



CITY OF PROVIDENCE, RHODE ISLAND

Department: Public Property

RFP Title: Municipal Roof Replacement at 552 Academy Avenue

Opening Date: 10/20/2025

Addendum #: 2

Issue Date: 10/10/2025

The purpose of this addendum is:

Clarify the scope of the work as outlined on the original IFB.

Answers to bidders questions are included as part of this Addendum.



DEPARTMENT OF PUBLIC PROPERTY
PROVIDENCE CITY HALL 25 DORRANCE ST
PROVIDENCE RI 02903

Procurement	# 50513
Department	Public Property
RFP Title	Municipal Roof Replacement at 552 Academy Ave
Bid Due Date:	10/20/25
Addendum #	2
Issue Date	10/10/25

The purpose of this addendum is to clarify the scope of the work as outlined on the original IFB.

Answers to bidders questions are included as part of this Addendum.

Clarifications:

1. In lieu of removal of the existing roof assemblies down to the structural wood deck; remove the membrane, insulation/wood fiberboard, and all associated components down to the existing built-up (BUR) coal tar pitch roof assembly. The BUR will be left in place. Vacuum all loose gravel in preparation for attachment of the new roof insulation, recovery board, and new roof assembly.
2. Remove the Structural drawings from the set; the scope of work will focus on the roof replacement. Structural work will be bid as a separate contract.
 - a. Remove S-001
 - b. Remove SF111
 - c. Remove S-311
3. Skylights are to be removed and infilled flush to deck with like material.
4. Mechanical equipment, penetrations
 - a. Contractor will be responsible for disconnecting and reconnecting any operable mechanical equipment on the roof.
 - b. Contractor will be responsible for removing obsolete roof equipment identified on revised A-100.

Attachments:

1. Revised A-001, dated 10/3/25
2. Revised A-100, dated 10/3/25



DEPARTMENT OF PUBLIC PROPERTY
PROVIDENCE CITY HALL 25 DORRANCE ST
PROVIDENCE RI 02903

3. Revised A-500, dated 10/3/25
4. Revised A-501, dated 10/3/25
5. Revised Page 4 of RFP: Notice to Vendors; Bullet point #7.
6. Revised page 7 of RFP: Bid form Page 2
7. ACM test results from ECM

Questions from Bidders:

1. We can't seem to locate a stipulated duration for the project. Please let us know what that is at your earliest convenience.
 - a. There is no stipulated duration for the project.
2. What is the anticipated start date for construction?
 - a. The manufacturer has estimated 8-10 weeks to complete and recommends that temps be above 40 degrees. It may be possible to start the project as soon as the contract is awarded.
3. Will the city be publishing the Davis Bacon wage rates for the project?
 - a. Davis-Bacon wage rates are available through DOL.GOV.
4. Will the building be vacant at the time of construction?
 - a. Building will be occupied, and access will be coordinated with the Public Property Facilities Maintenance team and the Police Department.
5. Will space be provided for an office trailer? Possibly a small trailer placed in the building.
 - a. Office space will be provided within the building.
6. Please clarify the base bid vs. alternate. Drawing cover A-001 depicts Roofs B& C as base bid. However A-100 depicts Roof 'C' as Base Bid and Roof 'B' as alternate. Please confirm base bid vs. alternate.
 - a. Both roofs are included within the Base Bid, and all drawings have been updated accordingly.
7. Details on A-500 are not keyed or coordinated to the roof plan, A-100. Please provide locations / clarification.
 - a. See revised A-100, A-500.



DEPARTMENT OF PUBLIC PROPERTY
PROVIDENCE CITY HALL 25 DORRANCE ST
PROVIDENCE RI 02903

8. Details 1&4 on A-501 are not keyed or coordinated to the roof plan, A-100. Please provide locations / clarification.
 - a. See revised A-100, A-501.
9. Please confirm roof structure is sloped and tapered insulation is only required at the roof crickets.
 - a. Correct
10. Please locate pitch pockets on the roof plan if required.
 - a. Please see revised drawings indicating pitch pocket locations.
11. We are assuming that the existing roof planks will be reused after the existing roofing is removed. If it's intended that this be replaced as required, please provide an allowance to be carried for replacement by all bidders.
 - a. Roof deck boards to be replaced are called out on SF111, Roof Framing Repair Plan.
12. Will an independent third party roof inspector be required for the roof inspections per Specification Section 014210?
 - a. Daily manufacturers inspections are required performed by a representative whose job responsibilities are to inspect and report.
13. At the pre-bid meeting it was noted that the existing skylights were to be infilled and roofed over. Plans do not seem to indicate this. If this is desired, please provide framing details and structural needs.
 - a. Skylights are to be removed and infilled flush
14. Please provide performance reports for the existing mechanical units on the roof.
 - a. These reports are not available at this time. Baseline establishing reports will be provided prior to construction.
15. Please provide specifications for the existing mechanical units on the roof.
 - a. These are not available.
16. Do any of the mechanical units need to be raised due to the changes to the roofs? If so, please detail the extents to which the ductwork, piping and electrical connections will need to be extended.
 - a. RTUS to remain in place. Raise electrical conduit if necessary to be above the finished roof height.



DEPARTMENT OF PUBLIC PROPERTY
PROVIDENCE CITY HALL 25 DORRANCE ST
PROVIDENCE RI 02903

17. Please confirm that the bid bond amount for the project is 10% as per specification section 010100.
 - a. Bid bond required is 5%.

18. Will a stair tower be required to access the roof or will the Police Department allow daily access through their facility?
 - a. A stair tower is not required or recommended for security reasons. Access will be coordinated with the Public Property Facilities Maintenance team and the Police Department.

19. The bid from indicates a need for a unit price for "Asbestos Abatement" per square foot. Please indicate what is to be abated.
 - a. Please see revised bid form. Asbestos was only discovered in small areas within the building skylights.

20. Please provide any abatement reports that have been generated for the scope area of the project.
 - a. Asbestos report attached, dated 9/19/25 from Environmental Consulting & Management.

NOTICE TO VENDORS

1. The Board of Contract and Supply will make the award to the lowest qualified and responsible bidder.
2. In determining the lowest responsible bidder, cash discounts based on preferable payment terms will not be considered.
3. Where prices are the same, the Board of Contract and Supply reserves the right to award to one bidder, or to split the award.
4. No proposal will be accepted if the bid is made in collusion with any other bidder.
5. Bids may be submitted on an “equal in quality” basis. The City reserves the right to decide equality. Bidders must indicate brand or the make being offered and submit detailed specifications if other than brand requested.
6. A bidder who is an out-of-state corporation shall qualify or register to transact business in this State, in accordance with the Rhode Island Business Corporation Act, RIGL Sec. 7-1.2-1401, et seq.
7. The Board of Contract and Supply reserves the right to reject any and all bids. If the City Department that is seeking the within described bids deems that it is in the City's best interest, the City reserves the right to waive any requirement of this RFP.
8. Competing bids may be viewed in person at the Department of the City Clerk, City Hall, Providence, immediately upon the conclusion of the formal Board of Contract and Supply meeting during which the bids were unsealed/opened. Bids may also be accessed electronically on the internet via the City's [Open Meetings Portal](#).
9. As the City of Providence is exempt from the payment of Federal Excise Taxes and Rhode Island Sales Tax, prices quoted are not to include these taxes.
10. In case of error in the extension of prices quoted, the unit price will govern.
11. The contractor will **NOT** be permitted to: a) assign or underlet the contract, or b) assign either legally or equitably any monies or any claim thereto without the previous written consent of the City Purchasing Director.
12. Delivery dates must be shown in the bid. If no delivery date is specified, it will be assumed that an immediate delivery from stock will be made.
13. A certificate of insurance will normally be required of a successful vendor.
14. For many contracts involving construction, alteration and/or repair work, State law provisions concerning payment of prevailing wage rates apply ([RIGL Sec. 37-13-1 et seq.](#))
15. No goods should be delivered, or work started without a Purchase Order.
16. **Submit 2 copies of the bid to the City Clerk, unless the specification section of this document indicates otherwise.**
17. Bidder must certify that it does not unlawfully discriminate on the basis of race, color, national origin, gender, gender identity or expression, sexual orientation and/or religion in its business and hiring practices and that all of its employees are lawfully employed under all applicable federal, state and local laws, rules and regulations. (See Bid Form 2.)

