

Providence Planning Dept.  
 Date Received: 10-15-25 CPG Project: 23-047A  
 Assigned Plat #: 15 Assigned Lot #: 323 & 324  
 Assigned Address: 118 BENEVOLENT ST (LOT 323), 126 BENEVOLENT ST (LOT 324)  
 Comments: REOPENED OLD LOTS 318 AND 319 INTO NIL 323 AND 324  
 Initials: L.S.

**TABLE 4-1: RESIDENTIAL DISTRICT DIMENSIONAL STANDARDS**  
 EFFECTIVE JAN. 1, 2024.

Bulk Standards	R-1A		R-1	
	Existing Lots	New Subdivisions	Existing Lots	New Subdivisions
Minimum Lot Area	None	7,500sf	None	5,000sf
Minimum Lot Width	None	75'	None	50'
Maximum Building Height	40', not to exceed 3 stories			
Maximum Building Coverage	35%	35%	45%	45%
Maximum Impervious Surface Coverage - Front Yard	33%	33%	33%	33%
Maximum Impervious Surface Coverage - Rear Yard	50%	50%	50%	50%
Total Maximum Impervious Surface Coverage	50%	50%	65%	65%
Total Minimum Pervious Surface Coverage	1,000 sf	1,000 sf	1,000 sf	1,000 sf
Setback Requirements				
Front Setback Zone	Sec. 402.B	Sec. 402.B	Sec. 402.B	Sec. 402.B
Minimum Interior Side and Corner Side Setback	Lot width less than 60'-6"			
Minimum Rear Setback	30'	30'	30'	30'

**RHODE ISLAND ZONING NOTE:**  
 EFFECTIVE JAN. 1, 2024.

PRE-EXISTING NON-CONFORMING PARCELS:  
 ENABLING LEGISLATION ALLOWS FOR A SETBACK REDUCTION IN PROPORTION TO THE NON-COMFORMITY OF THE PARCEL VS THE UNDERLYING ZONING REQUIREMENT. REFER TO THE TABLE BELOW FOR MODIFIED SETBACK.

FOR ALL LOTS OF RECORD:  
 DIMENSIONAL MODIFICATIONS UP TO 5%:  
 UPON AFFIRMATIVE DETERMINATION THE ZONING ENFORCEMENT OFFICER MAY PERMIT A 5% DIMENSIONAL MODIFICATION. THE ZONING ENFORCEMENT OFFICER SHALL HAVE THE AUTHORITY TO ISSUE A PERMIT APPROVING THE MODIFICATION WITHOUT ANY PUBLIC NOTICE REQUIREMENTS.  
 DIMENSIONAL MODIFICATIONS GREATER THAN 5% UP TO 15% (SUBJECT TO LOCAL ORDINANCE):  
 IN THE CASE OF A MODIFICATION OF GREATER THAN FIVE PERCENT (5%), THE ZONING ENFORCEMENT OFFICER SHALL NOTIFY BY FIRST CLASS MAIL ALL PROPERTY OWNERS ADJACENT TO THE PROPERTY WHICH IS THE SUBJECT OF THE MODIFICATION REQUEST, AND SHALL INDICATE THE STREET ADDRESS OF THE SUBJECT PROPERTY IN THE NOTICE, AND SHALL PUBLISH IN A NEWSPAPER OF LOCAL CIRCULATION WITHIN THE CITY OR TOWN THAT THE MODIFICATION WILL BE GRANTED UNLESS WRITTEN OBJECTION IS RECEIVED WITHIN FOURTEEN (14) DAYS OF THE PUBLIC NOTICE. IF WRITTEN OBJECTION IS RECEIVED WITHIN FOURTEEN (14) DAYS, THE REQUEST FOR A MODIFICATION SHALL BE SCHEDULED FOR THE NEXT AVAILABLE HEARING BEFORE THE ZONING BOARD OF REVIEW ON APPLICATION FOR A DIMENSIONAL VARIANCE FOLLOWING THE STANDARD PROCEDURES FOR SUCH VARIANCES, INCLUDING NOTICE REQUIREMENTS PROVIDED FOR UNDER THIS CHAPTER. IF NO WRITTEN OBJECTIONS ARE RECEIVED WITHIN FOURTEEN (14) DAYS, THE ZONING ENFORCEMENT OFFICER SHALL GRANT THE MODIFICATION. THE ZONING ENFORCEMENT OFFICER SHALL KEEP PUBLIC RECORDS OF ALL REQUESTS FOR MODIFICATIONS, AND OF FINDINGS, DETERMINATIONS, SPECIAL CONDITIONS, AND ANY OBJECTIONS RECEIVED. COSTS OF ANY NOTICE REQUIRED UNDER THIS SUBSECTION SHALL BE BORNE BY THE APPLICANT REQUESTING THE MODIFICATION.

