



TORRADO
ARCHITECTS

ARCHITECT:

TORRADO ARCHITECTS
35 Greenwich Street
Providence, RI 02907
(401) 781-0633
(401) 781-0661 FAX
la.torrado@torrado-architects.com



AHLBORG
CONSTRUCTION CORPORATION

DESIGN / BUILD

AHLBORG, INC
335 Centerville RD
Warwick, RI 02886
(401) 681- 4949 FAX



ENGINEERING DESIGN SERVICES
INCORPORATED

MECHANICAL ENGINEER:

Engineering Design Services, INC.
141 Industrial Highway
Slatersville, RI 02876
(401) 765-7659
(401) 765-2984 FAX



WSP

STRUCTURAL ENGINEER:

WSP USA Buildings Inc.
1223 Mineral Spring Ave
North Providence, RI 02904
(401) 724-1771
www.wsp.com/usa



DEtec.

CIVIL ENGINEER:

D' Amico Engineering Tech, Inc.
2080 Mineral Spring Avenue
North Providence, RI 02904
(401) 724-1771
(401) 765-2984 FAX



Diane C. Soule & Associates, ASLA
Landscape Architecture

LANDSCAPE ARCHITECTURE:

Diane C Soule & Associates, ASLA
422 Farnum Pike
Smithfield, RI 02917
www.dianesouleandassociates.com
(401) 231-0736
email: diane@dcsa.ws



JENSEN HUGHES

CODE:

Jensen Hughes
3610 Commerce Drive, Suite 817
Baltimore, MD 21227
(410)-737-8677



SECURE OUR CITY
Security before you need it

SECURITY:

Secure Our City
20 Walnut St, Suite 1
Wellesley, MA 02771
(508) 966-7897

PRELIMINARY PLAN
REVIEW

October 20, 2025

PROJECT:
LIMA STUART PK-8 SCHOOL

188 PRINCETON AVENUE
PROVIDENCE, RI 02905



OWNER:
PROVIDENCE SCHOOL DEPARTMENT
717 WESTMINSTER STREET,
PROVIDENCE RI 02903

DRAWING LIST:

CIVIL

C0.1	GENERAL NOTES & LEGEND
C1.0	EXISTING CONDITIONS AND DEMOLITION PLAN
C2.0	SITE PLAN
C3.0	GRADING, DRAINAGE AND UTILITY PLAN
C4.0	SOIL EROSION AND SEDIMENT CONTROL PLAN
C6.0	SITE DETAILS PLAN NO.1
C7.0	SITE DETAILS PLAN NO.2

LANSCAPE

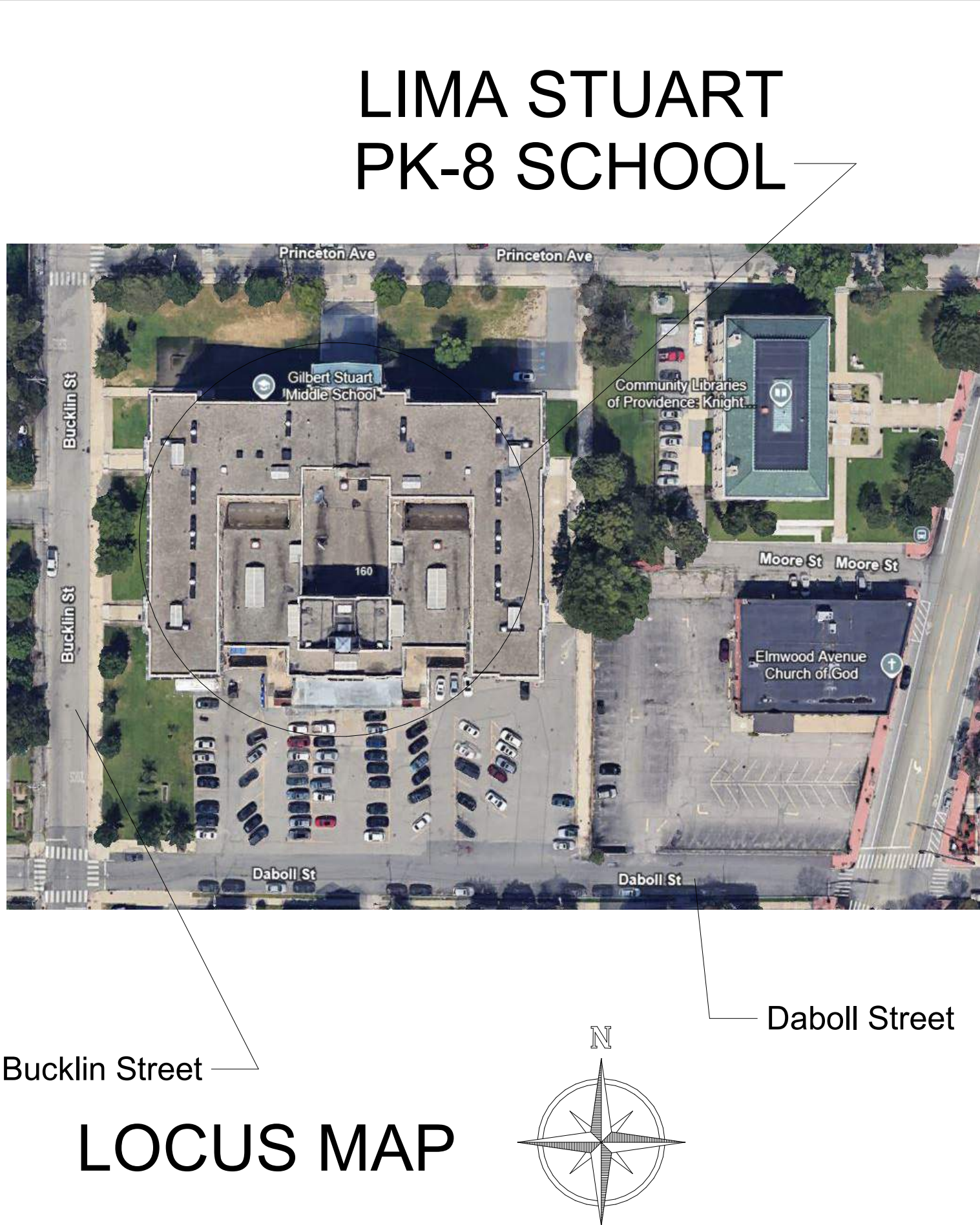
L1.0	LANDSCAPE PLAN
------	----------------

ELECTRICAL

E500	ELECTRICAL - SITE PLAN
------	------------------------

ARCHITECTURAL

A000	COVER SHEET & DRAWING LIST
A001	SITE PHOTOS
A002	BUILDING HEIGHT DIAGRAM
A101	1ST FLOOR PLAN
A102	2ND FLOOR PLAN
A103	3RD FLOOR PLAN
A300	EXTERIOR ELEVATIONS
A301	EXTERIOR ELEVATIONS
A302	EXTERIOR ELEVATIONS
A303	EXTERIOR ELEVATIONS
A304	EXTERIOR ELEVATIONS
	EXTERIOR RENDERS



GENERAL:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) OF ALL MATERIALS INDICATED ON THE PLANS IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
2. STOCKPILES OF EARTH MATERIALS SHALL NOT BE LOCATED ADJACENT TO DRAINAGE STRUCTURES.
3. ALL DISTURBED AREAS OUTSIDE OF THE PAVED AREAS WILL RECEIVE A MINIMUM OF 6" OF LOAM AND SEED.
4. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SURVEY LAYOUT SERVICES FOR THE WORK AND SHALL SUBMIT "AS-BUILT" DRAWINGS OF ALL WORK, WHICH SHALL BE STAMPED AND CERTIFIED BY A RHODE ISLAND REGISTERED PROFESSIONAL LAND SURVEYOR.
5. ANY ITEM OF WORK NOT SPECIFICALLY INDICATED ON THE PLANS BUT IS REQUIRED FOR THE COMPLETE CONSTRUCTION OF THE PROJECT WILL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND INCLUDED IN THE CONTRACT BID PRICE. IT WILL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL EXISTING SITE CONDITIONS.
6. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR ACTUAL SIZE OF THE PROPOSED BUILDING WORK RELATED TO BUILDINGS.
7. WHERE NECESSARY TO REMOVE CURBS, CATCH BASINS OR DRAINS TO COMPLETE WORK, THE CONTRACTOR SHALL REPLACE SUCH ITEMS TO THE SATISFACTION OF THE CITY/OWNER AT NO ADDITIONAL COST TO THE OWNER.
8. ANY EXISTING PIPE OR UTILITY DAMAGED BY THE CONTRACTORS OPERATIONS SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR AT NO COST TO THE OWNER OR CITY.
9. THE CONTRACTOR SHALL RESTORE TO ITS ORIGINAL CONDITION OR REPLACE TREES, SHRUBS, FENCES, SIGNS, GUARDRAILS, DRIVEWAYS, SIDEWALKS AND ANY OTHER OBJECT AFFECTED BY THIS OPERATION.
10. THE TOPS OF ALL VALVE BOXES AND CURB BOXES SHALL BE FLUSH WITH GROUND OR PAVEMENT SURFACE LEVEL AND PLUMB, UNLESS OTHERWISE DIRECTED.
11. ROADWAYS SHALL BE LEFT PASSABLE AT ALL TIMES. CLOSURE OF ROADWAY IS NOT PERMITTED.
12. THE CONTRACTOR SHALL PROVIDE ACCESS TO ALL DRIVEWAYS AT COMPLETION OF EACH DAYS WORK.
13. WATER SERVICE SHALL BE MAINTAINED AT ALL TIMES.
14. ALL LEDGE TO BE REMOVED BY MECHANICAL MEANS.
15. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN THE DRY. THE CONTRACTOR SHALL PROVIDE, OPERATE AND MAINTAIN ALL PUMPS, DRAINS, WET POINTS, SCREENS, OR OTHER FACILITIES NECESSARY TO CONTROL, COLLECT AND DISPOSE OF ALL SURFACE AND SUBSURFACE WATER ENCOUNTERED IN THE PERFORMANCE OF THE WORK.
16. ALL IMPORTED FILL MATERIAL SHALL BE CLEAN FILL, FREE OF DEBRIS AND ORGANIC MATTER. MATERIAL SHALL BE SUBJECT TO TESTING IF SO DIRECTED BY THE OWNER OR ENGINEER.
17. SITE TOPOGRAPHY BASED ON ASSUMED DATUM AS NOTED ON THE PLANS.

LAYOUT NOTE(S):

THE LAYOUT SHOWN REPRESENTS A GRAPHICAL DESIGN, AND PRIOR TO THE CONSTRUCTION, THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL LAND SURVEYOR (PLS) REGISTERED IN THE STATE OF RHODE ISLAND TO SET AND VERIFY ALL LINES AND GRADES. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY ITEMS FOUND WHICH DO NOT MATCH THE PLANS MUST BE BROUGHT TO THE ENGINEERS ATTENTION PRIOR TO CONSTRUCTION FOR REVIEW. NO WORK SHALL PROCEED UNTIL AUTHORIZED BY THE ENGINEER.

GENERAL CONTRACTOR NOTES & REQUIREMENTS:

1. THE CONTRACTOR IS TO NOTIFY DIG SAFE PRIOR TO CONSTRUCTION.
2. A PRE-CONSTRUCTION MEETING IS REQUIRED. THE ARCHITECT AND ENGINEER OF RECORD AND CITY ENGINEER SHALL BE NOTIFIED PRIOR TO CONSTRUCTION.
3. CONTRACTOR TO OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS (IF APPLICABLE) PRIOR TO THE START OF CONSTRUCTION.
4. ALL CATCH BASINS AND MANHOLES TO BE 4FT DIAMETER UNLESS SPECIFIED OTHERWISE.
5. COMPACT, LOAM & SEED ALL DISTURBED AREAS. ADDITIONAL EROSION CONTROLS MAY BE REQUIRED BY THE SITE OR CITY ENGINEER.
6. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE. DEVIATIONS OR CHANGES WILL NOT BE ALLOWED UNLESS APPROVED BY THE ENGINEER.
7. THE CONTRACTOR SHALL VERIFY THE PROPOSED LAYOUT WITH ITS RELATIONSHIP TO THE EXISTING SITE SURVEY. THE CONTRACTOR SHALL ALSO VERIFY ALL DIMENSIONS, SITE CONDITIONS, AND MATERIAL SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING OR PROCEEDING WITH WORK.
8. METHODS AND MATERIALS USED IN THE CONSTRUCTION OF IMPROVEMENTS FOR THIS PROJECT SHALL CONFORM TO THE CURRENT CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE CITY OF CENTRAL FALLS AND THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION.
9. THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION AND VERIFY ALL DIMENSIONS, SITE CONDITIONS, AND MATERIALS SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING OR PROCEEDING WITH WORK.
10. CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION OR BLASTING AT LEAST TWO WORKING DAYS, BUT NOT MORE THEN TEN WORKING DAYS, PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION. ALL WATER, GAS, SEWER AND OTHER UTILITIES SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
11. THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL AND ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THE PROJECT, EXCEPTING FOR LIABILITY ARISING FROM "THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER."
12. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AND TO TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING FACILITIES ON THESE PLANS; HOWEVER, THIS INFORMATION IS SHOWN FOR THE CONTRACTORS CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. THE CONTRACTOR SHALL CONTACT THE UTILITY COMPANIES FOR EXACT LOCATION OF THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE ANY AND ALL DAMAGED MADE TO UTILITIES BY THE CONTRACTOR.
13. ALL SITE WORK, INCLUDING BUT NOT LIMITED TO, BITUMINOUS PAVEMENT, ROADWAY CONSTRUCTION, AGGREGATE MATERIALS, DRAINAGE STRUCTURES, CURBING, SIDEWALK, LANDSCAPING, SAW CUTTING, ETC. SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, 2013 EDITION (WITH LATEST ADDENDA) AND THE RIDOT STANDARD DETAILS, 1998 EDITION (WITH LATEST ADDENDA).

BMP MAINTENANCE SCHEDULE:

1. ALL MAINTENANCE (INCLUDING CLEANING) REQUIRED DURING THE CONSTRUCTION PHASE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL INCLUDE:
 - A. MEASURES NEEDED TO ENSURE THE PROPER OPERATION OF THE STORMWATER RUNOFF (DRAINAGE) AND WATER QUALITY CONTROL SYSTEMS TO INCLUDE INSPECTION, CLEANING AND REPAIRS ALL PIPES, INTAKE AND DISCHARGE STRUCTURES, CATCH BASIN SUMPS, AND MANHOLES.
 - B. INSPECTION OF ALL SLOPES, BERMS, AND OTHER CONTROL STRUCTURES FOR STRUCTURAL INTEGRITY/STABILITY AND EVIDENCE OF SOIL EROSION PROCESSES, AND MAINTENANCE OF THESE STRUCTURES IF NECESSARY. INSPECTIONS SHALL BE PERFORMED FOLLOWING ALL RAIN EVENTS OF 1/2 INCH RAINFALL OR MORE IN A 24-HOUR PERIOD, OR BI-MONTHLY IF NO RAINFALL EVENT OCCURS.
2. UPON COMPLETION OF THE PROJECT CONSTRUCTION, AND PRIOR TO VACATING THE SITE, THE CONTRACTOR SHALL CONDUCT A FINAL INSPECTION AND CLEANING OF THE DRAINAGE SYSTEM AND ALL ASSOCIATED STRUCTURES.
3. AFTER THE COMPLETION OF THE ENTIRE PROJECT TO THE SATISFACTION OF THE OWNER OR ENGINEER, ALL MAINTENANCE OF THE DRAINAGE SYSTEM SHALL THEN BE THE RESPONSIBILITY OF THE OWNER OR HIS/HER APPROVED AGENTS.
4. AFTER THE COMPLETION OF PROJECT CONSTRUCTION AND THE FINAL STABILIZATION OF THE ENTIRE SITE, THE INSPECTION AND MAINTENANCE OF ALL STORMWATER FACILITIES MUST BE PERFORMED AS FOLLOWS:
 - A. ANY REQUIRED REPAIR AND REPLACEMENT OF DRAINAGE STRUCTURES OR FACILITIES SHALL BE DONE PROMPTLY TO ENSURE PROPER FUNCTIONING OF THE SYSTEM.
 - B. CATCH BASINS, MANHOLES, AND THE DETENTION BASIN SHALL BE INSPECTED AT LEAST ONCE PER YEAR AND ANY SEDIMENT OR DEBRIS WITHIN THE SUMPS SHALL BE REMOVED. SEDIMENTS SHALL BE REMOVED FROM THE DETENTION BASIN DURING THE FIRST YEAR OF OPERATION AND EVERY 5-YEARS THEREAFTER. MORE FREQUENT REMOVALS MAY BE NECESSARY IF THE SEDIMENT STORAGE CAPACITY OF THE FOREBAY OR POND IS EXCEEDED OR WHEN THE SEDIMENT DEPTHS REACH 6 INCHES, WHICHEVER COMES FIRST.
 - C. ALL DESIGN, CLEANING, AND MAINTENANCE OF THE STORMWATER DRAINAGE SYSTEM SHALL FOLLOW AT LEAST THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION MINIMUM STANDARDS, SECTION 708.03. WHERE APPROPRIATE, PROCEDURES REGARDING THE DRAINAGE DESIGN, AND THE INSPECTION AND MAINTENANCE OF THE STORMWATER DRAINAGE SYSTEM SHALL BE FOLLOWED AS OUTLINED IN THE "RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL" (RIDEM/RICRMC, JUNE 30, 2004).
 - D. ANY TRASH, DEBRIS, ETC. SHALL BE REMOVED IMMEDIATELY FROM WETLAND AREAS, DETENTION BASINS, SWALES AND PIPE OUTLETS.
 - E. DETENTION BASINS AND SWALES SHALL BE MOWED AT LEAST ONCE DURING THE GROWING SEASON TO PREVENT UNWANTED WOODY GROWTH.
 - F. SWALES AND DETENTION AREAS; SHALL BE INSPECTED AFTER MAJOR STORM EVENTS OR AN ANNUAL BASIS. REPAIRS SHALL BE PERFORMED IMMEDIATELY AS CONDITIONS WARRANT. BARE SPOTS AND ERODED ARE AS SHALL BE RESEEDD IMMEDIATELY FOLLOWING OBSERVATION. ALL LITTER AND TRASH SHALL BE REMOVED DURING INSPECTIONS.
 - G. CATCH BASINS, MANHOLES AND DRAIN LINES; AN INSPECTION MUST OCCUR ON AN ANNUAL BASIS BY QUALIFIED PERSONNEL TO ENSURE PROPER OPERATION. THE INSPECTION SHOULD, AS A MINIMUM, CONCENTRATE ON THE FOLLOWING:
 - DAMAGE TO GRATES AND/OR COVER
 - EVIDENCE OF STANDING WATER
 - DEBRIS REMOVAL
 - STRUCTURAL ALIGNMENT/ INTEGRITYANY DEFICIENCY NOTED DURING THE INSPECTION SHALL BE IMMEDIATELY REPAIRED OR REPLACED.
 - H. SEDIMENT REMOVAL: ALL REMOVED SEDIMENT IS TO BE TESTED TO DETERMINE POLLUTANT CONTENT. THE SEDIMENT IS TO BE PROPERLY DISPOSED IN UPLAND AREAS BASED UPON THE TEST RESULTS AND LOCAL, STATE, AND FEDERAL REGULATIONS.

DRAINAGE SYSTEM MAINTENANCE SCHEDULE:

1. ALL MAINTENANCE (INCLUDING CLEANING) REQUIRED DURING THE CONSTRUCTION PHASE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL INCLUDE:
 - INSPECTION, REPAIR AND/OR REPLACEMENT OF CATCH BASIN INLET PROTECTION.
 - REMOVAL OF SEDIMENT FROM DRAINAGE STRUCTURES AND PIPES DURING AND FOLLOWING THE END OF CONSTRUCTION.
2. MEASURES NEEDED TO ENSURE THE PROPER OPERATION OF THE STORMWATER RUNOFF (DRAINAGE) AND WATER QUALITY CONTROL SYSTEMS TO INCLUDE INSPECTION, CLEANING AND REPAIRS TO ALL PIPES, INTAKE AND DISCHARGE STRUCTURES (INCLUDING RIP-RAP SPLASH PADS), DETENTION PONDS, SWALES, CATCH BASIN SUMPS, AND MANHOLES.
3. INSPECTION OF ALL SLOPES, BERMS, AND OTHER CONTROL STRUCTURES (INCLUDING ROADWAY SIDE SLOPES, FOR STRUCTURAL INTEGRITY/STABILITY AND EVIDENCE OF SOIL EROSION PROCESSES, AND MAINTENANCE OF THESE STRUCTURES IF NECESSARY. INSPECTIONS SHALL BE PERFORMED FOLLOWING ALL RAIN EVENTS OF 1/2 INCH RAINFALL OR MORE IN A 24-HOUR PERIOD, OR BI-MONTHLY IF NO RAINFALL.
4. UPON COMPLETION OF PROJECT CONSTRUCTION, AND PRIOR TO VACATING THE SITE, THE CONTRACTOR SHALL CONDUCT A FINAL INSPECTION, REPAIR ANY VEGETATIVE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES (SEEDING, PLANTING, ETC.) WHERE REQUIRED, AND REPAIR (OR REMOVE WHERE APPROPRIATE) ANY TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL DEVICES. AFTER PERMANENT SOIL STABILIZATION ON THE ENTIRE SITE HAS OCCURRED, ALL TEMPORARY CONTROL MEASURES (EXCLUDING STAKED HAYBALES) MUST BE REMOVED.
5. REPLANTING, REGRADING, OR OTHER REPAIRS NEEDED AS A RESULT OF SOIL EROSION AND SEDIMENTATION PROCESSES SHALL BE DONE PROMPTLY TO ENSURE PROPER FUNCTIONING OF THE ENTIRE SYSTEM.
6. WHEN ALL CONSTRUCTION IS COMPLETED, THE SITE HAS BEEN STABILIZED TO PREVENT EROSION AND SEDIMENTATION BY A WELL ESTABLISHED VEGETATIVE COVER, AND THE DRAINAGE IMPROVEMENTS HAVE BEEN INSPECTED AND ACCEPTED BY THE CITY AND THE OWNER, THE PARTY RESPONSIBLE FOR LONG TERM MAINTENANCE, INSPECTION AND REPAIRS TO ALL DRAINAGE FACILITIES SHOWN ON THESE PLANS, SHALL BE THE OWNER OF THE LOT OR LOTS ON WHICH THE DRAINAGE FACILITIES ARE LOCATED INCLUDING THE LULC, DETENTION BASIN, SWALES, PIPES AND CATCHBASINS.
7. ANY TRASH, DEBRIS, ETC. SHOULD BE REMOVED FROM THE DETENTION BASIN, SUBSURFACE STORMWATER MANAGEMENT AREA, SWALE(S), INLETS, AND PIPE OUTLETS.
8. CATCH BASINS, MANHOLES AND DRAIN LINES: AN INSPECTION MUST OCCUR ON AN ANNUAL BASIS BY QUALIFIED PERSONAL TO ENSURE PROPER OPERATION. THE INSPECTION SHOULD, AS A MINIMUM, CONCENTRATE ON THE FOLLOWING:
 - DAMAGE TO GRATE AND COVER
 - EVIDENCE OF STANDING WATER
 - DEBRIS REMOVAL
 - STRUCTURAL ALIGNMENT/ INTEGRITYANY DEFICIENCY NOTED DURING THE INSPECTION WILL BE IMMEDIATELY REPAIRED OR REPLACED.
9. THE GRASSED AREAS SHALL BE INSPECTED AT LEAST TWICE PER YEAR TO CHECK FOR EROSION PROBLEMS. PROBLEM AREAS SHALL BE RE-SEEDD IMMEDIATELY TO STABILIZE EXPOSED SOIL, THEREBY PREVENTING EROSION AND POTENTIAL CLOGGING OF OUTFLOW DEVICES.
10. AN AREA SHALL BE SET ASIDE IN THE DEVELOPMENT SITE IN, AN UPLAND LOCATION OUTSIDE OF JURISDICTIONAL WETLANDS FOR THE PURPOSE OF SEDIMENT DISPOSAL, IF AN OFF SITE DISPOSAL AREA IS NOT FEASIBLE.
11. SEDIMENT REMOVED FROM THE BASIN(S) SHALL BE TESTED FOR HEAVY METALS AND OTHER CONTAMINANTS FOLLOWING OPERATION. IF IT IS FOUND THAT SEDIMENTS ARE CONTAMINATED THEY SHALL BE TRANSPORTED TO A STATE APPROVED DISPOSAL SITE.

WATER INSTALLATION NOTES:

1. ALL INSTALLATIONS, JOINTS, CONSTRUCTION METHODS AND MATERIALS SHALL BE ACCORDING TO THE PROVIDENCE WATER SUPPLY BOARD REQUIREMENTS, ANWA STANDARDS AND GOVERNMENTAL REQUIREMENTS.
2. INSTALLATION OF ALL WATER CONVEYANCES, MAINS, PIPES OR LINES SHALL BE IN ACCORDANCE WITH THE DUCTILE IRON PIPE RESEARCH ASSOCIATIONS INSTALLATION MANUAL AND ANSI/AWWA C300 AND ALL OTHER REQUIREMENTS OF THE PROVIDENCE WATER SUPPLY BOARD.
3. WATER PIPES SHALL TYPICALLY BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM SEWER PIPES, AND AT A MINIMUM DEPTH OF COVER EQUAL TO 5'. WHERE A NEW WATER PIPE IS LESS THAN 18 INCHES CLEAR DISTANCE ABOVE A SEWER OR WHERE A WATER PIPE PASSES BENEATH A SEWER OR STORM DRAIN, ENCASE THE SEWER OR DRAIN IN 6" OF CONCRETE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE CROSSING WATER PIPE.
4. ALL SYSTEM COMPONENTS AND CONSTRUCTION METHODS: SUCH AS PIPE, THRUST BLOCKS, FITTINGS, CASTINGS, ETC. SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION. THIS SUBMISSION SHALL INCLUDE MANUFACTURERS LITERATURE, SHOP DRAWINGS, PROPOSED CONSTRUCTION METHODS, ETC.
5. WATER LINE TRENCH TO BE AWWA TYPE 5. A METALIZED DETECTABLE IDENTIFICATION TAPE 2" IN WIDTH, BLUE IN COLOR AND PRINTED WITH "CAUTION WATERLINE BURIED BELOW" SHALL BE UTILIZED OVER ALL MAINS. TAPE SHALL BE SET AT APPROXIMATELY 1" BELOW FINISHED GRADE.
6. THE CONTRACTOR SHALL RECEIVE VERIFICATION FROM THE ENGINEER AS TO THE APPROPRIATE SIZE OF THE DOMESTIC WATER AND FIRE PROTECTION LINE SHOWN ON THE PLANS PRIOR TO ORDERING WATER PIPE RELATED ITEMS.
7. SPECIFIC BENDS ARE SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL PROVIDE ADDITIONAL BENDS AS NECESSARY TO INSTALL THE PIPE AT THE REQUIRED DEPTH AND ALIGNMENT.

REQUIRED INFILTRATION SETBACKS

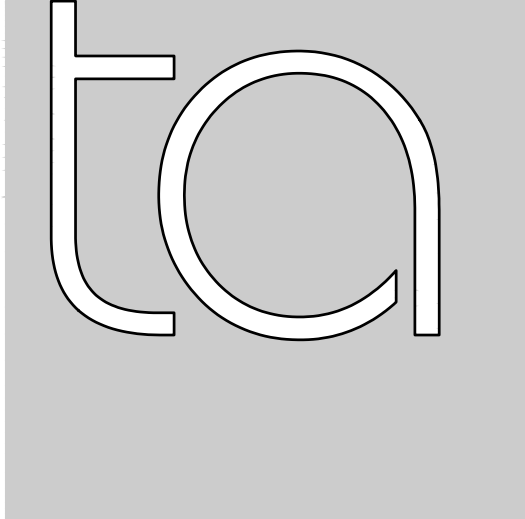
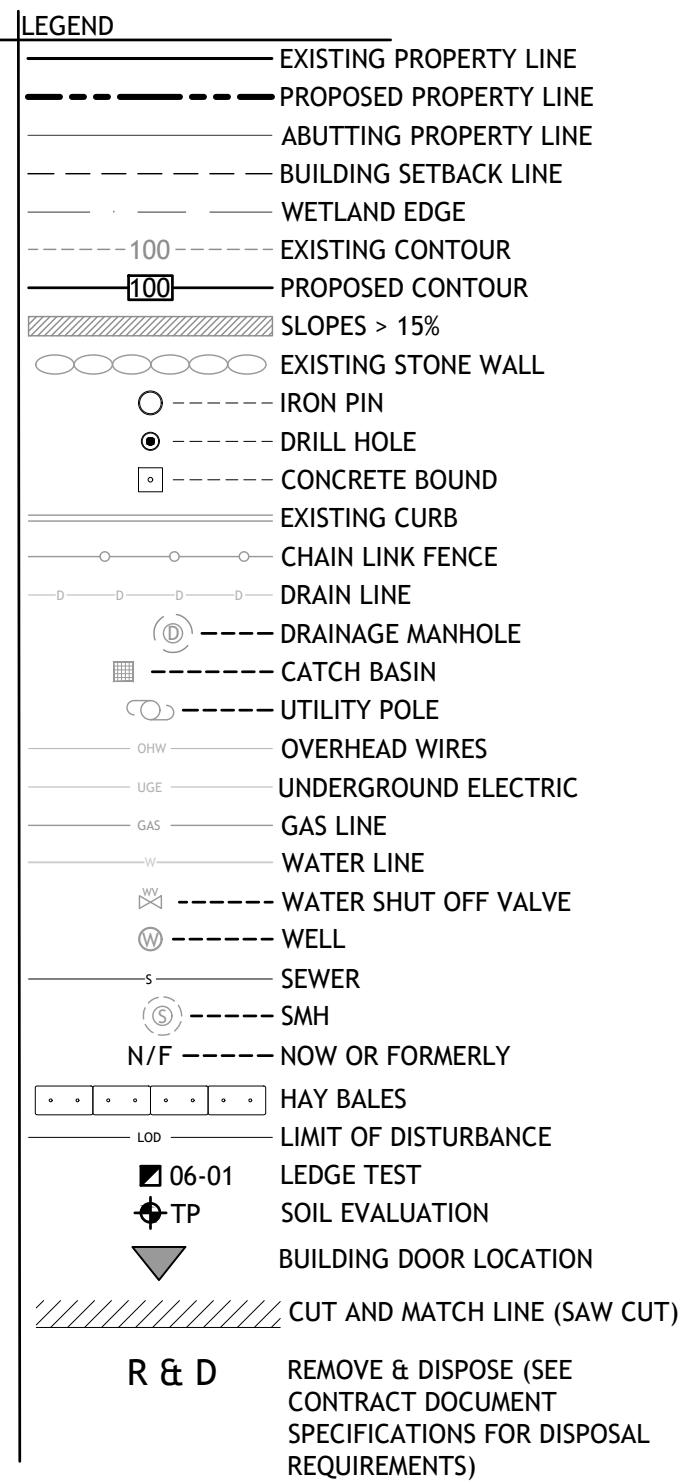
1. THE PROPOSED INFILTRATION SYSTEMS MEETS THE 3' MINIMUM SEPARATION DISTANCE BETWEEN THE DESIGN BOTTOM OF THE STRUCTURE AND THE SEASONAL HIGH WATER TABLE. THOUGH THE TEST HOLE ONLY WENT TO 10' BASED ON THE SIZE OF THE BACKHOLE. NO SIGHT WAS DETECTED IN THE HOLE AND IS ESTIMATED TO BE 10' TO 12' BELOW THIS ELEVATION.
2. THE PROPOSED INFILTRATION SYSTEM MEETS THE 5' MINIMUM SEPARATION DISTANCE BETWEEN THE DESIGN BOTTOM OF THE STRUCTURE AND BEDROCK.
3. THE PROPOSED INFILTRATION SYSTEM IS NOT WITHIN 25 FEET OF ANY SEPTIC SYSTEM COMPONENT.
4. THE PROPOSED INFILTRATION SYSTEM IS NOT WITHIN 200 FEET OF ANY SURFACE DRINKING WATER SUPPLIES AND THEIR RESPECTIVE TRIBUTARIES.
5. THE PROPOSED INFILTRATION SYSTEM IS NOT WITHIN 150 FEET OF ANY COASTAL FEATURE.
6. THE PROPOSED INFILTRATION SYSTEM IS NOT WITHIN 50 FEET OF ANY SURFACE WETLAND OR COASTAL WETLAND.
7. THE PROPOSED INFILTRATION SYSTEM IS NOT WITHIN 10 FEET OF ANY BUILDING FOUNDATION AND THE PROPOSED FOUNDATION FLOOR ELEVATION IS ABOVE THE INVERT OF THE PROPOSED INFILTRATION SYSTEM.

NOTE:

IF ANY SETBACK IS LESS THAN THE REQUIRED SETBACK AS DETERMINED BY THE GOVERNING AGENCY, THE GOVERNING AGENCY SHALL SUPERSEDE ABOVE BULLETED SETBACK(S). REFER TO THE LOCAL BUILDING OFFICIAL FOR DETAILED SETBACK CRITERIA.

CITY DPW AND RIDOT NOTES:

1. ALL WORK WITHIN RIDOT RIGHT-OF-WAYS, INCLUDING BUT NOT LIMITED TO, BITUMINOUS PAVEMENT, ROADWAY CONSTRUCTION, AGGREGATE MATERIALS, DRAINAGE STRUCTURES, CURBING, SIDEWALK, LANDSCAPING, SAW CUTTING, ETC. SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, 2004 EDITION (WITH LATEST ADDENDA) AND THE RIDOT STANDARD DETAILS, 1998 EDITION (WITH LATEST ADDENDA).
2. A SEPARATE RIDOT UTILITY PERMIT APPLICATION AND APPROVAL IS REQUIRED FOR ANY UTILITY WORK (INCLUDING SEWER, WATER, GAS, ELECTRIC, ETC.) WITHIN THE STATE RIGHT-OF-WAY TO BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
3. ALL WORK WITHIN THE CITY RIGHT-OF-WAYS, INCLUDING BUT NOT LIMITED TO, BITUMINOUS PAVEMENT, ROADWAY CONSTRUCTION, AGGREGATE MATERIALS, DRAINAGE STRUCTURES, CURBING, SIDEWALKS, LANDSCAPING, SAW CUTTING, ETC. SHALL CONFORM TO THE CITY'S STANDARD DETAILS AVAILABLE AT [https://www.providenceci.gov/public-works/forms/under "Reports + Publications" or at https://www.providenceci.gov/vp-content/uploads/2019/06/Providence-DPW-Standard-Details.pdf](https://www.providenceci.gov/public-works/forms/under%20Reports%20Publications%20or%20at%20https://www.providenceci.gov/vp-content/uploads/2019/06/Providence-DPW-Standard-Details.pdf)

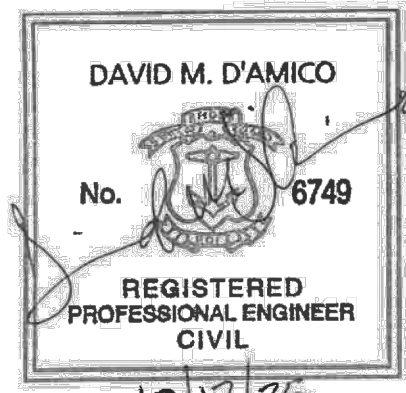


TORRADO
ARCHITECTS

35 GREENWICH ST.
PROVIDENCE, RI 02907
401.781.0633 P
401.781.0661 F



KEY PLAN



OWNER:

CITY OF
PROVIDENCE

Providence City Hall
25 Dorrance Street
Providence, RI 02903

PROJECT:

NEW SCHOOL:

LIMA STUART
ELEMENTARY
SCHOOL

188 PRINCETON AVE.
Providence, RI 02903

CONTENT:

GENERAL
NOTES &
LEGEND

STATUS:

SCHEMATIC DESIGN FOR PERMIT

DATE: REV. # DESCRIPTION

REVISIONS:

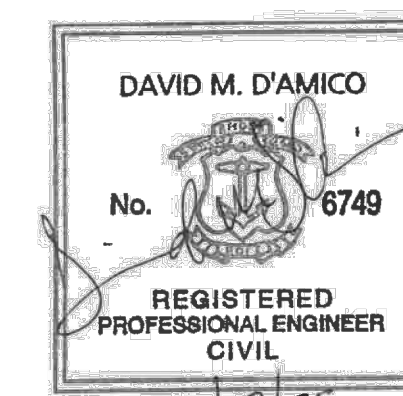
DATE: AUG. 29, 2025
JOB No:
DRWN BY: D.M.D.
CHECKED BY: D.M.D.
SCALE: AS NOTED

CO. 1

SHEET OF



KEY PLAN



OWNER:

CITY OF
PROVIDENCE

Providence City Hall
25 Dorrance Street
Providence, RI 02903

PROJECT:

NEW SCHOOL:

LIMA STUART
ELEMENTARY
SCHOOL

188 PRINCETON AVE.
Providence, RI 02903

CONTENT:

EXISTING
CONDITIONS
AND
DEMOLITION
PLAN

STATUS:

SCHEMATIC DESIGN FOR PERMIT

DATE: REV. # DESCRIPTION

REVISIONS:

DATE: AUG. 29, 2025
JOB No:
DRWN BY: D.M.D.
CHECKED BY: D.M.D.
SCALE: AS NOTED

C1.0

SHEET OF

CLASS I PROPERTY LINE AND III
TOPOGRAPHIC SURVEY CONDUCTED BY:

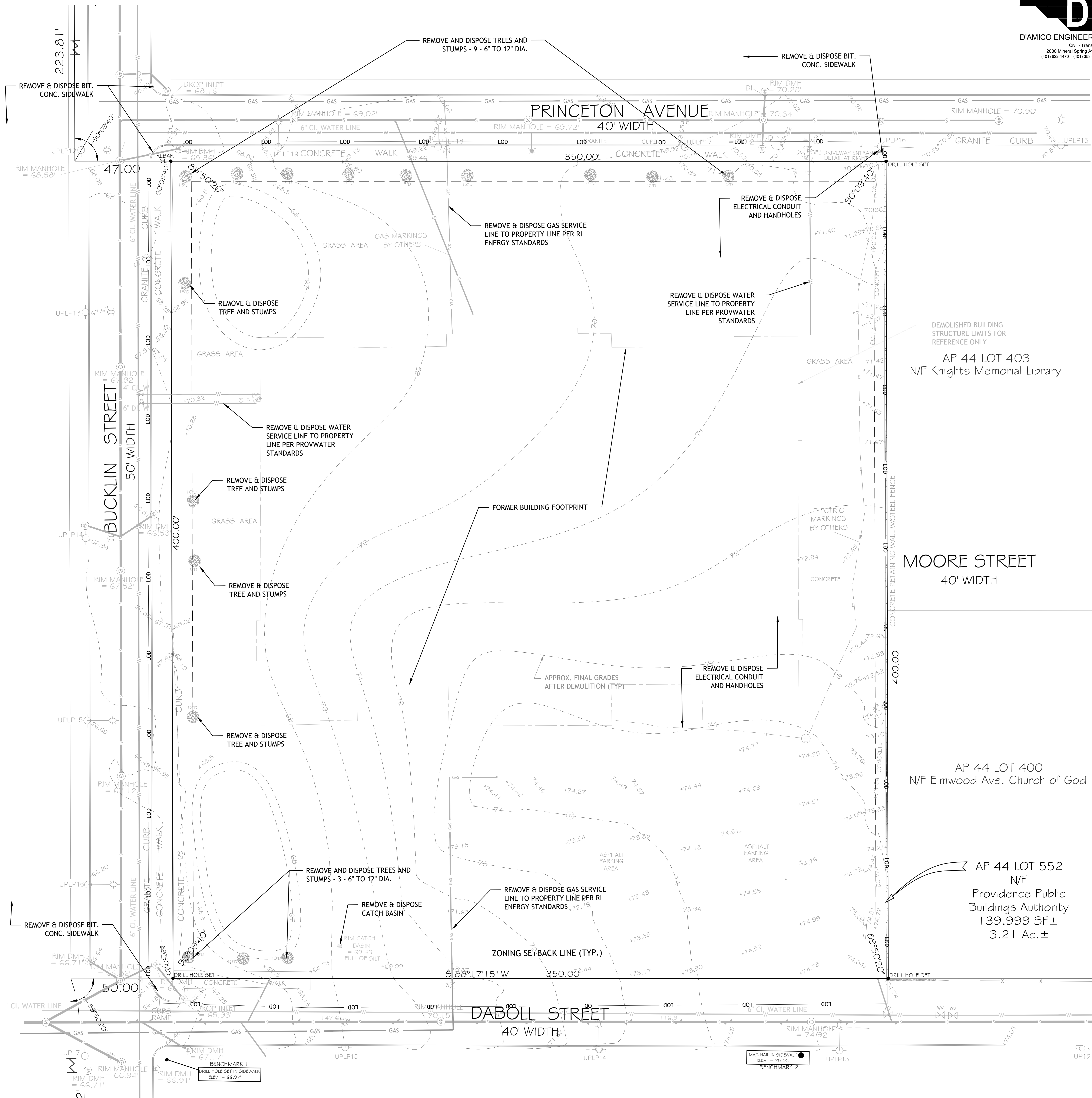
CANAVAN
& Associates, Inc.
Land Surveying
CONSTRUCTION - LAND - COMMERCIAL - RESIDENTIAL
450 George Washington Highway
Smithfield, R.I. 02917
P=(401)232-1990 F=(401)232-1994

NOTES:

1. INFORMATION BY DETEC PROVIDED ON THIS EXISTING CONDITIONS PLAN IS TO AUGMENT THE BASE SURVEY FOR PERMITTING AND DESIGN WITH THE ADDITION OF SITE SPECIFIC FEATURES AND SITE UTILITIES TAKEN FROM RECORDS AND SITE ON-THE-GROUND MEASUREMENTS. THE PE STAMP IS AFFIXED FOR THIS INFORMATION ONLY.
2. DEMOLITION INFORMATION DEVELOPED BY DETEC.
3. BASED ON FEMA FLOOD INSURANCE RATE MAP (FIRM) FOR THE CITY OF PROVIDENCE, COMMUNITY-PANEL NUMBER 445406, MAP NUMBER 4407C03166 EFFECTIVE DATE MAP REVISED MARCH 2, 2009, THE SITE IS LOCATED IN ZONE 'X' AND OUTSIDE FLOOD ZONE 'A', 'AE', 'AH' OR 'AO' OTHER AREAS (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).