BID FORM 1: Bidders Blank (Page 2 of 2)

Name of Bidder (Firm or Individual): _____

Contact Name: _____

Business Address: _____

Business Phone #: _____

Contact Email Address: _____

Agrees to bid on (Write the "Item Description" here): _____

Bid Breakdown:

Roof B	Price for new roof, infill, and all associated flashing	
Roof C	Price for new roof, infill, and all associated flashing	
Allowance #1	Masonry repairs and repointing	\$10,000.00
Total		

A – BASE BID #1: ROOF SECTIONS B & C– 30 YEAR WARRANTY (INCLUSIVE OF ALLOWANCE #1)

_____ \$ _____
 Words Figures

B – ADD ALTERNATE #1: ROOF SECTIONS B & C– 35 YEAR WARRANTY (INCLUSIVE OF ALLOWANCE #1)

_____ \$ _____
 Words Figures

C– ADD ALTERNATE #2: ROOF SECTIONS B & C– 40 YEAR WARRANTY (INCLUSIVE OF ALLOWANCE #1)

_____ \$ _____

Unit Costs:

Wood Deck Replacement: \$ _____ per square foot
 2 x 6” Wood Blocking Replacement: \$ _____ per square foot
 Brick repointing: \$ _____ per square foot

The bidder hereby acknowledges receipt of the following addenda:

Addendum No. _____ Dated _____

Addendum No. _____ Dated _____

Addendum No. _____ Dated _____

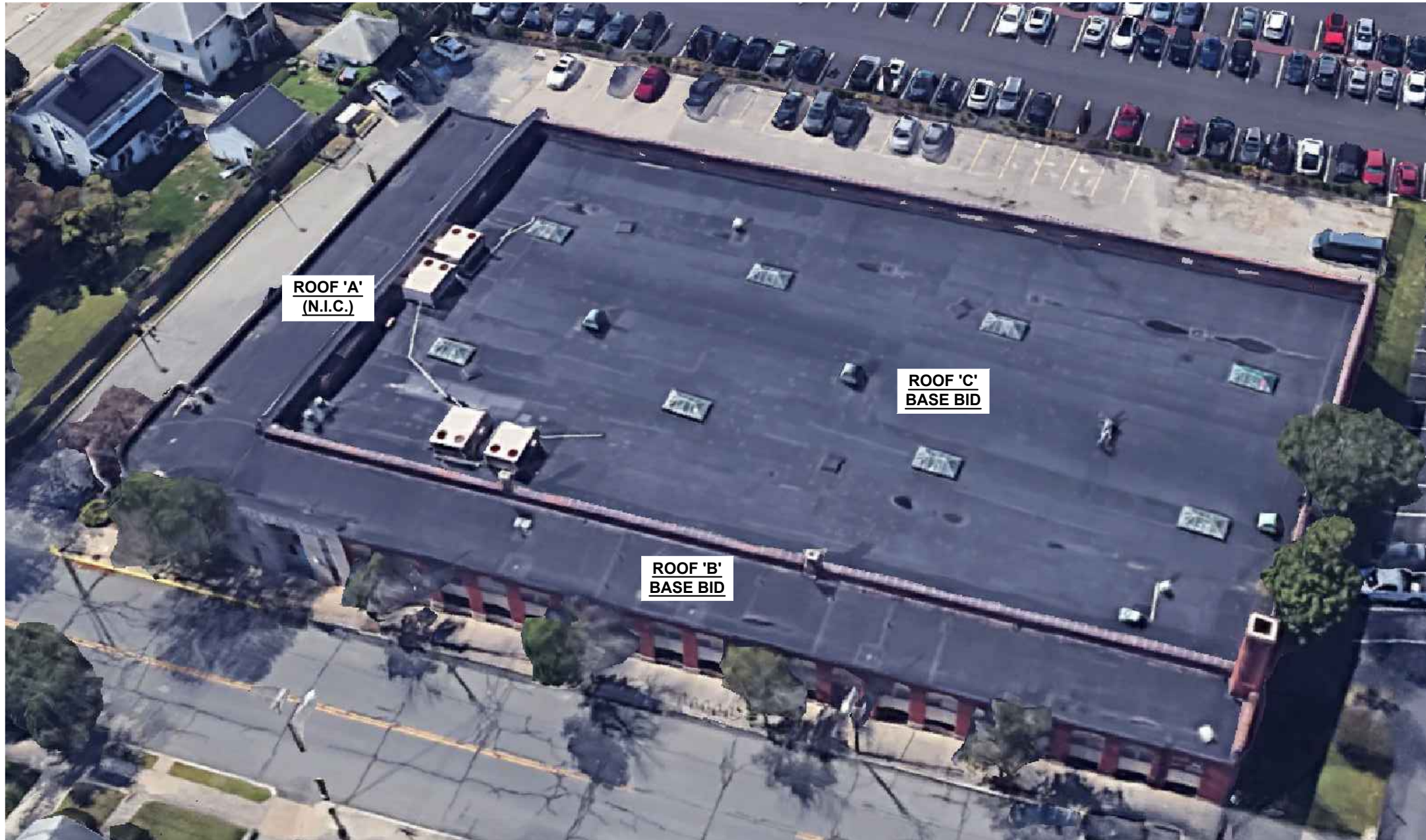
CITY of PROVIDENCE

ROOFS B & C

552 Academy Avenue, Providence, RI 02908

PROJECT AERIAL VIEW

DRAWING INDEX



A-001	COVERSHEET
A-100	ROOF PLAN
A-500	ROOF DETAILS
A-501	ROOF DETAILS

CITY of
PROVIDENCE

ROOFS B & C

552 Academy Avenue
Providence, RI 02908

SCALE: AS NOTED

DATE: 10/03/25 ADD #2

PROJ. #:

DRAWN BY:

CHECKED BY:

COVERSHEET

A-001

KEYED NOTES:

- R1 REGLET TO BE RAISED ON ENTIRE WALL
- R2 COPING AT PERIMETER
- R3 R-MER FORCE WITH EXTENDER. ADD BLOCKING
- R4 OBSOLETE ROOF EQUIPMENT TO BE REMOVED
- R5 METAL PANEL ON WALL. SEE DETAIL 3/A-501.
- R6 REMOVE EXISTING SKYLIGHTS IN ITS ENTIRETY. INFILL EXISTING OPENING WITH ADJACENT INKING MATERIALS

PROJECT NOTES:

- 1.) REMOVE (7) SEVEN 3x3 CURBS AND INFILL.
- 2.) REMOVE TERRACOTTA COPING AND ADD BLOCKING FOR INSTALLATION OF NEW METAL COPING.

