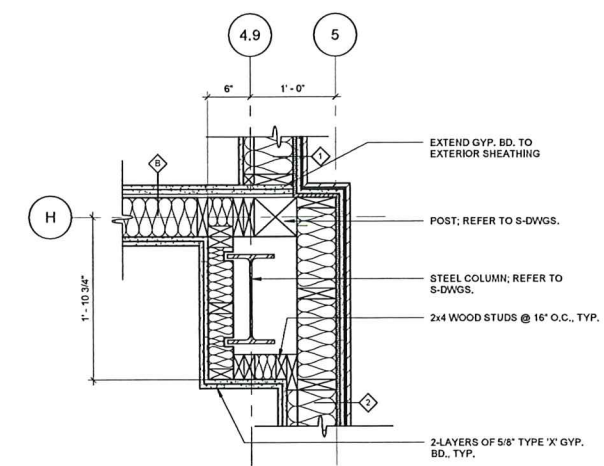
Approved
 AUG 21 2025
 City of Providence

- FLOOR PLAN GENERAL NOTES**
- DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
 - GRID LINE IS TO EXTERIOR FACE OF STUD AT EXTERIOR WALLS.
 - GRID LINE IS TO CENTER LINE OF STUD AT UNIT DEMISING WALLS.
 - REFER TO A9.1 THROUGH A9.5 FOR UNIT PLANS (SHOWN GRAY)

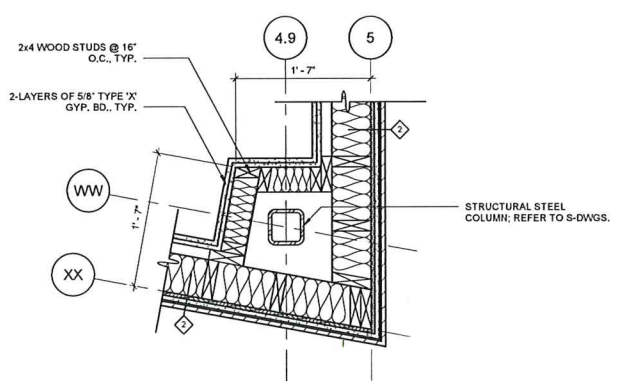
- FLOOR PLAN SYMBOLS**
- NEW DOOR; SEE DOOR SCHEDULE ON DWG. A7.1
 - NEW WALL CONSTRUCTION; SEE WALL TYPES ON DWG. A0.2



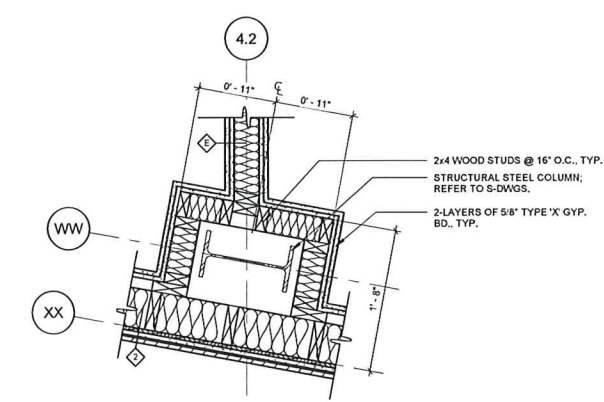
1 FIRST FLOOR PLAN
 1/8" = 1'-0"



2 DETAIL @ COLUMN ENCLOSURE
 1" = 1'-0"



3 DETAIL @ COLUMN ENCLOSURE
 1" = 1'-0"

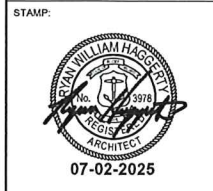


4 DETAIL @ COLUMN ENCLOSURE
 1" = 1'-0"

KEYNOTES - FLOOR PLAN	
101	ELECTRICAL TRANSFORMER. REFER TO OWNER'S SEPARATE C-DWGS. & E-DWGS.
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STRUCTURAL ENGINEER:
 TOWER HOUSE ENGINEERING



MULTI-FAMILY APARTMENT BUILDING
 639 ADMIRAL STREET
 PROVIDENCE, RI 02908

PROJECT STATUS:
ISSUED FOR CONSTRUCTION

DATE: 07/02/2025
 PROJECT NO: 22051b
 DRAWN BY: EE, DS
 CHECKED BY: RH

Approved
AUG 21 2025
City of Providence

FLOOR PLAN GENERAL NOTES

- DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
- GRID LINE IS TO EXTERIOR FACE OF STUD AT EXTERIOR WALLS.
- GRID LINE IS TO CENTER LINE OF STUD AT UNIT DEMISING WALLS.
- REFER TO A9.1 THROUGH A9.5 FOR UNIT PLANS (SHOWN GRAY)