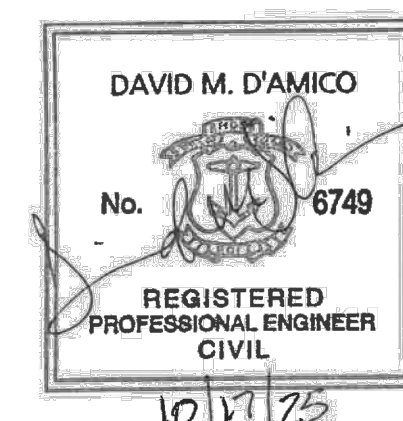
ZONING CRITERIA	REQUIRED	EXIST. LOT 552
ZONING DISTRICT	PS - PUBLIC SPACE DIST.	PS
MINIMUM LOT AREA	NONE	139,999 SF
MINIMUM FRONTAGE AND LOT WIDTH	NONE	350.0'
MAXIMUM BUILDING HEIGHT	50 FT	59' TO 95.40' *
MINIMUM FRONT SETBACK	10 FT	81.5'
MINIMUM INTERIOR SIDE SETBACK	6 FT	41.4'
MINIMUM CORNER SIDE SETBACK	10 FT	41.3'
MINIMUM REAR YARD SETBACK	25 FT	NA
MAXIMUM BUILDING/IMPERVIOUS COVERAGE	NONE	NA

* EXISTING NON-CONFORMING DIMENSIONS
OF RECORD FOR BUILDING HEIGHT





KEY PLAN



OWNER:

CITY OF
PROVIDENCE

Providence City Hall
25 Dorrance Street
Providence, RI 02903

PROJECT:

NEW SCHOOL:

LIMA STUART
ELEMENTARY
SCHOOL

188 PRINCETON AVE.
Providence, RI 02903

CONTENT:

SITE PLAN

STATUS:

SCHEMATIC DESIGN FOR PERMIT

DATE: REV. # DESCRIPTION
REVISIONS:

DATE: AUG. 29, 2025
JOB No:
DRWN BY: D.M.D.
CHECKED BY: D.M.D.
SCALE: AS NOTED

C2.0

SHEET OF

PROPOSED PARKING CALCULATION(S):

ARTICLE 14 - OFF-STREET PARKING AND LOADING

TABLE 14-1: OFF-STREET VEHICLE AND BICYCLE PARKING REQUIREMENTS,
EDUCATIONAL FACILITY - SECONDARY

VEHICLE SPACES: 1 PER 3 EMPLOYEES, BICYCLE SPACES: 3 PER CLASSROOM

REQUIRED PARKING = 66 EMPLOYEES/3 = 22 PARKING SPACES

REQUIRED VEHICLE: 22 SPACES
PROVIDED VEHICLE: 25 SPACES

REQUIRED BICYCLE SPACES = 40 x 3 = 120 BICYCLE SPACES

REQUIRED BICYCLE: 120 SPACES
PROVIDED BICYCLE: 24 SPACES **

ADA ACCESSIBLE SPACE(S) REQUIRED: 3

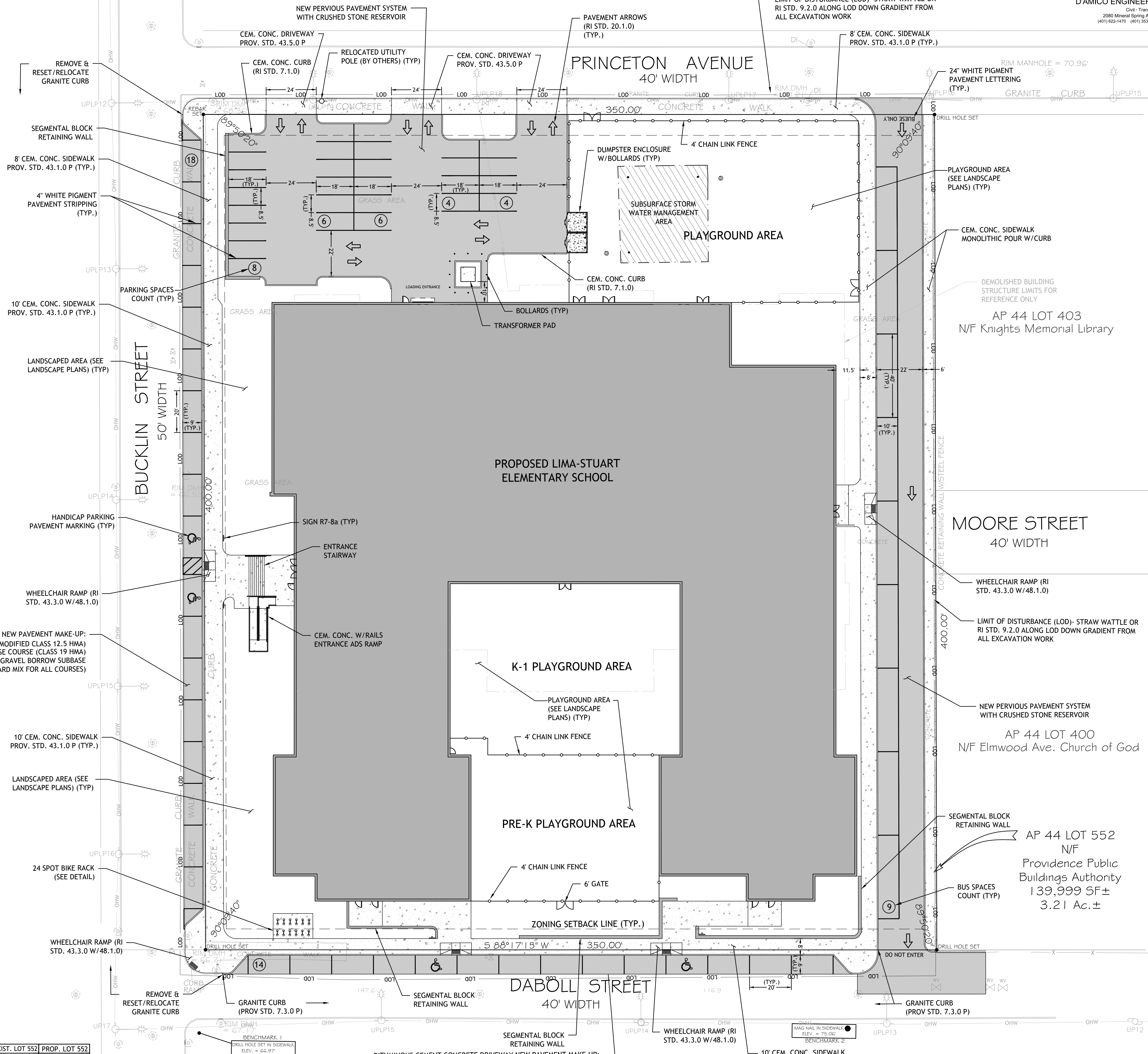
ADA ACCESSIBLE SPACE(S) PROVIDED: 3

ONE (1) LOADING SPACE PROVIDED

ZONING CRITERIA	REQUIRED	EXIST. LOT 552	PROP. LOT 552
ZONING DISTRICT	PS - PUBLIC SPACE DIST.	PS	PS
MINIMUM LOT AREA	NONE	139,999 SF	139,999 SF
MINIMUM FRONTAGE AND LOT WIDTH	NONE	350.0'	400.0'
MAXIMUM BUILDING HEIGHT	50 FT	59' TO 95.40' *	50'
MINIMUM FRONT SETBACK	10 FT	81.5'	25.5'
MINIMUM INTERIOR SIDE SETBACK	6 FT	41.4'	38.1'
MINIMUM CORNER SIDE SETBACK	10 FT	41.3'	23.3'
MINIMUM REAR YARD SETBACK	25 FT	NA	NA
MAXIMUM BUILDING/IMPERVIOUS COVERAGE	NONE	NA	NA

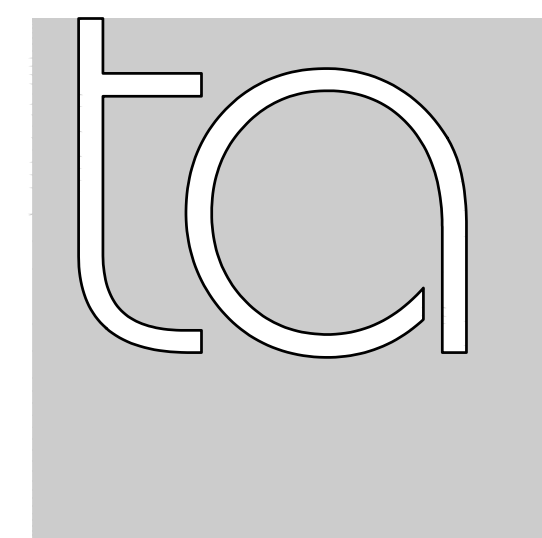
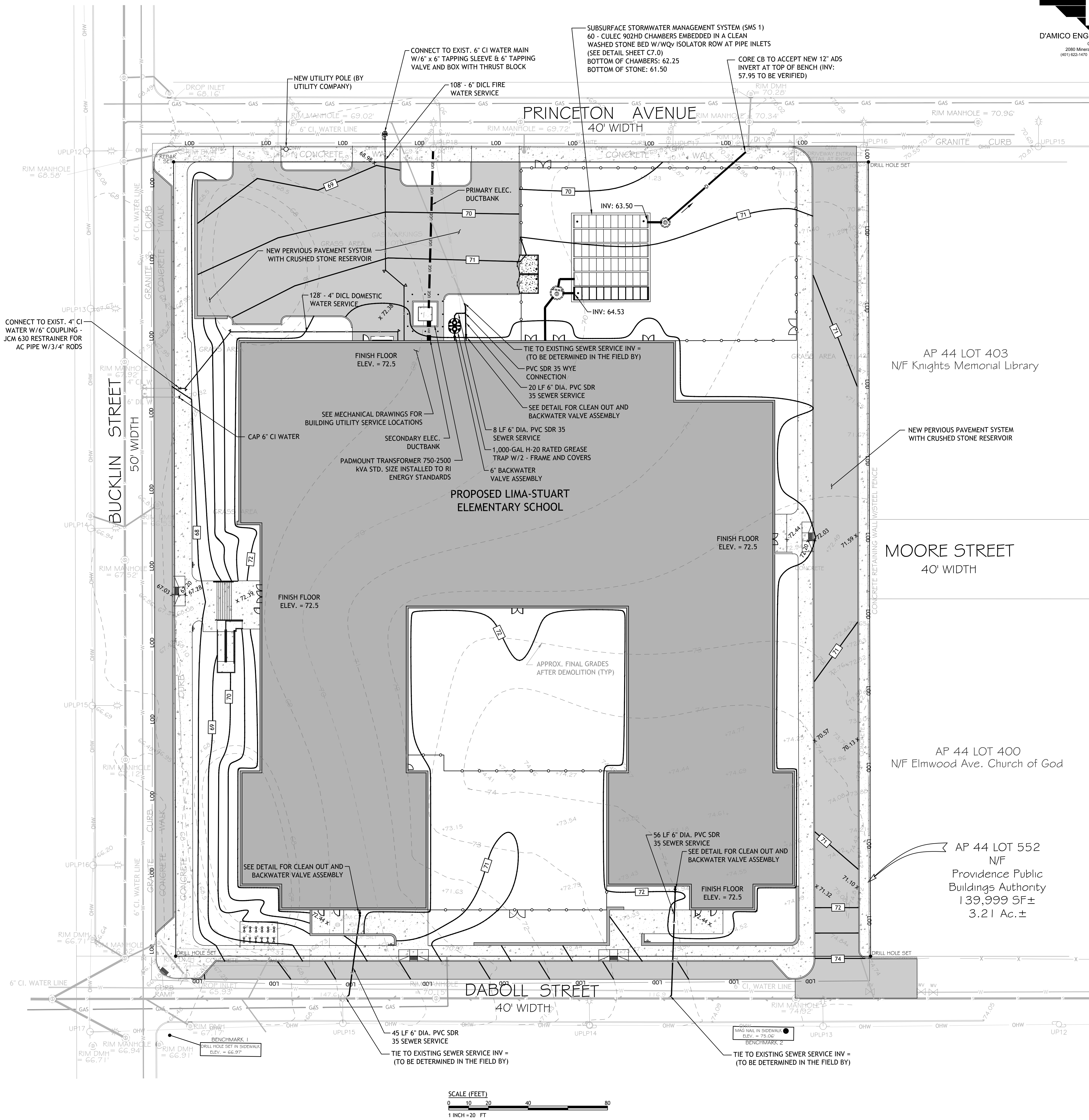
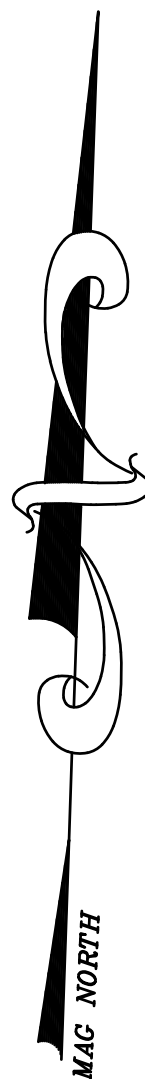
* EXISTING NON-CONFORMING DIMENSIONS
OF RECORD FOR BUILDING HEIGHT

** BICYCLE SPACE VARIANCE REQUIRED OF 96 SPACES



SCALE (FEET)
0 10 20 40 60 80
1 INCH = 20 FT

ALL DIMENSIONS, PLANS, ELEVATIONS, SPECIFICATIONS, COMPUTER DATA FILES, FIELD NOTES, AND ALL OTHER DOCUMENTS PREPARED BY LA TORRADO ARCHITECTS, A CORPORATION, AS INSTRUMENTS OF SERVICE, SHALL BE THE PROPERTY OF LA TORRADO ARCHITECTS, A CORPORATION, AND SHALL REMAIN THE PROPERTY OF LA TORRADO ARCHITECTS, A CORPORATION, AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF LA TORRADO ARCHITECTS, A CORPORATION.

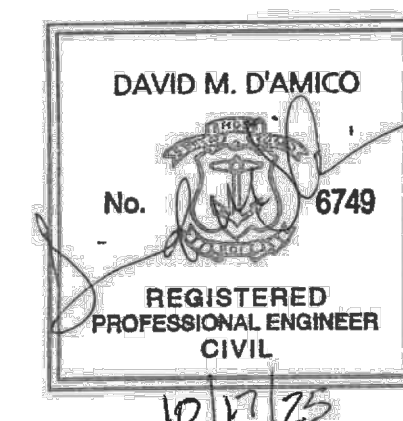


TORRADO
ARCHITECTS

35 GREENWICH ST.
PROVIDENCE, RI 02907
401.781.0633 P
401.781.0661 F



KEY PLAN



OWNER:

CITY OF PROVIDENCE

Providence City Hall
25 Dorrance Street
Providence, RI 02903

PROJECT:

NEW SCHOOL:

**LIMA STUART
ELEMENTARY
SCHOOL**

188 PRINCETON AVE.
Providence, RI 02903

CONTENT:

**GRADING,
DRAINAGE
AND
UTILITY
PLAN**

STATUS:

SCHEMATIC DESIGN FOR PERMIT

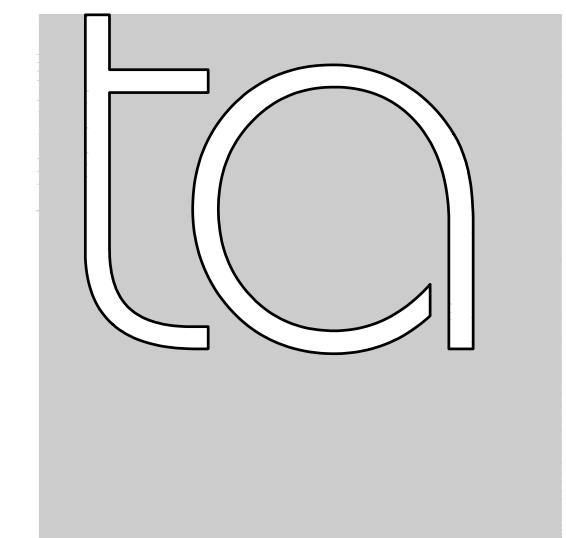
DATE: REV. # DESCRIPTION

REVISIONS:

DATE: AUG. 29, 2025
JOB No:
DRWN BY: D.M.D.
CHECKED BY: D.M.D.
SCALE: AS NOTED

C3.0

SHEET OF

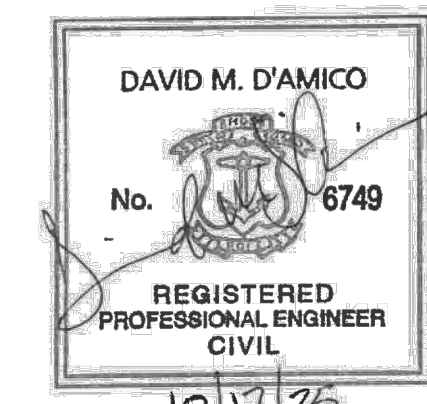


TORRADO
ARCHITECTS

35 GREENWICH ST.
PROVIDENCE, RI 02907
401.781.0633 P
401.781.0661 F



KEY PLAN



OWNER:

**CITY OF
PROVIDENCE**

Providence City Hall
25 Dorrance Street
Providence, RI 02903

PROJECT:

NEW SCHOOL:

**LIMA STUART
ELEMENTARY
SCHOOL**

188 PRINCETON AVE.
Providence, RI 02903

CONTENT:

**SOIL EROSION
AND
SEDIMENT
CONTROL
PLAN**

STATUS:

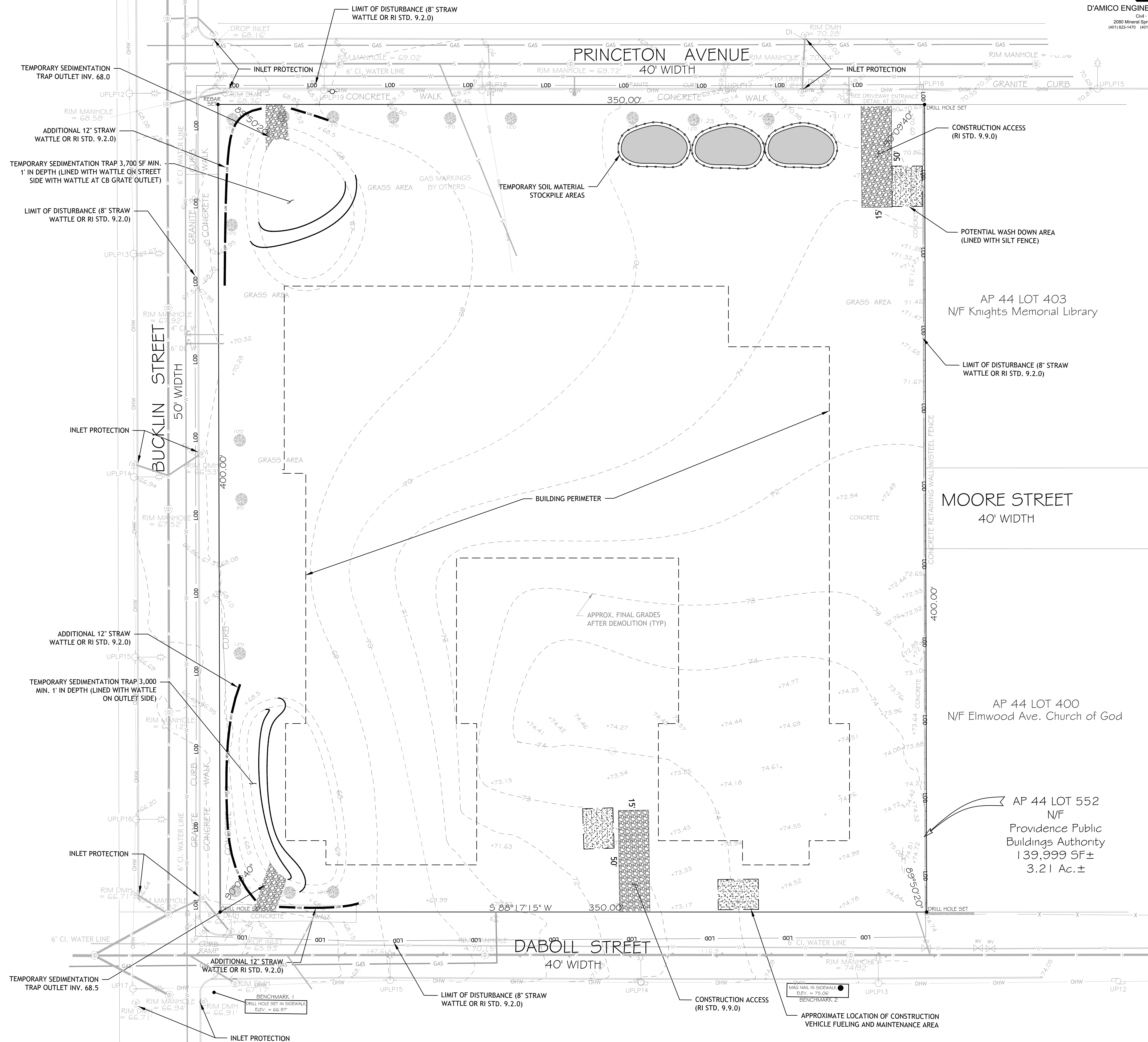
SCHEMATIC DESIGN FOR PERMIT

DATE: REV. # DESCRIPTION
REVISIONS:

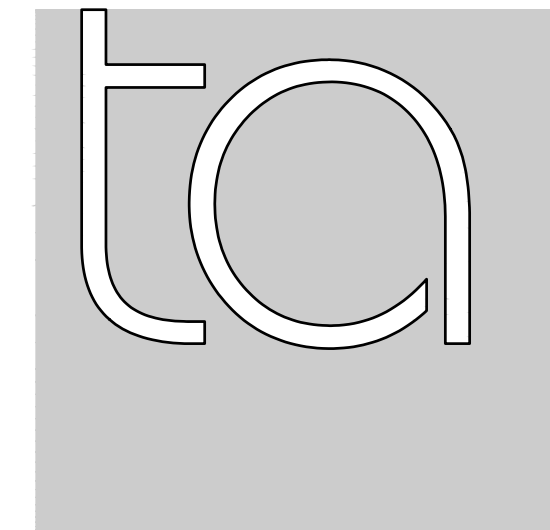
DATE: AUG. 29, 2025
JOB No:
DRWN BY: D.M.D.
CHECKED BY: D.M.D.
SCALE: AS NOTED

C4.0

SHEET OF



ALL DIMENSIONS, PLANS, ELEVATIONS, SPECIFICATIONS, COMMENTS, DATA, NOTES, FIELD NOTES, AND ALL OTHER DOCUMENTS PROVIDED BY TORRADO ARCHITECTS, A CORPORATION, AS INSTRUMENTS OF SERVICE, SHALL BE THE PROPERTY OF TORRADO ARCHITECTS, A CORPORATION, AND SHALL REMAIN THE PROPERTY OF TORRADO ARCHITECTS, A CORPORATION, AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF TORRADO ARCHITECTS, A CORPORATION.



35 GREENWICH ST.
PROVIDENCE, RI 02907
401.781.0633 P
401.781.0661 F

CALLED
 NORTH


DAVID M. D'AMICO

No. 6749

REGISTERED
PROFESSIONAL ENGINEER
CIVIL

10/17/25

CITY OF
PROVIDENCE

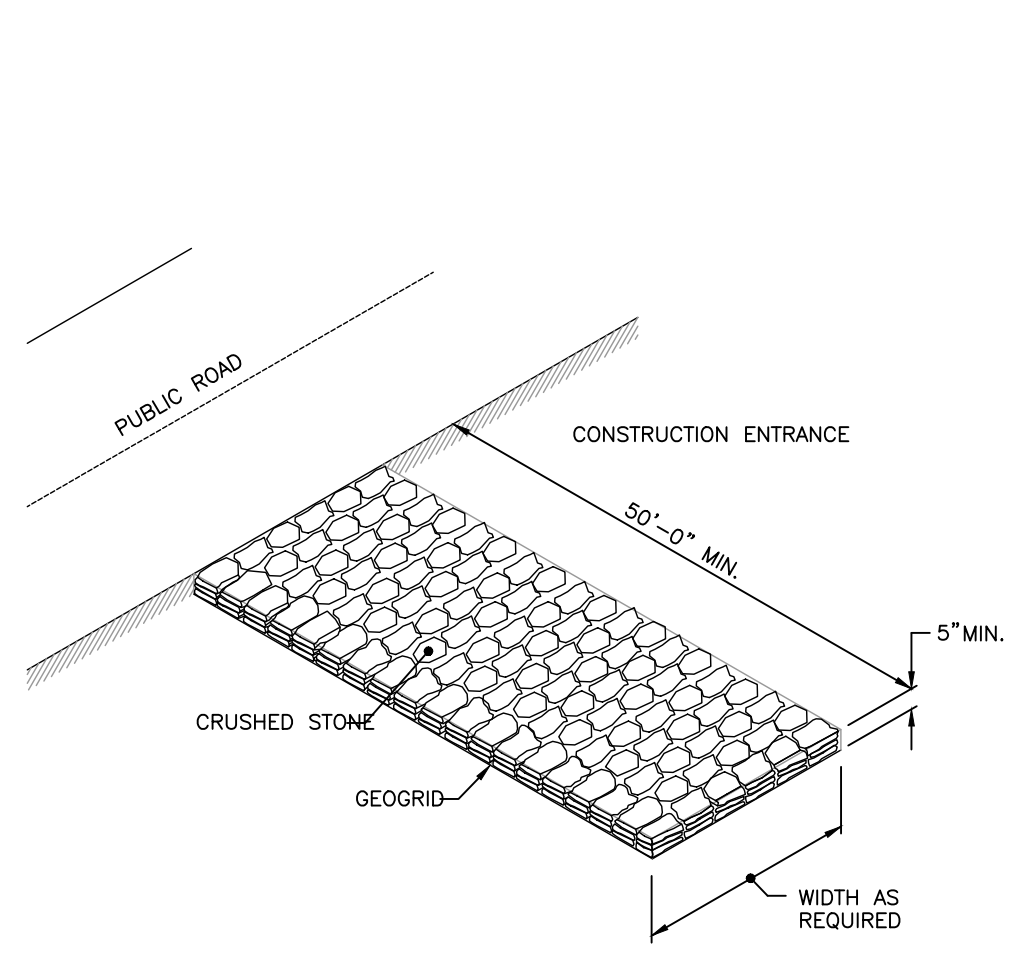
LIMA STUART
ELEMENTARY
SCHOOL

SOIL EROSION AND SEDIMENT CONTROL DETAILS

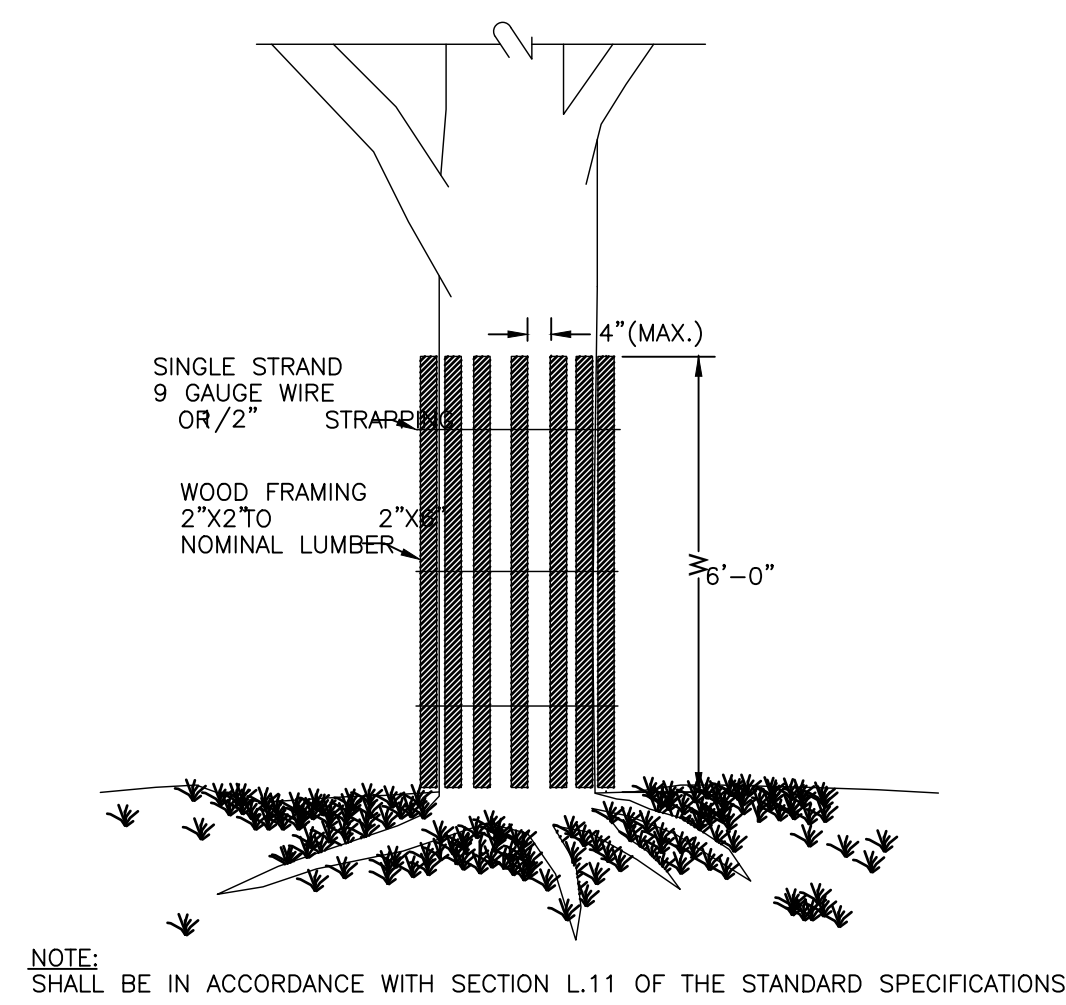
DATE:	REV. #	DESCRIPTION
REVISIONS:		

C5.0

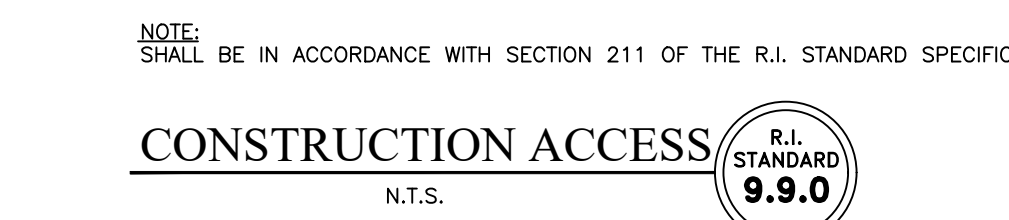
SHEET **OF**



CONSTRUCTION ACCESS
N.T.S.



TREE PROTECTION DEVICE



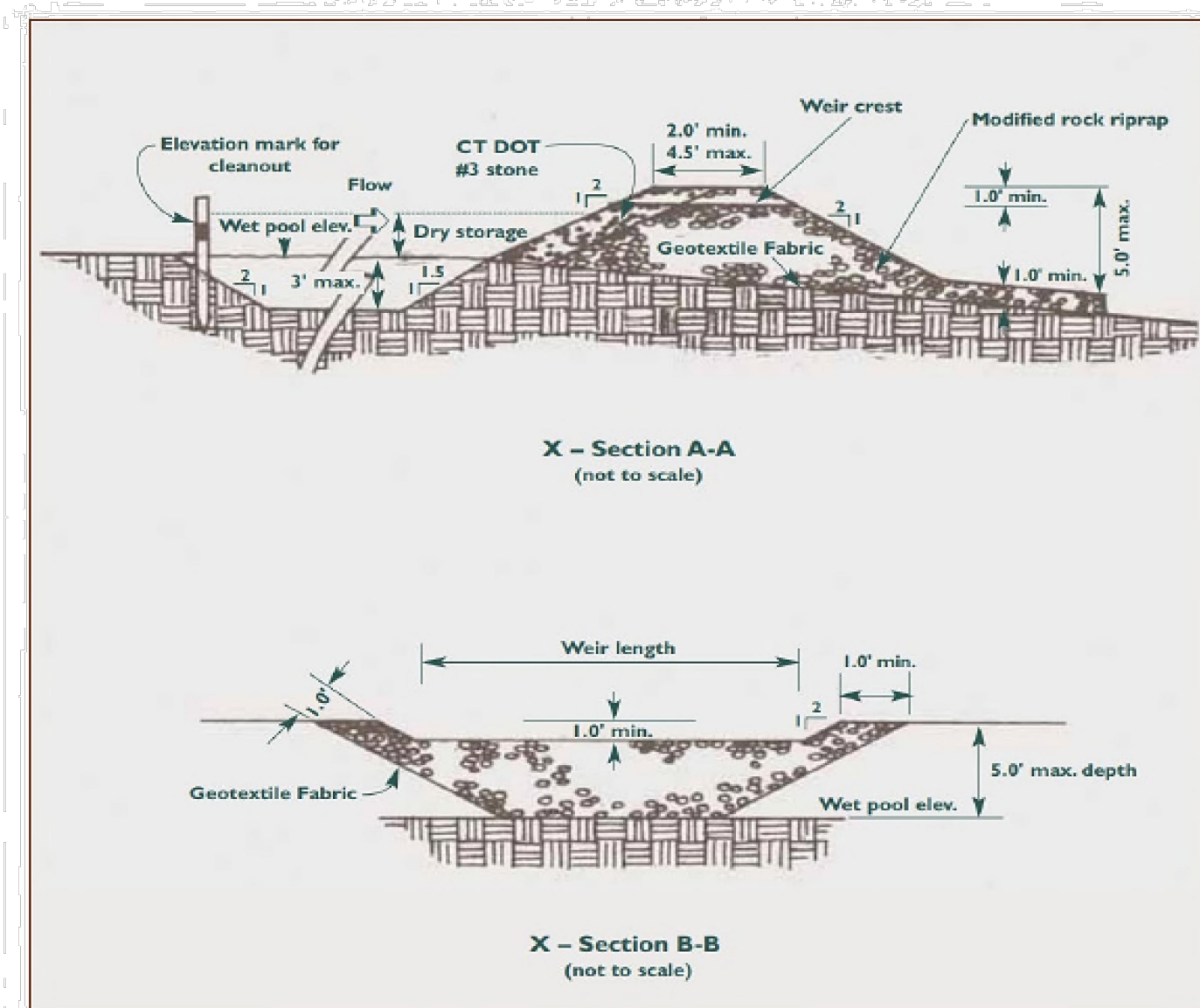
The diagram illustrates a cross-section of a pervious stone dike. The dike has a top width labeled 'MINIMUM TOP WIDTH' and a crest labeled 'HEAVY CREST'. The crest has a width of '1.0 MIN.'. The dike is composed of 'PVIOUS STONE DIKE (SEE NOTES 1 & 2)' and is topped with '2 OR FLATTER' on both sides. The height of the dike is labeled 'H (3/4 MAX.)'. The dike is placed on 'STRIPPED GROUND' and is surrounded by '1.5 OR FLATTER' on both sides. The dike is filled with 'WET POOL ELEV.' and 'STRIPPED GROUND'. The dike is labeled 'Vd = DRY STORAGE = 4.0' MAX.' and 'Vw = WET STORAGE = 3.0' MAX.'. The dike is labeled 'CROSS - SECTION (NOT TO SCALE)' and 'ORIGINAL GROUND ELEV.'.

TOP WIDTH VS. HEIGHT

H = HEIGHT OF EMBANKMENT
W = TOP WIDTH OF EMBANKMENT

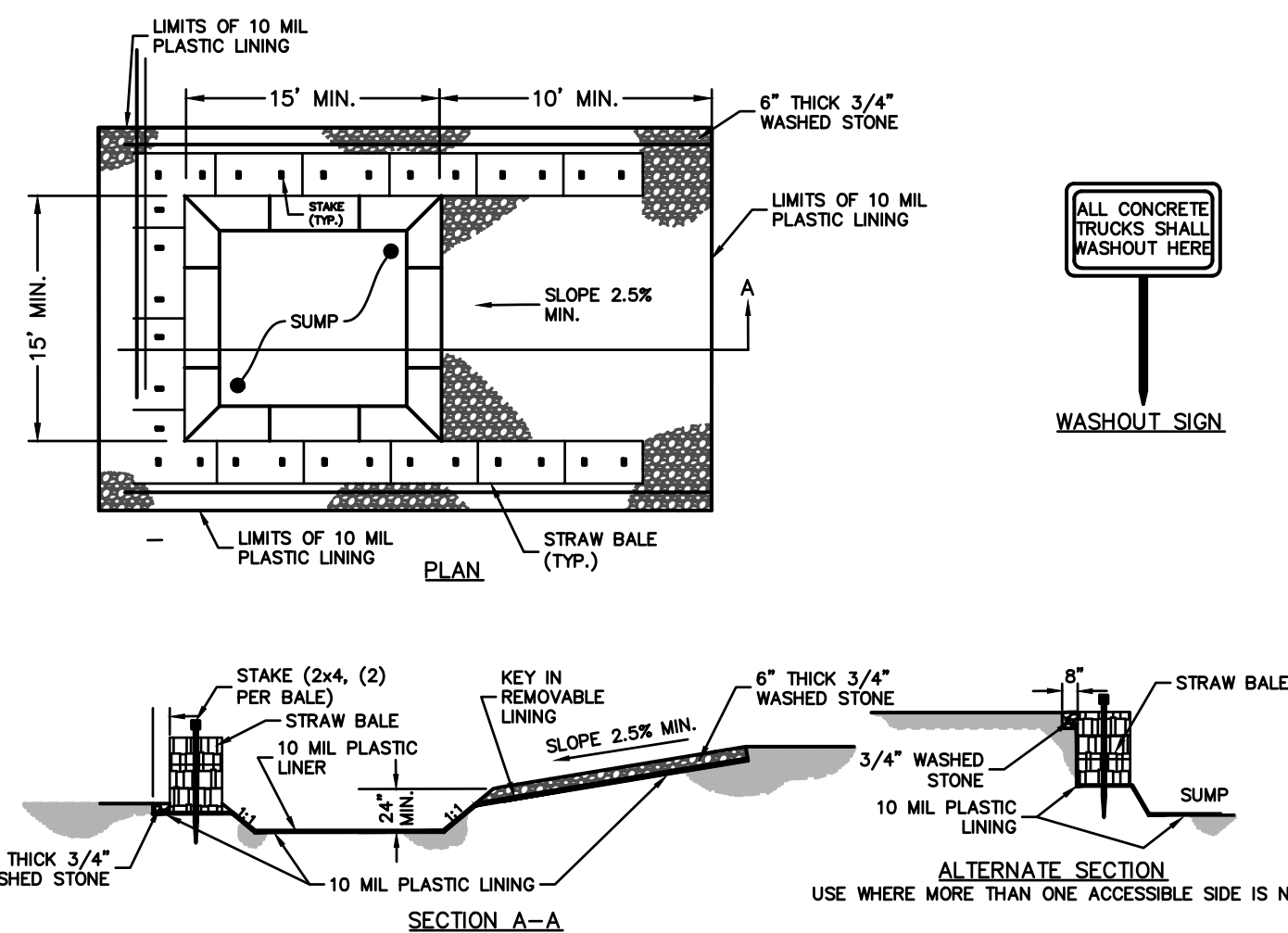
H (ft)	W (ft)
1.5	2.0
2.0	2.0
2.5	2.5
3.0	2.5
3.5	3.0
4.0	4.0
4.5	4.0
5.0	4.5

Figure 5- 78 Views of a Temporary Sediment Trap Outlet



(Credit: Connecticut Guidelines for Erosion & Sediment Control, Sept. 30, 2023)

TEMPORARY SEDIMENT TRAP DETAIL
N.T.S.



ALL CONCRETE
TRUCKS SHALL
WASHOUT HERE

WASHOUT SIGN

1. PIT IS SPECIFICALLY DESIGNATED, Diked AND CONTAINED TO PREVENT CONTACT BETWEEN CONCRETE WASH AND STORMWATER.
2. WASH WATER SHALL NOT BE ALLOWED TO FLOW TO SURFACE WATER.
3. FACILITY MUST HOLD SUFFICIENT VOLUME TO CONTAIN CONCRETE WASTE WITH A MINIMUM FREEBOARD OF 12".
4. FACILITY SHALL NOT BE FILLED BEYOND 12" OF FREEBOARD UNLESS A NEW FACILITY IS CONSTRUCTED. WASHOUT AREA SHALL BE EMPTIED AT THIS TIME AND DISPOSED OF IN ACCORDANCE WITH ALL REGULATIONS.
5. SAW CUT PORTLAND CEMENT CONCRETE, RESIDUE FROM SPOILING OR GRINDING TO BE DISPOSED OF IN THE PIT.
6. CONCRETE WASHOUTS SHALL BE LOCATED A MINIMUM OF 100' FROM DRAINAGE WAYS, INLETS, & SURFACE WATER.
7. MANUFACTURED CONCRETE WASHOUT DEVICES MAY BE USED IF REMOVED FROM THE SITE WHEN AT 85% FULL CAPACITY.