TEST CUT #1 (HIGH WALL):

- WOOD DECK
- 4 PLY CTP
- 3" POLYISOCYANURATE
- EPDM FA

TEST CUT #2 (LOW DRAIN):

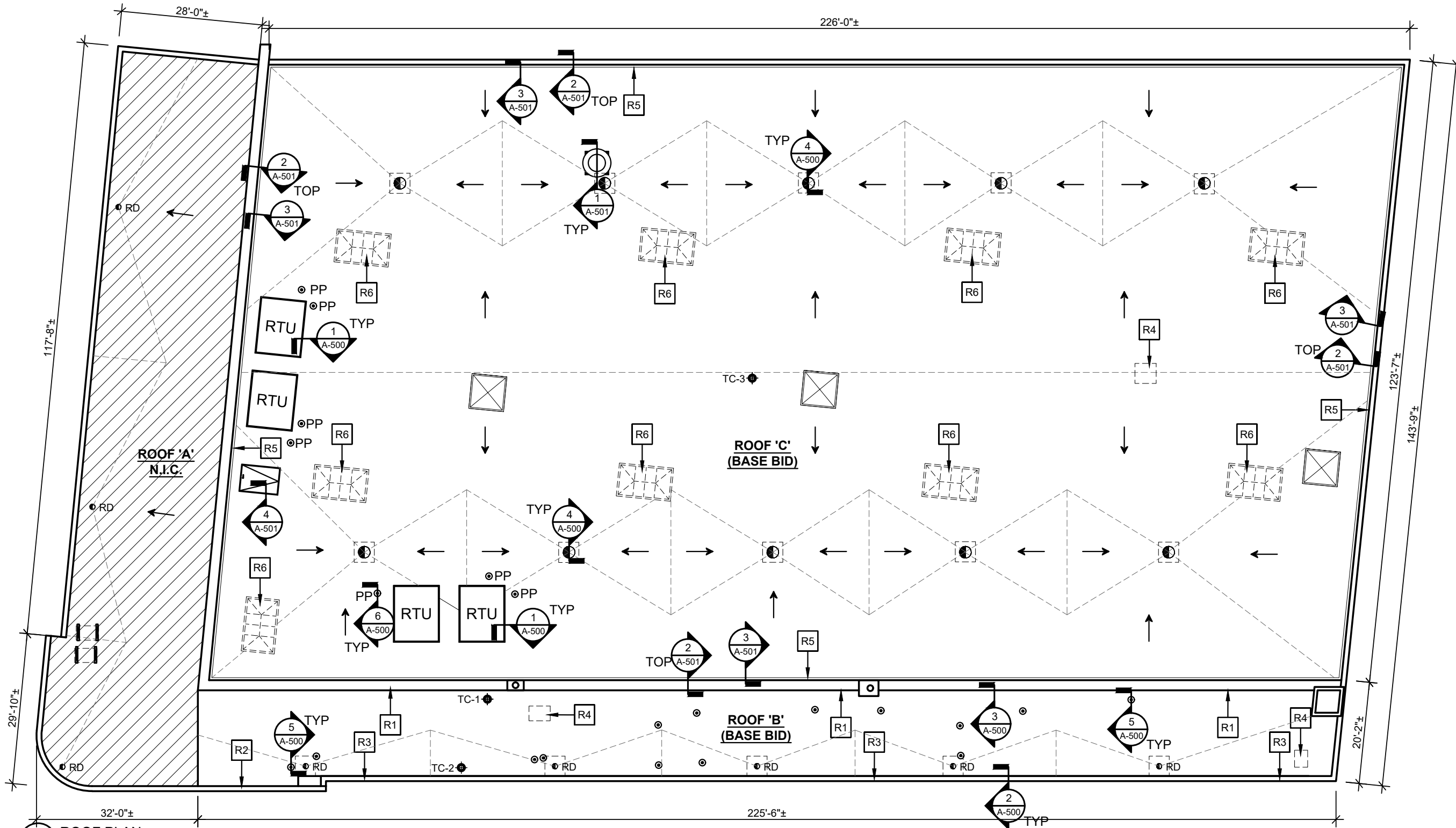
- WOOD DECK
- 3" POLYISOCYANURATE
- EPDM FA

TEST CUT #3 (RIDGE):

- WOOD DECK
- 4 PLY BUR W/GRAVEL
- 1/2" WOOD FIBER BOARD
- 60 MIL EPDM

GENERAL NOTES:

- 1.) IT IS THE ROOFING CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH ALL DETAILS INVOLVED IN THE ROOFING CONTRACT.
- 2.) ALL DRAWINGS ARE GRAPHIC REPRESENTATION OF APPROXIMATE LOCATIONS OF EXISTING AND NEW MATERIALS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
- 3.) THE ROOFING CONTRACTOR TO PROTECT ALL ADJACENT SURFACES NOT SCHEDULED FOR WORK AND TO REPAIR ANY DAMAGED AREAS AS A RESULT OF CONTRACTOR WORK AT NO ADDITIONAL COST TO THE OWNER.
- 4.) THE ROOFING CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN WATER TIGHTNESS AND PROVIDE PROTECTION AT ANY/ALL OPENINGS IN THE ROOF LEFT AT THE END OF EACH CONSTRUCTION DAY.
- 5.) CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, CONDITIONS AND QUANTITIES.



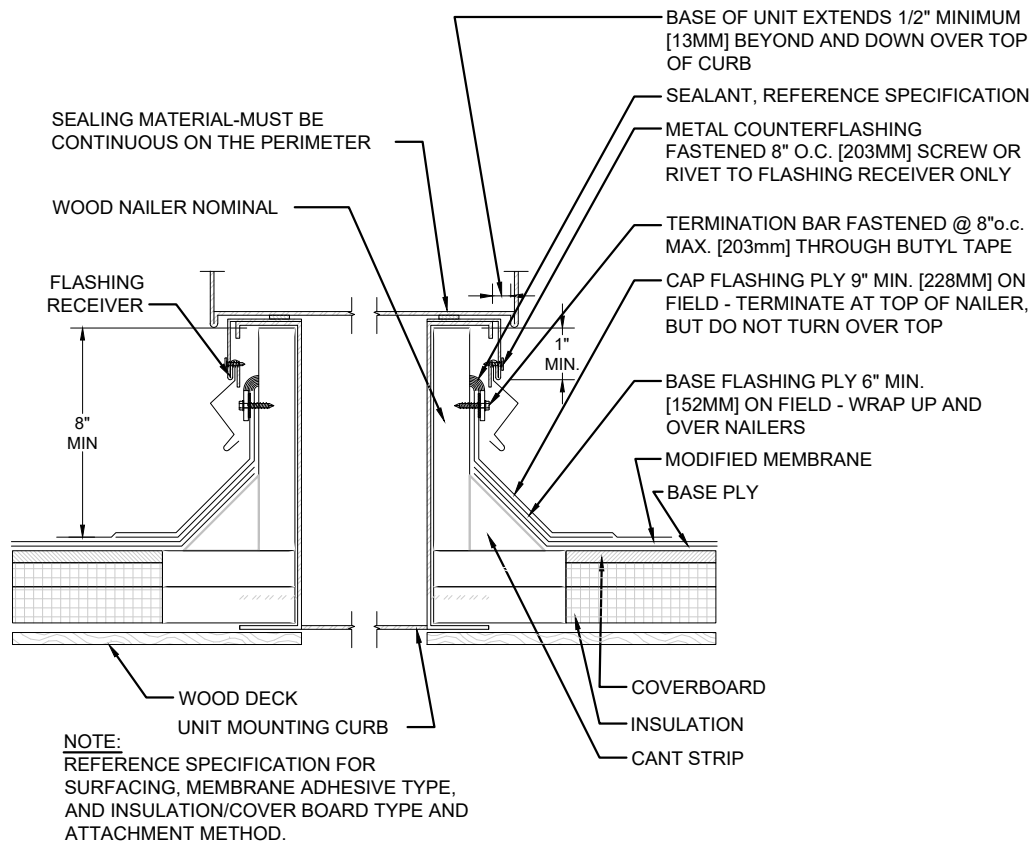
1 ROOF PLAN
A-100 SCALE: N.T.S.