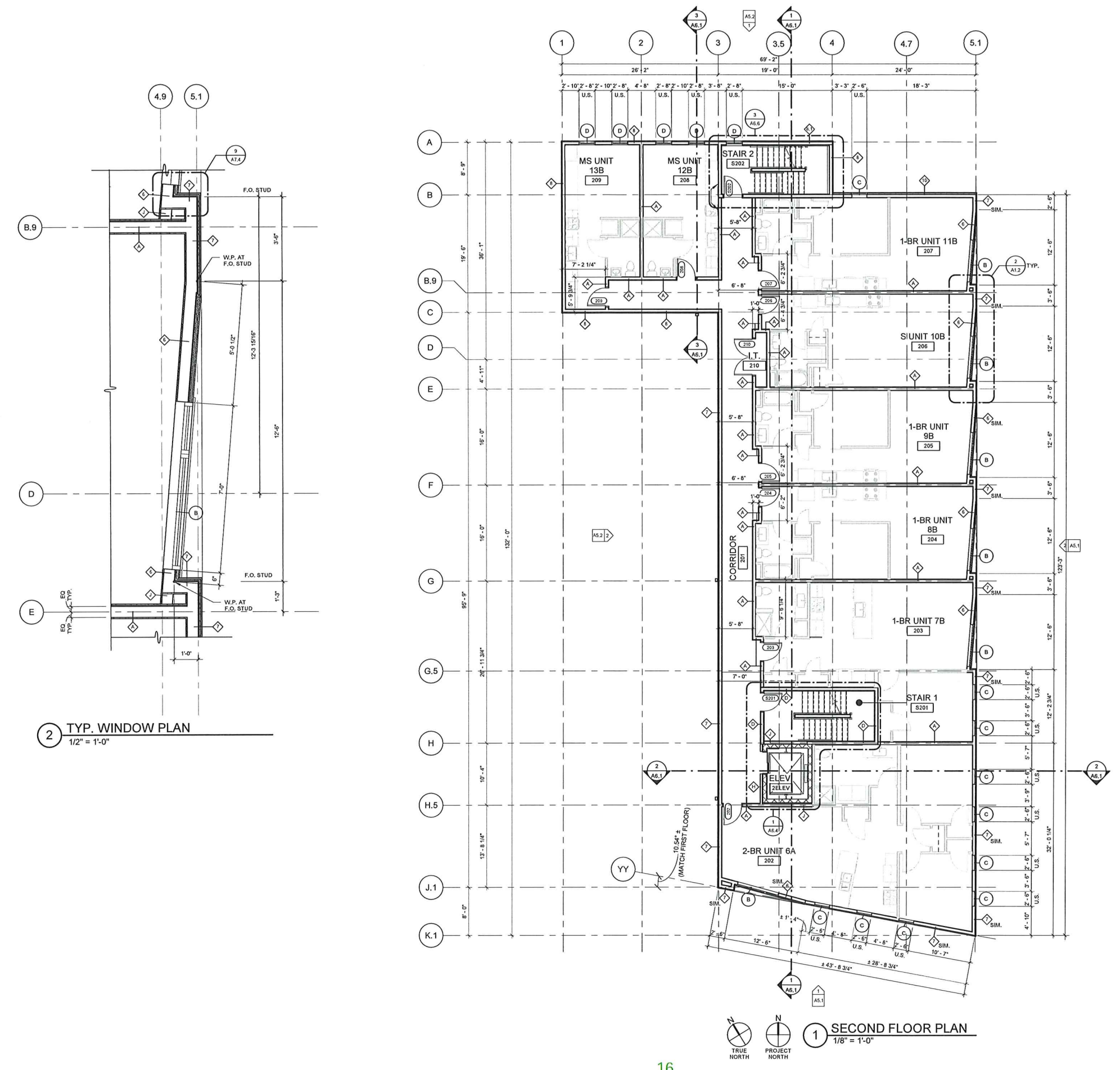
FLOOR PLAN SYMBOLS

NEW DOOR. SEE DOOR SCHEDULE ON DWG. A7.1

NEW WALL CONSTRUCTION. SEE WALL TYPES ON DWG. A0.2

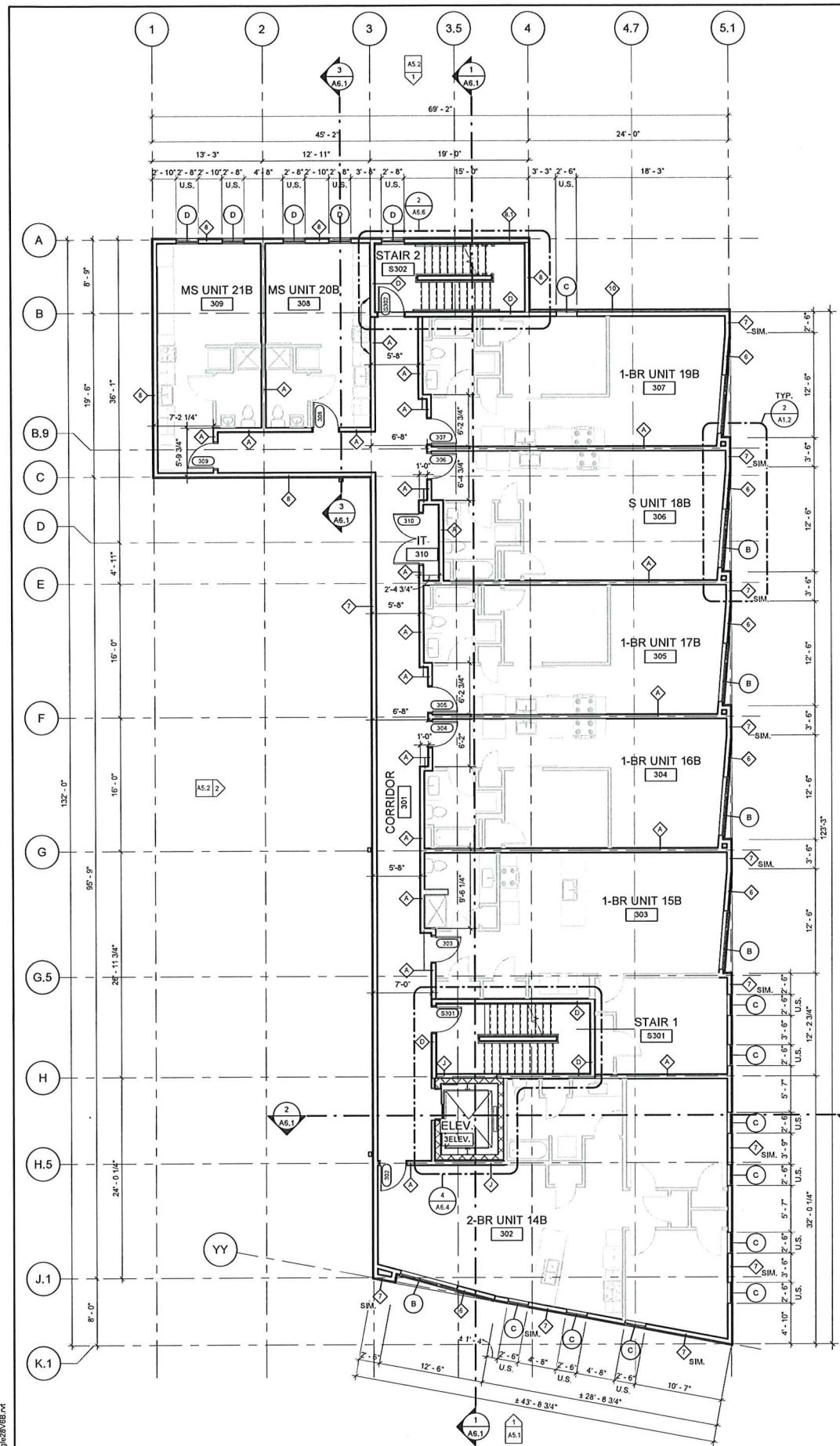
DRAWING TITLE:
SECOND FLOOR PLAN

DRAWING NO.:
A1.2

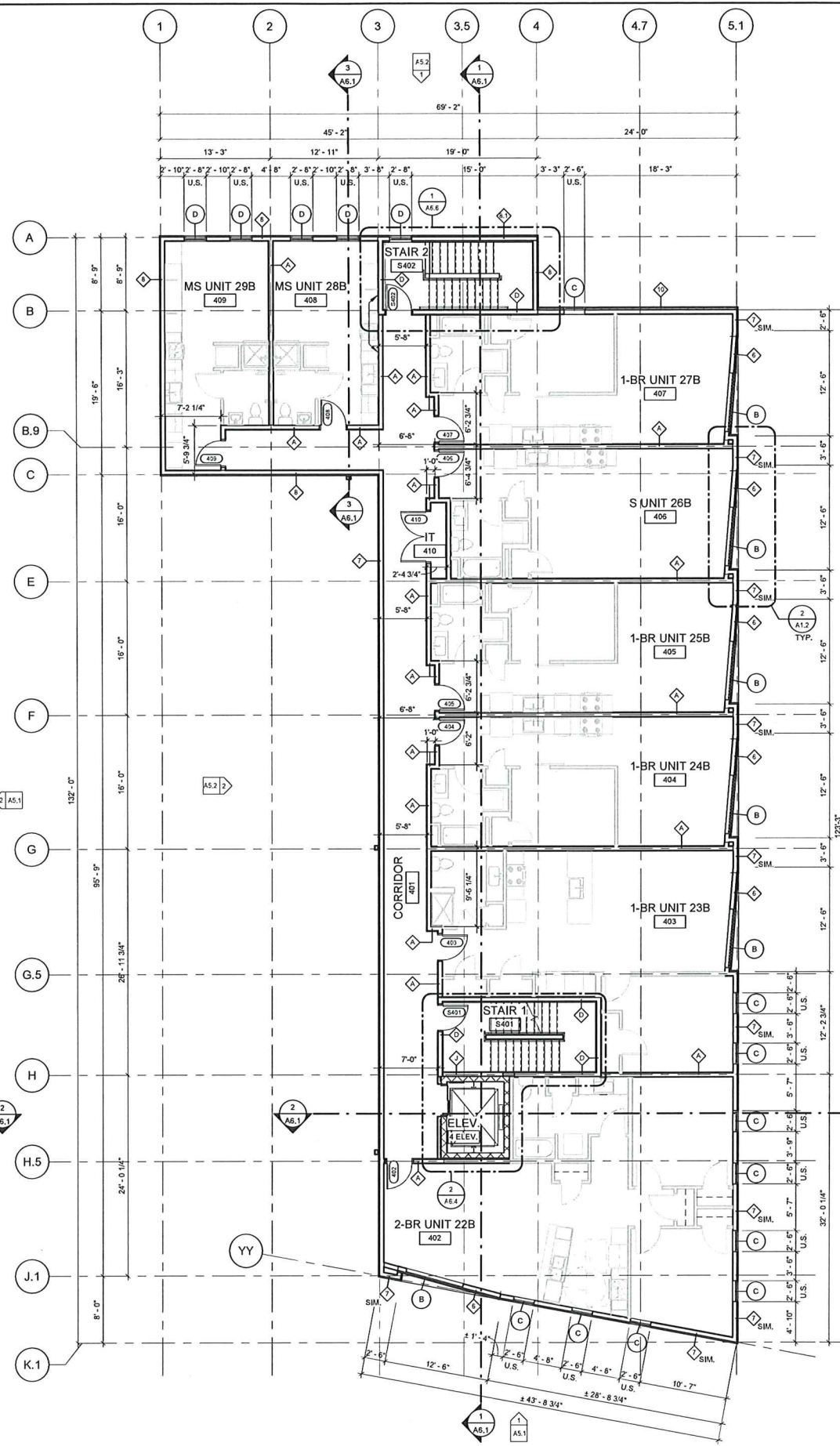


2 TYP. WINDOW PLAN
 1/2" = 1'-0"

1 SECOND FLOOR PLAN
 1/8" = 1'-0"



1 THIRD FLOOR PLAN
1/8" = 1'-0"

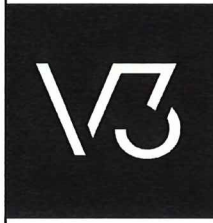


2 FOURTH FLOOR PLAN
1/8" = 1'-0"

KEYNOTES - FLOOR PLAN	
101	ELECTRICAL TRANSFORMER, REFER TO OWNER'S SEPARATE C-DWGS. & E-DWGS.
