

NOTES:
 THIS SURVEY WAS DONE WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE. THE CERTIFICATION OF THIS SURVEY IS A PROFESSIONAL OPINION BASED ON THE EXISTING FIELD AND DOCUMENTARY EVIDENCE AVAILABLE AT THE TIME THIS SURVEY WAS PREPARED. THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP. OWNERSHIP IS SUBJECT TO AN OPINION OF TITLE. THIS SURVEY IS NOT A GUARANTEE OF TITLE.
 NO ATTEMPT WAS MADE AS PART OF THIS SURVEY TO OBTAIN OR SHOW DATA CONCERNING EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OF ANY UTILITY, PUBLIC SERVICE FACILITY, OR UTILITY SERVICE LINES ON/T/OVER/UNDER THE PROPERTY.
 USE OF THIS SURVEY FOR PURPOSES OTHER THAN THAT WHICH IT WAS INTENDED, WITHOUT WRITTEN VERIFICATION, WILL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO THIS SURVEYOR. NOTHING HEREON SHALL BE INTENDED TO GIVE ANY RIGHTS OR BENEFITS TO ANYONE OTHER THAN THOSE THE SURVEY WAS PREPARED FOR.

- PLAN REFERENCES:**
1. "WANSKUCK VILLAGE" BY WATERMAN ENGINEERING CO. OCT., 1946 PLAT BK. 41 PG. 59
 2. BRANCH AVE. SEWER PLAN #164-76 DEC. 4, 1901
 3. WANSKUCK VILLAGE SEWER PLAN #33-170 OCT. 15, 1946
 4. BRANCH AVE STREET LINE PLAN #74-C-4 OCT. 7, 1875
 5. BRANCH AVE STREET LINE PLAN #95-B-71 JULY 19, 1911

DEED REFERENCE:
 1. DEED BOOK 14185 PAGE 65

ZONING DISTRICT: R-4
 MIN. LOT AREA ROW HOUSES: 700 SF
 MIN. LOT WIDTH ROW HOUSES: INTERIOR UNITS-12'/END UNITS UNITS-18'
 MAX. HT.: 45' / 3 STORES
 MAX. BLDG. C.V.G. RH: 45%
 MAX. IMP. F.Y. RH: 33%
 TOTAL MAX. IMP. RH: 65%
 TOTAL MIN. PERVIOUS RH: 400 SF/UNIT
 FRONT SETBACK-SECTION 402.B
 SIDE SETBACK: 6'
 REAR SETBACK: 20' ROW HOUSES

LEGEND:
 IRS/IRF - IRON ROD SET/FOUND
 IPS/IPF - IRON PIPE SET/FOUND
 DHS/DHF - DRILL HOLE SET/FOUND
 SPKF - SPIKE FOUND
 W.S.F. - WOOD STOCKADE FENCE
 PE/PG - PROPOSED ELEC/GAS
 PW/PS - PROPOSED WATER/SEWER
 SCO/BFP - SEWER CLEAN OUT WITH BACK FLOW PREVENTER
 WSO/GSO - WATER/GAS SHUTOFF
 WG/GG - WATERGATE / GAS GATE
 GBF - GRANITE BOUND FOUND
 ## x - SPOT GRADE
 PVCF - PVC FENCE

SURVEY CERTIFICATION:
 THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOV. 25, 2015, AS FOLLOWS:
 TYPE OF SURVEY: MEASUREMENT SPECIFICATION
 PERIMETER SURVEY CLASS I
 DATA ACCUMULATION - FEATURES & TOPOGRAPHY CLASS III
 THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
 PREPARE PLAN FOR PROPOSED DEVELOPMENT.
 BY: *Marcus Channell* 11/6/2025
 MARCUS CHANNELL, P.L.S. #1971 (LS-A479) DATE

DATE:	17 JULY 2025			
DRAWN BY:	MC	4	11/6/25	f.y. SETBACKS REVISED TO %
SCALE:	1"= 10'	3	10/30/25	SETBACKS REVISED & ENTRY ADDED
SHEET 1 OF 1 SHEETS		2	9/12/25	SETBACKS REVISED
JOB NO.:	25-0613	1	8/18/25	SETBACKS REVISED
DWG.	26-0613 PRELIM	NO.	DATE	REVISION

PRELIMINARY MINOR SUBDIVISION

ASSESSOR'S PLAT 102 - LOT 71
 784 BRANCH AVENUE ~ PROVIDENCE, RI
 PREPARED FOR:
TOSBINE, LLC
 166 VALLEY STREET, BLDG 6M, STE 103 ~ PROVIDENCE, RI
 PHONE: 401-282-0126
 EMAIL: TOSBINELL.C@gmail.com