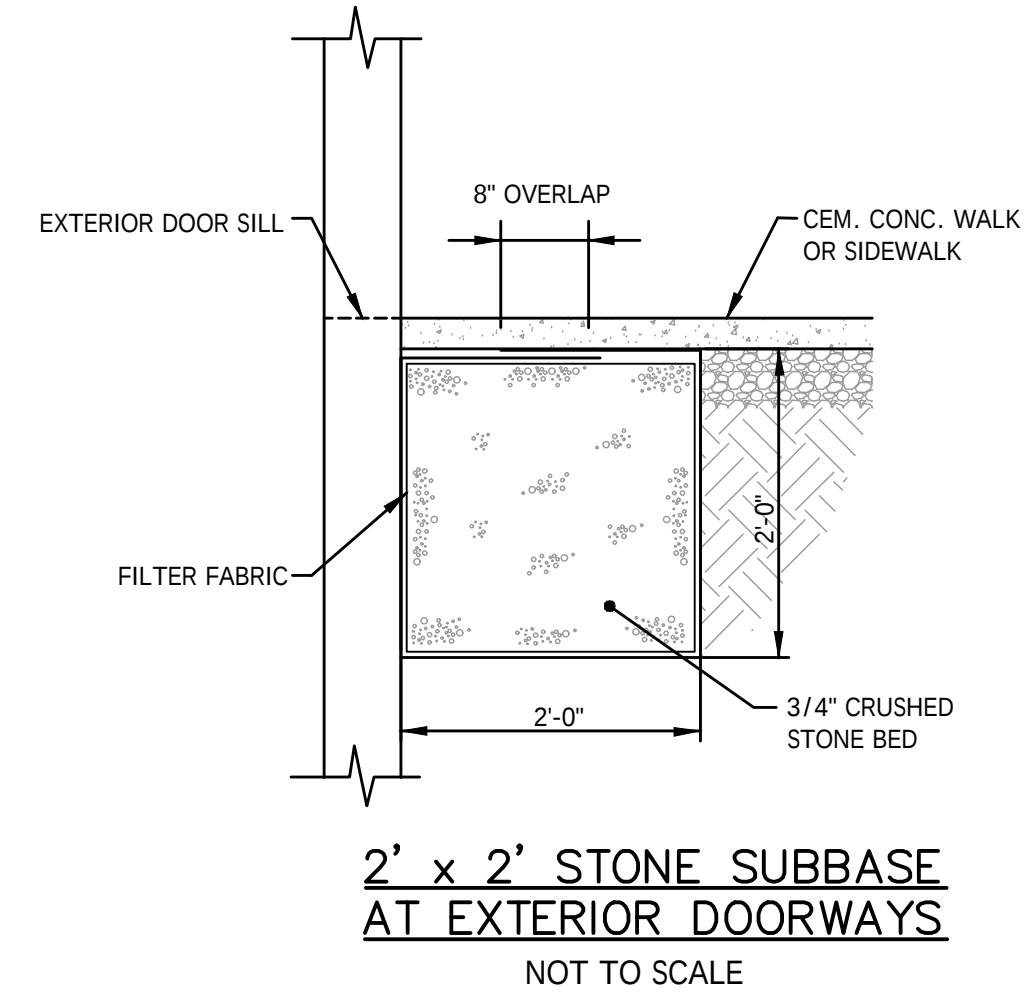
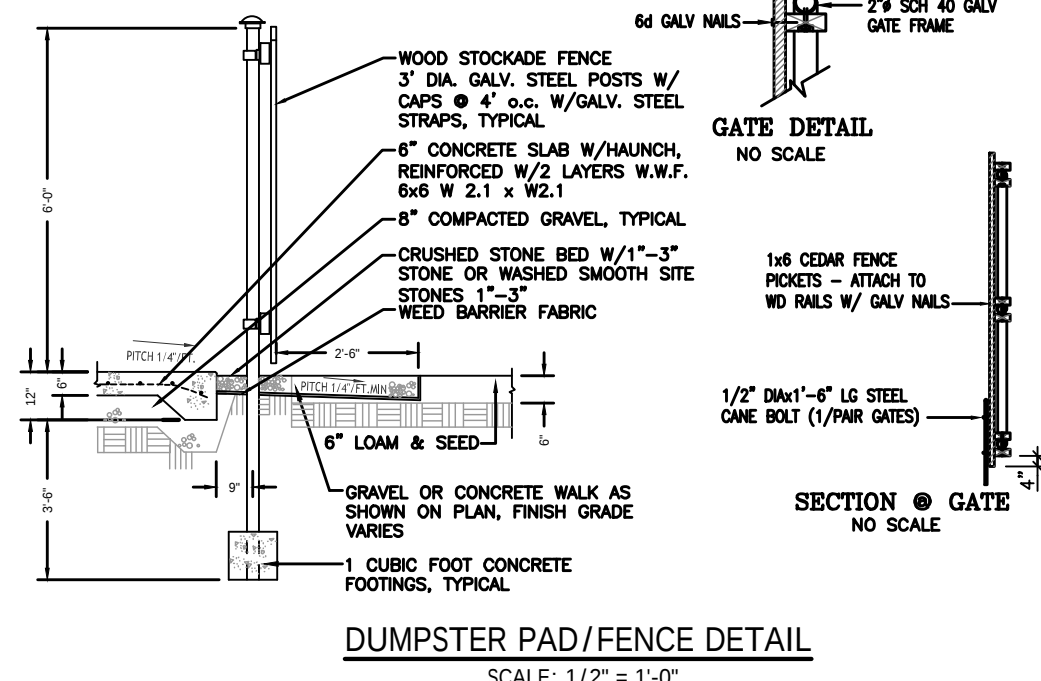
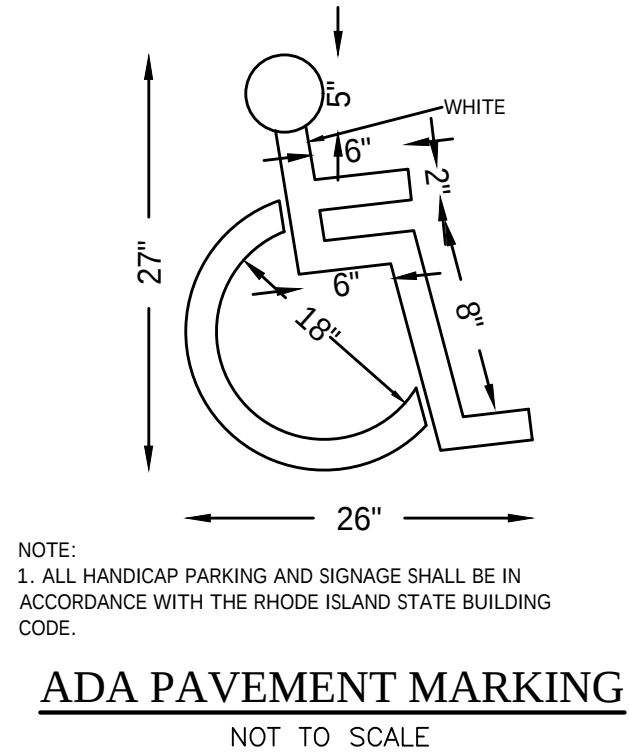
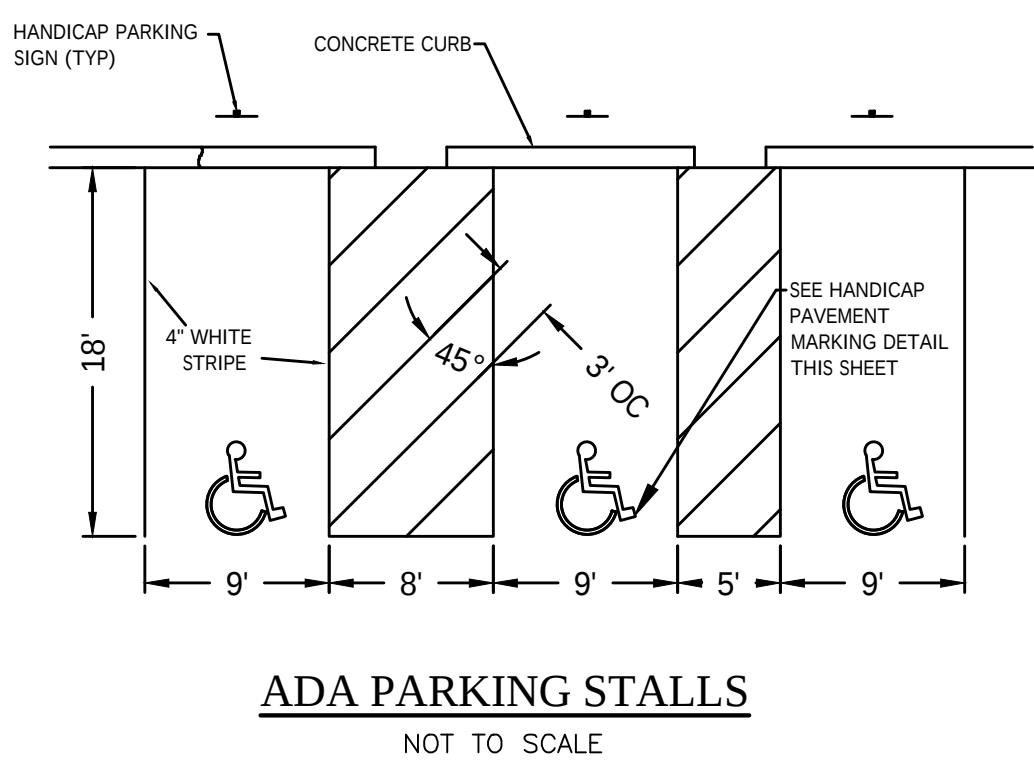
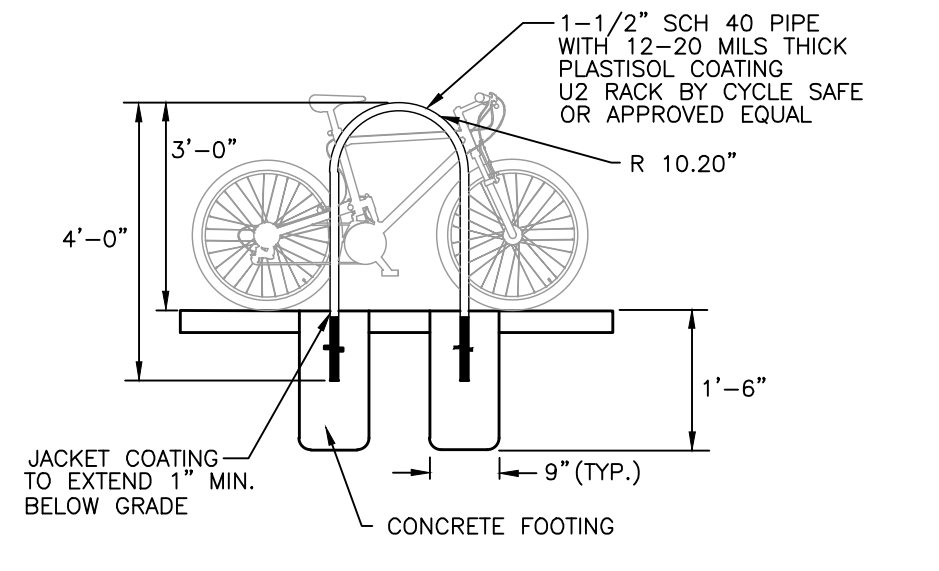
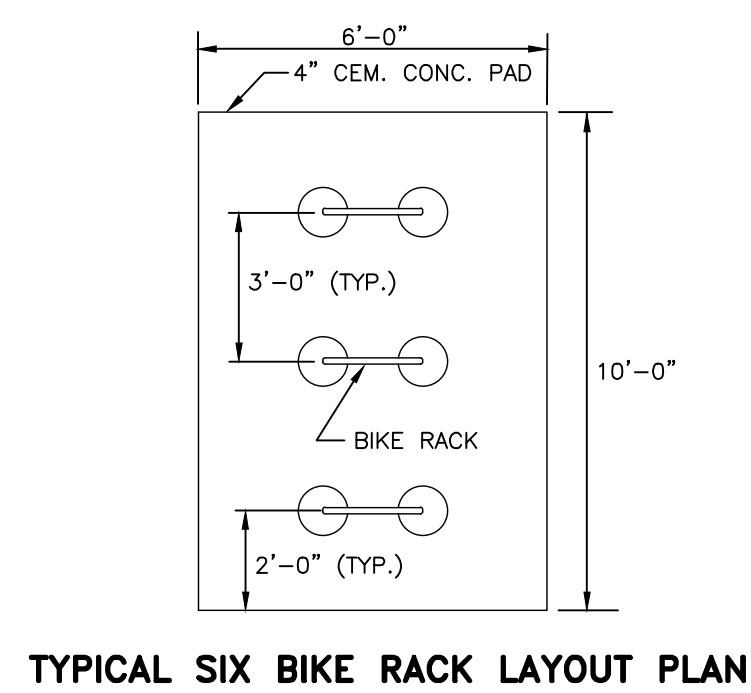
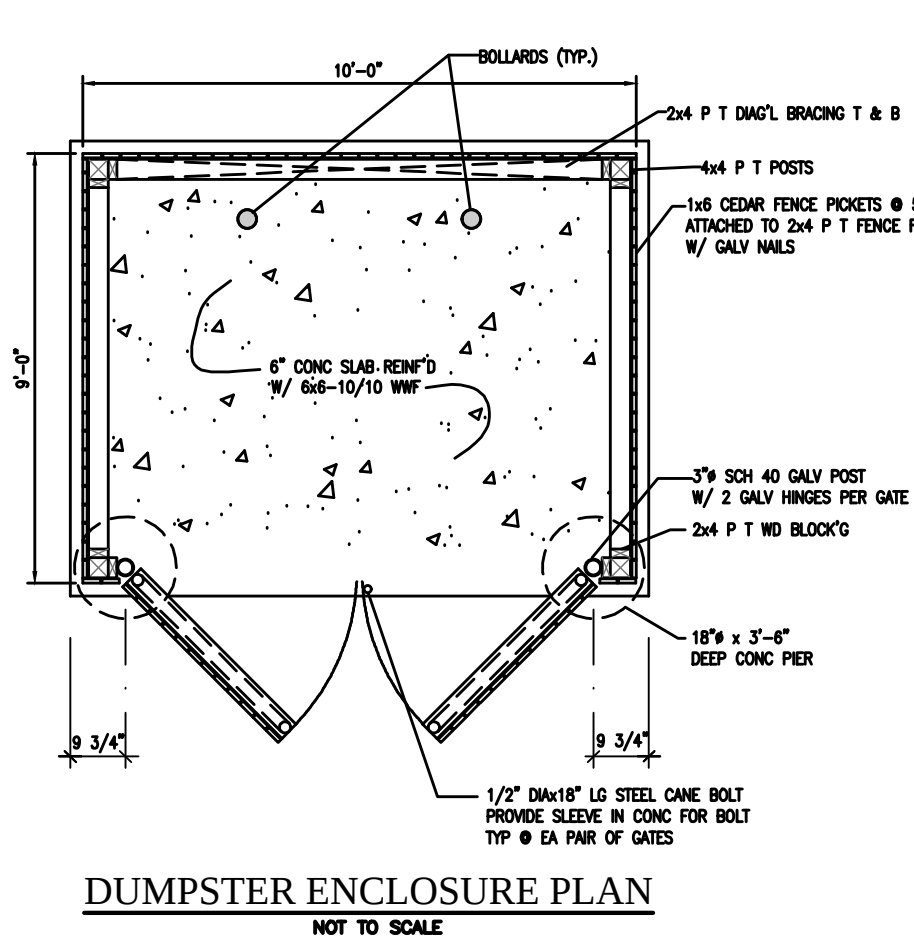
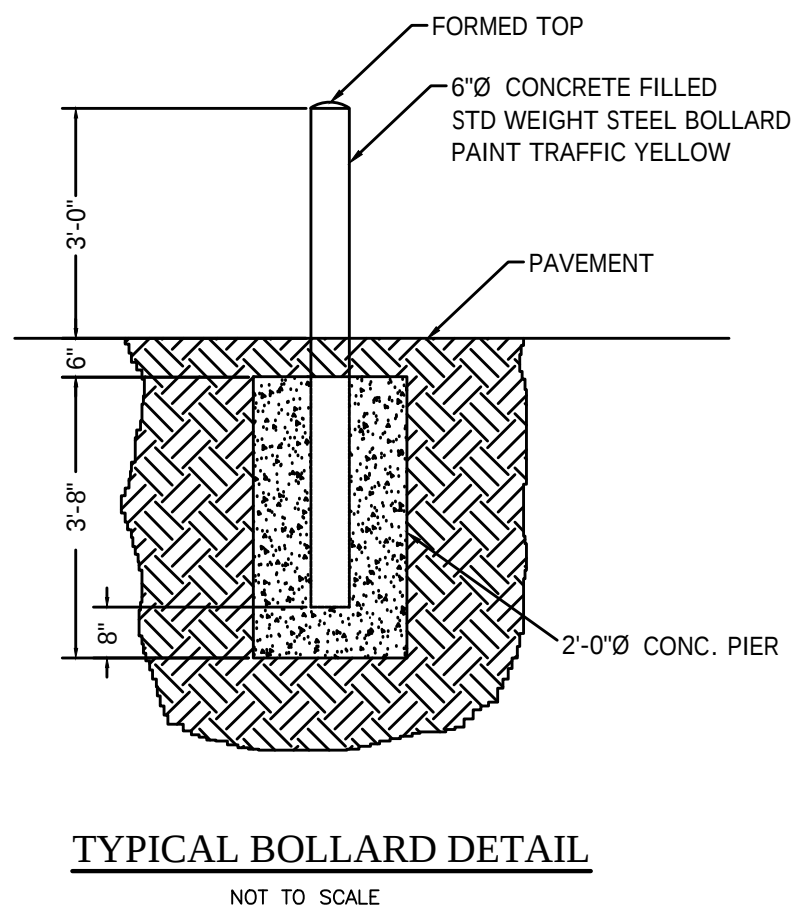
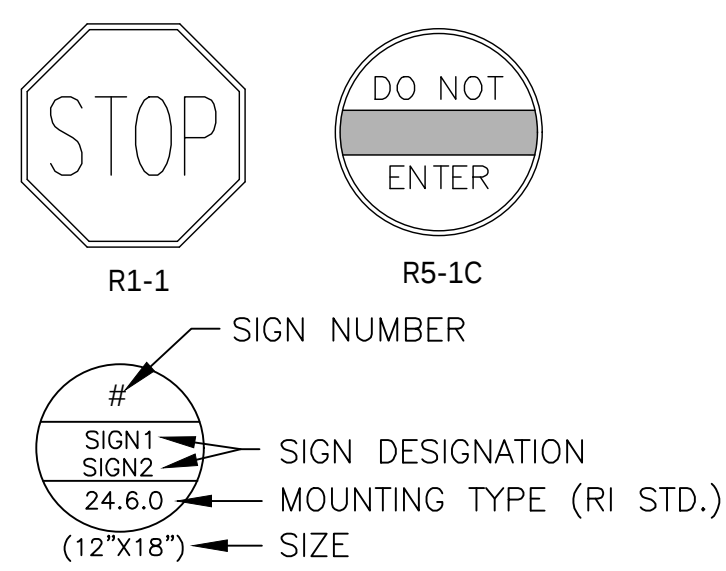
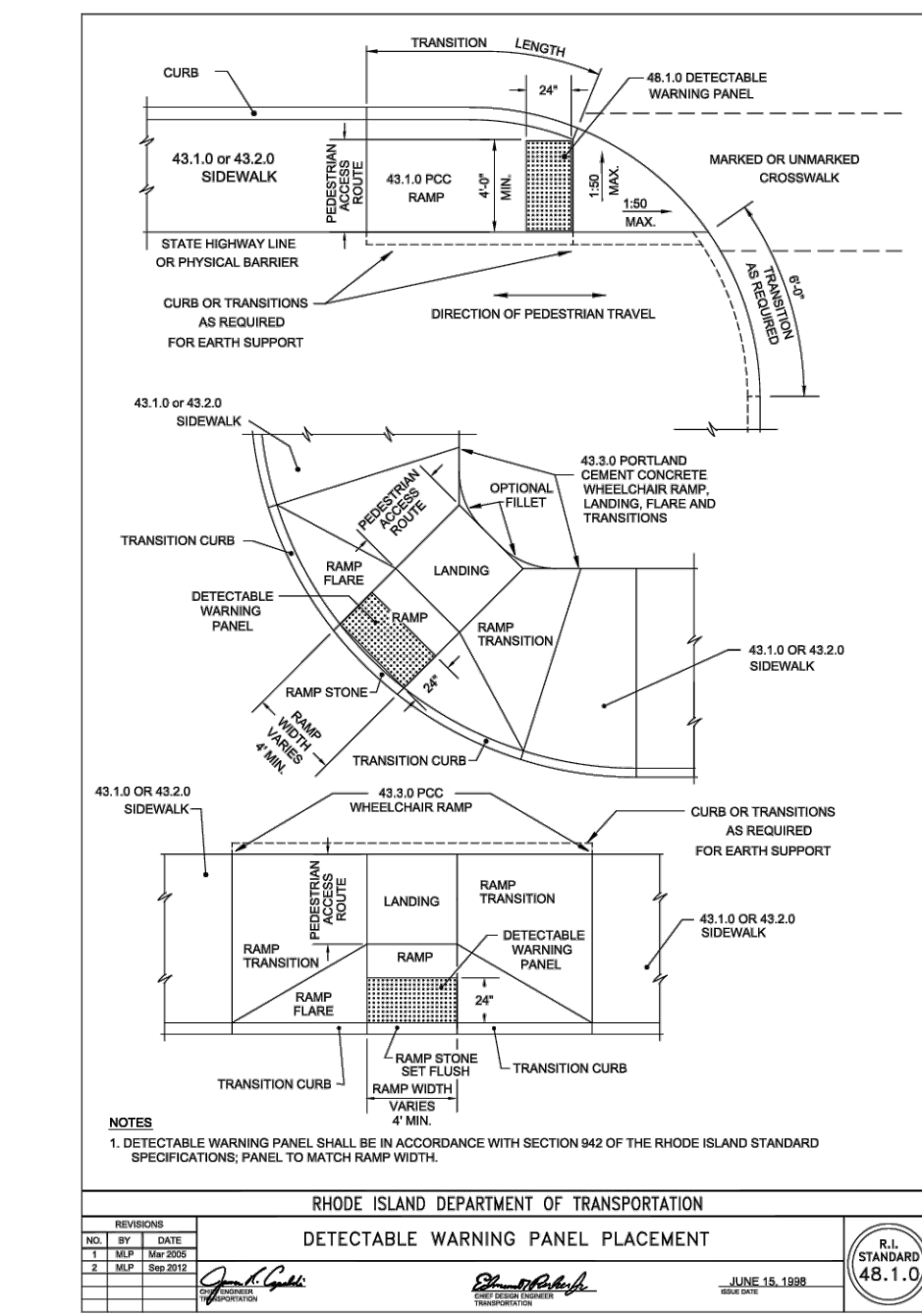
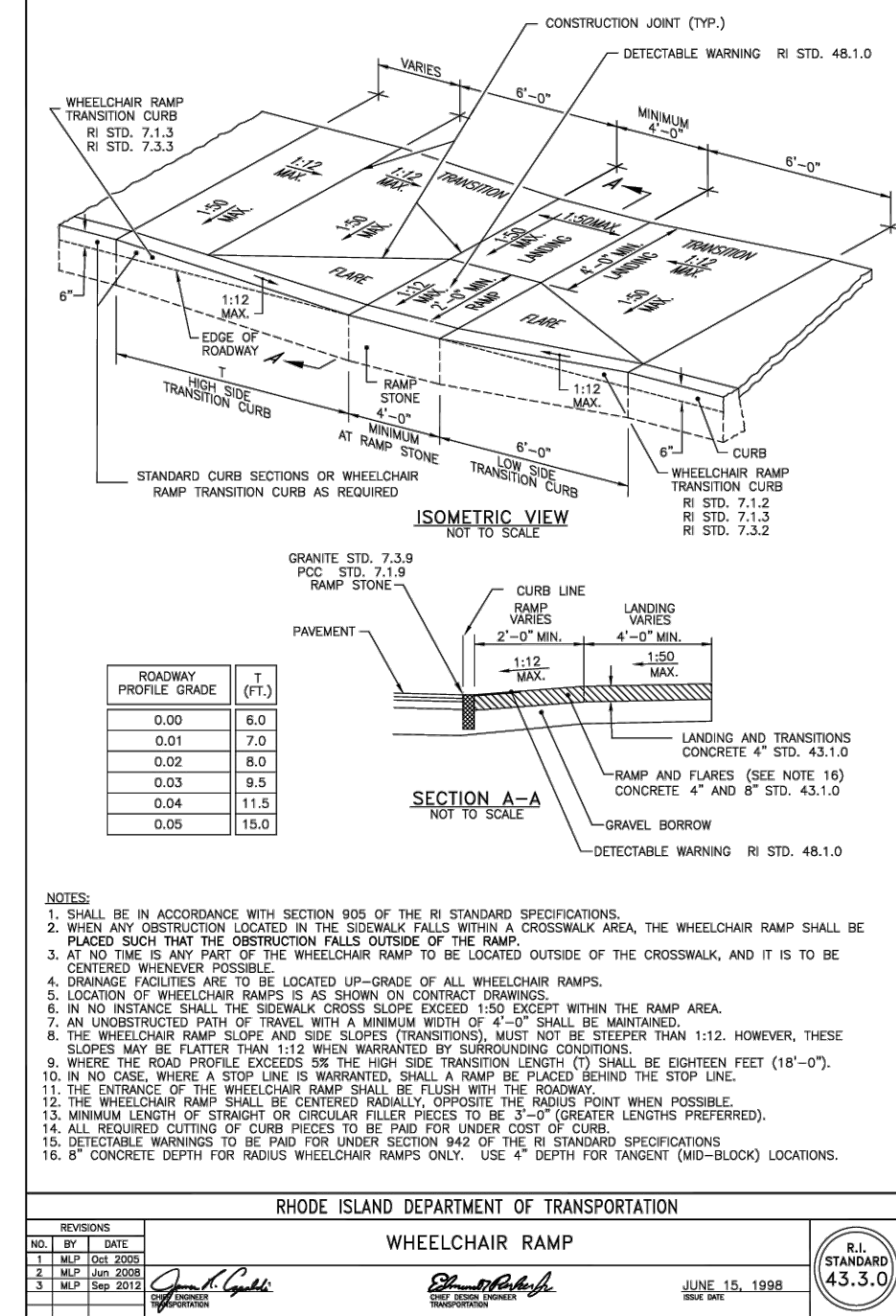
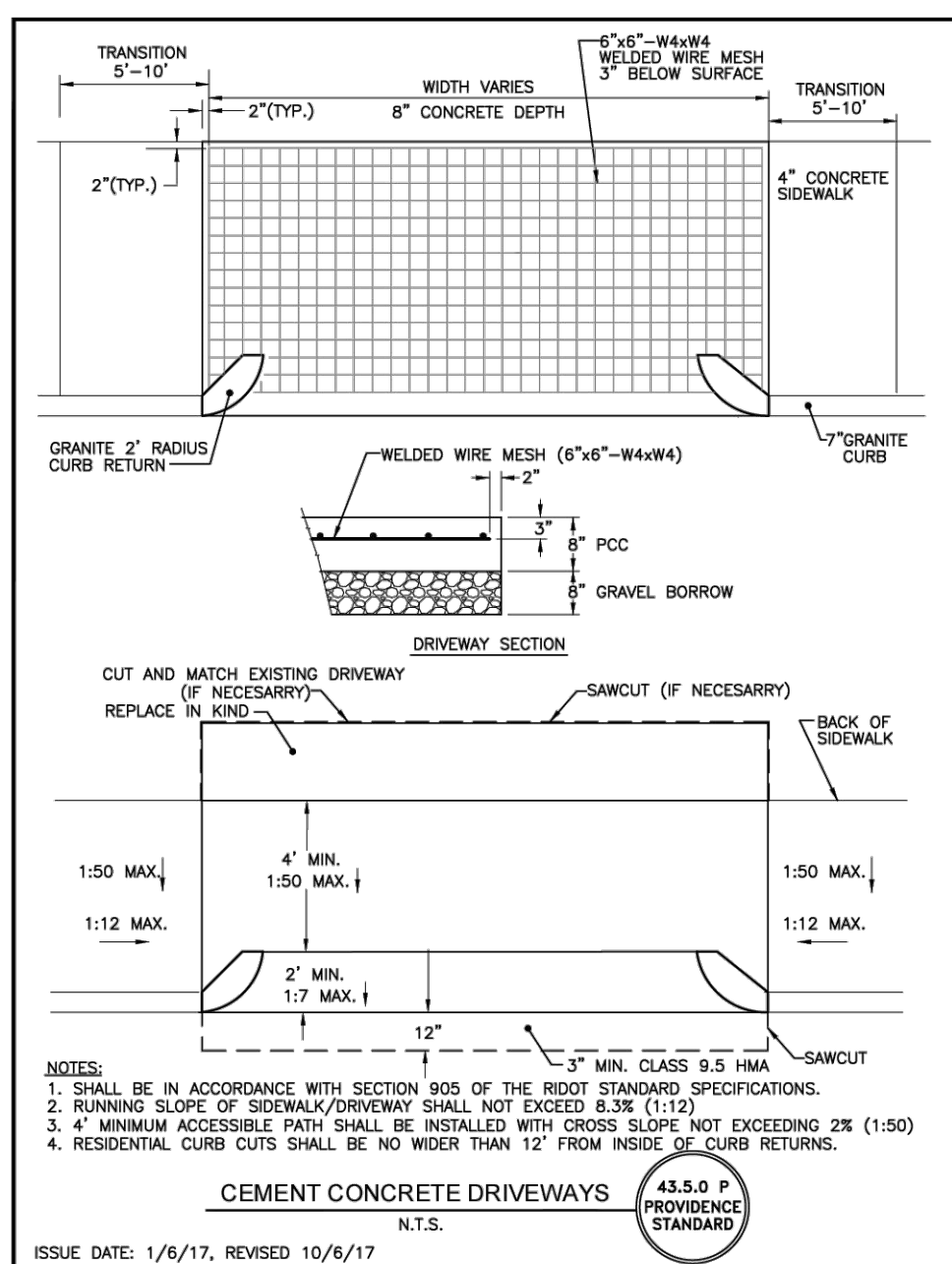
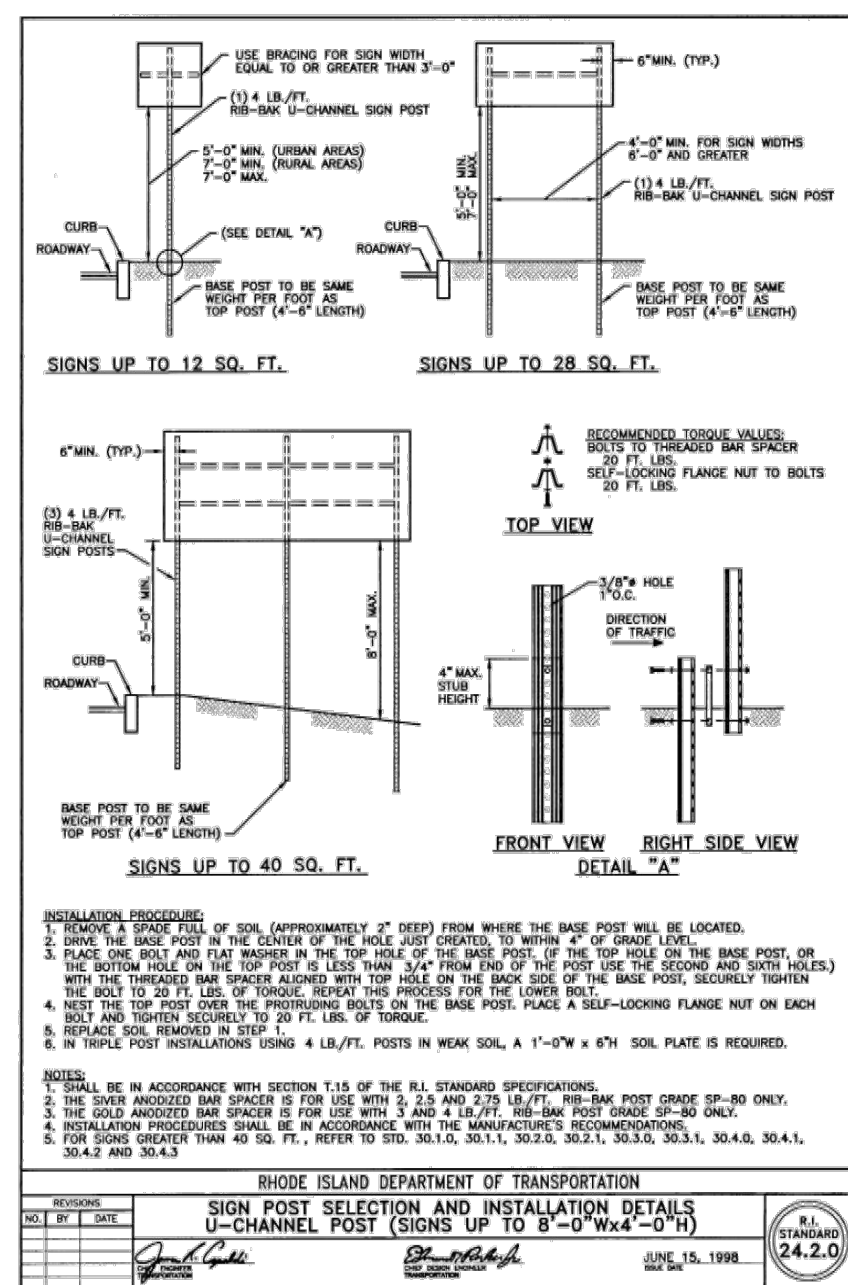
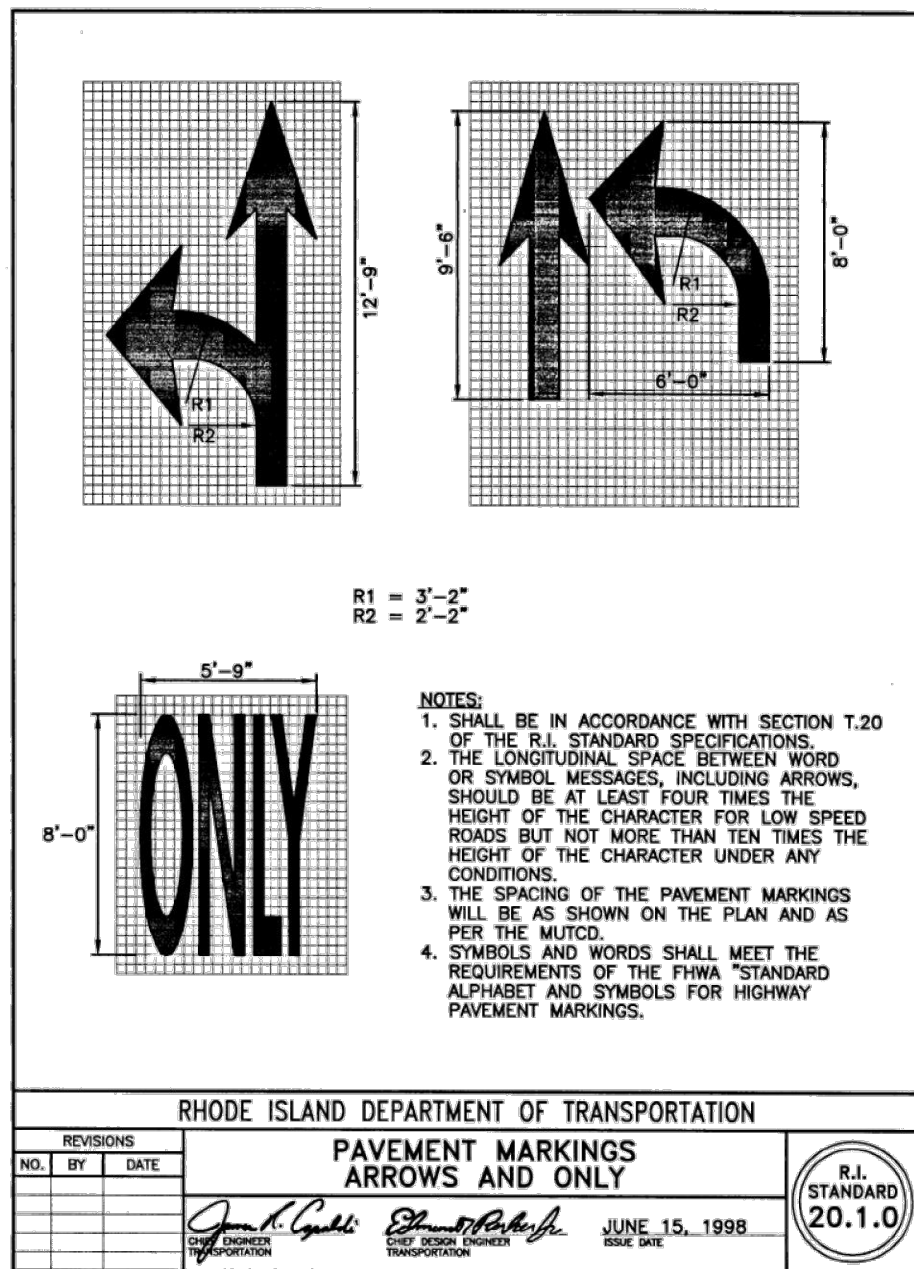
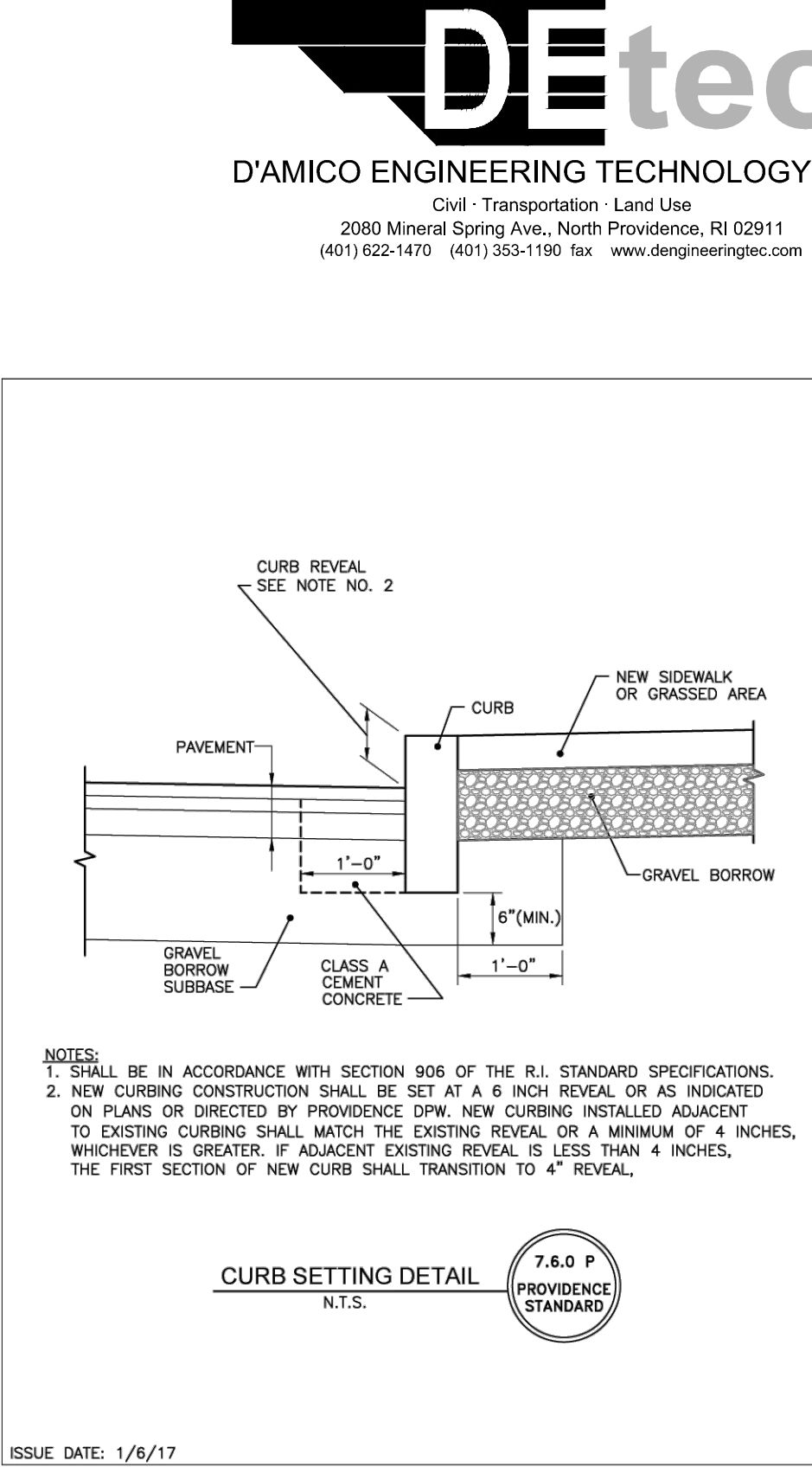
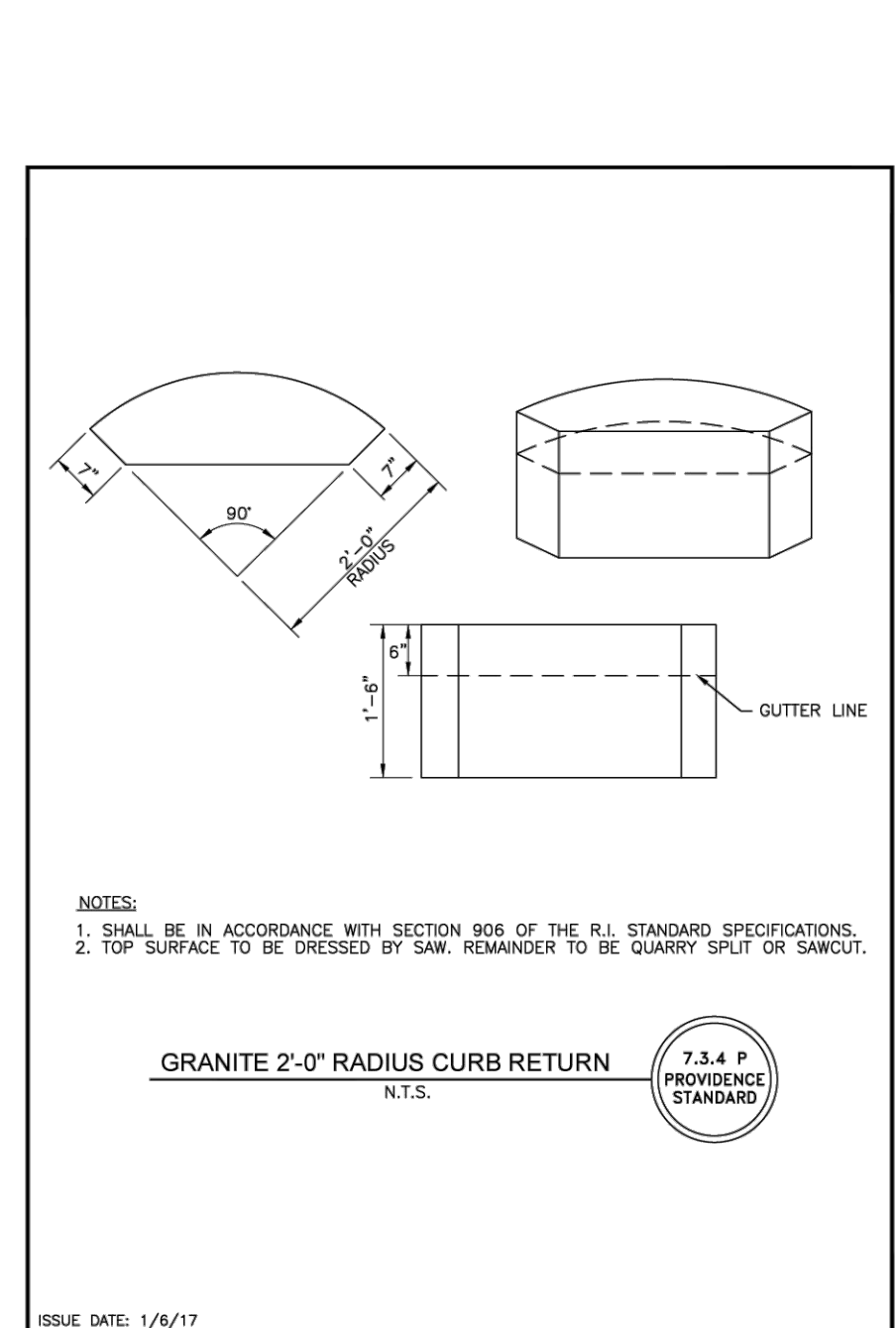
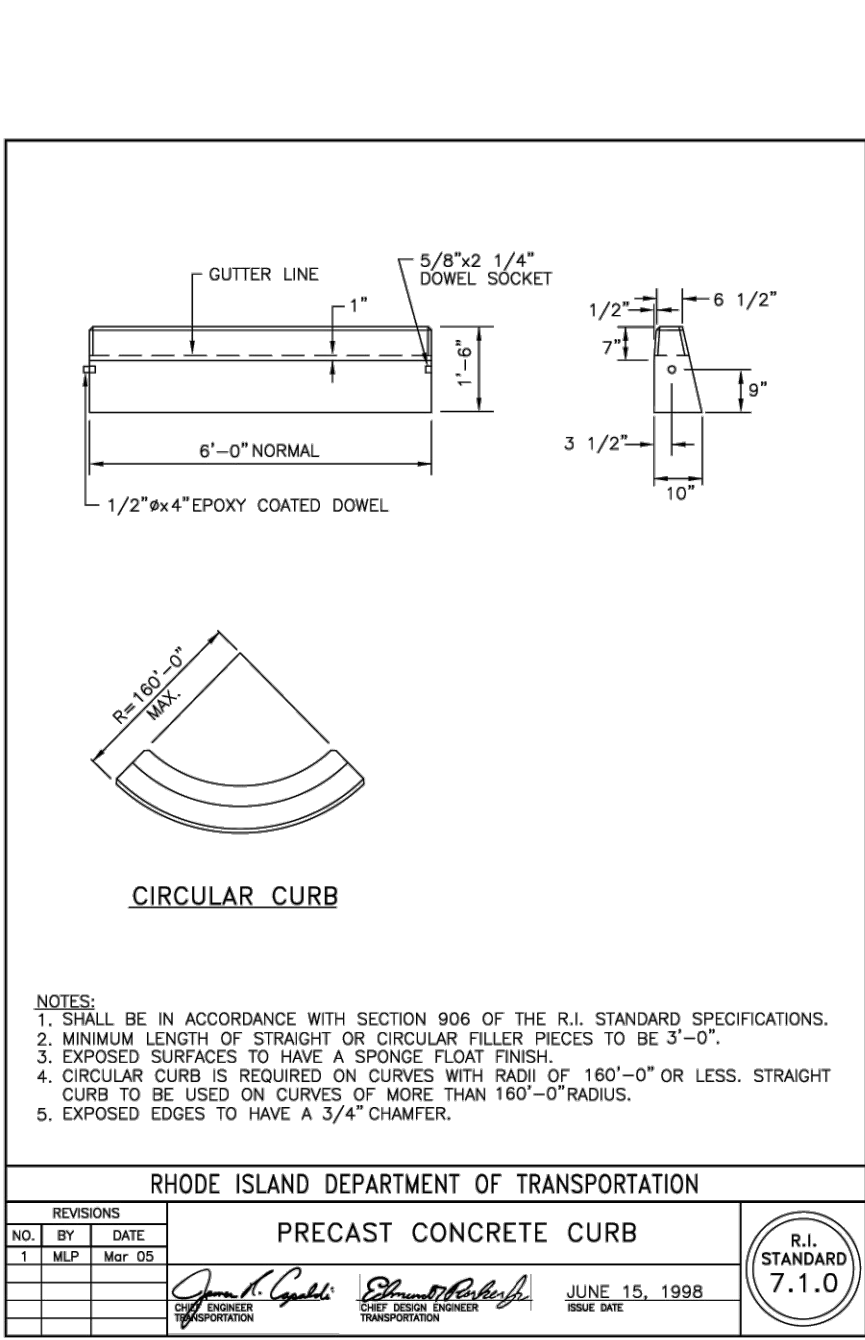
CONCRETE WASHOUT AREA
(NOT TO SCALE)

L.A. TORRADO ARCHITECTS, A CORPORATION, SHALL RETAIN ALL COMMON LAW, STATUTORY, AND OTHER DOCUMENTS PREPARED BY L.A. TORRADO ARCHITECTS, A CORPORATION, AS INSTRUMENTS OF SERVICE, SHALL REMAIN THE PROPERTY OF L.A. TORRADO ARCHITECTS, A CORPORATION.

1. THE CONTRACTOR AND RELEVANT SUBCONTRACTOR SHALL READ AND UNDERSTAND THE RIPPLES GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY (GENERAL PERMIT) AND THE SITE SPECIFIC SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC) PREPARED FOR THE PROJECT. ALL EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST REVISION.
2. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE CONDITIONS ISSUED FOR THE PROJECT BY RIDEM AND BE RESPONSIBLE FOR CONFORMANCE WITH ALL PERMIT REQUIREMENTS AND CONSTRUCTION DOCUMENTS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING OR INSTALLING ALL TEMPORARY SEDIMENT AND EROSION CONTROLS AS SHOWN ON THESE PLANS AND SHALL MAINTAIN ALL EROSION CONTROL MEASURES AS NECESSARY DURING THE ENTIRE CONSTRUCTION PERIOD.
4. ANTI-TRACKING PADS (R.I. STD. DETAIL 9.9.0) SHALL BE PROVIDED AT ALL POINTS OF EGRESS OR INGRESS AND SHALL BE MAINTAINED TO LIMIT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROAD.
5. EROSION CONTROL BARRIERS SHALL BE INSTALLED AS SHOWN ON THE EROSION CONTROL PLAN PRIOR TO COMMENCEMENT OF CONSTRUCTION OPERATIONS.
6. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A WEEKLY BASIS AND AFTER EACH STORM EVENT OF 0.25 INCH OR GREATER DURING CONSTRUCTION TO INSURE THAT CHANNELS, DITCHES AND PIPES ARE CLEAR OF DEBRIS AND THAT THE EROSION CONTROL BARRIERS ARE INTACT. IDENTIFIED DEFICIENCIES SHALL BE CORRECTED IMMEDIATELY.
7. DUST SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
8. THE CONTRACTOR SHALL CLEAN AND MAINTAIN EROSION CONTROL BARRIER WHEN SEDIMENT ACCUMULATES TO ONE HALF THE HEIGHT OF THE BARRIER. MATERIAL COLLECTED FROM THE SEDIMENTATION BARRIERS SHALL BE REMOVED AS NECESSARY AND DISPOSED IN AN UPLAND AREA.
9. THE CONTRACTOR SHALL SCHEDULE HIS WORK TO ALLOW THE FINISHED SUB GRADE ELEVATIONS TO DRAIN PROPERLY WITHOUT PONDING. SPECIFICALLY, ALLOW WATER TO ESCAPE WHERE PROPOSED CURB MAY RETAIN RUNOFF PRIOR TO APPLICATION OF SURFACE PAVING. PROVIDE TEMPORARY POSITIVE DRAINAGE, AS REQUIRED, TO STABILIZED DISCHARGE POINTS.
10. INSTALLATION OF THE EROSION CONTROL BARRIERS AS ILLUSTRATED IS INTENDED TO REPRESENT THE MINIMUM SEDIMENTATION CONTROL FACILITIES NECESSARY TO MEET ANTICIPATED SITE CONDITIONS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AS CONDITIONS WARRANT TO AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
11. REQUIRED SEDIMENTATION CONTROL FACILITIES MUST BE PROPERLY ESTABLISHED, CLEARLY VISIBLE AND IN OPERATION PRIOR TO INITIATING ANY LAND CLEARING ACTIVITY AND/OR OTHER CONSTRUCTION RELATED WORK. SUCH FACILITIES SHALL REPRESENT THE LIMIT OF WORK. WORKERS SHALL BE INFORMED THAT NO CONSTRUCTION ACTIVITY IS TO OCCUR BEYOND THE LIMIT OF WORK AT ANY TIME THROUGHOUT THE CONSTRUCTION PERIOD.
12. THE CONTRACTOR SHALL MAINTAIN A SUFFICIENT RESERVE OF VARIOUS EROSION CONTROL MATERIALS ONSITE AT ALL TIMES FOR EMERGENCY PURPOSES OR ROUTINE MAINTENANCE.
13. EXISTING CATCH BASINS AND STORM DRAIN INLETS SHALL BE PROTECTED WITH APPROPRIATE TEMPORARY INLET PROTECTION IN ACCORDANCE WITH THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK.
14. DE-WATERING WASTE WATERS PUMPED FROM EXCAVATIONS SHALL BE CONVEYED BY HOSE TO AN UPLAND AREA AND DISCHARGED ONTO STRAW BALE CORRALS OR SEDIMENTATION BAGS.
15. THE CONTRACTOR SHALL NOT REMOVE ANY TEMPORARY SEDIMENT CONTROL BARRIERS UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN PERMANENTLY STABILIZED.
16. CONSTRUCTION SITE WASTE MATERIALS SHALL BE PROPERLY CONTAINED ONSITE AND DISPOSED OFF SITE AT A LOCATION IN ACCORDANCE WITH THE LOCAL AND STATE REGULATIONS.
17. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 14 DAYS UPON COMPLETION OF WORK IN THAT AREA.
18. ALL DRAINAGE STRUCTURES SHALL BE CLEARED OF ACCUMULATED SEDIMENT PRIOR TO ACCEPTANCE OF FINAL PROJECT.
19. NEWLY VEGETATED AREAS SHALL BE MAINTAINED REGULARLY TO ENSURE VEGETATED SURFACES.
20. EROSION AND SEDIMENTATION CONTROLS SHALL BE UTILIZED AS SHOWN ON THE PLANS. POTENTIAL EROSION AND SEDIMENTATION PROBLEMS ASSOCIATED WITH THE CONSTRUCTION OF THE PROJECT SHALL BE AVOIDED THROUGH THE PROJECT SCHEDULING AND THE USE OF APPROPRIATE STANDARD CONTROLS (RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL HANDBOOK) AS ILLUSTRATED ON THE PROJECT PLANS.
21. WHERE EROSION CONTROLS ARE NEEDED ON IMPERVIOUS SURFACES, THE CONTRACTOR SHALL PROVIDE SAND BAG EROSION CONTROL BARRIER.
22. TEMPORARY DIVERSION (TD) MAY CONSIST OF A DITCH OR SWALE, OR MAY BE ACHIEVED USING WOOD CHIPS, COIR LOGS, OR SIMILAR MATERIALS.
23. TEMPORARY SEDIMENT TRAPS (TST) AND TEMPORARY SWALES (TSW) SHALL BE SIZED BY THE CONTRACTOR USING THE PARAMETERS CONTAINED IN THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK.

POST CONSTRUCTION (OWNER'S RESPONSIBILITY)

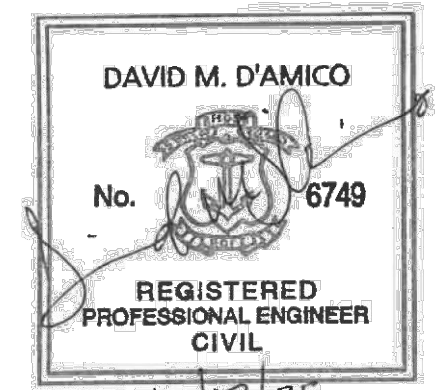
1. TRASH, LITTER, SEDIMENT AND OTHER DEBRIS SHALL BE REMOVED FROM ANY STORMWATER MANAGEMENT SYSTEM FACILITY (INCLUDING BUT NOT LIMITED TO CAST BASINS, MANHOLES, AND INLET) A MINIMUM OF TWO TIMES PER YEAR, PREFERABLY IN THE SPRING AND FALL, AT THE COST OF THE OWNER.
2. THE PARKING LOT AND ENTRY DRIVE SHALL BE SWEEPED BY THE OWNER AS EARLY AS POSSIBLE EVERY SPRING AND ONCE IN THE FALL TO REMOVE SEDIMENTS.
3. ALL CLEANING AND MAINTENANCE OF STORMWATER MANAGEMENT SYSTEMS SHALL BE THE RESPONSIBILITY OF THE OWNER.