102	BOLLARDS, REFER TO OWNER'S SEPARATE C-DWGS. & E-DWGS.
103	FREE-STANDING PLANTER BY OWNER.
104	DUMPSTER BY OWNER.
105	8 SPACE BIKE RACK W/ ADA ACCESSIBLE SPACES, FINAL SELECTION TBD BY OWNER.
106	PROVIDE FRP WALL PROTECTION ON 3/4" THK. F.R.T. PLYWOOD OVER GYP. BOARD, WALL ASSEMBLY (SHOWN DASHED). FINAL HEIGHT SHALL BE DETERMINED BY OWNER. COORDINATE HEIGHT OF WALL PROTECTION WITH DUMPSTERS AND BIKE RACK.
107	PROVIDE 3/4" THK. F.R.T. PLYWOOD WITH PAINTED FINISH (P-1) OVER GYP. BOARD, WALL AS REQUIRED FOR MEP EQUIPMENT. GC TO COORDINATE FINAL EXTENT REQUIRED WITH TRADES.
108	HOUSEKEEPING PAD, REFER TO S-DWGS AND OWNER'S P-DWGS.

VISION 3 ARCHITECTS
225 CHAPMAN STREET
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STRUCTURAL ENGINEER:
TOWER HOUSE ENGINEERING



MULTI-FAMILY APARTMENT BUILDING
639 ADMIRAL STREET
PROVIDENCE, RI 02908

Approved
AUG 21 2025
City of Providence

- FLOOR PLAN GENERAL NOTES**
- DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
 - GRID LINE IS TO EXTERIOR FACE OF STUD AT EXTERIOR WALLS.
 - GRID LINE IS TO CENTER LINE OF STUD AT UNIT DEMISING WALLS.
 - REFER TO A9.1 THROUGH A9.5 FOR UNIT PLANS (SHOWN GRAY)