2699 Post Road - Unit D - Warwick, RI 02886
 www.atlaslandsurveying.com
 atlaslandsurveying@yahoo.com
 401-263-7353

PROVIDENCE ZONING DATA

ZONING DISTRICT: R-4 PROPOSED LOT 1		
REQUIREMENTS	REQUIRED	PROVIDED
MINIMUM LOT AREA	RH: 700 SF	1,515± SF
MINIMUM LOT WIDTH	RH INTERIOR UNITS: 12' RH END UNITS: 18'	22'
MAX. BLDG. COVERAGE	45%	34%±
MAX. IMPERVIOUS COVERAGE FRONT YARD	50% OR 160 S.F. WHICHEVER IS LESS	67%±
MAX. IMPERVIOUS COVERAGE REAR YARD	33%	0%
TOTAL MAX. IMPERVIOUS COVERAGE	65%	37%±
TOTAL MIN. PERVIOUS COVERAGE	RH: 400 SF/UNIT	950±SF
FRONT SETBACK (BTZ SECT. 402.B)	9.2' ±5'	3'
SIDE SETBACK	6'	SEE PLAN
REAR SETBACK	20'	20'
TREE CANOPY REQUIRED	455± S.F.	1 MED. TREE

PROVIDENCE ZONING DATA

ZONING DISTRICT: R-4 PROPOSED LOT 2		
REQUIREMENTS	REQUIRED	PROVIDED
MINIMUM LOT AREA	RH: 700 SF	1,102± SF
MINIMUM LOT WIDTH	RH INTERIOR UNITS: 12' RH END UNITS: 18'	16'
MAX. BLDG. COVERAGE	45%	46%±
MAX. IMPERVIOUS COVERAGE FRONT YARD	50% OR 160 S.F. WHICHEVER IS LESS	67%±
MAX. IMPERVIOUS COVERAGE REAR YARD	33%	0%
TOTAL MAX. IMPERVIOUS COVERAGE	65%	51%±
TOTAL MIN. PERVIOUS COVERAGE	RH: 400 SF/UNIT	540±SF
FRONT SETBACK (BTZ SECT. 402.B)	9.2' ±5'	3.3'
SIDE SETBACK	6'	SEE PLAN
REAR SETBACK	20'	20'
TREE CANOPY REQUIRED	330± S.F.	1 MED. TREE

PROVIDENCE ZONING DATA

ZONING DISTRICT: R-4 PROPOSED LOT 3		
REQUIREMENTS	REQUIRED	PROVIDED
MINIMUM LOT AREA	RH: 700 SF	1,091± SF
MINIMUM LOT WIDTH	RH INTERIOR UNITS: 12' RH END UNITS: 18'	16.19'
MAX. BLDG. COVERAGE	45%	47%±
MAX. IMPERVIOUS COVERAGE FRONT YARD	50% OR 160 S.F. WHICHEVER IS LESS	77%±
MAX. IMPERVIOUS COVERAGE REAR YARD	33%	0%
TOTAL MAX. IMPERVIOUS COVERAGE	65%	52%±
TOTAL MIN. PERVIOUS COVERAGE	RH: 400 SF/UNIT	530±SF
FRONT SETBACK (BTZ SECT. 402.B)	9.2' ±5'	3.2'
SIDE SETBACK	6'	SEE PLAN
REAR SETBACK	20'	20'
TREE CANOPY REQUIRED	327± S.F.	1 MED. TREE

PROVIDENCE ZONING DATA

ZONING DISTRICT: R-4 PROPOSED LOT 4		
REQUIREMENTS	REQUIRED	PROVIDED
MINIMUM LOT AREA	RH: 700 SF	1,044± SF
MINIMUM LOT WIDTH	RH INTERIOR UNITS: 12' RH END UNITS: 18'	16.28'
MAX. BLDG. COVERAGE	45%	49%±
MAX. IMPERVIOUS COVERAGE FRONT YARD	50% OR 160 S.F. WHICHEVER IS LESS	75%±
MAX. IMPERVIOUS COVERAGE REAR YARD	33%	0%
TOTAL MAX. IMPERVIOUS COVERAGE	65%	55%±
TOTAL MIN. PERVIOUS COVERAGE	RH: 400 SF/UNIT	480±SF
FRONT SETBACK (BTZ SECT. 402.B)	9.2' ±5'	3.2'
SIDE SETBACK	6'	SEE PLAN
REAR SETBACK	20'	20'
TREE CANOPY REQUIRED	313± S.F.	1 MED. TREE

PROVIDENCE ZONING DATA

ZONING DISTRICT: R-4 PROPOSED LOT 5		
REQUIREMENTS	REQUIRED	PROVIDED
MINIMUM LOT AREA	RH: 700 SF	993± SF
MINIMUM LOT WIDTH	RH INTERIOR UNITS: 12' RH END UNITS: 18'	16.28'
MAX. BLDG. COVERAGE	45%	52%±
MAX. IMPERVIOUS COVERAGE FRONT YARD	50% OR 160 S.F. WHICHEVER IS LESS	75%±
MAX. IMPERVIOUS COVERAGE REAR YARD	33%	0%
TOTAL MAX. IMPERVIOUS COVERAGE	65%	57%±
TOTAL MIN. PERVIOUS COVERAGE	RH: 400 SF/UNIT	425±SF
FRONT SETBACK (BTZ SECT. 402.B)	9.2' ±5'	3.2'
SIDE SETBACK	6'	SEE PLAN
REAR SETBACK	20'	20'
TREE CANOPY REQUIRED	298± S.F.	1 SMALL TREE