CITY of PROVIDENCE
ROOFS B & C
552 Academy Avenue
Providence, RI 02908

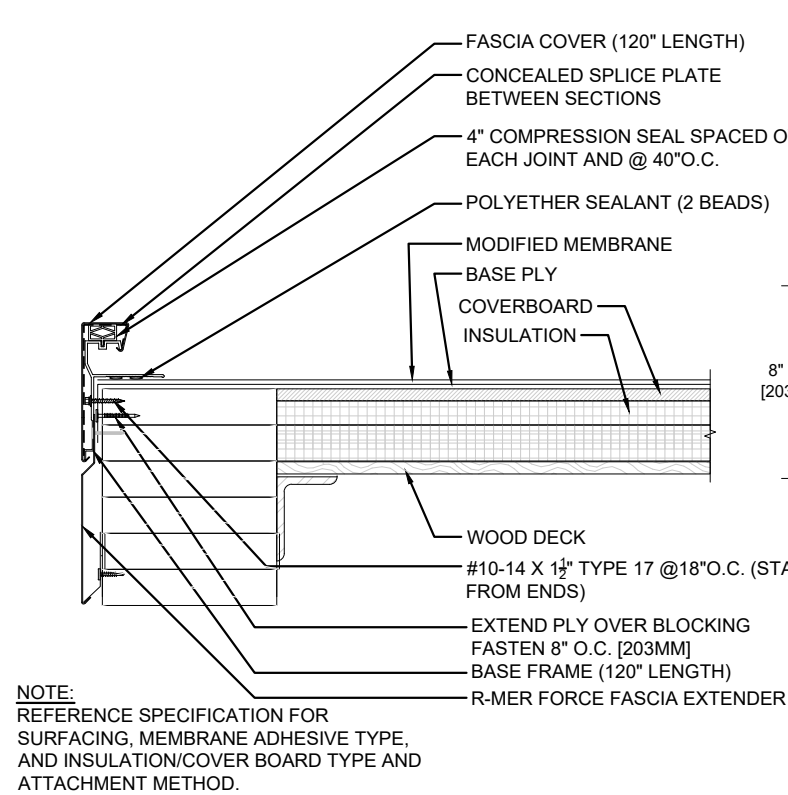
SCALE: AS NOTED
DATE: 10/03/25 ADD #2
PROJ. #:
DRAWN BY:
CHECKED BY:

ROOF PLAN

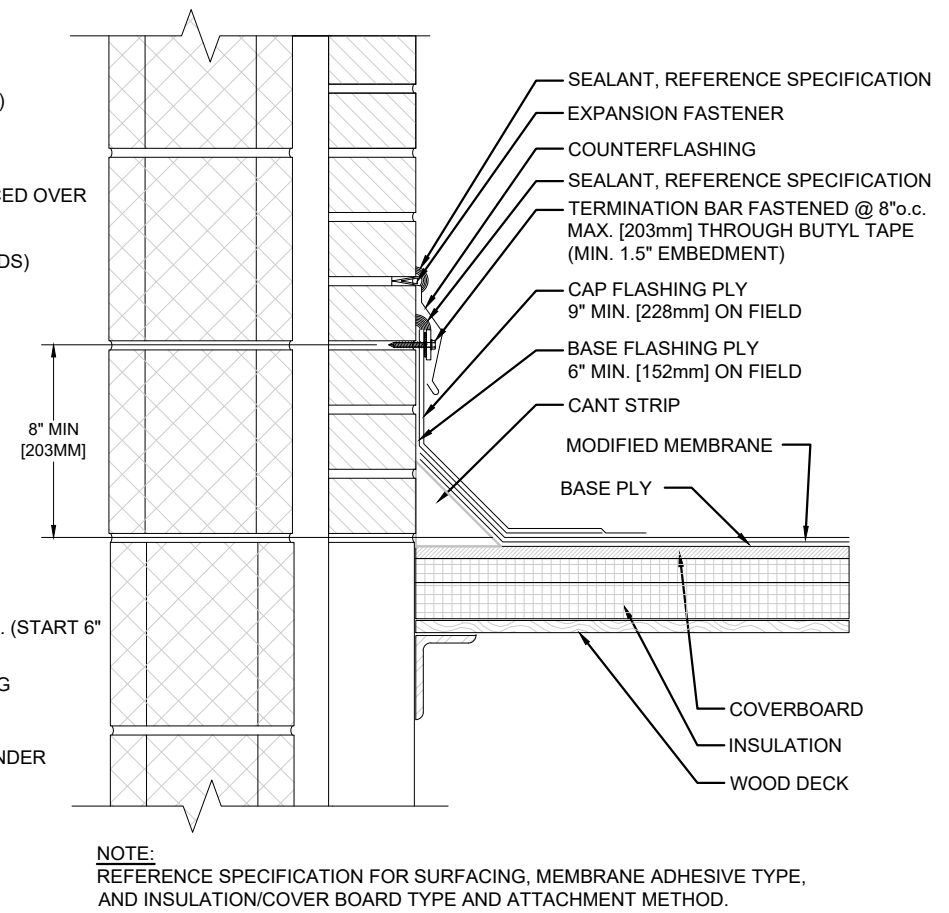
A-100



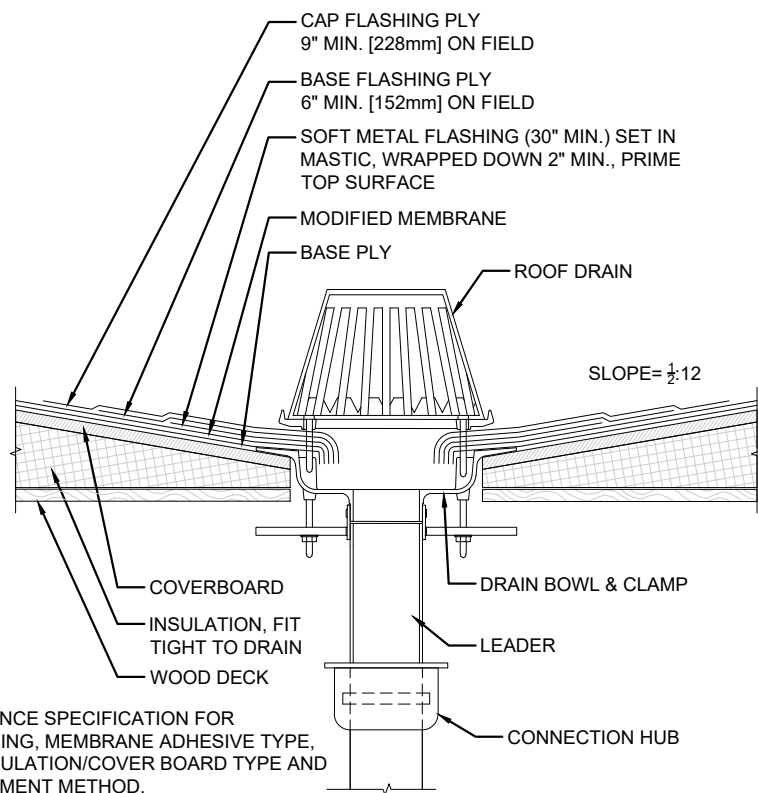
1 CURB AT AIR HANDLING UNIT DETAIL
A-500 SCALE: N.T.S.