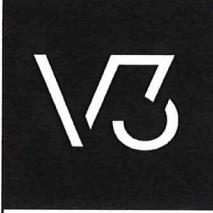
- FLOOR PLAN SYMBOLS**
- NEW DOOR: SEE DOOR SCHEDULE ON DWG. A7.1
 - NEW WALL CONSTRUCTION: SEE WALL TYPES ON DWG. A0.2

PROJECT STATUS:	ISSUED FOR CONSTRUCTION
DATE:	07/02/2025
PROJECT NO:	22051b
DRAWN BY:	EE, DS
CHECKED BY:	RH
REVISIONS:	
DRAWING TITLE:	THIRD AND FOURTH FLOOR PLANS
DRAWING NO.:	A1.3

KEYNOTES - ROOF PLAN	
301	DOWNSPOUT AND COLLECTOR BOX AT THRU-WALL OVERFLOW SCUPPER, REFER TO TYP. DETAIL.
302	TAPERED INSULATION CRICKET/COUNTER SLOPE, TYP.
303	MECHANICAL UNIT; REFER TO OWNER'S MECHANICAL DWGS.
304	PARAPET EDGE TRIM; REFER TO DETAILS AND EXTERIOR ELEVATIONS.
305	GUTTER AND DOWNSPOUT; REFER TO EXTERIOR ELEVATIONS.
306	EPDM WALK-PAD; CONTRACTOR TO COORDINATE EXTENTS WITH OWNER'S EQUIPMENT.
307	0.040 ALUMINUM DOWNSPOUT AND SPLASH BLOCK; COLOR TO MATCH EXISTING FASCIA. PROVIDE WALK-PAD UNDER SPLASH BLOCK AS WEAR LAYER.

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STRUCTURAL ENGINEER:
 TOWER HOUSE ENGINEERING



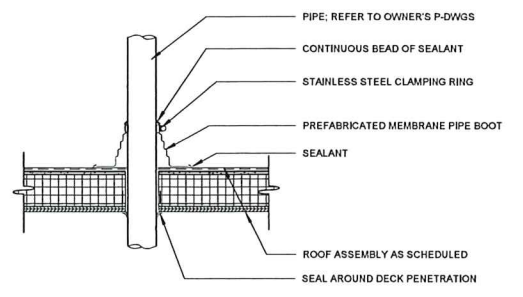
MULTI-FAMILY APARTMENT BUILDING
 639 ADMIRAL STREET
 PROVIDENCE, RI 02908

PROJECT STATUS:
ISSUED FOR CONSTRUCTION

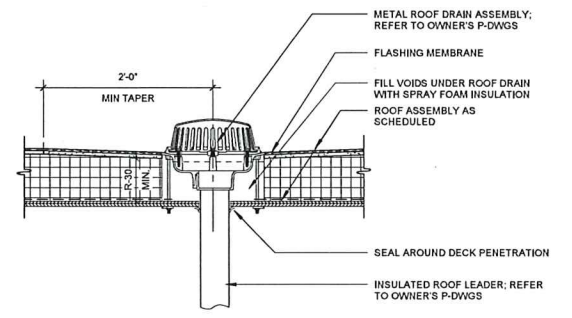
DATE:	07/02/2025
PROJECT NO:	22051b
DRAWN BY:	EE, DS
CHECKED BY:	RH
REVISIONS:	