TORRADO
ARCHITECTS

CALLED
 NORTH


KEY PLAN



OWNER

CITY OF
PROVIDENCE

Providence City Hall
25 Dorrance Street
Providence, RI 02903

PROJECT:

NEW SCHOOL:

LIMA STUART
ELEMENTARY
SCHOOL

188 PRINCETON AVE.
Providence, RI 02903

CONTENT:

SITE DETAILS PLAN NO. 1

STATUS

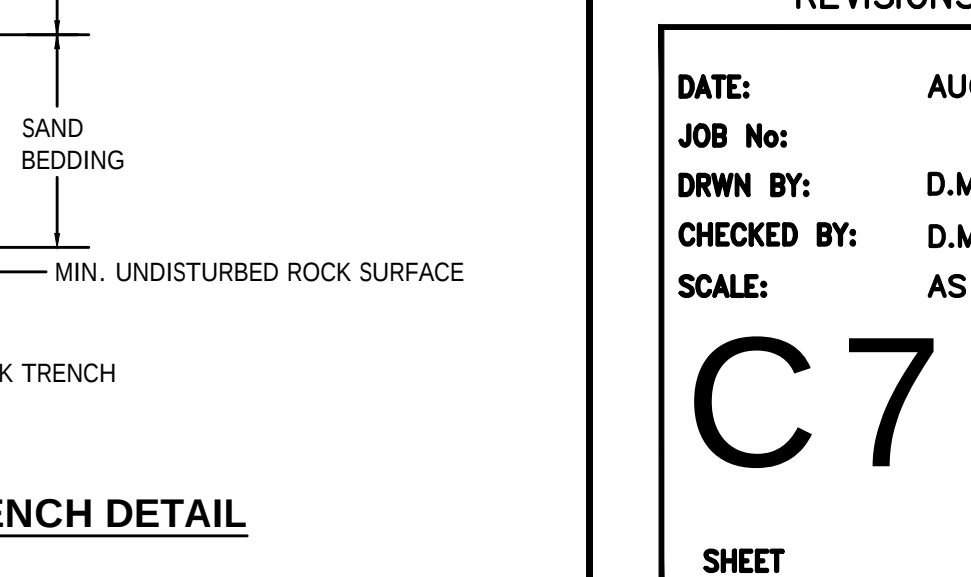
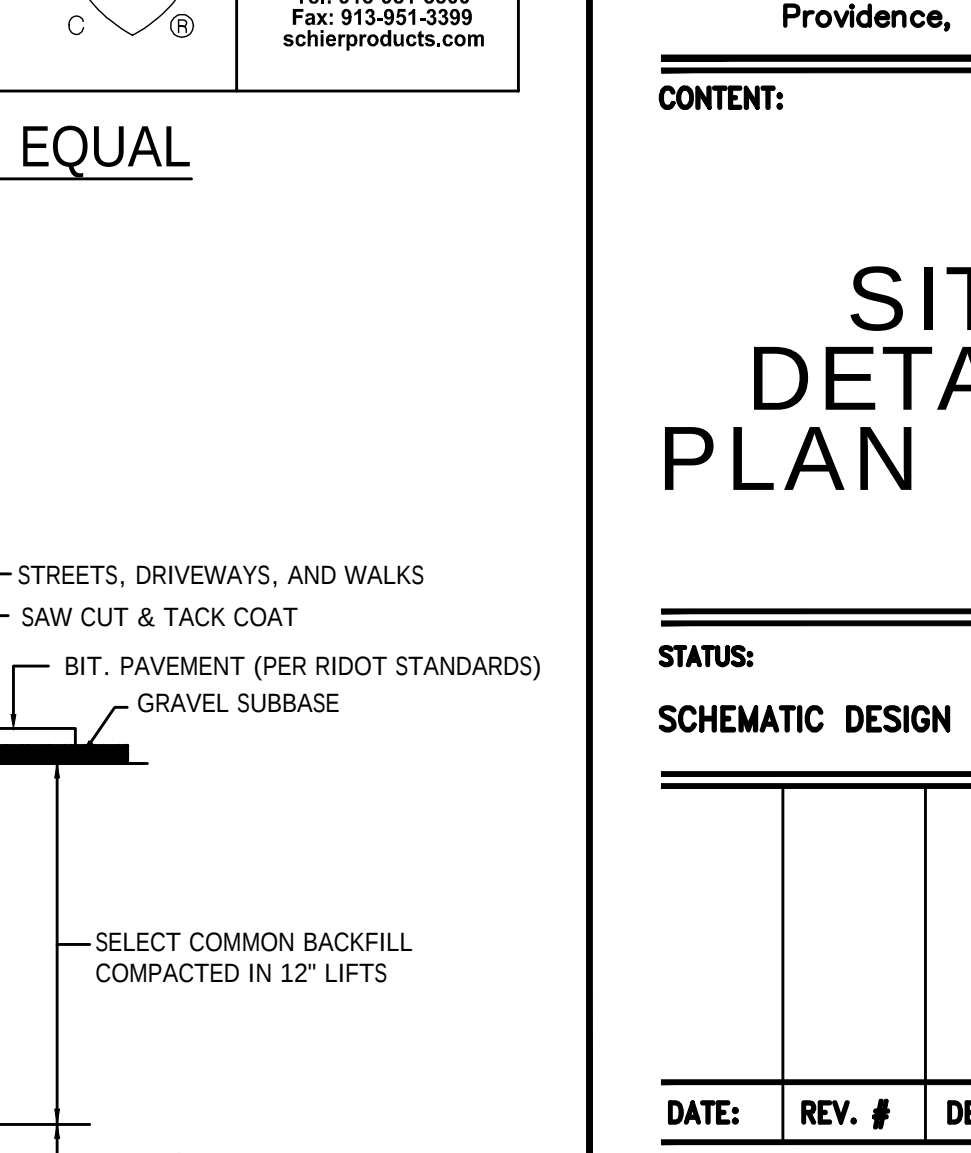
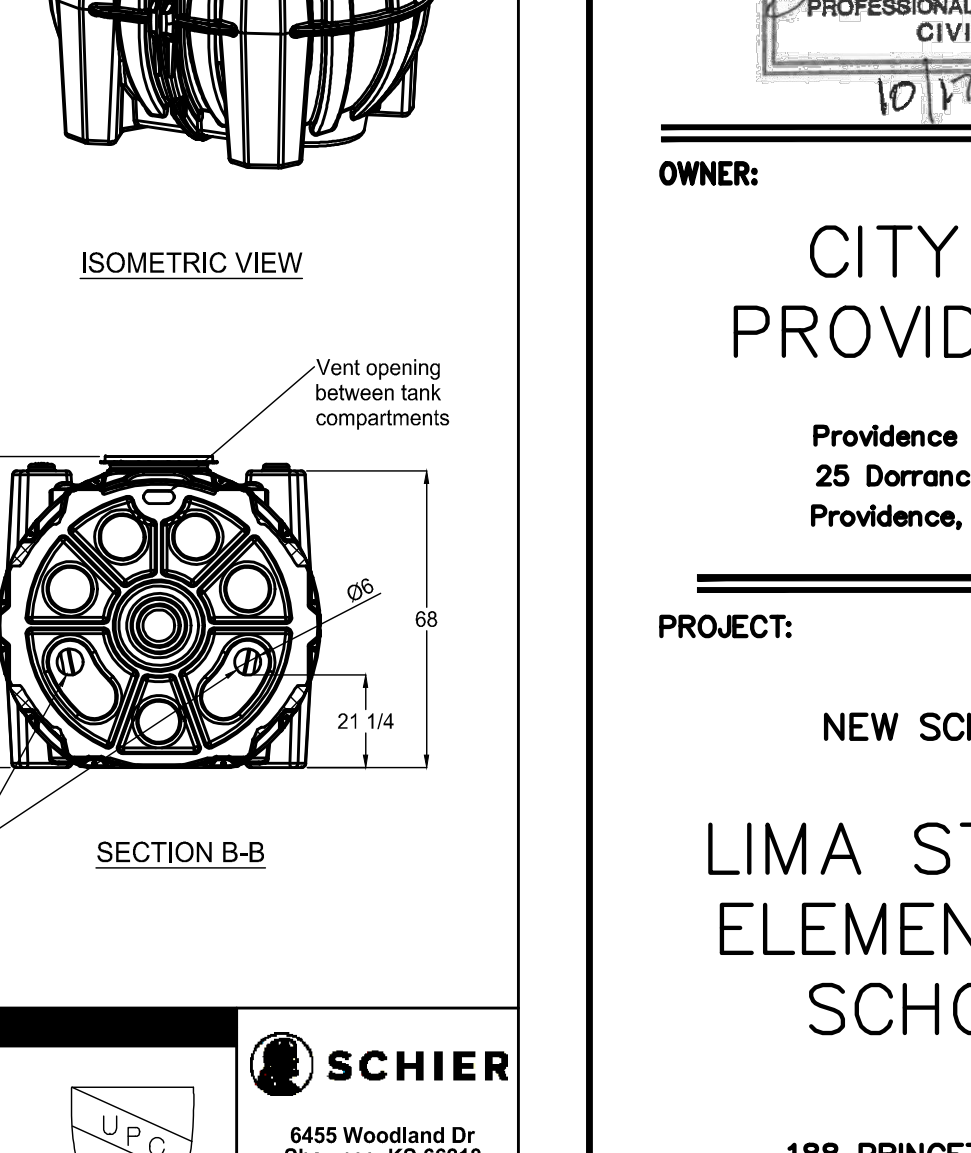
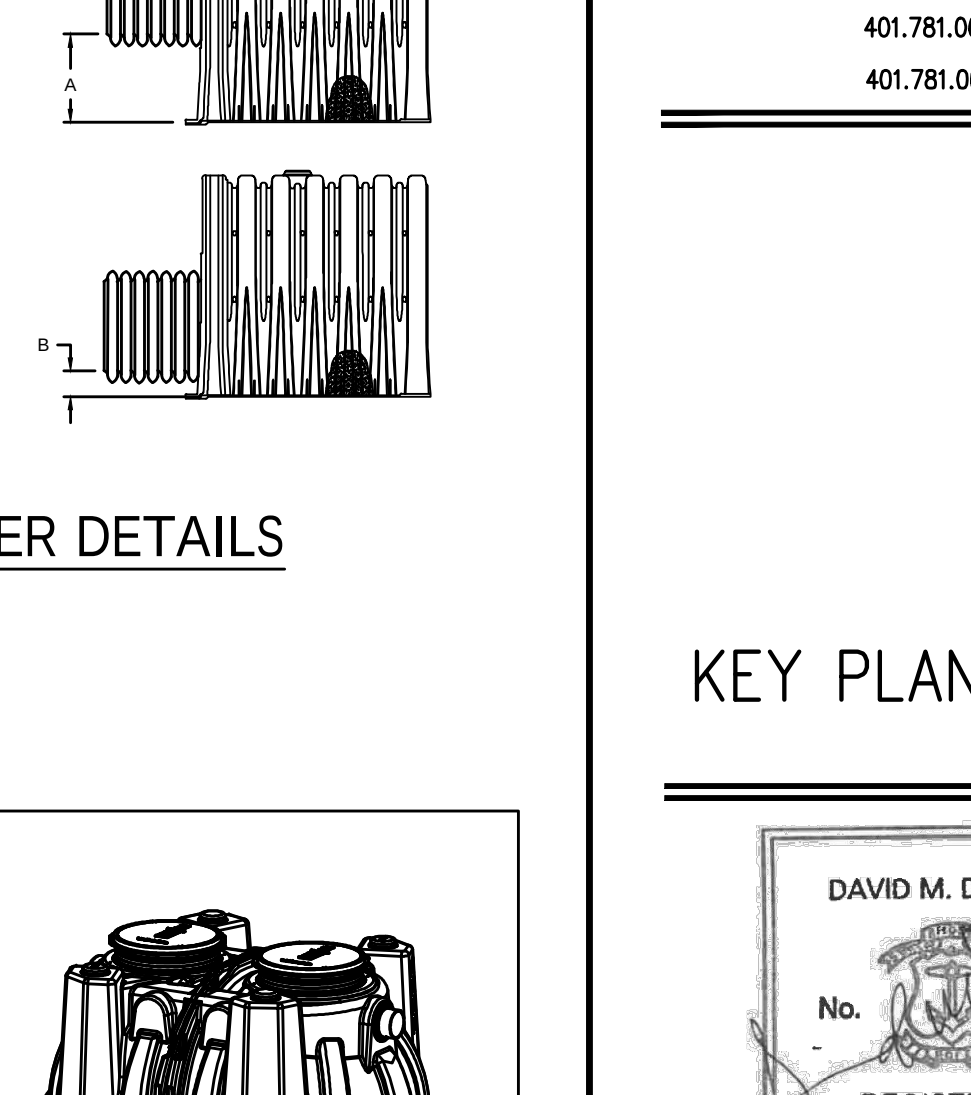
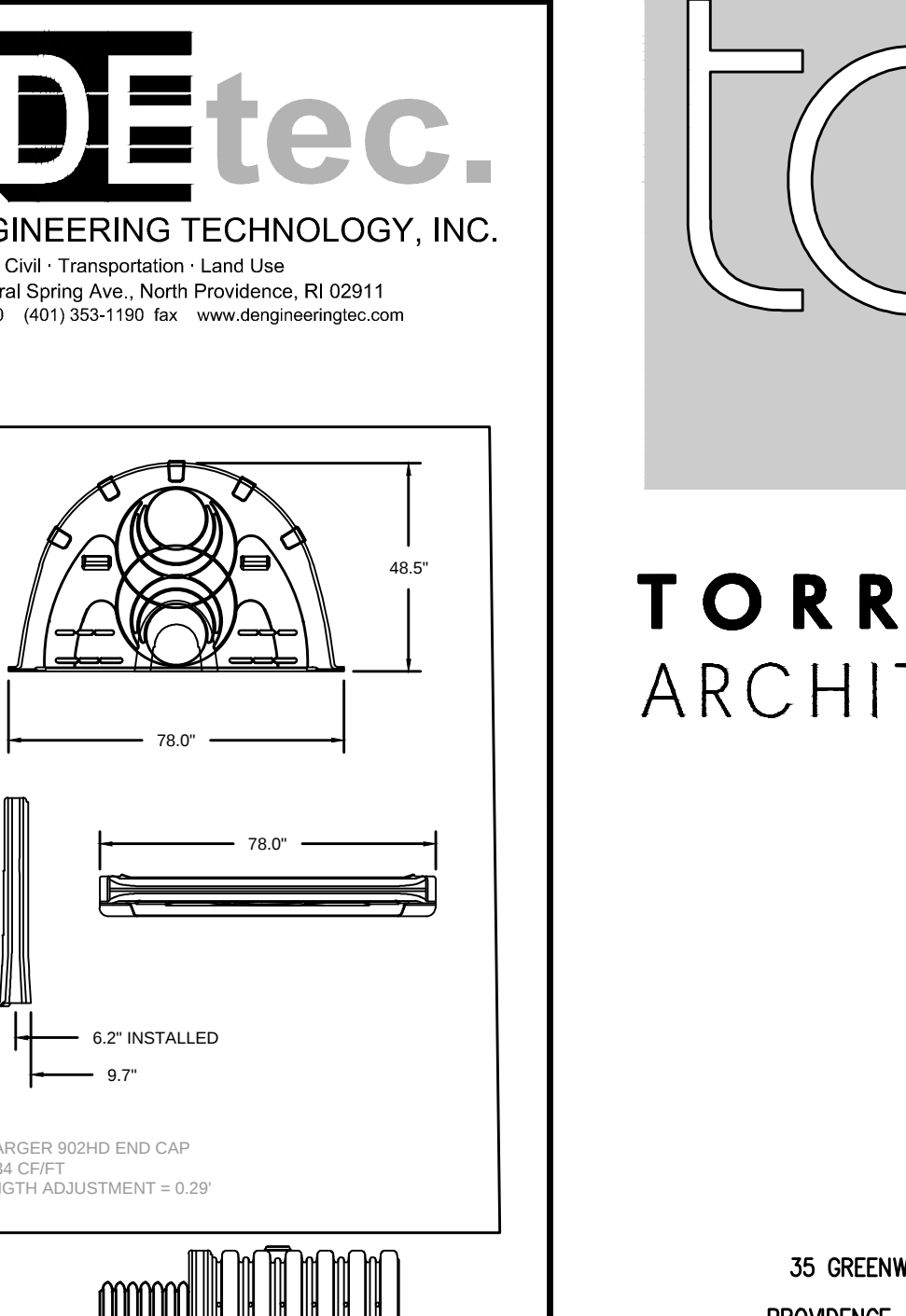
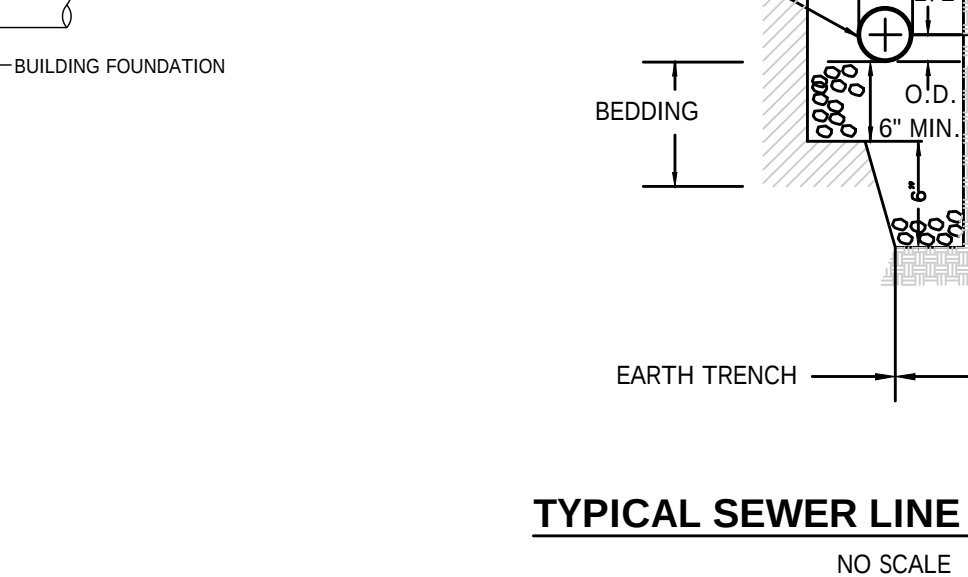
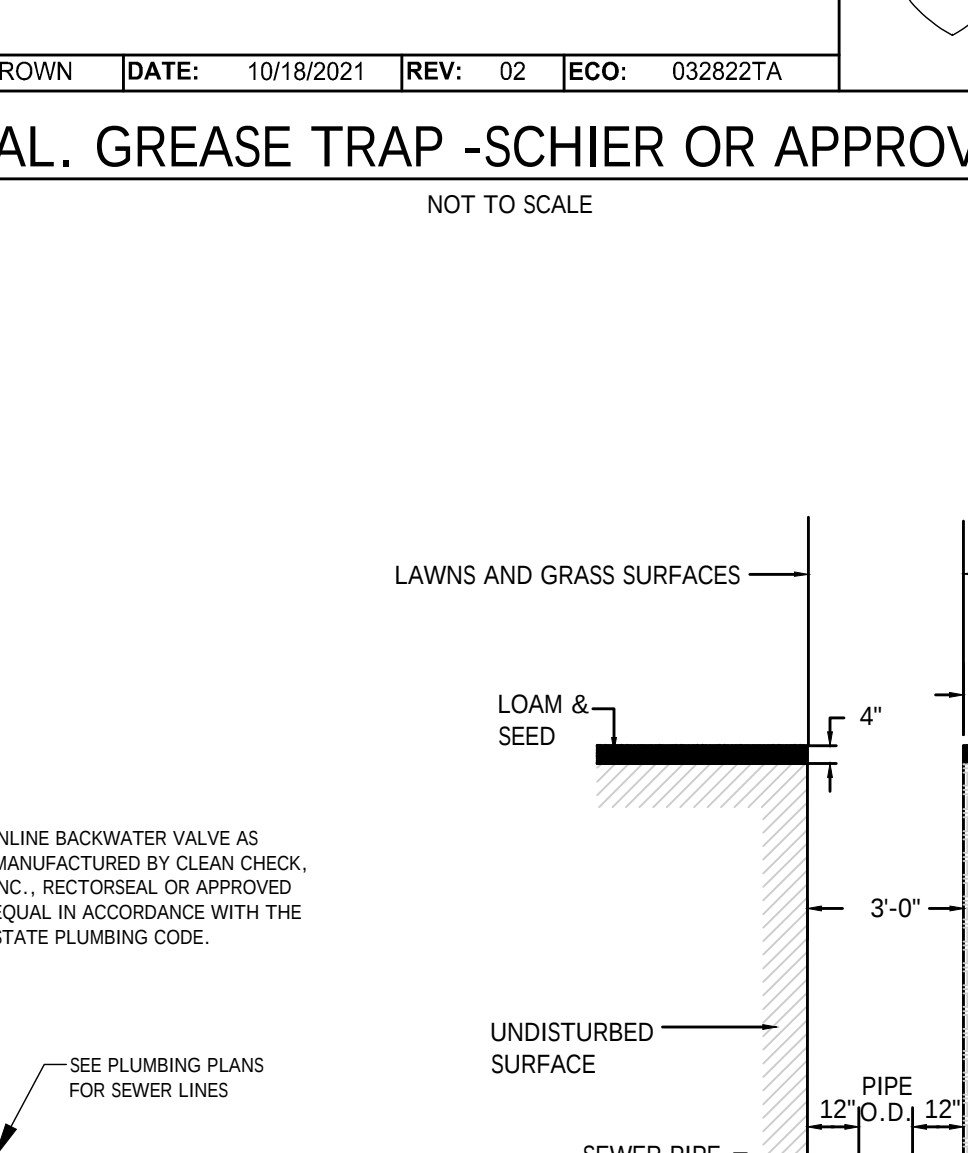
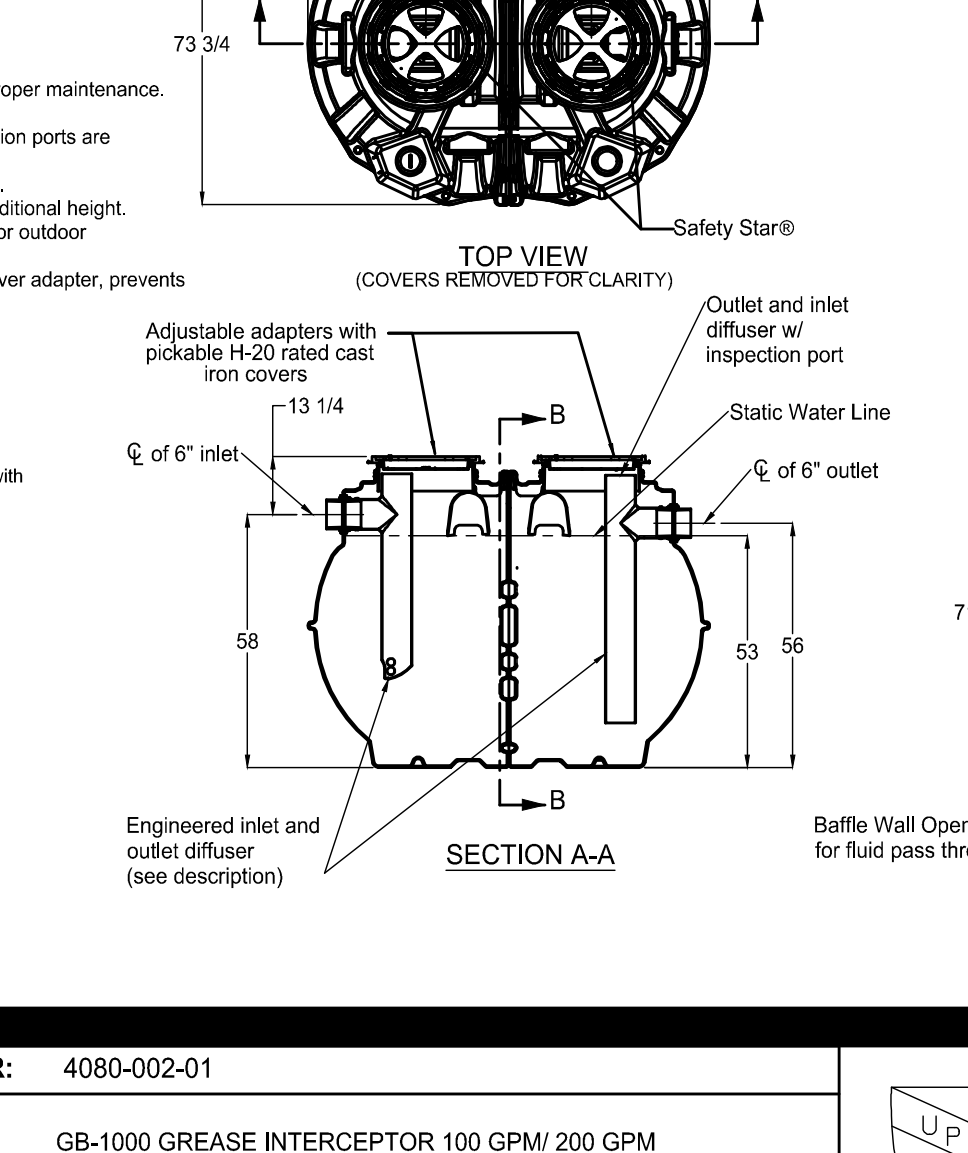
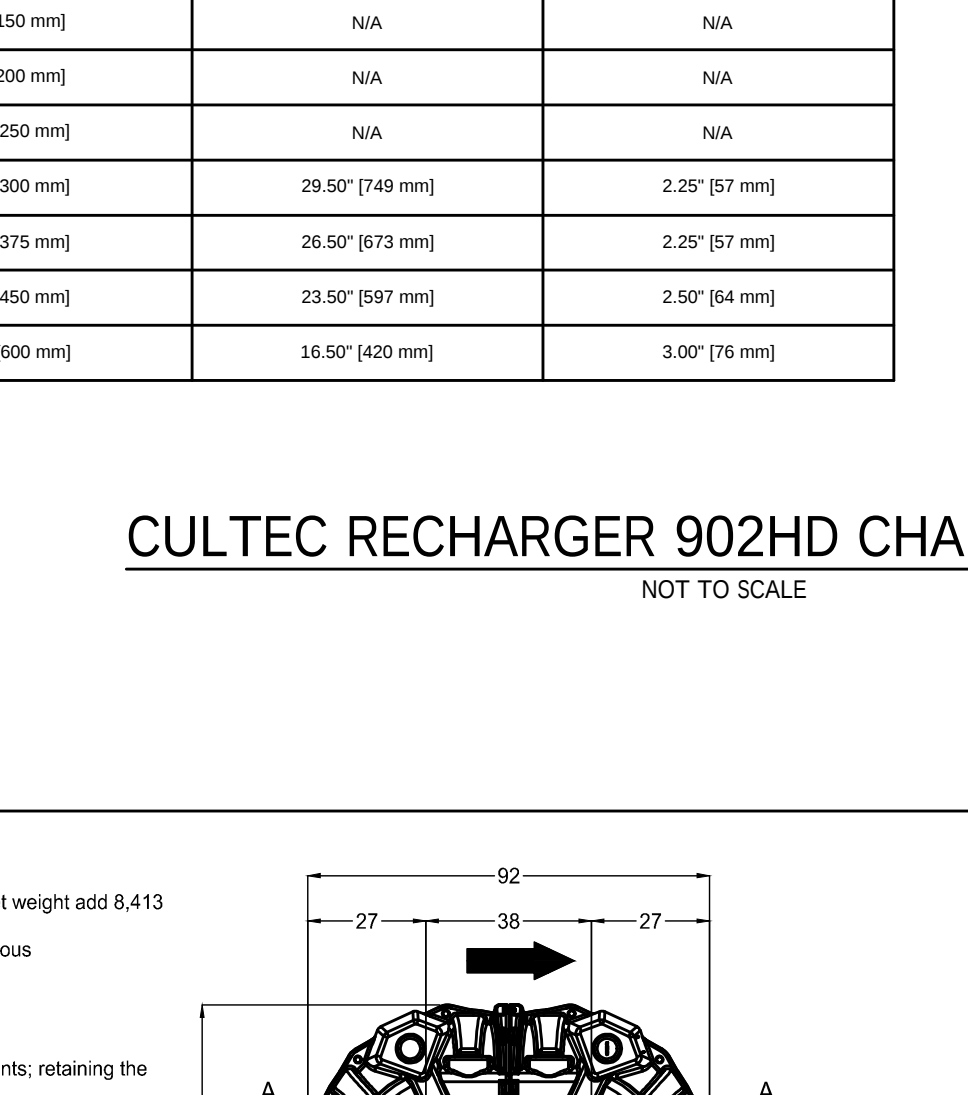
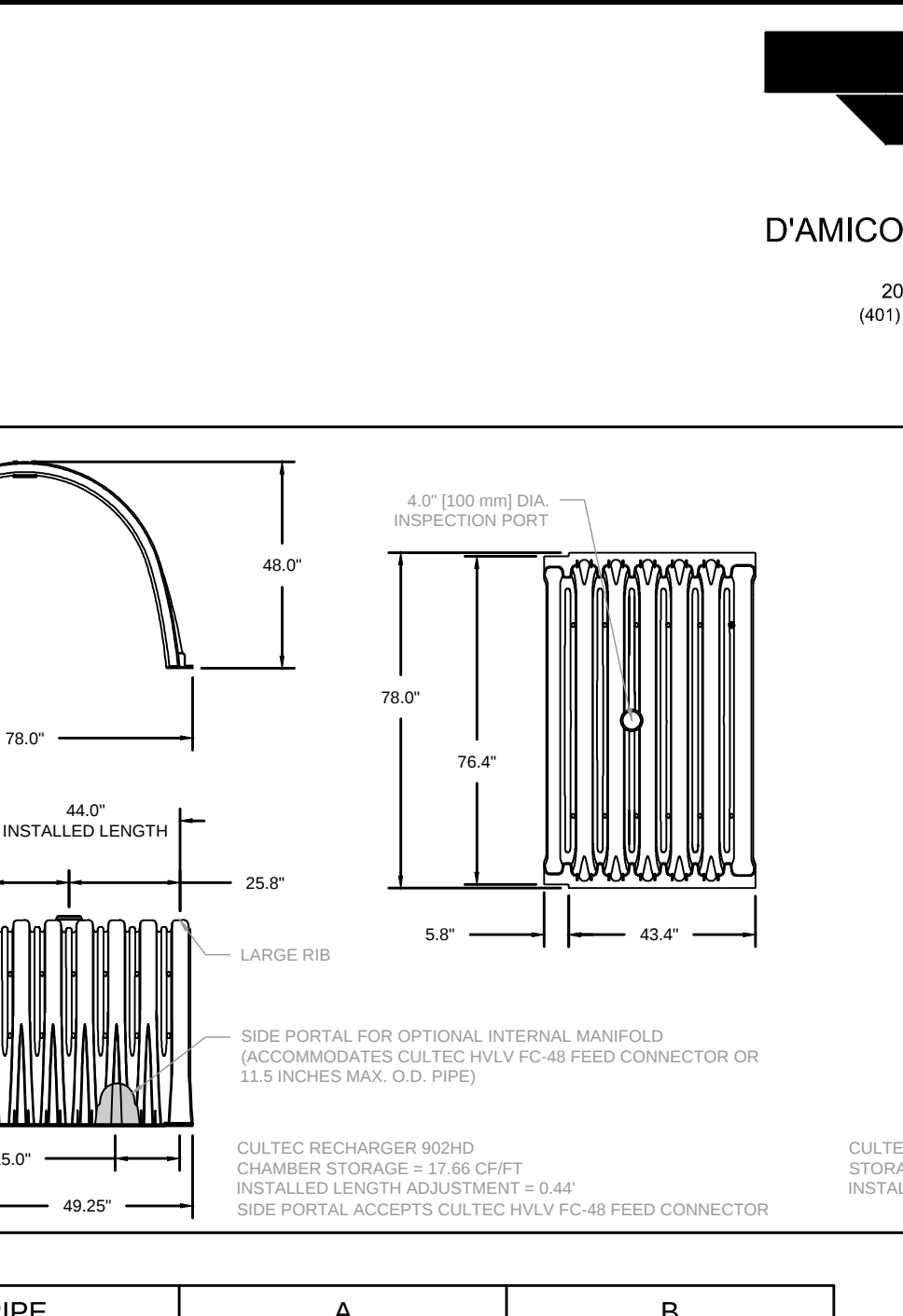
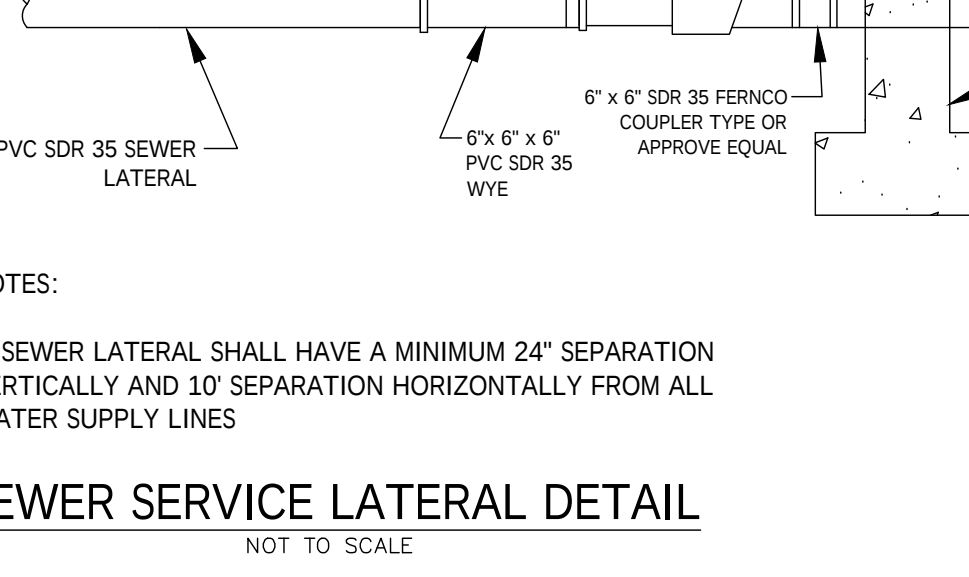
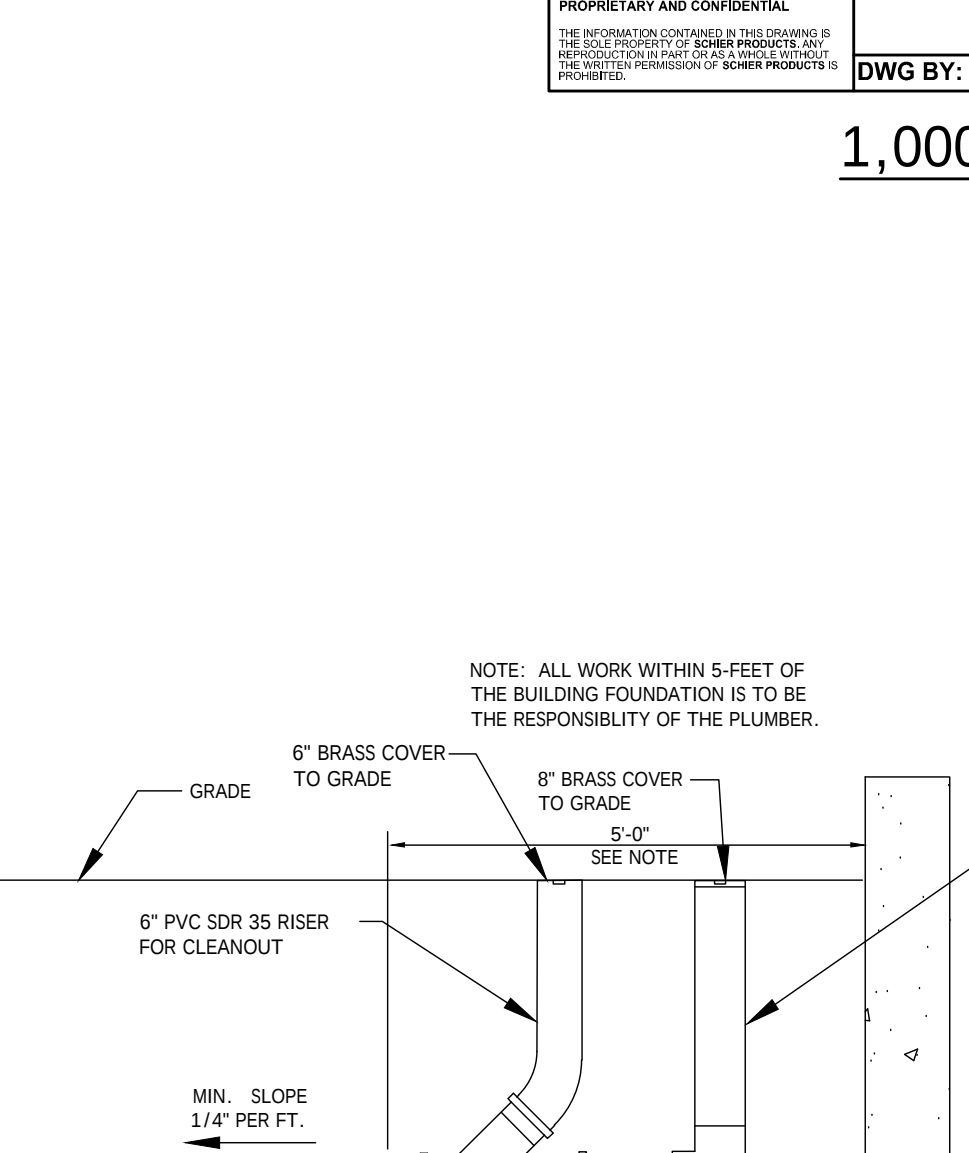
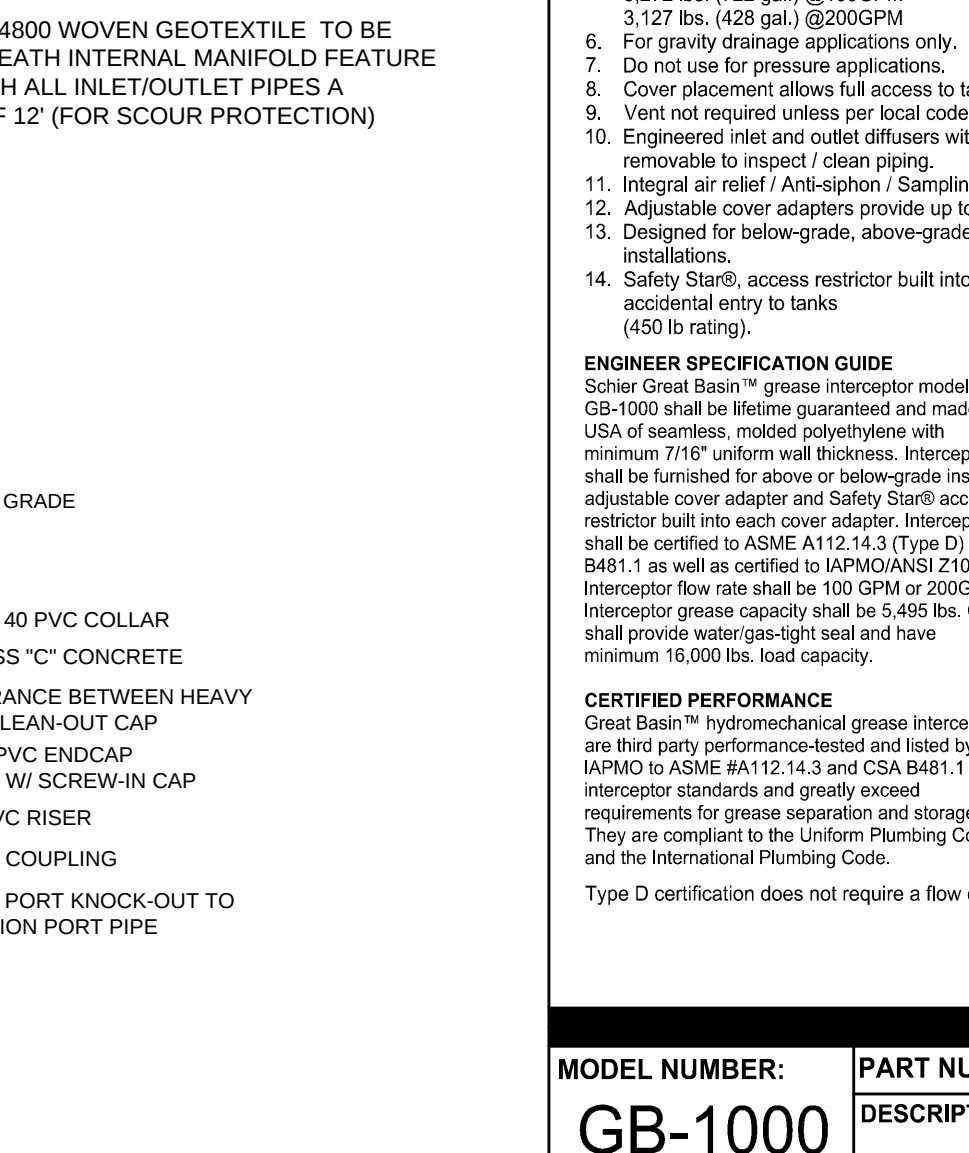
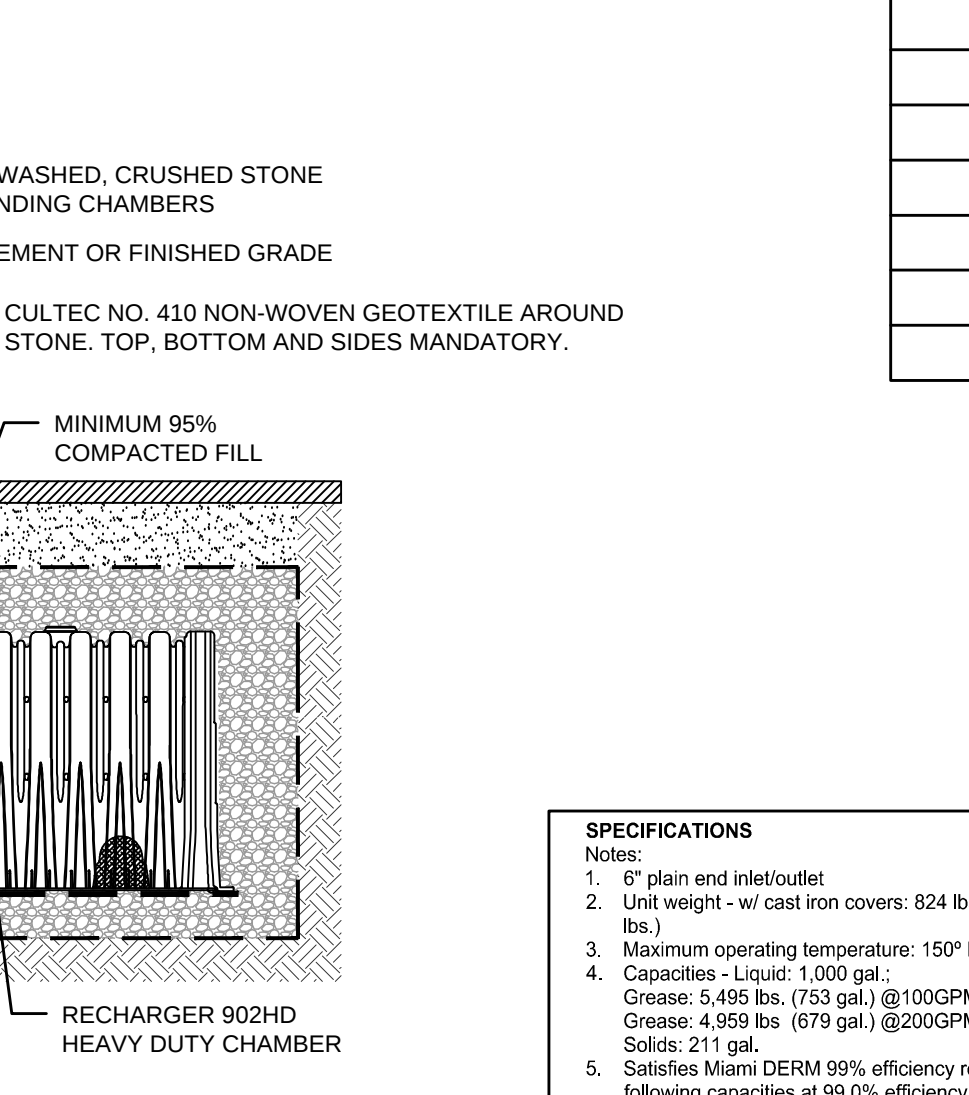