PROVIDENCE ZONING DATA

ZONING DISTRICT: R-4 PROPOSED LOT 6		
REQUIREMENTS	REQUIRED	PROVIDED
MINIMUM LOT AREA	RH: 700 SF	1,459± SF
MINIMUM LOT WIDTH	RH INTERIOR UNITS: 12' RH END UNITS: 18'	25.36'
MAX. BLDG. COVERAGE	45%	35%±
MAX. IMPERVIOUS COVERAGE FRONT YARD	50% OR 160 S.F. WHICHEVER IS LESS	59%±
MAX. IMPERVIOUS COVERAGE REAR YARD	33%	0%
TOTAL MAX. IMPERVIOUS COVERAGE	65%	39%±
TOTAL MIN. PERVIOUS COVERAGE	RH: 400 SF/UNIT	890±SF
FRONT SETBACK (BTZ SECT. 402.B)	9.2' ±5'	3.2'
SIDE SETBACK	6'	SEE PLAN
REAR SETBACK	20'	20'
TREE CANOPY REQUIRED	438± S.F.	1 MED. TREE

EROSION CONTROL NOTES:

EROSION CONTROL PROGRAM
 PRIOR TO START OF CONSTRUCTION, HAYBALES, SILT FENCES & ALL OTHER SPECIFIED EROSION CONTROL FENCES SHALL BE IN PLACE.
 CRITICAL AREAS SUCH AS WETLAND AREAS, SLOPES & STREAMS SHALL BE PROTECTED AS PER PLAN AND, IN THE PRESENCE OF WETLANDS, THE CONDITIONS OF THE ASSENT ORDER SHALL BE ADHERED TO.
 THE CONTRACTOR SHALL BE REQUIRED TO ESTABLISH AND FULLY MAINTAIN ALL REQUIRED EROSION AND SEDIMENTATION CONTROLS.
SEDIMENTATION CONTROL PROGRAM
 ALL EXPOSED SLOPES, INCLUDING STOCKPILES OF MATERIAL, SHALL RECEIVE TEMPORARY SEDIMENTATION & EROSION CONTROLS. THIS WILL INCLUDE LOAMING & SEEDING, MULCHING, HAYMATS, ETC TO STABILIZE THE AREA.
 ALL DRAINAGE STRUCTURES SHALL BE SURROUNDED BY HAYBALES TO PREVENT INFILTRATION OF SEDIMENTS.
 SHOULD SEDIMENTS ENTER A CRITICAL AREA (WETLAND, BUFFER ZONE, ABUTTING PROPERTY) THE CONTRACTOR SHALL IMMEDIATELY CLEAN & RESTORE THE EFFECTED AREA.
GENERAL NOTES
 1. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ANY & ALL PERMITS REQUIRED BY THE STATE & THE MUNICIPALITY IN WHICH WORK IS BEING PERFORMED PRIOR TO START OF ANY WORK.
 2. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DOCUMENT EXISTING CONDITIONS OF SURROUNDING PROPERTIES & TO MAINTAIN THE INTEGRITY OF SAME. ANY DAMAGE TO & THE COST OF REPAIRS OF UTILITIES, ROADWAYS, STRUCTURES & SURROUNDING PROPERTY SHALL BE FULLY BORNE BY THE CONTRACTOR.
 3. ALL WORKMANSHIP & MATERIALS SHALL MEET OR EXCEED THE LATEST STANDARDS OF THE MUNICIPALITY, AND THE LATEST STATE STANDARDS & SPECIFICATION PUBLISHED FOR ROAD & BRIDGE CONSTRUCTION.
 4. CONTACT DIG-SAFE & UTILITY COMPANIES FOR EXACT ON-SITE LOCATION OF EXISTING UNDERGROUND UTILITIES AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO START OF CONSTRUCTION.
 5. CONTRACTOR SHALL OBTAIN REQUIRED INSPECTION SCHEDULE OF THE MUNICIPALITY, UTILITY COMPANIES & ALL OTHER REQUIRED PARTIES & SHALL STRICTLY ADHERE TO THOSE REQUIREMENTS.
 6. ALL CONTRACTORS SHALL ADHERE TO ALL CONDITIONS OF CONSTRUCTION APPROVALS & SHALL KEEP A COPY OF ALL APPROVALS ON-SITE DURING CONSTRUCTION. CONTRACTOR SHALL READ ALL APPROVALS PRIOR TO START OF CONSTRUCTION & SHALL CLARIFY ANY QUESTIONS BEFOREHAND.
 7. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDING TO ENSURE SURFACE WATER AND/OR GROUND WATER ARE DIRECTED AWAY FROM THE STRUCTURE. THIS PLAN SHOWS GENERAL GRADING ONLY AND ADDITIONAL DETAIL.

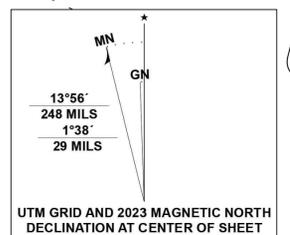
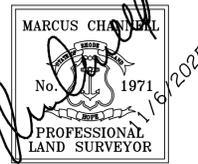
UTILITY NOTES:
 ANY UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY AND EXISTING PLANS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION PROVIDED. CONTACT ALL LOCAL UTILITY COMPANIES AND DIG SAFE (1-800-DIG-SAFE) PRIOR TO ANY CONSTRUCTION.