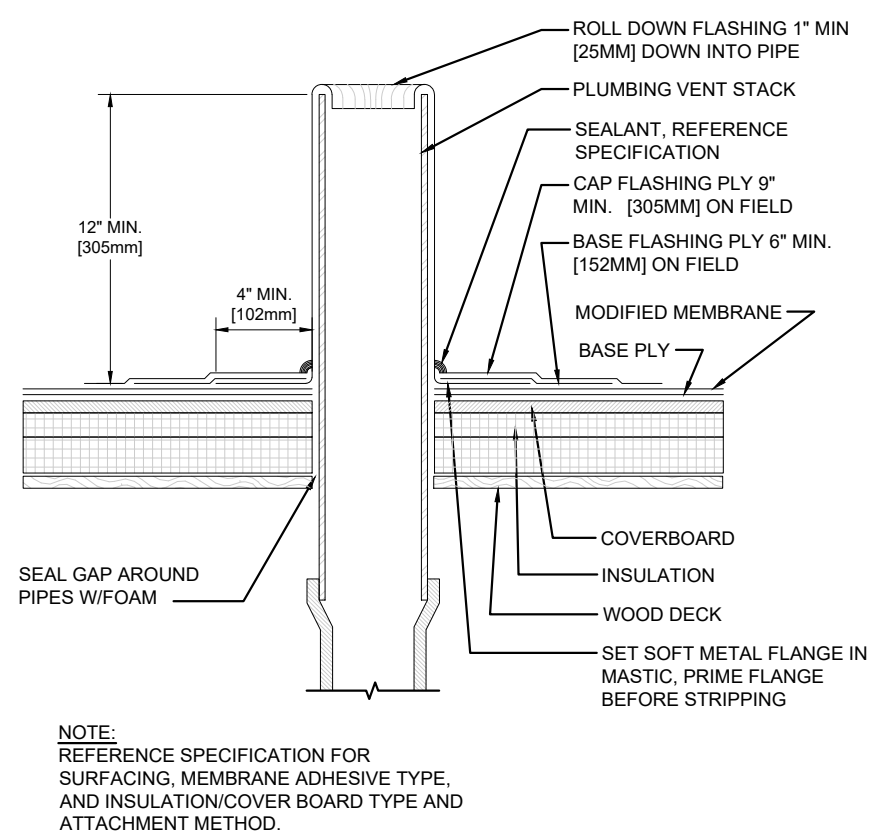
2 METAL EDGE FLASHLESS SNAP ON DETAIL
A-500 SCALE: N.T.S.



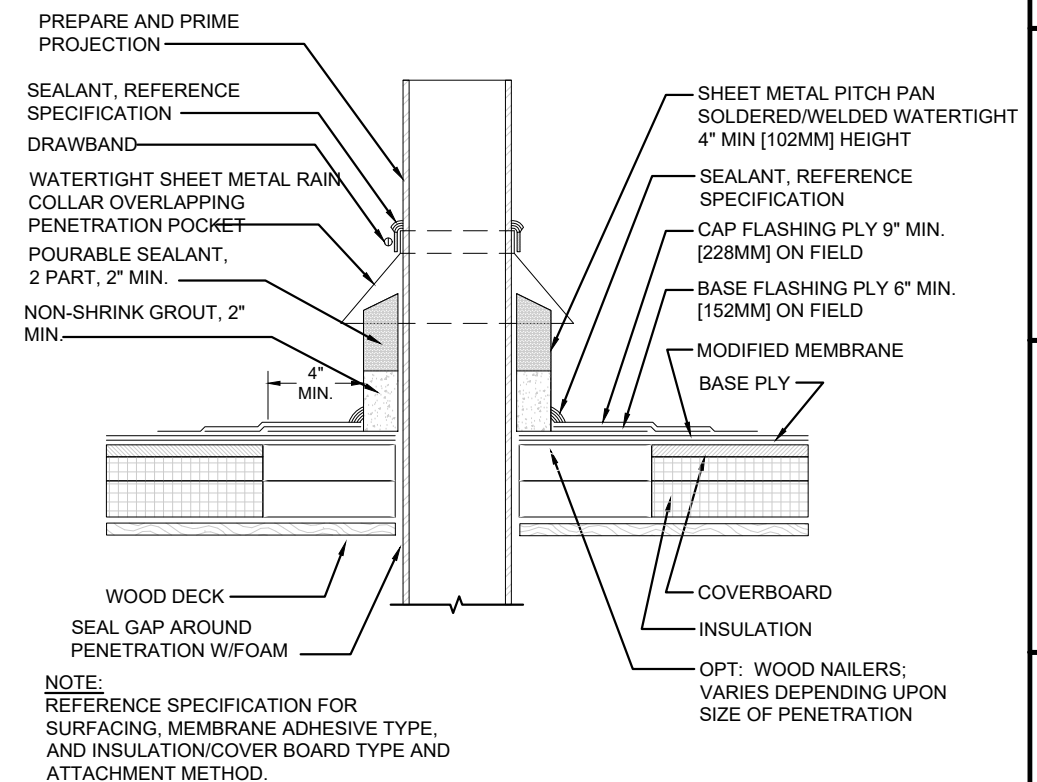
3 REGLET MOUNTED COUNTERFLASHING DETAIL
A-500 SCALE: N.T.S.



4 ROOF DRAIN DETAIL
A-500 SCALE: N.T.S.



5 PLUMBING STACK DETAIL
A-500 SCALE: N.T.S.



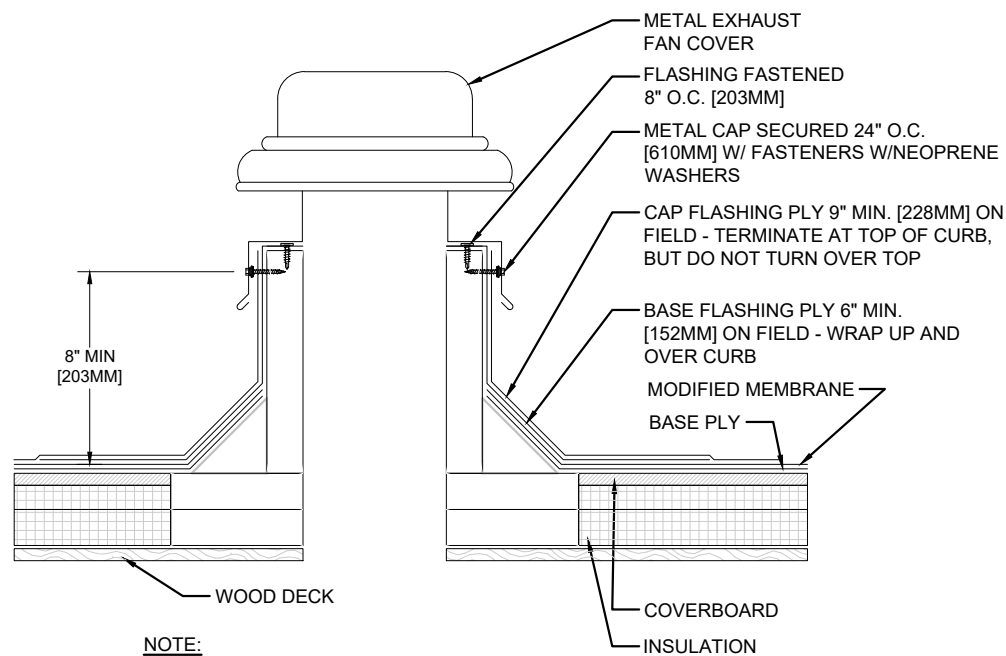
6 PITCHPOCKET DETAIL
A-500 SCALE: N.T.S.