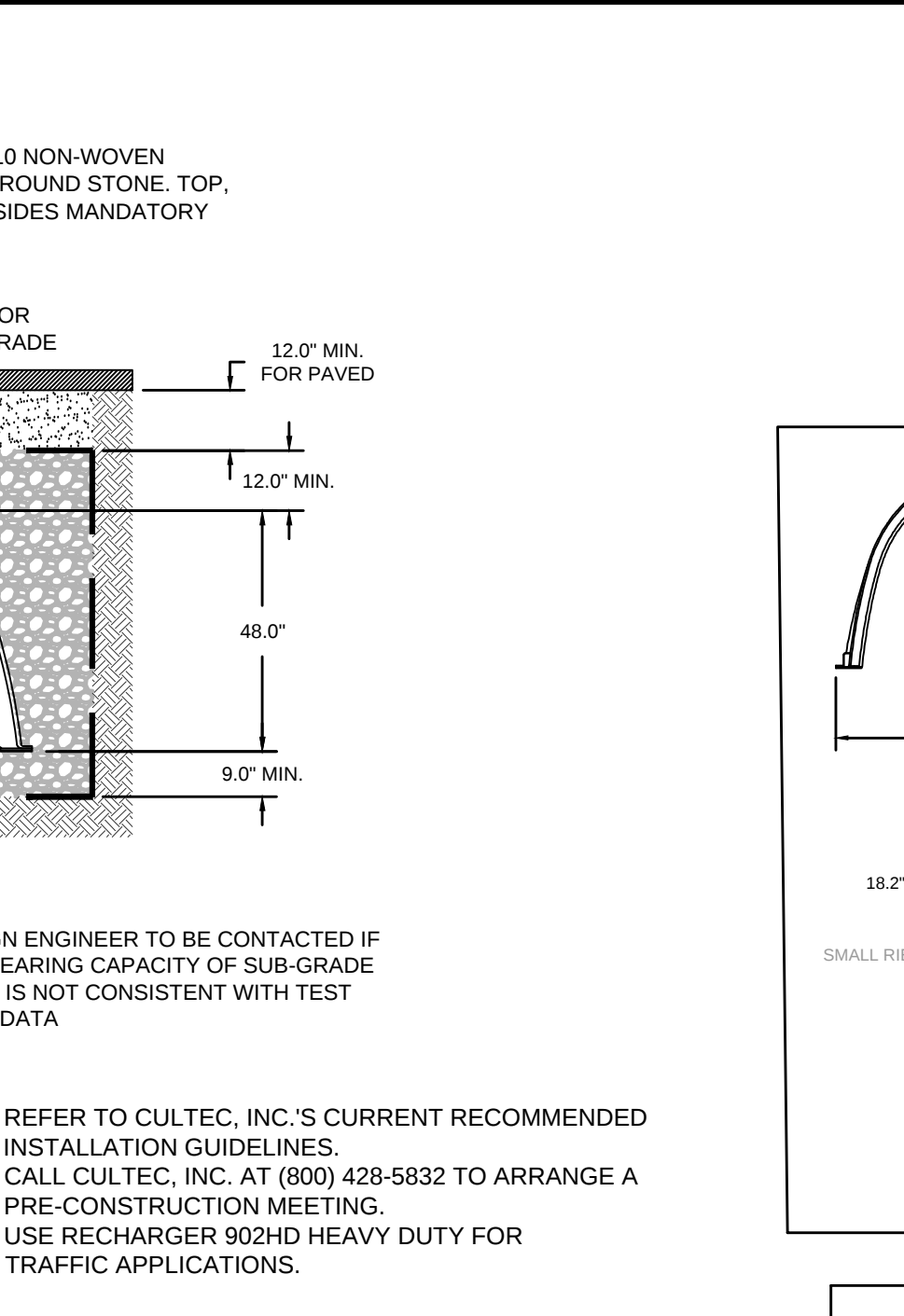
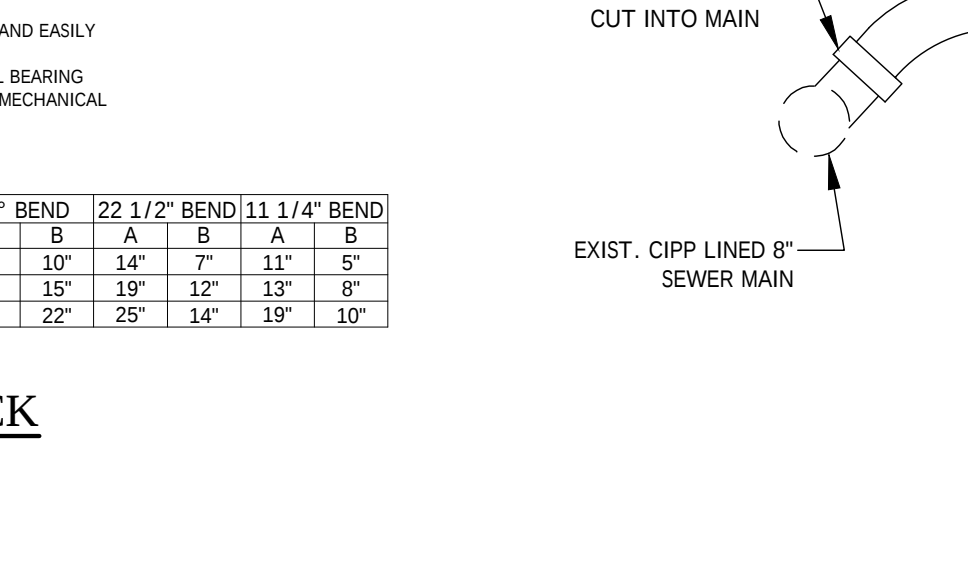
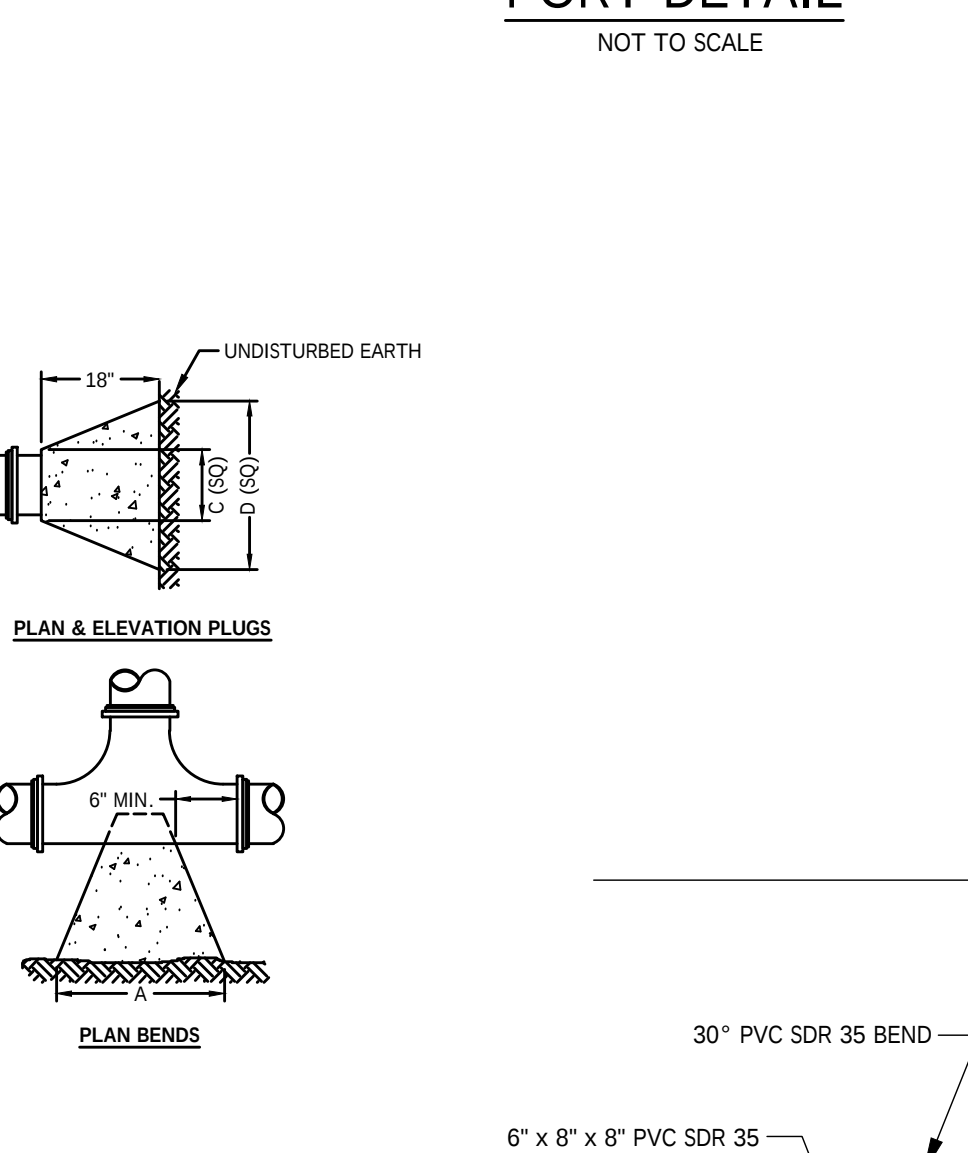
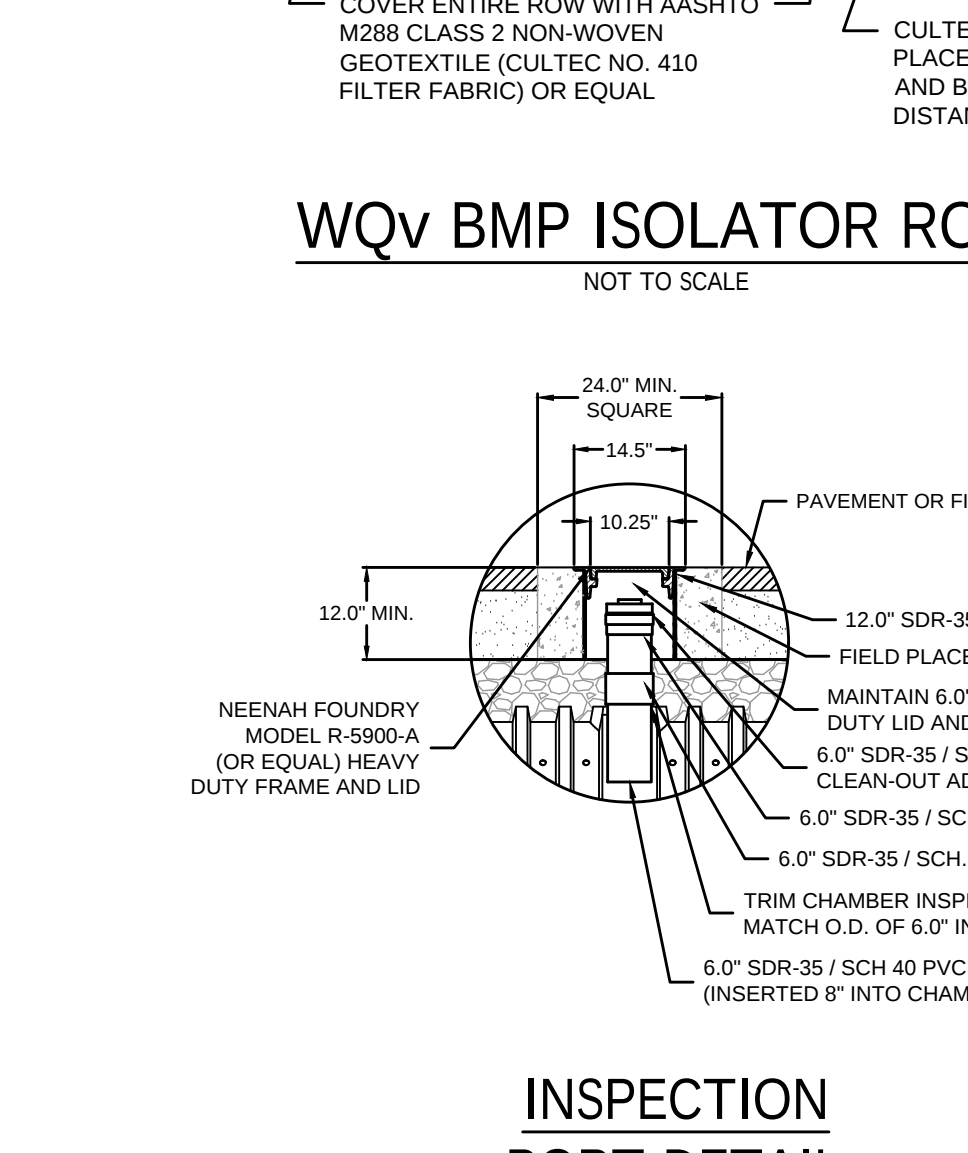
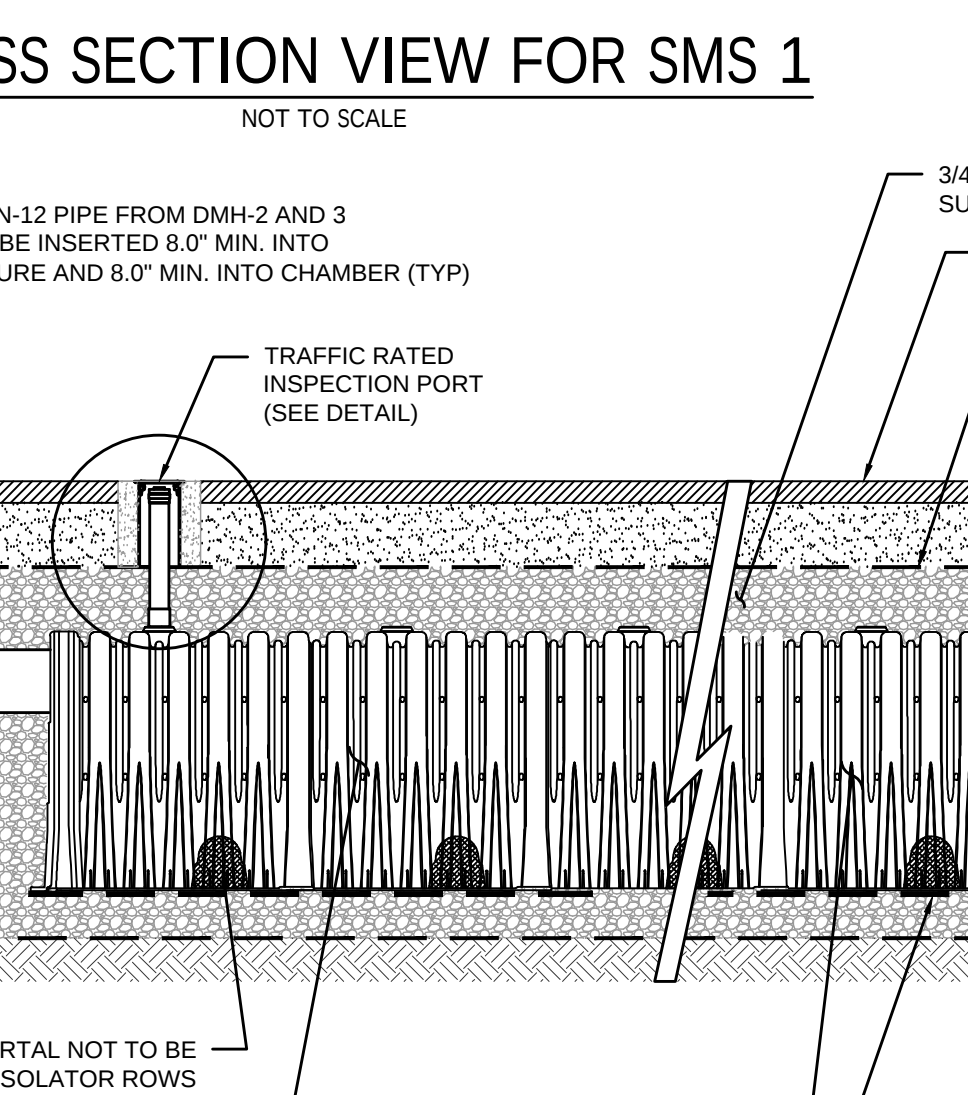
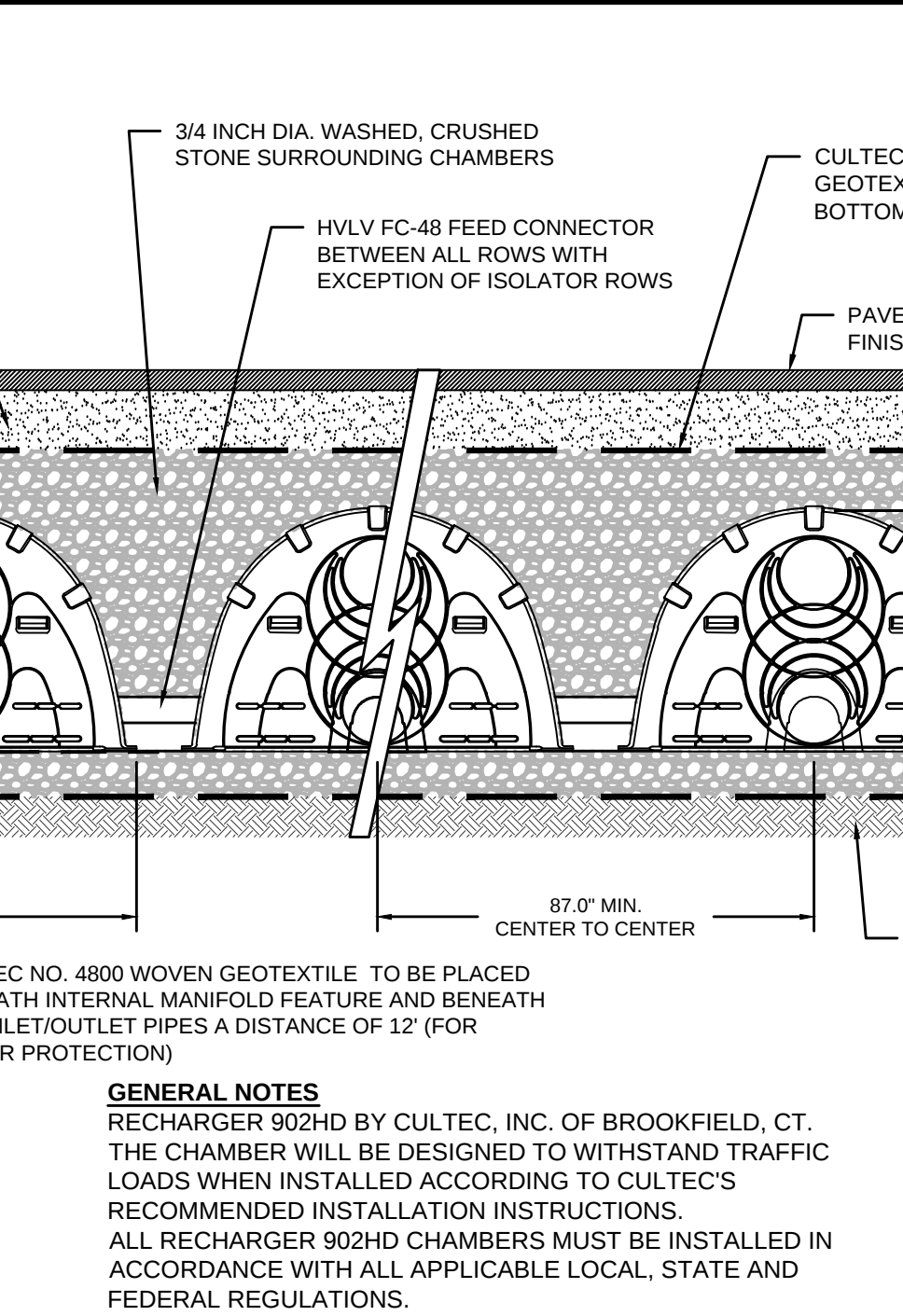
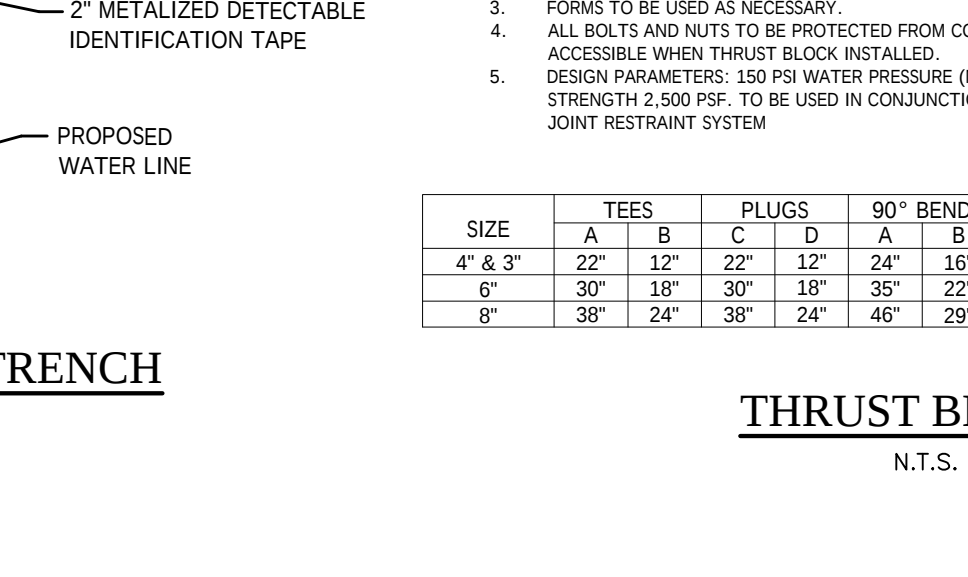
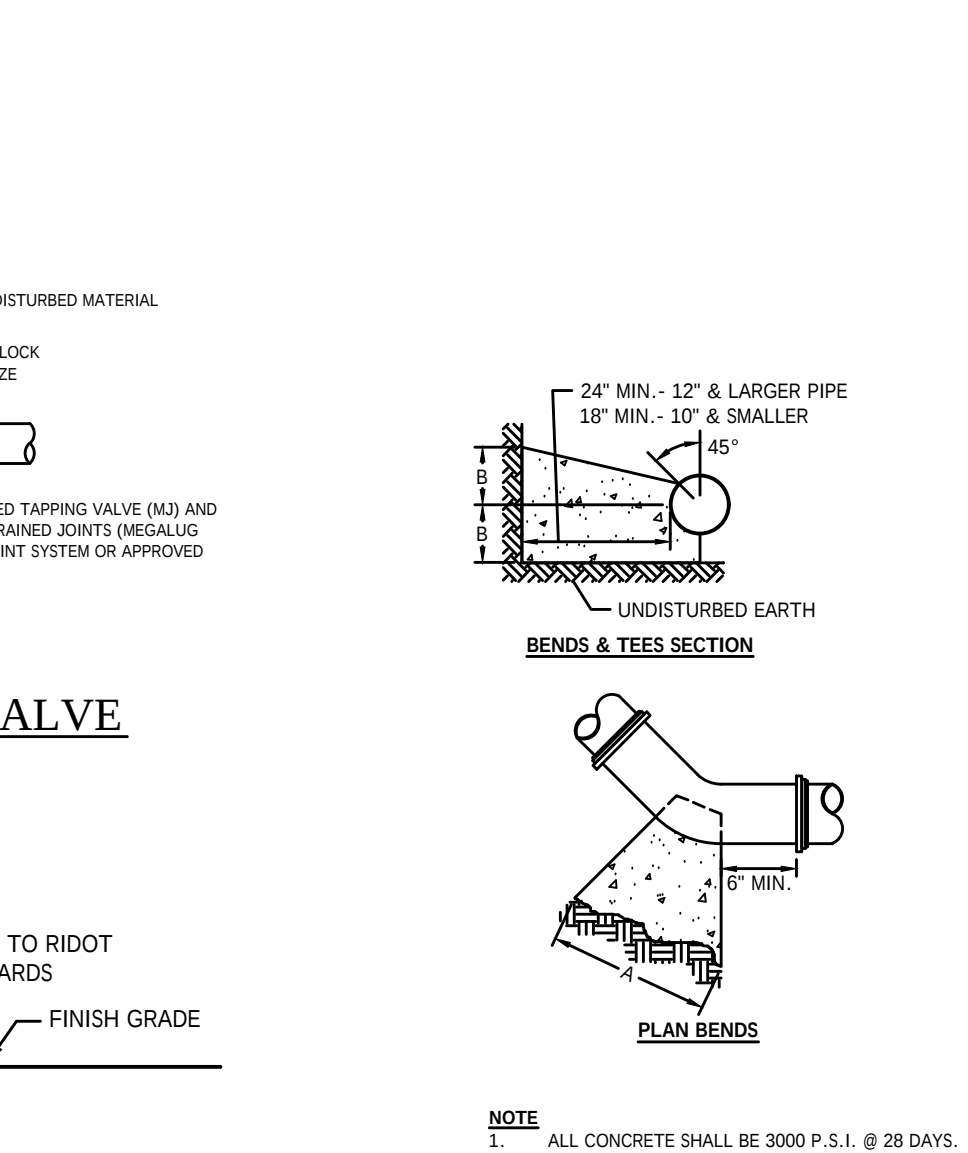
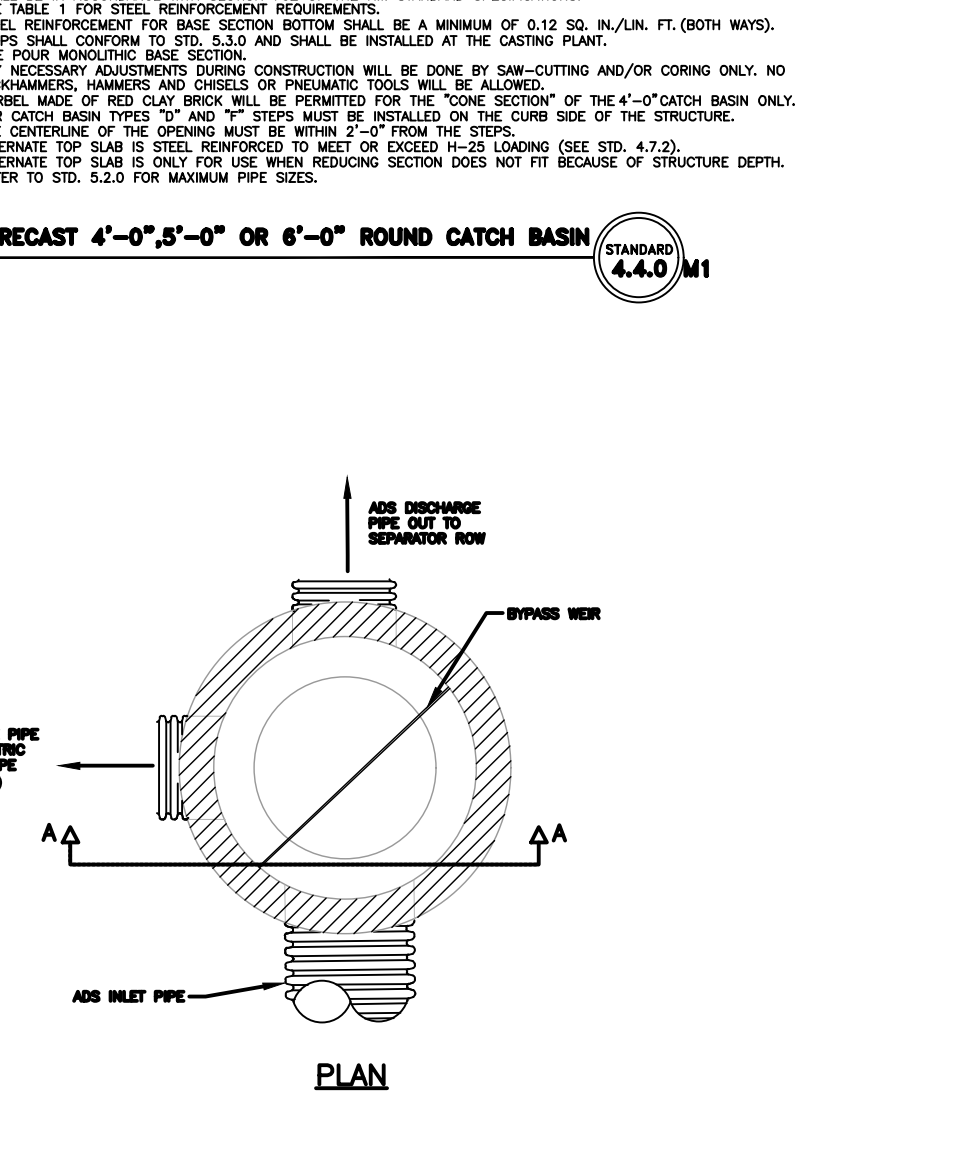
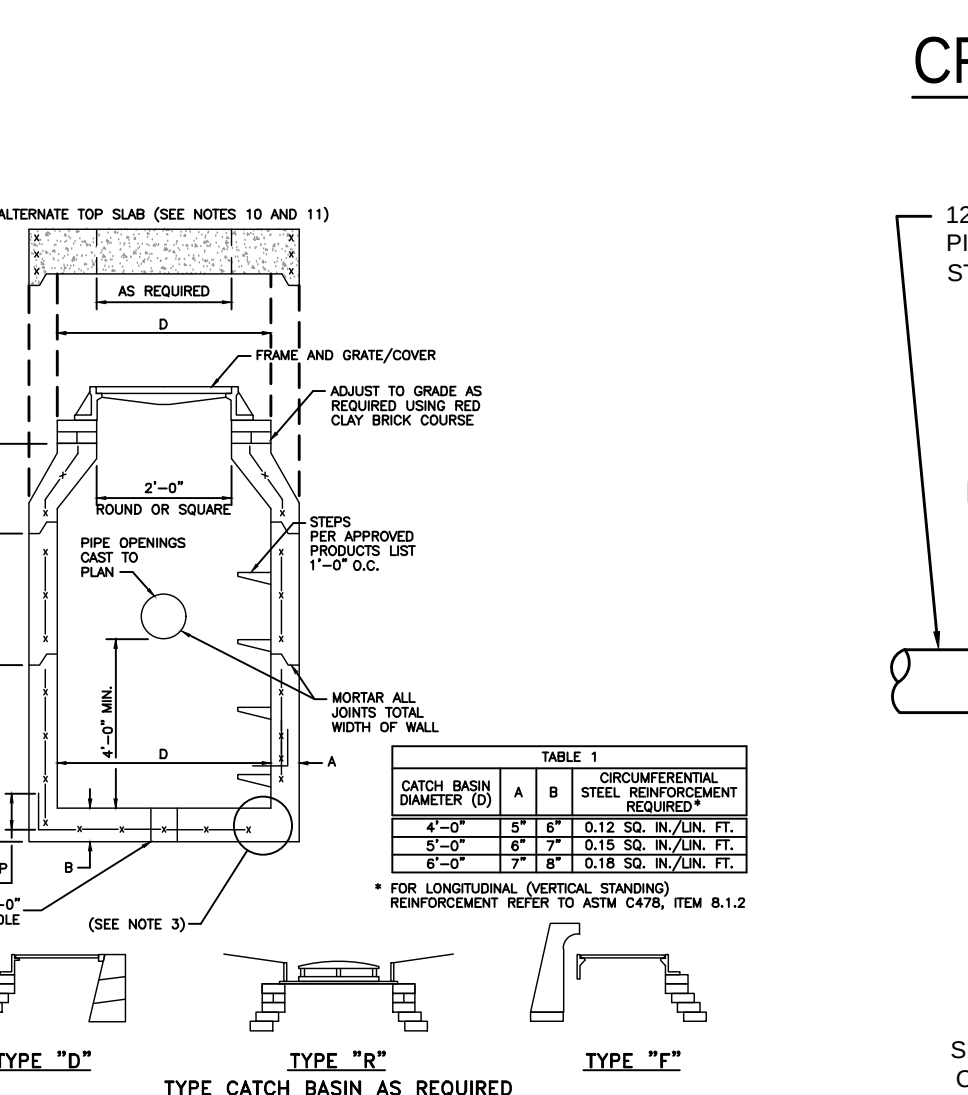
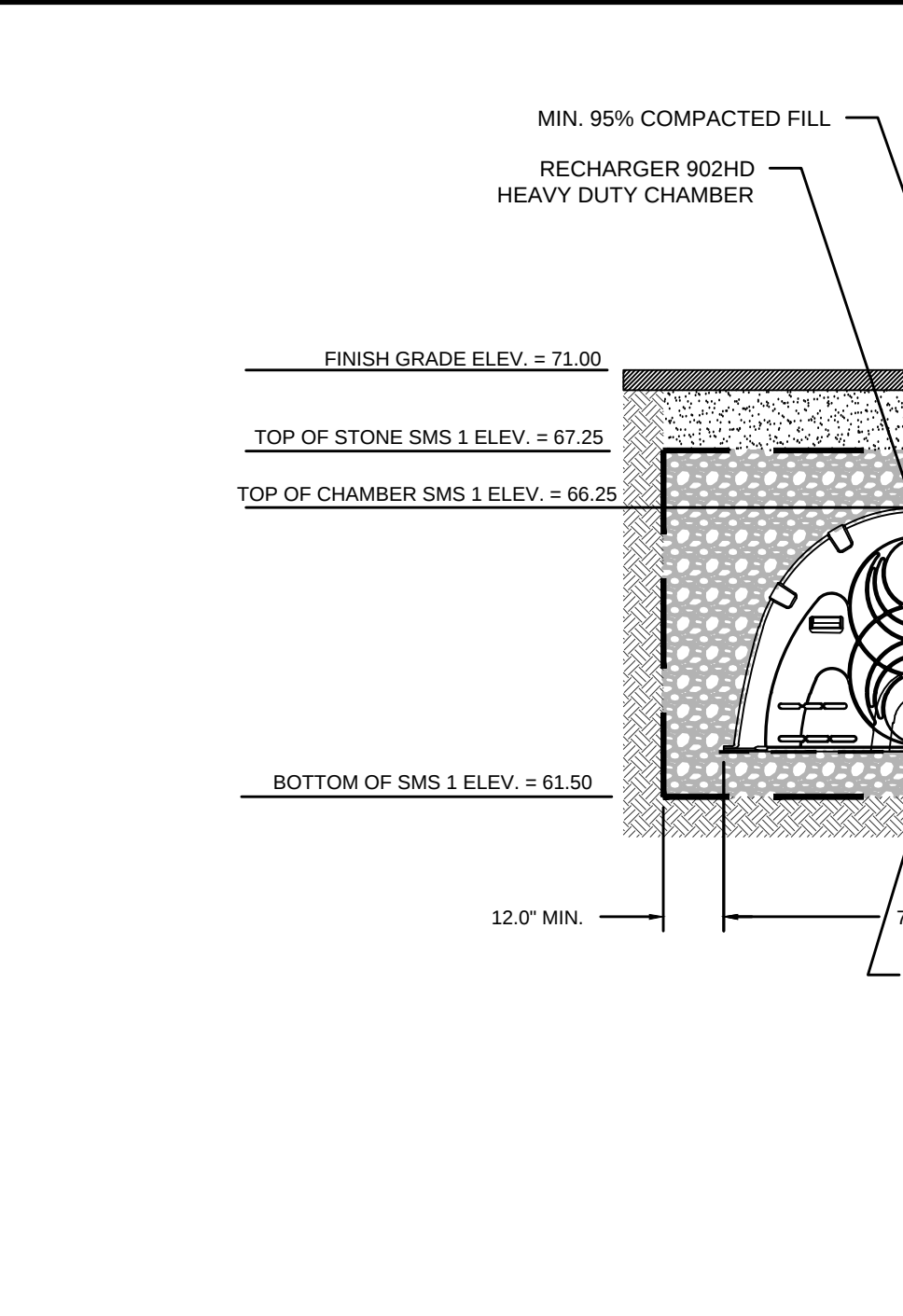
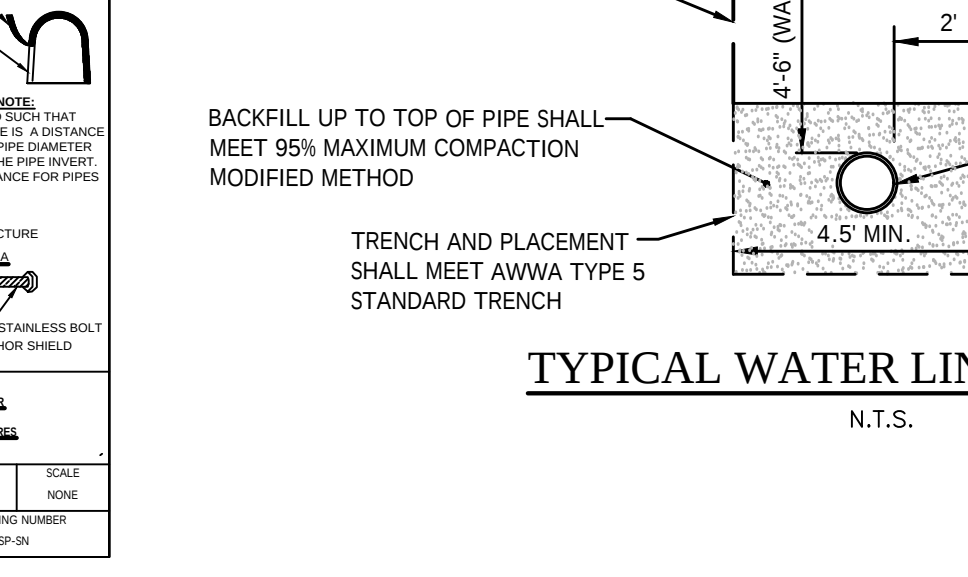
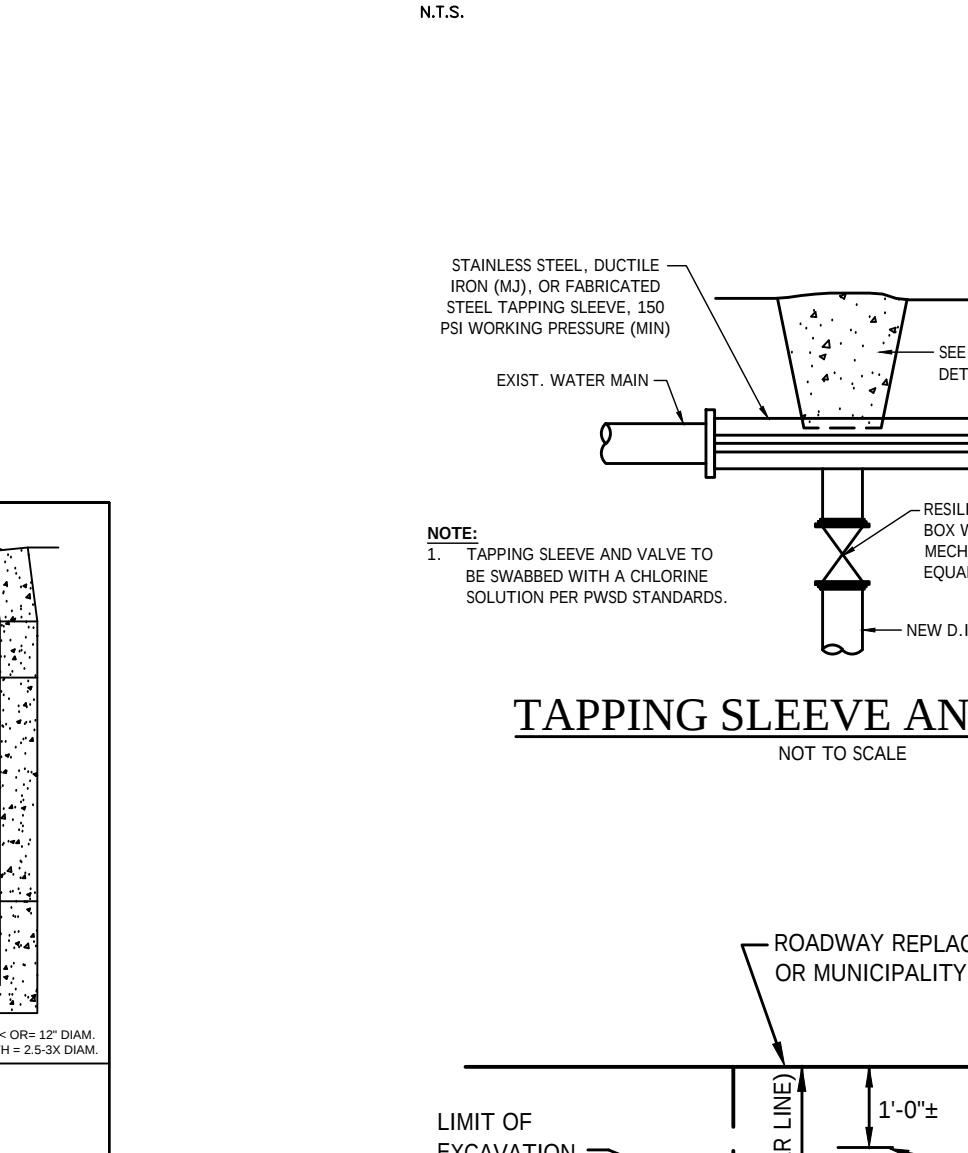
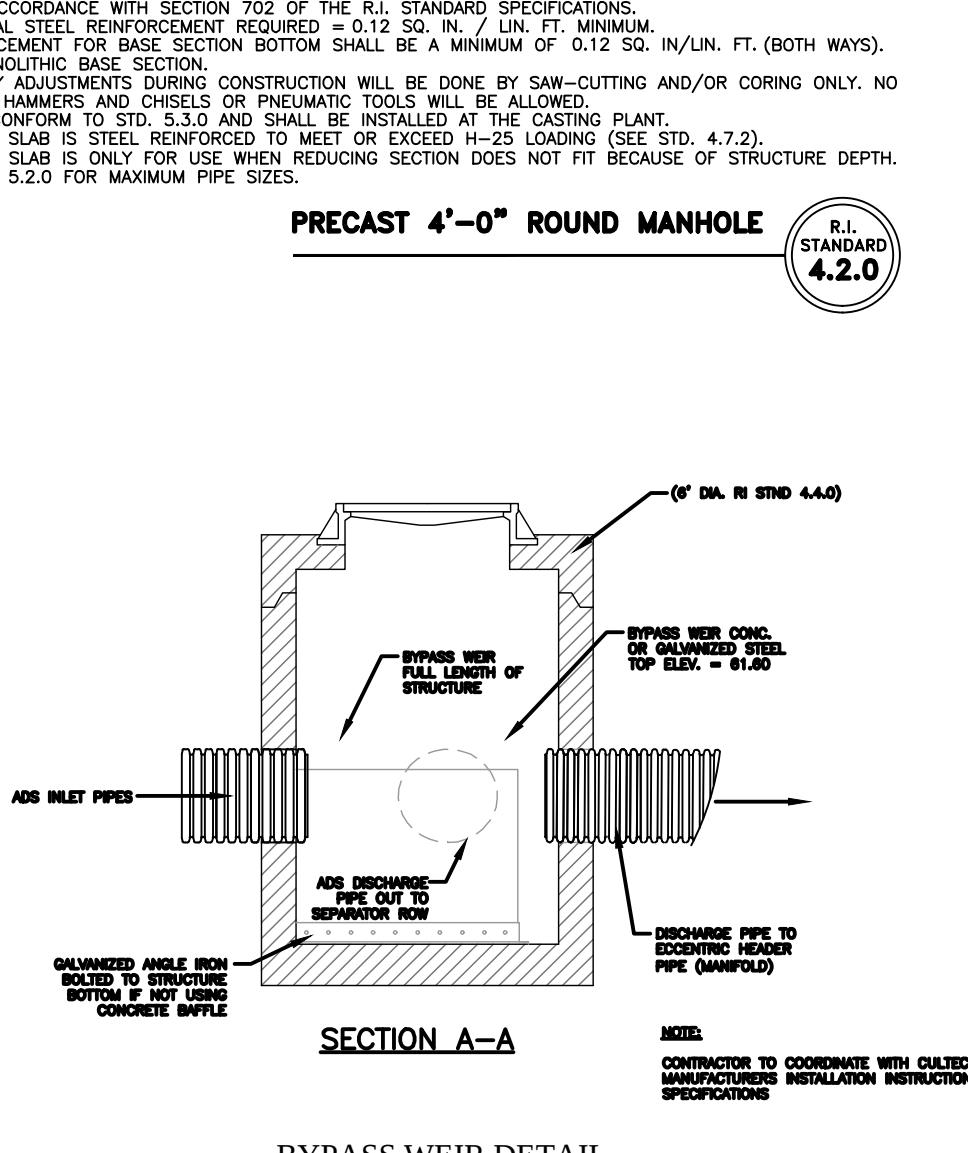
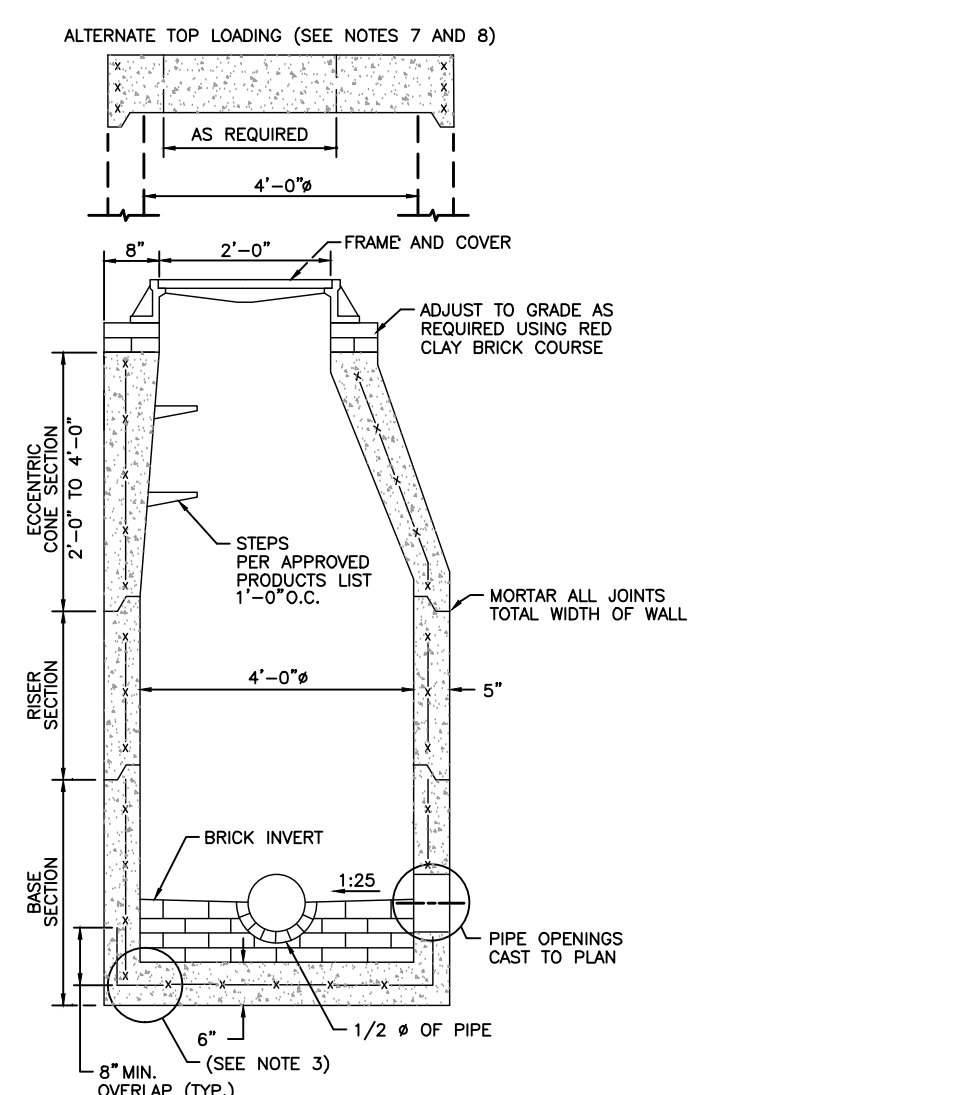
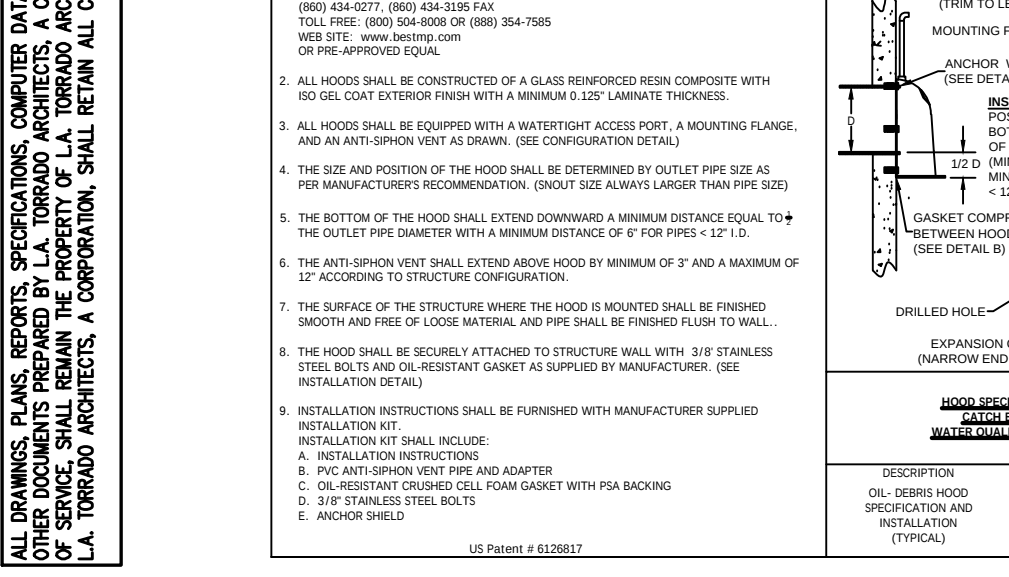
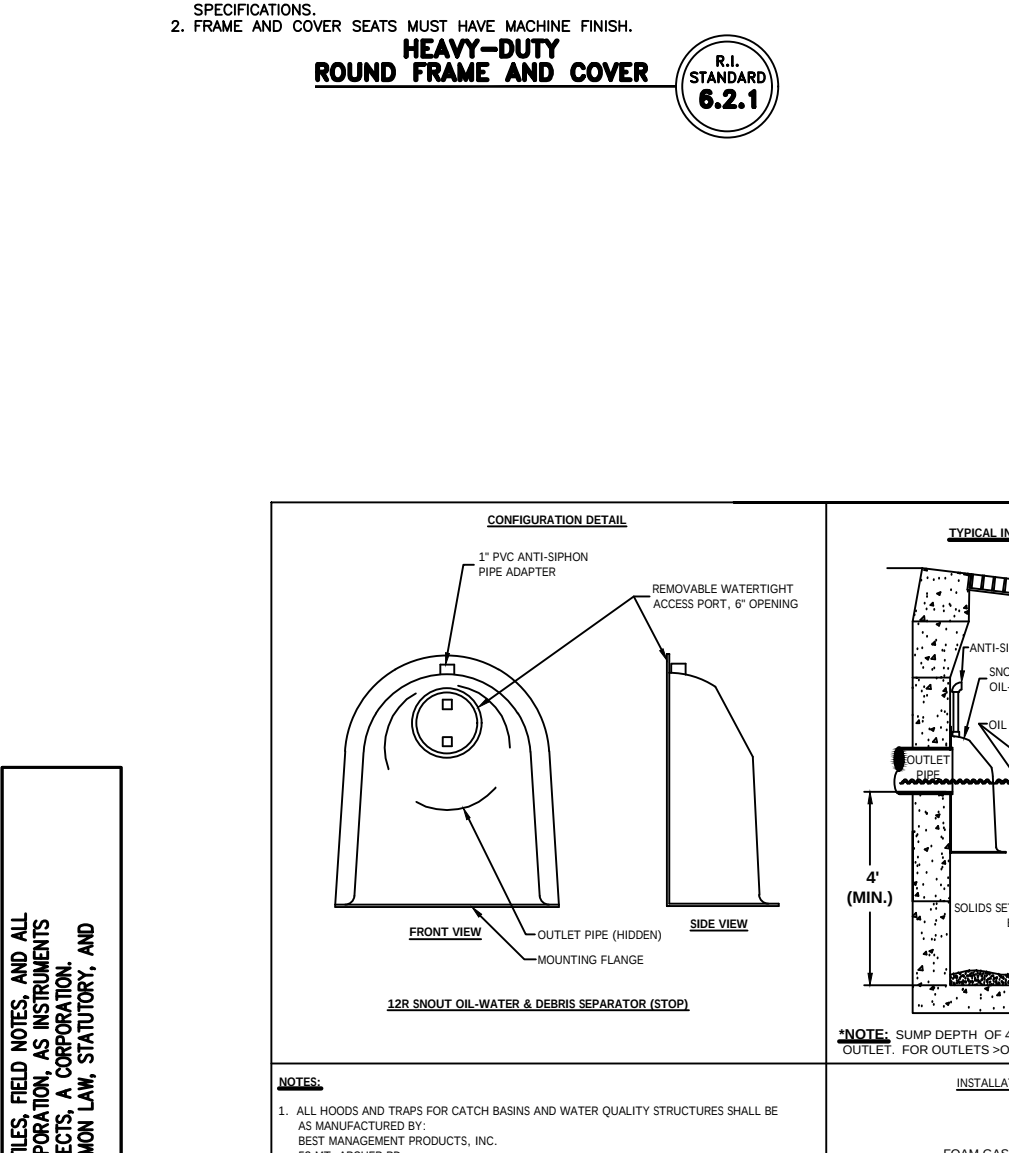
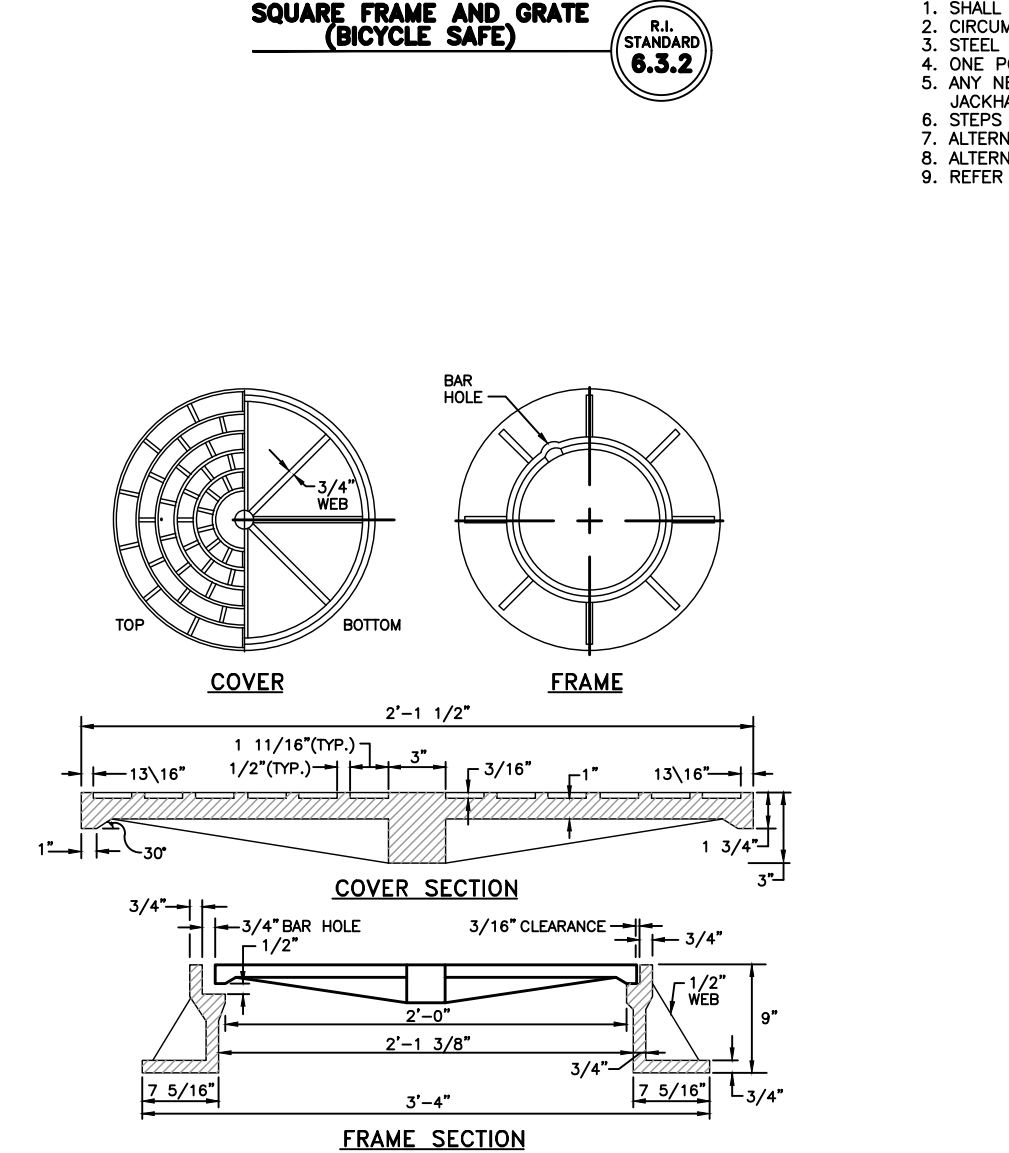
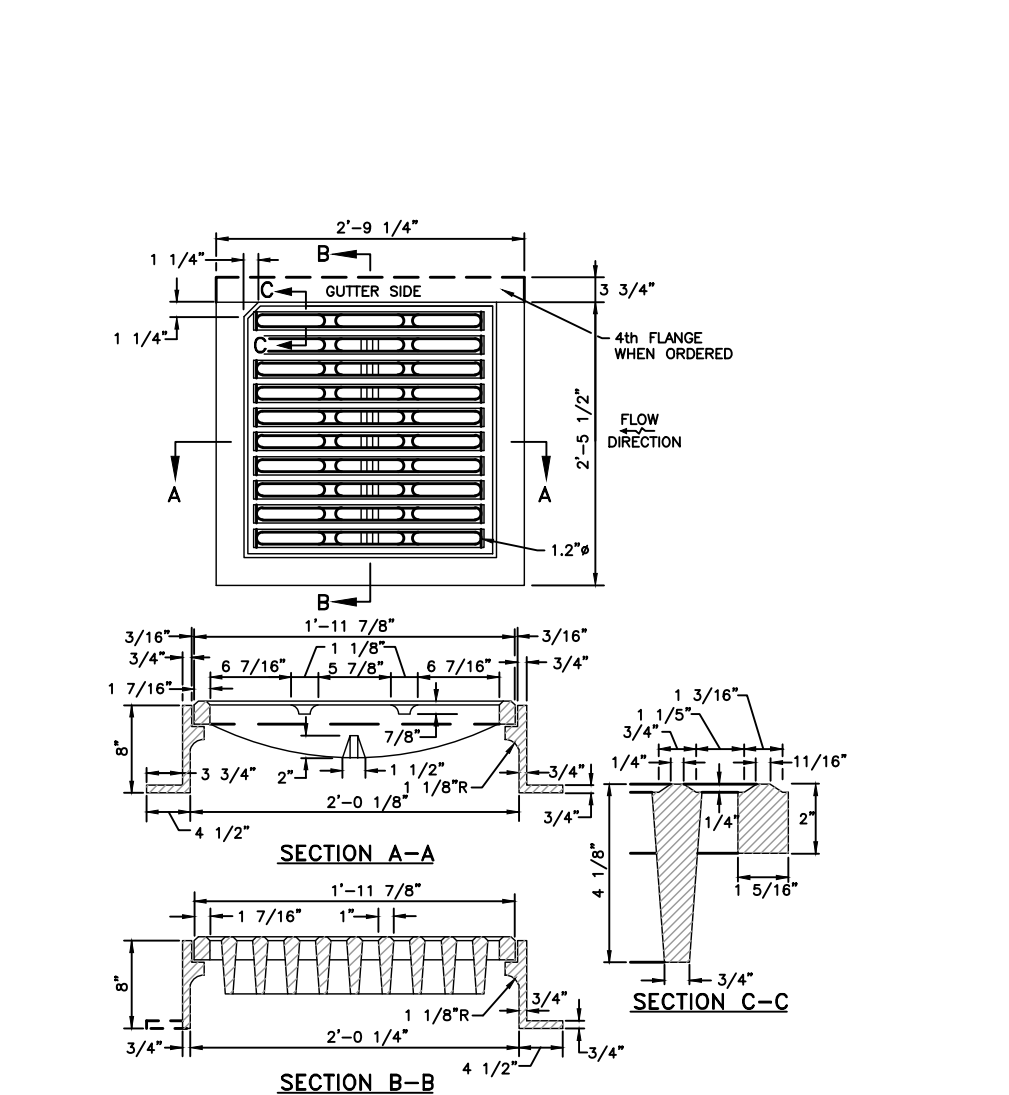
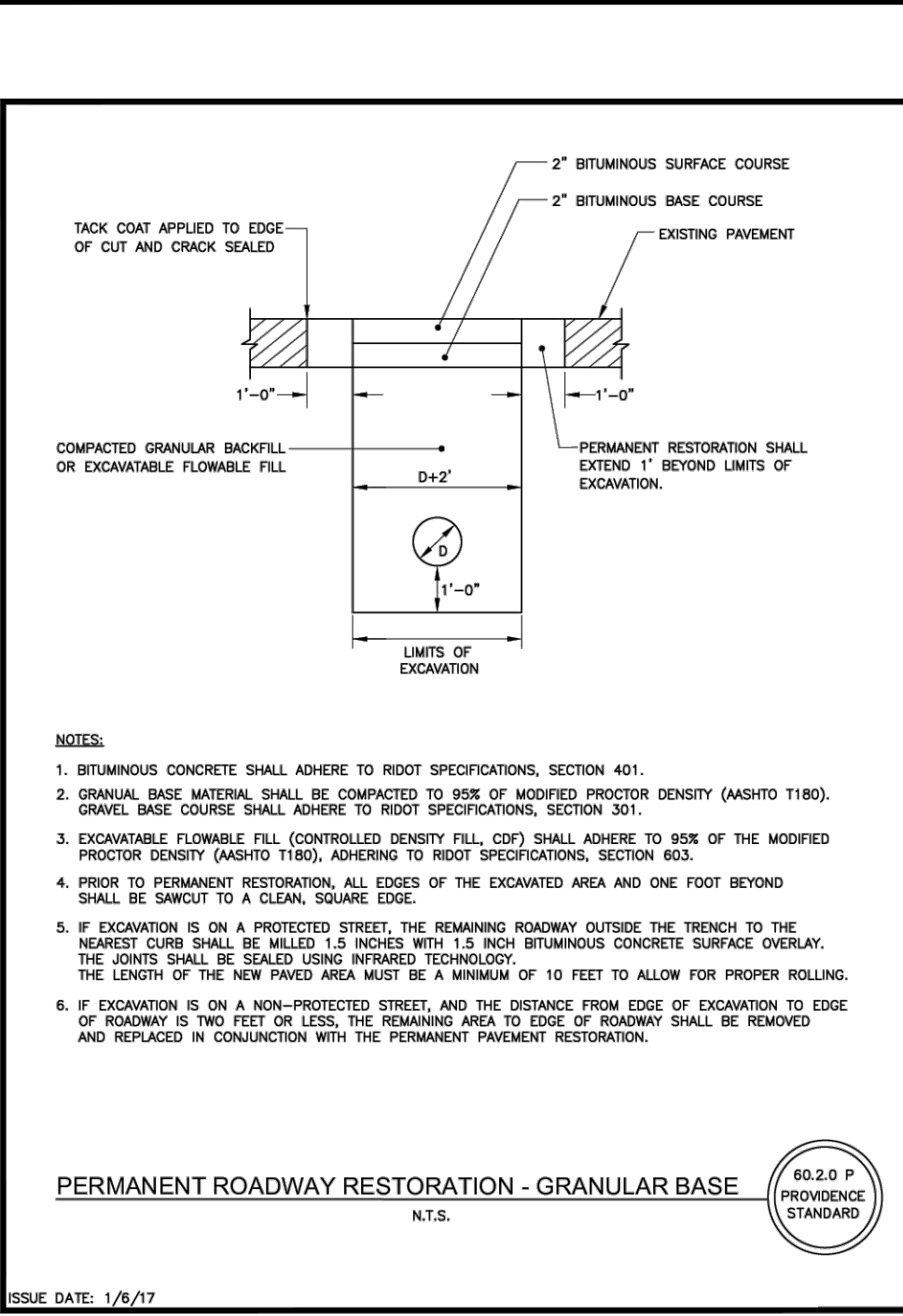
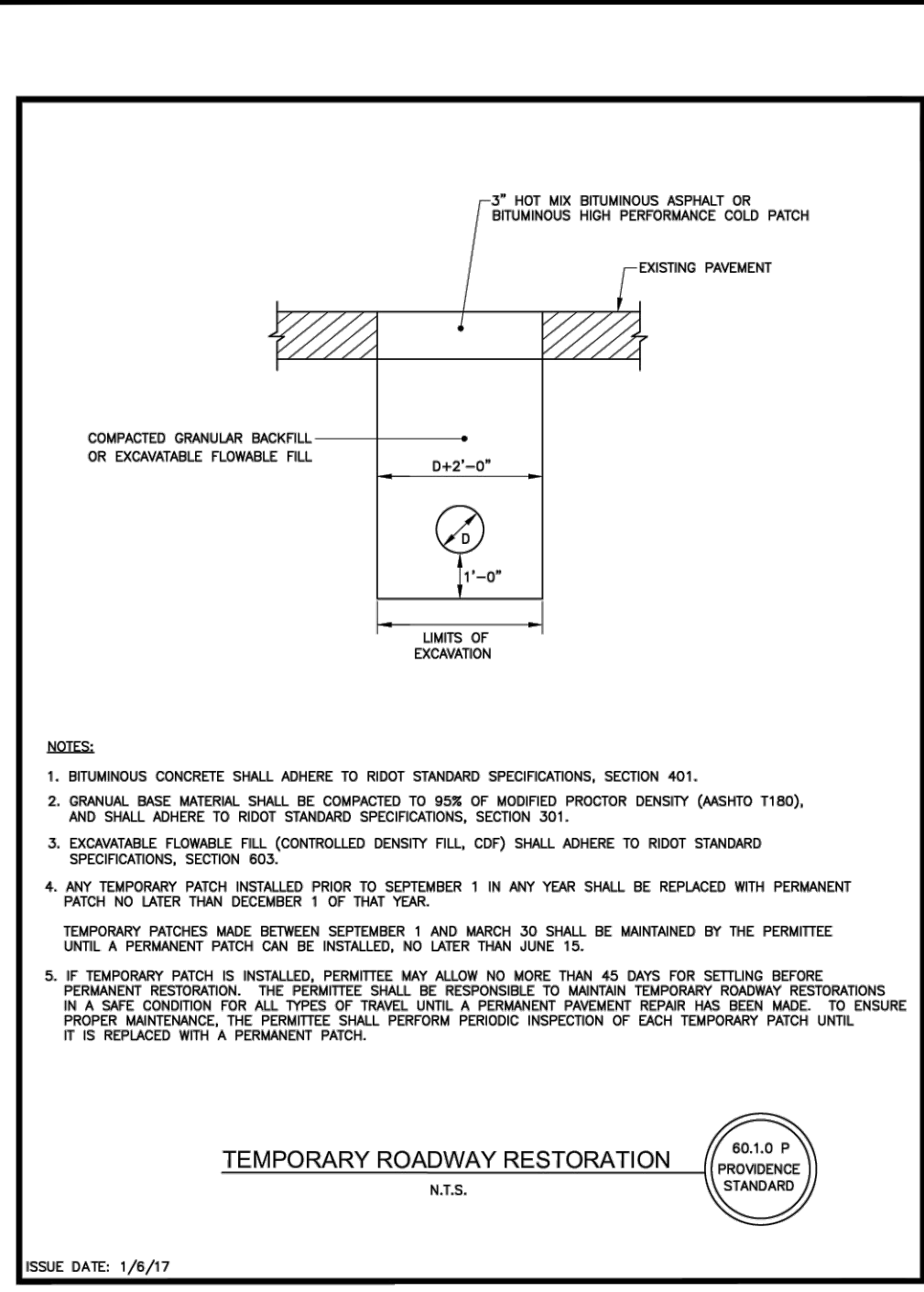
SCHEMATIC DESIGN FOR PERMIT