FLOOD ZONE NOTE:
 THIS LOT LIES WITH ZONE "X" ON MAP 44007C0306H
 PANEL EFFECTIVE DATE: 10/2/2015

DATUM NOTE:
 ELEVATIONS ARE BASED ON PLAN REFERENCE #2

STREET INDEX:
 PER R.I.G.L. 34-13-1
 BRANCH AVENUE
 HUGO STREET

SETBACK NOTE:
 FRONT SETBACK PER 402.B (BUILD TO ZONE AVERAGE ±5')
 PER FIELD DIMENSIONS OF EXISTING HOUSES WITHIN 100' ON EACH SIDE, THIS LOT REQUIRES BY AVERAGING A 9.2' FRONT SETBACK(±5').



ATLAS LAND SURVEYING, LLC. COPYRIGHTED MATERIALS 2025

1. ALL CONCRETE SHALL BE CONTROLLED CONCRETE PO ULTIMATE STRENGTH OF 3000PSI @ 28 DAYS. PROVIDE TOTAL AIR ENTRAINED OF 6%(±) FOR ALL CONCRETE EXPOSED TO WEATHER. MAXIMUM WATER/CEMENT RATIO W/C=.45 (USE SUPER PLASTICIZER AS REQUIRED FOR WORKABILITY).

2. CONCRETE COVER FOR REINFORCING SHALL BE AS FOLLOWS:
FOOTINGS - 3 INCHES
FOUNDATION WALLS - 2 INCHES

3. REINFORCING STEEL SHALL CONFORM TO ASTM A-615 GRADE-60. LAP SPLICES SHALL BE IN ACCORDANCE WITH ACI 318-83 FOR TENSION LAP SPLICES, CLASS C, UNLESS NOTED OTHERWISE.

4. ALL SLABS ON GRADE SHALL BE REINFORCED WITH WELDED WIRE FABRIC AT MID POINT CONFORMING TO ASTM A-185.

5. SLAB ON GRADE SHALL BE CAST IN ALTERNATE PATTERNS OR SAW CUT INTO ARE AS NOT TO EXCEED 900 S.F. OR AS INDICATED ON THE PLANS.

6. NO FOOTING CONCRETE SHALL BE POURED AGAINST SUBGRADE CONTAINING FREE WATER, FROST, ICE OR MUD.

7. COMPACT FROM BOTTOM OF FOOTING TO UNDERSIDE OF SLAB ON GRADE TO 98% MAXIMUM DENSITY TO 8" LOOSE LAYERS. UNDER INTERIOR FLOOR SLABS, COMPACT FROM STRIP LINE TO UNDERSIDE OF SLAB TO 95% OF MAXIMUM DENSITY IN 8" LOOSE LAYERS. ELSEWHERE, COMPACT TO 90% OF MAXIMUM DENSITY IN 12" LOOSE LAYERS, EXCEPT FOR TWO 6" LAYERS DIRECTLY OVER PIPES.

8. STRUCTURAL LUMBER SHALL BE DOUGLAS-FIR#2 (OR AS NOTED ON THE PLANS) OR CONSTRUCTION GRADE AS LISTED IN THE NATIONAL FOREST PRODUCT ASSOCIATION "NATIONAL DESIGN SPECIFICATIONS FOR STRESS-GRADE LUMBER AND ITS FASTENING" THAT HAVE ALLOWABLE UNIT STRESSES IN EXTREME FIBER IN BENDING EQUAL TO OR GREATER THAN 1400 PSI AND MODULUS OF ELASTICITY EQUAL TO OR GREATER THAN 1,500,000 PSI.

9. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL BUILDING INSPECTIONS DEPARTMENT OF THE CITY OF PROVIDENCE AND THE RHODE ISLAND STATE BUILDING CODE AND/OR ANY APPROPRIATE AUTHORITY HAVING JURISDICTION OVER CONSTRUCTION AT PROJECT SITE.

10. CONTRACTOR TO VERIFY DIMENSIONS PRIOR TO CONSTRUCTION.

11. CONTRACTOR SHALL SHORE, BRACE, OR OTHERWISE SUPPORT THE STRUCTURE AS REQUIRED IN ORDER TO MAINTAIN STRUCTURAL INTEGRITY AT ALL TIMES.

12. CONTRACTOR WILL NOTIFY DESIGNER IMMEDIATELY OF ANY DISCREPANCIES IN THE DRAWINGS AND WILL NOT PROCEED WITH WORK IN THOSE AREAS UNTIL DISCREPANCIES ARE RESOLVED.

13. ANY DEVIATION FROM THE CONTENTS OF THESE PLANS WITHOUT WRITTEN CONSENT OF THE DESIGNER/OWNER WOULD MAKE NULL AND VOID.