DRAWING TITLE:
ROOF PLAN AND DETAILS

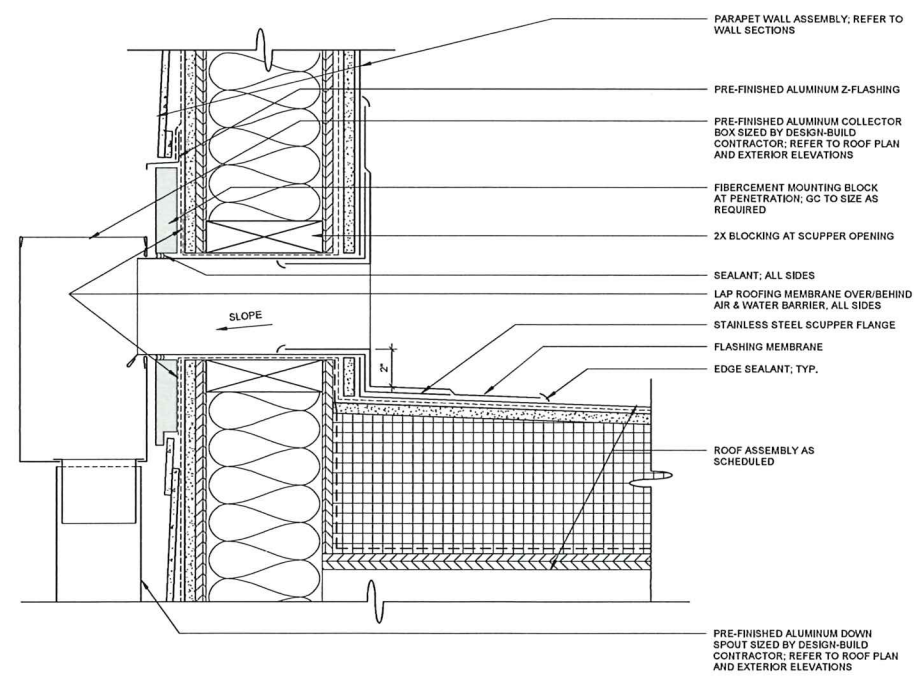
DRAWING NO.:
A3.1



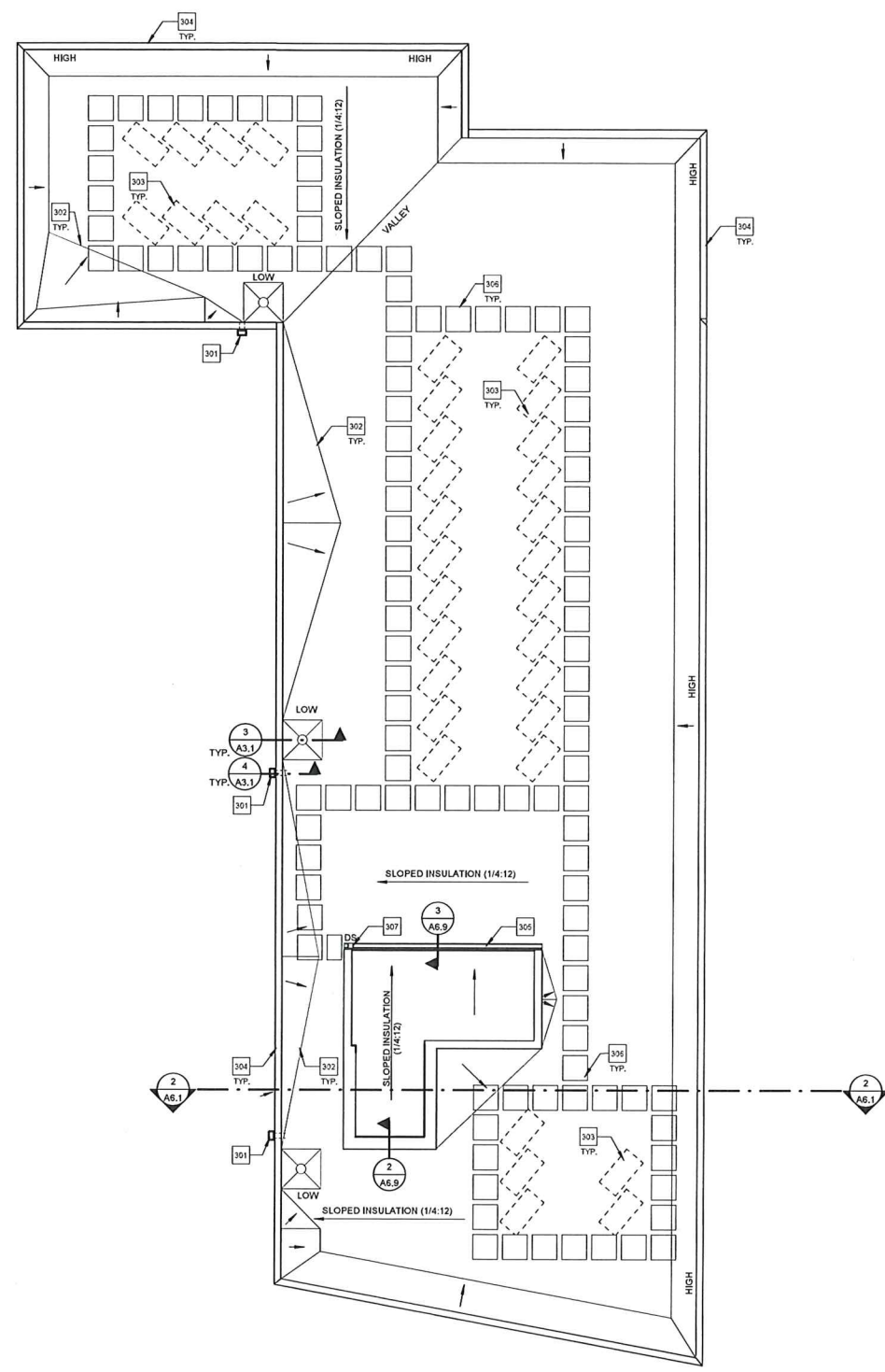
2 DETAIL @ ROOF PIPE PENETRATION
 1" = 1'-0"