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552 Academy Avenue
Providence, RI 02908

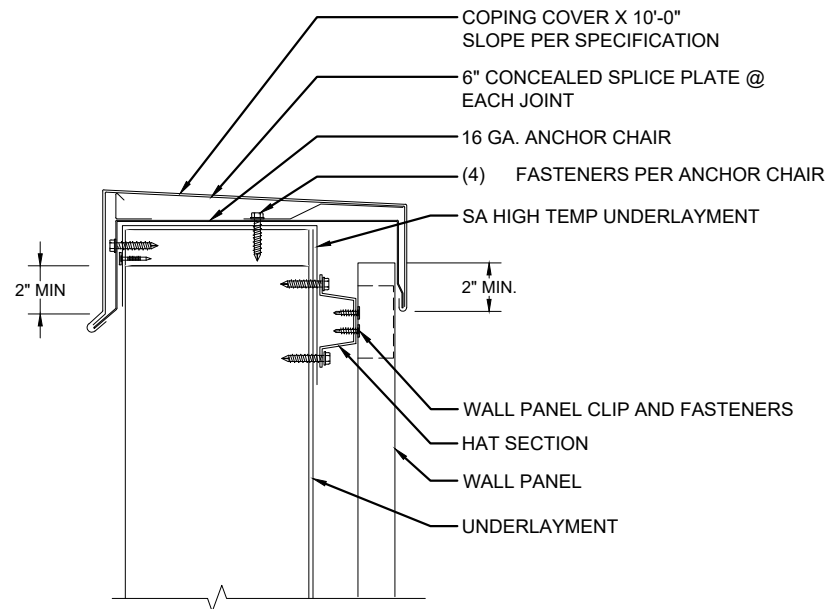
SCALE: AS NOTED
DATE: 10/03/25 ADD #2
PROJ. #:
DRAWN BY:
CHECKED BY:

ROOF DETAILS

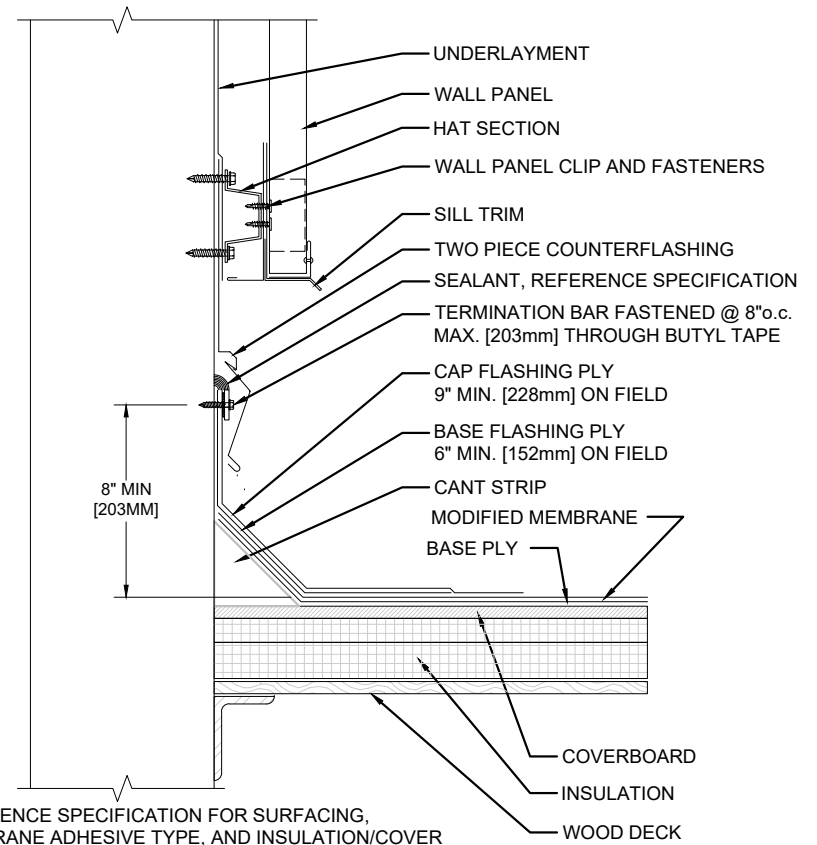
A-500



NOTE:
REFERENCE SPECIFICATION FOR SURFACING, MEMBRANE ADHESIVE TYPE, AND INSULATION/COVER BOARD TYPE AND ATTACHMENT METHOD.



NOTE:
REFERENCE SPECIFICATION FOR SURFACING, MEMBRANE ADHESIVE TYPE, AND INSULATION/COVER BOARD TYPE AND ATTACHMENT METHOD.

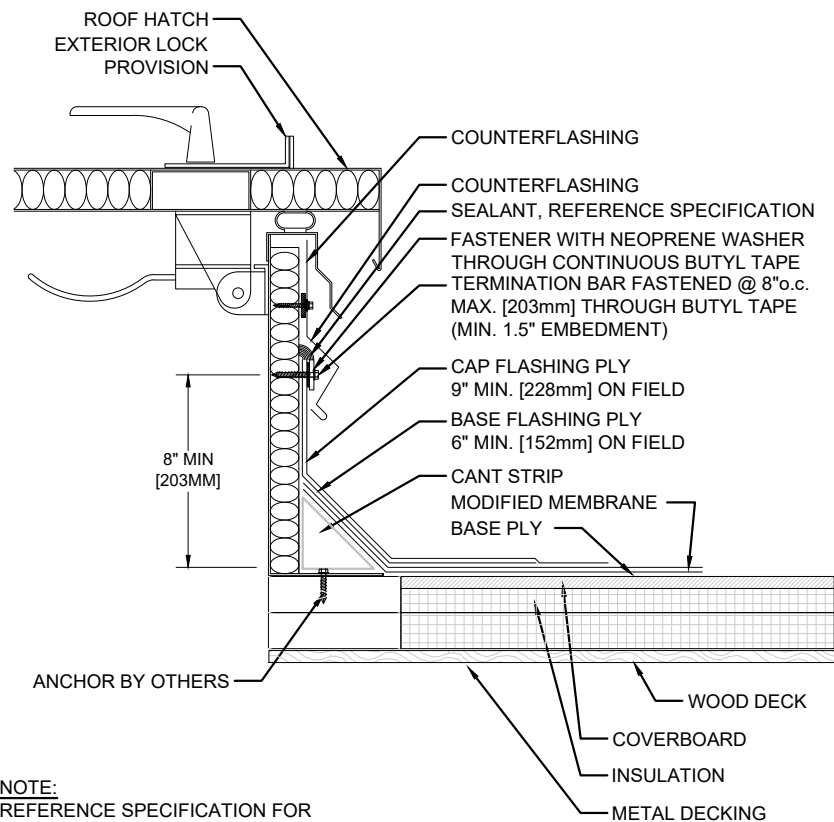


NOTE:
REFERENCE SPECIFICATION FOR SURFACING, MEMBRANE ADHESIVE TYPE, AND INSULATION/COVER BOARD TYPE AND ATTACHMENT METHOD.

1 EXHAUST FAN DETAIL
A-501 SCALE: N.T.S.

2 COPING CAP AT WALL PANEL DETAIL
A-501 SCALE: N.T.S.

3 WALL FLASHING AT WALL PANEL
A-501 SCALE: N.T.S.



NOTE:
REFERENCE SPECIFICATION FOR SURFACING, MEMBRANE ADHESIVE TYPE, AND INSULATION/COVER BOARD TYPE AND ATTACHMENT METHOD.