DIMENSIONAL MODIFICATION ALLOWANCES ARE NOT SHOWN IN THE STANDARD ZONING TABLE UNLESS SPECIFICALLY NOTED OTHERWISE.  
 ALL ZONING SETBACKS MUST BE CONFIRMED WITH THE ZONING ENFORCEMENT OFFICER PRIOR TO USE.  
 REFER TO: [HTTP://WWW.LAW.JUSTIA.COM/CODES/RHODE-ISLAND/TITLE-49/SECTION-49-24-45-24-45/](http://www.law.justia.com/codes/rhode-island/title-49/section-49-24-45-24-45/)

**City of Providence**  
 Administrative Subdivision  
 Approval  
 Project Address: 118-126 BENEVOLENT ST  
 Project Number: 23-047A  
 Approved pursuant to the City of Providence Zoning Ordinance and Land Development and Subdivision Review Regulations.  
 Date: 10-29-25  
 Administrative Officer  
 Department of Planning & Development

PROJECT # 24.0159 COOKE  
 FRONT SETBACK PER ABUTTERS TABLE Zone : 1

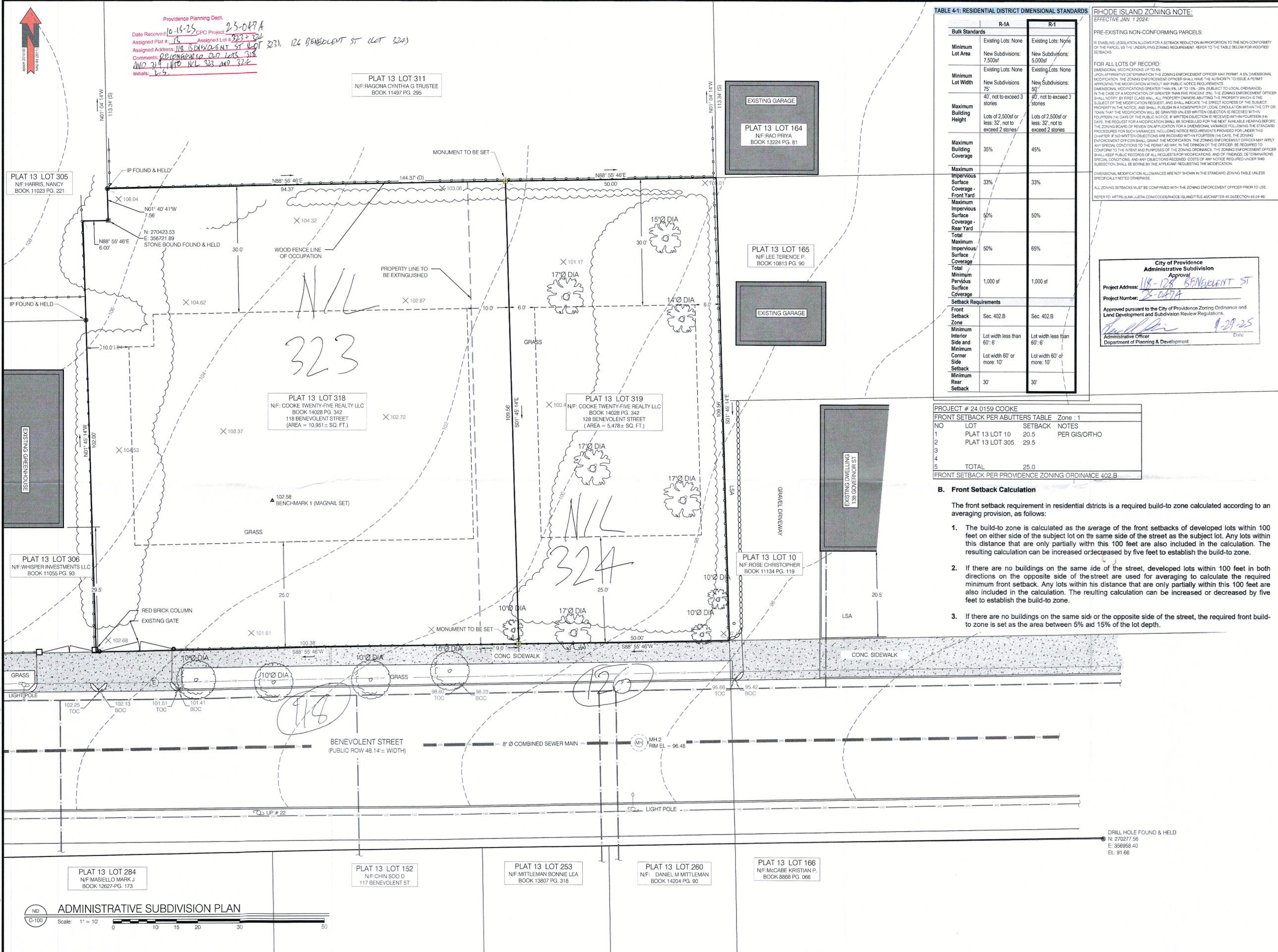
NO	LOT	SETBACK	NOTES
1	PLAT 13 LOT 10	20.5	PER GIS/OFFHO
2	PLAT 13 LOT 305	29.5	
3			
4			
5	TOTAL	25.0	