14. NOTIFY DESIGNER OF ANY FIELD CONDITIONS WHICH DIFFER FROM THOSE SHOWN OR IMPLIED ON THE DRAWINGS.

15. CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA: BUILDINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN THE RISBC FOR ONE AND TWO FAMILY TABLE R301.2(1)

16. THE CONTRACTOR SHALL IDENTIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE APPROPRIATE UTILITY AUTHORITY OR COMPANY. EXTREME CAUTION SHALL BE EXERCISED WHEN WORKING IN THE VICINITY OF EXISTING UTILITIES.

17. BEFORE PROCEEDING WITH CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL NOTIFY THE STATE OF RHODE ISLAND UTILITIES UNDERGROUND PLANT DAMAGE PREVENTION SYSTEM (DIG SAFE) AT 1-800-225-4977.

18. TUBULAR STEEL (IF APPLICABLE) SHALL CONFORM TO ASTM A-500 GRADE B (Fy=46ksi)

19. ALL EXPOSED STRUCTURAL STEEL SHALL BE GIVEN TWO COATS OF AN APPROVED SHOP PAINT APPLIED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, UNLESS NOTED OTHERWISE. PAINTING OF STRUCTURAL STEEL SHALL CONFORM TO SSPC-PS 701.

20. HEATING FACILITIES SHALL BE PROVIDED CAPABLE OF MAINTAINING A ROOM TEMPERATURE OF NOT LESS THAN 68°F (20°C) AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN HABITABLE ROOMS AT THE DESIGN TEMPERATURE.

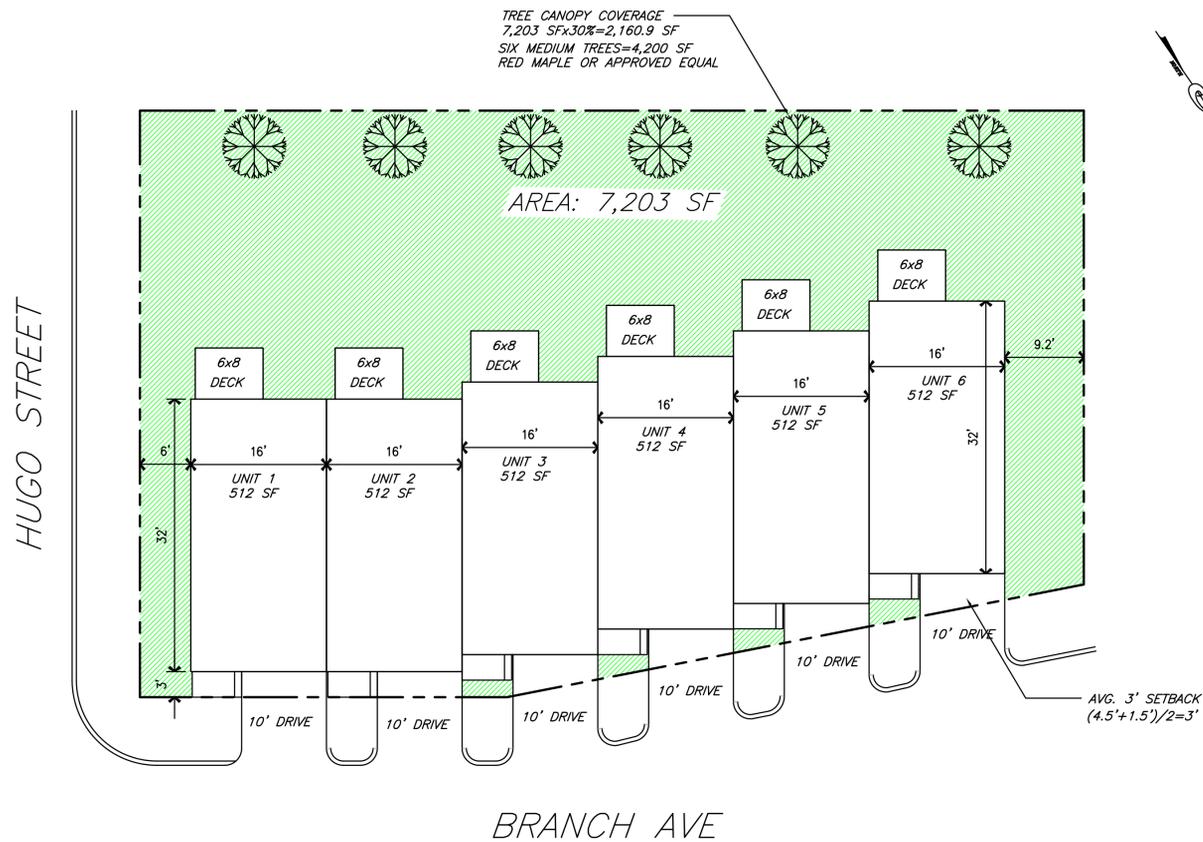
21. BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.