4 ROOF HATCH DETAIL
A-501 SCALE: N.T.S.

5 NOT USED
A-501 SCALE: N.T.S.

6 NOT USED
A-501 SCALE: N.T.S.

CITY of PROVIDENCE
ROOFS B & C
552 Academy Avenue
Providence, RI 02908

SCALE: AS NOTED
DATE: 10/03/25 ADD #2
PROJ. #:
DRAWN BY:
CHECKED BY:

ROOF DETAILS

A-501



September 18, 2024

City of Providence
Department of Public Property
Attn: Mr. Anthony Alves
25 Dorrance Street
Providence, RI 02903

Re: Asbestos Roofing Inspection Report for 552 Academy Ave, Providence, RI.

Mr. Alves:

Enclosed are the analytical results, observations, and recommendations associated with the asbestos roofing inspection and sampling performed by Environmental Consulting & Management Inc. (ECM) for the large center portion of the roof located at 552 Academy Ave., Providence, RI. This inspection was limited to the roofing components only. Interior and exterior building envelop were not inspected during this site visit.

Methodology and Scope

Joseph M. Lepore (Rhode Island Inspector #661) of ECM conducted the asbestos roofing inspection at the site. During the course of the inspection ECM collected samples of suspect ACBM from roofing, edges, and skylights associated with the main roof at 552 Academy Ave, Providence, RI.

Asbestos Report:

The survey consisted of collecting suspect asbestos containing building materials (ACBM) from the subject roof. These materials are then analyzed utilizing Polarized Light Microscopy (PLM) in accordance with Environmental Protection Agency (EPA) method 600/R-93/116. The materials collected, results, location and quantity of ACBM have been denoted within this report. Please refer to **Attachment 1** for the asbestos analytical results. On the following pages is a chart of the samples collected.

552 Academy Ave, Providence, RI– Asbestos Sampling Results

Sample #	Material	Location	Asbestos %
RC-1A, 1B, 1C, 1D	Roof core (Tar and gravel under rubber membrane)	Main roof field	None Detected
SL-1A, 1B, 1C	Skylight window glazing around glass	8 Skylight units	60% Chrysotile

181 Amaral Street
Riverside, RI 02915

O: 401.438.1360
F: 401.438.1316

www.ecmne.com

Sample #	Material	Location	Asbestos %
C-1A, 1B, 1C	Black sealant on nail holes	Around penetrations and edge of roof	None Detected
S-1A	Black coating of vent stack	Far end of roof	None Detected
F-1A, 1B, 1C	Flashing/curbing	Edge of roof, at knee-wall and around penetrations	None Detected

Asbestos: Recommendations & Summary

Roofing field, flashing, sealants and caulks were all found to be none detected for asbestos content when analyzed by PLM analysis.

ECM did identify asbestos glazing on metal framed skylights on the building. Based on the inch thick of glazing around the panes of glass, ECM estimates there to be a total of 16sf of glazing present on the skylight windows. Approximately 2sf per window.

The RIDOH does not require an asbestos abatement plan to be submitted for asbestos projects that contain less than 10lf of pipe insulation or 25sf of other asbestos containing materials. Since the amount of asbestos containing material is less than 25 sf an asbestos abatement plan and RIDOH notification will not be required for this project.

However, this classification does not exempt the project from critical safety and environmental regulations. All work must still adhere strictly to OSHA standards for worker protection to ensure the safety of personnel handling the materials. Furthermore, all resulting waste must be managed and disposed of in accordance with EPA regulations. To ensure full compliance and proper handling of the materials, ECM strongly recommends that a licensed abatement contractor be retained to perform the abatement.

Limitations:

Components that could affect building operation and endanger the safety of the inspector such as active mechanical or electrical systems were not scrutinized during this inspection unless otherwise noted. Environmental Consulting and Management cannot be held responsible for the identification of materials that are hidden, concealed or otherwise inaccessible at the time of the inspection.

This report was prepared under the request of City of Providence. This report should not be represented, reproduced, or disseminated without the written approval of Environmental Consulting and Management or City of Providence. No warranties other than those expressed in the contract for this project are expressed or implied.

Sincerely,
Environmental Consulting & Management



Joseph M. Lepore
Project Manager

Attachment 1
Asbestos Results



The Identification Specialists

Analysis Report
prepared for
Environmental Consulting & Management Inc

Report Date: 9/16/2025

Project Name: 552 Academy Ave

Project #: 250458

SanAir ID#: 25060829



NVLAP LAB CODE 200870-0

10501 Trade Court, North Chesterfield, Virginia 23236
888.895.1177 | 804.897.1177 | fax: 804.897.0070 | LabReports@SanAir.com | SanAir.com



SanAir ID Number
25060829
FINAL REPORT
9/16/2025 1:02:07 PM

Name: Environmental Consulting & Management Inc
Address: 50 Kickemuit Ave
Bristol, RI 02809
Phone: 401-438-1360

Project Number: 250458
P.O. Number:
Project Name: 552 Academy Ave
Collected Date: 9/9/2025
Received Date: 9/10/2025 10:10:00 AM

Dear Joseph M. Lepore,

We at SanAir would like to thank you for the work you recently submitted. The 14 sample(s) were received on Wednesday, September 10, 2025 via FedEx. The final report(s) is enclosed for the following sample(s): RC-1A, RC-1B, RC-1C, RC-1D, SL-1A, SL-1B, SL-1C, C-1A, C-1B, C-1C, S-1A, F-1A, F-1B, F-1C.

These results only pertain to this job and should not be used in the interpretation of any other job. This report is only complete in its entirety. Refer to the listing below of the pages included in a complete final report.

Sincerely,

A handwritten signature in cursive script that reads "Sandra Sobrino".

Sandra Sobrino
Asbestos & Materials Laboratory Manager
SanAir Technologies Laboratory

Final Report Includes:

- Cover Letter
- Analysis Pages
- Disclaimers and Additional Information

Sample conditions:

- 14 samples in Good condition.



SanAir ID Number
25060829
 FINAL REPORT
 9/16/2025 1:02:07 PM

Name: Environmental Consulting & Management Inc
Address: 50 Kickemuit Ave
 Bristol, RI 02809
Phone: 401-438-1360

Project Number: 250458
P.O. Number:
Project Name: 552 Academy Ave
Collected Date: 9/9/2025
Received Date: 9/10/2025 10:10:00 AM

Analyst: Garcia, Samantha

Asbestos Bulk PLM EPA 600/R-93/116

SanAir ID / Description	Stereoscopic	Components		Asbestos Fibers
	Appearance	% Fibrous	% Non-fibrous	
RC-1A / 25060829-001 Roof Core Under Rubber Membrane	Black Fibrous Homogeneous	60% Cellulose	40% Other	None Detected
RC-1B / 25060829-002 Roof Core Under Rubber Membrane	Black Fibrous Homogeneous	70% Cellulose	30% Other	None Detected
RC-1C / 25060829-003 Roof Core Under Rubber Membrane	Black Fibrous Homogeneous	70% Cellulose	30% Other	None Detected
RC-1D / 25060829-004 Roof Core Under Rubber Membrane	Black Fibrous Homogeneous	70% Cellulose	30% Other	None Detected
SL-1A / 25060829-005 Skylight Glazing	Various Fibrous Homogeneous	20% Cellulose	20% Other	60% Chrysotile
SL-1B / 25060829-006 Skylight Glazing	Various Fibrous Homogeneous	20% Cellulose	20% Other	60% Chrysotile
SL-1C / 25060829-007 Skylight Glazing	Various Fibrous Homogeneous	20% Cellulose	20% Other	60% Chrysotile
C-1A / 25060829-008 Caulk On Nail Holes	Black Non-Fibrous Homogeneous	2% Cellulose	98% Other	None Detected
C-1B / 25060829-009 Caulk On Penetrations	Black Non-Fibrous Homogeneous	2% Cellulose	98% Other	None Detected
C-1C / 25060829-010 Caulk On Vent	Black Non-Fibrous Homogeneous	2% Cellulose	98% Other	None Detected