DATE:	REV. #	DESCRIPTION
REVISIONS:		

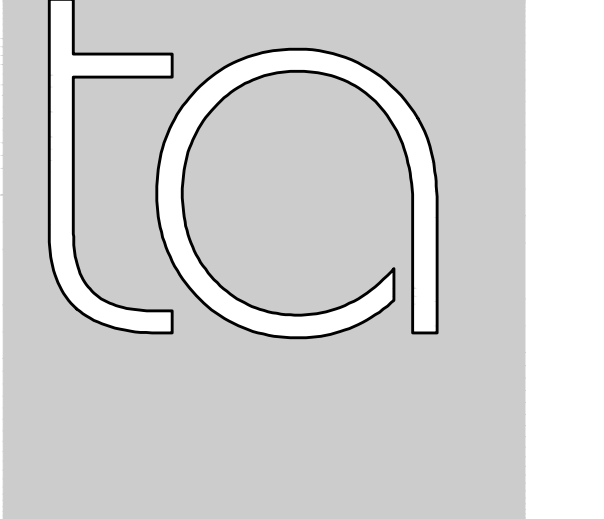
DATE: AUG. 29, 2025
JOB No:
DRWN BY: D.M.D.
CHECKED BY: D.M.D.
SCALE: AS NOTED

C6.0

SHEET 01



DEtec.
D'AMICO ENGINEERING TECHNOLOGY, INC.
Civil · Transportation · Land Use
2080 Mineral Spring Ave., North Providence, RI 02911
(401) 622-1470 (401) 353-1100 Fax
www.dengrtecl.com

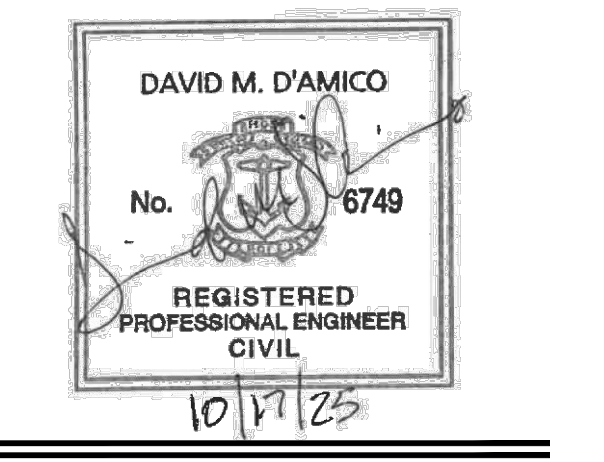


TORRADO
ARCHITECTS

35 GREENWICH ST.
PROVIDENCE, RI 02907
401.781.0633 P
401.781.0661 F

OWNED BY
DAVID M. D'AMICO
No. 6749
REGISTERED PROFESSIONAL ENGINEER
CIVIL
10/1/25

KEY PLAN



CITY OF
PROVIDENCE

Providence City Hall
25 Dorrance Street
Providence, RI 02903

PROJECT:

NEW SCHOOL:

LIMA STUART
ELEMENTARY
SCHOOL

188 PRINCETON AVE.
Providence, RI 02903

CONTENT:

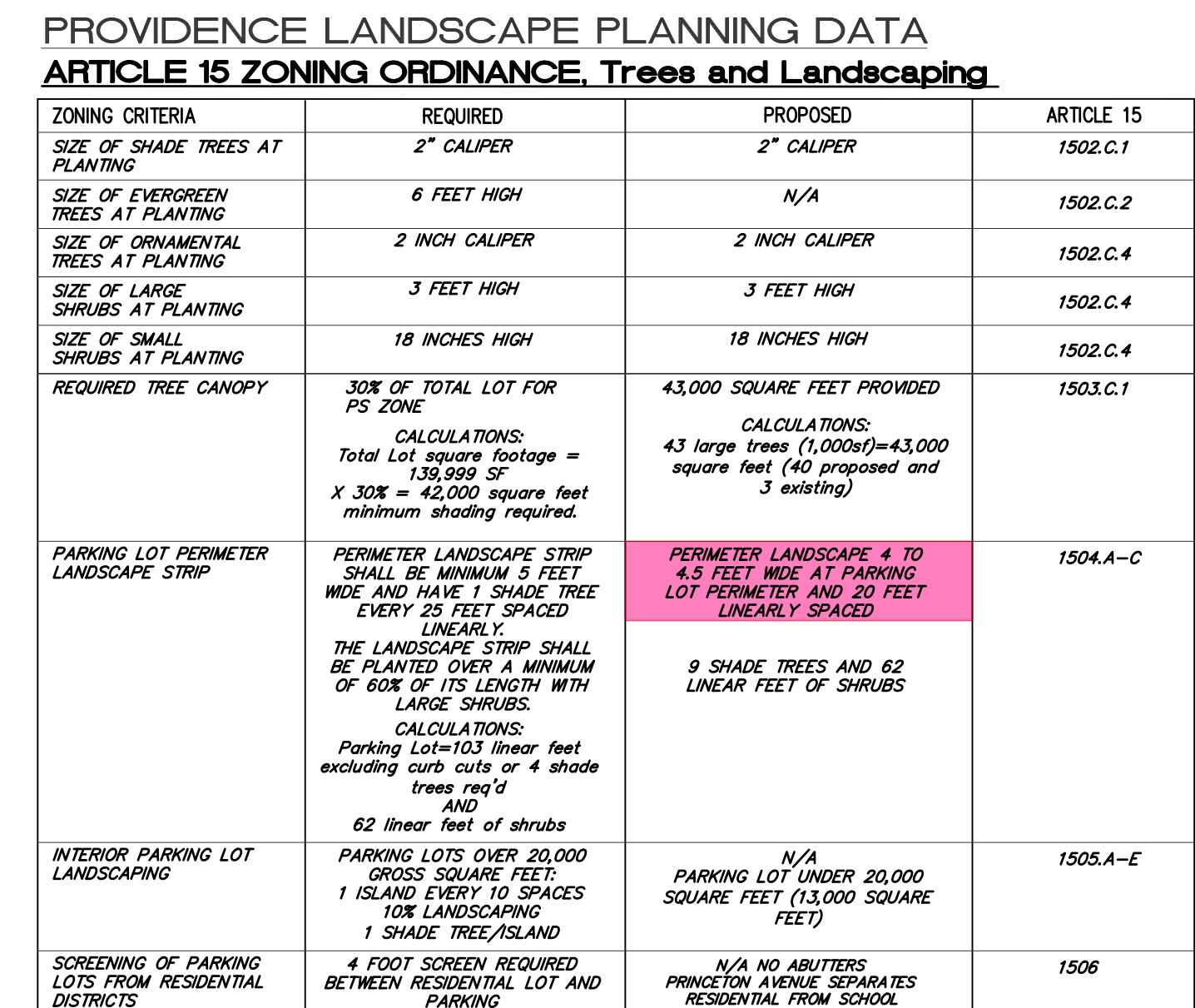
SITE
DETAILS
PLAN NO. 2

STATUS:
SCHEMATIC DESIGN FOR PERMIT

DATE: REV. # DESCRIPTION
REVISIONS:

DATE: AUG. 29, 2025
JOB No: D.M.D.
CHECKED BY: D.M.D.
SCALE: AS NOTED

C7.0
SHEET OF



BASE BID

PLAY STRUCTURES AND COMPONENTS (by Landscape Structures, Inc.)

- A WEE SAW
- B. SENSORY PLAY CENTER
 - 2 END PANELS
 - 4 PLAY PANELS
- C. SMART PLAY CUBE
- D OUR HOUSE
- E PLAY PANELS (4) AND PANEL POSTS (6)
- F KALEIDOSCOPE BENCH (2)

SURFACING 3.5" THICK (by Surface America, Inc.)

- G PLAYGRASS - 2,000 SF
- H P.I.P. #1 - 700 SF
- I P.I.P. #2 - 1,600 SF
- J P.I.P. #3 - 2,300 SF

ADD ALTERNATE
K OODLE SWING
L 3 SPOKE TOWER
M VENTI
N WE GO ROUND

SURFACING - 3.5" THICK (by Surface America, Inc.)
O P.I.P. #1 - 4,500 SF
P P.I.P. #2 - 4,500 SF

BOLLARD by ARCHITECTURAL AREA LIGHTING



TORRADO
ARCHITECTS

35 GREENWICH ST.
PROVIDENCE, RI 02907
401.781.0633 P
401.781.0661 F



KEY PLAN

CITY OF
PROVIDENCE

Providence City Hall
25 Dorrance Street
Providence, RI 02903

PROJECT:

NEW SCHOOL:

LIMA STUART
ELEMENTARY
SCHOOL

188 PRINCETON AVE.
Providence, RI 02903

CONTENT:

LANDSCAPE PLAN

STATUS:
PREVIEW SCHEMATIC DESIGN

DATE:	REV. #	DESCRIPTION
REVISIONS:		
DATE:	AUG. 22, 2025	
JOB No:		
DRWN BY:	D.C.S.	
CHECKED BY:	D.C.S.	
SCALE:	AS NOTED	

DATE: AUG. 22, 2025

DRAWN BY: D.C.S.

CHECKED BY: D.C.S.

SCALE: AS NOTED

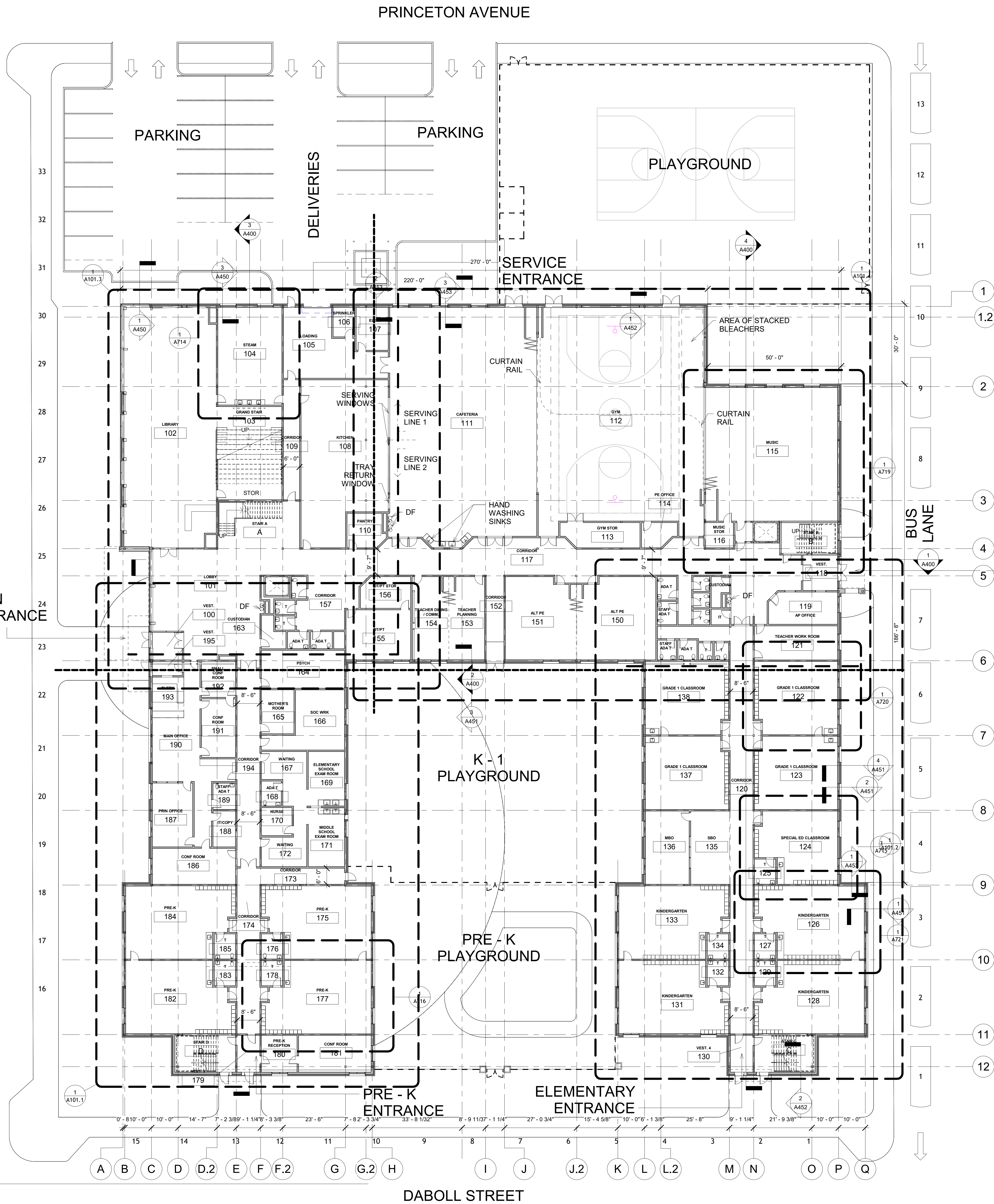
L1.0

SHEET 01

ALL DRAWINGS, PLANS, REPORTS, SPECIFICATIONS, COMPUTER DATA FILES, FIELD NOTES, AND ALL OTHER DOCUMENTS HEREBY ARE THE PROPERTY OF TORRADO ARCHITECTS. NO PART OF THIS DOCUMENT OR ITS CONTENTS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF TORRADO ARCHITECTS.

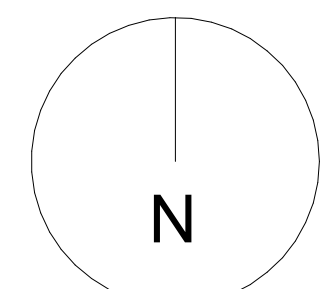
1 First Floor Plan
1/16" = 1'-0"

BUCKLIN STREET
MAIN ENTRANCE



MIDDLE SCHOOL ENTRANCE

FIRST FLOOR PLAN SF: 59,115 SF
TOTAL SF: 137,352 SF
TOTAL W/ PENTHOUSE: 148,325 SF



TORRADO
ARCHITECTS

35 GREENWICH ST
PROVIDENCE, RI 02907
401.781.0633P
401.781.0661F



335 CENTERVILLE RD
WARWICK, RI 02886
401.681.4949

RENOVATIONS FOR:

Lima Stuart
Elementary
School

PRELIMINARY
PLAN REVIEW

188 PRINCETON AVE, PROVIDENCE, RI 02907

1ST FLOOR PLAN

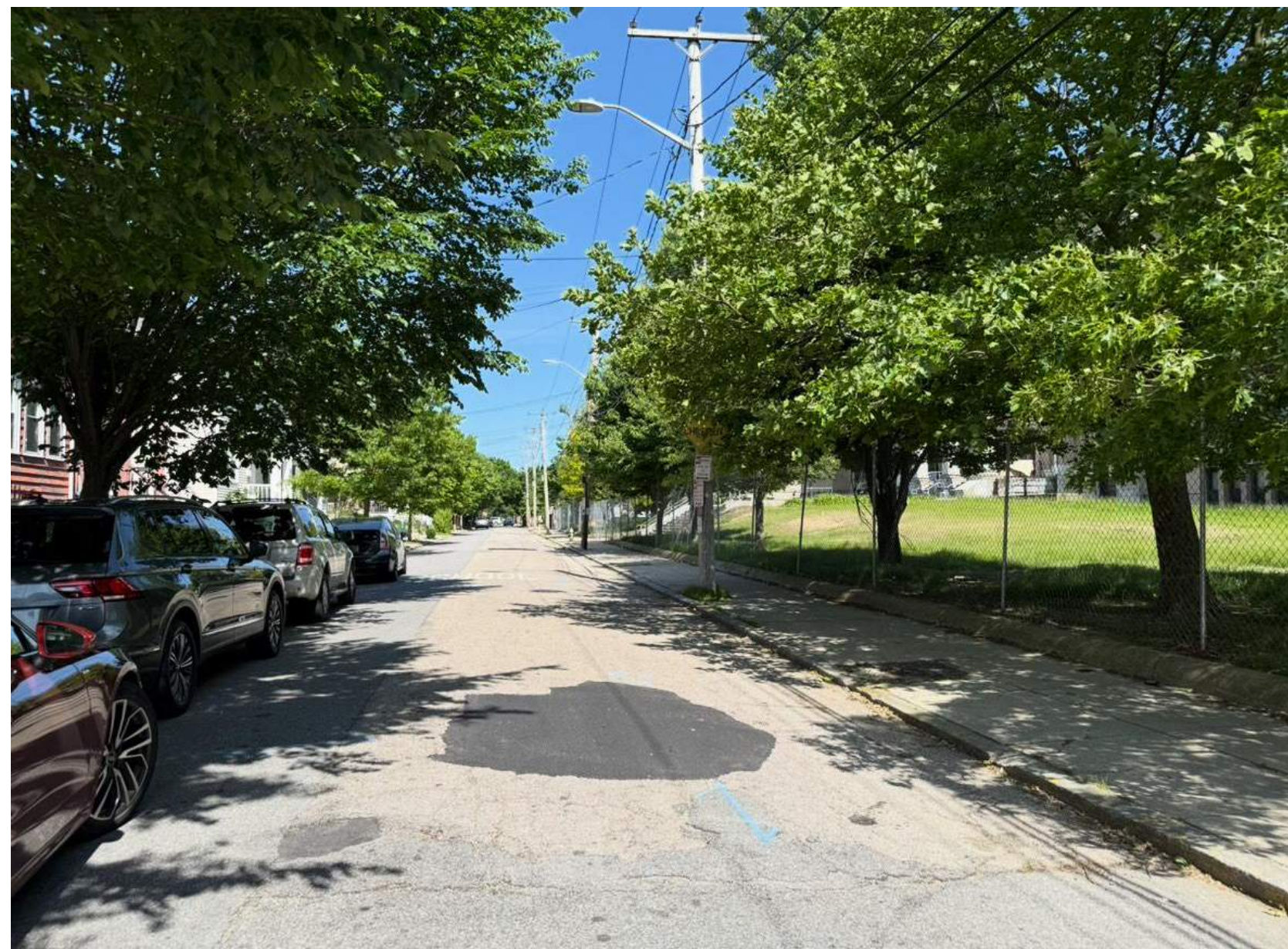
DATE	REV. #	DESCRIPTION
REVISIONS:		
DATE:	10/20/2025	
DRWN:	Author	
SCALE:	AS NOTED	
CHECKED BY:	Checker	
A101		
SHEET	OF	



1. BUCKLIN ST.



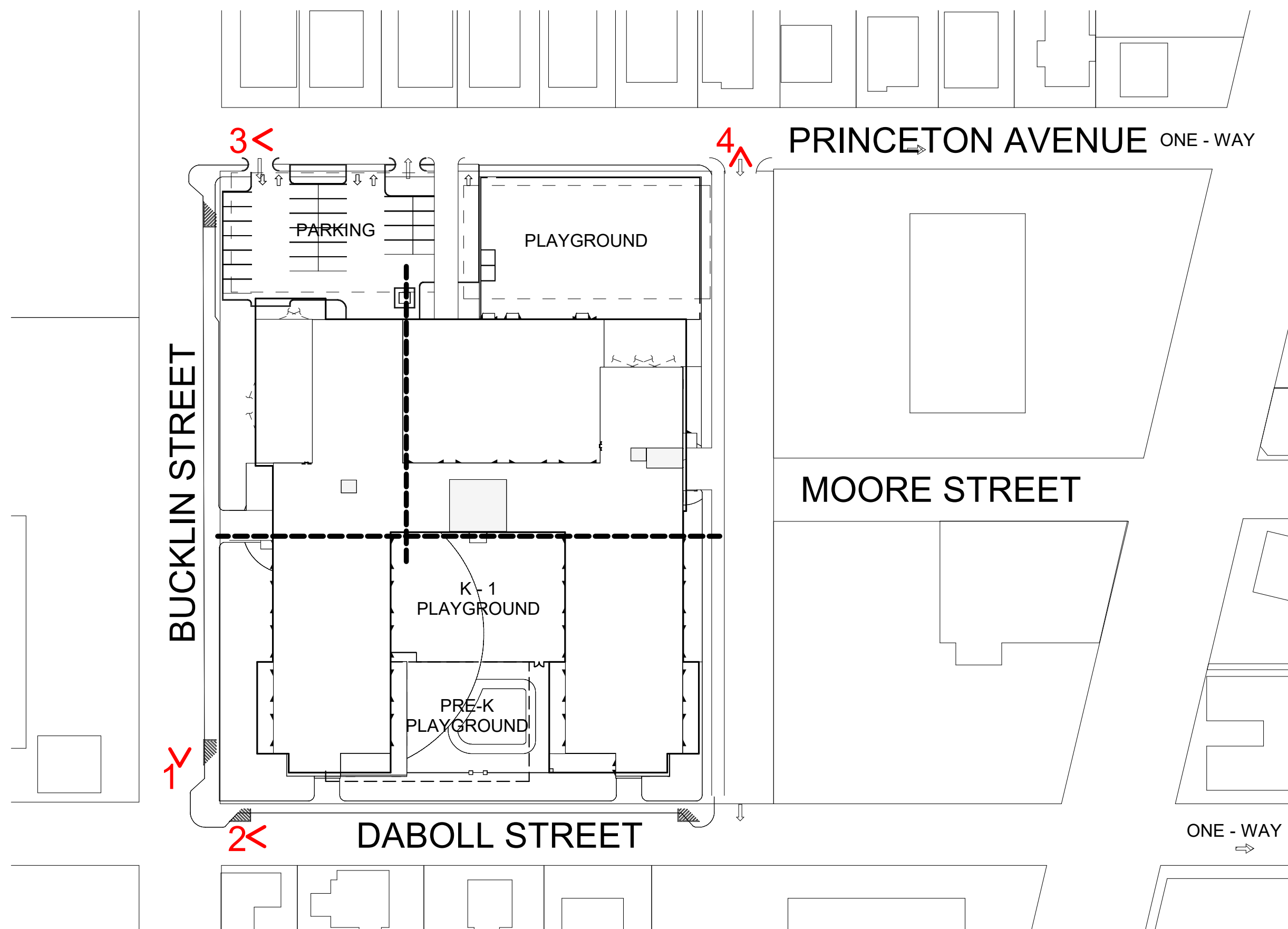
2. DABOLL ST



3. PRINCETON AVE

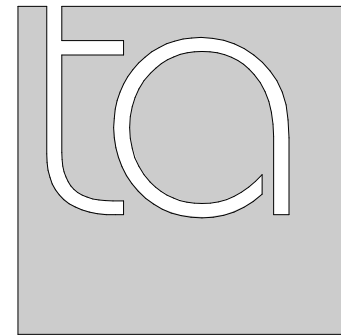


4. BUS LANE LOCATION



1 Site Key
1/64" = 1'-0"

ALL DRAWINGS, PLANS, REPORTS, SPECIFICATIONS, COMPUTER DATA FILES, FIELD NOTES, AND ALL OTHER DOCUMENTS HEREBY BEING SUBMITTED ARE THE PROPERTY OF TORRADO ARCHITECTS, INC. AND WILL BE KEPT ON FILE IN THE ARCHIVE OF THE FIRM. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF TORRADO ARCHITECTS, INC.



TORRADO
ARCHITECTS

35 GREENWICH ST
PROVIDENCE, RI 02907
401.781.0633P
401.781.0661F



335 CENTERVILLE RD
WARWICK, RI 02886
401.681.4949

RENOVATIONS FOR:

Lima Stuart
Elementary
School

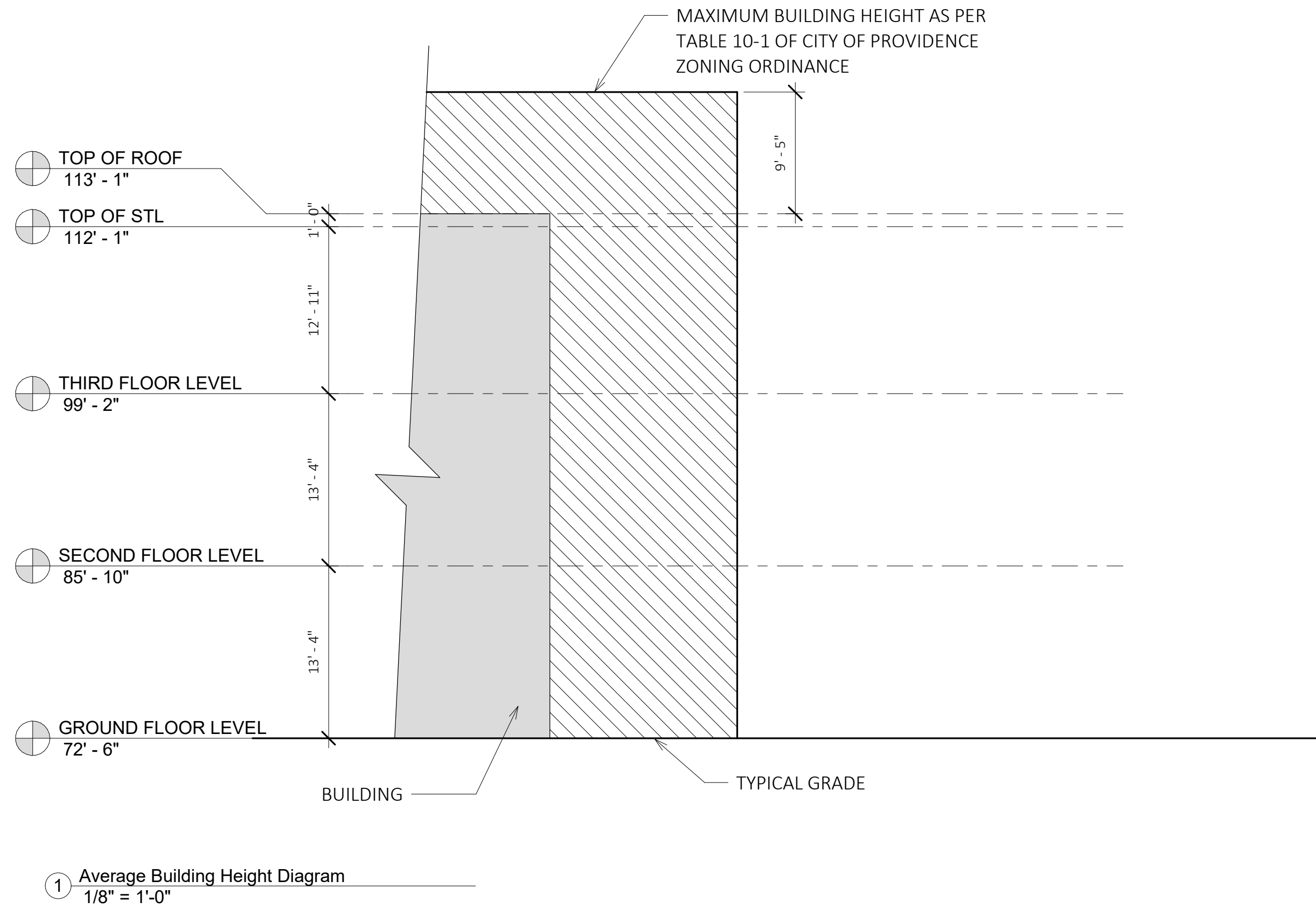
PRELIMINARY
PLAN REVIEW

188 PRINCETON AVE, PROVIDENCE, RI 02907

SITE PHOTOS

DATE	REV. #	DESCRIPTION
REVISIONS:		
DATE:	10/20/2025	
DRWN:	Author	
SCALE:	AS NOTED	
CHECKED BY:	Checker	
A001		
SHEET	OF	

TABLE 10-1: OPEN SPACE AND PUBLIC SPACE DISTRICT DIMENSIONAL STANDARDS			
	OS		PS
BULK STANDARDS			
MINIMUM LOT AREA	0		0
MINIMUM LOT WIDTH	0		0
MAXIMUM BUILDING HEIGHT	50'		50'
MINIMUM SETBACK REQUIREMENTS			
FRONT SETBACK	10'		10'
INTERIOR SETBACK	6'		6'
CORNER SETBACK	10'		10'
REAR SETBACK	25'		25'



ALL DRAWINGS, PLANS, REPORTS, SPECIFICATIONS, COMPUTER DATA, FIELD NOTES, AND ALL OTHER DOCUMENTS ARE THE PROPERTY OF TORRADO ARCHITECTS. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF TORRADO ARCHITECTS.



TORRADO
ARCHITECTS

35 GREENWICH ST
PROVIDENCE, RI 02907
401.781.0633P
401.781.0661F



335 CENTERVILLE RD
WARWICK, RI 02886
401.661.4949

RENOVATIONS FOR:

Lima Stuart
Elementary
School

PRELIMINARY
PLAN REVIEW

188 PRINCETON AVE, PROVIDENCE, RI 02907

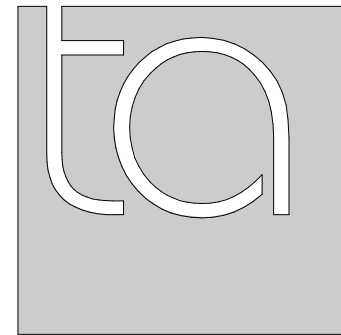
BUILDING HEIGHT
DIAGRAM

DATE	REV. #	DESCRIPTION
REVISIONS:		

DATE: 10/20/2025
DRWN: Author
SCALE: AS NOTED
CHECKED BY: Checker

A002

SHEET OF



TORRADO
ARCHITECTS

35 GREENWICH ST
PROVIDENCE, RI 02907
401.781.0633P
401.781.0661F



335 CENTERVILLE RD
WARWICK, RI 02886
401.661.4949

RENOVATIONS FOR:

Lima Stuart
Elementary
School

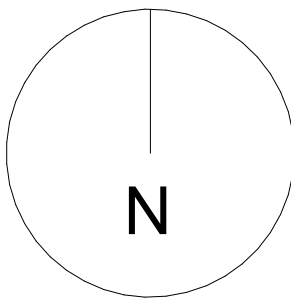
PRELIMINARY
PLAN REVIEW

188 PRINCETON AVE, PROVIDENCE, RI 02907

2ND FLOOR PLAN

SECOND FLOOR PLAN SF: 39,613 SF

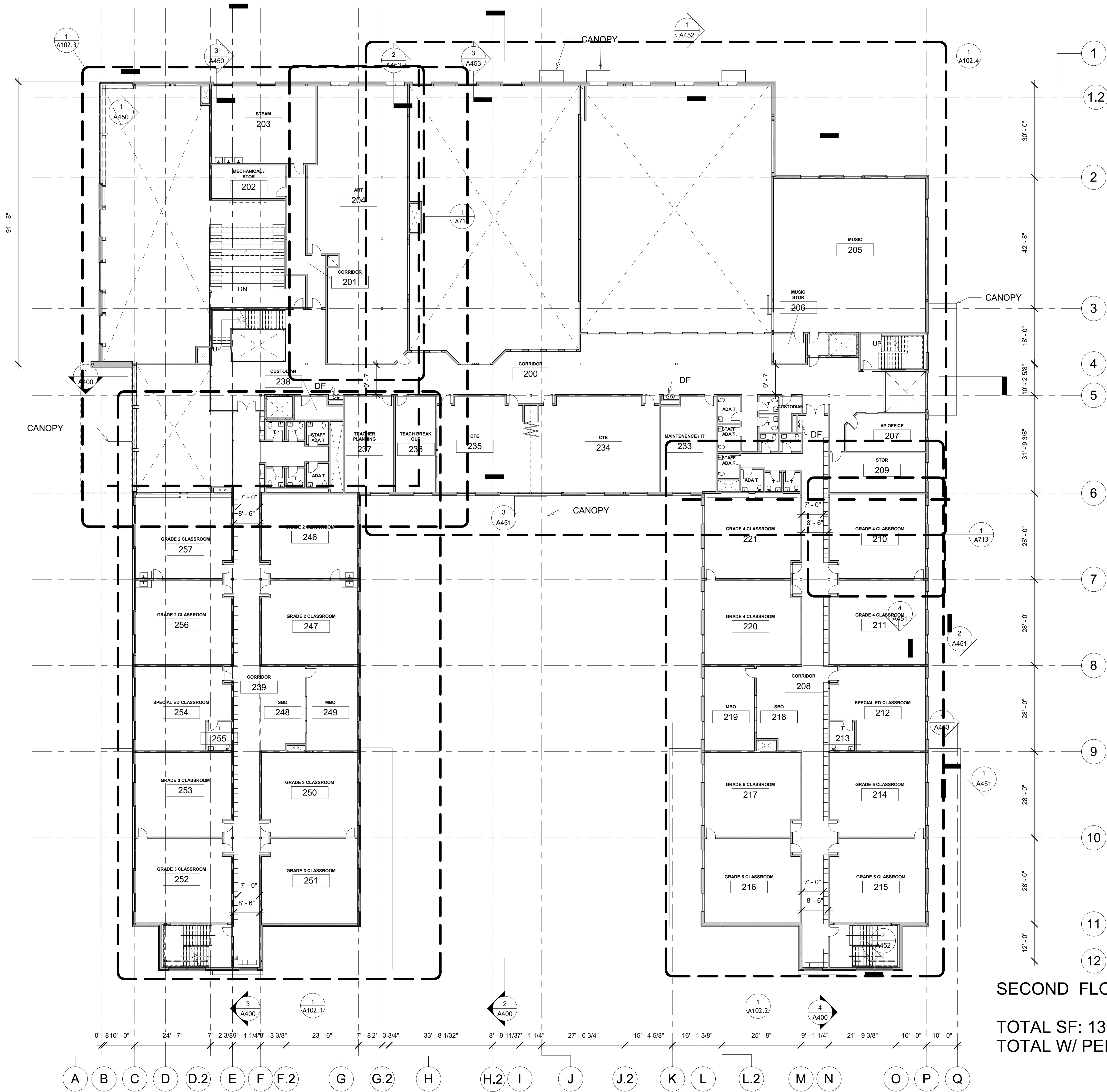
TOTAL SF: 137,352 SF
TOTAL W/ PENTHOUSE: 148,325 SF

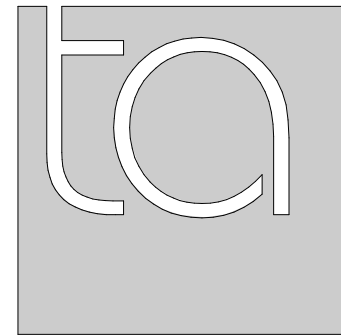


1 Second Floor Plan
1/16" = 1'-0"

ALL DRAWINGS, PLANS, REPORTS, SPECIFICATIONS, COMPUTER DATA FILES, FIELD NOTES, AND ALL OTHER DOCUMENTS ARE THE PROPERTY OF TORRADO ARCHITECTS. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF TORRADO ARCHITECTS.

ALTERNATE OPTION :
EACH CLASSROOM
GRADE 3 AND HIGHER
WILL HAVE A SINK





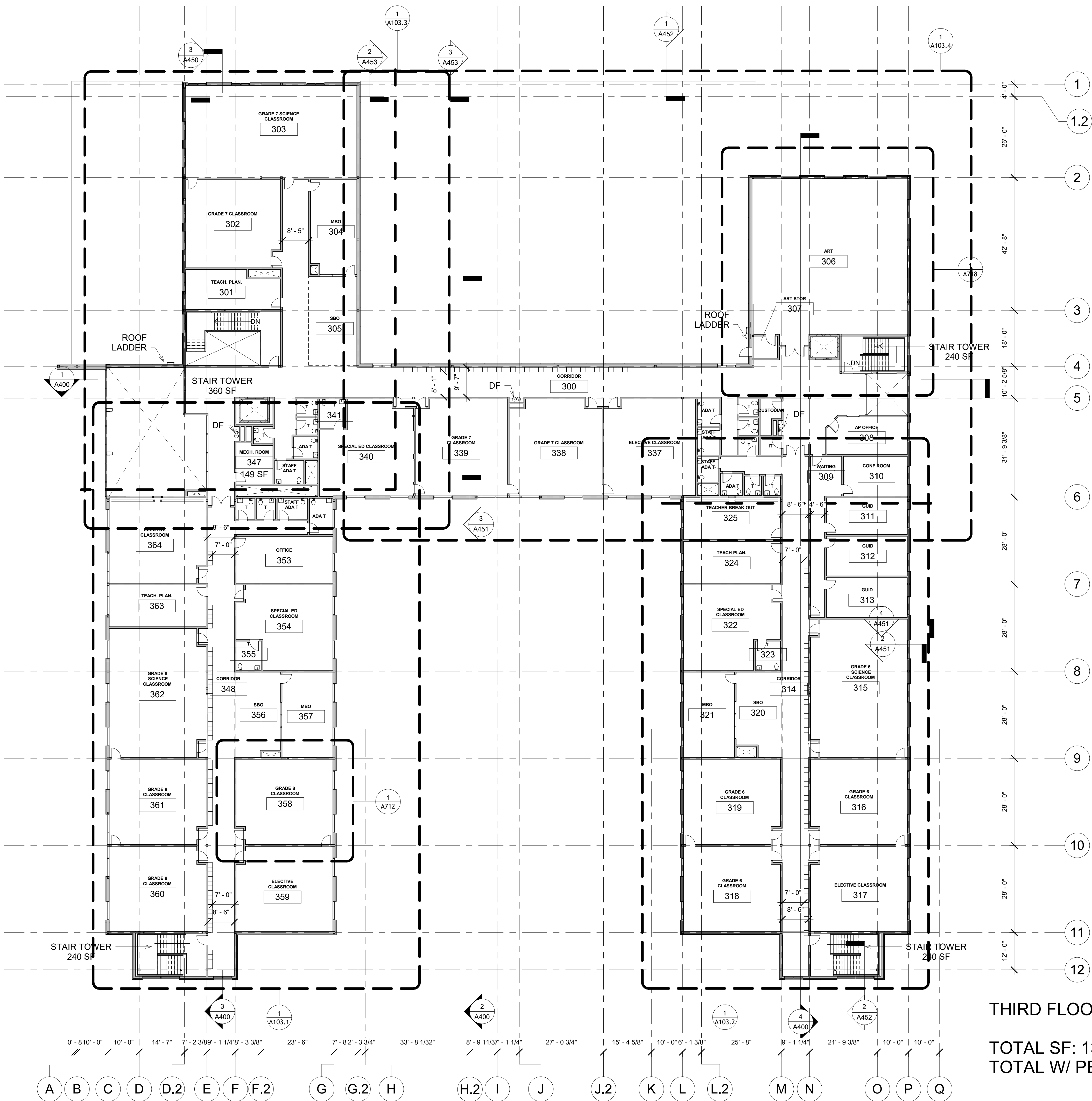
TORRADO
ARCHITECTS

35 GREENWICH ST
PROVIDENCE, RI 02907
401.781.0633P
401.781.0661F



335 CENTERVILLE RD
WARWICK, RI 02886
401.661.4949

ALTERNATE OPTION :
EACH CLASSROOM
GRADE 3 AND HIGHER
WILL HAVE A SINK



THIRD FLOOR PLAN SF: 38,624 SF

TOTAL SF: 137,352 SF
TOTAL W/ PENTHOUSE: 148,325 SF

RENOVATIONS FOR:

Lima Stuart
Elementary
School

PRELIMINARY
PLAN REVIEW

188 PRINCETON AVE, PROVIDENCE, RI 02907

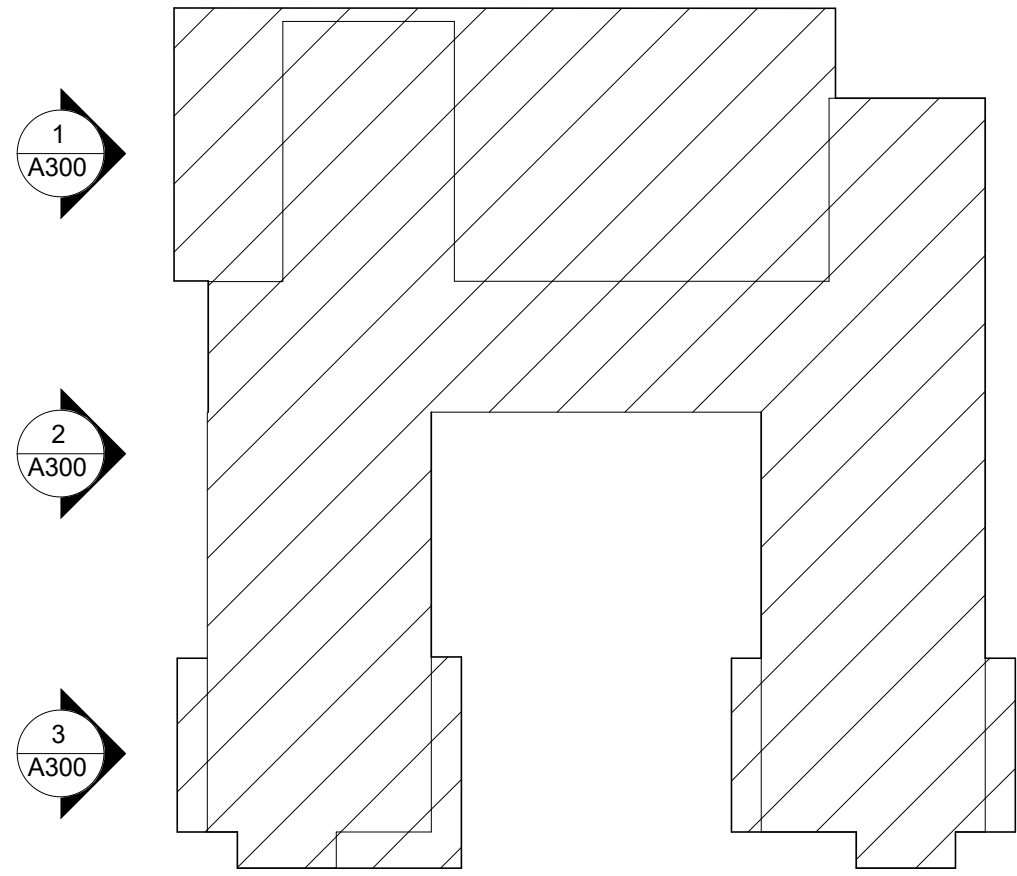
3RD FLOOR PLAN

ALL DRAWINGS, PLANS, REPORTS, SPECIFICATIONS, COMPUTER DATA FILES, FIELD NOTES, AND ALL OTHER DOCUMENTS ARE THE PROPERTY OF TORRADO ARCHITECTS. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF TORRADO ARCHITECTS.