22. ALL CONCRETE FOUNDATIONS MUST BE ON SOIL WITH ASSUMED SAFE BEARING CAPACITY OF NOT LESS THAN 1,500 P.S.F.

DESIGN CRITERIA

- RISBC-2-2021
- WIND ZONE 1 (100 MPH)
- LOAD DESIGN: 40 PSF LIVING AREA LOAD
30 PSF SLEEPING AREA LOAD
10 PSF DEAD LOAD
20 PSF ATTIC LOAD
60 PSF EXTERIOR DECK LOAD
30 PSF SNOW LOAD
- FROST DEPTH 3"-6" DEEP
- CLIMATE ZONE: 5
- CONSTRUCTION TYPE: 5B

CONCEPT
DRAFT FOR REVIEW
NOT FOR CONSTRUCTION



PLAT PLAN
SCALE: 1"=10'

PREPARED BY: QCVI LLC
CONSULTING ENGINEER
HAKEEM OTTUN, P.E.
R.I. LICENSED PROFESSIONAL ENGINEER
Email: keem.ottun@gmail.com



DESIGNED BY:	DATE	REVISION	NO.
RM		1	
RM		2	
RM			
HO			
PROJECT NO.:			
121-2025			

SHEET DESCRIPTION
PROPOSED
6 UNIT ROW HOUSES
784 BRANCH AVE
PROVIDENCE, RI

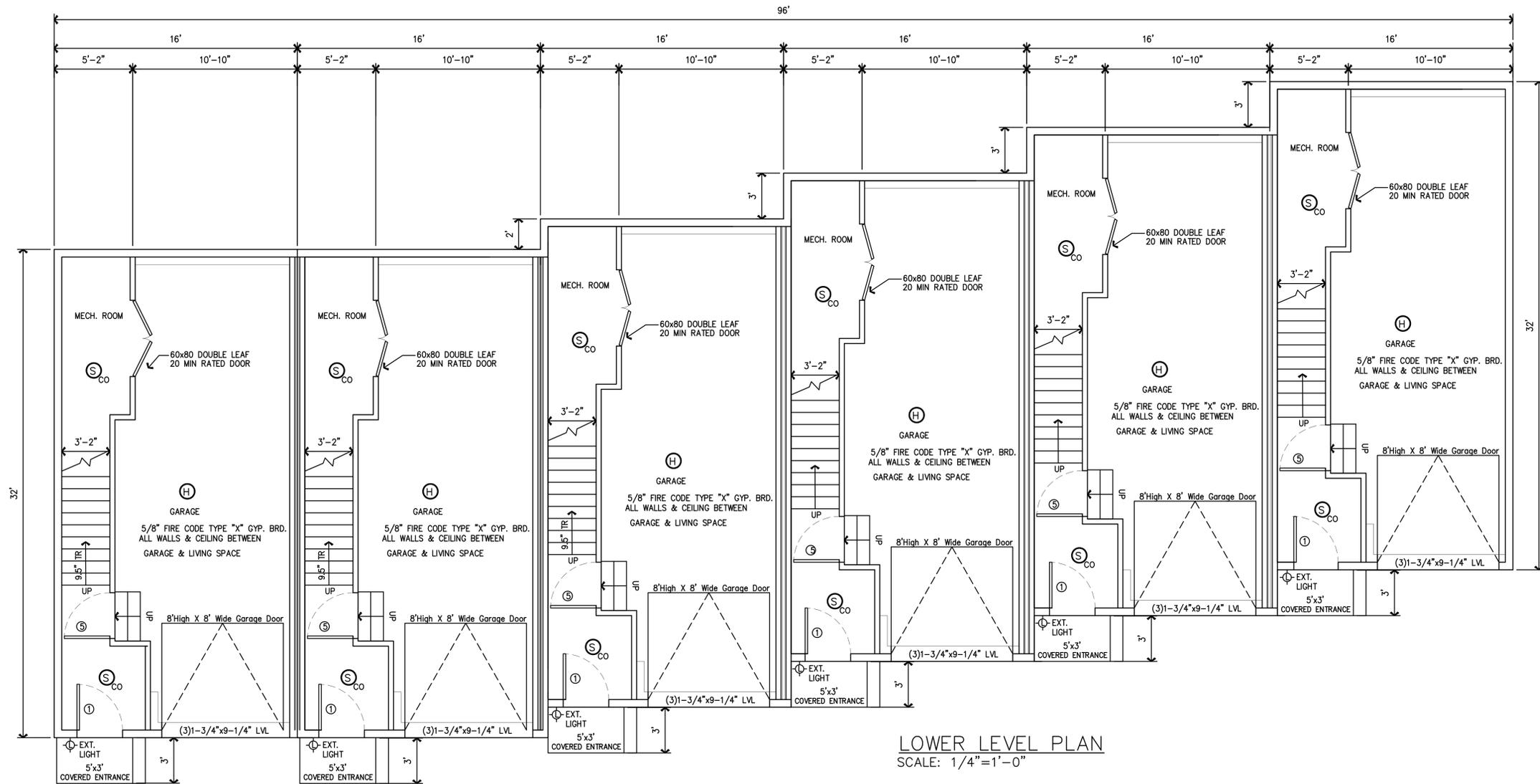
PREPARED FOR :
TOSBINE LLC

DATE: OCT. 2025

SCALE: AS SHOWN

SHEET:
1 OF 5

CONCEPT
DRAFT FOR REVIEW
NOT FOR CONSTRUCTION



LOWER LEVEL PLAN
SCALE: 1/4" = 1'-0"