Analyst: *Samantha Garcia*

Approved Signatory: *Johnathan Wilson*

Analysis Date: 9/16/2025

Date: 9/16/2025



SanAir ID Number
25060829
 FINAL REPORT
 9/16/2025 1:02:07 PM

Name: Environmental Consulting & Management Inc
Address: 50 Kickemuit Ave
 Bristol, RI 02809
Phone: 401-438-1360

Project Number: 250458
P.O. Number:
Project Name: 552 Academy Ave
Collected Date: 9/9/2025
Received Date: 9/10/2025 10:10:00 AM

Analyst: Garcia, Samantha

Asbestos Bulk PLM EPA 600/R-93/116

SanAir ID / Description	Stereoscopic	Components		Asbestos Fibers
	Appearance	% Fibrous	% Non-fibrous	
S-1A / 25060829-011 Coating On Vent Stacks	Black Non-Fibrous Homogeneous		100% Other	None Detected
F-1A / 25060829-012 Flashing-Curb At Wall	Black Non-Fibrous Homogeneous	20% Cellulose	80% Other	None Detected
F-1B / 25060829-013 Flashing-Penetration	Black Non-Fibrous Homogeneous	20% Cellulose	80% Other	None Detected
F-1C / 25060829-014 Flashing-Wall	Black Non-Fibrous Homogeneous	20% Cellulose	80% Other	None Detected

Analyst: *Samantha Garcia*

Approved Signatory: *Johnathan Wilson*

Analysis Date: 9/16/2025

Date: 9/16/2025

Disclaimer and Additional Information:
Asbestos Bulk PLM EPA 600/R-93/116

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Samples are held for a period of 60 days. Fibers smaller than 5 microns cannot be seen with this method due to scope limitations. For NY state samples, method EPA 600/M4-82-020 is performed.

NYELAP Disclaimer:

Polarized-light microscopy is not consistently reliable in detecting asbestos in floor covering and similar non-friable organically bound materials. Quantitative transmission electron microscopy is currently the only method that can be used to determine if this material can be considered or treated as non-asbestos containing.

Asbestos Accreditations, Certifications, and Licenses

National Voluntary Laboratory Accreditation Program (NVLAP) Lab Code 200870-0
City of Philadelphia Department of Public Health Air Management Services, Certification#ALL-460
Commonwealth of Pennsylvania Department of Environmental Protection Number 68-05397
California State Environmental Laboratory Accreditation Program Certificate Number 2915
Colorado Department of Public Health and Environment Registration Number AL-23143
Connecticut Department of Public Health Environmental Laboratory Registration Number PH-0105
Massachusetts Department of Labor Standards Asbestos Analytical Services License Number:
AA000222
State of Maine Department of Environmental Protection License Number: LB-0075
New York State Department of Health Laboratory ID: 11983
State of Rhode Island Department of Health Certification No.: PLM00126
Texas Department of State Health Services License Number: 300440
Commonwealth of Virginia Department of Professional and Occupational Regulation Number:
3333000323
State of Washington Department of Ecology Laboratory ID: C989
State of West Virginia Bureau for Public Health Analytical Laboratory Number: LT000616
Vermont Department of Health License Number: Asb-Co-An-000006
Louisiana Department of Environmental Quality AI Number 212253, LELAP Lab ID #05088



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Asbestos
Chain of Custody
 Form 140, Rev 7, 10/20/2022

SanAir ID Number
 25060829

Company: Environmental Consulting & Management Inc	Project #: 250458	Collected by: Joseph Lepore
Address: 50 Kickemuit Ave	Project Name: 552 Academy Ave	Phone #: 401-438-1360
City, St., Zip: Bristol, RI 02809	Date Collected: 9/9/25	Fax #: 401-438-1316
State of Collection: RI Account#: 2667	P.O. Number:	Email: J.Lepore@ECMNE.com

Bulk		Air		Soil	
ABB	PLM EPA 600/R-93/116 <input checked="" type="checkbox"/>	ABA	PCM NIOSH 7400 <input type="checkbox"/>	ABSE	PLM EPA 600/R-93/116 (Qual.) <input type="checkbox"/>
	Positive Stop <input type="checkbox"/>	ABA-2	OSHA w/ TWA* <input type="checkbox"/>	Vermiculite	
ABEPA	PLM EPA 400 Point Count <input type="checkbox"/>	ABTEM	TEM AHERA <input type="checkbox"/>	ABB	PLM EPA 600/R-93/116 <input type="checkbox"/>
ABB1K	PLM EPA 1000 Point Count <input type="checkbox"/>	ABATN	TEM NIOSH 7402 <input type="checkbox"/>	ABEPA3	PLM EPA 400 Point Count <input type="checkbox"/>
ABBEN	PLM EPA NOB** <input type="checkbox"/>	ABT2	TEM Level II <input type="checkbox"/>	ABCM	Cincinnati Method <input type="checkbox"/>
ABBCH	TEM Chatfield** <input type="checkbox"/>	Other:	<input type="checkbox"/>	Dust	
ABBTM	TEM EPA NOB** <input type="checkbox"/>	New York ELAP		ABWA	TEM Wipe ASTM D-6480 <input type="checkbox"/>
ABQ	PLM Qualitative <input type="checkbox"/>	ABEPA2	NY ELAP 198.1 <input type="checkbox"/>	ABDMV	TEM Microvac ASTM D-5755 <input type="checkbox"/>
** Available on 24-hr. to 5-day TAT		ABENY	NY ELAP 198.6 PLM NOB <input type="checkbox"/>	Matrix	Other <input type="checkbox"/>
Water		ABBNY	NY ELAP 198.4 TEM NOB <input type="checkbox"/>		
ABHE	EPA 100.2 <input type="checkbox"/>		Positive Stop <input type="checkbox"/>		

Turn Around Times	3 HR (4 HR TEM) <input type="checkbox"/>	6 HR (8HR TEM) <input type="checkbox"/>	12 HR <input type="checkbox"/>	1 Day <input type="checkbox"/>
	<input type="checkbox"/> 2 Days	<input type="checkbox"/> 3 Days	<input checked="" type="checkbox"/> 4 Days	<input type="checkbox"/> 5 Days

Special Instructions

Sample #	Sample Identification/Location	Volume or Area	Sample Date	Flow Rate*	Start - Stop Time*
RC-1A	Roof Core under Rubber membrane				
RC-1B	↓				
RC-1C					
RC-1D					
SL-1A	Sky / High Glazing				
SL-1B	↓				
SL-1C					
C-1A	Caulk on Nail holes				
C-1B	" " Penetrations				
C-1C	" " Vents				
S-1A	Coating on vent stacks				
F-1A	Flashing - Curb at wall				

Relinquished by	Date	Time	Received by	Date	Time
<i>[Signature]</i>	9/9/25		<i>[Signature]</i>	9/10/25	10:00 AM

If no technician is provided, then the primary contact for your account will be selected. Unless scheduled, the turnaround time for all samples received after 3 pm EST will be logged in the next business day. Weekend or holiday work must be scheduled ahead of time and is charged at 150% of the 3hr TAT or a minimum charge of \$150. A courier charge will be applied for same day and one-day turnaround times for offsite work. SanAir covers Ground and Next Day Air shipping. Shipments billed to SanAir with a faster shipping rate will result in additional charges.