3 DETAIL @ ROOF DRAIN
 1" = 1'-0"



4 DETAIL @ ROOF DRAIN
 3" = 1'-0"



1 ROOF PLAN
 1/8" = 1'-0"

GENERAL ROOF NOTES

1. ANY AND ALL NEW ROOF PENETRATIONS, CURBS, FLASHINGS, ETC. SHALL BE PERFORMED IN ACCORDANCE WITH THE ROOFING MANUFACTURER'S PUBLISHED SPECIFICATIONS AND INSTRUCTIONS. UTILIZING MANUFACTURER'S STANDARD DETAILS WHERE APPLICABLE.
2. IT IS NOT THE INTENT TO SHOW EVERY REQUIRED NEW PENETRATION. REFER TO PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS WHETHER SHOWN OR NOT. WHERE TRADE WORK IS PERFORMED ON A DESIGN-BUILD BASIS, ROOFER SHALL COORDINATE WITH TRADE SUBCONTRACTORS FOR SPECIFIC REQUIREMENTS.
3. VERIFY/COORDINATE EXACT SIZES AND LOCATIONS OF NEW CURBS AND FRAMED OPENINGS WITH REQUIREMENTS OF ACTUAL EQUIPMENT TO BE PROVIDED.

Approved
 AUG 21 2025
 City of Providence



Approved

AUG 21 2025

City of Providence

STRIVE | **MULTI-FAMILY APARTMENTS - CONCEPTUAL RENDERING**
639 ADMIRAL STREET, PROVIDENCE, RI

Project Status:
Project No.: 22051b
Date: 02/07/2025

VISION 3
ARCHITECTS



Approved

AUG 21 2025

City of Providence



Approved

AUG 21 2025

City of Providence

STRIVE | **MULTI-FAMILY APARTMENTS - CONCEPTUAL RENDERING**
639 ADMIRAL STREET, PROVIDENCE, RI

Project Status:
Project No.: 22051b
Date: 02/07/2025





Approved

AUG 21 2025

City of Providence

VISION 3
ARCHITECTS

STRIVE

MULTI-FAMILY APARTMENTS - CONCEPTUAL RENDERING

639 ADMIRAL STREET, PROVIDENCE, RI

22

Project Status:

Project No.: 22051b

Date: 02/07/2025



Approved

AUG 21 2025

City of Providence

STRIVE

MULTI-FAMILY APARTMENTS - CONCEPTUAL RENDERING

639 ADMIRAL STREET, PROVIDENCE, RI

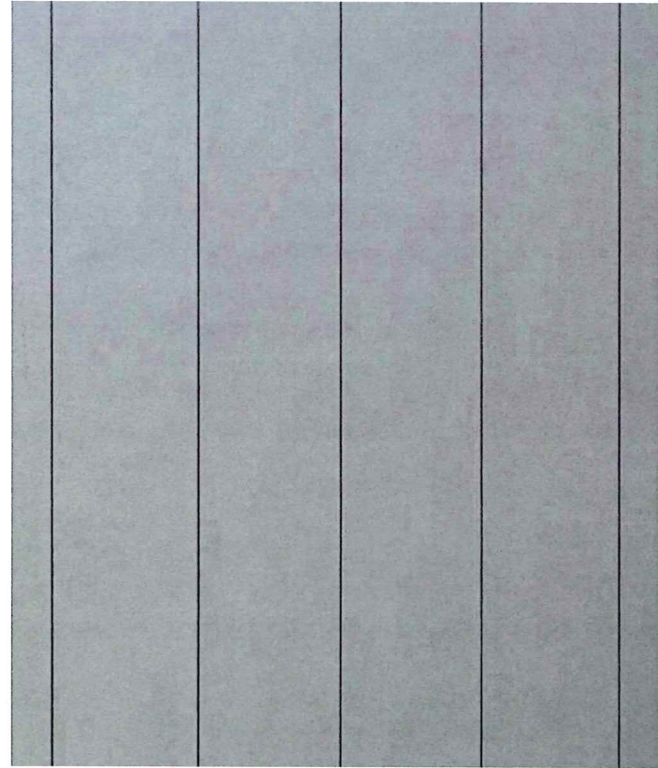
23

Project Status:

Project No.: 22051b

Date: 02/07/2025

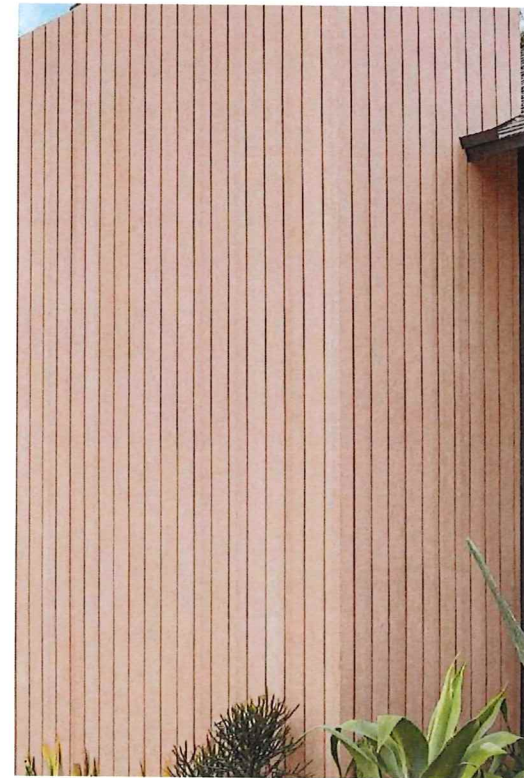
VISION 3
ARCHITECTS



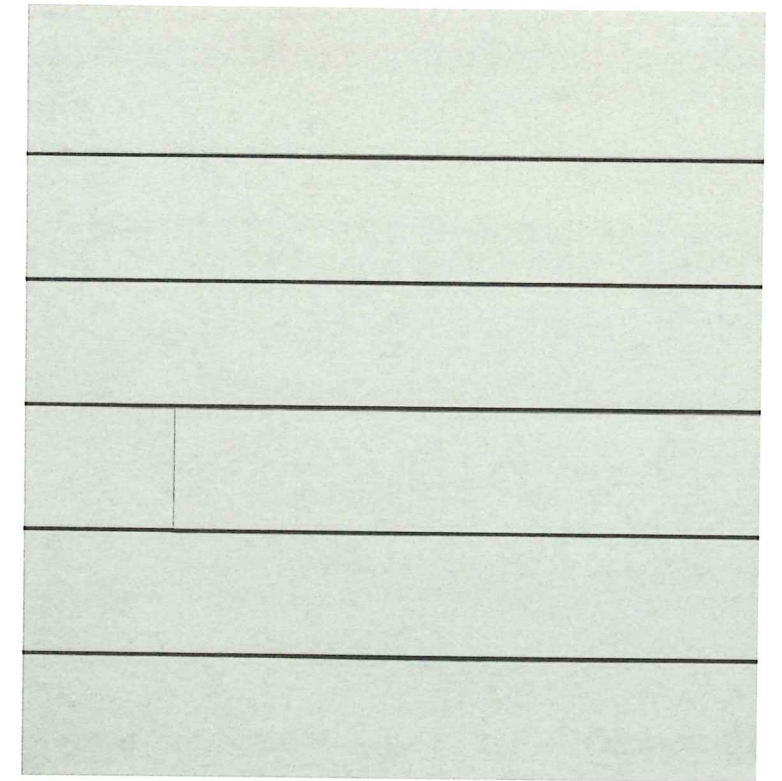
PROPOSED CLADDING - FIBER CEMENT NICKEL GAP SIDING WITH PAINTED FINISH



PROPOSED THIN BRICK CLADDING



PROPOSED COMPOSITE WOOD LOOK CLADDING



PROPOSED CLADDING - FIBER CEMENT LAP SIDING WITH PAINTED FINISH

Approved

AUG 21 2025

City of Providence

1907

1907

VISION 3

ARCHITECTS

ARCHITECTURE + INTERIOR DESIGN
225 Chapman Street, Providence, RI 02905
401.461.7771 | www.vision3architects.com

Project: Multi-family Apartment Building
639 Admiral Street, Providence, RI

Architect's Project No.: 22051b

MEMORANDUM

Date: August 22, 2025

To: Joseph Colaluca

From: Eric Engle

Re: Transparency calculations

Doc No: 20251000079
Book: 109 Page: 123

Dear Joe:

The compiled and updated transparency calculations are listed below for the project located at 639 Admiral Street, Providence, RI. The following is based on the Providence Zoning Ordinance section 503.A.3

Admiral Street:

- o Ground floor: Measured between two and nine feet above the adjacent grade
 $\pm 305 \text{ SF} * 50\% = \pm 152.5 \text{ SF MIN.} < 160 \text{ SF (PROVIDED)}$
- o 2nd floor: $467 \text{ sf} * 10\% = 46.7 \text{ sf} < 98 \text{ SF (PROVIDED)}$
- o 3rd floor: $467 \text{ sf} * 10\% = 46.7 \text{ sf} < 98 \text{ SF (PROVIDED)}$
- o 4th floor: $467 \text{ sf} * 10\% = 46.7 \text{ sf} < 98 \text{ SF (PROVIDED)}$

Wainwright Street:

- o Ground floor: Measured between two and nine feet above the adjacent grade
 $\pm 843 \text{ SF} * 15\% = \pm 126.45 \text{ SF MIN.} < \pm 226 \text{ SF (PROVIDED)}$
- o 2nd floor: $1312 \text{ sf} * 10\% = 131.2 \text{ sf} < 377 \text{ SF (PROVIDED)}$
- o 3rd floor: $1312 \text{ sf} * 10\% = 131.2 \text{ sf} < 377 \text{ SF (PROVIDED)}$
- o 4th floor: $1312 \text{ sf} * 10\% = 131.2 \text{ sf} < 377 \text{ SF (PROVIDED)}$

Note: \pm areas provided on ground floor due to sloped grade/ sidewalk

Distributed to (via email): Joseph Colaluca & John Longo