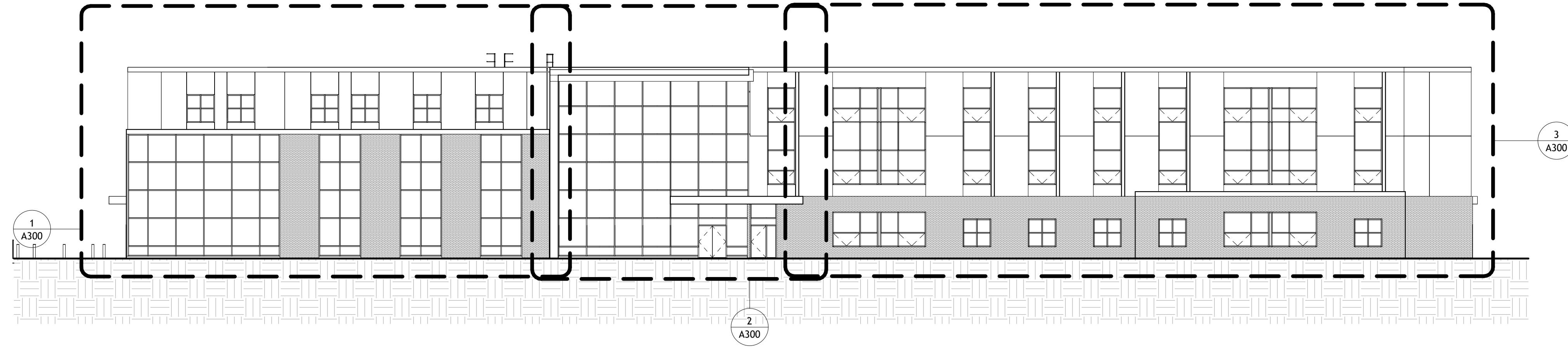
1 Third Floor Plan
1/16" = 1'-0"

N

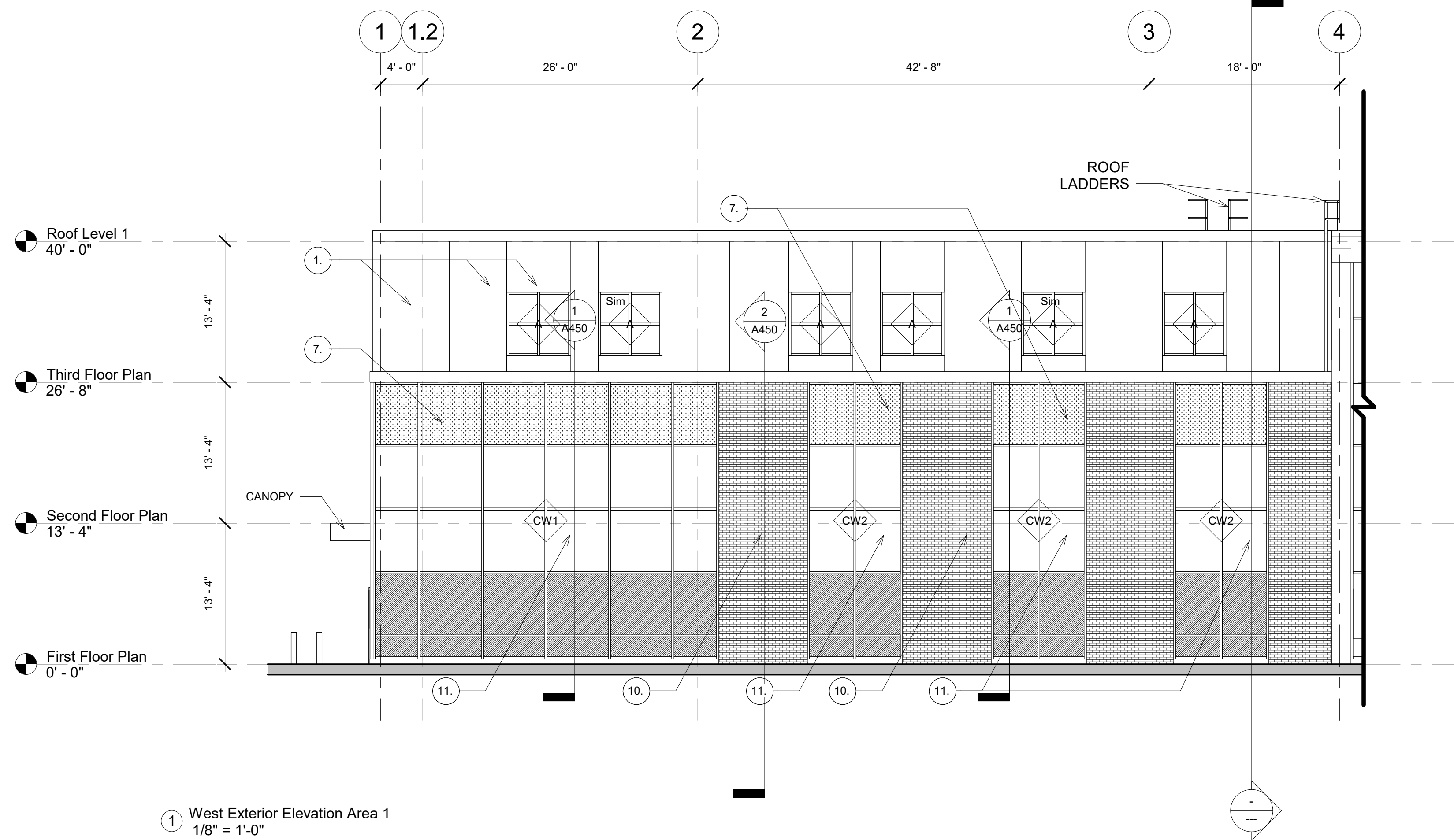
DATE	REV. #	DESCRIPTION
REVISIONS:		
DATE:	10/20/2025	
DRWN:	Author	
SCALE:	AS NOTED	
CHECKED BY:	Checker	
A103		
SHEET	OF	



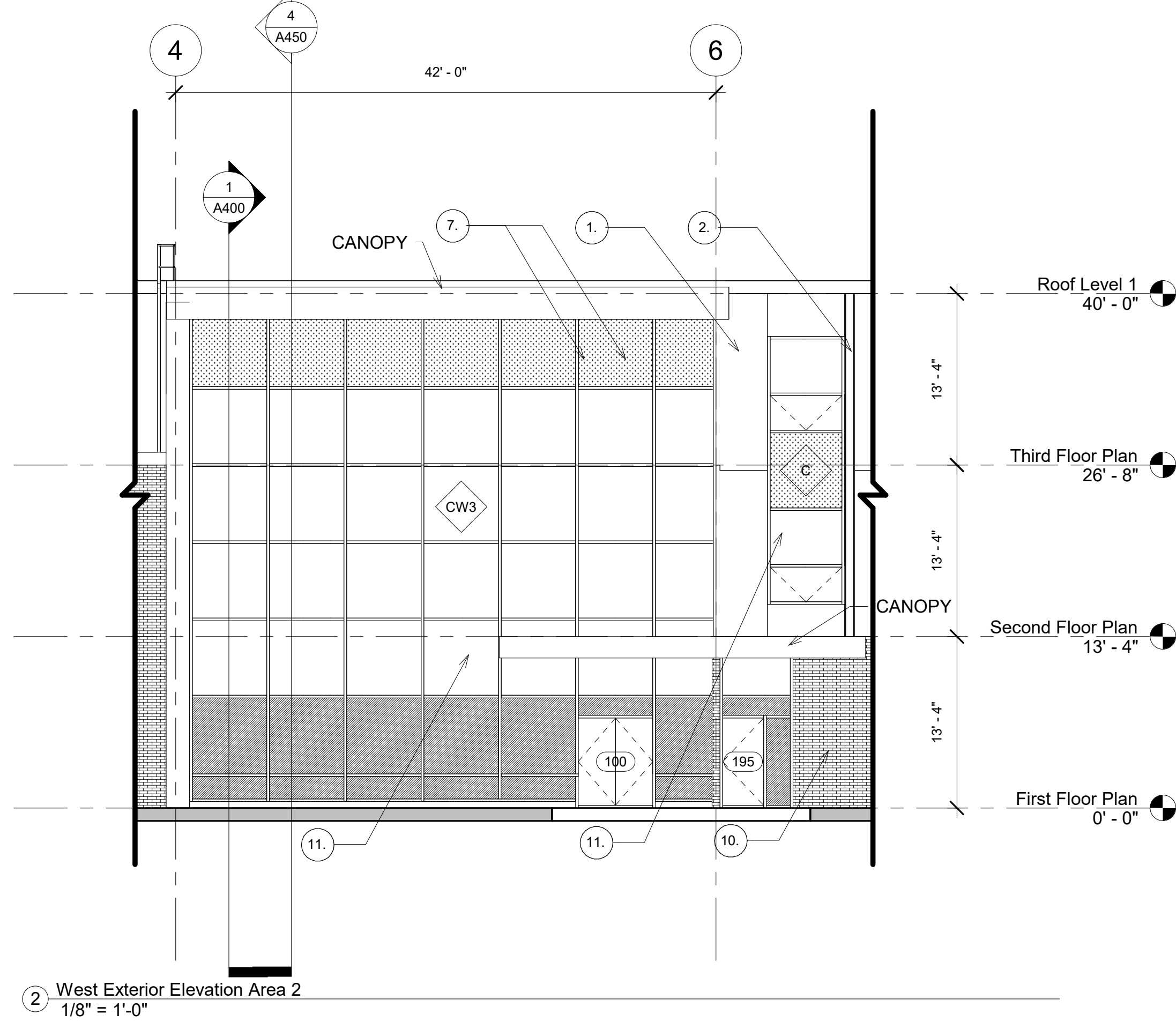
Elevation Plan Legend - A300
1/64" = 1'-0"



West Building Elevation Legend
1/16" = 1'-0"



West Exterior Elevation Area 1
1/8" = 1'-0"



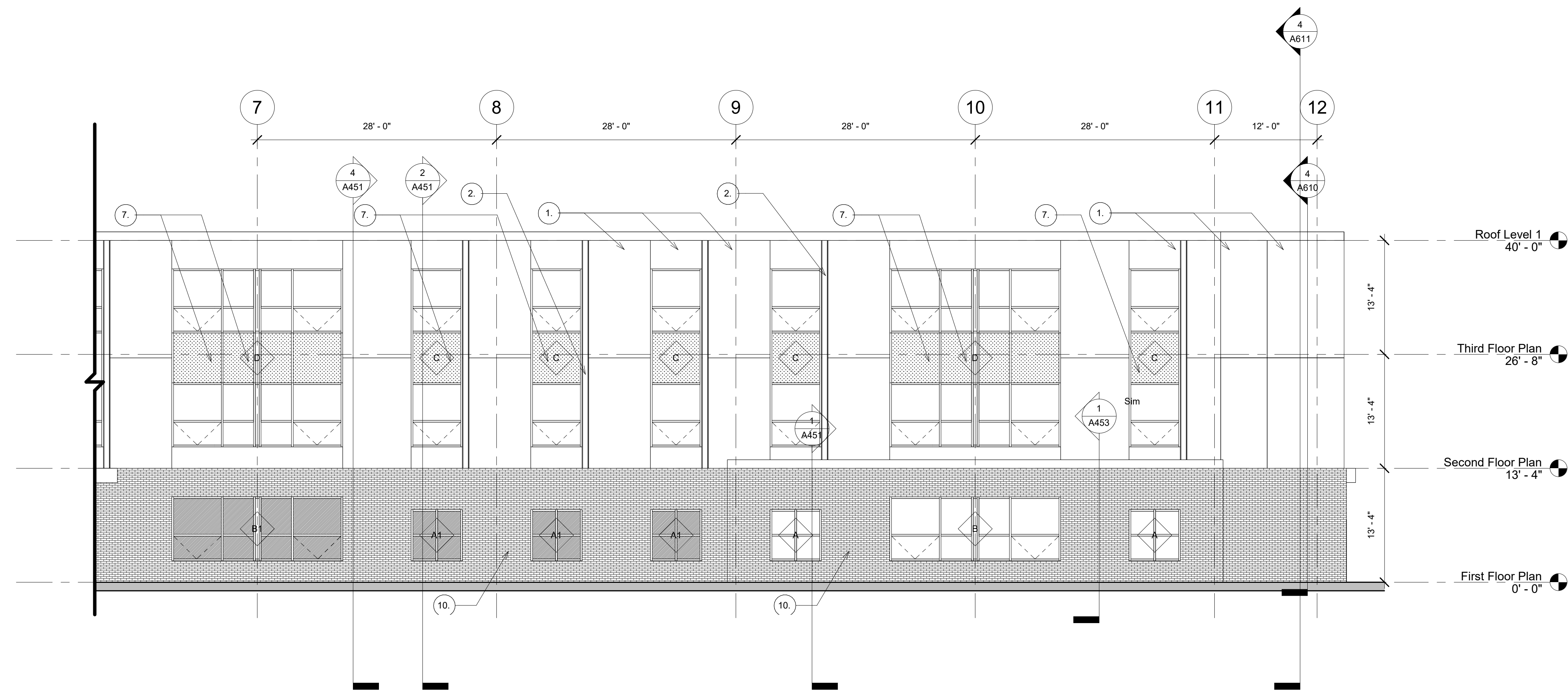
West Exterior Elevation Area 2
1/8" = 1'-0"

ELEVATION CONSTRUCTION NOTES	
1.	ACM PANEL - FINISH 1
2.	ACM PANEL - FINISH 2
3.	ACM PANEL - FINISH 3
4.	ACM PANEL - FINISH 4
5.	ACM PANEL - FINISH 5
6.	7" x .140" ALUM FASCIA W/F.F.
7.	SPANDREL GLASS
8.	12" X .040" ALUM FASCIA (YELLOW)
9.	CONC. FOOTING & FOUNDATION, SEE STRUCT DWGS
10.	BRICK FACE
11.	2 1/2" X 7 1/2" ALUM CURTAIN WALL W/F.F.
12.	PREFORMED STEEL SIDING, WOOD LOOK

TINTED GLASS LEGEND	
(A)	1" INSULATED, GREEN TEMPERED GLASS, TINTED
(B)	1" INSULATED, BLUE TEMPERED GLASS, TINTED
(C)	1" INSULATED, RED TEMPERED GLASS, TINTED
(D)	1" INSULATED, ORANGE TEMPERED GLASS, TINTED

WINDOW GLASS LEGEND	
(A)	1" INSULATED, CLEAR TEMPERED GLASS
(B)	1" INSULATED, FROSTED TEMPERED GLASS (LOCATED @ RESTROOMS)
(C)	1" INSULATED, OPAQUE, TEMPERED GLASS
(D)	1" INSULATED, TINTED TEMPERED GLASS
(E)	1" SPANDREL GLASS - COLOR TO BE SELECTED BY ARCHITECT
(F)	1" BULLET RESISTANT GLASS TINTED - COLOR TO BE SELECTED BY ARCHITECT

TRANSPARENCY CALCULATIONS				
ELEVATION	TOTAL AREA	AREA OF GLAZING	PERCENTAGE OF TRANSPARENCY	NOTES
1/A301 SOUTH ELEVATION	---	SF	---	%
2/A301 WEST ELEVATION	---	SF	---	%
3/A301 WEST WING NORTH ELEVATION	---	SF	---	%
4/A302 NORTH ELEVATION	---	SF	---	%
5/A302 EAST WING NORTH ELEVATION	---	SF	---	%
6/A302 OLYMPIUM SOUTH ELEVATION	---	SF	---	%
7/A303 EAST ELEVATION	---	SF	---	%
8/A303 EAST ELEVATION	---	SF	---	%
9/A303 EAST ELEVATION	---	SF	---	%
10/A304 EAST ELEVATION	---	SF	---	%
11/A304 EAST ELEVATION	---	SF	---	%
12/A304 EAST ELEVATION	---	SF	---	%
TOTAL CALCULATIONS	---	SF	---	%



West Exterior Elevation Area 3
1/8" = 1'-0"

ALL DRAWINGS, PLANS, REPORTS, SPECIFICATIONS, COMPUTER DATA FILES, FIELD NOTES, AND ALL OTHER DOCUMENTS GENERATED BY A300 ARCHITECTS, P.C. ARE THE PROPERTY OF A300 ARCHITECTS, P.C. AND ARE NOT TO BE REPRODUCED, COPIED, OR DISTRIBUTED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF A300 ARCHITECTS, P.C. ANY REPRODUCTION OR DISTRIBUTION OF THESE DOCUMENTS WITHOUT THE WRITTEN CONSENT OF A300 ARCHITECTS, P.C. IS STRICTLY PROHIBITED AND WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.



TORRADO
ARCHITECTS

35 GREENWICH ST
PROVIDENCE, RI 02907
401.781.0633P
401.781.0661F



335 CENTERVILLE RD
WARWICK, RI 02886
401.681.4949

RENOVATIONS FOR:

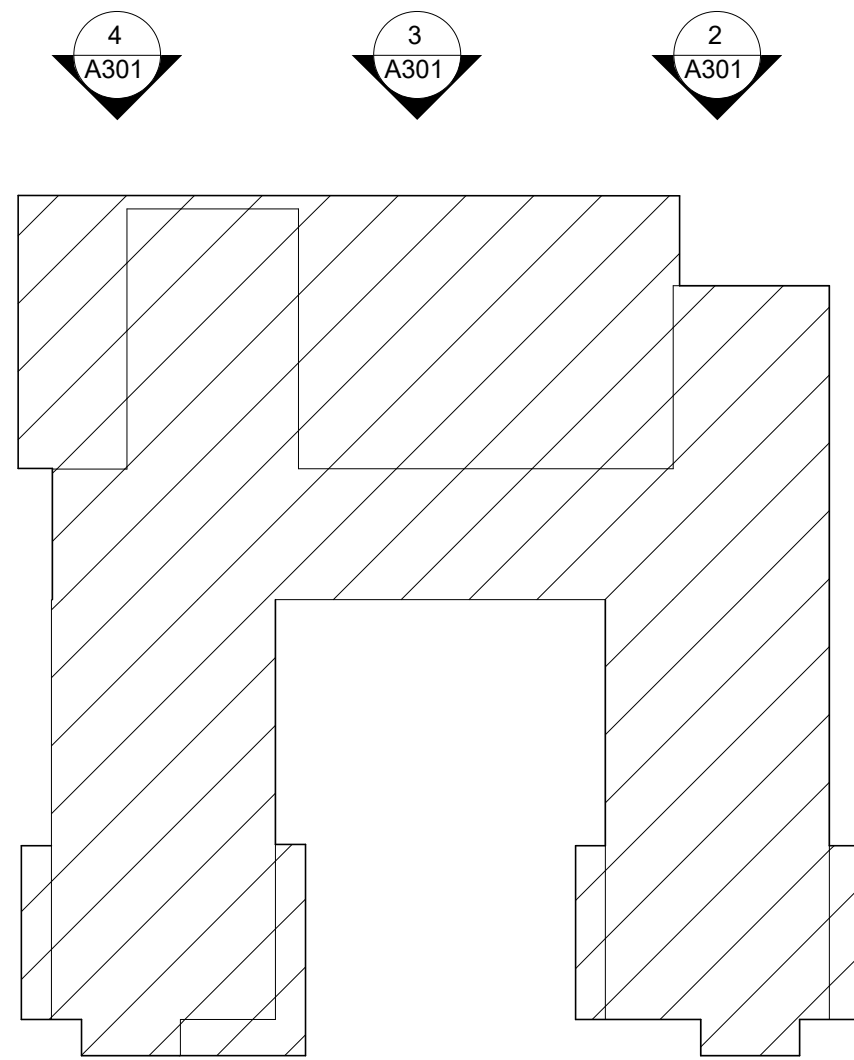
Lima Stuart
Elementary
School

PRELIMINARY
PLAN REVIEW

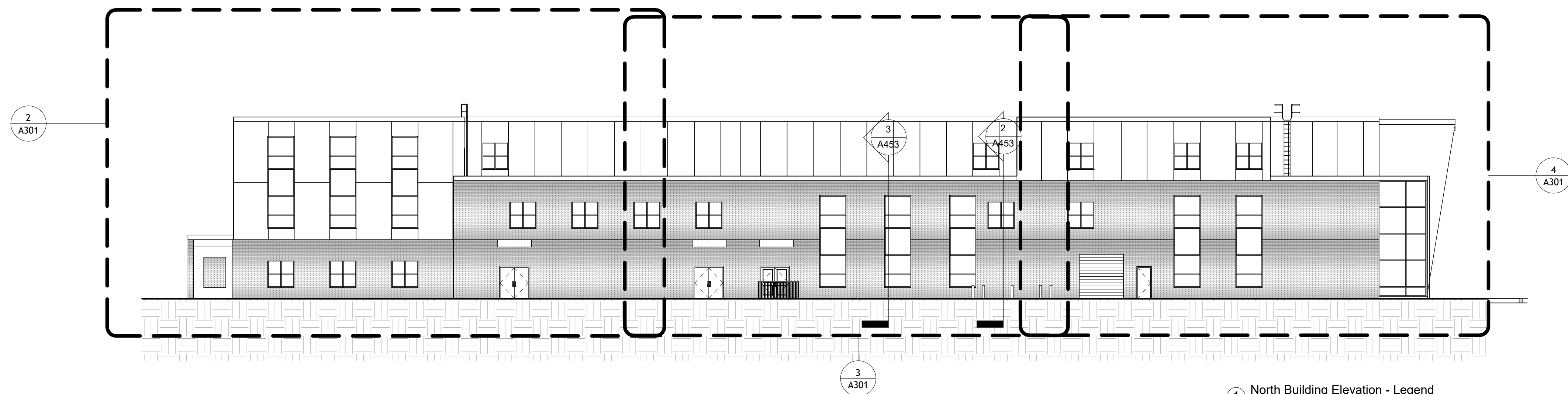
188 PRINCETON AVE, PROVIDENCE, RI 02907

EXTERIOR
ELEVATIONS

DATE	REV. #	DESCRIPTION
REVISIONS:		
DATE:	10/20/2025	
DRWN:	CB	
SCALE:	AS NOTED	
CHECKED BY:	TA	
A300		
SHEET	OF	

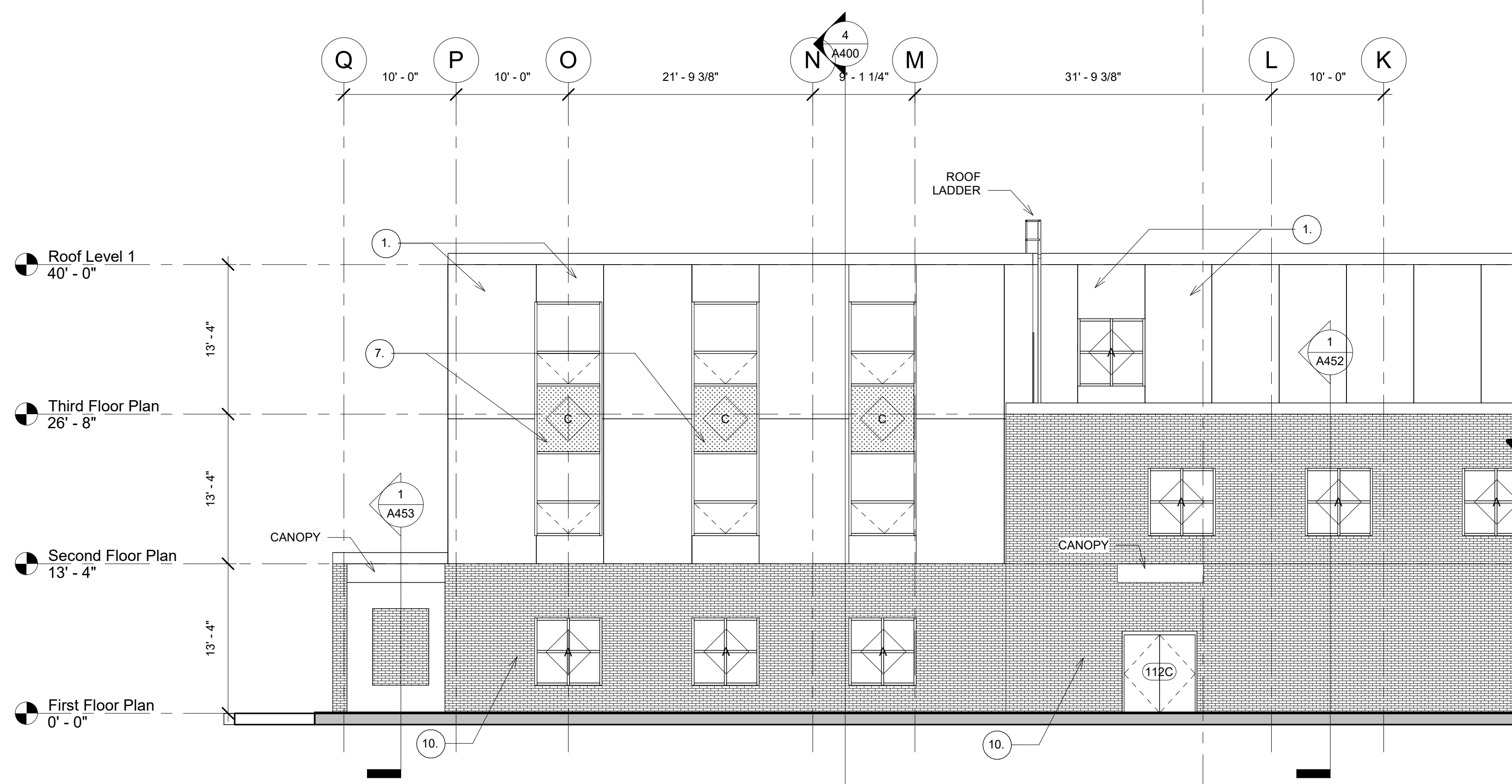


Elevation Plan Legend - A301
1/64" = 1'-0"

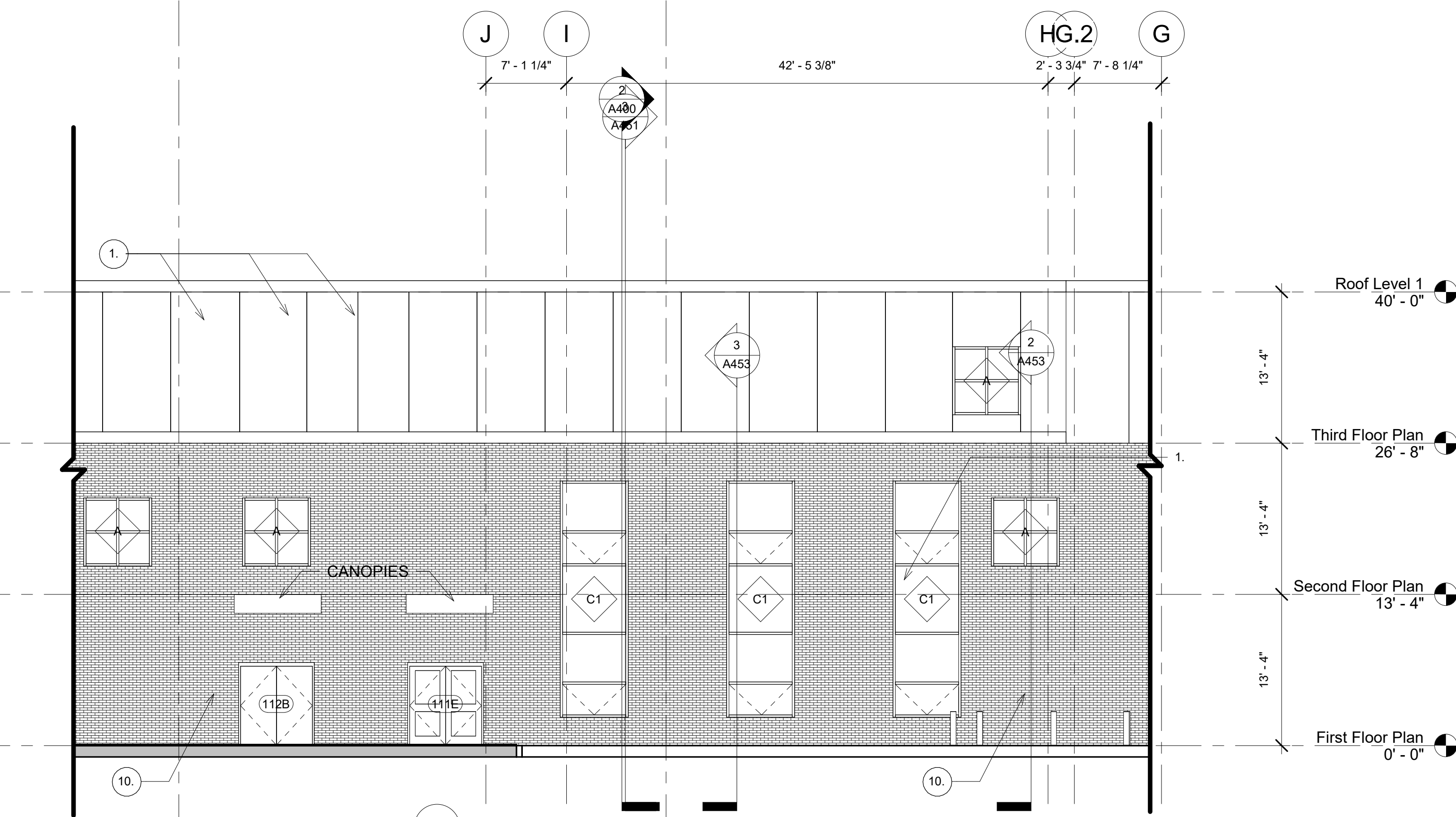


1 North Building Elevation - Legend
1/16" = 1'-0"

06 Roof Plan
65' - 0"



2 North Exterior Elevation Area 1
1/8" = 1'-0"



3 North Exterior Elevation Area 2
1/8" = 1'-0"

ELEVATION CONSTRUCTION NOTES

- ACM PANEL - FINISH 1
- ACM PANEL - FINISH 2
- ACM PANEL - FINISH 3
- ACM PANEL - FINISH 4
- ACM PANEL - FINISH 5
- 7" x 140" ALUM FASCIA W/F.F.
- SPANDREL GLASS
- 12" x .040" ALUM FASCIA (YELLOW)
- CONC. FOOTING & FOUNDATION, SEE STRUCT DWGS
- BRICK FACE
- 2 1/2" x 7 1/2" ALUM CURTAIN WALL W/F.F.
- PREFORMED STEEL SIDING, WOOD LOOK

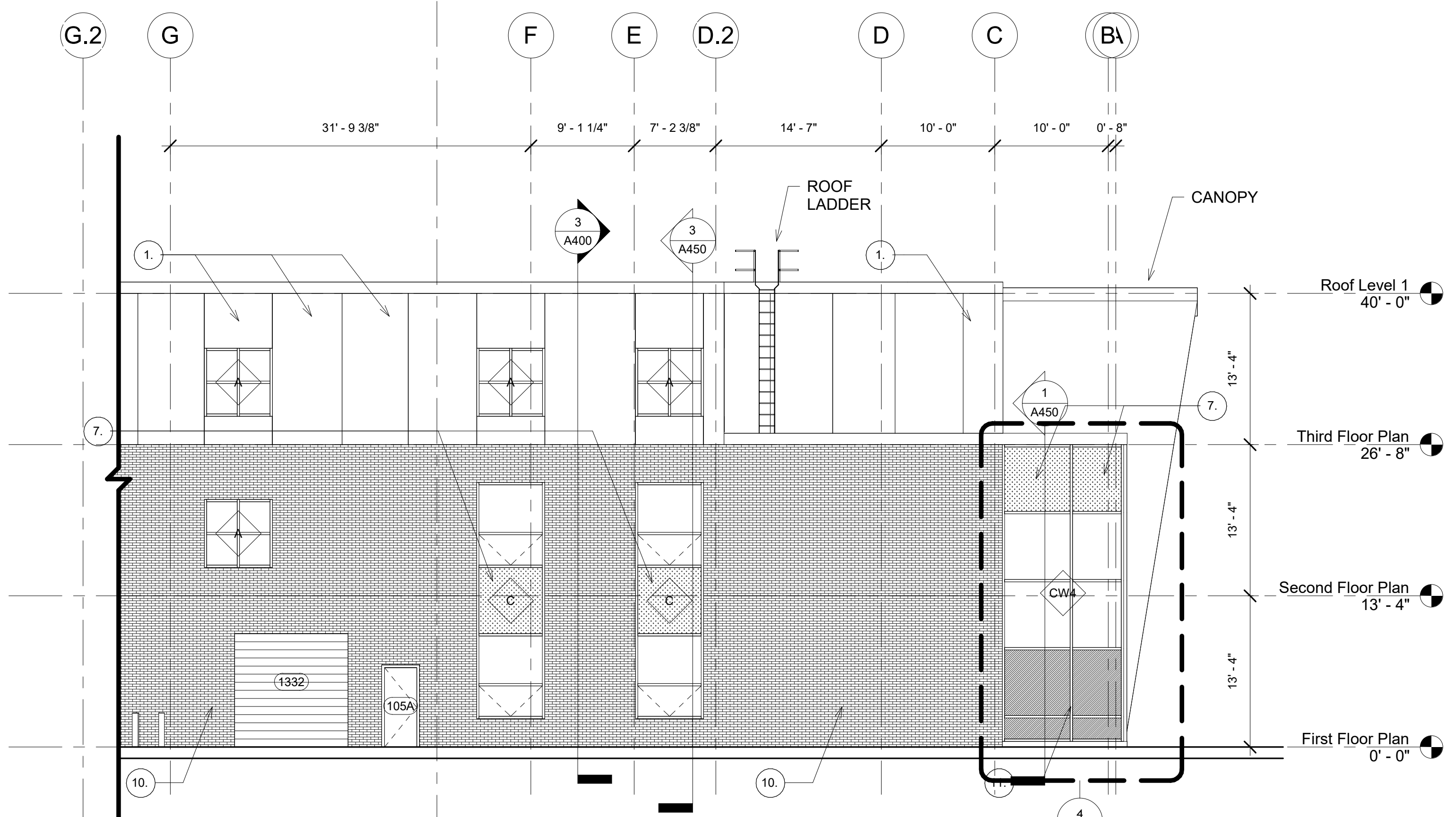
TINTED GLASS LEGEND

- 1" INSULATED, GREEN TEMPERED GLASS, TINTED
- 1" INSULATED, BLUE TEMPERED GLASS, TINTED
- 1" INSULATED, RED TEMPERED GLASS, TINTED
- 1" INSULATED, ORANGE TEMPERED GLASS, TINTED

WINDOW GLASS LEGEND

- 1" INSULATED, CLEAR TEMPERED GLASS
- 1" INSULATED, FROSTED TEMPERED GLASS (LOCATED @ RESTROOMS)
- 1" INSULATED, OPAQUE, TEMPERED GLASS
- 1" INSULATED, TINTED TEMPERED GLASS
- 1" SPANDREL GLASS - COLOR TO BE SELECTED BY ARCHITECT
- 1" BULLET RESISTANT GLASS TINTED - COLOR TO BE SELECTED BY ARCHITECT

TRANSPARENCY CALCULATIONS				
ELEVATION	TOTAL AREA	AREA OF GLAZING	PERCENTAGE OF TRANSPARENCY	NOTES
1A301 SOUTH ELEVATION	---	---	---	---
2A301 WEST ELEVATION	---	---	---	---
3A301 WEST WING - NORTH ELEVATION	---	---	---	---
1A302 NORTH ELEVATION	---	---	---	---
2A302 EAST WING - NORTH ELEVATION	---	---	---	---
3A302 OYMAGLEUM SOUTH ELEVATION	---	---	---	---
1A303 EAST ELEVATION	---	---	---	---
2A303 EAST ELEVATION	---	---	---	---
3A303 EAST ELEVATION	---	---	---	---
1A304 EAST ELEVATION	---	---	---	---
2A304 EAST ELEVATION	---	---	---	---
3A304 EAST ELEVATION	---	---	---	---
TOTAL CALCULATIONS	---	---	---	---



4 North Exterior Elevation Area 3
1/8" = 1'-0"



TORRADO
ARCHITECTS

35 GREENWICH ST
PROVIDENCE, RI 02907
401.781.0633P
401.781.0661F



335 CENTERVILLE RD
WARWICK, RI 02886
401.681.4949

RENOVATIONS FOR:

Lima Stuart
Elementary
School

PRELIMINARY
PLAN REVIEW

188 PRINCETON AVE, PROVIDENCE, RI 02907

EXTERIOR
ELEVATIONS

DATE REV. # DESCRIPTION

REVISIONS:

DATE: 10/20/2025

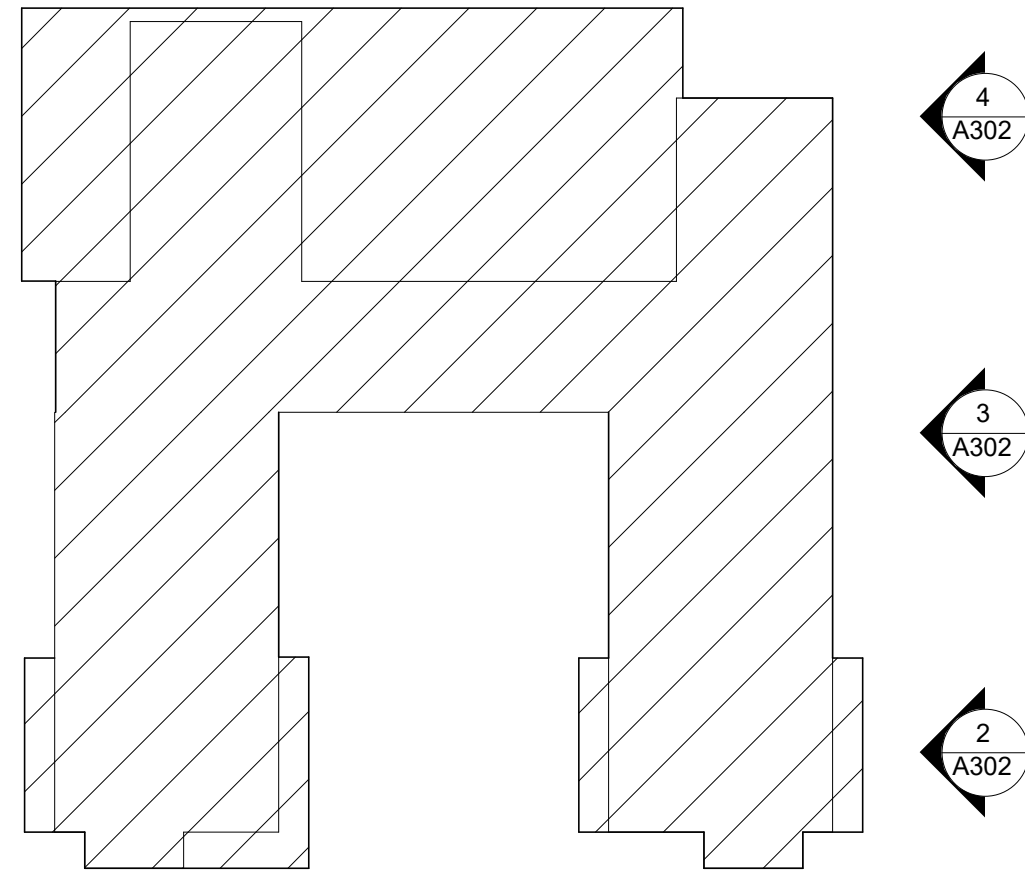
DRWN: CB

SCALE: AS NOTED

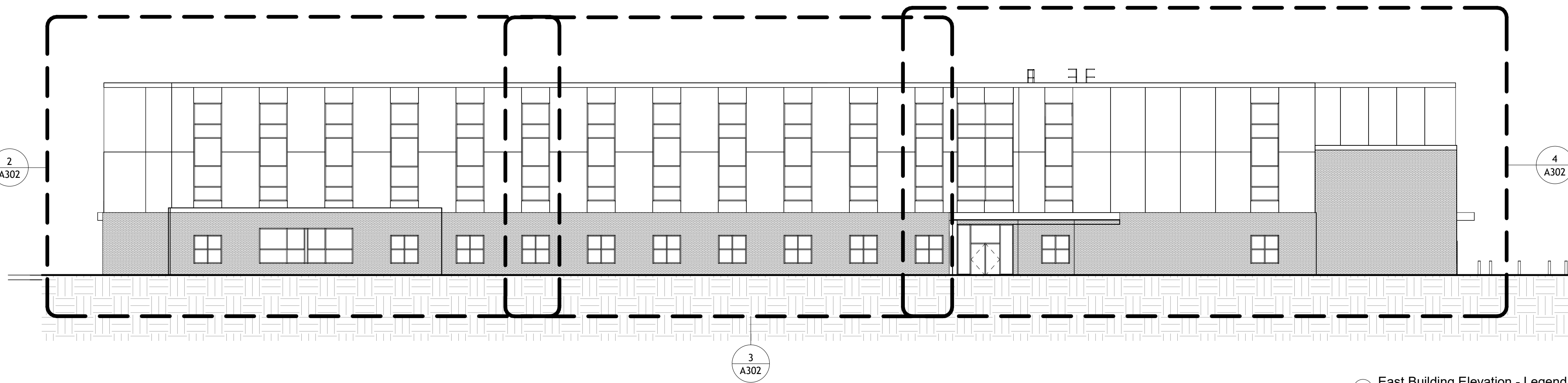
CHECKED BY: TA

A301

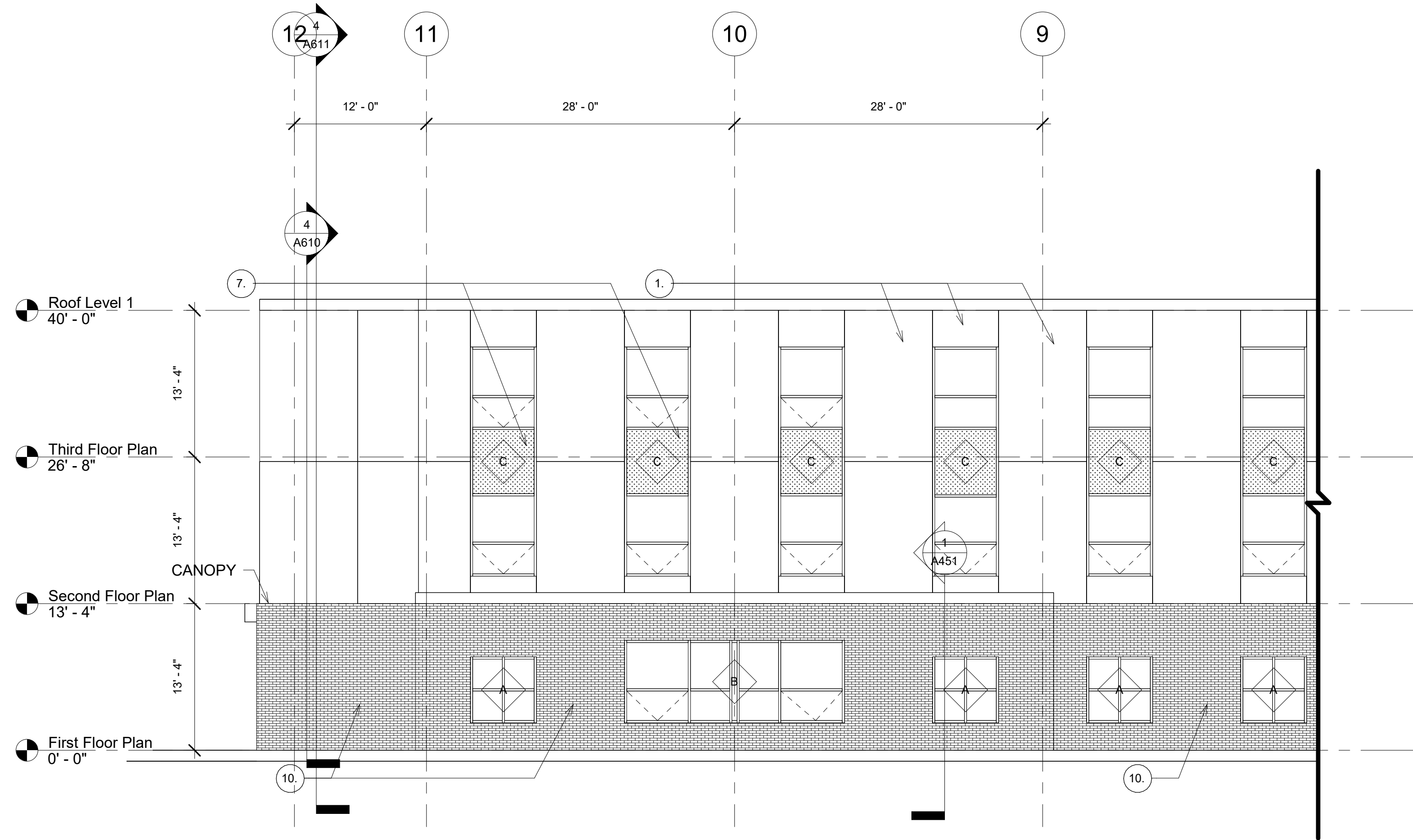
SHEET OF



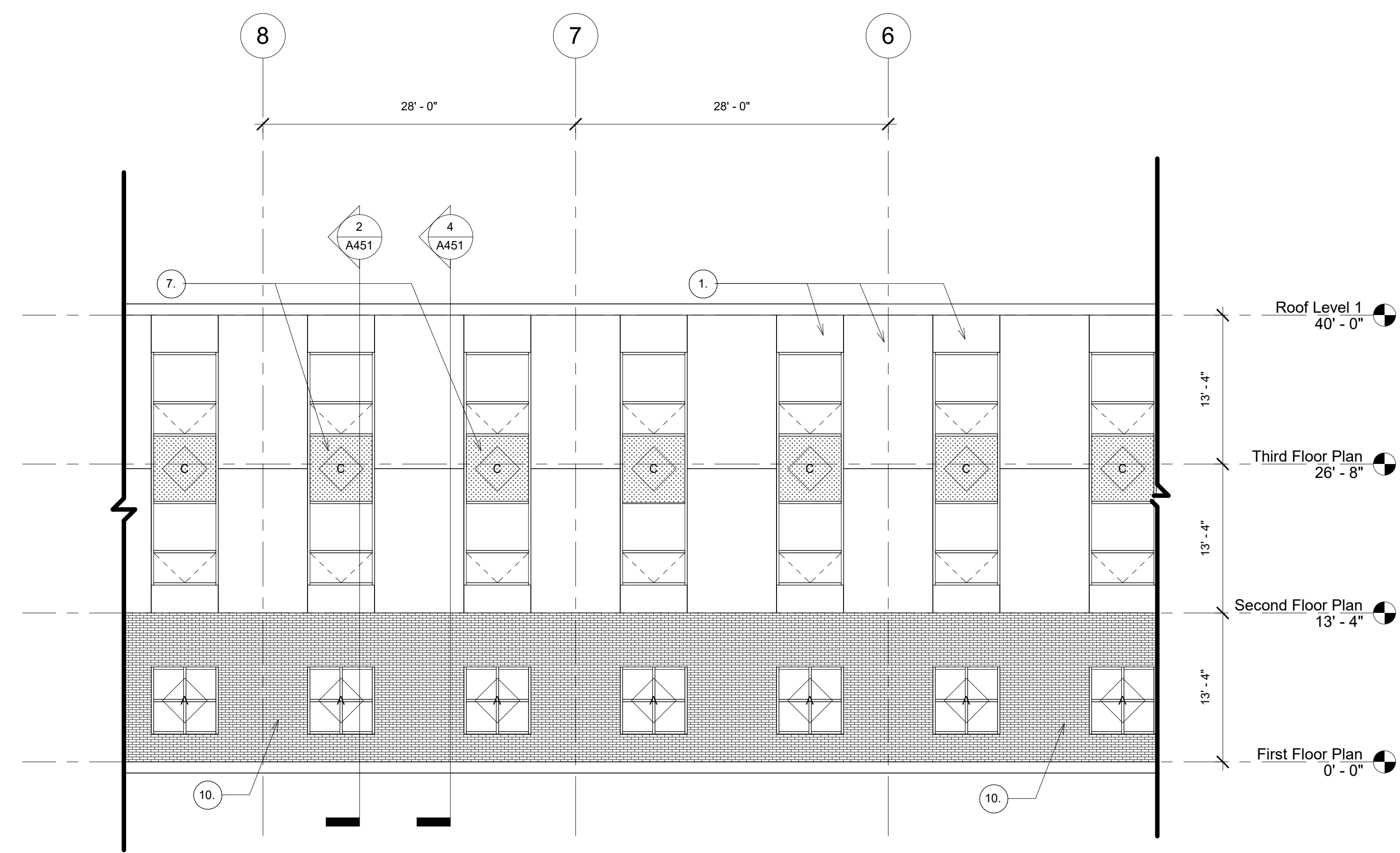
Elevation Plan Legend - A302
1/64" = 1'-0"