FRONT SETBACK PER PROVIDENCE ZONING ORDINANCE 402.B

**B. Front Setback Calculation**

The front setback requirement in residential districts is a required build-to zone calculated according to an averaging provision, as follows:

- The build-to zone is calculated as the average of the front setbacks of developed lots within 100 feet on either side of the subject lot on the same side of the street as the subject lot. Any lots within this distance that are only partially within this 100 feet are also included in the calculation. The resulting calculation can be increased or decreased by five feet to establish the build-to zone.
- If there are no buildings on the same side of the street, developed lots within 100 feet in both directions on the opposite side of the street are used for averaging to calculate the required minimum front setback. Any lots within this distance that are only partially within this 100 feet are also included in the calculation. The resulting calculation can be increased or decreased by five feet to establish the build-to zone.
- If there are no buildings on the same side of the street, the required front build-to zone is set as the area between 5% and 15% of the lot depth.



**NEI**  
 Narragansett  
 Engineering Inc.  
 Civil - Survey Structural Environmental Design  
 3102 East Main Road, Portsmouth RI 02871  
 Tel. 401.683.6630 www.nei-cds.com

SHEET TITLE  
 ADMINISTRATIVE SUBDIVISION  
 PLAN  
 BENEVOLENT STREET HOMES  
 323-324 SALMON TWENTY-FIVE COOKE REALTY LLC  
 IN CARE OF  
 CHRISTINE M. WEST, AIA | PRINCIPAL  
 ONE CENTRAL STREET | PROVIDENCE RI 02907  
 401.772.5941 x117  
 E. 401.772.5941  
 www.benevolentst.com

**CERTIFICATION**  
 THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RIC000-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON DECEMBER 31, 2020 (EFFECTIVE DATE), AS FOLLOWS:  
 LIMITED CONTENT BOUNDARY - CLASS I  
 CLASS III (PHYSICAL FEATURES)  
 TOPOGRAPHIC SURVEY (T-2)  
 THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: FOR THE PREPARATION OF AN ADMINISTRATIVE SUBDIVISION PLAN.

PROJECT # 24.0159 COOKE  
 FRONT SETBACK PER ABUTTERS TABLE Zone : 1

NO	LOT	SETBACK	NOTES
1	PLAT 13 LOT 10	20.5	PER GIS/OFFHO
2	PLAT 13 LOT 305	29.5	
3			
4			
5	TOTAL	25.0	

FRONT SETBACK PER PROVIDENCE ZONING ORDINANCE 402.B

NEAL K. HINGORANY  
 No. 2815  
 PROFESSIONAL  
 LAND SURVEYOR  
 01.15.26

NEAL HINGORANY REG. 2515  
 COA: A38

Project # 24.0159 DATE 08-22-24 DRAWN TR CHECK NKH

No	DATE	REVISIONS/DESCRIPTION	BY
1	04/10/25	ADDED C-100 ADMINISTRATIVE SUBDIVISION PLAN	TR

STREET INDEX  
 PLAN FILE AS BENEVOLENT STREET

RECEIVED FOR RECORD  
 CITY OF PROVIDENCE RI  
 OCT 02 2025 10:14 AM  
 Jeanne Pascone  
 RECORDER OF DEEDS  
 Vol: 110 PG: 70

DRAWINGS MUST BE PRINTED IN COLOR TO BE VALID. THIS NOTE SHOULD BE BLUE. IF THIS NOTE IS NOT BLUE, PLEASE REPRINT IN COLOR OR CONTACT NEI.

SCALE  
 1" = 10'  
**C-100**

N:\PROJECTS\24.0159\_KITE COOKE TWENTY-FIVE BENEVOLENT STREET\SITE\24.0159\_KITE COOKE SUBDIVISION.DWG C-100-NEI-Standard.cad 7/26/2025 Tyler Russell