PREPARED BY: QCVMLLC
CONSULTING ENGINEER
HAKEEM OTTUN, P.E.
R.I. LICENSED PROFESSIONAL ENGINEER
Email: keem.ottun@gmail.com



DESIGNED BY: RM
DRAWN BY: RM
CHECKED BY: HO
PROJECT NO. 121-2025

No.	REVISION	DATE
1		
2		

SHEET DESCRIPTION
PROPOSED
6 UNIT ROW HOUSES
784 BRANCH AVE
PROVIDENCE, RI

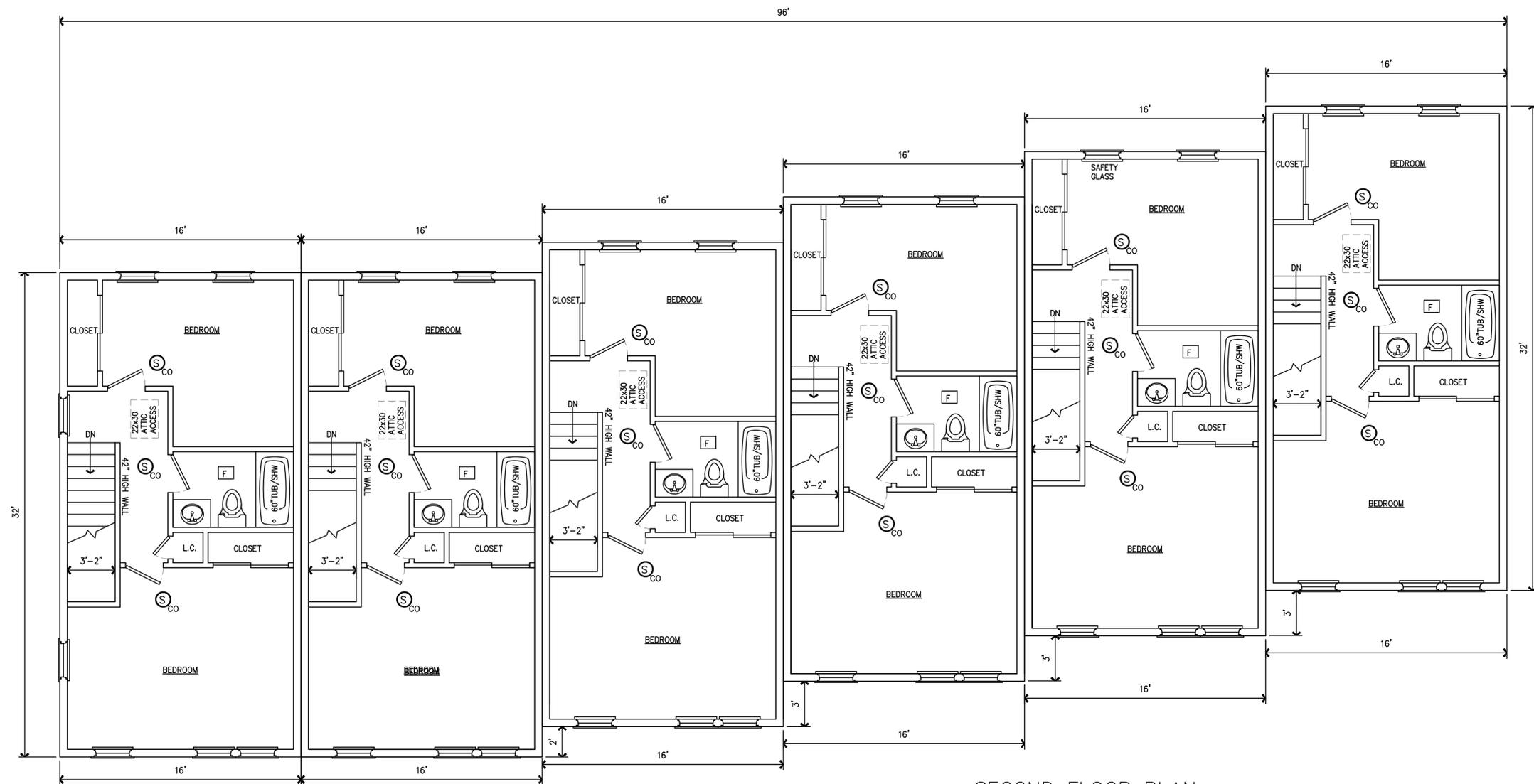
PREPARED FOR :
TOSBINE LLC

DATE: OCT. 2025

SCALE: AS SHOWN

SHEET:
2 OF 5

CONCEPT
DRAFT FOR REVIEW
NOT FOR CONSTRUCTION



SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

PREPARED BY: QCVI LLC
CONSULTING ENGINEER
HAKEEM OTTUN, P.E.
R.I. LICENSED PROFESSIONAL ENGINEER
Email: keem.ottun@gmail.com



DESIGNED BY:	DATE	REVISION
RM		
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CHECKED BY: <td></td> <td></td>		
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PROJECT NO.: <td></td> <td></td>		
121-2025		

SHEET DESCRIPTION
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PROVIDENCE, RI