East Building Elevation - Legend
1/16" = 1'-0"



East Exterior Elevation Area 1
1/8" = 1'-0"



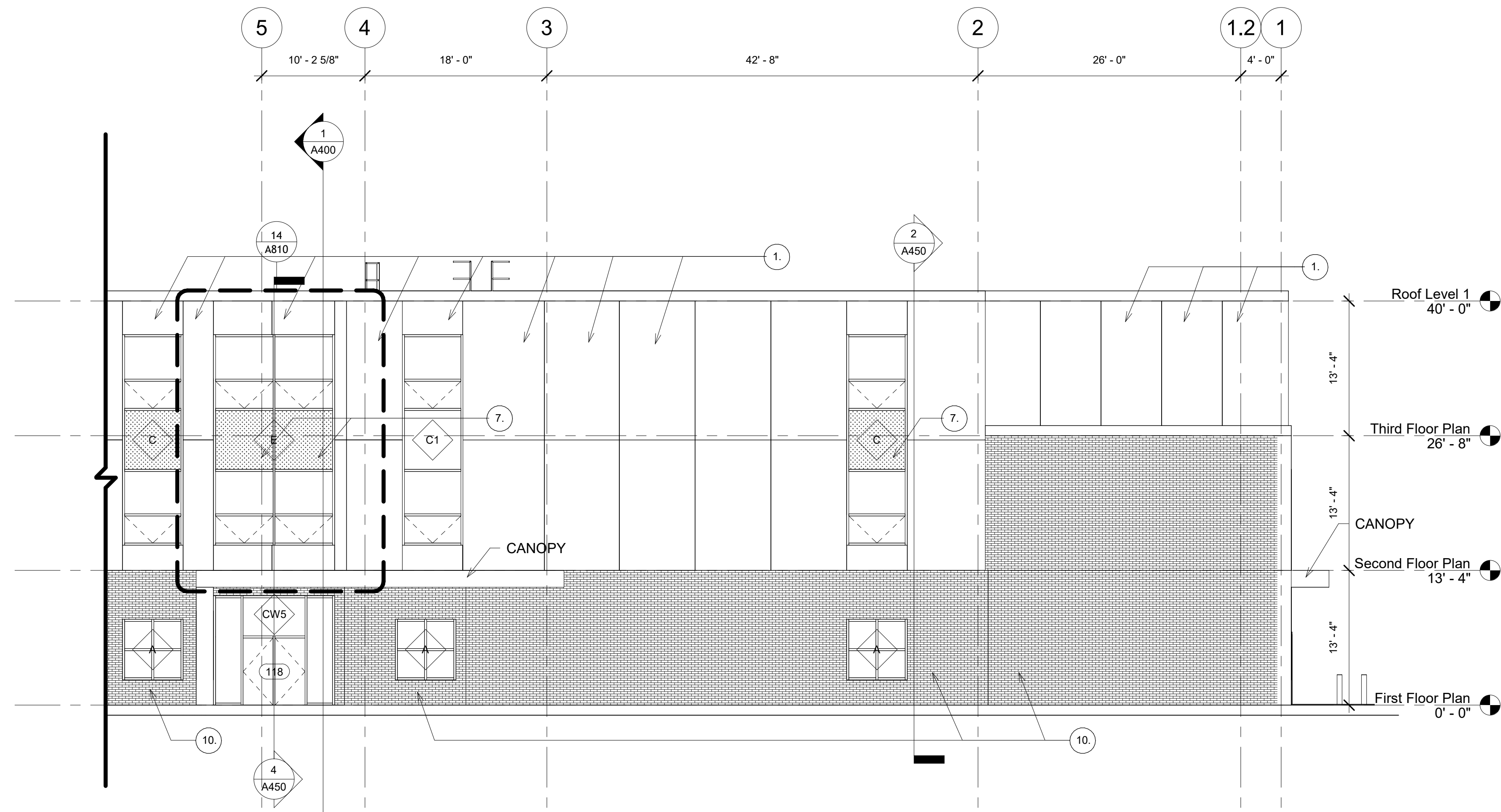
East Exterior Elevation Area 2
1/8" = 1'-0"

ELEVATION CONSTRUCTION NOTES	
1.	ACM PANEL - FINISH 1
2.	ACM PANEL - FINISH 2
3.	ACM PANEL - FINISH 3
4.	ACM PANEL - FINISH 4
5.	ACM PANEL - FINISH 5
6.	7" x 140" ALUM FASCIA W/F.F.
7.	SPANDREL GLASS
8.	12" X .040" ALUM FASCIA (YELLOW)
9.	CONC. FOOTING & FOUNDATION, SEE STRUCT DWGS
10.	BRICK FACE
11.	2 1/2" X 7 1/2" ALUM CURTAIN WALL W/F.F.
12.	PREFORMED STEEL SIDING, WOOD LOOK

TINTED GLASS LEGEND	
	1" INSULATED, GREEN TEMPERED GLASS, TINTED
	1" INSULATED, BLUE TEMPERED GLASS, TINTED
	1" INSULATED, RED TEMPERED GLASS, TINTED
	1" INSULATED, ORANGE TEMPERED GLASS, TINTED

WINDOW GLASS LEGEND	
	1" INSULATED, CLEAR TEMPERED GLASS
	1" INSULATED, FROSTED TEMPERED GLASS (LOCATED @ RESTROOMS)
	1" INSULATED, OPAQUE, TEMPERED GLASS
	1" INSULATED, TINTED TEMPERED GLASS
	1" SPANDREL GLASS - COLOR TO BE SELECTED BY ARCHITECT
	1" BULLET RESISTANT GLASS TINTED - COLOR TO BE SELECTED BY ARCHITECT

TRANSPARENCY CALCULATIONS				
ELEVATION	TOTAL AREA	AREA OF GLAZING	PERCENTAGE OF TRANSPARENCY	NOTES
1/A301 SOUTH ELEVATION	--- SF	--- SF	--- %	
2/A301 WEST ELEVATION	--- SF	--- SF	--- %	
3/A301 WEST WING NORTH ELEVATION	--- SF	--- SF	--- %	
1/A302 NORTH ELEVATION	--- SF	--- SF	--- %	
2/A302 EAST WING NORTH ELEVATION	--- SF	--- SF	--- %	
3/A302 GYMNASIUM SOUTH ELEVATION	--- SF	--- SF	--- %	
1/A303 EAST ELEVATION	--- SF	--- SF	--- %	
2/A303 EAST ELEVATION	--- SF	--- SF	--- %	
3/A303 EAST ELEVATION	--- SF	--- SF	--- %	
1/A304 EAST ELEVATION	--- SF	--- SF	--- %	
2/A304 EAST ELEVATION	--- SF	--- SF	--- %	
3/A304 EAST ELEVATION	--- SF	--- SF	--- %	
TOTAL CALCULATIONS	--- SF	--- SF	--- %	



East Exterior Elevation Area 3
1/8" = 1'-0"

ALL DRAWINGS, PLANS, REPORTS, SPECIFICATIONS, COMPUTER DATA FILES, FIELD NOTES, AND ALL OTHER DOCUMENTS GENERATED BY TORRADO ARCHITECTS, PROVIDENCE, RI, ARE THE PROPERTY OF TORRADO ARCHITECTS, PROVIDENCE, RI, AND ARE NOT TO BE REPRODUCED, COPIED, OR DISTRIBUTED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF TORRADO ARCHITECTS, PROVIDENCE, RI.



TORRADO
ARCHITECTS

35 GREENWICH ST
PROVIDENCE, RI 02907
401.781.0633P
401.781.0661F



335 CENTERVILLE RD
WARWICK, RI 02886
401.661.4949

RENOVATIONS FOR:

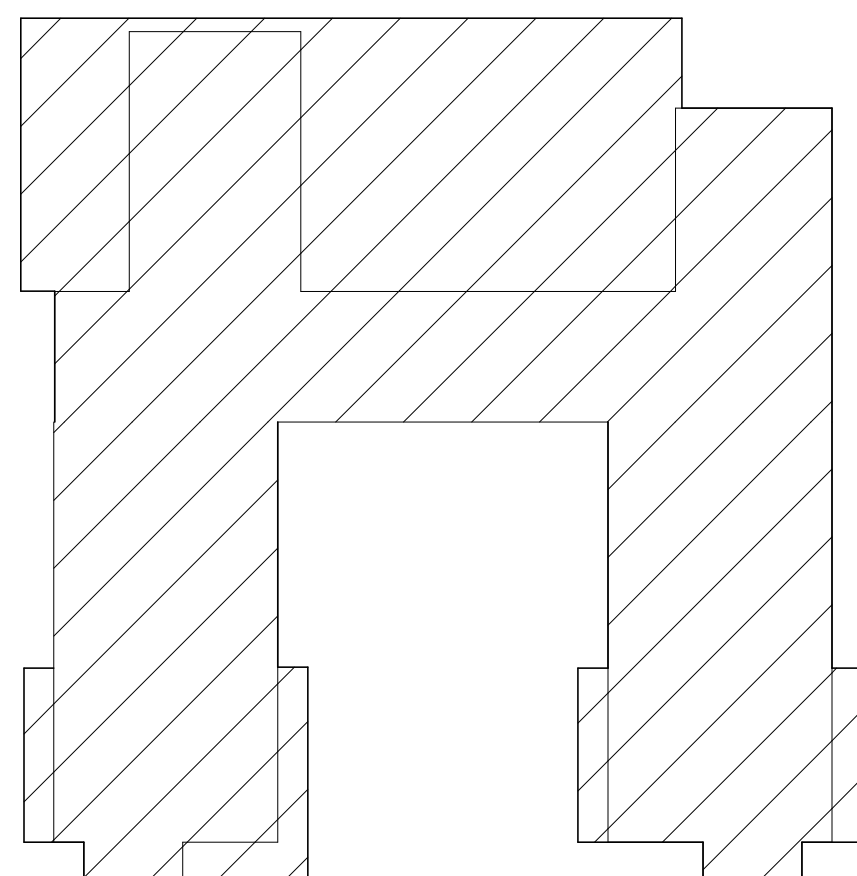
Lima Stuart
Elementary
School

PRELIMINARY
PLAN REVIEW

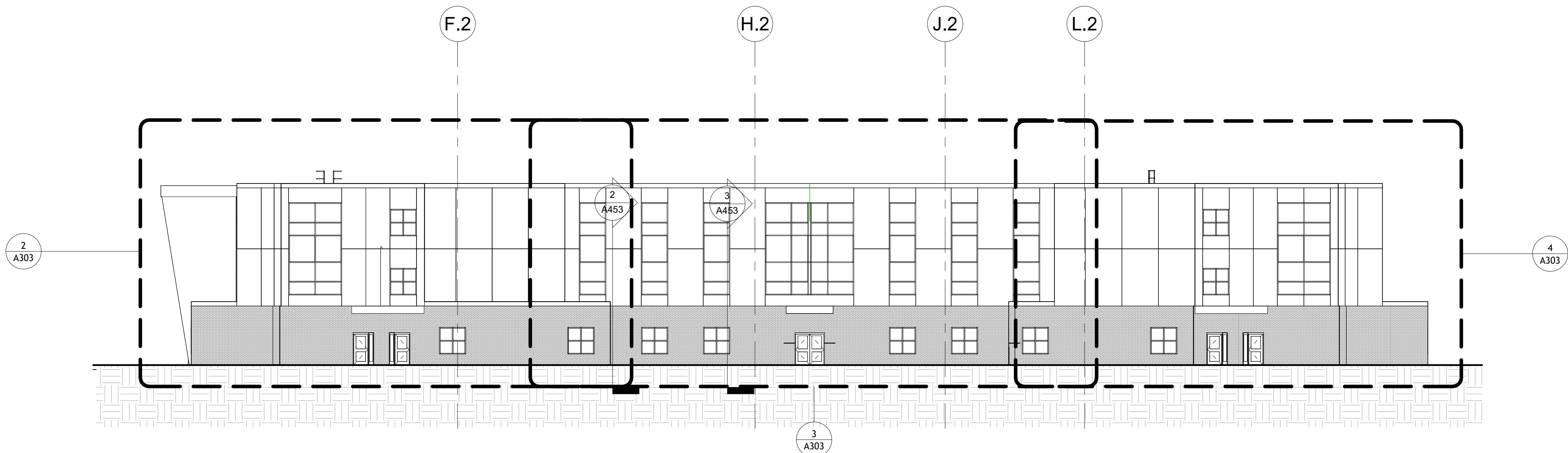
188 PRINCETON AVE, PROVIDENCE, RI 02907

EXTERIOR
ELEVATIONS

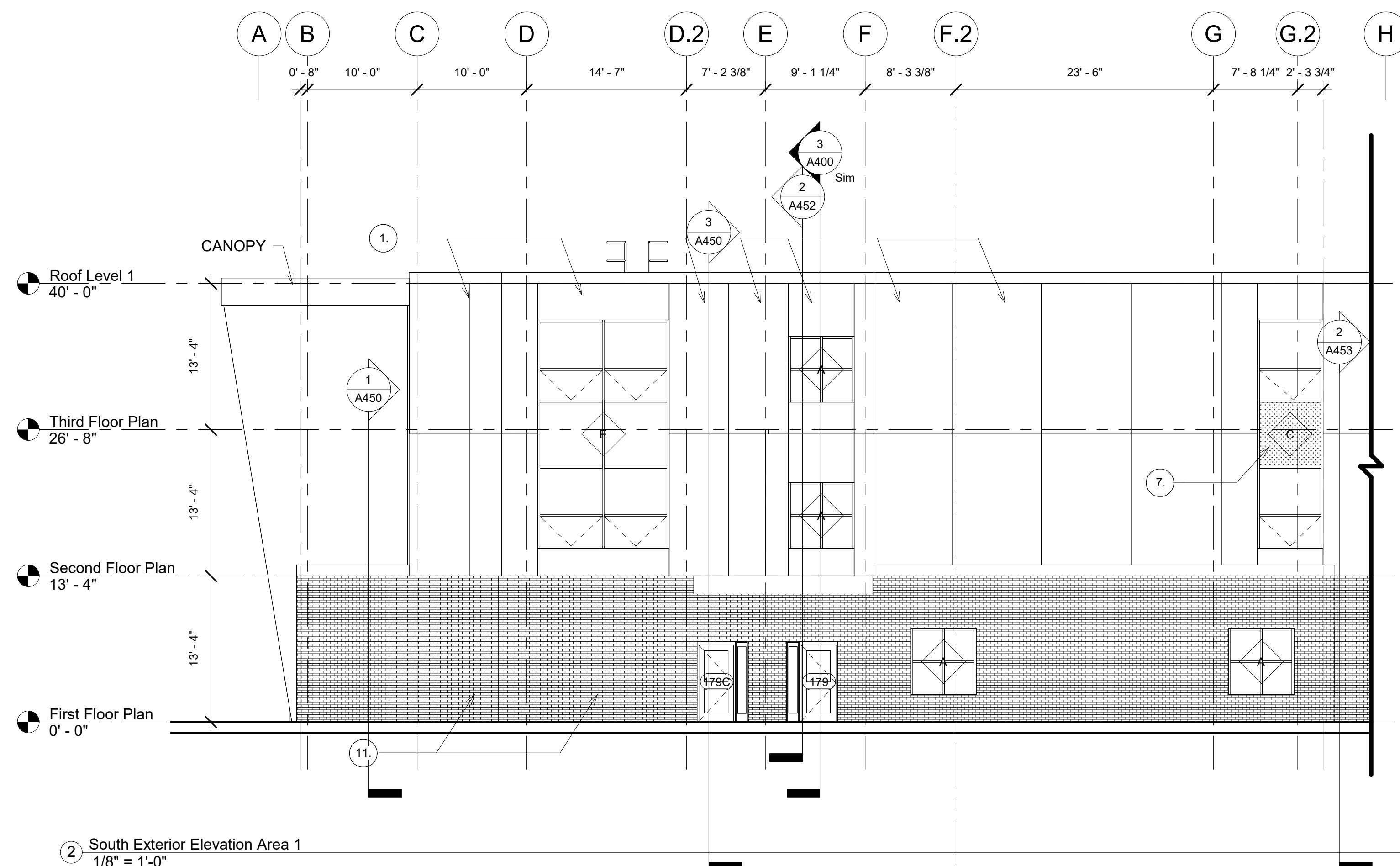
DATE	REV. #	DESCRIPTION
REVISIONS:		
DATE:	10/20/2025	
DRWN:	CB	
SCALE:	AS NOTED	
CHECKED BY:	TA	
A302		
SHEET	OF	



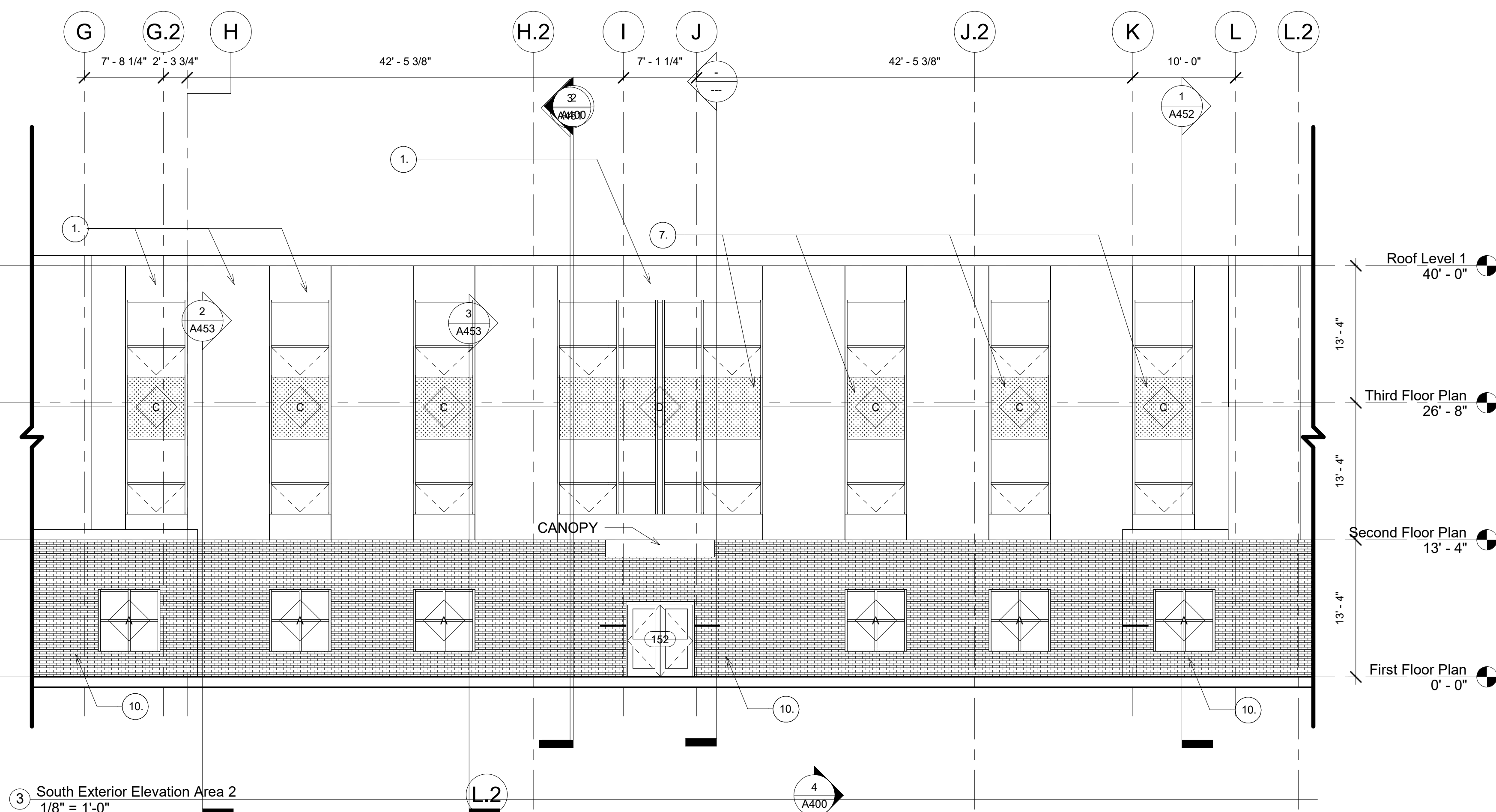
Elevation Plan Legend - A303
1/64" = 1'-0"



1 South Building Elevation - Legend
1/16" = 1'-0"



2 South Exterior Elevation Area 1
1/8" = 1'-0"



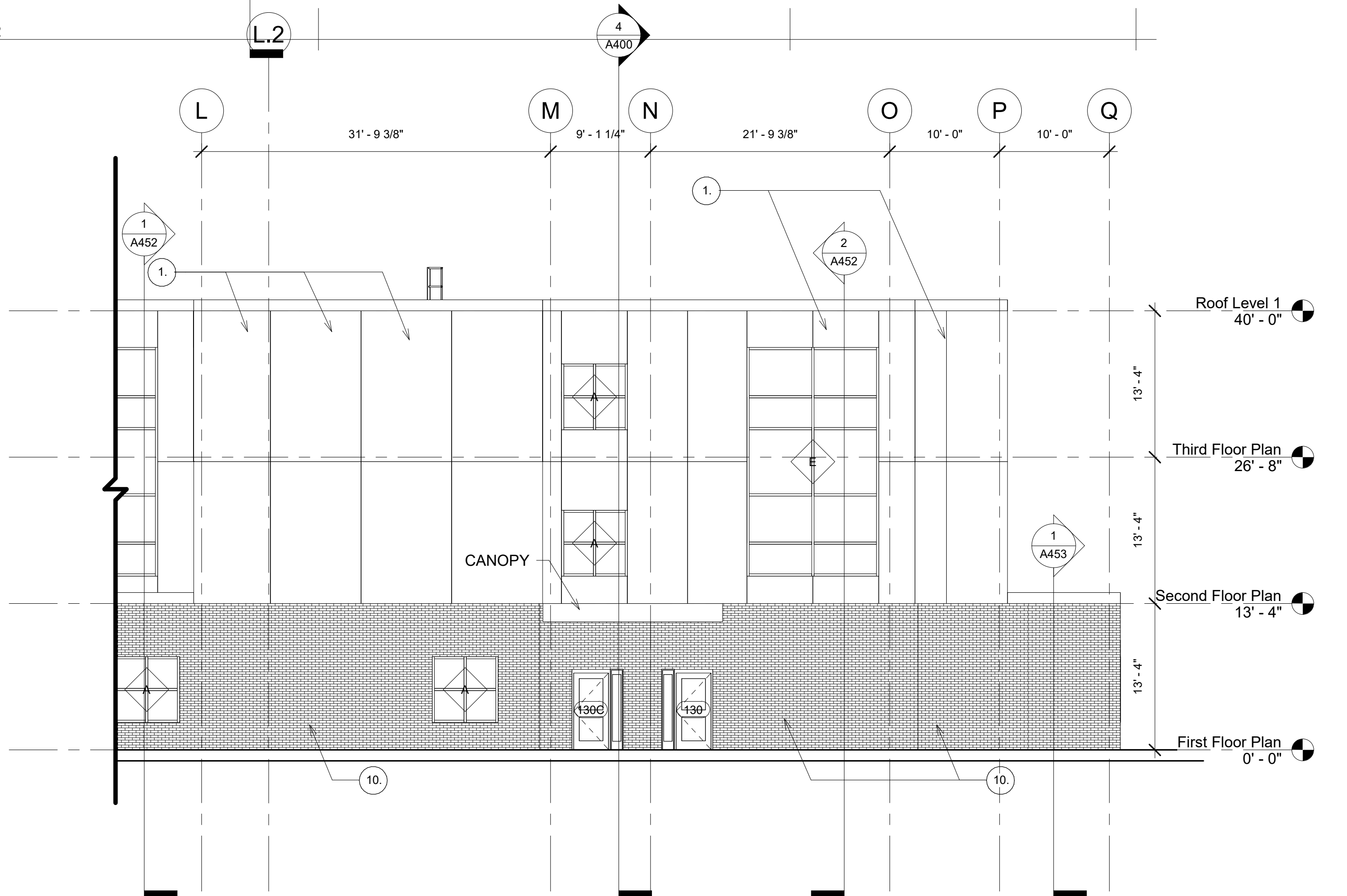
3 South Exterior Elevation Area 2
1/8" = 1'-0"

ELEVATION CONSTRUCTION NOTES	
1.	ACM PANEL - FINISH 1
2.	ACM PANEL - FINISH 2
3.	ACM PANEL - FINISH 3
4.	ACM PANEL - FINISH 4
5.	ACM PANEL - FINISH 5
6.	7" x 140" ALUM FASCIA W/F.F.
7.	SPANDREL GLASS
8.	12" X .040" ALUM FASCIA (YELLOW)
9.	CONC. FOOTING & FOUNDATION, SEE STRUCT DWGS
10.	BRICK FACE
11.	2 1/2" X 7 1/2" ALUM CURTAIN WALL W/F.F.
12.	PREFORMED STEEL SIDING, WOOD LOOK

TINTED GLASS LEGEND	
	1" INSULATED, GREEN TEMPERED GLASS, TINTED
	1" INSULATED, BLUE TEMPERED GLASS, TINTED
	1" INSULATED, RED TEMPERED GLASS, TINTED
	1" INSULATED, ORANGE TEMPERED GLASS, TINTED

WINDOW GLASS LEGEND	
	1" INSULATED, CLEAR TEMPERED GLASS
	1" INSULATED, FROSTED TEMPERED GLASS (LOCATED @ RESTROOMS)
	1" INSULATED, OPAQUE, TEMPERED GLASS
	1" INSULATED, TINTED TEMPERED GLASS
	1" SPANDREL GLASS - COLOR TO BE SELECTED BY ARCHITECT
	1" BULLET RESISTANT GLASS TINTED - COLOR TO BE SELECTED BY ARCHITECT

TRANSPARENCY CALCULATIONS			
ELEVATION	TOTAL AREA	AREA OF GLAZING	PERCENTAGE OF TRANSPARENCY
1/A301 SOUTH ELEVATION	---	---	---
2/A301 WEST ELEVATION	---	---	---
3/A301 WEST WING NORTH ELEVATION	---	---	---
1/A302 NORTH ELEVATION	---	---	---
2/A302 EAST WING NORTH ELEVATION	---	---	---
3/A302 QUINQUANGULAR SOUTH ELEVATION	---	---	---
1/A303 EAST ELEVATION	---	---	---
2/A303 EAST ELEVATION	---	---	---
3/A303 EAST ELEVATION	---	---	---
1/A304 EAST ELEVATION	---	---	---
2/A304 EAST ELEVATION	---	---	---
3/A304 EAST ELEVATION	---	---	---
TOTAL CALCULATIONS	---	---	---



4 South Exterior Elevation Area 3
1/8" = 1'-0"



TORRADO
ARCHITECTS

35 GREENWICH ST
PROVIDENCE, RI 02907
401.781.0633P
401.781.0661F



335 CENTERVILLE RD
WARWICK, RI 02886
401.661.4949

RENOVATIONS FOR:

Lima Stuart
Elementary
School

PRELIMINARY
PLAN REVIEW

188 PRINCETON AVE, PROVIDENCE, RI 02907

EXTERIOR
ELEVATIONS

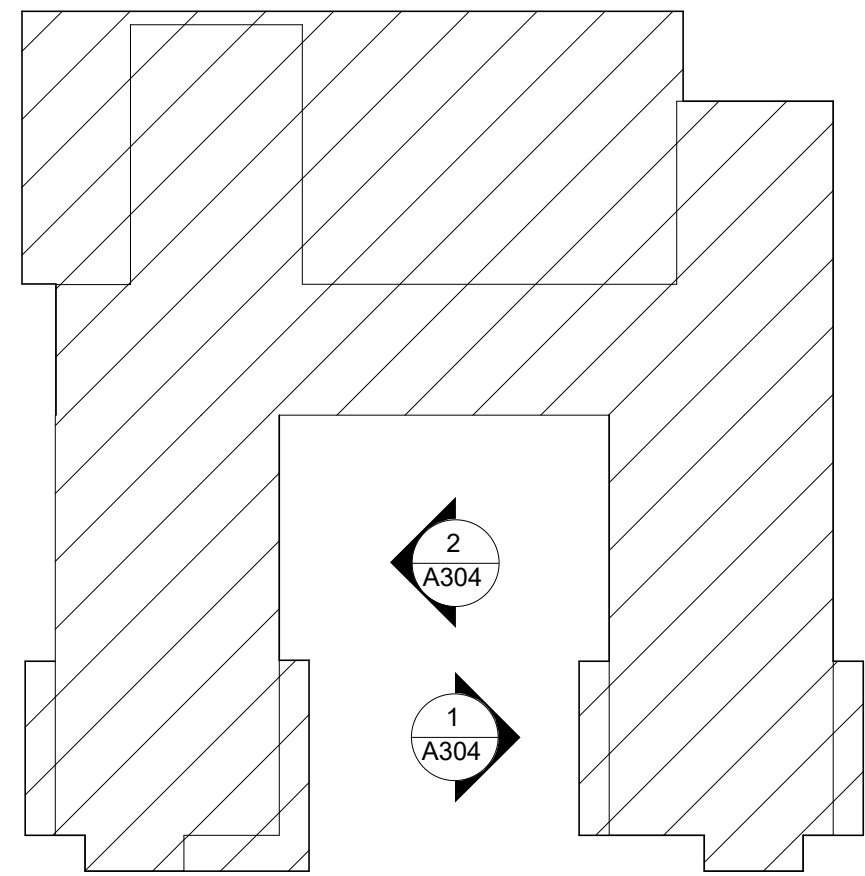
DATE REV. # DESCRIPTION

REVISIONS:

DATE: 10/20/2025
DRWN: CB
SCALE: AS NOTED
CHECKED BY: TA

A303

SHEET OF



Elevation Plan Legend - A304
1/64" = 1'-0"

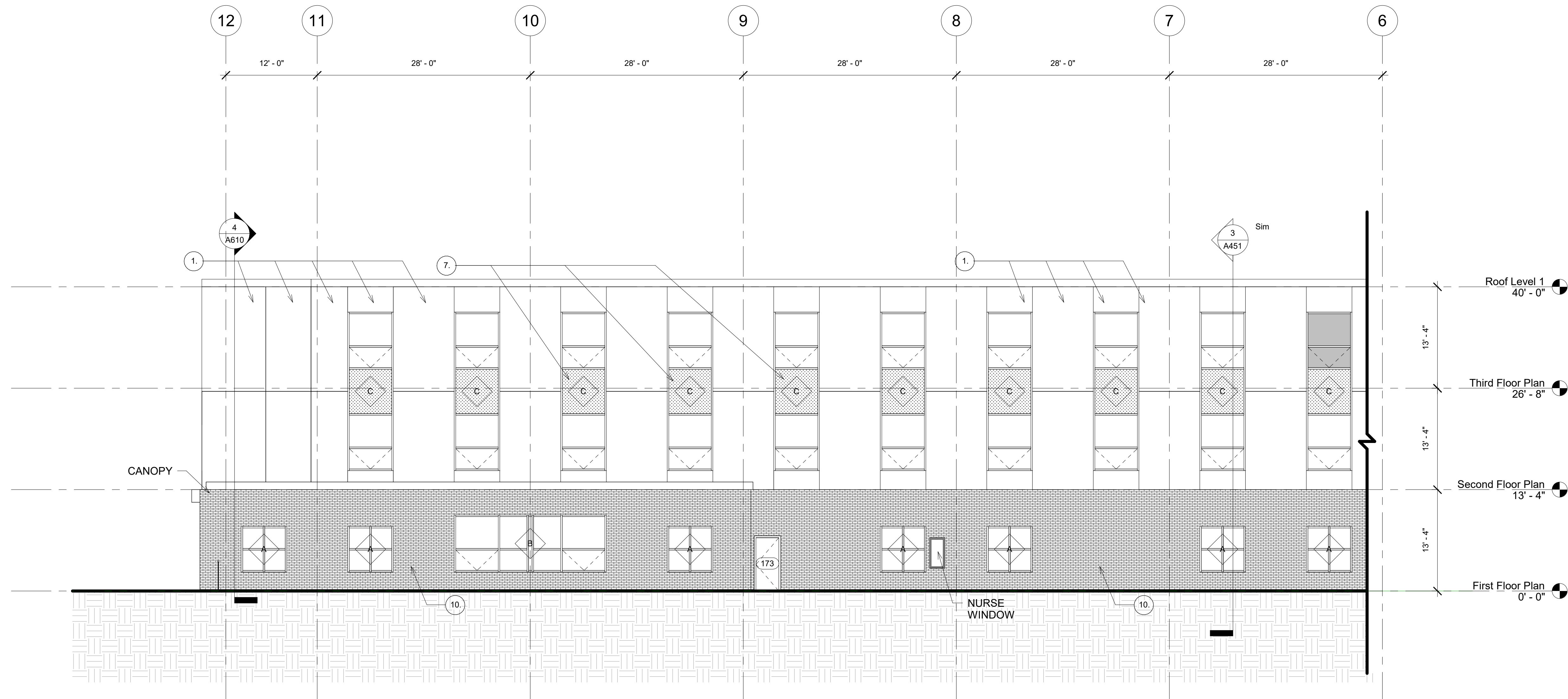
ELEVATION CONSTRUCTION NOTES	
1.	ACM PANEL - WOOD GRAIN FINISH
2.	ACM PANEL - YELLOW FINISH
3.	ACM PANEL - GREEN FINISH
4.	ACM PANEL - BLUE FINISH
5.	ACM PANEL - RED FINISH
6.	7" x 140" ALUM FASCIA W/F.F.
7.	SPANDREL GLASS
8.	12" X .040" ALUM FASCIA (YELLOW)
9.	CONC. FOOTING & FOUNDATION, SEE STRUCT DWGS
10.	BRICK FACE
11.	2 1/2" X 7 1/2" ALUM CURTAIN WALL W/F.F.
12.	PREFORMED STEEL SIDING, WOOD LOOK

TINTED GLASS LEGEND	
	1" INSULATED, GREEN TEMPERED GLASS, TINTED
	1" INSULATED, BLUE TEMPERED GLASS, TINTED
	1" INSULATED, RED TEMPERED GLASS, TINTED
	1" INSULATED, ORANGE TEMPERED GLASS, TINTED

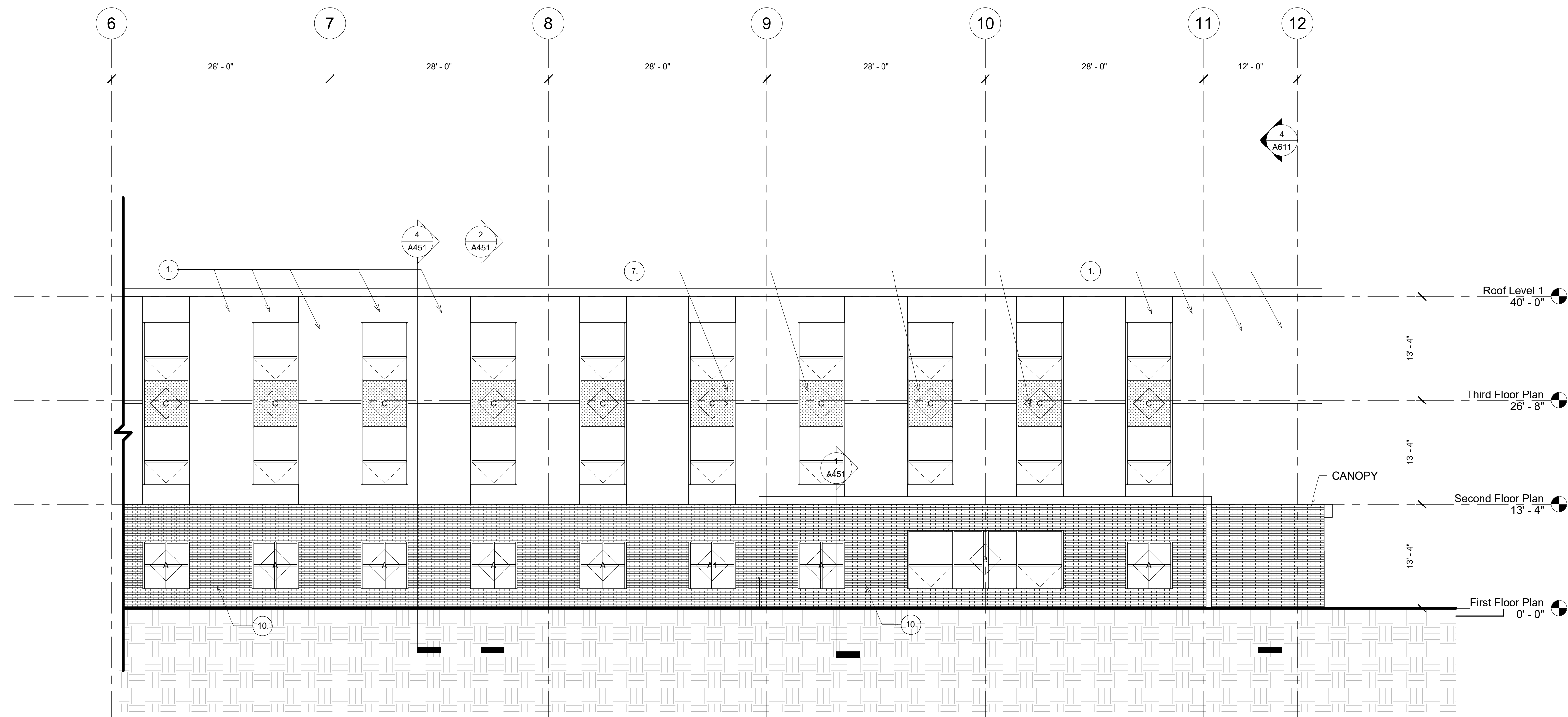
WINDOW GLASS LEGEND	
	1" INSULATED, CLEAR TEMPERED GLASS
	1" INSULATED, FROSTED TEMPERED GLASS (LOCATED @ RESTROOMS)
	1" INSULATED, OPAQUE, TEMPERED GLASS
	1" INSULATED, TINTED TEMPERED GLASS
	1" SPANDREL GLASS - COLOR TO BE SELECTED BY ARCHITECT
	1" BULLET RESISTANT GLASS TINTED - COLOR TO BE SELECTED BY ARCHITECT

TRANSPARENCY CALCULATIONS				
ELEVATION	TOTAL AREA	AREA OF GLAZING	PERCENTAGE OF TRANSPARENCY	NOTES
1A301 SOUTH ELEVATION	---	---	---	
2A301 WEST ELEVATION	---	---	---	
3A301 WEST WING NORTH ELEVATION	---	---	---	
1A302 NORTH ELEVATION	---	---	---	
2A302 EAST WING NORTH ELEVATION	---	---	---	
3A302 GYMNASIUM SOUTH ELEVATION	---	---	---	
1A303 EAST ELEVATION	---	---	---	
2A303 EAST ELEVATION	---	---	---	
3A303 EAST ELEVATION	---	---	---	
1A304 EAST ELEVATION	---	---	---	
2A304 EAST ELEVATION	---	---	---	
3A304 EAST ELEVATION	---	---	---	
TOTAL CALCULATIONS	---	---	---	

ALL DRAWINGS, PLANS, REPORTS, SPECIFICATIONS, COMPUTER DATA FILES, FIELD NOTES, AND ALL OTHER DOCUMENTS PREPARED BY T.A. TORRADO ARCHITECTS, P.C. OR ANY OF ITS EMPLOYEES OR AGENTS, SHALL BE THE PROPERTY OF T.A. TORRADO ARCHITECTS, P.C. AND SHALL REMAIN THE PROPERTY OF T.A. TORRADO ARCHITECTS, P.C. EVEN IF THEY ARE LOANED TO OR USED BY ANY OTHER PARTY. NO PART OF ANY SUCH DOCUMENTS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF T.A. TORRADO ARCHITECTS, P.C.



1 East Courtyard Elevation
1/8" = 1'-0"



2 West Courtyard Elevation
1/8" = 1'-0"



TORRADO
ARCHITECTS

35 GREENWICH ST
PROVIDENCE, RI 02907
401.781.0633P
401.781.0661F



335 CENTERVILLE RD
WARWICK, RI 02886
401.661.4949

RENOVATIONS FOR:

Lima Stuart
Elementary
School

PRELIMINARY
PLAN REVIEW

188 PRINCETON AVE, PROVIDENCE, RI 02907

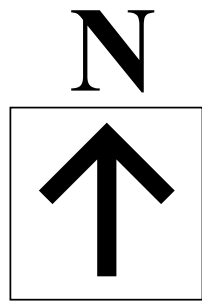
EXTERIOR
ELEVATIONS

DATE	REV. #	DESCRIPTION
REVISIONS:		
DATE:	10/20/2025	
DRWN:	CB	
SCALE:	AS NOTED	
CHECKED BY:	TA	
A304		
SHEET	OF	

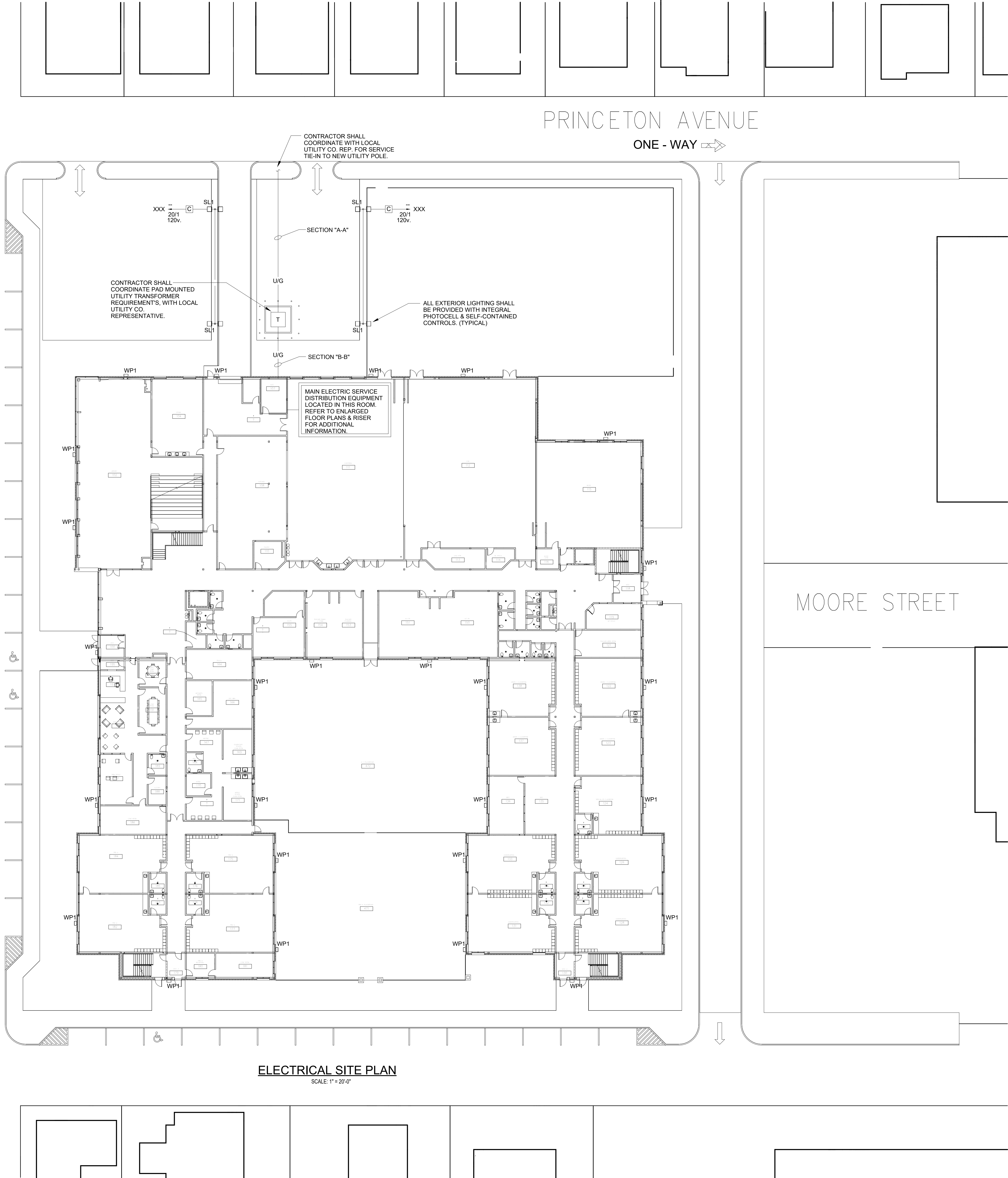
ALL DRAWINGS, PLANS, REPORTS, SPECIFICATIONS, COMPUTER DATA FILES, FIELD NOTES, AND ALL OF SERVICE SHALL REMAIN THE PROPERTY OF TORRADO ARCHITECTS, A CORPORATION. NO PART OF THIS DRAWING OR ANY INFORMATION CONTAINED HEREIN, DATA, AND OTHER REPRESENTATIONS, INCLUDING THE COPYRIGHT THERE TO.

DABOLL STREET

SITE LTG. CKT. / WIRE SCHEDULE		
CIRCUIT LENGTH	CIRCUIT WIRE SIZE	DESCRIPTION
UP TO 600'	#8	WIRE GAUGE RATINGS ARE BASED ON COPPER CONDUCTOR WITH LESS THAN 3% VOLTAGE DROP. IT SHALL BE THIS CONTRACTOR'S RESPONSIBILITY TO VERIFY LENGTHS AND ROUTING OF EACH CIRCUIT.
600' TO 1000'	#6	
1000' TO 1300'	#4	



BUCKLIN STREET



ELECTRICAL SITE PLAN
SCALE: 1" = 20'-0"



TORRADO
ARCHITECTS

35 GREENWICH ST
PROVIDENCE, RI 02907
401.781.0633P
401.781.0661F



335 CENTERVILLE RD
WARWICK, RI 02886
401.681.4949



141 Industrial Highway Slatersville, RI 02876
Tel (401) 765-7659 Fax (401) 765-2984

RENOVATIONS FOR:

Lima Stuart
Elementary
School

Schematic Design
08/29/25

188 PRINCETON AVE, PROVIDENCE, RI 02907

ELECTRICAL -
SITE PLAN

DATE REV. # DESCRIPTION

REVISIONS:

DATE: 08/29/2025
DRWN: MW/AV
SCALE: AS NOTED
CHECKED BY: RWD

E500