PREPARED FOR :
TOSBINE LLC

DATE: OCT. 2025

SCALE: AS SHOWN

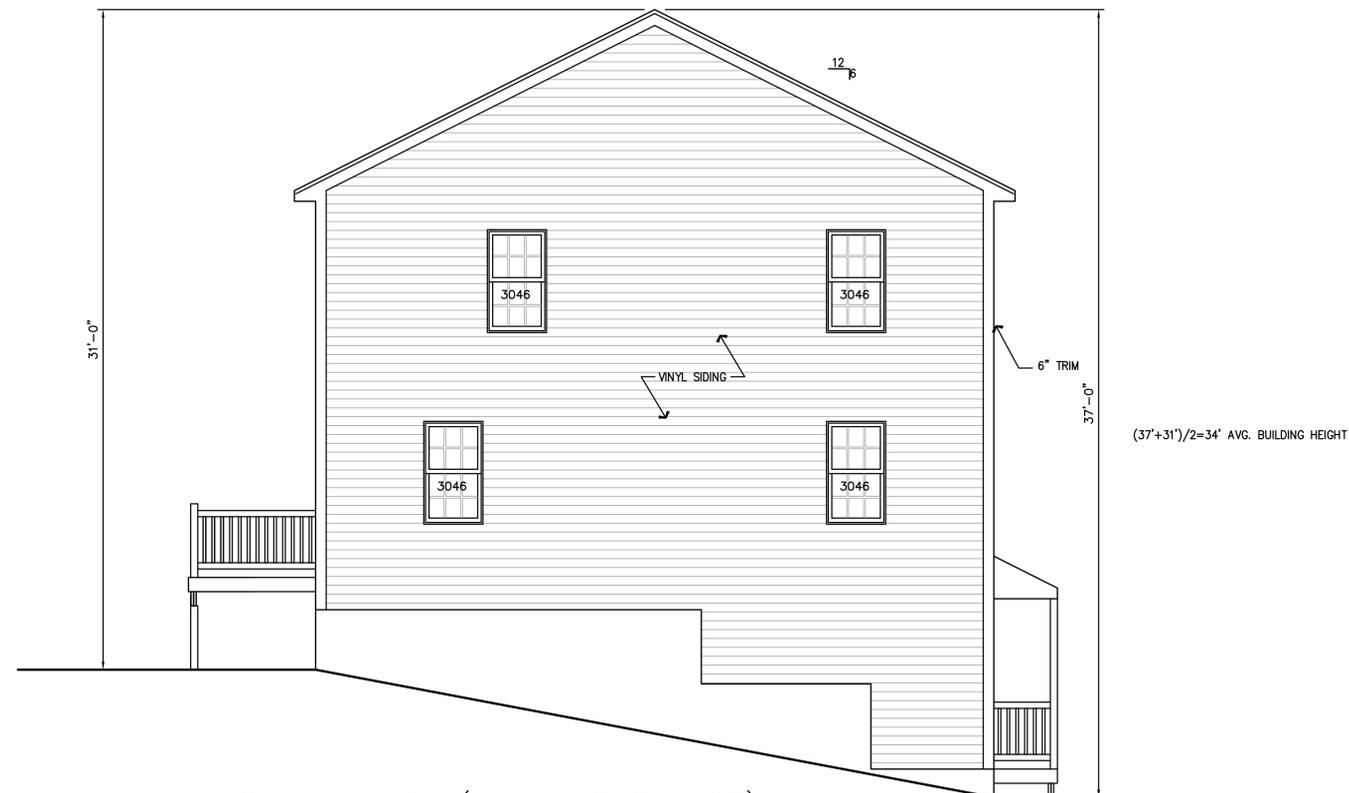
SHEET:
4 OF 5



NORTH ELEVATION (FRONT ALONG BRANCH)
SCALE: 1/4"=1'-0"

FRONT FACADE: 15% TRANSPARENCY REQUIRED
FRONT FACADE AREA=3,552 SF
3,552 SF x 15%=532.8 SF REQUIRED
(36) 3046 DH= 518.4 SF TRANSPARENCY PROVIDED
(6) 3680 DOOR =48 SF TRANSPARENCY PROVIDED
TOTAL 566.4 SF TRANSPARENCY PROVIDED

**CONCEPT
DRAFT FOR REVIEW
NOT FOR CONSTRUCTION**



EAST ELEVATION (LEFT ALONG HUGO)
SCALE: 1/4"=1'-0"

PREPARED BY: **QCVM LLC**
CONSULTING ENGINEER
HAKHEEM OTTUN, P.E.
R.I. LICENSED PROFESSIONAL ENGINEER
Email: keem.ottun@gmail.com



DESIGNED BY:	DATE:
RM	
DRAWN BY:	DATE:
RM	
CHECKED BY:	DATE:
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PROJECT NO.:	121-2025
REVISION	DATE
No. 1	
2	

SHEET DESCRIPTION
**PROPOSED
6 UNIT ROW HOUSES**
784 BRANCH AVE
PROVIDENCE, RI

PREPARED FOR :
TOSBINE LLC

DATE: OCT. 2025

SCALE: AS SHOWN

SHEET:
5 OF 5